

THE GARAGE

36 John F. Kennedy St. - 81 Mt. Auburn St. - 33 Dunster St.
Cambridge, MA

Cambridge Historic Commission
Application for Certificate of Appropriateness
Supplementary Materials

MAY 11, 2021

OVERVIEW

The existing building known as The Garage, located on the the corners of John F. Kennedy, Mt. Auburn and Dunster Streets, will be replaced by a new mixed-use building. The existing two-story brick masonry facades of the former horse stable at Dunster and Mt. Auburn Streets will be preserved and blended into the proposed building design.

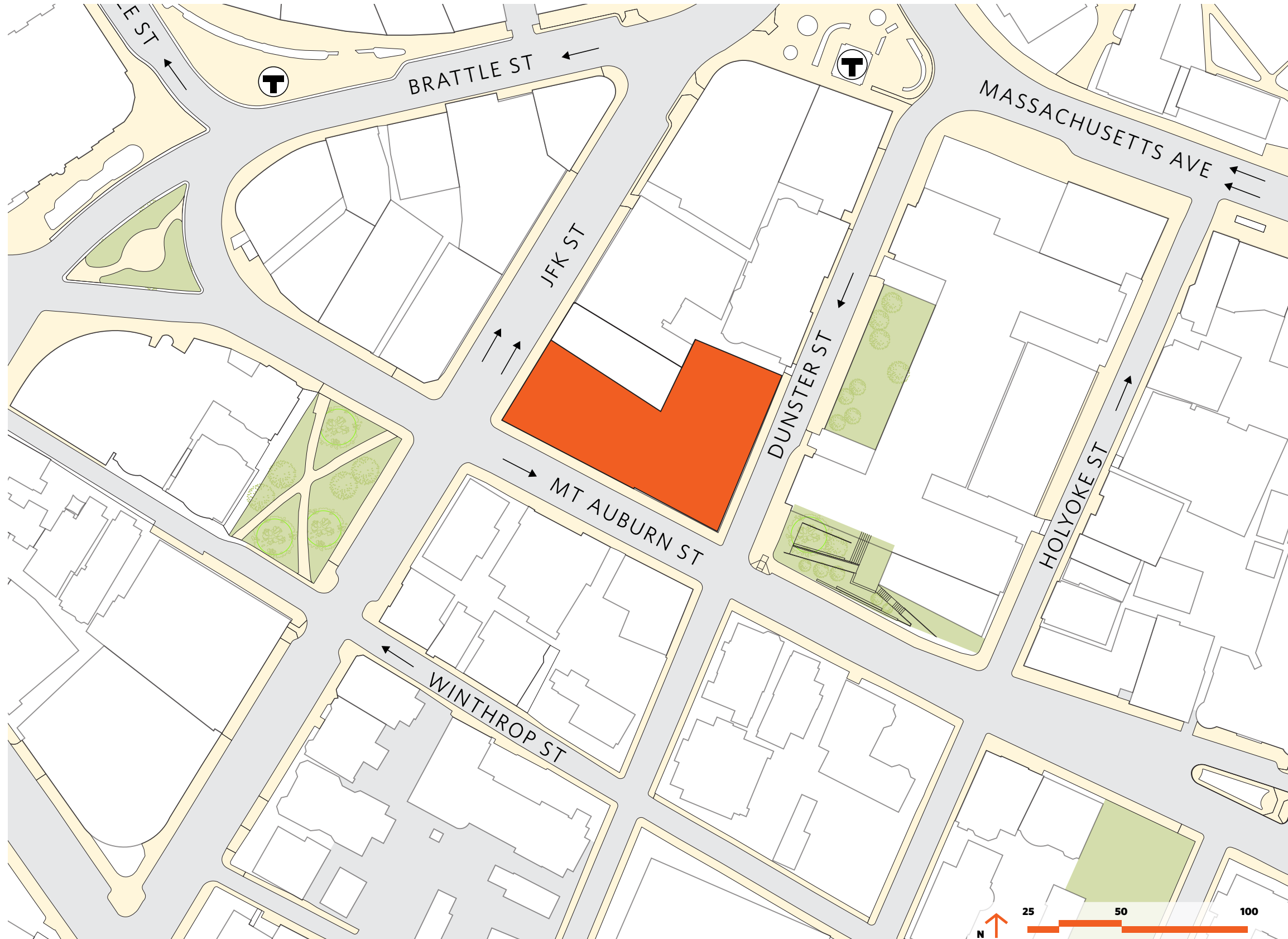
The project recognizes the importance of its location in the heart of Harvard Square, and the distinction of building frontage on three streets. The proposed building highlights both the history of the building and a re-imagined future as a memorable and active contributor to the Harvard Square District.



HARVARD SQ CONSERVATION DISTRICT



SITE PLAN



HARVARD SQ CONSERVATION DISTRICT GOALS

PRIMARY

The Goal of the District and of this Order is to protect the Harvard Square Conservation District's distinctive physical and experiential characteristics and to **enhance the livability and vitality of the District** for all people. The Historical Commission should seek to preserve and **enhance the unique physical environment and visual form** of the District; **preserve its architecturally and historically significant structures** and their settings and **encourage creative design that contributes to the richness of its environment**; mitigate character-diminishing impacts of new development; and discourage homogeneity by retaining and encouraging diversity of development and open space patterns and building scales and ages. The District must **remain a pedestrian-friendly, accessible, human-scale, quirky mixed-use environment** that **supports dynamic urban experiences**, complements nearby neighborhoods, and **respects the history and traditions of its location**.

SECONDARY

- Significant Buildings. **Preserve historically or architecturally significant buildings and structures** as well as those that contribute to the distinctive visual character or historical significance of the District.
- Sustain the vitality of the commercial environment. Sustain the vitality of the commercial environment while preserving architecturally-significant or original building fabric at street level and above. Encourage the **restoration of missing features** where these have been documented. Except for protected storefronts, **encourage creative contemporary commercial design** inside the restored framework of storefront openings. Encourage creative signage. **Support below-grade commercial spaces** where appropriate. Regardless of use, encourage architectural solutions that preserve storefront fabric, transparency, and utility.
- Contemporary Design. Where context allows, support creative, contemporary designs for new construction that **complements the context of abutting buildings and enhances the character of the Sub-District**. Recognize and respect well-reasoned contemporary design during the review process. Support innovative approaches to enhancing the unique character of Harvard Square while mitigating the detrimental impacts of development on proximate areas.
- Diversity of Form. Build on and **sustain the diversity of existing building form, scale and material**. Preserve and encourage appropriate greenspaces, scale-appropriate open spaces, and new buildings that support the prevailing character of the Sub-District. Preserve the remaining wood frame buildings throughout the District. Maintain a consistent setback or streetwall condition where that character has been set. Support small-scale storefronts to preserve the vitality and character of the streetscape.
- Public Environment. **Create a high quality public environment** in the District with compatible materials, lighting, signage, and street furniture such as bollards, benches, moveable seating, and the like. Provide adequate facilities for trash and recycling and surfaces that can be cleaned and maintained. **Encourage planted greenspaces** and accommodate trees where possible.
- Pedestrian Experience. **Protect and enhance the pedestrian experience**. Expand the network of pedestrian walkways and paths wherever they can conveniently provide alternate routes through the District. Increase public access to alleys and interior spaces where appropriate and upgrade the paving and landscaping of such spaces. Enhance accessibility and safety for pedestrians throughout the District.
- Compatible Design. Encourage compatible design that **supports a wide diversity of uses** serving the needs of surrounding neighborhoods, students, workers and visitors from around the world.
- Environmental Sustainability. **Encourage environmentally sustainable development** that takes into consideration the embodied energy of the existing built environment, material life cycles, passive design, energy conservation, and current standards for best energy conservation practices. **Alterations to existing buildings that seek to promote energy conservation should be accomplished in a manner that respects character-defining materials and designs**.
- Architectural lighting. Architectural (building façade) lighting, streetscape lighting, and signage lighting, when allowed by a Certificate of Appropriateness, should **reinforce definitive characteristics of historic and contemporary architecture as well as create high quality 24-hour streetscapes**. To achieve these goals, projects should minimize brightness, and light trespass, monitor light color (temperature Kelvin), and focus lighting on significant features.

BUILDING HISTORY

1860-1897 HORSE STABLE



HORSE HOUSE NO 6.

1897-1924 HORSE STABLE



UNION RAILWAY STABLE

1924-1972 PARKING GARAGE



THE HARVARD SQUARE GARAGE

1972-2021 SHOPPING CENTER

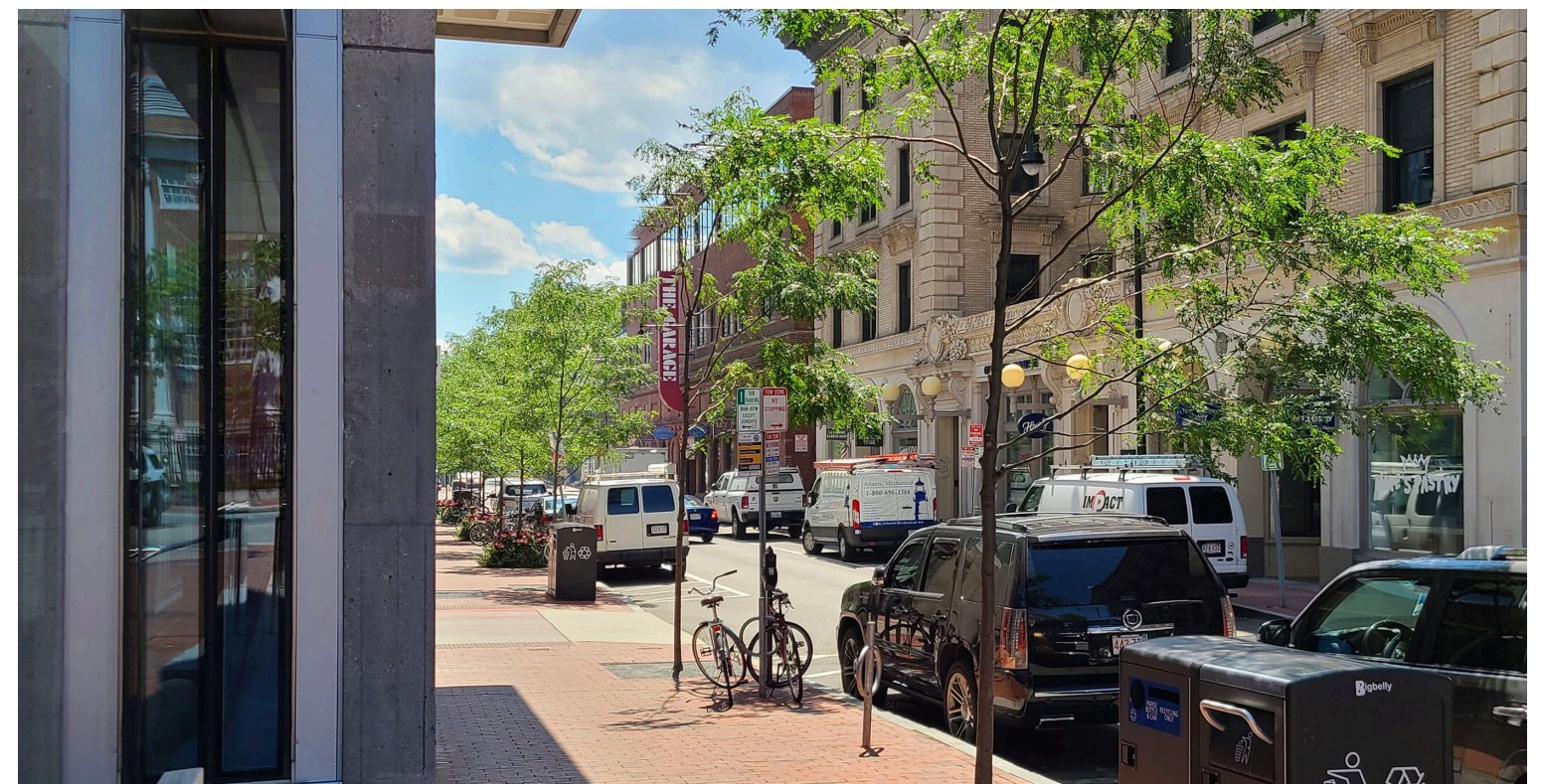


THE GARAGE

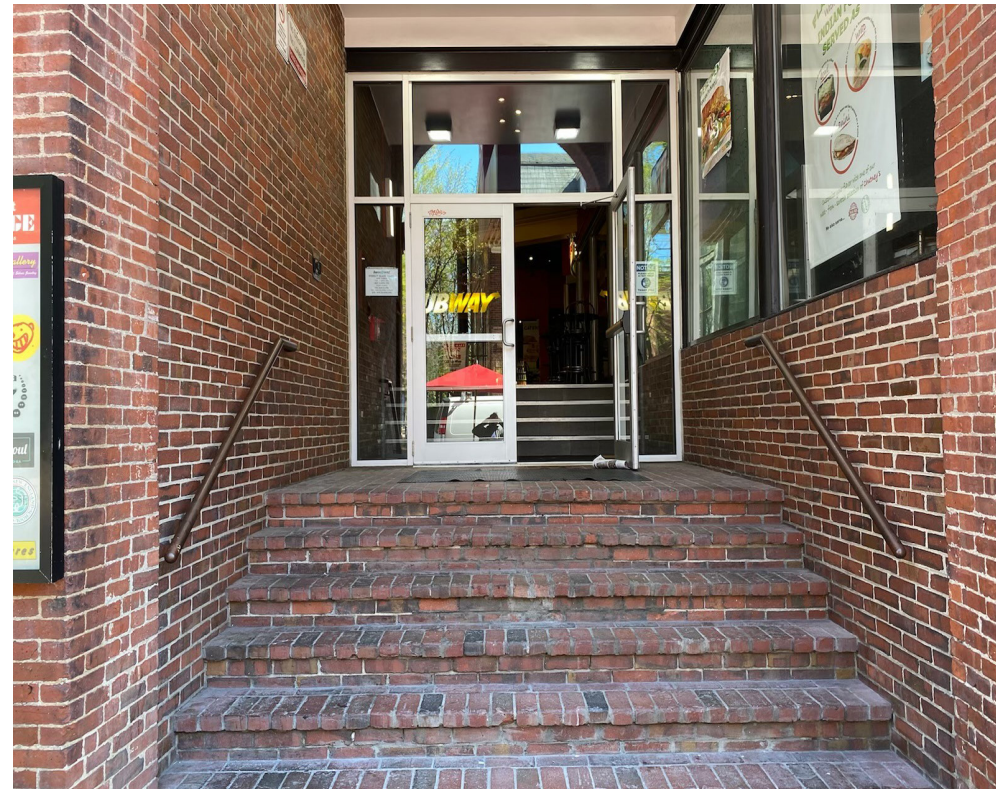
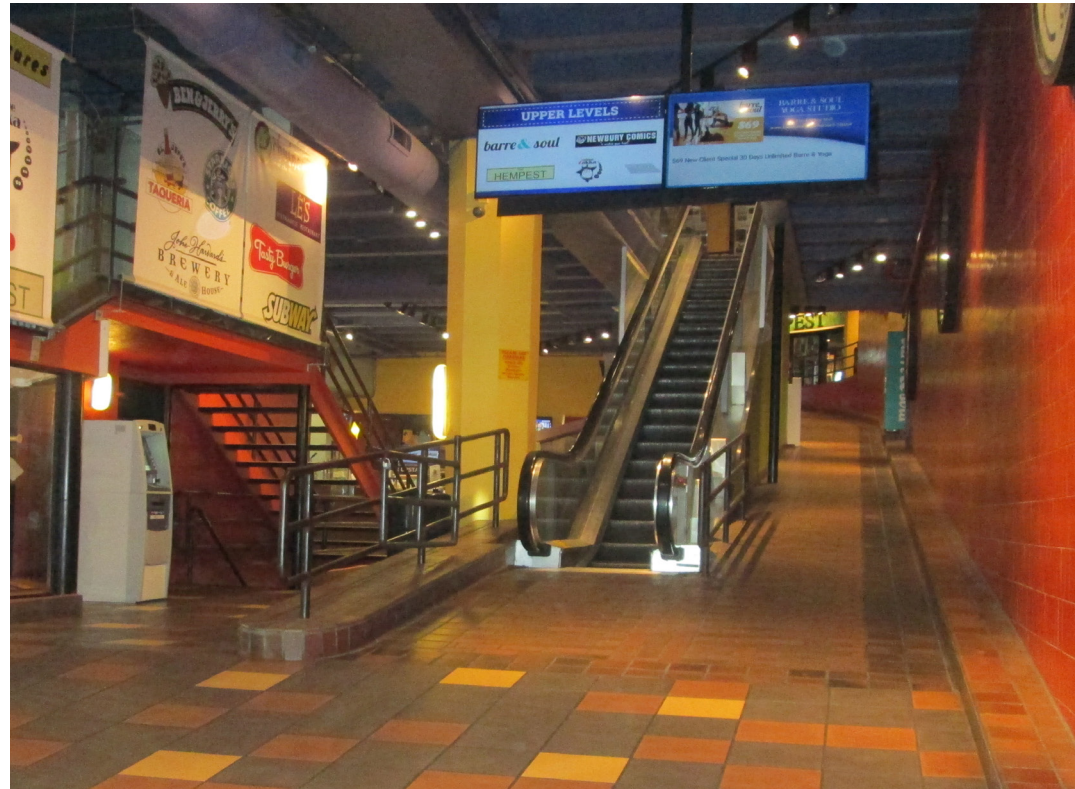
EXISTING CONDITION



