



# Volume 2: Graphics



PCA

Architecture  
Interiors  
+ Planning

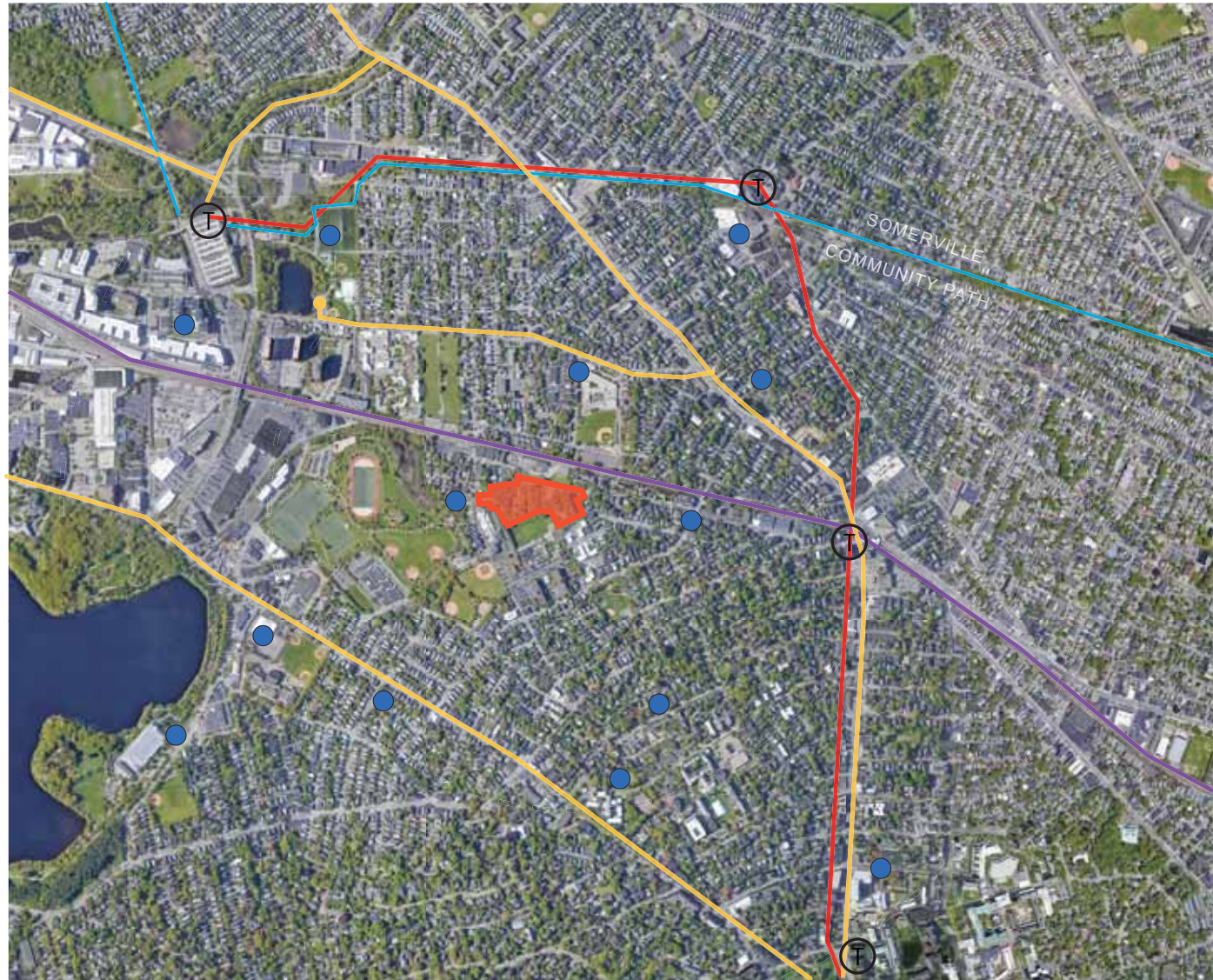


# Index

- 01 Context Map p.3
- 02 Context Analysis p.6
- 03 Existing Conditions Plan and Photographs p.11
- 04 Proposed Conditions Plan p.14
- 05 Landscape Plan p.18
- 06 Floor Plans p.23
- 07 Elevations & Sections p.31
- 08 Proposed Views & Viewshed Analysis p.35
- 09 Shadow Studies p.57

