



# Central Square Advisory Committee

WEDNESDAY, JUNE 28, 2017 – 344 BROADWAY

# Agenda

- ▶ Committee Overview
- ▶ Central Square Updates
  - ▶ Mass + Main
  - ▶ 907 Main Street
  - ▶ Public Toilet
  - ▶ Restoration Zoning Petition
- ▶ Discussion
  - ▶ C2 Non-Zoning Recommendations
    - ▶ General Comments
    - ▶ Priorities
- ▶ Next Steps
  - ▶ Cambridgeport Vacancy
  - ▶ Next Meeting



# Committee Overview



# Central Square Advisory Committee

- ▶ Established in May 1989 due to changes in the Zoning Ordinance (Section 20.300) that rezoned Central Square and created the Central Square Overlay District (the “District”)
- ▶ The purpose of the Committee is to:
  - ▶ establish a formal, ongoing body that will review all major development actions in the District
  - ▶ provide a forum within which a wide range of perspectives on development actions can be heard
  - ▶ establish a citizen/professional body which can advise both public agencies and private interests as to the development and urban design issues raised by a development
  - ▶ following the K2C2 Study, the role of the Committee has expanded to include making recommendations on and monitoring the progress of non-zoning recommendations

# Central Square Updates

# Mass + Main

- ▶ Special Permit – January 24, 2017
- ▶ new, two-building mixed-use development
- ▶ 250,000+ GFA
- ▶ 17,279 sq.ft. of ground-floor retail space
- ▶ 285 residential units
- ▶ 95 off-street parking spaces (below grade)
- ▶ 39 spaces off-site at 65 Bishop Allen Drive (three spaces to be used for car sharing)



# 907 Main Street

- ▶ Special Permit – February 21, 2017
- ▶ conversion of an existing mixed use building into a 58-room hotel
- ▶ an addition of 5,264 sq.ft. in GFA
- ▶ ground floor retail & rooftop bar
- ▶ located in the Central Square National Register District



② COURTYARD VIEW



② COLUMBIA & MAIN



# Central Square Public Toilet

- ▶ one of the winning projects from 2015 Participatory Budgeting
- ▶ will be modeled after the public toilet in Harvard Square
- ▶ clean, safe, and environmentally-friendly
- ▶ free to the public and accessible 24-hours a day
- ▶ the City worked to identify potential locations based on:
  - available space (above and below ground)
  - access to utilities
  - visibility to ensure that the facility can be easily monitored
  - proximity to restaurants, transit and pedestrian traffic

“The Portland Loo” in Harvard Square.  
(Photo Credit: Jesse Costa/WBUR)



# Central Square Restoration Zoning Petition

## ▶ Context and Catalyst

- ▶ “Depression-era politics”
- ▶ The 1987 Central Square Action Plan

## ▶ Intent and Purpose

- ▶ to restore the historic status of Central Square as a commercial hub and strengthen its identity as a State Cultural District
- ▶ “...to increase the potential for housing, expand the local retail footprint, enliven side streets, and activate the streetscape”

## ▶ Referenced Reports and Studies

- ▶ 2011 – The Mayor's Red Ribbon Commission on the Delights and Concerns of Central Square
- ▶ 2013 – Central Square Study (K2C2 Plan)

# Central Square Restoration Zoning Petition

- ▶ allowed residential FAR increased from 3.0 to 4.0 in the Business B (BB) District, and allowed an increase in total FAR to 4.0 by special permit in the Overlay District, so long as non-residential FAR does not exceed base zoning limits
- ▶ residential balconies and publicly-enjoyable rooftop spaces are exempt from FAR limitations
- ▶ retail spaces of 1,500 square feet or less are exempt from FAR limitations
- ▶ removed limit on the total number of fast order food establishments in the district, and established a special permit requirement for formula business
- ▶ allowed, by special permit, entrances to establishments where alcohol is served and where dancing/entertainment is provided to be located off of Mass Ave., Main St, or Prospect St
- ▶ allowed yard setbacks and open space requirements to be reduced, and allowed required open space to be provided at above-grade levels by special permit
- ▶ established maximum parking ratios for some uses, allowing required parking to be reduced by an “in-lieu-of” payment for public improvements, and allowing required parking for a use to be located on another lot within the overlay district