EXISTING CONDITION





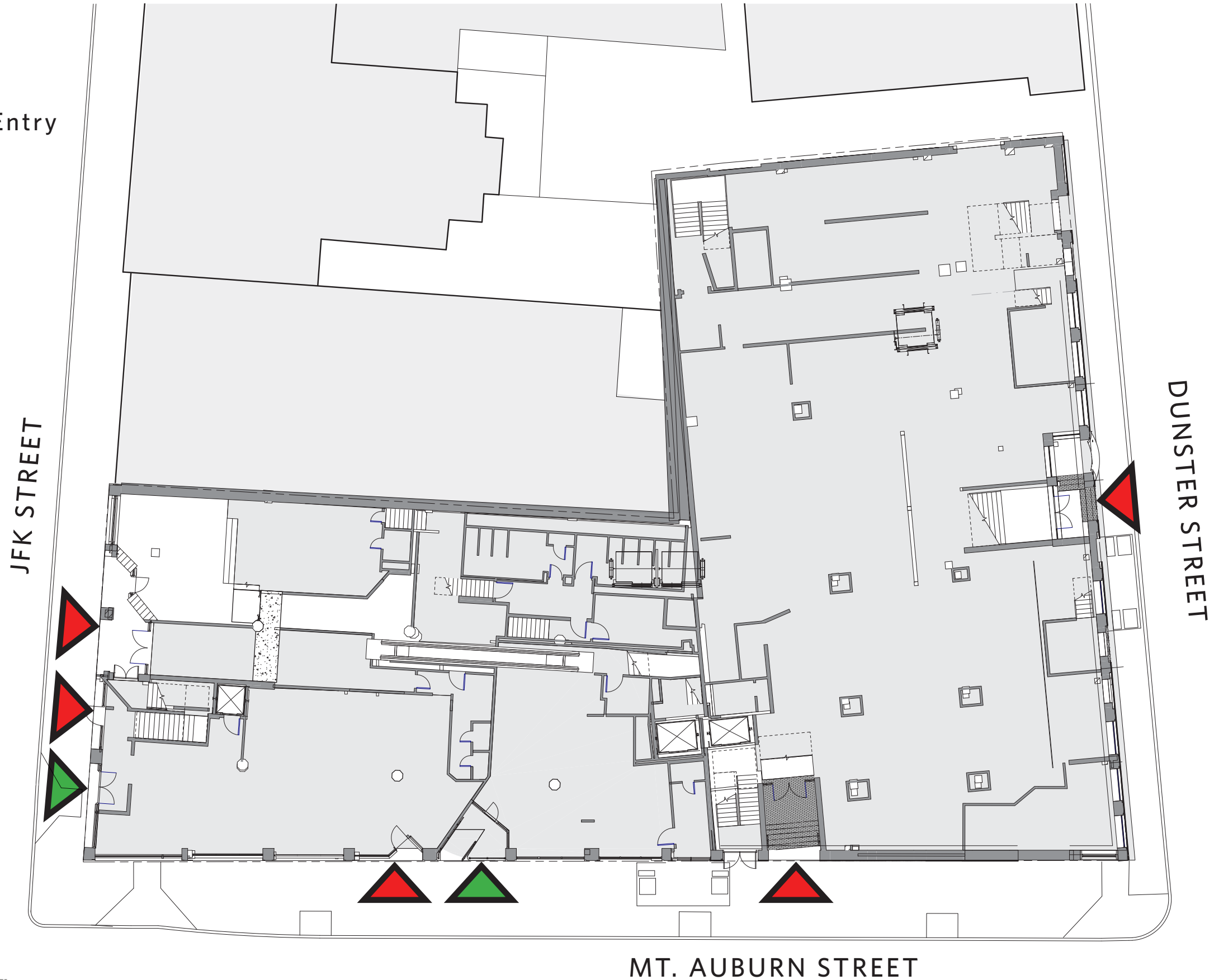
EXISTING CONDITION



EXISTING GROUND FLOOR PLAN

ENTRIES

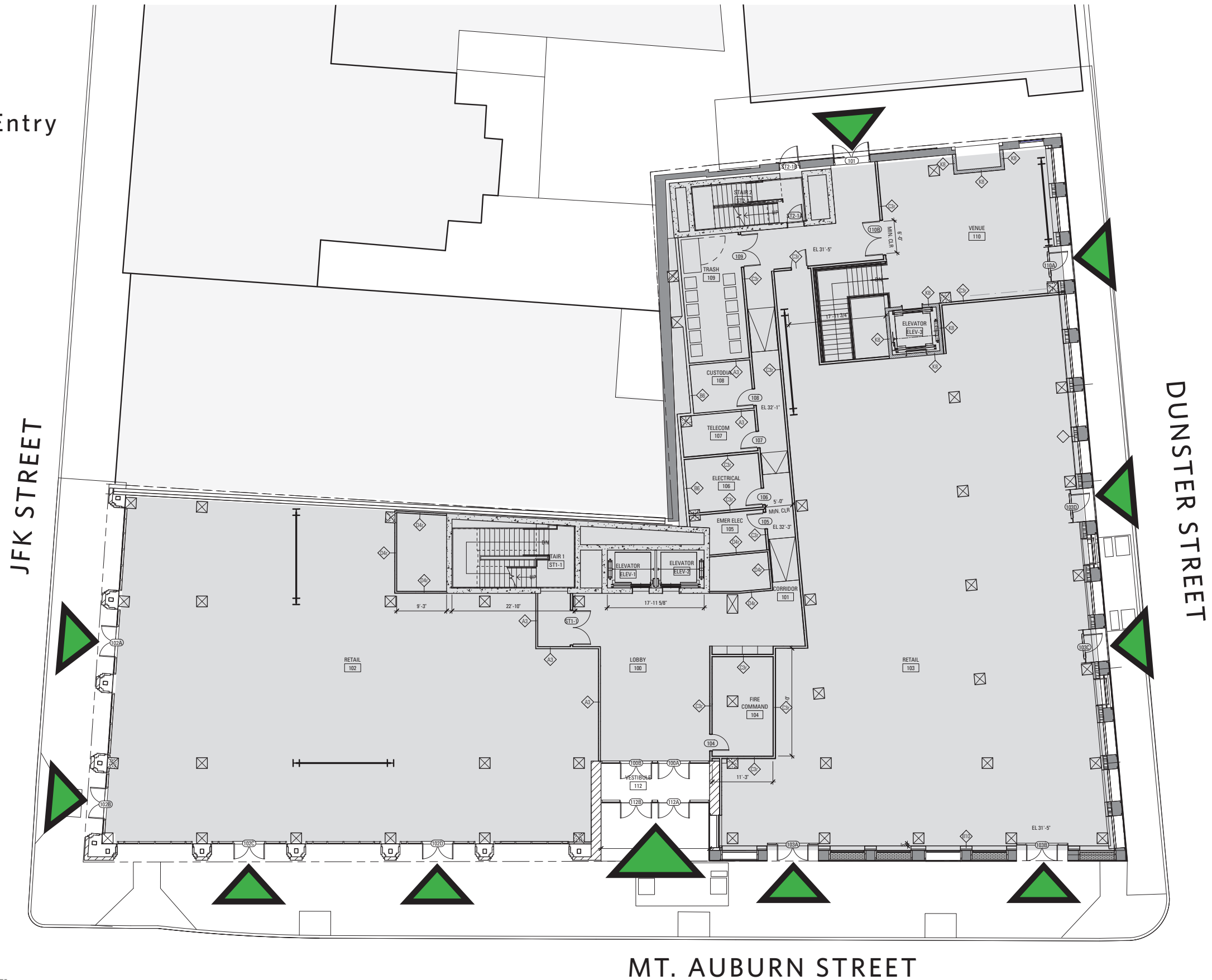
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-  Accessible Entry