01 Context Maps - Transportation

- BLUE BIKES
- Ⓣ T STOP
- T ROUTE
- COMMUTER RAIL
- BUS ROUTE
- BIKE PATH



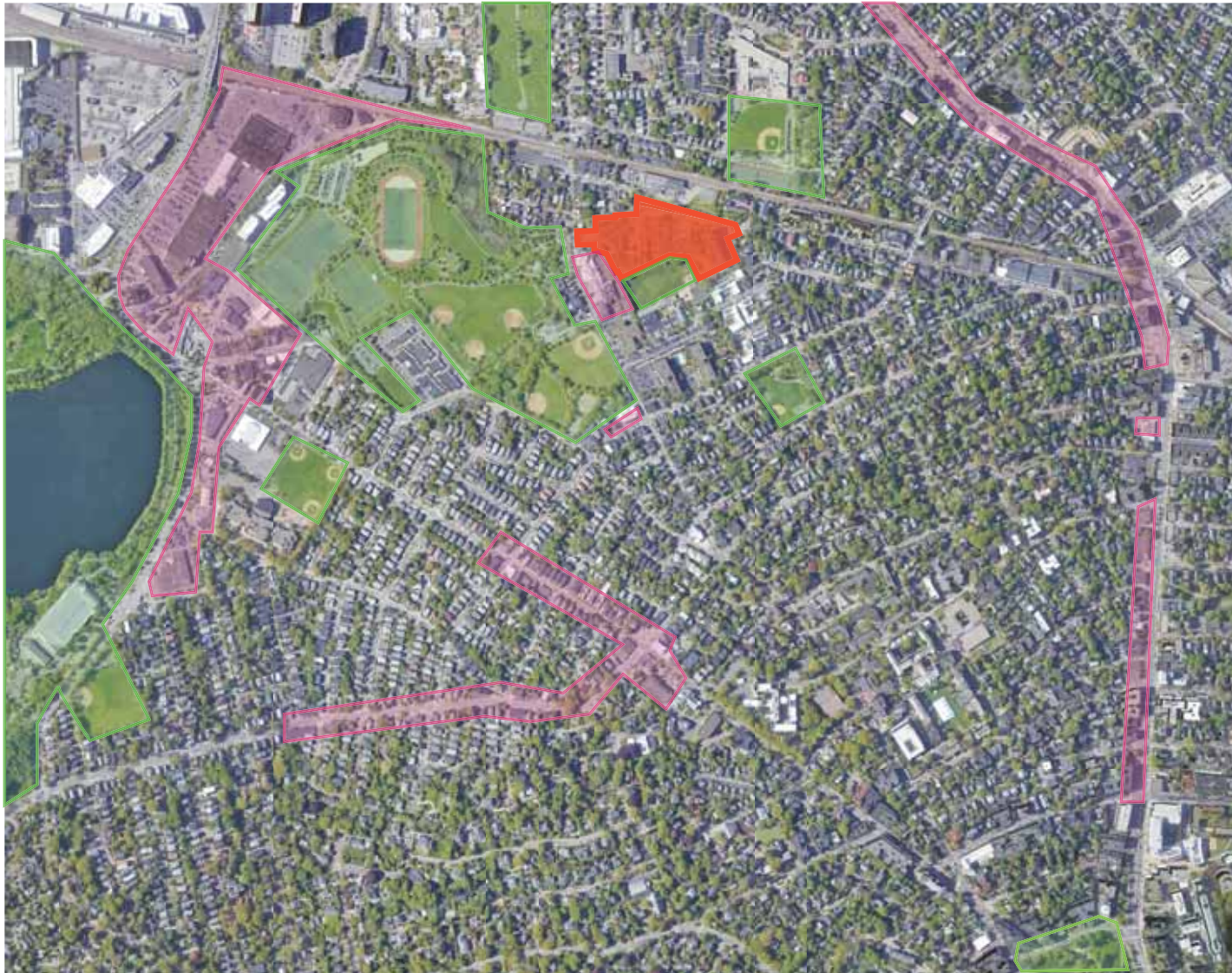
## 01 Context Maps - Land Use

- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- EDUCATION
- GREEN SPACE
- PARKING
- WALDEN SQ

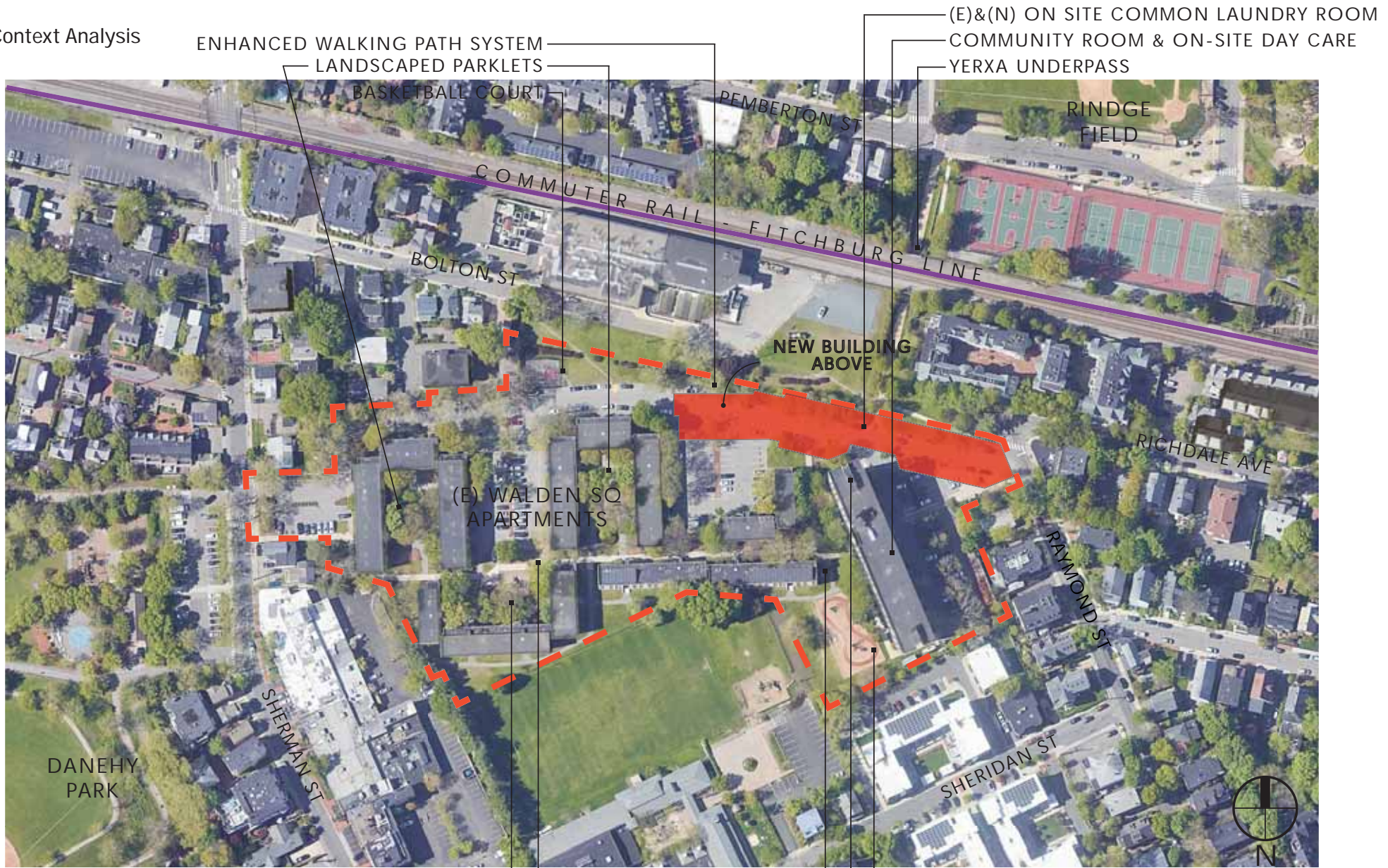


01 Context Maps - Amenities

- COMMERCIAL
- OPEN SPACE
- WALDEN SQ



02 Context Analysis



(E)&(N) ON SITE COMMON LAUNDRY ROOM  
 COMMUNITY ROOM & ON-SITE DAY CARE  
 YERXA UNDERPASS

ENHANCED WALKING PATH SYSTEM  
 LANDSCAPED PARKLETS  
 BASKETBALL COURT

NEW BUILDING ABOVE

(E) WALDEN SQ APARTMENTS

PLAYGROUND TO BE RESURFACED  
 ENHANCED WALKING PATH SYSTEM

RELOCATED PLAYGROUND

DAY-CARE PLAYGROUND  
 MANAGEMENT OFFICE (W/ ADDED STAFF)