# Non-Zoning Recommendations

## Completed Projects



Dance Party, Taste of Cambridge, 2015 River Festival



## The Central Flea

Photos courtesy of: Kyle Klien Photography, CSBA, and New England Open Markets

# Small Plazas & Pocket Parks



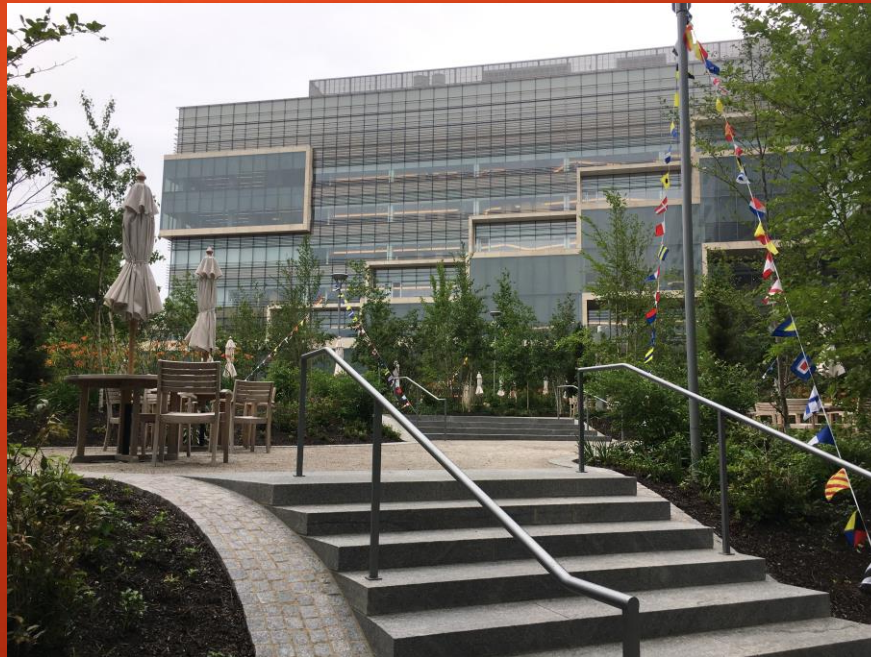
Bishop Allen & Main



Parking Lot 5



Parking Lot 5



Small Plazas &  
Pocket Parks  
Novartis Courtyard



Priority Streetscape and Active Edge Improvements



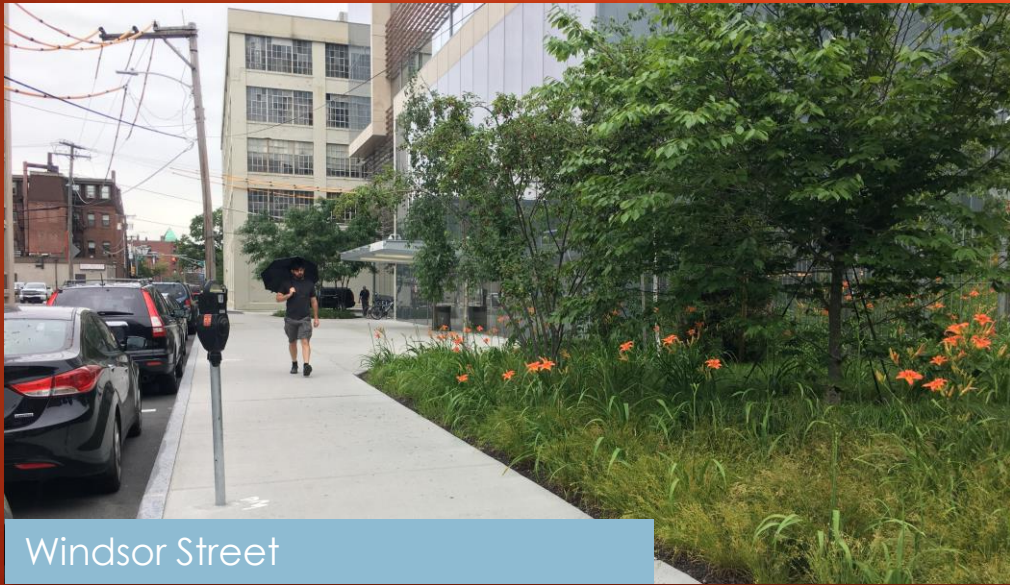




Windsor Street



Blanche Street



Windsor Street



Albany Street & Portland Street



# Non-Zoning Recommendations

Works In Progress