PROPOSED GROUND FLOOR PLAN

ENTRIES

-  Non Accessible Entry
-  Accessible Entry

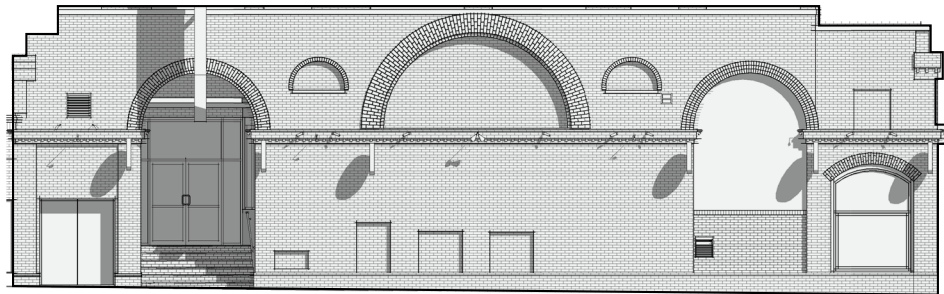


DIAGRAM

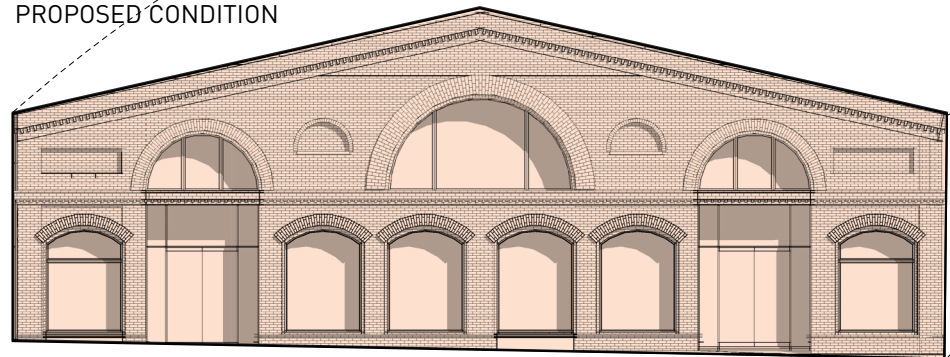


1860 HORSE STABLE

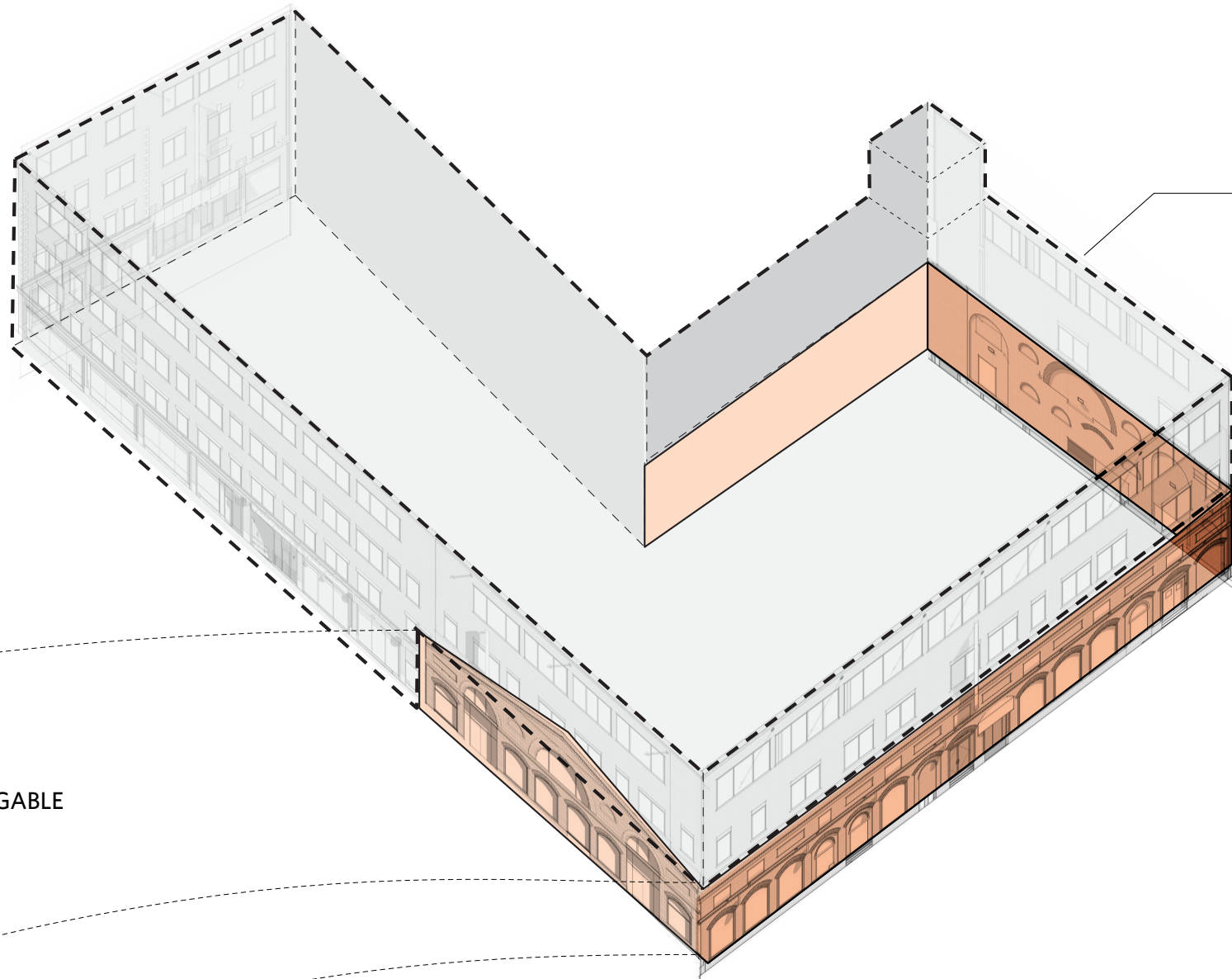
EXISTING CONDITION



PROPOSED CONDITION



1860'S FACADE AND GABLE
PROFILE TO BE
RECONSTRUCTED

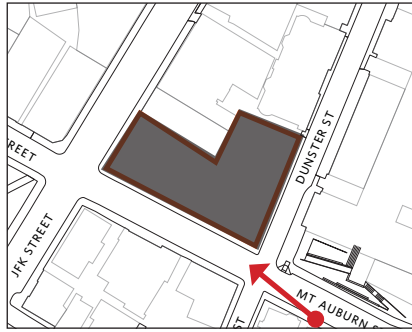


EXISTING BUILDING
TO BE DEMOLISHED

EXISTING MASONRY
TO REMAIN

EXISTING

MT AUBURN VIEW LOOKING WEST

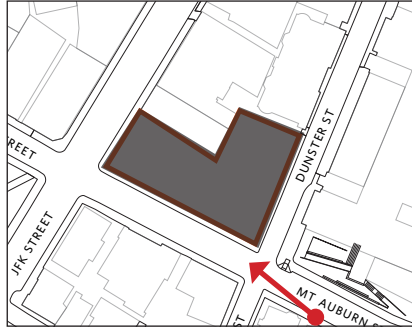


KEY PLAN



PROPOSED

MT AUBURN VIEW LOOKING WEST

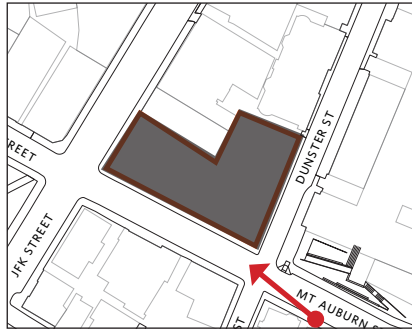


KEY PLAN



PROPOSED

MT AUBURN VIEW LOOKING WEST

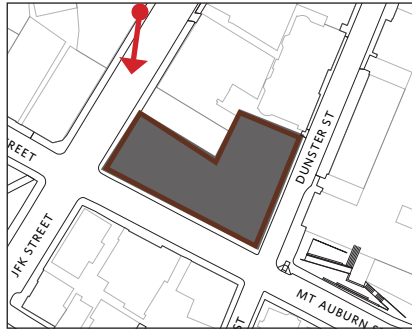


KEY PLAN



EXISTING

JFK VIEW LOOKING SOUTH

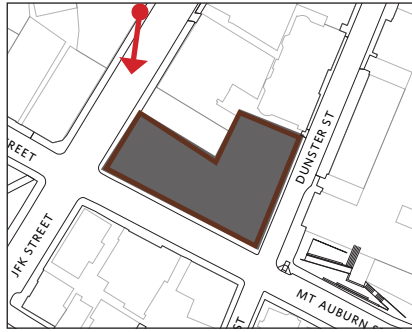


KEY PLAN



PROPOSED

JFK VIEW LOOKING SOUTH

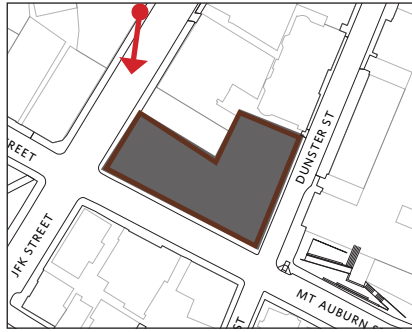


KEY PLAN



PROPOSED

JFK VIEW LOOKING SOUTH

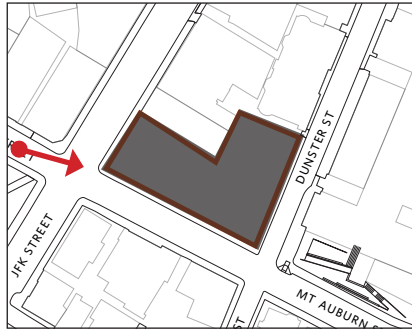


KEY PLAN



EXISTING

MT AUBURN VIEW LOOKING EAST

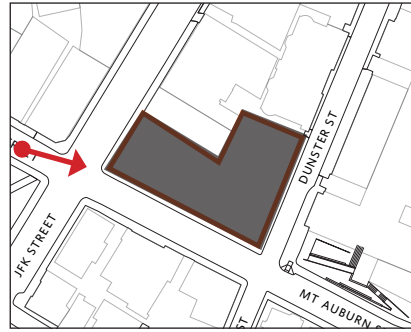


KEY PLAN



PROPOSED

MT AUBURN VIEW LOOKING EAST

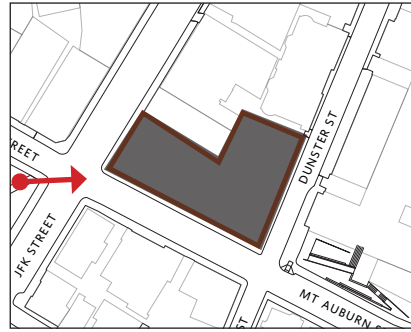


KEY PLAN



EXISTING

VIEW FROM WINTHROP PARK

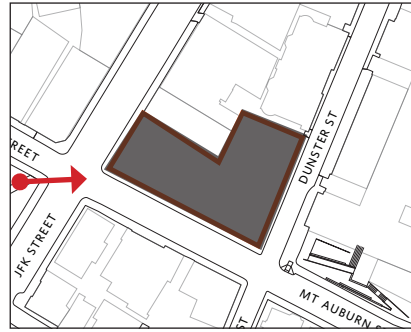


KEY PLAN



PROPOSED

VIEW FROM WINTHROP PARK

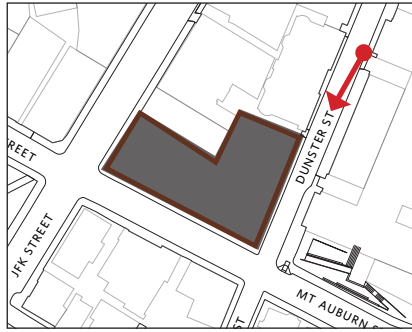


KEY PLAN



EXISTING

DUNSTER VIEW LOOKING SOUTH

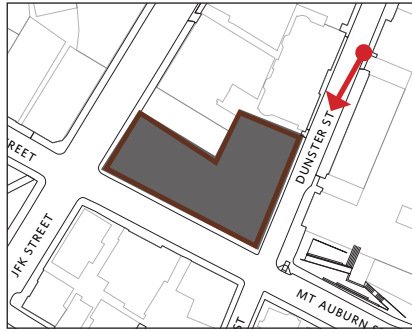


KEY PLAN



PROPOSED

DUNSTER VIEW LOOKING SOUTH

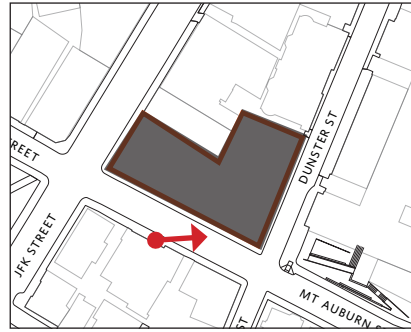


KEY PLAN



EXISTING

MT. AUBURN LOOKING EAST

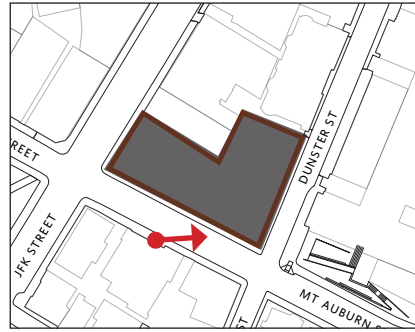


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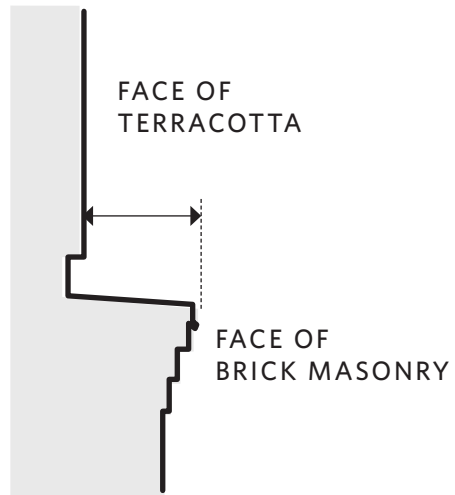


PROPOSED

MT. AUBURN LOOKING EAST



KEY PLAN

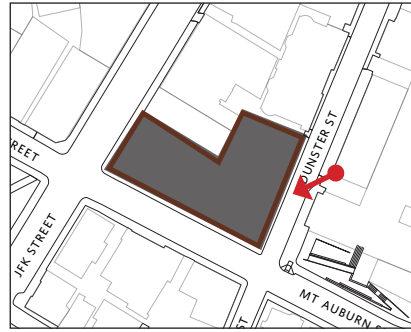


DETAIL SKETCH
ABOVE GABLE



EXISTING

DUNSTER VIEW LOOKING SOUTH

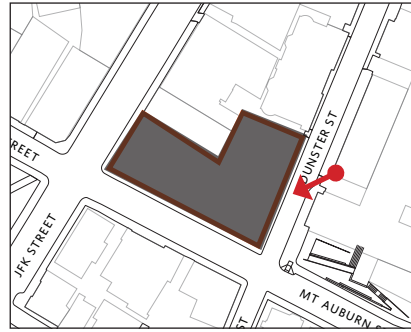


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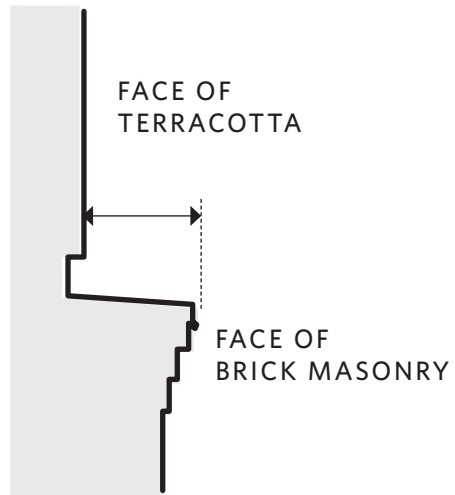


PROPOSED

DUNSTER VIEW LOOKING SOUTH



KEY PLAN

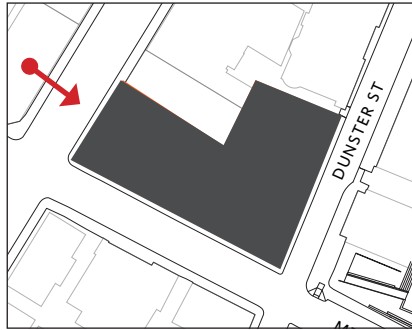


DETAIL SKETCH
ABOVE EXISTING
BRICK



ELEVATION EXISTING

JFK - WEST

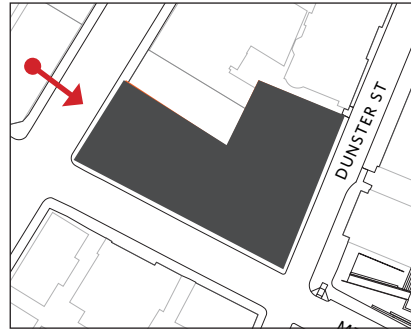


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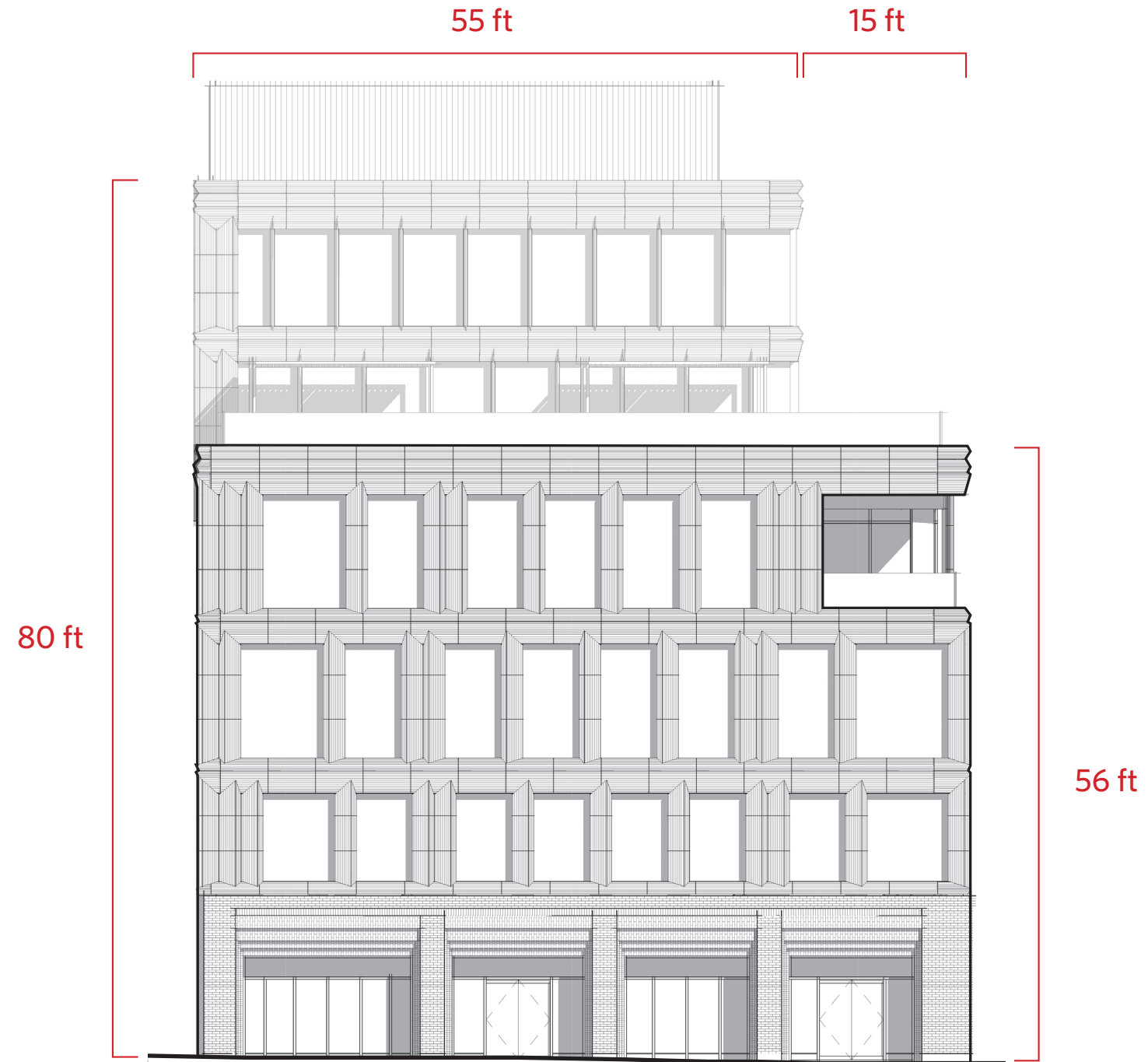