02 Context Analysis – Proposed Massing



02 Context Analysis – Proposed Massing





02 Context Analysis – Proposed Massing



3D SITE DIAGRAM



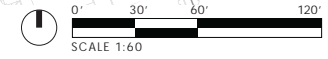
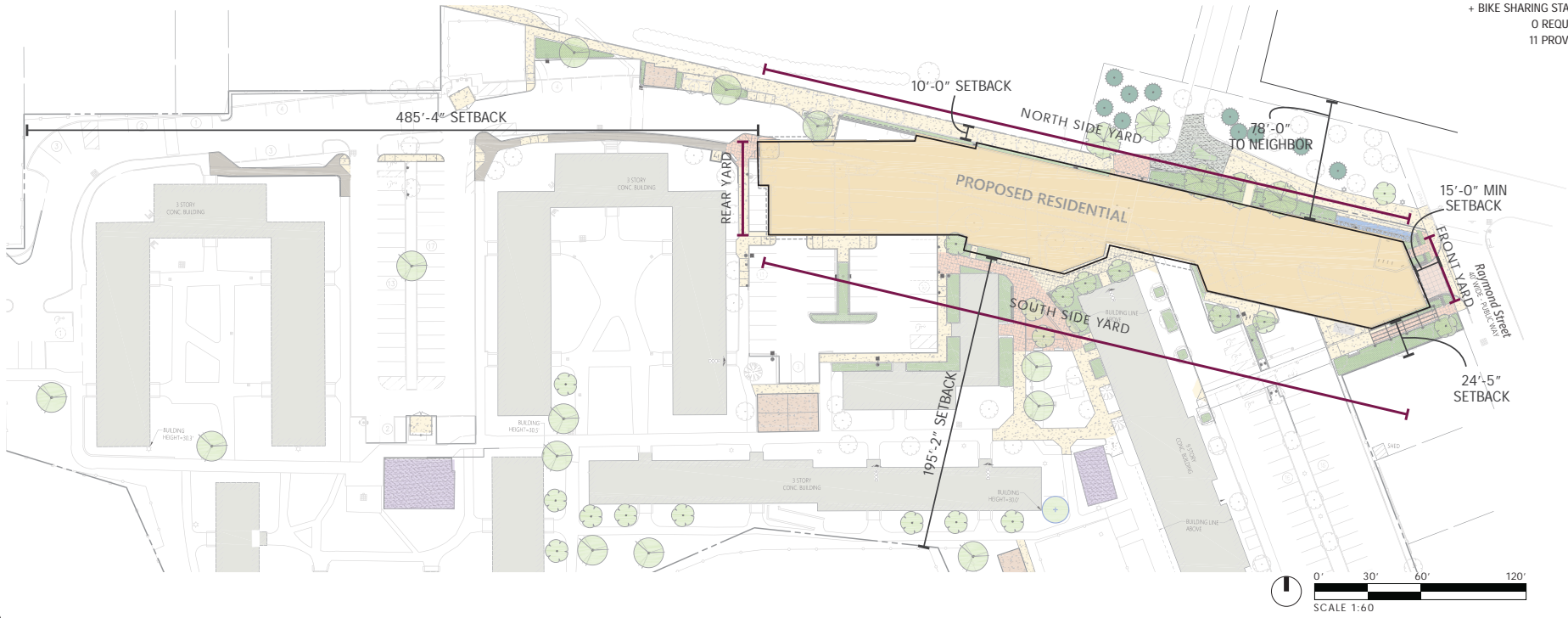
SITE SECTION DIAGRAM

