

DIMENSIONAL FORM

Project Address: 625 Massachusetts Ave., Cambridge **Application Date:** 9-17-2021

	Existing	Allowed or Required (max/min)	Proposed	Permitted
Lot Area (sq ft)	25,567 s.f.	None		
Lot Width (ft)	89.4'			
Total Gross Floor Area (sq ft)	16,823 s.f.			
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Floor Area Ratio				
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Dwelling Units				
Base Units				
Inclusionary Bonus Units				
Base Lot Area / Unit (sq ft)				
Total Lot Area / Unit (sq ft)				
Building Height(s) (ft)	21.2'			
Front Yard Setback (ft)	None			
Side Yard Setback (ft)	None			
Side Yard Setback (ft)	None			
Rear Yard Setback (ft)	None			
Open Space (% of Lot Area)				
Private Open Space				
Permeable Open Space				
Other Open Space (Specify)				
Off-Street Parking Spaces				
Long-Term Bicycle Parking				
Short-Term Bicycle Parking				
Loading Bays				

Use space below and/or attached pages for additional notes:

OWNERSHIP CERTIFICATE

Project Address: 625 Massachusetts Avenue

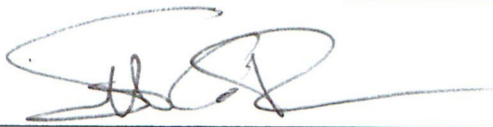
Application Date: 9/23/21

This form is to be completed by the property owner, signed, and submitted with the Special Permit Application:

I hereby authorize the following Applicant: Chase Villafana
at the following address: 320 Yonkers Avenue Yonkers NY 10701
to apply for a special permit for: Planet Fitness
on premises located at: 625 Massachusetts Avenue
for which the record title stands in the name of: 625 Mass Ave Owner, LLC
whose address is: c/o Lincoln Property Company, 53 State Street, Boston, MA 02109

by a deed duly recorded in the:

Registry of Deeds of County: Book: 69850 Page: 284
OR Registry District of the Land Court, Certificate No.: Book: Page:



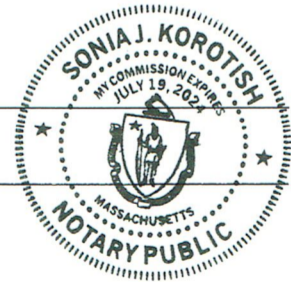
Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

To be completed by Notary Public:

Commonwealth of Massachusetts, County of Suffolk

The above named Scott Brawn personally appeared before me,
on the month, day and year Sept. 28, 2021 and made oath that the above statement is true.

Notary: Sonia J. Korotish
My Commission expires: July 19, 2024



FEE SCHEDULE

Project Address: 625 Massachusetts Ave. Cambric **Application Date:** 9-17-2021

The Applicant must provide the full fee (by check or money order) with the Special Permit Application. Depending on the nature of the proposed project and the types of Special Permit being sought, the required fee is the larger of the following amounts:

- If the proposed project includes the creation of new or substantially rehabilitated floor area, or a change of use subject to Section 19.20, the fee is ten cents (\$0.10) per square foot of total proposed Gross Floor Area.
- If a Flood Plain Special Permit is being sought as part of the Application, the fee is one thousand dollars (\$1,000.00), unless the amount determined above is greater.
- In any case, the minimum fee is one hundred fifty dollars (\$150.00).

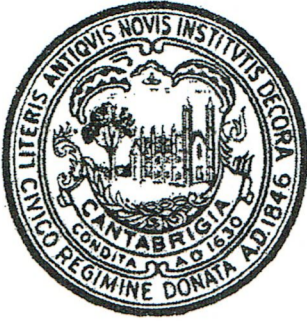
Fee Calculation

New or Substantially Rehabilitated Gross Floor Area (SF): 15,264 × \$0.10 =

Flood Plain Special Permit Enter \$1,000.00 if applicable:

Other Special Permit Enter \$150.00 if no other fee is applicable:

TOTAL SPECIAL PERMIT FEE **Enter Larger of the Above Amounts:**



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

CERTIFICATION OF RECEIPT OF PLANS BY CITY OF CAMBRIDGE TRAFFIC, PARKING & TRANSPORTATION

City Department/Office:

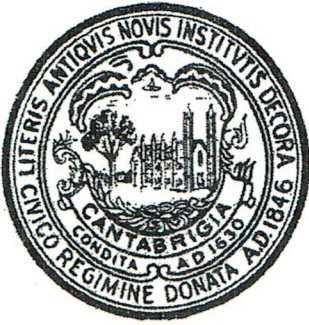
Project Address:

Applicant Name:

For the purpose of fulfilling the requirements of Section 19.20 and/or 6.35.1 and/or 5.28.2 of the Cambridge Zoning Ordinance, this is to certify that this Department is in receipt of the application documents submitted to the Planning Board for approval of a Project Review Special Permit for the above referenced development project: (a) an application narrative, (b) small format application plans at 11" x 17" or the equivalent and (c) Certified Traffic Study. The Department understands that the receipt of these documents does not obligate it to take any action related thereto.

Signature of City Department/Office Representative

Date



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

CERTIFICATION OF RECEIPT OF PLANS BY CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS

City Department/Office:

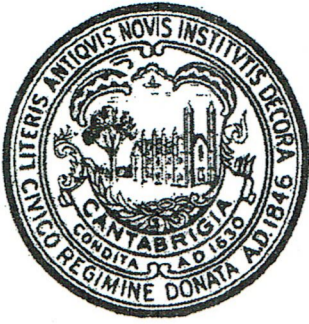
Project Address:

Applicant Name:

For the purpose of fulfilling the requirements of Section 19.20 of the Cambridge Zoning Ordinance, this is to certify that this Department is in receipt of the application documents submitted to the Planning Board for approval of a Project Review Special Permit for the above referenced development project: (a) an application narrative and (b) small format application plans at 11" x 17" or the equivalent. The Department understands that the receipt of these documents does not obligate it to take any action related thereto.

Signature of City Department/Office Representative

Date



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

CERTIFICATION OF RECEIPT OF PLANS BY CITY OF CAMBRIDGE TREE ARBORIST

City Department/Office:

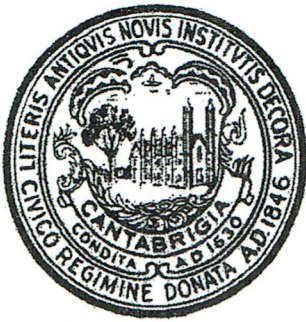
Project Address:

Applicant Name:

For the purpose of fulfilling the requirements of Section 4.26, 19.20 or 11.10 of the Cambridge Zoning Ordinance, this is to certify that this Department is in receipt of the application documents submitted to the Planning Board for approval of a MultiFamily, Project Review or Townhouse Special Permit for the above referenced development project: a Tree Study which shall include (a) Tree Survey, (b) Tree Protection Plan and if applicable, (c) Mitigation Plan, twenty one days before the Special Permit application to Community Development.

Signature of City Department/Office Representative

Date



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

CERTIFICATION OF RECEIPT OF PLANS BY CITY OF CAMBRIDGE WATER DEPARTMENT

City Department/Office:

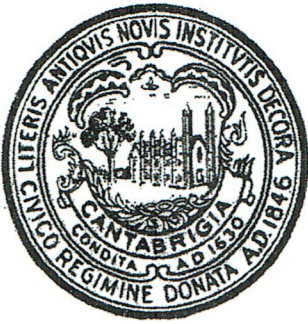
Project Address:

Applicant Name:

For the purpose of fulfilling the requirements of Section 19.20 of the Cambridge Zoning Ordinance, this is to certify that this Department is in receipt of the application documents submitted to the Planning Board for approval of a Project Review Special Permit for the above referenced development project: (a) an application narrative and (b) small format application plans at 11" x 17" or the equivalent. The Department understands that the receipt of these documents does not obligate it to take any action related thereto.

Signature of City Department/Office Representative

Date



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

CERTIFICATION OF RECEIPT OF PLANS BY CITY OF CAMBRIDGE LEED SPECIALIST

City Department/Office:

Project Address:

Applicant Name:

For the purpose of fulfilling the requirements of Section 22.20 of the Cambridge Zoning Ordinance, this is to certify that this Department is in receipt of the application documents submitted to the Planning Board for approval of a Special Permit for the above referenced development project: (a) an application narrative, (b) small format application plans at 11" x 17" or the equivalent and (c) completed LEED Project Checklist for the appropriate LEED building standard, accompanying narrative and affidavit. The Department understands that the receipt of these documents does not obligate it to take any action related thereto.

Signature of City Department/Office Representative

Date

September 17, 2021

To: City of Cambridge
Planning Board
City Hall Annex, 344 Broadway
Cambridge, MA. 02139

Re: Planet Fitness – 625 Massachusetts Ave. Cambridge MA.

To Whom it May Concern:

This intent of this letter is to serve as a project narrative for the proposed tenant improvement project located at 625 Massachusetts Ave, Cambridge MA. The proposed project is for a Planet Fitness gym. The existing 2 story building is currently zoned for “Business” and was formerly occupied by a Boston Sports Club Fitness facility.

Planet Fitness is seeking 24 hour operation to service the health needs of the neighborhood for those who cannot visit the fitness facility during standard business hours.

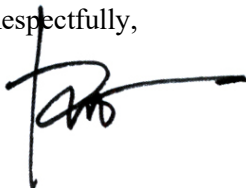
The tenant improvement scope of work is for interior non structural renovations only with façade signage.

The proposed project is in compliance with its current zoning category as it is unchanged from its previous use.

No landscape or parking modifications are being made in this proposal.

Please feel free to reach out our group if any further information is needed.

Respectfully,



Daniel K. Mullin, AIA, NCARB

Site Plan
 A. FRONT ELEVATION
 B. SIDE ENTRANCE



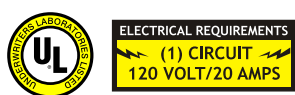
PROJECT ADDRESS
 625 Massachusetts Ave
 Cambridge, MA 02139

FILE NAME
 Planet Fitness_Boston, MA
 - 625 Massachusetts Ave -
 Cambridge

ACCOUNT REP.
 Nick M.
 631-356-7582

DESIGNER
 Kaitlyn P.

COMMENTS



FINAL ELECTRICAL CONNECTION BY CUSTOMER

ATTENTION
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I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF THE WORK TO BE PERFORMED THAT I APPROVE THIS PROJECT TO BEGIN.

CLIENT: _____
 SIGNATURE: _____ DATE: ____/____/____

LANDLORD: _____
 SIGNATURE: _____ DATE: ____/____/____



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 435 Brook Ave. Deer Park, NY 11729

Planet Fitness

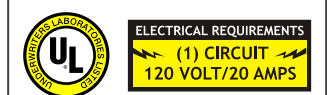
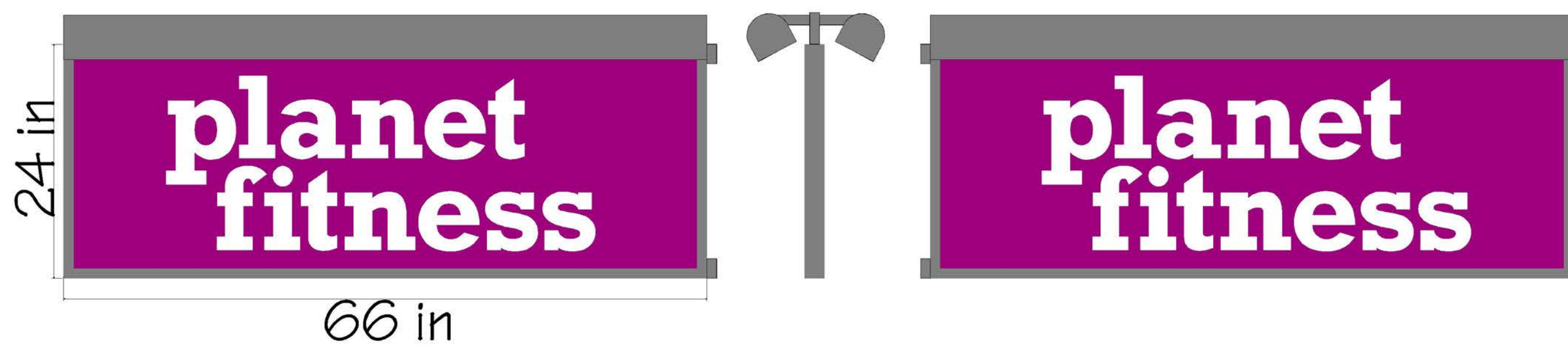
Boston, MA - 625 Massachusetts Ave - Cambridge

SR 6 08/19/2021

A. Front Elevation - Double-Sided Indirectly Illuminated Blade Sign
11.0 SF

Qty. 1

PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS



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LANDLORD: _____

SIGNATURE: _____ DATE: ____/____/____

SIGNATURE: _____ DATE: ____/____/____

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Page 5

A. Front Elevation
OPTION 2



PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS

ELECTRICAL REQUIREMENTS
(1) CIRCUIT
120 VOLT/20 AMPS

FINAL ELECTRICAL CONNECTION BY CUSTOMER

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SIGNATURE: _____ **DATE:** ____ / ____ / ____

LANDLORD: _____
SIGNATURE: _____ **DATE:** ____ / ____ / ____



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A. Front Elevation
OPTION 2



NIGHT
VIEW



PROJECT ADDRESS	625 Massachusetts Ave Cambridge, MA 02139
FILE NAME	Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.	Nick M. 631-356-7582
DESIGNER	Kaitlyn P.
COMMENTS	

	ELECTRICAL REQUIREMENTS (1) CIRCUIT 120 VOLT/20 AMPS
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FINAL ELECTRICAL CONNECTION BY CUSTOMER

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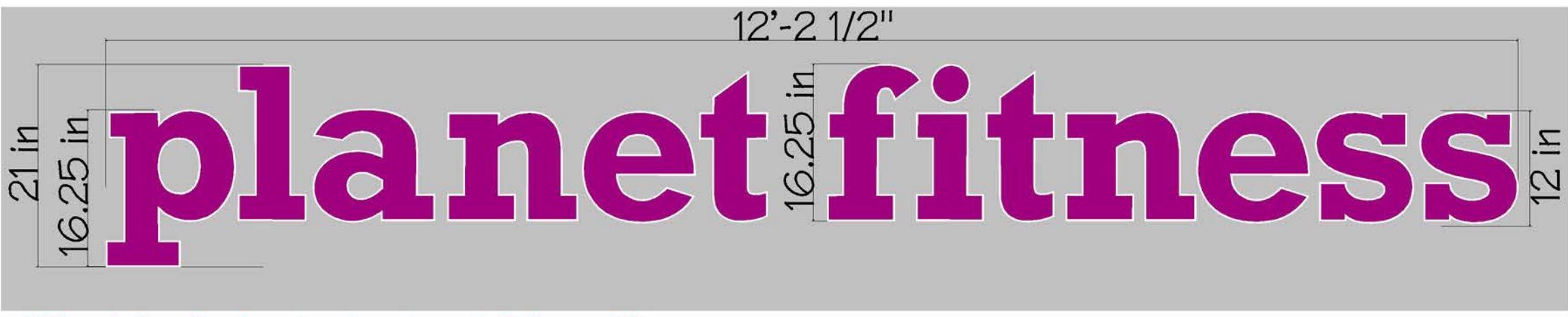
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CLIENT:		LANDLORD:	
SIGNATURE:		SIGNATURE:	
DATE:		DATE:	

A. Front Elevation - Indirectly Illuminated FCO Letters
TOTAL 21.5 SF

Qty. 1



Gray is for visual contrast, not part of signage.