ELEVATION PROPOSED

JFK - WEST



KEY PLAN



ELEVATION - JFK

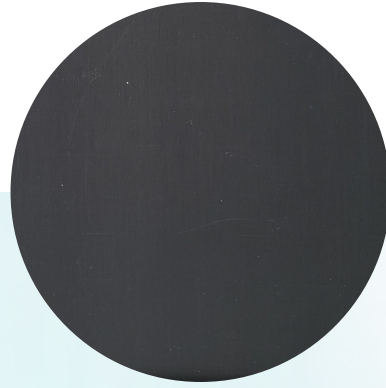
MATERIALS



GLASS
Curtain Wall



METAL SCREEN
Mechanical Cover



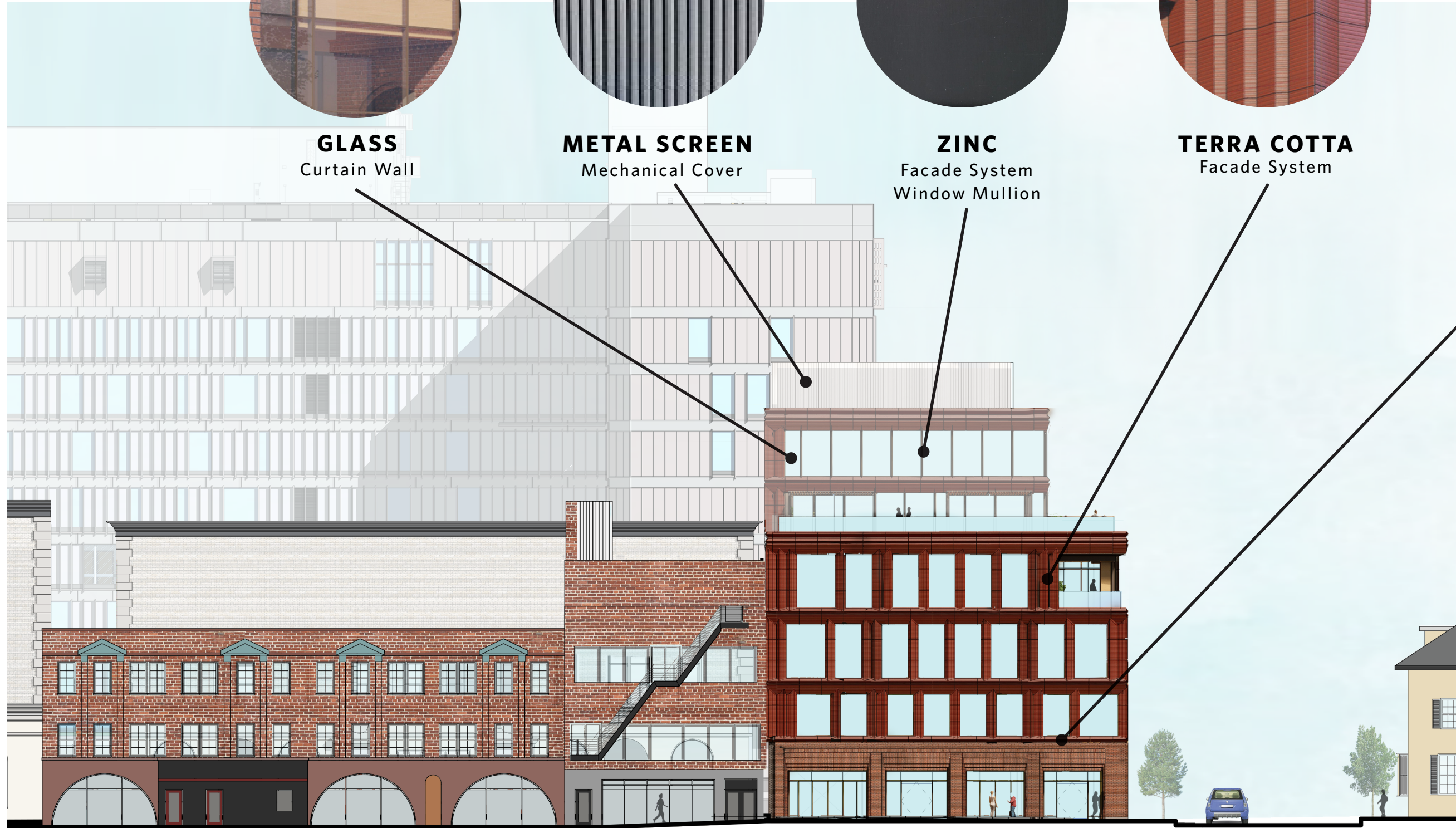
ZINC
Facade System
Window Mullion



TERRA COTTA
Facade System



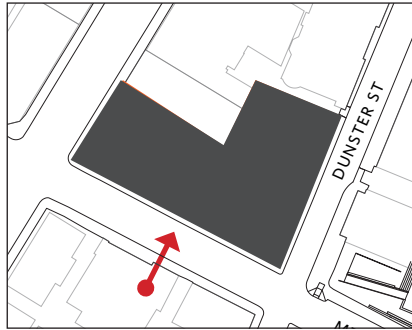
MASONRY
Contemporary Brick
Detailing



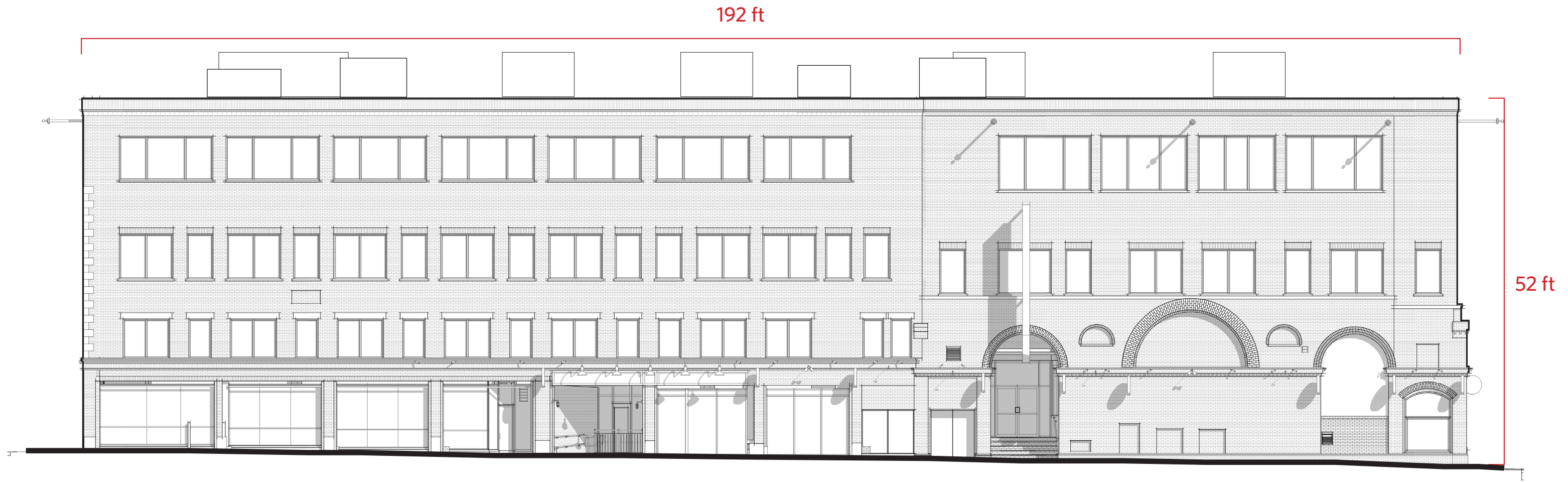
MT AUBURN ST

ELEVATION EXISTING

MT AUBURN - FACING SOUTH

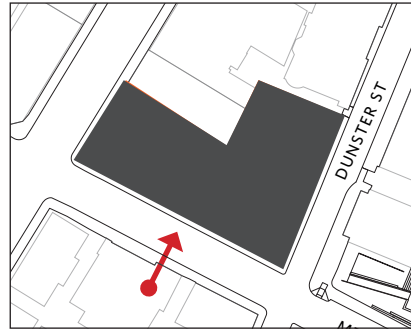


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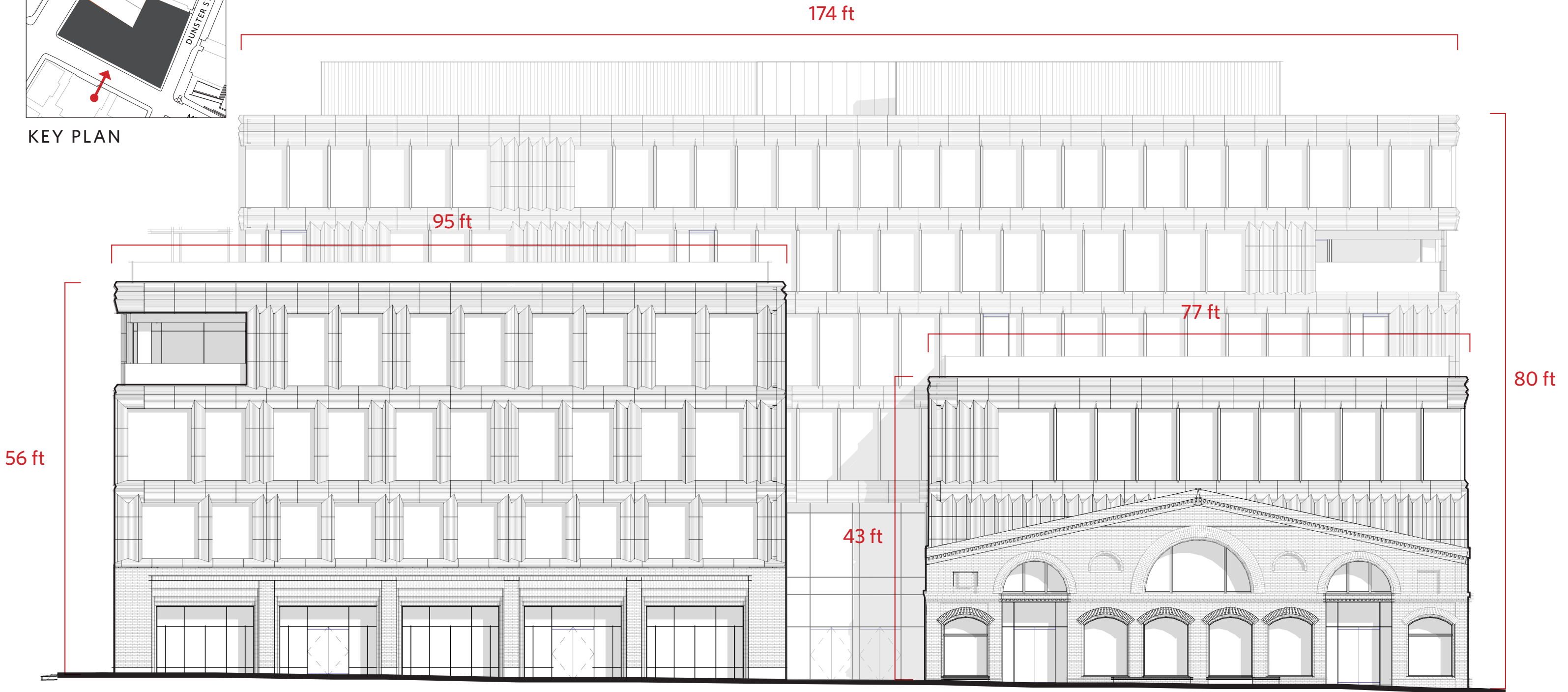