02.1 Zoning Analysis

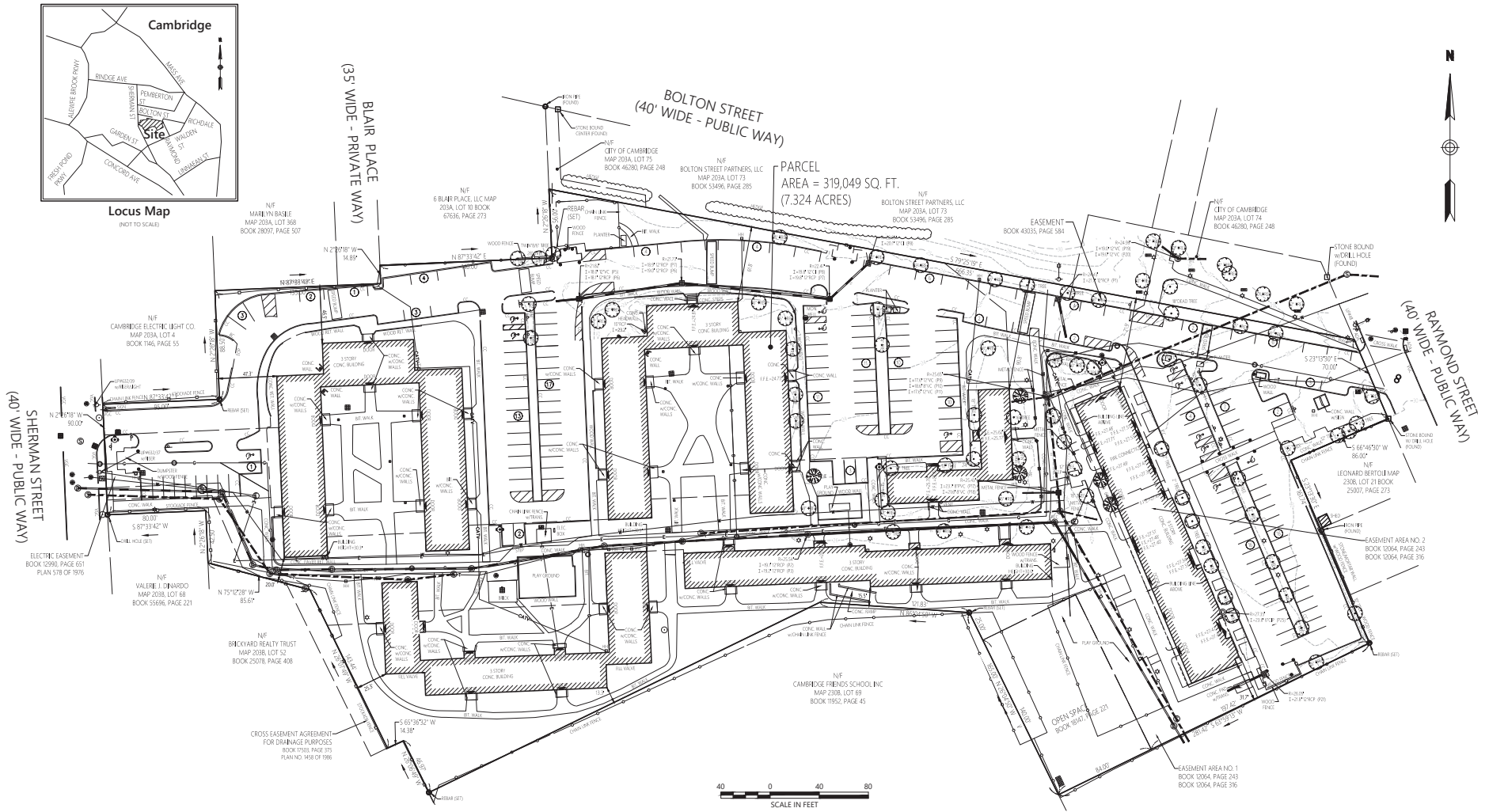
ZONE - RESIDENCE C2

| ZONING SUMMARY             | UNDERLYING ZONING   |          | AFFORDABLE HOUSING OVERLAY   |          | PROPOSED  |
|----------------------------|---|----------|--|----------|---|
|                            | ALLOWED   | VARIANCE | ALLOWED  | VARIANCE |   |
| FLOOR AREA RATIO           | 1.75 FAR (MAX)  | NO       | NO MAX FAR   | NO       | 1.05 FAR<br>LOT SIZE: 319,049 SF<br>EXISTING GSF: 183,161 SF<br>PROPOSED NEW GSF: 153,816 SF<br>TOTAL GSF: 336,977 SF |
| LOT AREA PER DWELLING UNIT | 600 SF MIN  | NO       | NO MIN LOT AREA PER D.U.   | NO       | 952 SF  |
| UNITS                      |   |          |  |          | 95 NEW D.U.<br>240 EXISTING D.U.<br>335 TOTAL D.U.  |
| FRONT YARD SETBACK         | MINIMUM 10'<br>[H+L] / 4                                  | YES      | MINIMUM 15'<br>NO FORMULA REQUIRED   | NO       | 18' PROPOSED<br>[49'+46'] / 4 = 24' MIN   |
| NORTH SIDE YARD SETBACK    | MINIMUM 7'-6"<br>[H+L] / 5                                | YES      | MINIMUM 7'-6"<br>NO FORMULA REQUIRED   | NO       | 10' PROPOSED<br>(81'+430') / 5 = 102' MIN   |
| SOUTH SIDE YARD SETBACK    | MINIMUM 7'-6"<br>[H+L] / 5                                | YES      | MINIMUM 7'-6"<br>NO FORMULA REQUIRED   | NO       | 24'-5" PROPOSED<br>(81'+404') / 5 = 97' MIN   |
| REAR YARD SETBACK          | MINIMUM 20'<br>[H+L] / 4                                  | NO       | MINIMUM 20'  | NO       | 484' PROPOSED<br>(81'+61') / 4 = 36' MIN  |
| BUILDING HEIGHT            | 85'   | NO       | 80'  | NO       | 80'   |
| OPEN SPACE                 | 15% MINIMUM   | NO       | 15% MINIMUM  | NO       | 31%   |
| PARKING RATIO              | 1 PER D.U. (EXISTING = .78)                               | YES      | NO REQUIRED MINIMUM. (MUST PROVIDE AREA FOR PICK-UP / DROP-OFF AND SHORT TERM LOADING) | NO       | .63 PER D.U. (211/335)  |
| PARKING SPACES             | 190 EXISTING SPACES                                       |          |  |          | 211 SPACES (RESTRIPING)<br>NET GAIN = 21 SPACES   |
| LONG TERM BICYCLE PARKING  | 1 PER D.U. FIRST 20 D.U. ,<br>1.05 PER D.U. AFTER 20 D.U. | NO       | CAN REDUCE TOTAL LONG TERM BY 28 SPACES IF PUBLIC SHARING STATION PROVIDED             | NO       | 94 PROPOSED (20+79-28=60 REQ.)  |
| SHORT TERM BICYCLE PARKING | 10 PER D.U.   | NO       |  | NO       | 10 SPACES (20+79-60=11 REQ.)  |

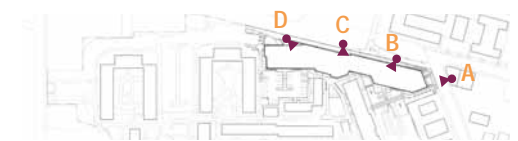
+ BIKE SHARING STATION  
0 REQUIRED  
11 PROVIDED