OPTION 2



PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS

FINAL ELECTRICAL CONNECTION BY CUSTOMER

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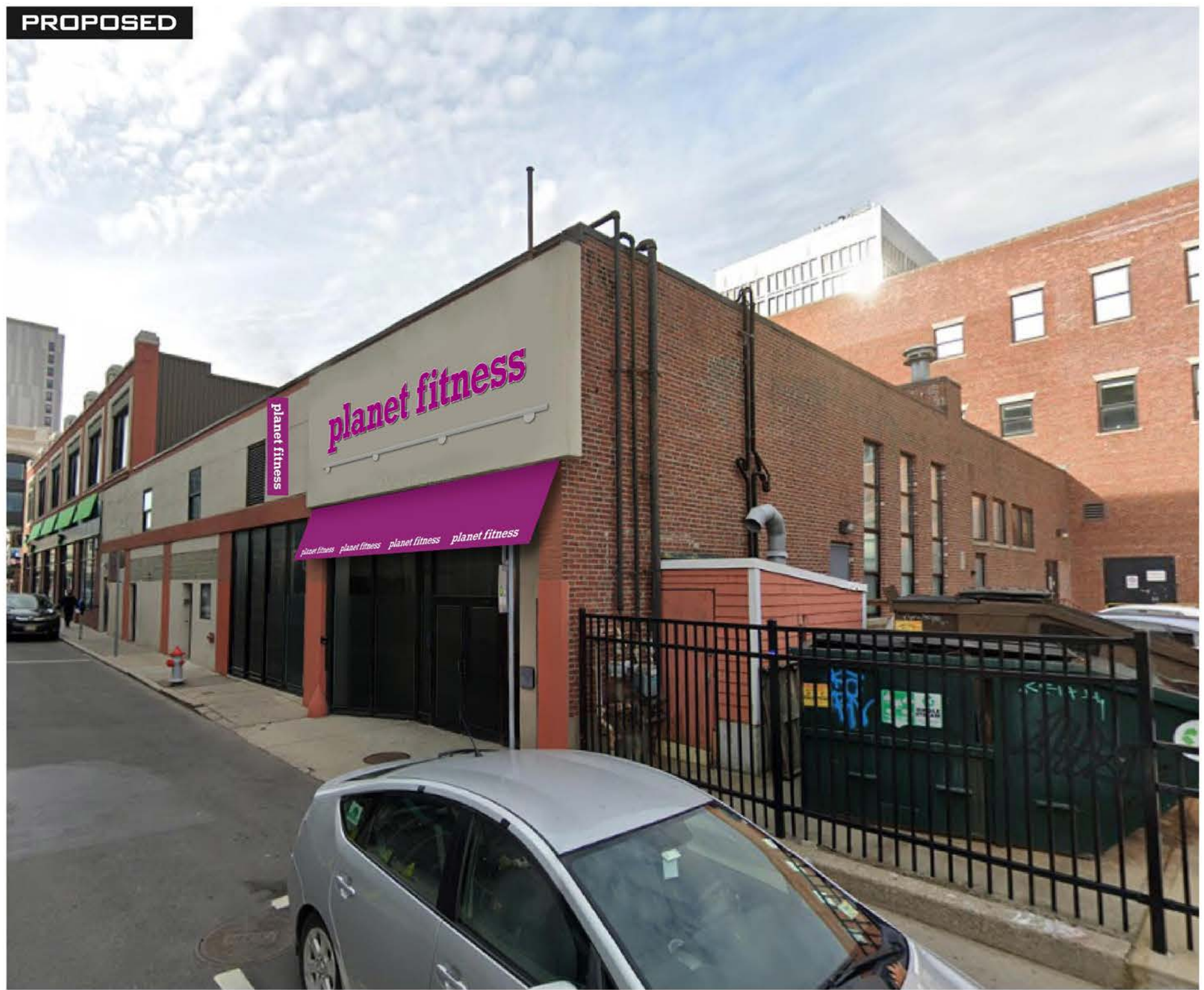
CLIENT: _____
 SIGNATURE: _____ DATE: ____/____/____

LANDLORD: _____
 SIGNATURE: _____ DATE: ____/____/____



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B. Side Elevation
OPTION 2



PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS

ELECTRICAL REQUIREMENTS (1) CIRCUIT 120 VOLT/20 AMPS

FINAL ELECTRICAL CONNECTION BY CUSTOMER

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SIGNATURE: _____ **DATE:** ____ / ____ / ____

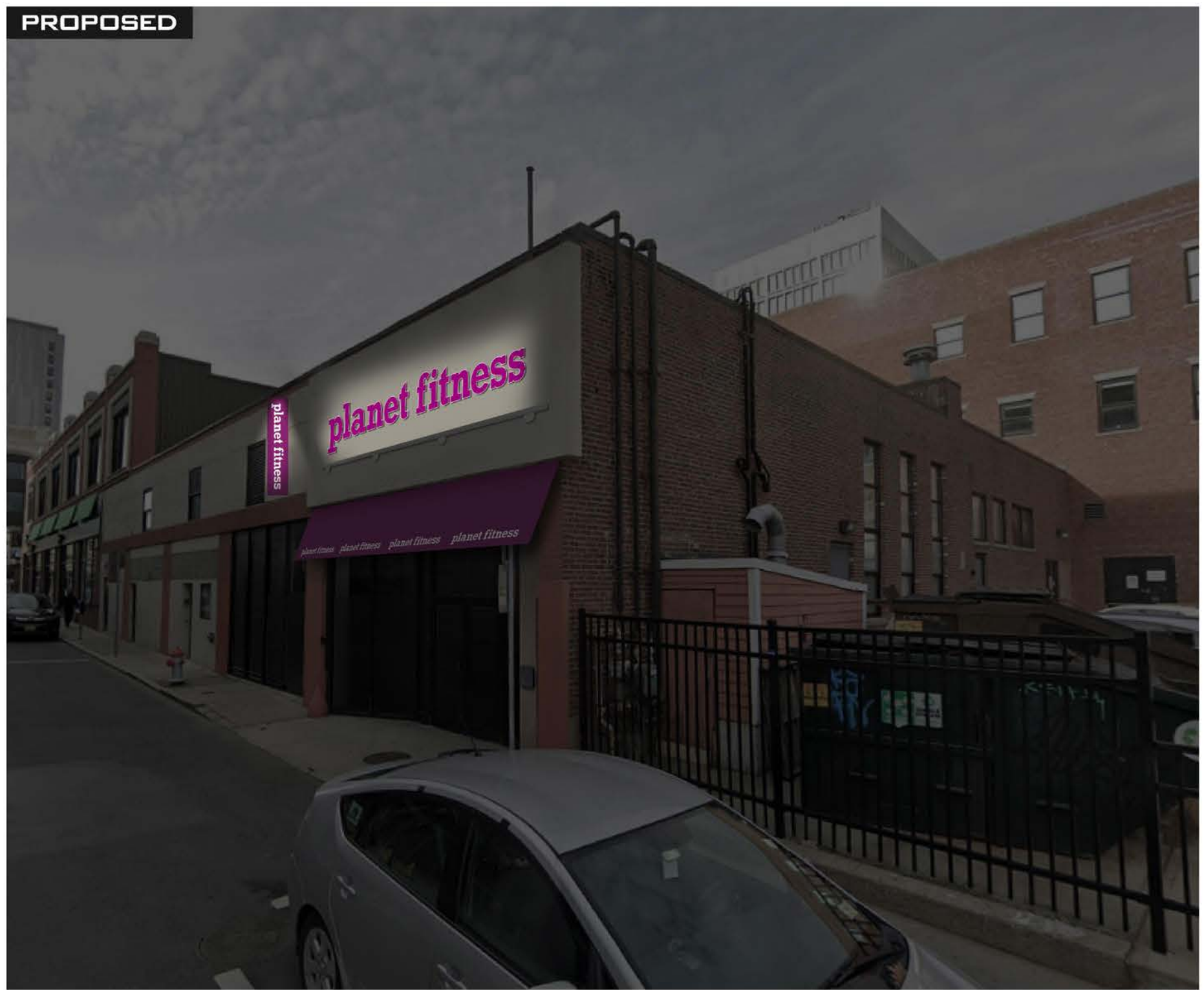
LANDLORD: _____

SIGNATURE: _____ **DATE:** ____ / ____ / ____



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B. Side Elevation
OPTION 2



NIGHT
VIEW



PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS

ELECTRICAL REQUIREMENTS
(1) CIRCUIT
120 VOLT/20 AMPS

FINAL ELECTRICAL CONNECTION
BY CUSTOMER

ATTENTION

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SIGNATURE: _____ **DATE:** ____ / ____ / ____

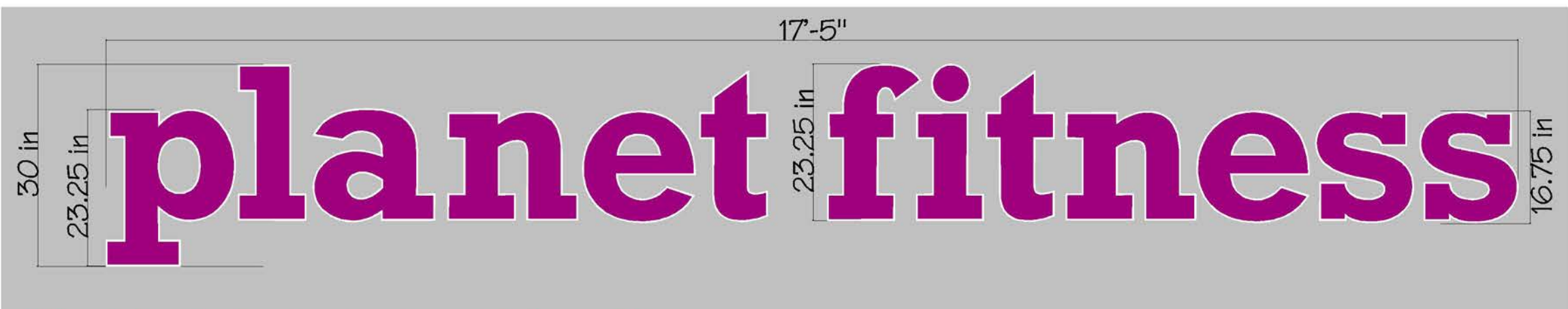
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Page 13

B. Side Elevation - Indirectly Illuminated FCO Letters
 TOTAL 43.5 SF

Qty. 1



Gray is for visual contrast, not part of signage.

OPTION 2



PROJECT ADDRESS	625 Massachusetts Ave Cambridge, MA 02139
FILE NAME	Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.	Nick M. 631-356-7582
DESIGNER	Kaitlyn P.
COMMENTS	

UL LISTED
ELECTRICAL REQUIREMENTS
 (1) CIRCUIT
 120 VOLT/20 AMPS

FINAL ELECTRICAL CONNECTION BY CUSTOMER

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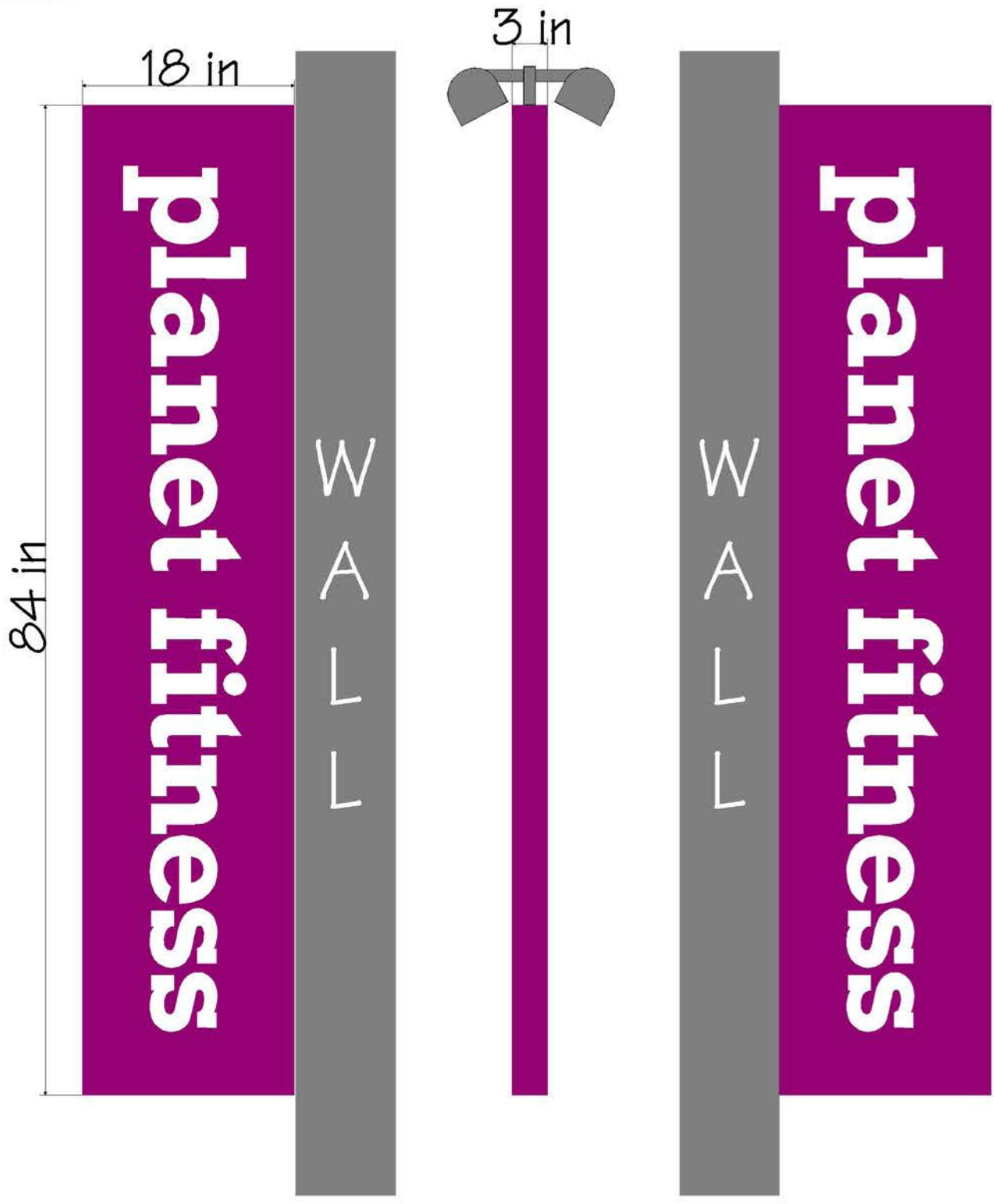
CLIENT: _____
 SIGNATURE: _____ DATE: ____/____/____