ELEVATION PROPOSED

MT AUBURN - FACING SOUTH



KEY PLAN



ELEVATION - MT. AUBURN

MATERIALS



METAL SCREEN
Mechanical Cover



TERRA COTTA
Facade System



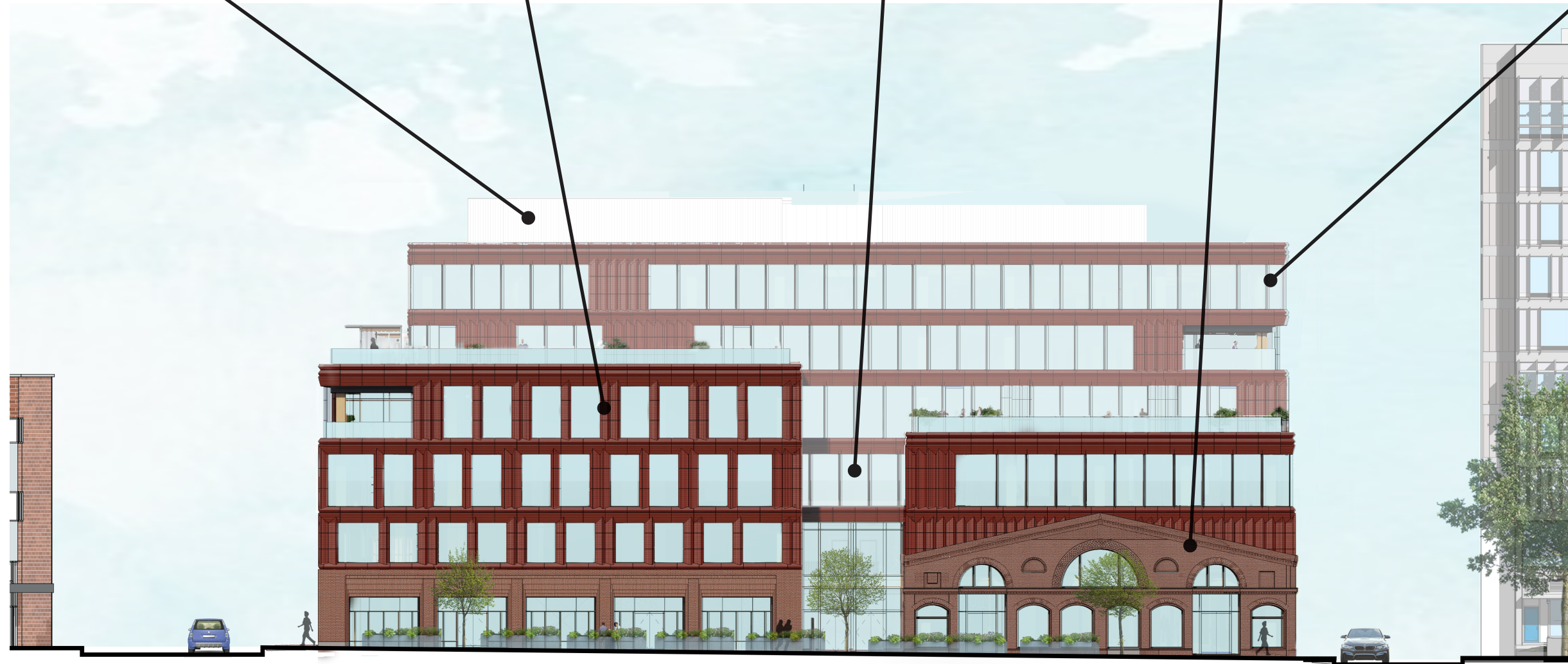
GLASS
Curtain Wall



MASONRY
Historic Brick



ZINC
Facade System
Window Mullion

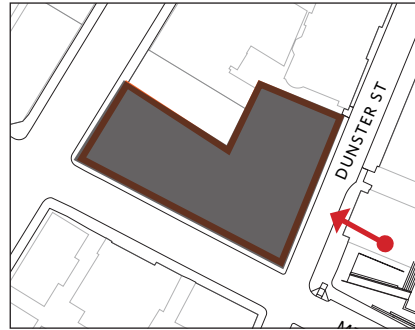


JFK ST

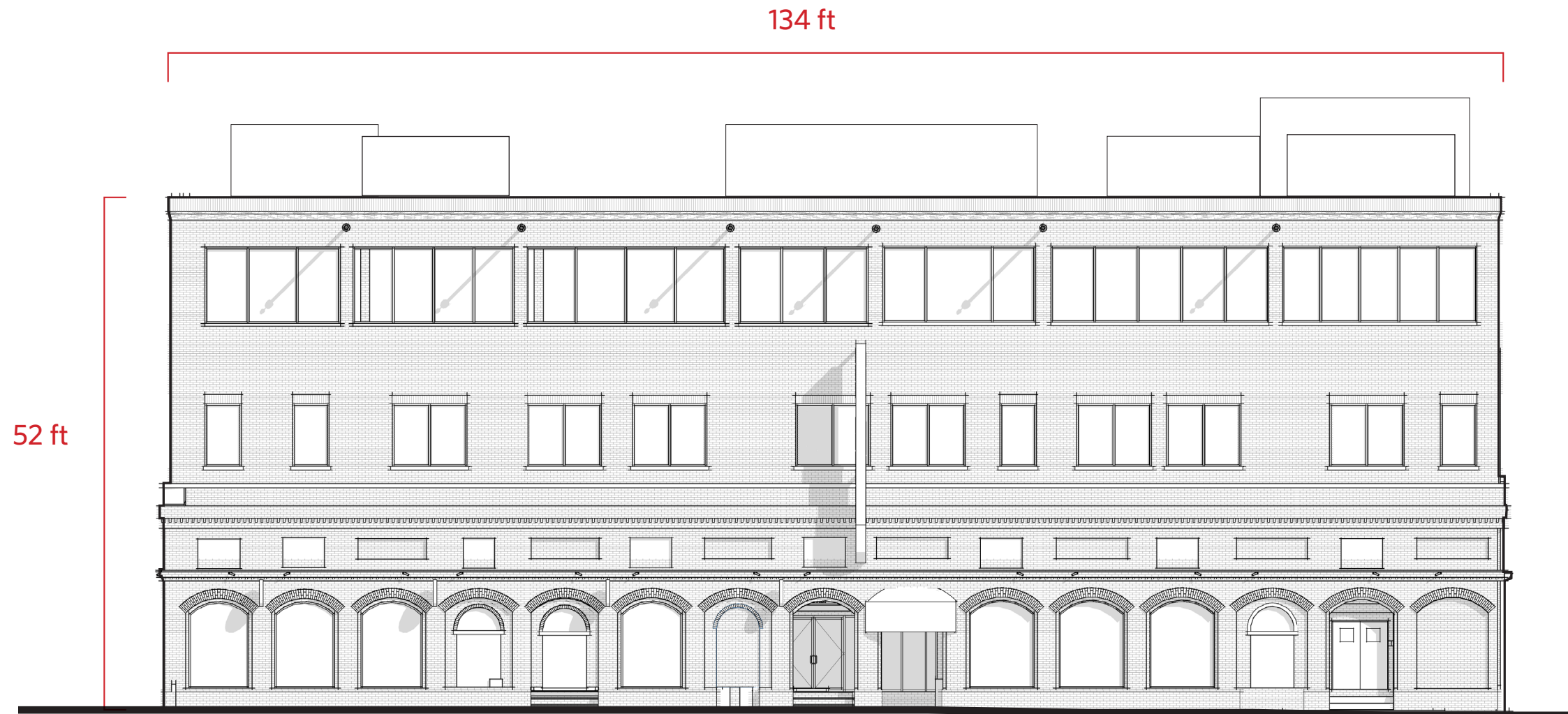
DUNSTER ST

ELEVATION EXISTING

DUNSTER - FACING EAST

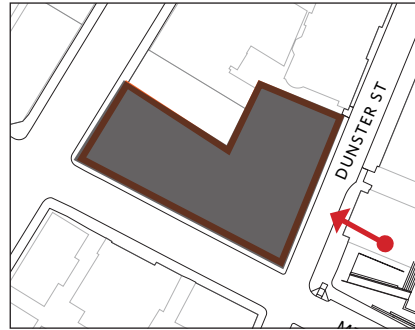


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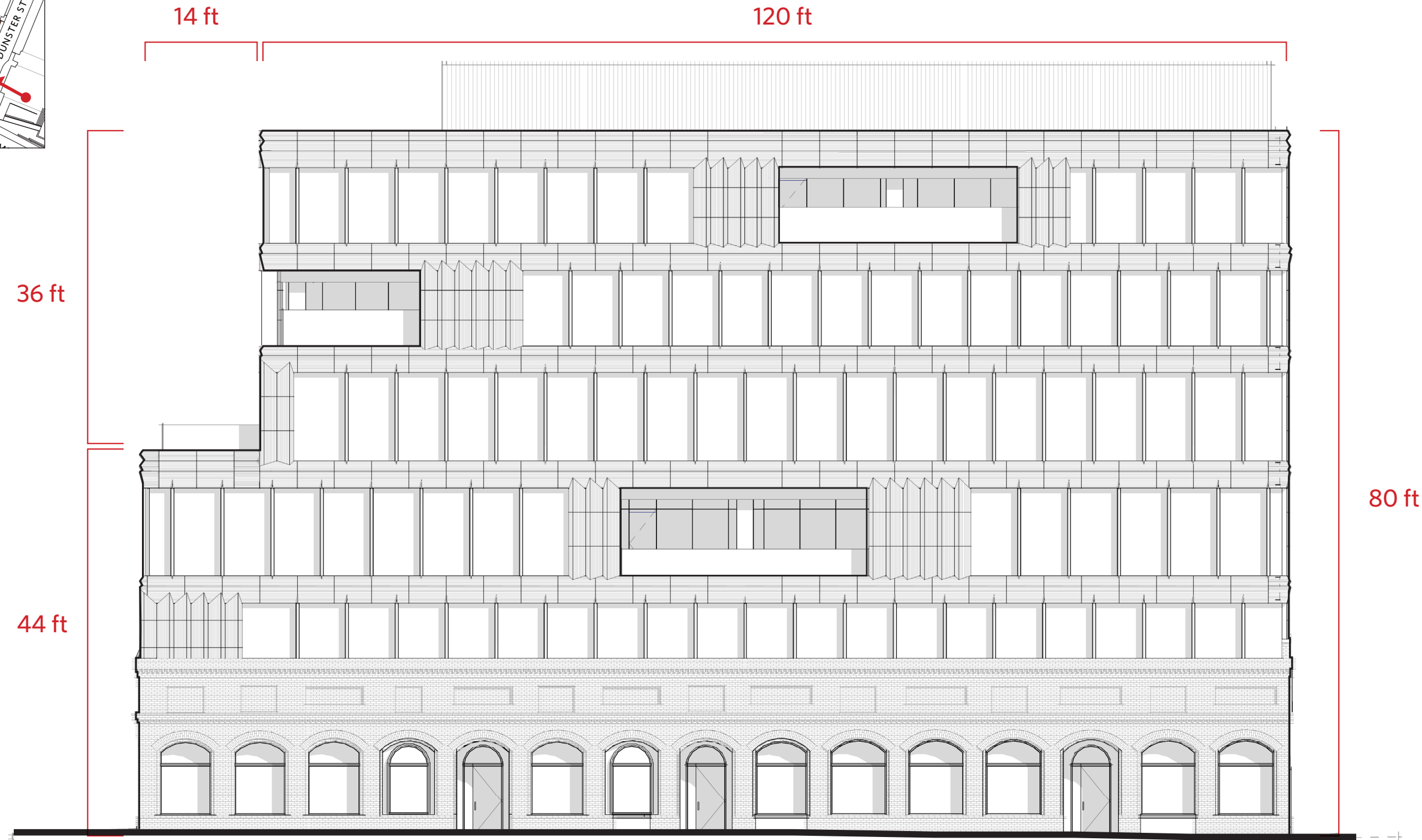