03 Existing Conditions Plan & Photographs



03 Existing Conditions Plan & Photographs

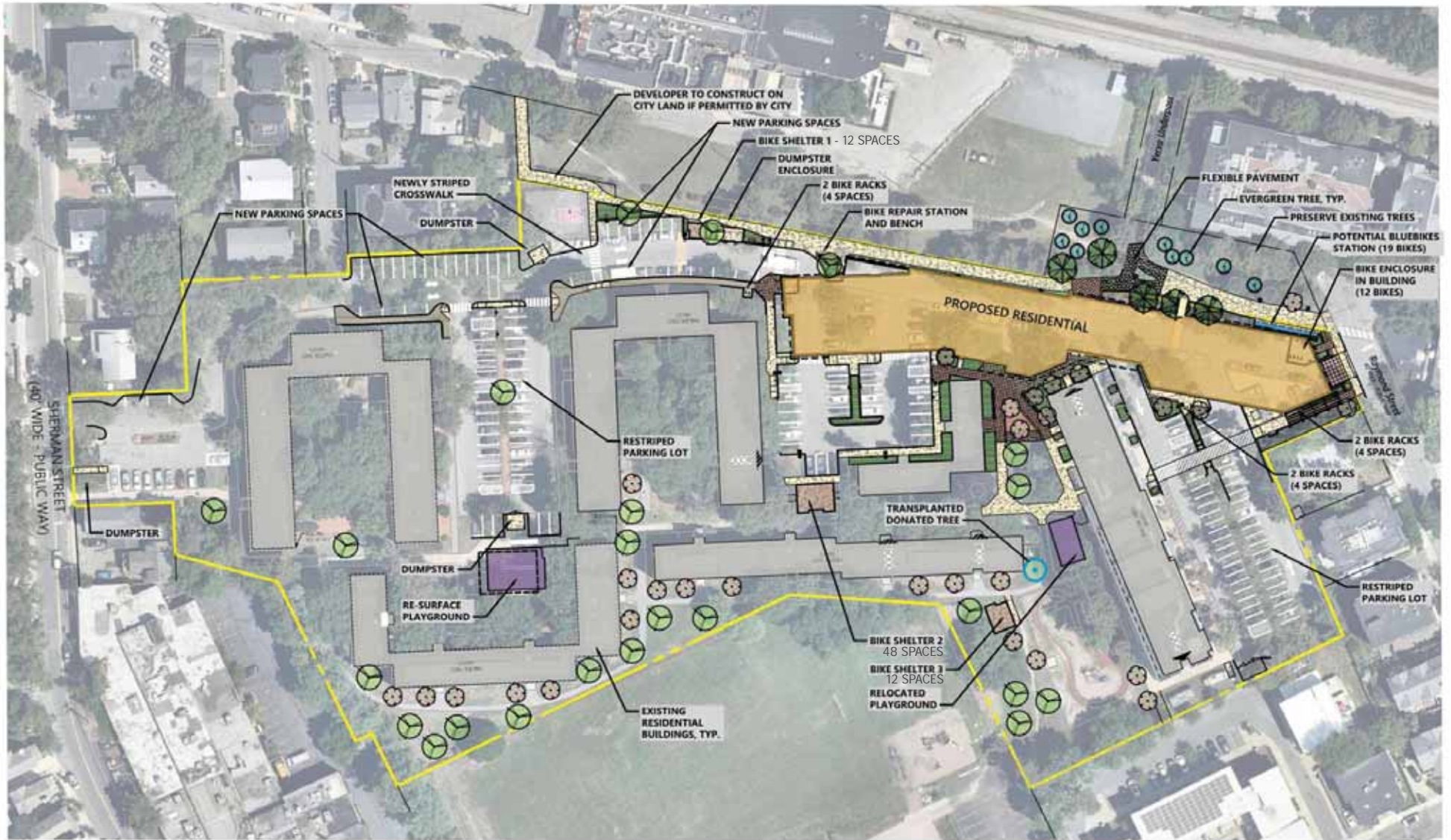


03 Existing Conditions Plan & Photographs

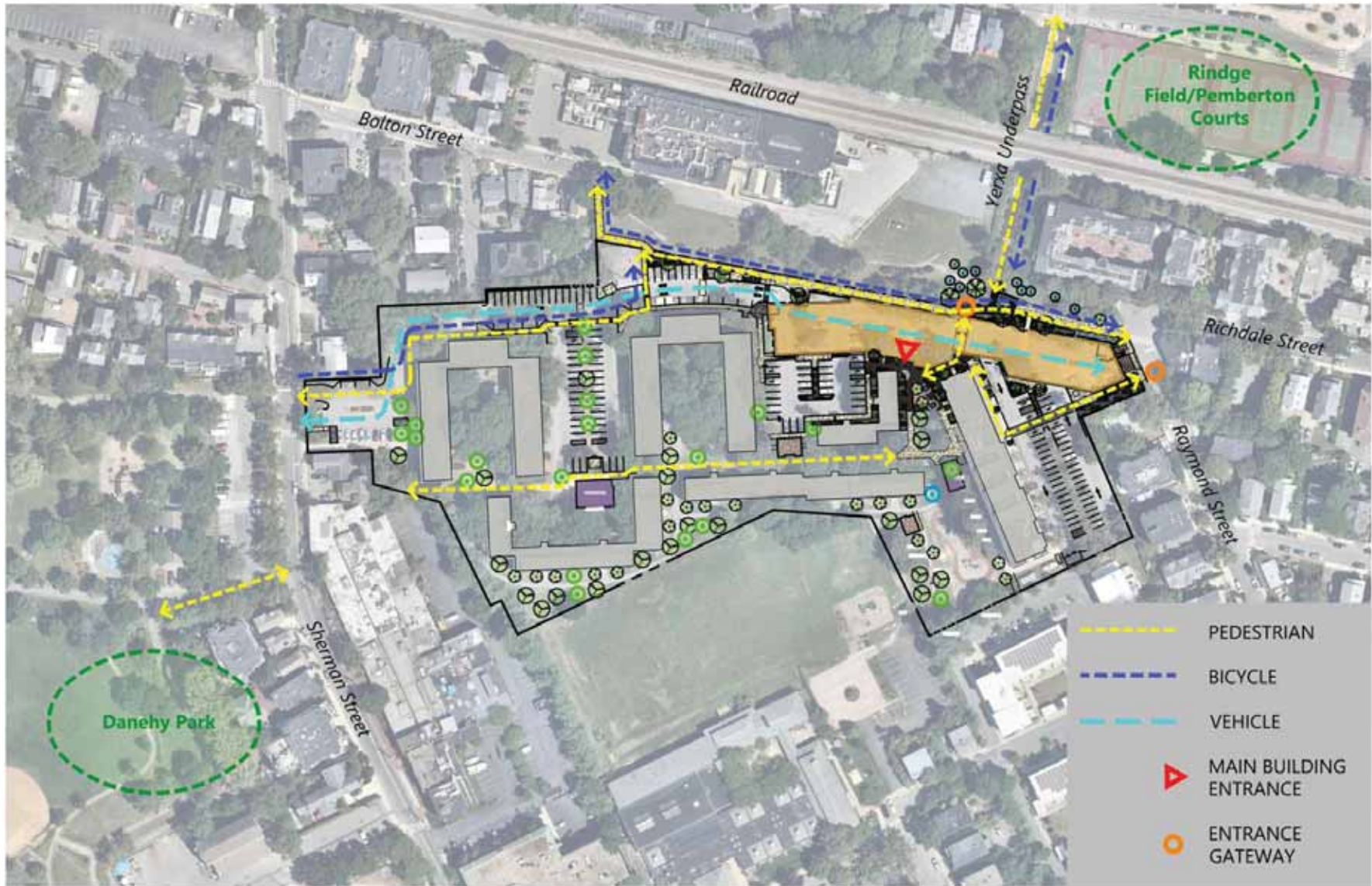


04 Proposed Overall Site Plan

|                | DIMENSIONS | # OF BIKES |
|----------------|------------|------------|
| BIKE SHELTER 1 | 7 X 20     | 12         |
| BIKE SHELTER 2 | 14 X 40    | 48         |
| BIKE SHELTER 3 | 7 X 20     | 12         |



04 Proposed Overall Site Circulation



# 04 Proposed Overall Site Plan

## Zoning Summary Chart

| Zoning District(S):                     | Residence C-2                |                             |                             |
|---|------------------------------|-----------------------------|-----------------------------|
| Overlay District(S):                    | Affordable Housing Overlay   |                             |                             |
| Zoning Regulation Requirements          | Required (C-2) <sup>A</sup>  | Required (AHO) <sup>A</sup> | Provided                    |
| MINIMUM LOT AREA                        | 600 SF Per D.U. (105,800 SF) | N/A                         | 925 SF Per D.U. (19,949 SF) |
| FRONTAGE (RAYMOND)                      | 20 Feet                      | N/A                         | 70 Feet                     |
| FRONTAGE (SHERMAN)                      | 20 Feet                      | N/A                         | 91 Feet                     |
| FRONT YARD SETBACK                      | 24 Feet                      | 15 Feet                     | 15 Feet <sup>B</sup>        |
| SIDE YARD SETBACK                       | 97 Feet                      | 7.5 Feet                    | 7.5 Feet <sup>B</sup>       |
| REAR YARD SETBACK                       | 36 Feet                      | 20 Feet                     | 48.4 Feet <sup>B</sup>      |
| PARKING SETBACK                         | 5 Feet                       | 0 Feet <sup>C</sup>         | 1.3 Feet <sup>D</sup>       |
| MINIMUM LOT WIDTH                       | 50 Feet                      | N/A                         | 283.5 Feet                  |
| MAXIMUM FLOOR AREA RATIO                | 1.75                         | N/A                         | 1.06                        |
| MAXIMUM BUILDING HEIGHT                 | 85 Feet                      | 80 Feet                     | 80 Feet                     |
| MAXIMUM IMPERVIOUS                      | 85%                          | 85%                         | 67%                         |
| MINIMUM PRIVATE OPEN SPACE              | 15%                          | 15%                         | 31%                         |
| INTERIOR PARKING LANDSCAPING PERCENTAGE | 5.0%                         | N/A                         | 5.5%                        |