LANDLORD: _____
 SIGNATURE: _____ DATE: ____/____/____



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B. Side Elevation - Double-Sided Indirectly Lit Blade Sign
 10.5 SF Qty. 1



PROJECT ADDRESS
625 Massachusetts Ave Cambridge, MA 02139
FILE NAME
Planet Fitness_Boston, MA - 625 Massachusetts Ave - Cambridge
ACCOUNT REP.
Nick M. 631-356-7582
DESIGNER
Kaitlyn P.
COMMENTS

FINAL ELECTRICAL CONNECTION BY CUSTOMER

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 SIGNATURE: _____ DATE: ____/____/____

LANDLORD: _____
 SIGNATURE: _____ DATE: ____/____/____



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Planet Fitness

Boston, MA - 625 Massachusetts Ave - Cambridge

SR 6 08/19/2021

Front & Side Elevations - Non-Illuminated Awning
110.0 SF (each)

Qty. 2

PROJECT ADDRESS

625 Massachusetts Ave
Cambridge, MA 02139

FILE NAME

Planet Fitness_Boston, MA
- 625 Massachusetts Ave -
Cambridge

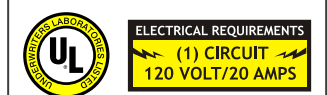
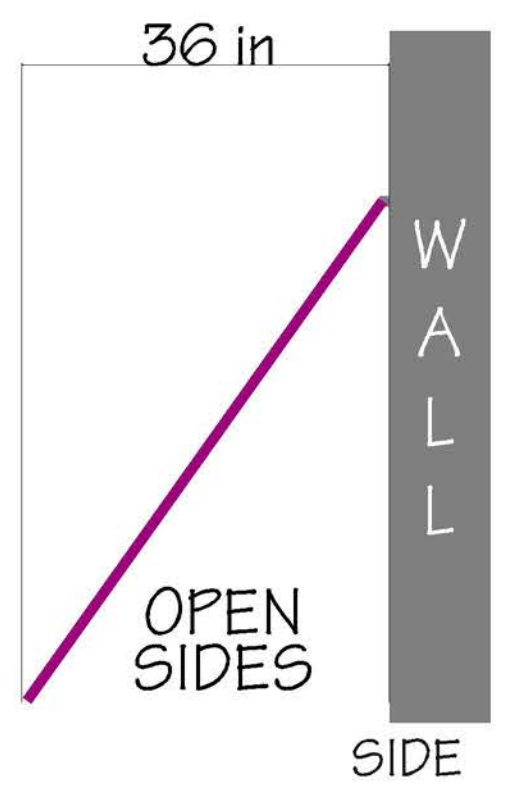
ACCOUNT REP.

Nick M.
631-356-7582

DESIGNER

Kaitlyn P.

COMMENTS



FINAL ELECTRICAL CONNECTION BY CUSTOMER

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CLIENT: _____

LANDLORD: _____

SIGNATURE: _____ DATE: ____/____/____

SIGNATURE: _____ DATE: ____/____/____



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435 Brook Ave. Deer Park, NY 11729

General Notes

- By executing the bid and contract, the contractor represents that he has visited the site, familiarized himself with the local conditions, codes and requirements under which the work is to be performed and correlated to his observations with the requirements of the contract documents. This shall be done prior to bid. Provide sealed bid.
- The intent of the bid contract is to include all items necessary for the proper execution and completion of the work. The contract documents are complimentary, and what is required by one shall be as binding as if required by all. Work not covered in the contract documents will not be required unless it is consistent therewith and is reasonably inferable therefrom as being necessary to produce the intended results. Words and abbreviations which have well known technical or trade meanings are used in contract documents in accordance with such recognized meanings.
- The drawings and specifications are intended to be fully explanatory and supplementary. However, should anything be shown, indicated or specified on one and not the other, it shall be done. All drawings should be read in conjunction with the engineers drawings.
- Should either the drawings and the specification, or any particular specification, and general conditions contract each other in any point, or require clarification, the contractor must call the same to the attention of the architect, and his decision should be obtained prior to the submission of bids, otherwise the architect's interpretation will govern the performance of the work and no allowance shall be made on behalf of the contractor for error or negligence on his part in this connection. The contractor shall bear all costs due to his errors and/or omissions prior to bid.
- Prospective contractors and subcontractors shall secure all data at the site of the proposed construction, such as existing condition, convenience of receiving and storing materials, location and adequacy of utilities and other information which will have a bearing on making their proposals or on the execution of the work if awarded the contract, and no allowance will be made for failure of the contractor to obtain such on-site information prior to bidding.
- Should any error or inconsistency appear in the drawings or specifications, the contractor, before proceeding with the work, must clearly bring the same to the attention of the architect for proper adjustment, and in no case proceed with the work uncertainly nor with insufficient drawings.
- The contractor and each subcontractor shall be responsible for verification of all site measurements of the proposed construction building site. No charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the drawings. Any such discrepancy in dimensions which may be found shall be submitted to the architect for his consideration before the contractor proceeds with the work in the affected area.
- Contractor shall follow sizes in specifications or figures on drawings in preference to scale measurements and follow detail drawings in preference to general drawings and follow actual field conditions.
- Where it is obvious that a drawing illustrates only part of a given work, which is repeated on a number of items, the remainder shall be deemed repetitious and so constructed.
- Contractor shall not proceed with detailing, fabrication or construction of any work connected with or dependent on equipment furnished by "owner" or "other contractors" until he/she has obtained approved equipment specifications from owner or architect. Contact owner or architect for current information.
- All work completed by any contractor on this project shall be done in accordance with state building codes, local by-laws and regulations of the governing authorities and all other authorities having jurisdiction over the building. The contractor is responsible for knowledge as such prior to bid.
- All work to comply with owner requirements. Contractor to hand over building to owner in clean condition and to the satisfaction of the owner.
- Design Build Contractors are fully responsible for their own work in terms of, but not limited to: All codes, dimensions, coordination with other trades, and all applicable municipal and other governing approvals. Each trade is responsible for the daily removal of debris.
- Contractors shall verify locations and adequacy of all utility lines, sanitary sewer lines, and water lines prior to bid and construction and contact the Architect with any discrepancies between drawings and actual field verifications.
- Contractor shall verify exact dimensions of entire building and site prior to any layout, construction or installation of any equipment. Any dimensional discrepancies that would prohibit any item or piece of equipment from being located or installed as indicated on plan or in specification must be made known to the Architect immediately.
- Contractor to coordinate and schedule shipment of fixtures and equipment with material suppliers. Each week the Contractor shall submit a written receiving report with a copy of all packing tickets. Report shall include all equipment that is damaged, omitted, or not in accordance with plans and/or specifications.
- Contractor is responsible for receiving, unloading, and storage of owner-furnished items. Contractor is to verify that all equipment (fixtures, boxes, etc.) is in accordance with packing list, equipment schedule and/or specifications and being located or installed as indicated on plans or in specifications. Contractor will be held responsible for any missing or damaged owner-supplied fixtures/equipment and redelivery of the same.
- Provide solid blocking behind all wall-mounted fixtures, including but not limited to shelving, sinks, first aid kit racks, grab bars, dispensers, etc.
- Contractor shall be responsible for the installation of a job site phone as soon as practically possible and immediately notify architect by fax at (208) 892-8533 or owner of job site phone number.
- All wood and wood products used throughout the construction of this building area to have moisture content of no more than 19% and shall meet certified Forestry Stewardship Criteria (FSC).
- All interior finishing materials to have a flame spread rating no greater than 200, unless local code specifies other requirements.
- All interior finishing materials to have a smoke density no greater than 450, unless local code specifies other requirements.
- Contractor shall provide insurance per owner's requirements and bear proof upon request without delay.
- Punch list to be completed at owner's convenience, typically within 3 days upon receipt of punch list. Apply for final payment within 30 days using standard Certificate of Substantial Completion. Final waivers of lien from the general contractor and all subcontractors must be submitted with final application for payment.
- Contractor shall be responsible for independent air balance report to be submitted with final application for payment.
- Contractor shall conform to all current Federal Glazing Specifications, C.P.S.C. Glazing Requirements, and all State and local codes having jurisdiction.
- Provide all access panels as required for the maintenance, inspection and servicing of all equipment and systems.
- Contractor shall take extreme caution not to place electrical outlets behind or under drawer bases, drains, or any other obstacles/objects which may restrict the use of electrical outlets, (See Electrical Plan).
- Fire extinguishers to be provided within the space as required by all authorities having jurisdiction. Contact Architect at (208) 892-8433 to confirm locations as noted on plans.
- These drawings and copies thereof are legal instruments of service for use of the Owner only. Each trade shall be held responsible for knowledge of the General Notes included throughout the contract documents and the applicable building codes.
- General Contractor to schedule a Pre-Construction Meeting with Architect and submit all required Certificates of Insurance and Bonds, prior to commencement of any construction work (demolition included).
- All permits and inspection fees to be obtained by and paid for by the G.C. Signage permits to be obtained by the G.C.
- Building department approved drawings and all job copies of the building project and fire system plans and permits must be on site at all times.
- Absolutely no asbestos containing floor tile, floor mastic, roofing mastic, or other building materials may be installed in or on the premises.
- Drawings and specifications shall be considered together.
- All Change Orders to be reviewed by Architect and Tenant prior to Approval.

SHEET INDEX

Sheet	Sheet Name
ARCHITECTURAL	
T1.0	Titl Sheet
D1.0	Demolition Plan
EG1.0	Egress Plan
A1.0	Floor Plan
A1.1	Enlarged Locker/Shower Plan & Elevations
A1.2	Enlarged Black Card Spa Plan & Elevations
A1.3	Wooll Details
A1.4	Floor Finish Plan
A2.0	Reflected Ceiling Plan
A3.0	Equipment Plan & Door/Window Schedule
A3.1	Equipment Schedules
A4.0	Exterior/Interior Elevations
A4.1	Interior Elevations
A4.2	Interior Elevations
A4.3	Details/Finish Schedule
A5.0	Accessibility Details
A6.0	Millwork Details
A6.1	Scffit Details
S1.0	Specifications

MECHANICAL-ELECTRICAL-PLUMBING (MEP)	
MD.1	Mechanical Roof Plan and Schedules
M1.0	Mechanical Plan
M1.1	Mechanical Details and Notes
E1.0	Power Plan
E1.01	Partial Power Plan
E1.1	Lighting Notes & Schedules
E1.2	Lighting Plan
E2.0	Electrical Riser
E2.1	Panel Schedules 120/208 Elect. Service
E2.2	Panel Schedules 120/208 Elect. Service
P1.0	Plumbing Waste Plan
P1.1	Plumbing Plan
P1.2	Plumbing Details and Specifications
P2.0	Gas Plan
ME1	MEP Specifications

Code Data

All work is to conform to the requirements of the current International Building Code and any current state and/or city amendments. These codes are to take precedence over the drawings and specifications.

Codes
 Massachusetts State Building Code 780 CMR, 9th edition*
 *2015 International Building Code w/ modifications and amendments
 *2015 International Existing Building Code w/ modifications and amendments
 *2018 International Energy Conservation Code w/ modifications and amendments
 *2015 International Mechanical Code w/ modifications and amendments
 *2015 International Fire Code w/ modifications and amendments
 Massachusetts Uniform State Plumbing Code 248 CMR, 10.00
 Massachusetts Fire Code 527 CMR 1.00*
 *2015 National Fire Prevention Association w/ modifications and amendments
 Uniform State Plumbing Code 248 CMR 10.00
 Massachusetts Electrical Code*
 *2017 National Electrical Code w/ modifications and amendments
 Massachusetts Access for persons w/ Disabilities 521 CMR
 City of Boston, MA Municipal Code and Local Amendments, 2010 Americans w/Disabilities Act.

Scope of Work Narrative

This projects scope of work includes but is not limited to the following items.
 - Leveling of existing floor slabs as req'd.
 - New drop ceiling and fixtures per plans.
 - New finishes per plans, patch, repair & prepare existing slabs, partitions, doors & misc. as req'd. b/p.
 - New partial Mechanical, Electrical, and Plumbing work per plans.
 - New exterior signage to be permitted separately.
 - Modification of existing sprinkler and FA systems.

Building Type

Type II-B, Fully Sprinklered, Three Story

Occ. Group

A-3, Assembly

Occupant Allowable Area/ Height	Max:	Existing:
Allowable Height per 2015 IBC 504.3	75'	± 55'
Allowable Stories above grade per 2015 IBC 504.4	3 Stories	3 Stories
Allowable Area per 2015 IBC 506.2	38,000 Sq. Ft.	17,449 Sq. Ft.