ELEVATION PROPOSED

DUNSTER - FACING EAST



KEY PLAN

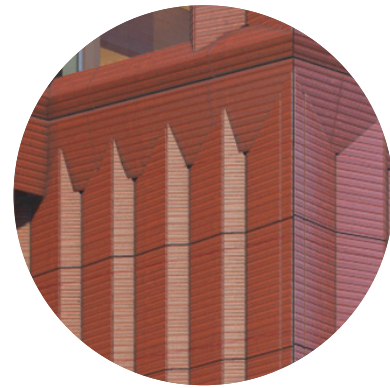


ELEVATION - DUNSTER

MATERIALS



METAL SCREEN
Mechanical Cover



TERRA COTTA
Facade System



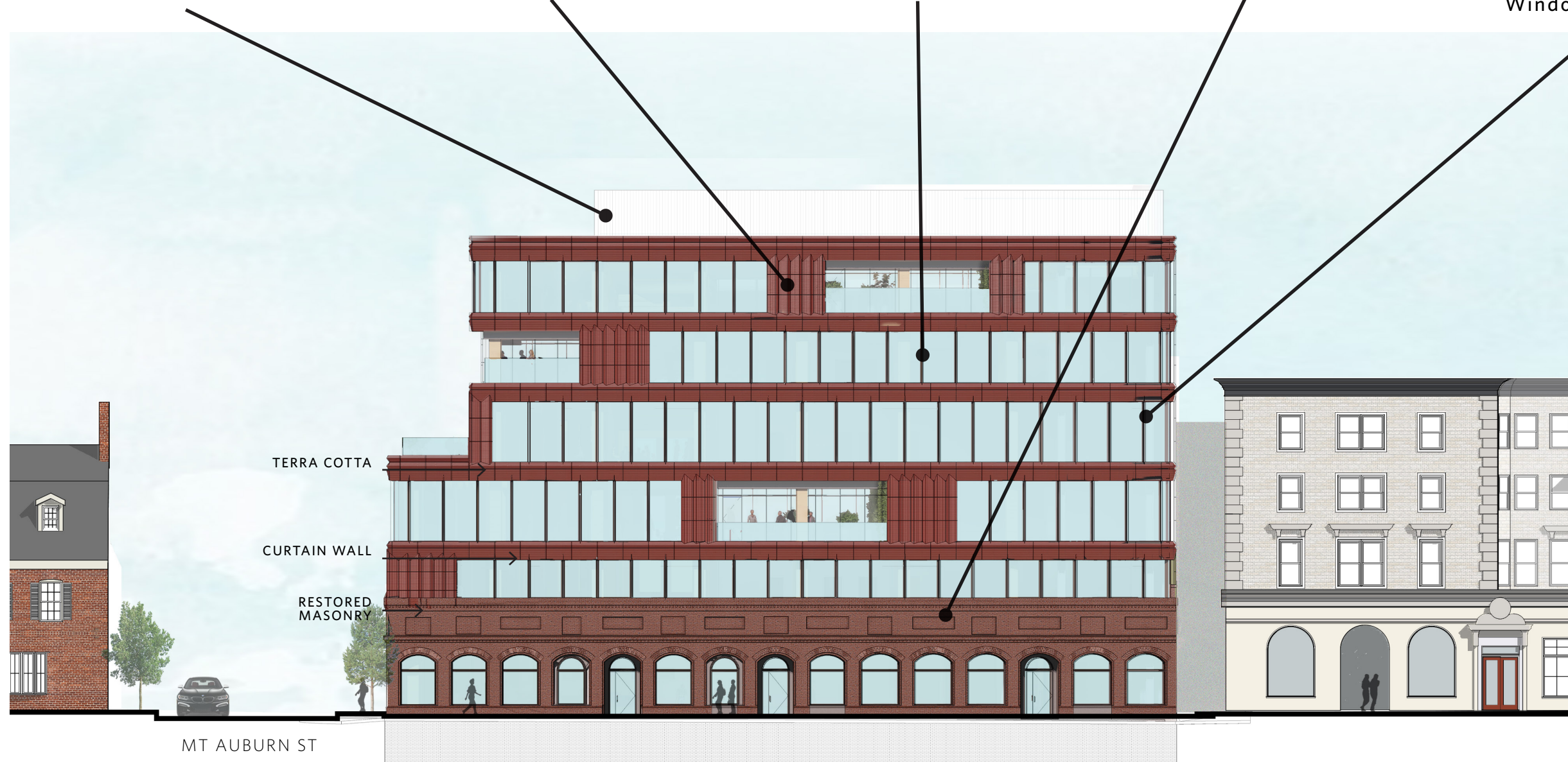
GLASS
Curtain Wall



MASONRY
Historic Brick



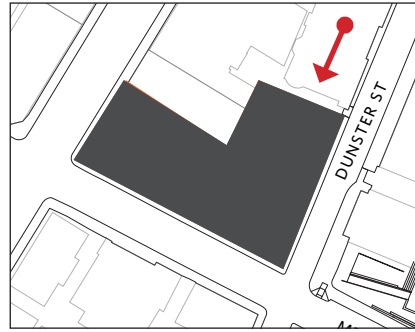
ZINC
Facade System
Window Mullion



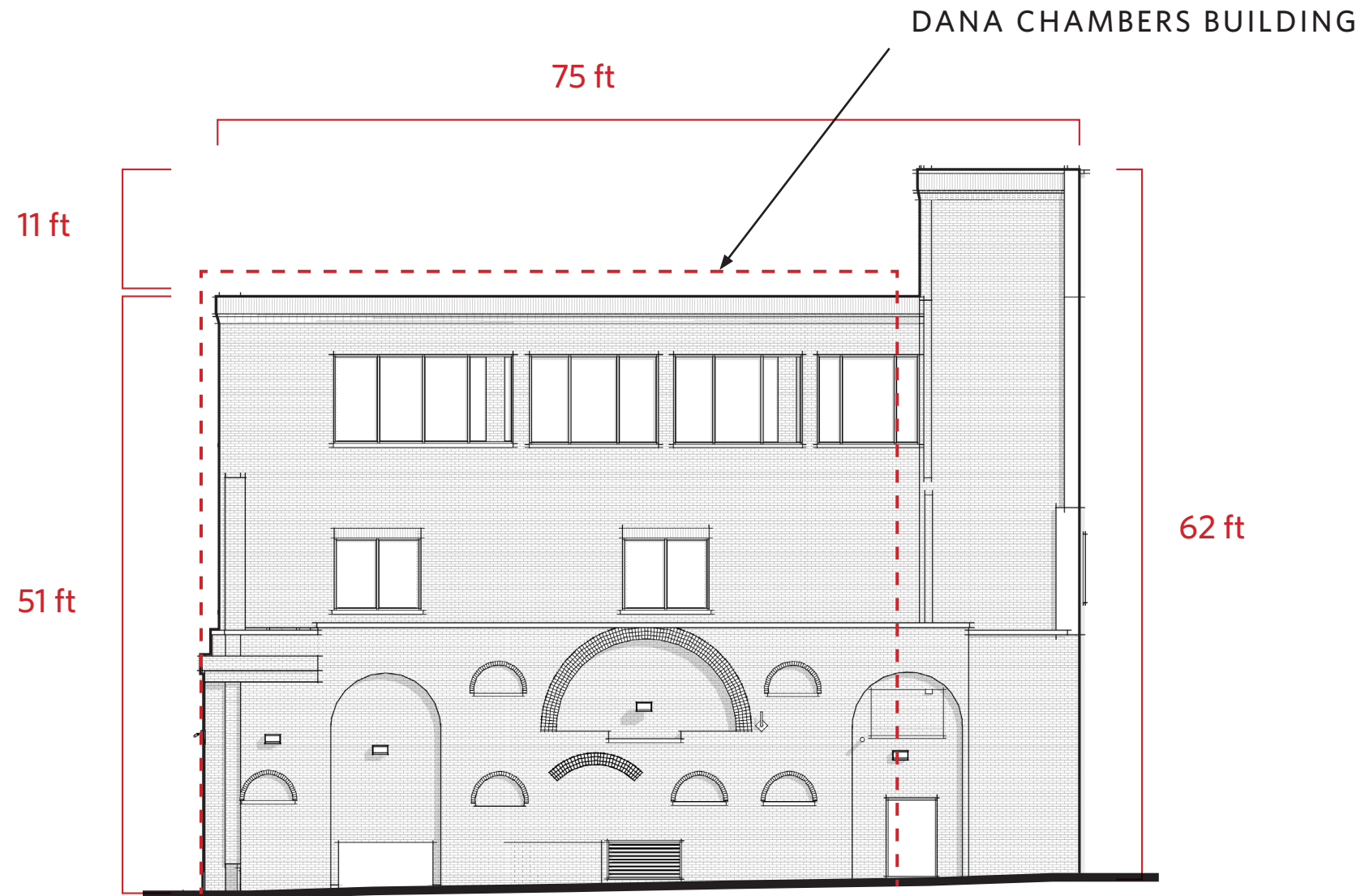
MT AUBURN ST

ELEVATION EXISTING

SERVICE ALLEY - FACING NORTH

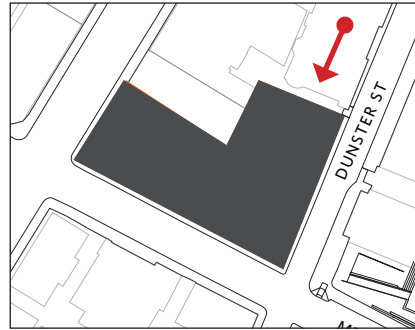


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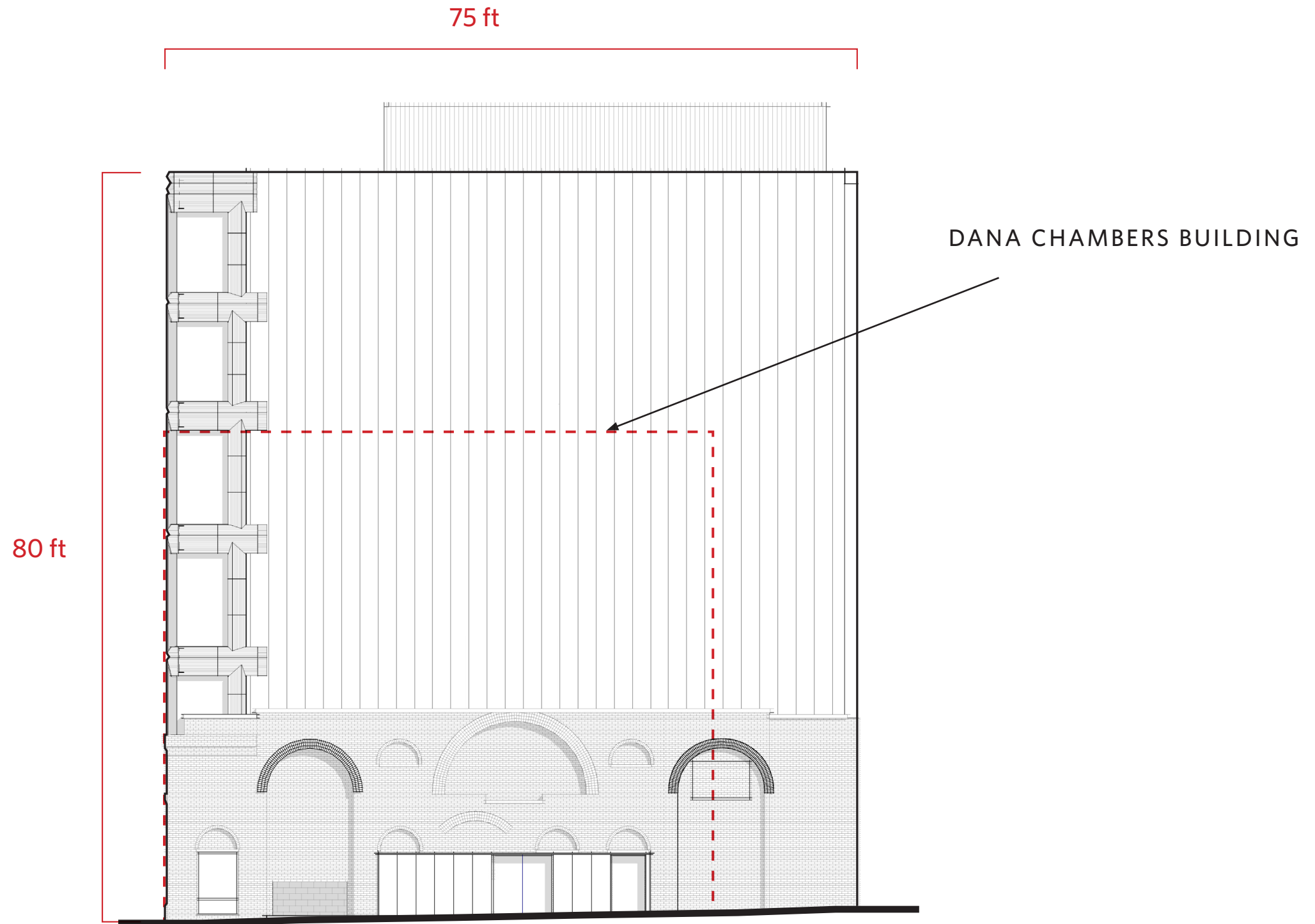