A. Zoning regulation requirements as specified in the 10/30/2020 Cambridge Zoning Ordinance and the 2020 Affordable Housing Overlay Ordinance.  
 B. On-grade parking spaces may be located within five (5) feet of a side or rear property line without requiring a special permit, provided that screening is provided in the form of a fence or other dense year-round visual screen at the property line, unless such screening is waived by mutual written agreement of the owner of the lot and the owner of the abutting lot.  
 C. Existing and Proposed Parking within 5 feet of property boundary is screened by a combination of existing and proposed fencing.  
 D. Dimension provided is to proposed structure.

## Parking Summary Chart

| Description                             | Size     | Spaces                |          |
|---|----------|-----------------------|----------|
|   |          | Required <sup>B</sup> | Provided |
| STANDARD SPACES                         | 8.5 x 18 | 8.5 x 18              |          |
| HEAD-IN                                 |          |                       | 60       |
| PARALLEL                                |          |                       | 34       |
| COMPACT SPACES (50% ALLOWED)            | 7.5 x 16 | 7.5 x 16              |          |
| HEAD-IN                                 |          |                       | 75       |
| PARALLEL                                |          |                       | 8        |
| STANDARD ACCESSIBLE SPACES <sup>A</sup> | 8.5 x 18 | 8.5 x 18              | 13       |
| VAN ACCESSIBLE SPACES                   | 8.5 x 18 | 8.5 x 18              | 0        |
| TOTAL SPACES                            |          |                       | 190      |
|   |          |                       | 212      |

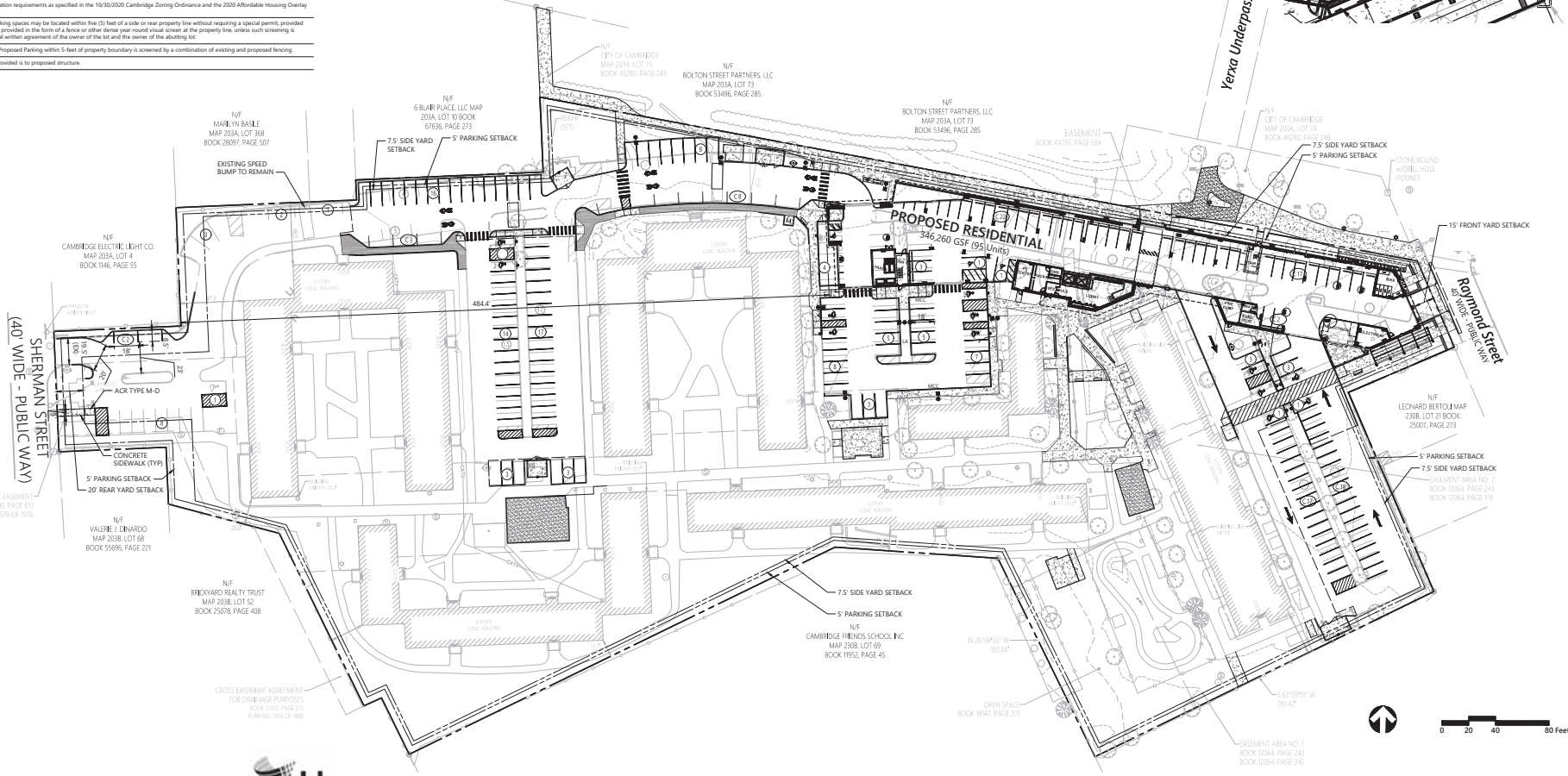
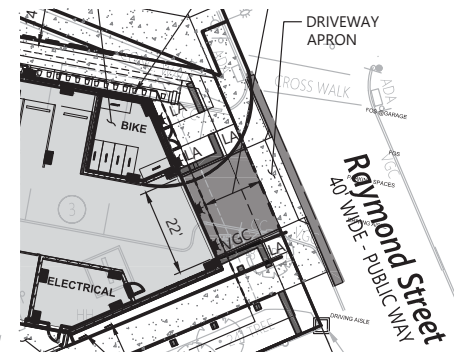
A. ADA/STATE/LOCAL REQUIREMENTS  
 B. PER SECTION 11.207.6.1 OF THE AHO ZONING BYLAWS, THERE SHALL BE NO REQUIRED MINIMUM NUMBER OF OFF-STREET PARKING SPACES  
 C. PARKING RATIO CALCULATION:  
 EXISTING UNITS: 168 SPACES / 240 EXISTING UNITS = 0.7 (0.7 RATIO REQUIRED PER 1969 URBAN RENEWAL PLAN)  
 PROPOSED UNITS: 44 SPACES / 95 PROPOSED UNITS = 0.46