Occupant Load Calculation	Second Level	SF	Load Factor	Occupants
Fitness Area	9,886	1 : 50	198	
Storage	296	1 : 300	1	
Locker Rooms/Showers	2,116	1 : 50	42	
Business/Black Card Spa	2,221	1 : 100	23	
Total Square Feet	14,519		263	
Required Exit Width (.20 x Total Occupants)			61.4"	
Provided Exit Width			108"	
Required Number of Exits			2	
Provided Number of Exits			2	
Required Stair Width (.30 X Exit Occupant Load)			78.9"	
Provided Stair Width			112"	

Occupant Load Calculation	Street Level	SF	Load Factor	Occupants
Business	745	1 : 100	8	
Total Square Feet	745		8	
Required Exit Width (.20 x Total Occupants)			1.6"	
Provided Exit Width			108"	
Required Number of Exits			2	
Provided Number of Exits			2	

Abbreviations

A.F.F. = ABOVE FINISH FLOOR
 (E) = EXISTING
 E.A. = EACH
 F.O.F. = FACE OF FINISH
 G.A. = GAUGE
 G.C. = GENERAL CONTRACTOR
 O.P.F. BD. = O.P.SUM BOARD
 L.L. = LANDLORD
 (N) = NEW
 W./ = WITH

O.C. = ON CENTER
 R.O. = ROUGH OPENING
 S.O.H. = SIMILAR OPPOSITE HAND
 TYP. = TYPICAL
 U.N.O. = UNLESS NOTED OTHERWISE
 V.I.F. = VERIFY IN FIELD
 MANUF. = MANUFACTURER
 MECH. = MECHANICAL
 STRUCT. = STRUCTURAL
 ELEC. = ELECTRICAL

Plumbing Load Calculation

Plumbing Fixture Count	2015 Mass. UPC	Provided
Water Closets	MALE 1:125=2 FEMALE 1:65=3	2 Mens, 4 Womens 2 Mens, N/A Womens
Urinals	N/A	4 Mens, 4 Womens
Lavatories	1:200=1	1
Drinking Fountains	1:500=1	1
Showers	N/A	4 Mens, 4 Womens
Other Fixtures	1 Service Sink	2

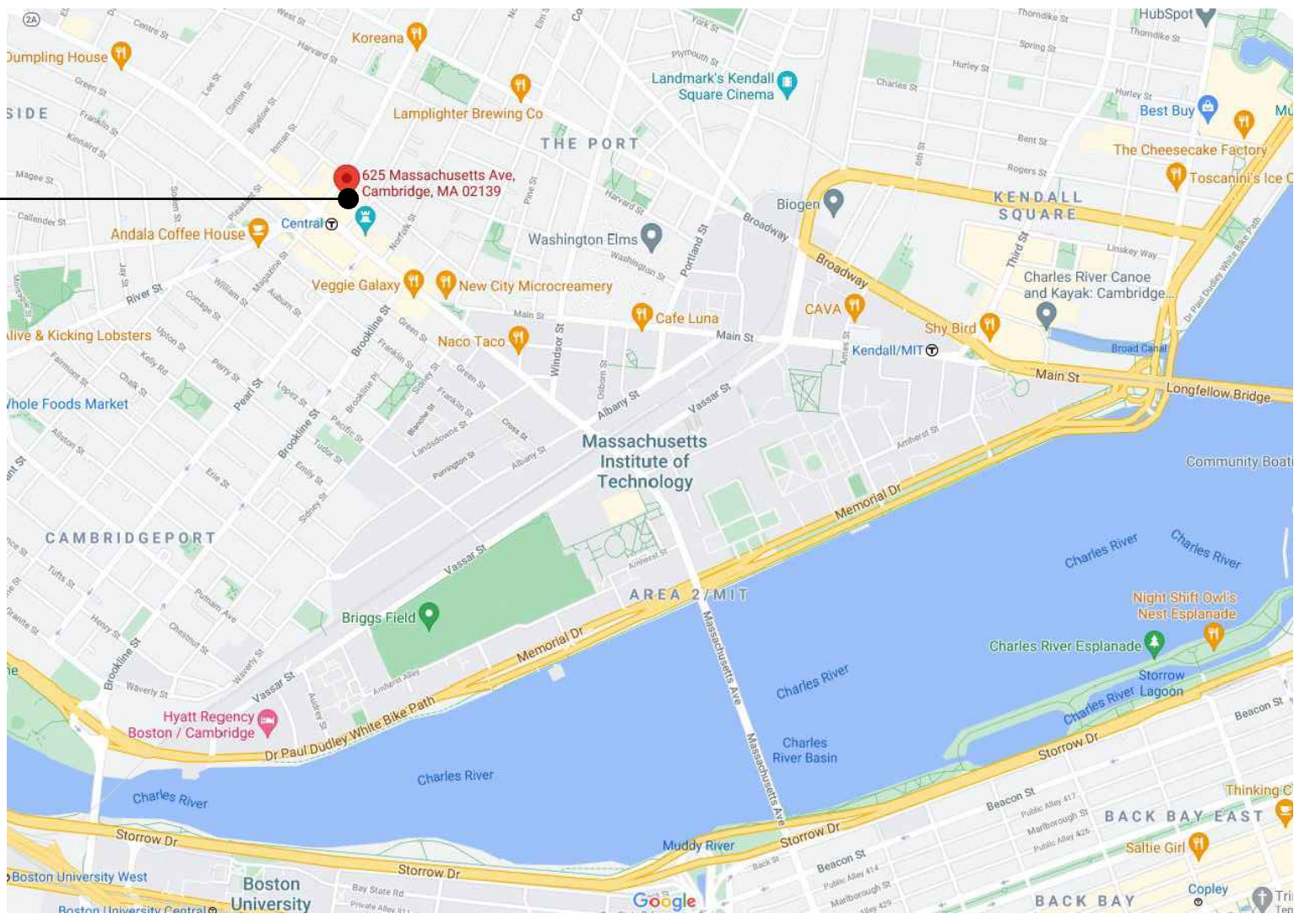
Plumbing Fixture Count

Plumbing Fixture Count	2015 Mass. UPC	Provided
Water Closets	MALE 1:125=2 FEMALE 1:65=3	2 Mens, 4 Womens 2 Mens, N/A Womens
Urinals	N/A	4 Mens, 4 Womens
Lavatories	1:200=1	1
Drinking Fountains	1:500=1	1
Showers	N/A	4 Mens, 4 Womens
Other Fixtures	1 Service Sink	2

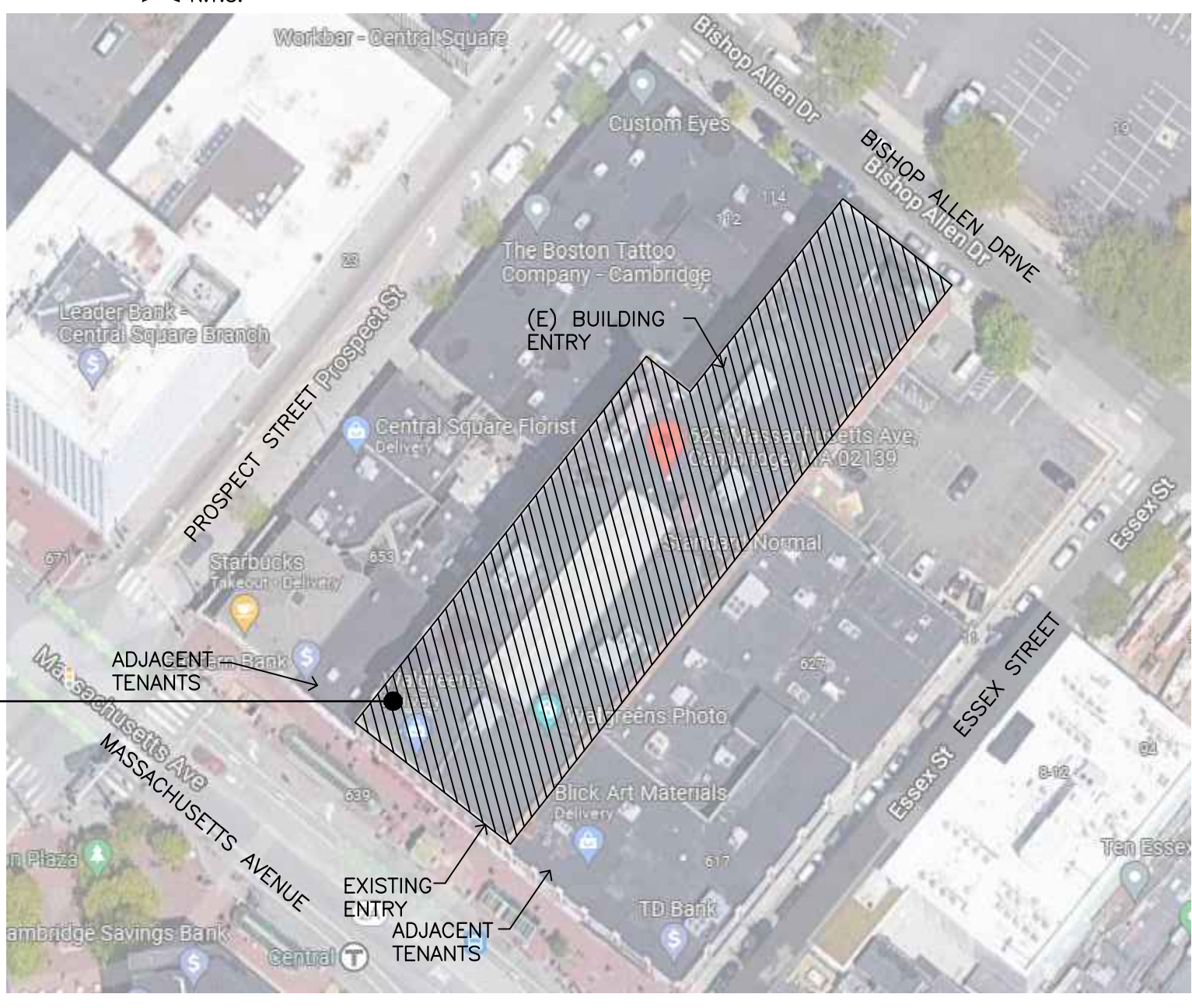
Project Teams

Franchise	Planet Fitness 4 Liberty Lane West Hampton, NH 03842 Phone (603) 750-0001 Fax (603) 750-0004 Contact(s) Allan Buell	Franchisee	PF Supreme 3220 Park Center Dr. Costa Mesa, CA 92626 Phone (516) 459-9325 Email chase@pfsupreme.com Contact(s) Chose Vilafano
Landlord	Planet Fitness 625 Massachusetts Avenue City Cambridge, MA 02139 Phone (516) 459-9325 Email chase@pfsupreme.com Contact(s) Chose Vilafano	Project Location	Planet Fitness 625 Massachusetts Avenue City Cambridge, MA 02139 Phone (516) 459-9325 Email chase@pfsupreme.com Contact(s) Chose Vilafano
M.E.P. Engineers	Saarem Engineering 2188 Alfred Way Carson City, NV 89703 Phone (775) 772-9846 Contact(s) Dove Saarem	Architect	DKMullin Architects 377 South Main Street Moscow, Idaho 83843 Phone (208) 892-8433 Fax (208) 892-8533 Celeste Haase Celeste@dkmullin.com

Vicinity Map



Site Plan



SCOPE OF WORK (●) = Verify in Field T = Tenant C = Contractor L = Landlord V = Vendor E = Existing

ITEM	REMARKS	Furnish By		Install By	
		T	C	L	V
Sub Floor		●	●	●	●
Interior Partition Metal Studs	Partial Existing - See Plans - Patch and repair as Req'd	●	●	●	●
Storefront/Storefront Glazing	Reuse Existing	●	●	●	●
Interior Signage (Storefront, Pylon, Etc.)	G.C. to Provide Power and Coordinate install w/ Sign Vendor	●	●	●	●
Tile	New - See Plans. Verify w/ Tenant prior to order and install	●	●	●	●
Rubber Flooring	New - See Plans. Verify w/ Tenant prior to order and install	●	●	●	●
Rubber Base	New - See Plans. Verify w/ Tenant prior to order and install	●	●	●	●
Point Finishes	New - See Plans. Verify w/ Tenant prior to order and install	●	●	●	●
Wallcovering - Wainscot/FRP	New - See Plans. Verify w/ Tenant prior to order and install	●	●	●	●
Wallcovering - Vinyl Graphics	Refer to Finish Legend, G.C. to coord. install w/ Vendor & Tenant	●	●	●	●
Partitions Toilet/Urinal/Changing Room	G.C. to Verify Preferred Vendor w/ Tenant	●	●	●	●
Ceiling (2x2 & 2x4 Suspended)	N/A	●	●	●	●
Gypsum Board	New - See Plan	●	●	●	●
Exterior Doors and Hardware	Existing to Remain. See Plans	●	●	●	●
Interior Doors and Hardware	See Door & Hardware Schedule	●	●	●	●
Fire Alarm Panel/System	Verify Existing G.C. to Coord. Design & Install w/Fire Alarm Sub	●	●	●	●
Fire Sprinkler System	Verify Existing G.C. to Coord. Design & Install w/Fire Sprinkler Sub	●	●	●	●
Sanitary Sewer To Demised Space	Existing to remain	●	●	●	●
Water To Demised Space	Existing to remain	●	●	●	●
Supply and Waste Lines, Valves, Fittings	See Plumbing Plans	●	●	●	●
Fixtures and Equipment	New - See Plan	●	●	●	●
Gas Service	Verify Existing, upgrade as required	●	●	●	●
Gas Lines & Regulators	Verify Existing, upgrade as required	●	●	●	●
Exhaust Fans	New - See Mech.	●	●	●	●
Ductwork and Diffusers	New - See Mech.	●	●	●	●
H.V.A.C./Condensing Unit	New - See Mech. and Verify w/ Tenant	●	●	●	●
Control and Low V Wiring	If Required	●	●	●	●
Roof Work	Patch & Repair (E) curbs & see mech for additional curbs req'd	●	●	●	●
Air Balancing	If Required	●	●	●	●
Main Service Conduit	Existing to be Reused - See Electrical	●	●	●	●
Main Service Wiring	Existing to be Reused - See Electrical	●	●	●	●
Panel Board(s)	Partial New - See Electrical	●	●	●	●
Switches, Outlets, Conduit	New - See Electrical	●	●	●	●
Light Fixtures / Lamps	Provided by Tenant, Installed by G.C.	●	●	●	●
Low Voltage	Verify Low Voltage Transformer(s)	●	●	●	●
Equipment, Wiring and Connections	Partial New - See Electrical	●	●	●	●
Transformer	Partial New - See Electrical	●	●	●	●
Telephone Feed	Reuse Existing if Possible	●	●	●	●
Telephone in Store Wiring	Jacks to be R/11 (4 Pk. per Jack)	●	●	●	●
Telephone Service	New 5 Lines, Verify Location w/ Tenant	●	●	●	●
Cat 5 Wiring	Coord. all Cat 5 requirements w/ Tenant prior to bid	●	●	●	●
Workout Equipment	Refer to Equipment Schedule/Owner	●	●	●	●
Televisions	Furnish & Install (after workout equipment is set), Verify w/Tenant	●	●	●	●
Mirrors	Furnish & Install, Build-outs as req'd, See Floor Plan, Equipment Plan, & Elevations, Verify w/Tenant	●	●	●	●
Cabinetry - Front Desk, Vanities	Furnish & Install, Front Desk, Vanities, and all Countertops, Provide power & data as req'd, See A6.0, Verify w/Tenant	●	●	●	●
Locker Room Benches / Accessible Benches	Furnish & Install, See A3.0 & A5.0, Verify w/Tenant	●	●	●	●
Accessible Benches - Changing Rooms	Furnish & Install per Detail Sheet A5.0, Verify w/Tenant	●	●	●	●
Lockers	Furnish & Coordinate install w/Vendor - Verify w/Tenant	●	●	●	●
Trash Barrels & Accessories	Furnish & Install (after workout equipment is set), Verify w/Tenant	●	●	●	●
Link Alarm Siren, Light & Graphic	G.C. to Provide Power and Install, Verify w/ Tenant	●	●	●	●
Speakers & Sound System	G.C. to coord. install w/ Vendor, Verify w/Tenant	●	●	●	●
Furniture - Chairs, Tables, Stools	Furnish & Install (after workout equipment is set), Verify w/Tenant	●	●	●	●
Massage Chairs	G.C. to Provide Power	●	●	●	●
Hydromassage Beds & Accessories	G.C. to Provide All Req'd Electrical Connections	●	●	●	●
Tanning & Redlight Booths/Beds	G.C. to Provide All Req'd Electrical Connections	●	●	●	●
Beverage Coolers	G.C. to Coordinate Framed Opening and Elec. Req'ments, Verify w/Tenant	●	●	●	●
Computers & Accessories	G.C. to Provide All Req'd Electrical/Data Connections, Verify w/Tenant	●	●	●	●