ELEVATION PROPOSED

SERVICE ALLEY - FACING NORTH



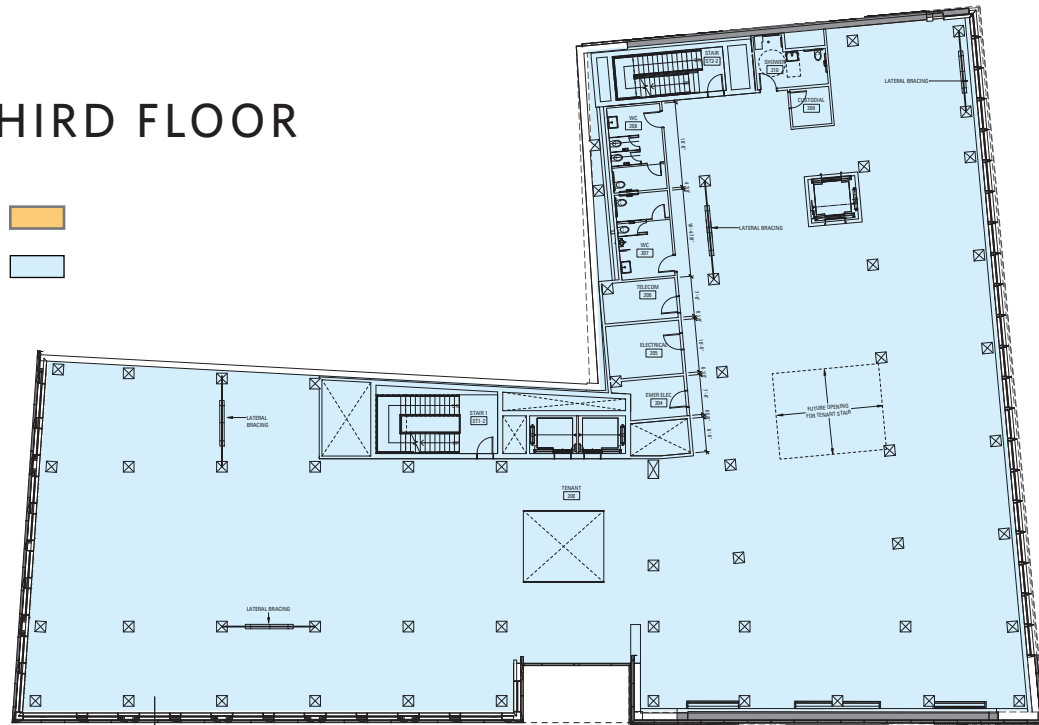
KEY PLAN



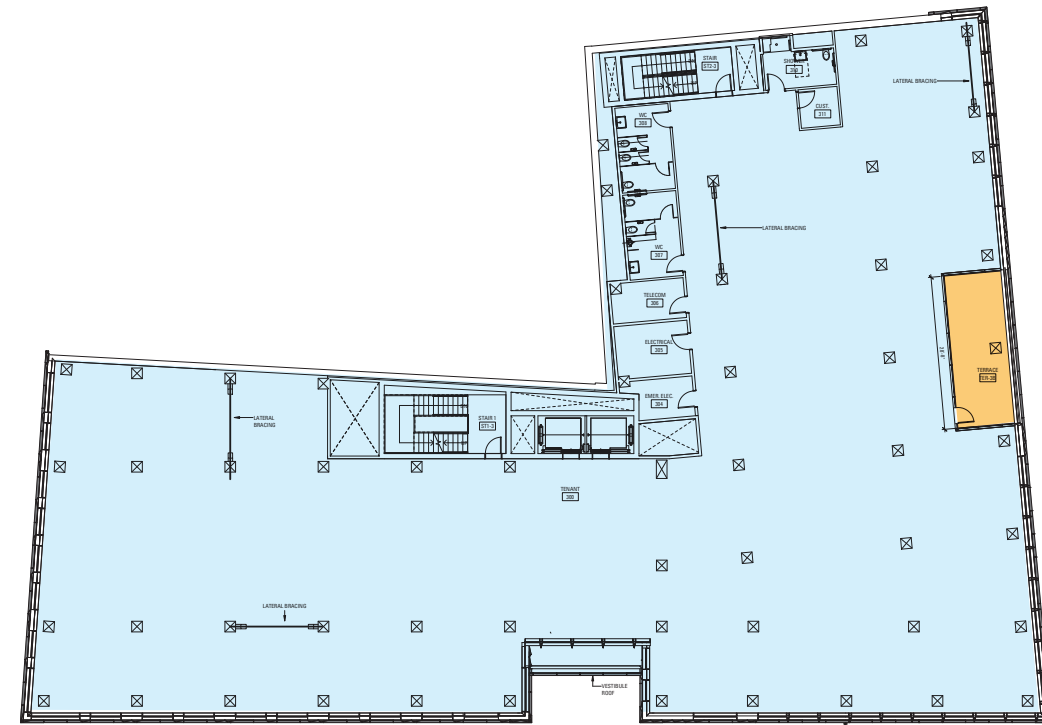
PLANS

BASEMENT - THIRD FLOOR

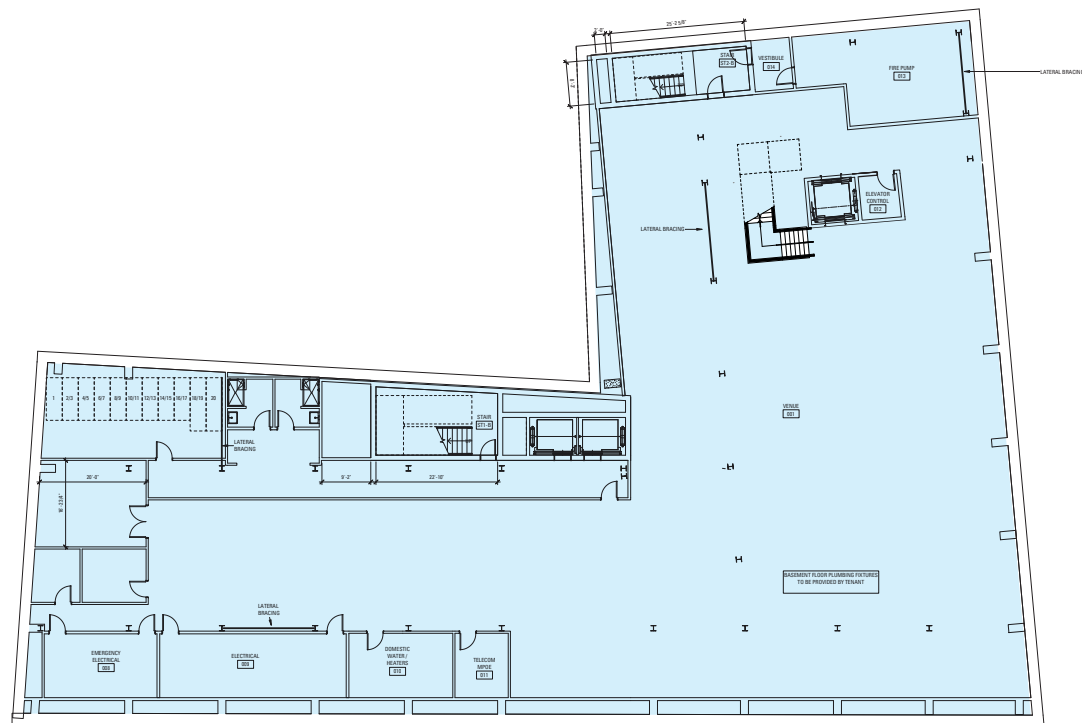
OUTDOOR TERRACE 
INTERIOR SPACE 



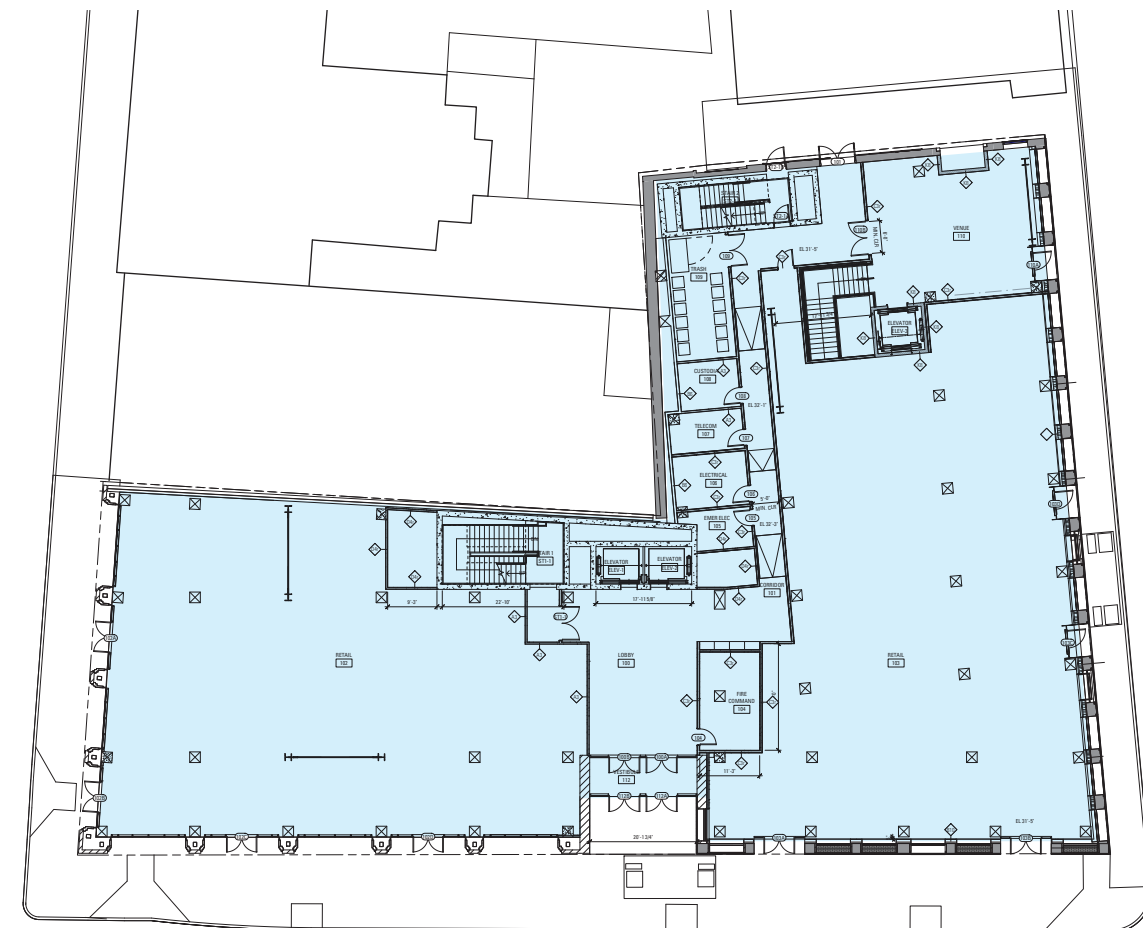
SECOND FLOOR



THIRD FLOOR



BASEMENT LEVEL



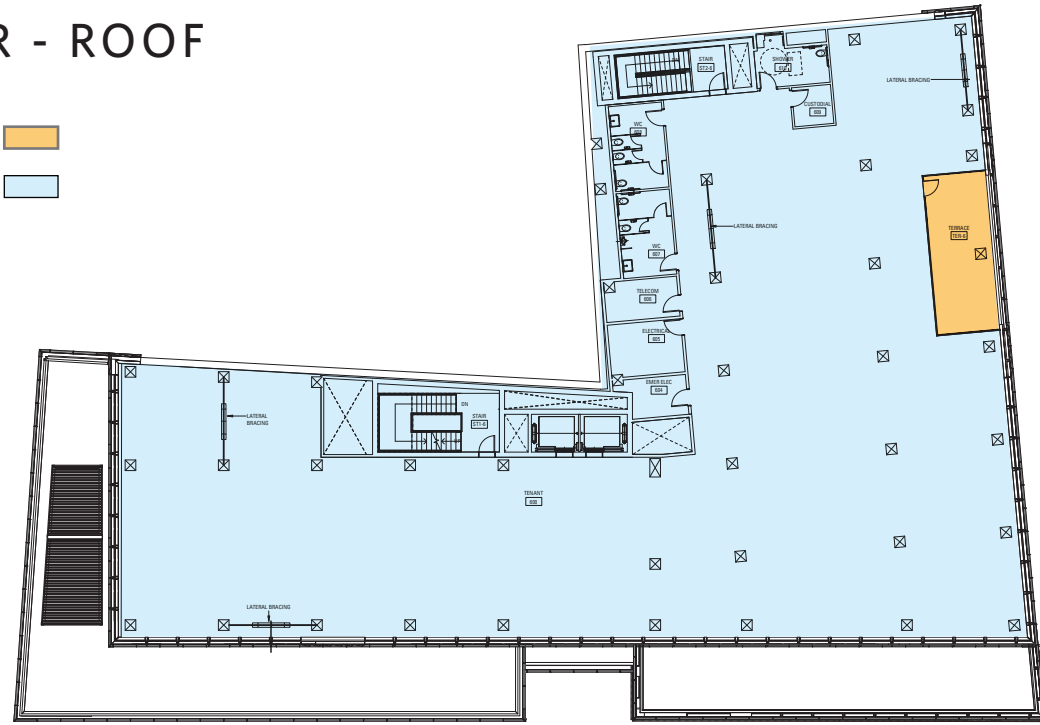
GROUND FLOOR



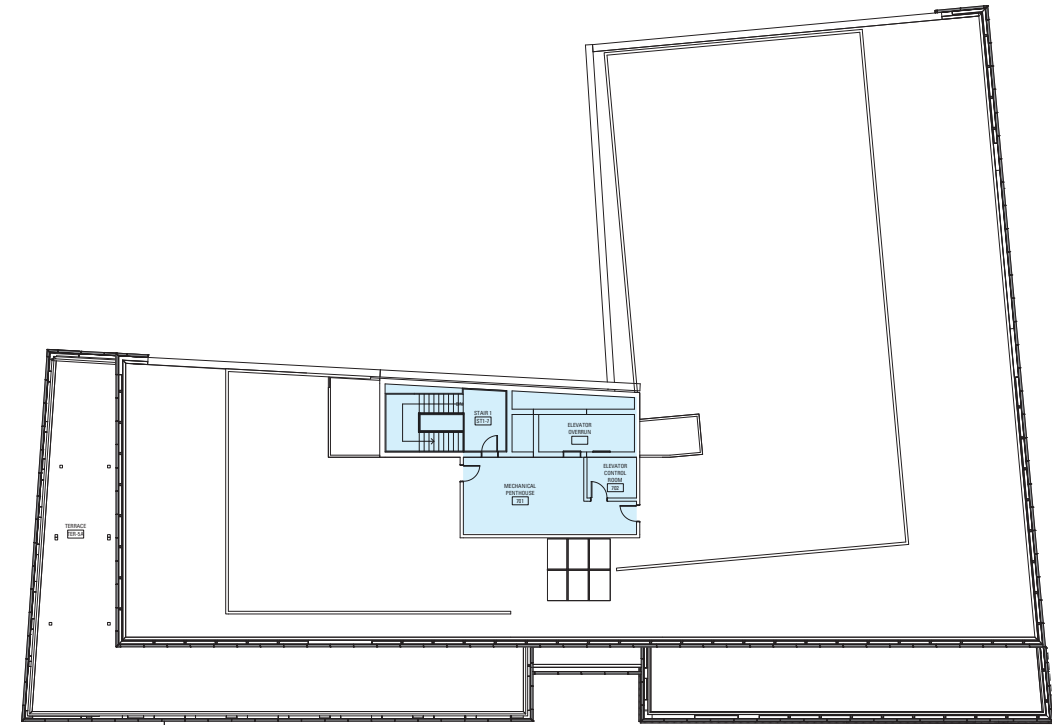
PLANS

FOURTH FLOOR - ROOF

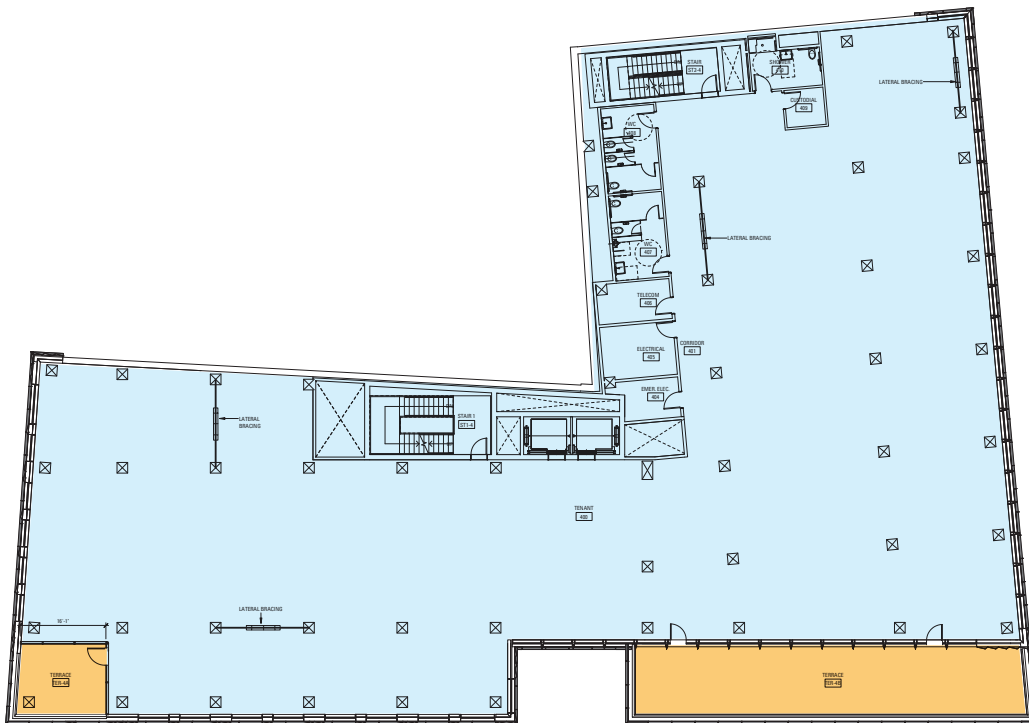
OUTDOOR TERRACE 
INTERIOR SPACE 



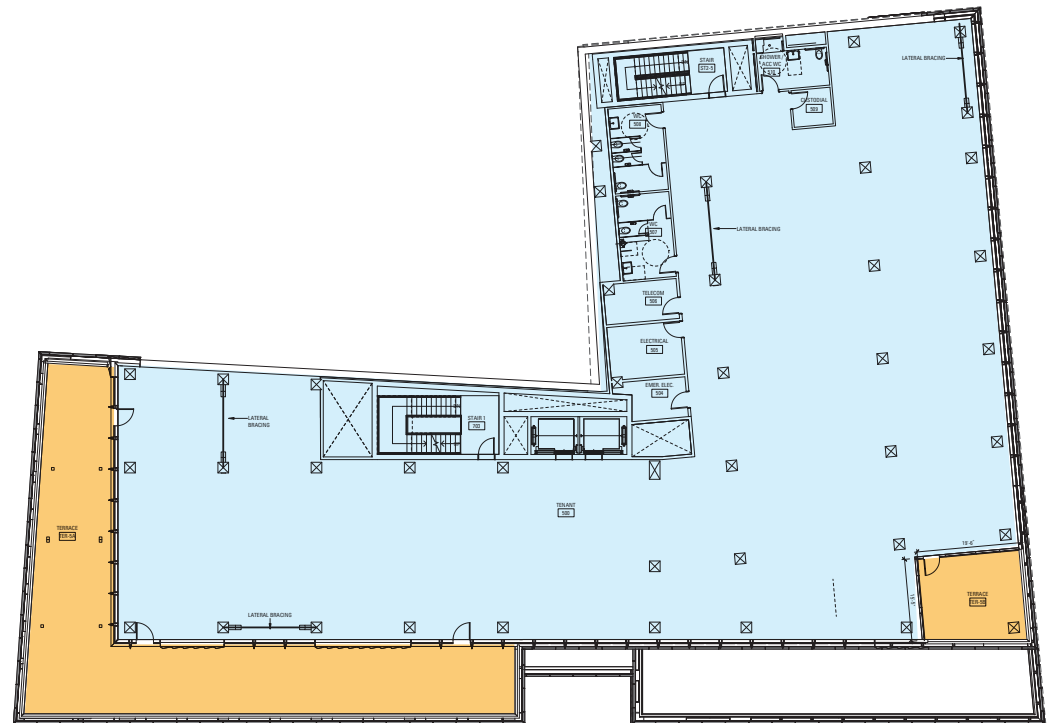
SIXTH FLOOR



ROOF PLAN



FOURTH FLOOR

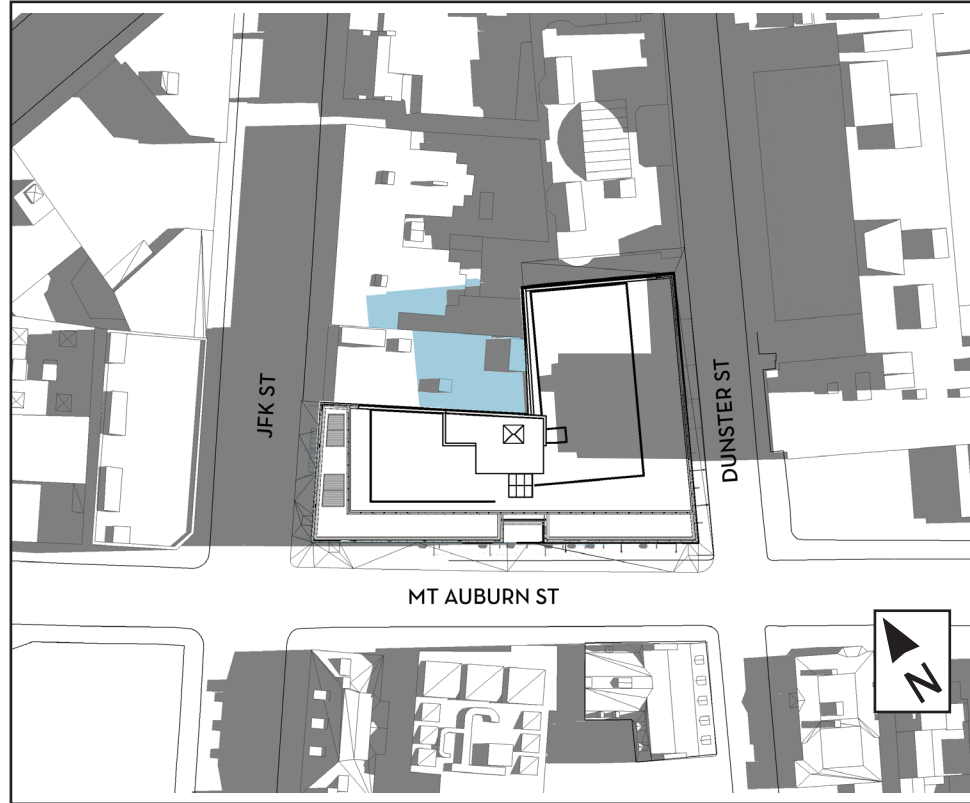