## Bike Parking Summary Chart

| Description                | Size    | Capacity |
|----------------------------|---------|----------|
| BIKE SHELTER 1             | 7 x 20  | 12       |
| BIKE SHELTER 2             | 14 x 40 | 48       |
| BIKE SHELTER 3             | 7 x 20  | 12       |
| BIKE ENCLOSURE IN BUILDING | 18 x 18 | 12       |
| EXTERIOR BIKE RACKS        |         | 12       |
| TOTAL SPACES               |         | 96       |

AHO REQUIREMENTS:  
 Required Long Term Bicycle Spaces - 71 Spaces\*  
 \*Includes 28-space reduction per Section 11.207.6.4 of the AHO zoning bylaws  
 Required Short Term Bicycle Spaces - 10 Spaces

Note:  
 Potential location of 19 Bluebikes also shown on plan;  
 Bluebikes not included in Bike Parking Summary.





## 04 Proposed Overall Site Photometric Plan

| Outdoor Luminaire Schedule |     |         |                                     |             |      |             |       |       |       |  |
|----------------------------|-----|---------|-------------------------------------|-------------|------|-------------|-------|-------|-------|--|
| Symbol                     | Qty | Label   | Description                         | Arrangement | Arm  | Lum. Lumens | BF    | LLD   | LLF   | Filename                                   |
|                            | 8   | AR3     | ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx- | SINGLE      | 0    | 7600        | 0.550 | 0.900 | 0.495 | ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx-40K_PL1 |
|                            | 1   | AR32    | ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx- | BACK-BACK   | 1.5  | 7600        | 0.550 | 0.900 | 0.495 | ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx-40K_PL1 |
|                            | 4   | DL      | 6DR-TL-L10-835-DIM-UNV-OM-OF-CS     | SINGLE      | 0    | 997         | 1.000 | 0.900 | 0.900 | 6DR-TL-L10-835-DIM-UNV-OM-OF-CS_ies        |
|                            | 5   | SEC     | SEC-EDG-3M-xx-02-E-UL-700-40K or BX | SINGLE      | 0    | 3650        | 1.000 | 0.900 | 0.900 | ITL79352_SEC-EDG-3M-xx-02-E-UL-700-40KIES  |
|                            | 6   | SBex    | 1843LED-12L40T5-MDL008-SV4          | SINGLE      | 0    | 2435        | 1.000 | 0.800 | 0.800 | 1843LED-12L40T5-MDL008-SV4IES              |
|                            | 3   | TL 15ft | DFATB42030241M                      | GROUP       | N.A. | N.A.        | N.A.  | N.A.  | 0.900 | N.A.                                       |

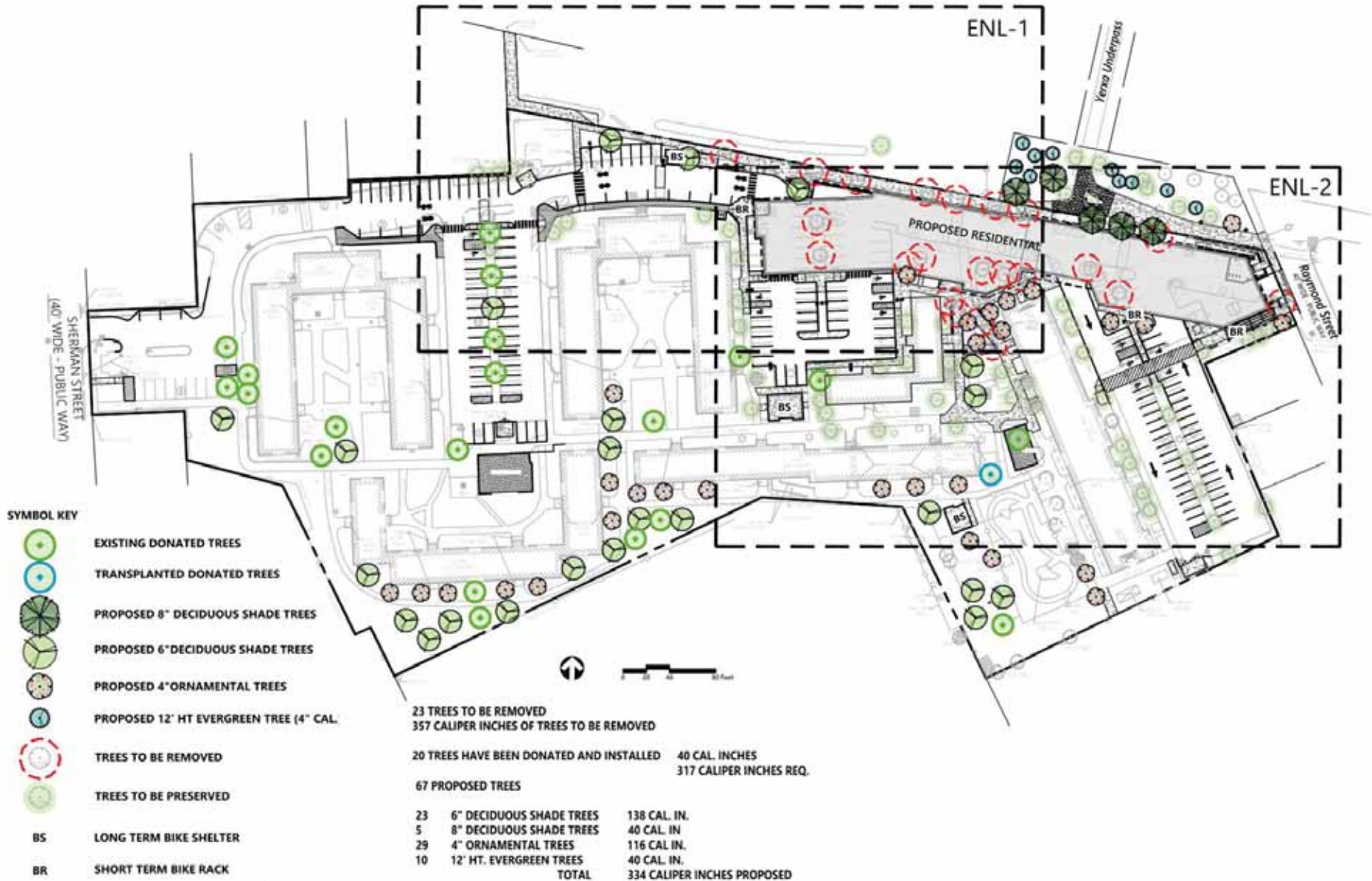
| Calculation Summary |             |       |      |     |     |         |         |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label               | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
| CalcPts_1           | Illuminance | Fc    | 0.53 | 6.3 | 0.0 | N.A.    | N.A.    |