Note:
 -G.C. to Verify w/ Landlord Representative who will Provide Water/ Sanitary Sewer and Power to Demised Space if Such Services do not Exist.
 -G.C./Tenant Shall Review w/ Landlord Representative the Most Recent Letter of Intent (LOI) or Lease Exhibit for Clarification of Responsibilities Prior to Bid

VENDOR LIST

ITEM	VENDOR	CONTACT	PHONE	EMAIL
BEVERAGE COOLERS & BOTTLED BEVERAGES	JOHN BALL	JOHN BALL	(718) 586-2387	johnb@jballco.com
PLANET FITNESS BRANDED WATER	PRIVATE LABEL	RAY DUHAME	-	ray@pfspecialties.com
RETAIL SNACKS	MISLE FOODS	MIKE BANISH	(877) 444-4872	mike@mislefoodsusa.com
RETAIL PROMOTIONAL/BRANDED SUPPLIES	SEA	CHRIS BRINER	-	chris@seainc.com
MUSIC SERVICES, CLUB RADIO	ROCKSHOT	LUKAS PRASSINOS	(415) 813-6020 x36	lukas@rockshot.com
TELEVISIONS	DIRECT TV	DIRECT TV	(800) 441-3436	direct@directv.com
CLUB TELEVISIONS; BOXES ON CARDIO MACHINES	MTE ENTERTAINMENT	JARUN/TONY GARCIA	(661) 964-0217	tony@mytnc.com surd@mytnc.com
WINDUP CLUB YOYO	PANSPIN	GARLTON SODROO	(800) 441-3436	planetfitness@panspin.com
TELEVISION SERVICES	DIRECT TV	DIRECT TV	(800) 441-3436	direct@directv.com
UTILITIES MULTI SERVICE	ENGE	TONY PANOLFO	(770) 872-4604	tpanolfo@enge.com
HAND DRYERS/BATHROOM FIXTURES/ADA BENCHES	NEWTON DISTRIBUTING COMPANY	DANA D'AGOSTINO	(877) 837-7745	dona@newtondistributing.com
CHANGING ROOM STATIONS	WELME EQUIPMENT	WELME EQUIPMENT	-	www.newtondistributing.com
BATHROOM PARTITIONS	HOLLMAN	DANN ALDRICH	(972) 815-4088	daldrich@hollman.com
SHOWER TILE	KORR - SCHULTER	JOE MCGOVERN	(888) 322-1688 x4881	jmcgovern@schuler.com
TANNING ACCESSORIES	FOUR SEASONS	WELISSA GALLON	(770) 854-2534 x2547	welissa@fourseasonstanning.com
TANNING CREAMS/INTERNAL SERVICE - IT	LEWIS HENRY	LEWIS HENRY	(800) 488-5234	lewis.henry@lewis-henry.com
PLUS SYSTEM - IT	NEW SUNSHINE	JASON BROOKS	(317) 690-5883	jbrosks@ustronlland.com
REMEDATION AND CLUB BUILDS - IT	PT. IT	PT. CONTACT PM	(603) 750-0001	planetfitness@ptit.com
AMENITY TRACKING SYSTEM	ARC FINANCIAL SERVICES, INC.	KEITH LANSBURG	(921) 904-4817	keith.lansburg@arcfinancial.com
ENERGY EFFICIENCY/HVAC CONTROLS	SENSIBLE DATA SYSTEMS, INC.	RAY WILLIAMS	-	rwilliams@sensible.com
ENERGY SAVINGS REBATES	RADIANCE	BOB DUGGAN	-	bob.duggan@radiance.com
REBATES/INCENTIVES	ENERGY EFFICIENCY/HVAC CONTROLS	PAUL LASKOW	(913) 565-2508	plaskow@energyefficiency.com
EXERCISE WORKOUT EQUIPMENT	MANAGED ENERGY SYSTEMS	LEAH BATISTA	(603) 750-0001 x302	

EQUIPMENT SCHEDULE (IMPORTANT NOTE: EQUIPMENT SUBJECT TO CHANGE. G.C. TO CONFIRM EQUIPMENT WITH TENANT PRIOR TO CONSTRUCTION)												
T = TENANT E = EXISTING L = LANDLORD GC = GENERAL CONTRACTOR M = MANUFACTURER OR SUPPLIER V = VENDOR NA = NOT APPLICABLE												
MARK	QUANTITY	ITEM DESCRIPTION	MANUFACTURER/SERIES	MODEL NUMBER	FURNISHED BY	INSTALLED BY	SIZE				EQUIPMENT WEIGHT	MAXIMUM USER WEIGHT
							WIDTH	DEPTH	LENGTH	HEIGHT		
CARDIO												
E01b	35	TREADMILL 900 MHZ	MATRIX	TSX-4PL-PF	T	M	29.2"	70"	68.5"	442LB	400LB	
E02b	30	ELLIPTICAL 900 MHZ	MATRIX	ESX-4PL-PF	T	M	29.2"	70"	68.5"	398LB	400LB	
E03b	10	(ARC TRAINER) ASCENT 900 MHZ	MATRIX	ASX-4PL-PF	T	M	29.2"	70"	68.5"	398LB	400LB	
E05b	6	CLIMBER 900 MHZ (STEPMILL)	MATRIX	CSX-4PL-PF	T	M	33.5"	65"	83.5"	370LB	400LB	
E06b	2	ROWER	MATRIX	ROWER-SPL-PF	T	M	21.5"	87.6"	38.9"	121LB	350LB	
E07b	5	RECLINING BIKE 900 MHZ	MATRIX	RX5-4PL-PF	T	M	26"	67"	51.5"	211LB	400LB	
E08b	5	UPRIGHT BIKE 900 MHZ	MATRIX	UX5-4PL-PF	T	M	25.7"	59.2"	55.1"	195.3LB	400LB	
E09b	1	RECLINING STEPPER	SCOTT STEPONE	SONE04-PF-4PL-PF	T	M	30"	66"	48"	273LB		
E010a	1	UPPER BODY ERGOMETER	SCOTT PRO1000	PRO1033-PF-4PL-PF	T	M	30"	61"	62"	215LB		
		* MATRIX RECEIVER	MATRIX	MC3R-980X-PF	T	M						
STRENGTH												
E020a	3	10-PAIR RUMBLEL RACK	MATRIX/AURA	GF3W91-SPL-PF	T	M	27.8"	110.9"	32.4"	287LB		
E021b	1	ADJUSTABLE DECLINE BENCH	MATRIX/AURA	GF3W83-SPL-PF	T	M	24.0"	63.4"	33.5"	84LB		
E022b	8	(FLAT ADJ.) MULTI-ADJUSTABLE BENCH	MATRIX	MC-482-SPL-PF	T	M	30.6"	58.7"	17.8"	121.5LB	350LB	
E023b	3	FLAT BENCH	MATRIX/AURA	GF3W81-SPL-PF	T	M	27.0"	61.5"	16.9"	57LB		
E024b	4	MP SMITH MACHINE	MATRIX	MGPL62-SPL-PF	T	M	91.0"	60.5"	91.0"	507LB	350LB	
E025b	1	PLATED LEG PRESS	MATRIX/MAGNUM	MGPL70-SPL-PF	T	M	59.5"	90.0"	52.5"	657LB	350LB	
E026b	2	TOWER - AURA 4 SIDED CABLE TOWER	MATRIX/AURA	GS-4S-SPL-PF	T	M	145.6"	66.1"	99.2"	220LB		
E027a	1	HAMMER BARRELL RACK	LIFFEFITNESS	FWBAR	T	M				142LB		
E028a	1	BEAUTY BELL RACK	AMERICAN BARRELL	DBB	T	M						
E029b	1	OLYMPIC WEIGHT TREE	MATRIX/AURA	GF3W94-SPL-PF	T	M	22.4"	34.2"	42.4"	100LB		
E030a	1	ACCESSORY RACK	AMERICAN BARRELL	AT-SET-ST	T	M	24"	24"	36"			
E031a	0	(DUAL ADJ. P.) FUNCTIONAL TRAINER STD STACK	MATRIX	VS-WFT	NA	NA	6.3"	44"	93.5"	782LB		
SELECTORIZED												
E040b	2	LEG PRESS	MATRIX/ULTRA	G7S70-SPL-PF	T	M	43.5"	81.2"	43.5"	891LB		
E041b	2	LEG EXTENSION	MATRIX/ULTRA	G7S71-SPL-PF	T	M	47.3"	81.0"	51.0"	646LB		
E042b	2	SEATED LEG CURL	MATRIX/ULTRA	G7S72-SPL-PF	T	M	58.7"	51.0"	66.6LB	300LB		
E043b	1	CALF EXTENSION	MATRIX/ULTRA	G7S77-SPL-PF	T	M	44.8"	58.7"	58.9"	575LB		
E044b	1	PEC FLY REAR DELTOID	MATRIX/ULTRA	G7S22-SPL-PF	T	M	54.1"	56.4"	77.6"	726LB		
E045b	2	CONVENTIONAL CHEST PRESS	MATRIX/ULTRA	G7S13-SPL-PF	T	M	57.6"	59.0"	51.0"	656LB		
E046b	2	DNV LAT PULLDOWN	MATRIX/ULTRA	G7S33-SPL-PF	T	M	59.8"	61.0"	77.5"	879LB		
E047b	2	DNV SEATED ROW	MATRIX/ULTRA	G7S34-SPL-PF	T	M	56.2"	62.3"	51.0"	685LB		
E048b	2	(OVHD. PRESS) COMB. SHOULDER PRESS	MATRIX/ULTRA	G7S23-SPL-PF	T	M	56.5"	65.6"	65.1"	827LB		
E049b	1	INDEP. BIцеп CURL	MATRIX/ULTRA	G7S40-SPL-PF	T	M	62.8"	54.2"	51.0"	554LB		
E050b	1	(BIцеп CURL) ARM CURL	MATRIX/AURA	GS340-SPL-PF	T	M	42.8"	48.1"	59.3"	502LB		
E051b	1	TROCEPS PRESS	MATRIX/ULTRA	G7S42-SPL-PF	T	M	47.7"	48.8"	53.0"	673LB		
E052b	1	TROCEPS EXTENSION	MATRIX/AURA	GS345-SPL-PF	T	M	42.7"	46.2"	59.3"	491LB		
E053b	1	ABDOMINAL STD STACK	MATRIX/AURA	G7S51-SPL-PF	T	M	53.6"	53.6"	230LB			
E054b	1	ABDOMINAL CRUNCH	MATRIX/AURA	GS351-SPL-PF	T	M	44.2"	56.2"	59.3"	405LB		
E055b	2	BACK EXTENSION	MATRIX/ULTRA	G7S52-SPL-PF	T	M	47.1"	57.2"	51.0"	623LB		
SPECIALTY												
E060b	1	DIP CHIN ASSIST	MATRIX/AURA	GS-560-SPL-PF	T	M	47.8"	46.3"	90.8"	505LB		
E061b	2	HP ABDUCTOR	MATRIX/ULTRA	G7S75-SPL-PF	T	M	50.6"	67.9"	51.0"	598LB		
E062b	2	HP ADDUCTOR	MATRIX/ULTRA	G7S74-SPL-PF	T	M	64.6"	67.9"	51.0"	598LB		
E063b	1	GLUTE	MATRIX/ULTRA	G7S78-SPL-PF	T	M	38.0"	80.2"	53.9"	501LB		
E064b	1	(TORSD. ROTATION) ROTARY TORSO	MATRIX/ULTRA	G7S55-SPL-PF	T	M	48.1"	44.8"	54.7"	537LB		
E065b	0	LATERAL RAISE	MATRIX/AURA	GS-521	NA	NA	60.0"	60.0"	59.3"	597LB		
E066b	0	PRONE LEG CURL	MATRIX/AURA	GS-573	NA	NA	69.5"	44.0"	68.3"	600LB		
30 MINUTE CIRCUIT												
E070b	1	CONV. CHEST PRESS STD STACK	MATRIX/VERSA	VS-513-SPL-PF	T	M	53.0"	54.0"	65.8"	230LB		
E071b	1	LEG PRESS STD STACK	MATRIX/VERSA	VS-570-SPL-PF	T	M	40.3"	91.5"	65.8"	415LB		
E072b	1	(PULL DOWN) DNV. LAT PULLDOWN	MATRIX/VERSA	VS-533-SPL-PF	T	M	59.1"	61.2"	74.0"	230LB		
E073b	1	CONV. SHOULDER PRESS STD STACK (O.H. PRESS)	MATRIX/VERSA	VS-523-SPL-PF	T	M	56.6"	67.3"	80.1"	230LB		
E074b	1	SEATED LEG CURL STD STACK	MATRIX/VERSA	VS-572-SPL-PF	T	M	44.6"	69.7"	65.8"	575LB		
E075b	1	BIцеп CURL STD STACK	MATRIX/VERSA	VS-540-SPL-PF	T	M	50.0"	48.0"	65.8"	200LB		
E076b	1	(TRI. EXTENSION) TROCEPS PRESS	MATRIX/VERSA	VS-542-SPL-PF	T	M	42.3"	62.1"	65.8"	230LB		
E077b	1	LEG EXTENSION STD STACK	MATRIX/VERSA	VS-571-SPL-PF	T	M	50.7"	72.3"	65.8"	514LB		
E078b	1	(ROW) DNV. SEATED ROW STD STACK	MATRIX/VERSA	VS-534-SPL-PF	T	M	39.1"	54.2"	65.8"	590LB		
E079b	1	(AB) ABDOMINAL STD STACK	MATRIX/VERSA	VS-553-SPL-PF	T	M	55.7"	53.8"	65.8"	230LB		
E080b	0	STEP-UP PLATFORM W/HANDLE	MATRIX/MAGNUM FW	MG-SUP-SPL-PF	T	M	16"	36"	49"	75LB		
ABS & STRETCHING												
E090b	1	(LEG DIP/AB) LEG RAISE WKR	MATRIX/MAGNUM	MG-A63C-SPL-PF	T	M	4.3"	5.3"	96"	265LB		
E091b	1	(BACK 45) BACK EXTENSION BENCH	MATRIX/AURA	GSF52-SPL-PF	T	M	30.1"	48.1"	34.2"	135LB		
E092b	2	ABS BENCH	THE ABS COMPANY	TAB01-P	T	M				175LB		
E093b	1	AB COASTER	ABCOASTER	CTL-P	T	M				150LB		
E094b	2	PRECOR STRETCH	PRECOR	C240 SPL-PF	T	M				210LB		
E095b	1	AB. GRADUATED STACK	MATRIX	VS-553-PH-SPL-PF	T	M	55.7"	53.8"	65.8"	230LB		
E096b	2	TARGET ABS	THE ABS COMPANY	TGT-P	T	M				85LB		
E097b	0	TRUETREXCH	TRUEFITNESS	800SS	NA	NA				180LB		
E098b	1	STRETCHING BARS	-	-	NA	NA						
E099b	1	ELEVATE CORE - ADJUSTABLE	TOTAL GYM	R000-B1	T	M	72"	33"	51"	88LB	400LB	
PF 360												
E0103b	1	PF360XS W/ROPE PULL	LIFFEFITNESS	PF360XS-RP-PF	T	M				99"	1,095LB	
		PF360XS - ACCESSORIES	LIFFEFITNESS	PF360XS-RP-ACCESSORIES	T	M						
MTS												
E0110	1	MTS AB	LIFFEFITNESS	MTOAB-PF	T	M					530LB	
E0111	1	CABLE CHEST PRESS	LIFFEFITNESS	MTCSP-PF	T	M					765LB	
E0112	1	CABLE SHOULDER PRESS (INCLINE PRESS)	LIFFEFITNESS	MTCSP-PF	T	M					765LB	
E0113	1	CABLE LAT PULLDOWN	LIFFEFITNESS	MTCSP-PF	T	M					545LB	
E0114	1	CABLE ROW/REAR DELTOID	LIFFEFITNESS	MTCSP-PF	T	M					760LB	
E0115	1	SHOULDER PRESS	LIFFEFITNESS	MTCSP-PF	T	M					520LB	
ACCESSORY STORAGE												
E0140a	0	EXERCISE BALL RACK - 6 BALL STABILITY RACK	MATRIX/ZVA CORE-FIT	GBSR-PF	NA	NA						
E0141a	0	PRECOR 6 STORAGE (W/PF175-6 ACC)	PRECOR	PF175-6 SPL-PF	NA	NA						
		PRECOR STORAGE ACCESSORIES	PRECOR	PF175-6 ACC	NA	NA						
E0143a	0	S3 - CORE BAY (USE FOR 1ST BAY)	SYN	S3 CORE-PF	NA	NA						
E0143b	0	S3 - CORE BAY WITH (1) S3 - ADDER BAY	SYN	S3 CORE-PF/S3 ADD-PF	NA	NA						
E0143c	0	S3 - CORE BAY WITH (2) S3 - ADDER BAY	SYN	S3 CORE-PF/S3 ADD-PF	NA	NA						
		S3 - ACCESSORIES	SYN	SYN-S3-3 ACC	NA	NA						
		HAND PUMP	-	BALL-HP-PF	NA	NA						
		ELECTRIC PUMP	-	BALL-EP-PF	NA	NA						