FIFTH FLOOR

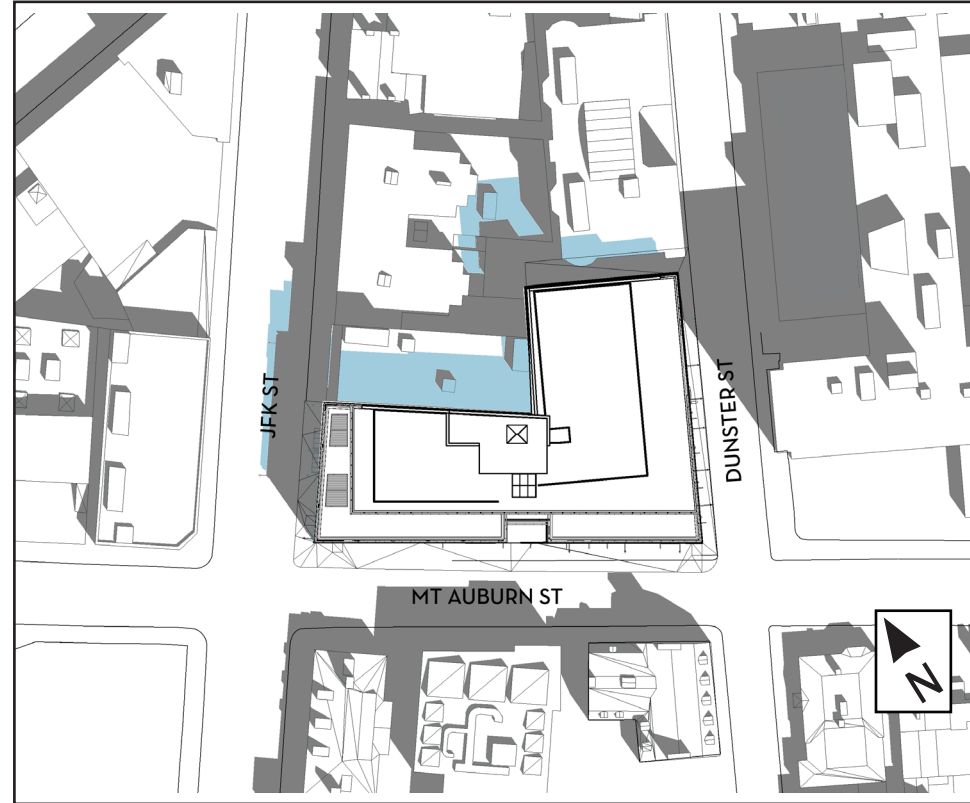


SOLAR STUDIES

SPRING EQUINOX



9 AM



12 PM



3 PM



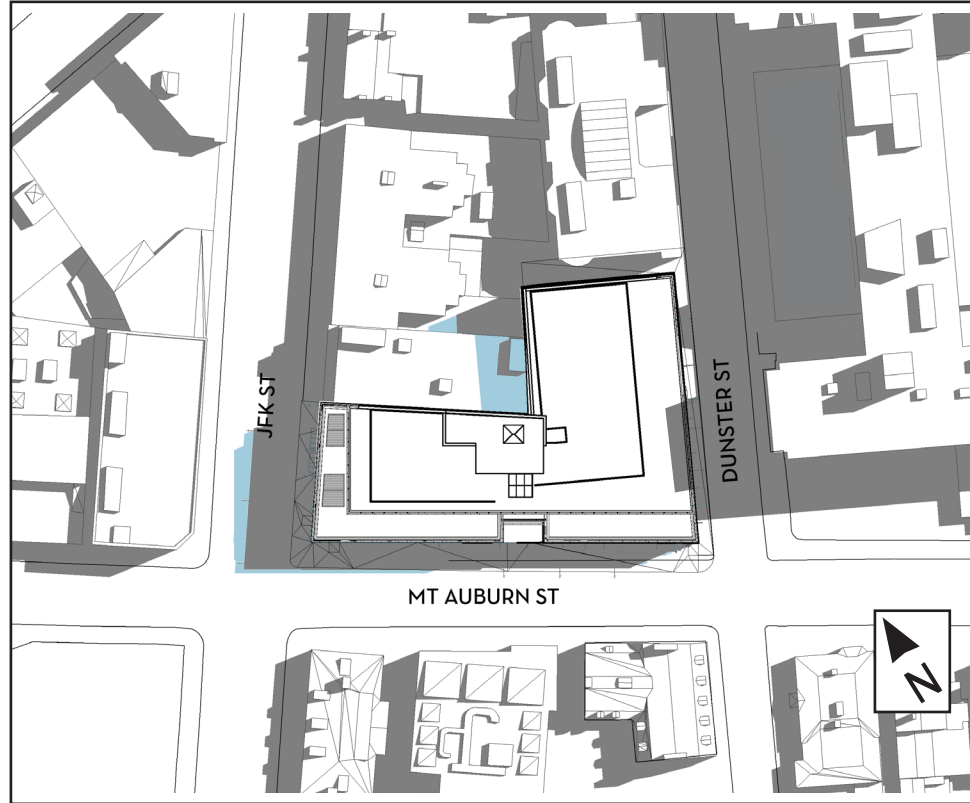
EXISTING SHADOWS



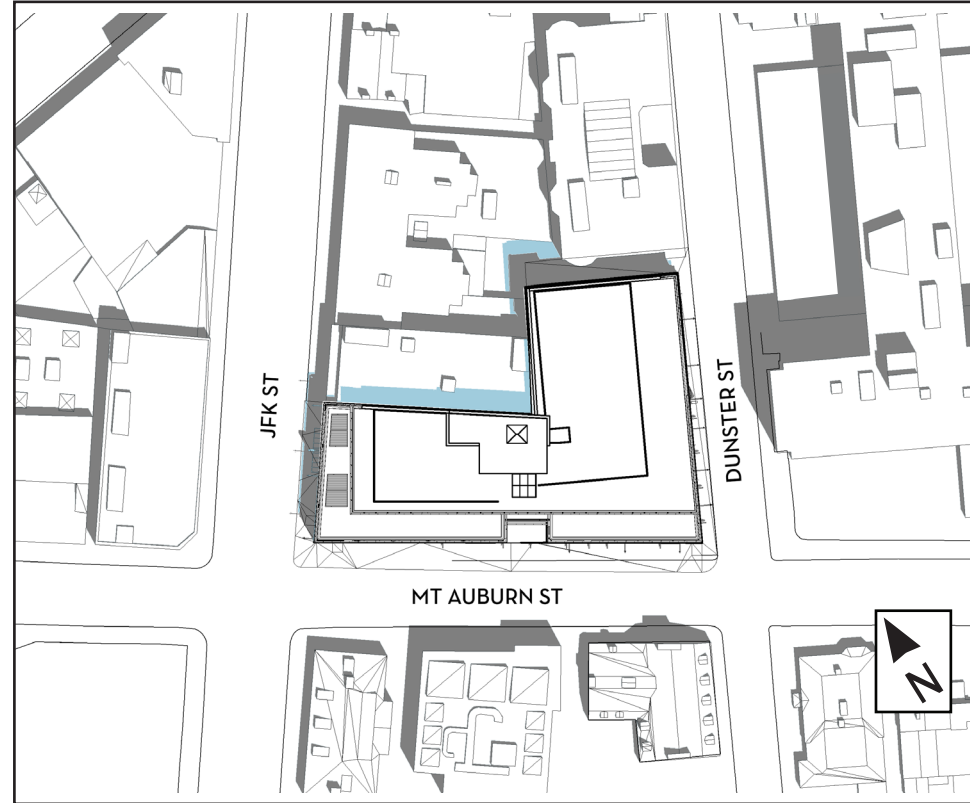
PROPOSED BUILDING SHADOW

SOLAR STUDIES

SUMMER SOLSTICE



9 AM



12 PM



3 PM



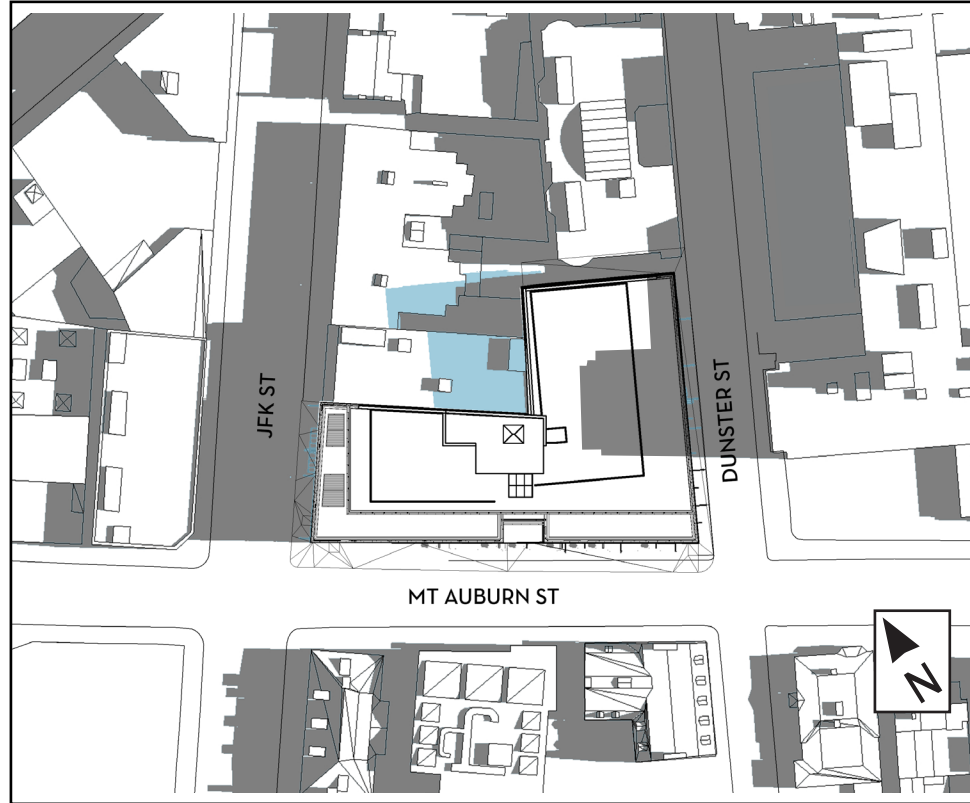
EXISTING SHADOWS



PROPOSED BUILDING SHADOW

SOLAR STUDIES

FALL EQUINOX



9 AM



12 PM



3 PM



EXISTING SHADOWS



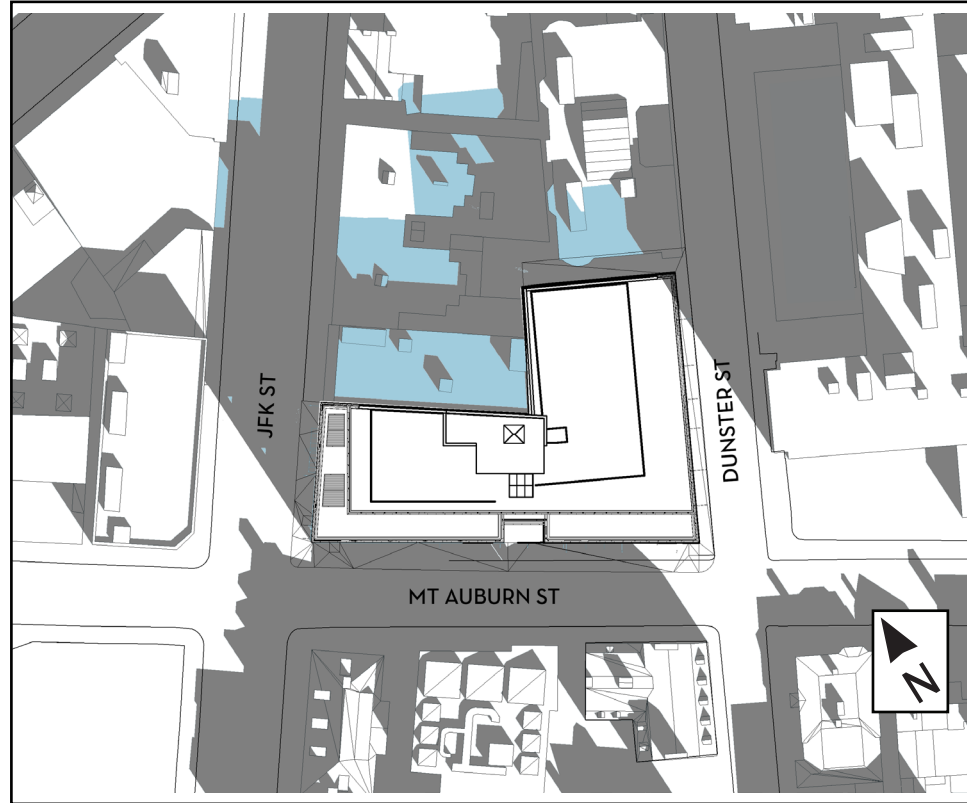
PROPOSED BUILDING SHADOW

SOLAR STUDIES

WINTER SOLSTICE



9 AM



12 PM



3 PM



EXISTING SHADOWS



PROPOSED BUILDING SHADOW