PLUMBING / ELECTRICAL EQUIPMENT SCHEDULE (IMPORTANT NOTE: EQUIPMENT SUBJECT TO CHANGE. G.C. TO CONFIRM EQUIPMENT WITH TENANT PRIOR TO CONSTRUCTION)												
T = TENANT E = EXISTING L = LANDLORD GC = GENERAL CONTRACTOR M = MANUFACTURER OR SUPPLIER V = VENDOR NA = NOT APPLICABLE												
MARK	QUANTITY	ITEM DESCRIPTION	MANUFACTURER	MODEL NUMBER	FURNISHED BY	INSTALLED BY	SIZE				SHOWER HEAD/ FAUCET TYPE/ STYLE	REMARKS
							WIDTH	DEPTH	HEIGHT			
BLACK CARD AREA												
E1	0	TANNING BED AND FAN	ERGOLINE	AFFINITY 500	NA	NA	93"	56"	53"			
E2b	0	TANNING BED AND FAN	ERGOLINE	PASSION 40/3	NA	NA	89"	48"	49"			
E2b	0	HYBRID TANNING BED AND FAN	ERGOLINE	PLANET FITNESS 42/4	NA	NA	95"	57"	59"			1 TON MIN. DEDICATED A/C PER ROOM. G.C. TO PROVIDE ELECTRICAL REQ'D AND COORD. INSTALL W/ EQUIPMENT VENDORS
E3b	2	UPRIGHT TANNING BED AND FAN	ERGOLINE	SUNRISE 6200	T	M	47"	46"	77"			
E3b	1	HYBRID UPRIGHT TANNING BED AND FAN	ERGOLINE	SUNRISE 7200	T	M	49"	57"	91"			
E4	1	BEAUTY ANGEL	ERGOLINE	BEAUTY ANGEL 7200	T	M	47"	46"	77"			
E5	2	MESSAGE CHAIR	PLANET FITNESS	ELITE	T	M						WITH INTERNAL COOLER. G.C. TO PROVIDE ELECTRICAL REQ'D AND COORD. INSTALL W/ EQUIPMENT VENDORS
E6	0	MESSAGE BED	HYDROMASSAGE	HP340	NA	NA	37.5"	94"	24"			
E7	3	MESSAGE LOUNGE	HYDROMASSAGE	440X SERIES	T	M	32"	90"	42"			
MAIN WORKOUT AREA												
E10	5	CUSTOM WORKOUT MIRROR BOX	BY G.C.	CUSTOM	GC	GC	96"	18.0"	72"			G.C. TO PROVIDE POWER AND SOLID BLOCKING
E12	1	BEVERAGE COOLER	PEPSI	CO-47	GC	V	52"	29.75"	78.125"			CONTACT LOCAL PEPSI DIST. TO VERIFY EXACT DIMENSION
E13a	2	40" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						LOCKER ROOM ENTRY
E13b	0	50" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						G.C. TO PROVIDE POWER AND SOLID BLOCKING
E13c	5	55" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						G.C. TO PROVIDE POWER AND SOLID BLOCKING
E13d	0	60" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						G.C. TO PROVIDE POWER AND SOLID BLOCKING
E13e	2	85" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						G.C. TO PROVIDE POWER AND SOLID BLOCKING
E13f	0	70" LCD TV	TBD BY TENANT	TBD BY TENANT	GC	GC						

PLANET FITNESS
New Club Network
Purchasing and Installation

Please read this document in its entirety as it includes important information regarding network requirements for your new Planet Fitness club and Pre-Sale location.

Planet Fitness has developed relationships with specific vendors to streamline the IT (Information Technology) purchasing and installation for your new club and "Pre-Sale" location. By contracting directly with the vendor for purchasing and installing your IT equipment and network, we can assure that your network is PC compliant, secure, efficient, and that you are receiving a fair price. Further understanding our technology footprint will allow us to help you IT infrastructure support vendors (A. Veterinary Support) troubleshoot issues.

You should also confirm with your General Contractor that the proper network cabling has been installed, "roughed-in" in the floor ceiling (including extra drops) and each room has sufficient network devices (i.e. network switches, patch panels, network backbone, etc.). You and your GC should refer to the "PF New Club Network Cabling" document (which only applies to network cabling) and read the additional documents regarding the Planet Fitness Club Network Setup.

Please contact the following vendors for services and equipment pertaining to the club network.

- Local Internet Service Provider (ISP): Planet Fitness recommends that Comcast (or local cable ISP) be your first preference if you are able to get cable Internet. At minimum, you would want 10Mbps by 5Mbps download/upload speed. However 20Mbps/10Mbps download/upload is best if you need assistance finishing internet services, please contact PF Corporate IT and they will be happy to assist.
- Switch: This vendor will be responsible for providing all of the required network devices (Example: SonicWall firewall, network switches, network cabinet, patch panel, etc.), facilitating a vendor to terminate all network cables and install all network devices while working with the General Contractor (GC) and Operations Manager (OM assigned at your new club).
- Contract: This vendor will be responsible for monitoring and managing your SonicWall firewall. See the document called "Enabling your SonicWall with Contract.doc".
- Ac Technology Advisors: This vendor will be responsible for supplying, configuring, & supporting your redundant internet backup device (i.e. routers). This required, but highly recommended.
- PF Corporate Pre-Sale Coordinators: Contact Michael Jackson or Carlyn Vainklovic to order your Planet-Sale terminals until otherwise directed by PF Corporate.

You can still have someone locally who can handle supporting your network. This person should be involved in the network/voice installation to understand the scope as they can help support your physical infrastructure in the future to avoid you need physical, local assistance. By having a local IT contractor/vendor, you will still follow the Planet Fitness Network Representative Guidelines and use the vendors mentioned above.

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New Club Network
Purchasing and Installation

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02072 – MINOR FOR REMODELING

I. GENERAL

- A. Remove designated building equipment and fixtures.
- B. Remove designated partitions and components.
- C. Cap and identify utilities.
- D. Temporary partitions to allow building occupancy.

II. PRODUCTS

(Not Used)

III. EXECUTION

3.01 PREPARATION

- A. Erect and maintain weatherproof closures for exterior openings.
- B. Erect and maintain temporary partitions to prevent spread of dust, fumes, noise, and smoke to provide for Owner occupancy.
- C. Protect existing items which are not indicated to be altered.
- D. Disconnect, remove, and cap designated utility services within demolition areas.
- E. Mark location of disconnected utilities. Identify and indicate capping locations on Project Record Documents.

3.02 EXECUTION

- A. Demolish in an orderly and careful manner. Protect existing foundation supporting structural walls and partitions and finishes to remain.
- B. Remove materials to be reinstated or retained in a manner to prevent damage.
- C. Remove and promptly dispose of contaminated, inerted, or hazardous materials encountered.
- D. Do not burn or bury materials on site.
- E. Remove demolished materials from site as work.

–END OF SECTION–

03210 – WOOD DOORS

I. GENERAL

1.01 WORK INCLUDED

- A. Wood doors and panels, fire-rated and non-rated.
- B. Lockers.

As Indicated on Schedule.

1.02 RELATED MATERIALS

- A. ANSI/NWMA LS.1 – Industry Standard for Wood Flush Doors (Includes Standards II & ANSI A 135.4 – Basic Hardware.
- B. ASTM E122, UL 108 – Methods of Fire Tests of Door Assemblies.
- D. AWI – Quality Standards of Architectural Wood Work Institute.
- E. NFPA 252 – Fire Doors and Windows, Standard Method of Fire Tests for Door Assemblies.

1.03 PERFORMANCE

Acoustic Rating for Door and Frame Assembly – ASTM E90, Minimum STC 35.

1.04 QUALITY ASSURANCE

- A. Conform to requirements of ANSI/NWMA LS.1 and AWI Quality Standard Section 1300 and 1400 Premium Grade for doors with transparent finish; Custom Grade for door with opaque finish.
- B. Fire Door and Panel Construction – conform to UL 108.
- C. Installed Doors and Panels – Conform to NFPA 90 for fire-rated class indicated.

1.05 REGULATORY REQUIREMENTS

Conform to applicable code for fire-rated doors and panels.

1.06 WARRANTY

- A. Provide five-year manufacturer's warranty.
- B. Warranty – Refinish and repaint exterior doors including doors which have warped or show construction behind face, as defined by AWI.
- C. Contact Contractor to setup monitoring service.
- D. If you are ordering a Contractor, contact Wayne to locate the owner. SHI will need to know if you are purchasing this device so they can make sure this device is included in the installation scope of work (SOW).

II. PRODUCTS

2.01 DOOR AND PANEL TYPES

As Indicated on Schedule.

2.02 FABRICATION

- A. Fabricate doors in accordance with AWI Quality Standards and UL requirements.
- B. Finish fire-rating label to door edge.
- C. Clean floor, base and wall joint.
- D. Cut and fit tile tightly to penetrations through tile. Form corners and bases neatly.
- E. Place the joints uniform in width, subject to variance in tolerance allowed in the size.
- F. Seal joints waterproof without voids, cracks, excess mortar, or excess grout.
- G. Sound file after setting. Replace loose sounding units.
- H. Allow tile to set for a minimum of 48 hours prior to grouting.
- I. Apply sealant to junction of tile and dissimilar materials and at junction of dissimilar planes.

3.01 INSTALLATION

- A. Install doors in accordance with manufacturer's instructions.
- B. Machine cut relief for hinges and core for handsets and cylinders.
- C. Trim door width by cutting evenly on both jamb edges. Trim fire door width from lock edge edge only to a maximum of 3/16 inch.
- D. Trim door height by cutting evenly on top and bottom edges to a maximum of 3/4 inch.
- E. Trim fit door height of bottom edge only to a maximum of one (1) inch.
- F. Pilot drill screw and bolt holes. Use threaded through bolts for half surface hinges.
- G. Prepare doors to receive finish hardware in accordance with ANSI/AWA requirements.
- H. UL – Underwriters Laboratories.
- I. Apply sealant to junction of tile and dissimilar materials and at junction of dissimilar planes.

3.02 INSTALLATION TOLERANCES

Maximum diagonal distortion—1/16 inch. Inch measured with straight edge, corner to corner.

3.03 ADJUSTING AND CLEANING

Adjust for smooth and balanced door movement.

–END OF SECTION–

03000 – TILE

I. GENERAL

1.01 SECTION INCLUDES

Extent of wall and floor tile as shown on drawings and in schedule.

1.02 REFERENCES

- A. ANSI/TCA A108.1 – Specifications for the installation of ceramic tile.
- B. ANSI/TCA A118.4 – Latex-Portland Cement Mortar.
- C. ANSI/TCA A136.1 – Organic Adhesives for Installation of ceramic tile, Type 1 and Type 2.
- D. ANSI/TCA A137.1 – Specifications for ceramic tile.
- E. TCA (The Council of America) – Handbook for Ceramic Tile Installation.

1.03 QUALITY ASSURANCE

- A. Conform to ANSI/TCA A137.1.
- B. Conform to TCA Handbook for Ceramic Tile Installation.

1.04 QUALIFICATIONS

Installer: Company specializing in applying the work of this Section with minimum of three (3) years documented experience.

1.05 DELIVERY, STORAGE AND HANDLING

- A. Deliver materials in manufacturer's original, unopened containers with identifying labels intact and legible.
- B. Protect materials from freezing or overheating in accordance with manufacturer's instructions.
- C. Do not burn or bury materials on site.
- D. Remove demolished materials from site as work.

1.06 ENVIRONMENTAL REQUIREMENTS

- A. Do not install adhesives in a closed, unventilated environment.
- B. Maintain 50 degrees F during installation of mortar materials.

II. PRODUCTS

2.01 MANUFACTURERS – TILE

- A. As Indicated on Schedule.
- B. ANSI/ASTM C478 – Joint Treatment Materials for application of gypsum wallboard construction.
- C. ANSI/ASTM C514 Halls for the application of gypsum wallboard.
- D. ANSI/ASTM C635 – Water resistant gypsum backing board.
- E. ANSI/ASTM C645 – Non-load (Axial) Bearing steel studs, runners (Track) and rigid furring channels for screw application of gypsum board.
- F. ANSI/ASTM C646 – Steel grid screws for the application of gypsum sheet material to light gauge steel studs.
- G. ANSI/ASTM C724 – Installation of framing members to receive screw attached gypsum wallboard, backing board, or water-resistant backing board.
- H. GA – 201 – Gypsum board for walls and ceilings.
- I. GA-216 – Recommended specifications for the application and finishing of gypsum board.

2.02 TILE MATERIAL

- A. Ceramic Tile: Standard grade to equal or exceed ANSI/TCA A137.1.
- B. Special Shape: Provide a mesh field tiles as required, for inside and outside corners, cuts, bullnoses, thresholds, etc.

2.03 ADHESIVE MATERIALS

Organic Adhesives: ANSI/TCA A136.1 – Type 1, thixotropic bond type.

2.04 ACCESSORIES

Cleavage Membrane: 16 lb. asphalt saturated felt.

III. EXECUTION

- A. Conform to requirements of ANSI/NWMA LS.1 and AWI Quality Standard Section 1300 and 1400 Premium Grade for doors with transparent finish; Custom Grade for door with opaque finish.
- B. Fire Door and Panel Construction – conform to UL 108.
- C. Installed Doors and Panels – Conform to NFPA 90 for fire-rated class indicated.

1.05 REGULATORY REQUIREMENTS

Conform to applicable code for fire-rated doors and panels.

1.06 WARRANTY

- A. Provide five-year manufacturer's warranty.
- B. Warranty – Refinish and repaint exterior doors including doors which have warped or show construction behind face, as defined by AWI.
- C. Contact Contractor to setup monitoring service.
- D. If you are ordering a Contractor, contact Wayne to locate the owner. SHI will need to know if you are purchasing this device so they can make sure this device is included in the installation scope of work (SOW).

II. PRODUCTS

2.01 DOOR AND PANEL TYPES

As Indicated on Schedule.

2.02 FABRICATION

- A. Fabricate doors in accordance with AWI Quality Standards and UL requirements.
- B. Finish fire-rating label to door edge.
- C. Clean floor, base and wall joint.
- D. Cut and fit tile tightly to penetrations through tile. Form corners and bases neatly.
- E. Place the joints uniform in width, subject to variance in tolerance allowed in the size.
- F. Seal joints waterproof without voids, cracks, excess mortar, or excess grout.
- G. Sound file after setting. Replace loose sounding units.
- H. Allow tile to set for a minimum of 48 hours prior to grouting.
- I. Apply sealant to junction of tile and dissimilar materials and at junction of dissimilar planes.

3.01 INSTALLATION

- A. Install doors in accordance with manufacturer's instructions.
- B. Machine cut relief for hinges and core for handsets and cylinders.
- C. Trim door width by cutting evenly on both jamb edges. Trim fire door width from lock edge edge only to a maximum of 3/16 inch.
- D. Trim door height by cutting evenly on top and bottom edges to a maximum of 3/4 inch.
- E. Trim fit door height of bottom edge only to a maximum of one (1) inch.
- F. Pilot drill screw and bolt holes. Use threaded through bolts for half surface hinges.
- G. Prepare doors to receive finish hardware in accordance with ANSI/AWA requirements.
- H. UL – Underwriters Laboratories.
- I. Apply sealant to junction of tile and dissimilar materials and at junction of dissimilar planes.

3.02 INSTALLATION TOLERANCES

Maximum diagonal distortion—1/16 inch. Inch measured with straight edge, corner to corner.

3.03 ADJUSTING AND CLEANING

Adjust for smooth and balanced door movement.

–END OF SECTION–

III. EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces and openings are ready to receive work and that field measurements are on show on shop drawings.
- B. Verify mechanical, electrical, and building items affecting this work are placed / ready to receive work.
- C. Beginning of installation means acceptance of substrate.

3.02 PREPARATION

- A. Install work in accordance with AVI Custom Quality Standards.
- B. Set and secure materials and components in place, plumb and level.
- C. Install caulking with full bed contact adhesive applied to substrate as recommended by manufacturer.

3.04 TOLERANCES

- A. Maximum variation from true alignment – 1/16 inch.
- B. Maximum offset from true alignment with caulking materials – 1/31 inch.

3.05 PREPARATION FOR SITE FINISHING

Set exposed fasteners. Apply wood filler in exposed fastener indentations. Sand wood smooth.

–END OF SECTION–

06260 – GYPSUM BOARD SYSTEMS

I. GENERAL

1.01 WORK INCLUDED

- A. Metal stud wall framing.
- B. Gypsum wallboard.
- C. Taped and sanded joint treatment.

1.02 PREFERENCES

- A. ANSI/ASTM C36 – Gypsum wallboard.
- B. ANSI/ASTM C478 – Joint Treatment Materials for application of gypsum wallboard construction.
- C. ANSI/ASTM C514 Halls for the application of gypsum wallboard.
- D. ANSI/ASTM C635 – Water resistant gypsum backing board.
- E. ANSI/ASTM C645 – Non-load (Axial) Bearing steel studs, runners (Track) and rigid furring channels for screw application of gypsum board.
- F. ANSI/ASTM C646 – Steel grid screws for the application of gypsum sheet material to light gauge steel studs.
- G. ANSI/ASTM C724 – Installation of framing members to receive screw attached gypsum wallboard, backing board, or water-resistant backing board.
- H. GA – 201 – Gypsum board for walls and ceilings.
- I. GA-216 – Recommended specifications for the application and finishing of gypsum board.

1.03 REGULATORY REQUIREMENTS

Conform to applicable code for fire-rated assemblies as listed by UL.

II. PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS – GYPSUM BOARD SYSTEM

- A. United States Gypsum.
- B. Gold Bond Building Products.
- C. Substitutions – Approved equal.

2.02 FRAMING MATERIALS

- A. Studs and tracks, shall wall studs, furring ANSI/ASTM C645 galvanized steel studs; size and shops as shown on drawings. Studs to be 25 gauge unless otherwise noted.
- B. Fasteners: ANSI/ASTM C646, GA 201 and GA 216 recommended for application by manufacturer.
- C. Interior Wood Items Scheduled to Receive Finish: Wipe off dust and grit prior to priming.
- D. Seal knots, pitch streaks and sappy sections with sealer. Fill nail holes and cracks after primer has dried before sanding and caulking.
- E. Wood and Metal Doors Scheduled for Painting: Seal top and bottom edges with primer. H. Powder Coating System

2.03 GYPSUM BOARD MATERIALS

- Standard Gypsum Board: ANSI/ASTM C36, 5/8" thick maximum permissible length, ends square cut, tapered edges.

2.04 ACCESSORIES

- A. Corner Beads – metal.
- B. Edge Trim – GA 201 and GA 216; Type L Bead.
- C. Fasteners: ANSI/ASTM C646, GA 201 and GA 216 recommended for application by manufacturer.
- D. Interior Wood Items Scheduled to Receive Finish: Wipe off dust and grit prior to priming.
- E. Seal knots, pitch streaks and sappy sections with sealer. Fill nail holes and cracks after primer has dried before sanding and caulking.
- F. Wood and Metal Doors Scheduled for Painting: Seal top and bottom edges with primer. H. Powder Coating System

2.05 GYPSUM BOARD INSTALLATION

- A. Install gypsum board in accordance with GA 201 and GA 216 and manufacturer's instructions.
- B. Erect single layer gypsum board vertically, with edges and ends occurring over firm bearing.
- C. Fasteners: ANSI/ASTM C646, GA 201 and GA 216 recommended for application by manufacturer.
- D. Provide Level 4 gypsum board finish per GA 216.

2.06 ACCESSORIES

- A. Corner Beads – metal.
- B. Edge Trim – GA 201 and GA 216; Type L Bead.
- C. Fasteners: ANSI/ASTM C646, GA 201 and GA 216 recommended for application by manufacturer.
- D. Interior Wood Items Scheduled to Receive Finish: Wipe off dust and grit prior to priming.
- E. Seal knots, pitch streaks and sappy sections with sealer. Fill nail holes and cracks after primer has dried before sanding and caulking.
- F. Wood and Metal Doors Scheduled for Painting: Seal top and bottom edges with primer. H. Powder Coating System

3.00 JOINT TREATMENT

- A. Tape, fill and sand exposed joints, edges and corners to produce smooth surface to receive finish.
- B. Feather coats onto adjoining surfaces so that corner is maximum 1/32 inch.
- C. Erect in accordance with manufacturer's instructions.

3.04 TOLERANCES

Maximum variation from true finish – 1/8 inch in 10 feet in any direction.

–END OF SECTION–

09511 – SUSPENDED CEILING

I. GENERAL

1.01 WORK INCLUDED

- A. Suspended metal grid ceiling system.
- B. Acoustical tile.
- C. Fire-rated assembly with gypsum board boxes over light fixtures.

1.02 REFERENCES

- A. ANSI C635 – Metal suspension systems for acoustical tile and lay-in panel ceilings.
- B. ASTM D336 – Installation of metal ceiling suspension systems for acoustical tile and lay-in panel.
- C. UL – Underwriter's Laboratories System Ratings.

1.03 SYSTEM DESCRIPTION

Installed System: Conform to UL approved systems for ceiling and floor ceiling and roof ceiling.

1.04 REGULATORY REQUIREMENTS

A. Conform to applicable code for fire retardant assembly.

B. Conform applicable code for earthquake resistant assembly.

1.05 ENVIRONMENTAL REQUIREMENTS

Maintain uniform temperature of minimum 60 F and humidity of 20 to 40 percent to, during and after installation.

1.06 SEQUENCING/SCHEDULING

- A. Do not install acoustical ceilings until building is enclosed, sufficient heat is provided, dust-generating activities have terminated, and interior work is completed, tested and approved.
- B. Schedule installation of acoustic units after interior wet work is dry.

2.01 ACCEPTABLE MANUFACTURERS – SUSPENSION SYSTEM

As indicated on Schedule.

2.02 SUSPENSION SYSTEM MATERIALS

- A. Grid: ASTM C635 as applicable to type of suspension system required for type of ceiling units indicated. Direct-hung suspension system, intermediate duty.
- B. Accessories: Stabilizer bars, suppression struts, clips, splices, edge moldings and hold-down clips – requires suspended grid system.
- C. Grid Materials: Commercial quality, cold rolled steel with galvanized coating.
- D. Grid Finish: White.
- E. Support Channels and Hangers: Galvanized steel; size and type to suit application, to rigidly secure acoustic ceiling system, including integral mechanical and electrical components with maximum deflection of 1/360.
- F. Attachment Devices: Size for 5" times design load indicated in ASTM C635, Table 1.
- G. Hanger Wires: Galvanized carbon steel, ASTM A664 soft temper, prestretched at least 10% of least three (3) times design load, but not less than 12 gauge (0.105").

2.03 ACCEPTABLE MANUFACTURERS ACOUSTIC UNITS

As indicated on Schedule.

III. EXECUTION

3.01 INSPECTION

- A. Verify that existing conditions are ready to receive work.
- B. Verify that layout of hangers will not interfere with other work.
- C. Installer must notify contractor in writing of unsatisfactory conditions.
- D. Do not proceed with work until unsatisfactory conditions have been corrected in a manner acceptable to installer.

3.02 INSTALLATION

- A. Install system in accordance with ASTM C635 and as supplemented in this Section.
- B. Install fire-rated system in accordance with UL design requirements.
- C. Install after major above ceiling work is complete. Coordinate the location of hangers with other work.
- D. Furnish layouts for inserts, clips, or other supports required to be installed by other trades for support of acoustical ceilings.
- E. Hang system independent of walls, columns, ducts, pipes and conduit. Where carrying members are spliced, avoid visible splicing joints.
- F. Locate hangers near each end and spaced 4'-0" along each carrying channel or direct-hung track.
- G. Where ducts or other equipment prevent the regular spacing of hangers, reinforce the nearest affected hangers and related carrying channels to span the extra distance.
- H. Locate system according to reflected plan. Avoid use of less than half-width units of units.
- I. Do not support components on main runners or cross runners if weight causes total dead load to exceed deflection capability. Support future loads by supplementary hangers located within the (6) inches of each corner, or support components independently.
- J. Do not acoustically load system or produce rotation of runners.
- K. Install edge molding at intersection of ceiling and vertical surfaces using longest practical length. Miter corners. Provide edge moldings at junctions with other interruptions.
- L. Form expansion joints to accommodate plus or minus one inch movement. Maintain visual closure.
- M. Fit acoustic units in place, free from damaged edges or other defects detrimental to appearance and function.
- N. Lay directional patterned units with pattern running in one direction. Fit border neatly against abutting surfaces.
- O. Install acoustic units level, in uniform plan, and free from twist warp and dents.
- P. Lay acoustic insulation for a distance of 48 inches either side of acoustic partitions, as indicated.
- Q. Install hold-down clips to retain panel tight to grid system within 20 ft. of an exterior door.
- R. Install tight fixture boxes constructed of gypsum board over light fixtures in accordance with UL assembly requirements.
- S. Install suppression struts as required to meet earthquake resistance standards as set by local codes.

3.03 TOLERANCES

PARCEL 1

THE LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED IN CAMBRIDGE, NOW KNOWN AND NUMBERED 631-641 INCLUSIVE ON MASSACHUSETTS AVENUE, CAMBRIDGE, COUNTY OF MIDDLESEX, MASSACHUSETTS, SHOWN AS LOT A ON A PLAN OF LAND IN CAMBRIDGE, MASSACHUSETTS, PREPARED FOR FORD INVESTMENT TRUST, INC., DATED MARCH 24, 1947, AND RECORDED WITH THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN NO. 897 OF 1947 IN BOOK 7179, PAGE 238, WHICH IS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

- SOUTHWESTERLY BY MASSACHUSETTS AVENUE, SEVENTY-SIX AND 95/100 (76.95) FEET;
- NORTHWESTERLY BY LAND NOW OR FORMERLY OF HENNESSY BY A LINE RUNNING THROUGH A BRICK PARTY WALL PARALLEL TO THE NORTHWESTERLY FACE THEREOF AND FOUR INCHES SOUTHEASTERLY THEREFROM, NINETY-TWO AND 90/100 (92.90) FEET;
- SOUTHWESTERLY BY SAID HENNESSY LAND 42/100 (.42) FEET;
- NORTHWESTERLY BY THE SAME, NINETY-FOUR AND 93/100 (94.93) FEET;
- NORTHEASTERLY BY LAND NOW OR FORMERLY OF KEOHANE, TWENTY-ONE AND 87/100 (21.87) FEET;
- NORTHWESTERLY BY THE SAME, NINETY-EIGHT (98) FEET;
- NORTHEASTERLY BY AUSTIN STREET, FIFTY-FIVE AND 75/100 (55.75) FEET;
- SOUTHEASTERLY BY LAND NOW OR FORMERLY OF FORD INVESTMENT TRUST, INC., BEING LOT B ON THE ABOVE-REFERENCED PLAN, NINETY-EIGHT (98) FEET;
- SOUTHWESTERLY BY THE SAME, 50/100 (.50) FEET;
- SOUTHEASTERLY BY THE SAME BY A LINE RUNNING THROUGH THE CENTER OF A 12 INCH BRICK WALL, ONE HUNDRED TWENTY-EIGHT AND 55/100 (128.55) FEET;
- SOUTHWESTERLY BY THE SAME, 16/100 (.16) FEET;
- SOUTHEASTERLY BY THE SAME BY A LINE RUNNING THROUGH THE CENTER OF A 16 INCH BRICK WALL, FIFTY-NINE AND 33/100 (59.33) FEET;

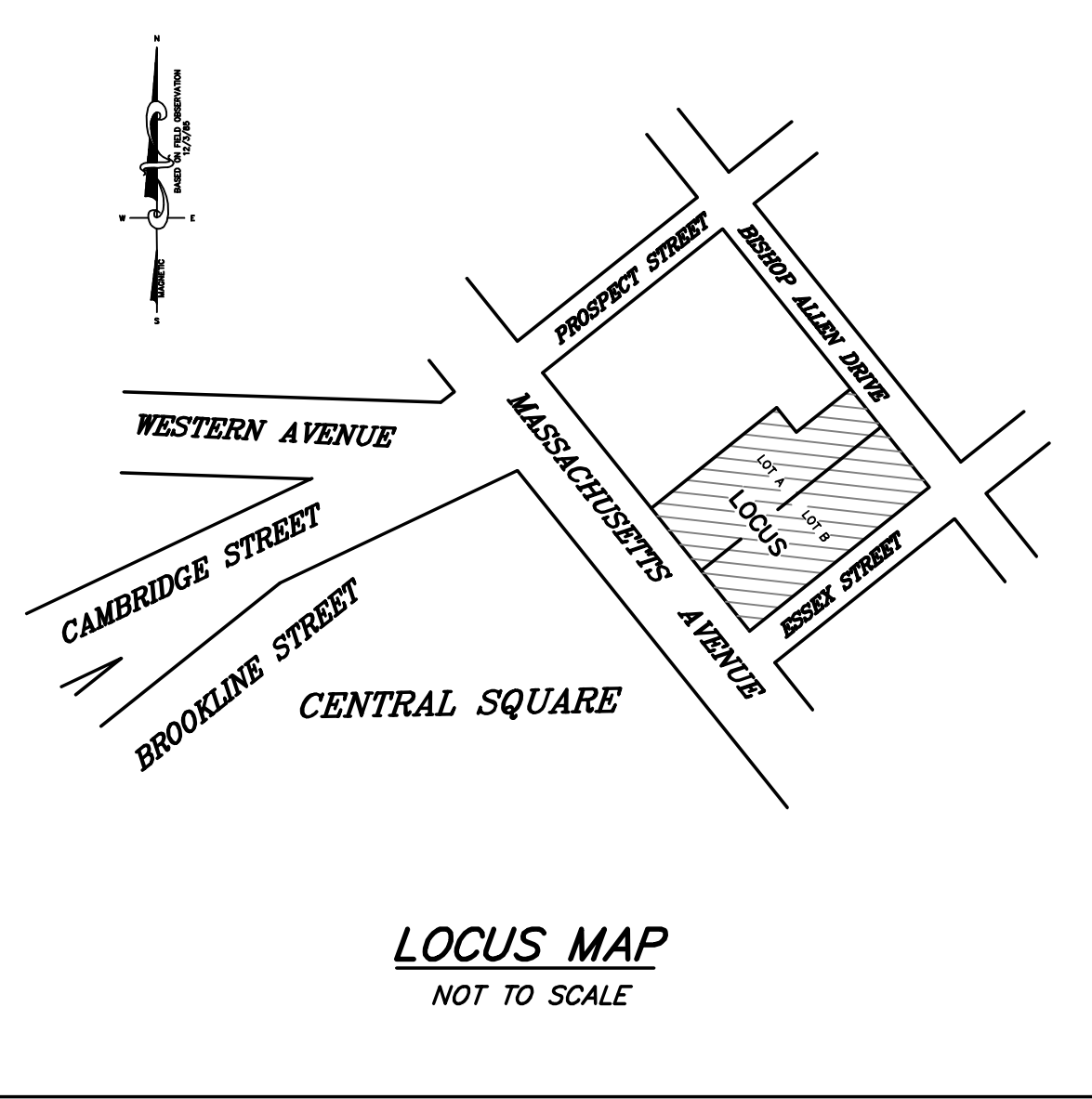
SAID LOT CONTAINS 20,002 SQUARE FEET ACCORDING TO SAID PLAN.
SUBJECT TO AND WITH THE BENEFIT OF THE RIGHT TO USE THE PARTY WALLS SEPARATING SAID LOT A AND LOT B AS COMMON LAW PARTY WALL IN COMMON WITH THE OWNER OF SAID LOT A.

PARCEL 2

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON SITUATED IN CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, AND BEING SHOWN AS LOT B ON A PLAN ENTITLED "PLAN OF LAND IN CAMBRIDGE, MASS. SURVEYED FOR FORD INVESTMENT TRUST" DATED MARCH 24, 1947, BY W.A. MASON & SON CO. SURVEYORS, WHICH PLAN IS DULY RECORDED WITH MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN NO. 897 OF 1947 IN BOOK 7149, PAGE 238, KNOWN AS 613-627 MASSACHUSETTS AVENUE, AND BOUNDED AND DESCRIBED AS FOLLOWS:

- KNOWN AS 613-627 MASSACHUSETTS AVENUE, AND BOUNDED AND DESCRIBED AS FOLLOWS:
- SOUTHWESTERLY BY MASSACHUSETTS AVENUE, EIGHTY-NINE AND 54/100 (89.54) FEET;
- SOUTHEASTERLY BY ESSEX STREET, TWO HUNDRED EIGHTY-FIVE AND 99/100 (285.99) FEET;
- NORTHEASTERLY BY AUSTIN STREET, EIGHTY-NINE AND 25/100 (89.25) FEET;
- NORTHWESTERLY BY LOT A ON SAID PLAN, NINETY-EIGHT (98) FEET;
- NORTHEASTERLY BY SAID LOT A 50/100 (.50) OF A FOOT;
- NORTHWESTERLY BY A LINE RUNNING THROUGH THE CENTRE OF A TWELVE INCH BRICK WALL, ONE HUNDRED TWENTY-EIGHT AND 55/100 (128.55) FEET;
- NORTHEASTERLY AGAIN BY SAID LOT A, 16/100 (.16) OF A FOOT;
- NORTHWESTERLY AGAIN BY SAID LOT A BY A LINE RUNNING THROUGH THE CENTRE OF A 16" BRICK WALL, FIFTY-NINE AND 33/100 (59.33) FEET.

SAID LOT B CONTAINS 25,569 SQUARE FEET OF LAND ACCORDING TO SAID PLAN.
SUBJECT TO AND WITH THE BENEFIT OF THE RIGHT TO USE THE PARTY WALLS SEPARATING SAID LOT A AND LOT B AS COMMON LAW PARTY WALL IN COMMON WITH THE OWNER OF SAID LOT A.



FIDELITY NATIONAL TITLE INSURANCE COMPANY
EFFECTIVE DATE: APRIL 21, 2017
OFFICE FILE NO: 17-0101NR-CT
TITLE COMMITMENT EXCEPTIONS

- LEGEND**
M.H. = MANHOLE
P.M. = PARKING METER
L.P. = LIGHT POLE
E.M.H. = ELECTRIC MANHOLE
G.G. = GAS GATE
O.H. = OVERHANG
HYD. = HYDRANT
W.G. = WATER GATE

- 8) ENCROACHMENT OF TOP OF BUILDING OVER PROPERTY LINE 0.06' ON WESTERLY BOUNDARY AS SHOWN ON PLAN RECORDED IN BK. 7149 PG. 238. (SEE PLAN).
- 11) EASEMENT DEED TO CAMBRIDGE ELECTRIC LIGHT CO. BK. 31914 PG. 155 (SEE PLAN).
- 14) DECISION BY THE CITY OF CAMBRIDGE BOARD OF APPEALS CASE NO. 9867 BK. 54570 PG. 475 (SEE PLAN).

ZONING CLASSIFICATION
BUSINESS B (CENTRAL SQUARE OVERLAY DISTRICT)

- BUILDING SET-BACK REQUIREMENTS**
- FRONT NONE (BUSINESS B)
 - SIDE NONE (BUSINESS B)
 - REAR NONE (BUSINESS B)
- HEIGHT**
- MAX. BUILDING HEIGHT 55' (CENTRAL SQUARE OVERLAY)
- LOT SIZE**
- MIN. LOT AREA NONE (BUSINESS B)
- COVERAGE**
- MAXIMUM COVERAGE NO REQUIREMENT NOTED
- FLOOR AREA RATIO**
- MAXIMUM FLOOR AREA RATIO 3.0 (CENTRAL SQUARE OVERLAY)
- PARKING**
- PARKING SPACE FORMULA 1 SPACE PER 900 SQ. FT. / 1 SPACE PER 600 SQ. FT.

DATE: 4/28/17
PROF. LAND SURVEYOR
P.L.S. # 31312

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL SURVEY BY MIDDLESEX SURVEY, INC.-LAND SURVEYORS ON NOV. 1, 1989 AND UPDATED ON APRIL 28, 2017

DATE: 4/28/17
PROF. LAND SURVEYOR
P.L.S. # 31312

REFERENCE:
BOOK 7149 PAGE 238 LOCUS PLAN (LOTS A & B)
BOOK 59090 PAGES 128-131 LOCUS DEED (LOTS A & B)

I CERTIFY THAT THE BUILDINGS SHOWN ON THIS PLAN ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. MAP FOR THE CITY OF CAMBRIDGE, COMMUNITY NO. 250186, ZONE X, EFFECTIVE DATE JUNE 4, 2010

DATE: 4/28/17
PROF. LAND SURVEYOR
P.L.S. # 31312

DATE: 4/28/17
PROF. LAND SURVEYOR
P.L.S. # 31312

ALTA/NSPS
LAND TITLE SURVEY
PLAN OF LAND
IN
CAMBRIDGE, MASS.
613-641 MASSACHUSETTS AVENUE
ORIGINAL SURVEY PERFORMED ON 11/1/89 & UPDATED 4/28/17
MIDDLESEX SURVEY INC. LAND SURVEYORS
131 PARK STREET NORTH READING, MA. 01864
PHONE: (978) 664-5451 FAX: (978) 664-3980
ELECTRONIC MAIL: middlesexsurvey@verizon.net
SCALE: 1" = 20' DATE: APRIL 28, 2017
GRAPHIC SCALE