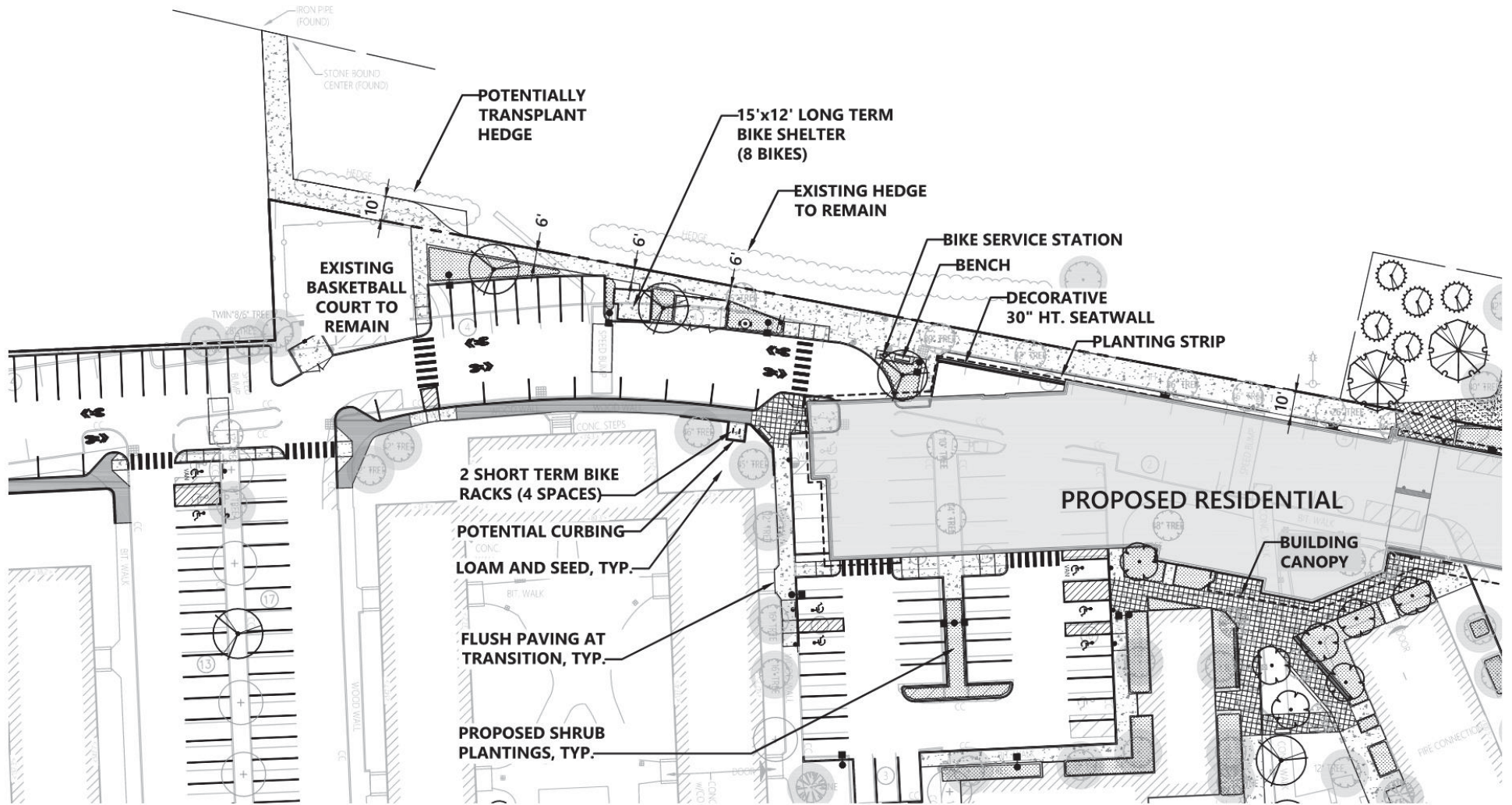
| Luminaire Location Summary |         |           |          |    |        |  |
|----------------------------|---------|-----------|----------|----|--------|--|
| LumNo                      | Label   | X         | Y        | Z  | Orient |  |
| 1                          | AR3     | 19960.6   | 9674.375 | 12 | 260    |  |
| 2                          | AR3     | 20017     | 9663.5   | 12 | 260    |  |
| 3                          | AR3     | 20078.875 | 9649.125 | 12 | 260    |  |
| 4                          | AR3     | 20140.25  | 9637     | 12 | 260    |  |
| 5                          | SEC     | 20243.375 | 9621.375 | 10 | 79.139 |  |
| 6                          | SEC     | 20303.75  | 9610     | 10 | 79.139 |  |
| 7                          | SEC     | 20366.875 | 9598.125 | 10 | 79.139 |  |
| 8                          | SEC     | 20427.375 | 9586.75  | 10 | 79.139 |  |
| 9                          | SEC     | 20489.25  | 9575.125 | 10 | 79.139 |  |
| 10                         | DL      | 20522.375 | 9565.25  | 10 | 0      |  |
| 11                         | DL      | 20527.375 | 9553.625 | 10 | 0      |  |
| 12                         | DL      | 20532     | 9542.75  | 10 | 0      |  |
| 13                         | AR3     | 20087.625 | 9541     | 12 | 0      |  |
| 14                         | AR3     | 20217.625 | 9535.625 | 12 | 180    |  |
| 15                         | DL      | 20536.875 | 9531.625 | 10 | 0      |  |
| 16                         | AR32    | 20192.875 | 9525.625 | 12 | 1.273  |  |
| 17                         | TL 15ft | 20508.25  | 9510.375 | 0  | 22.694 |  |
| 18                         | TL 15ft | 20510.25  | 9507.75  | 0  | 22.694 |  |
| 19                         | TL 15ft | 20512.75  | 9505.5   | 0  | 22.694 |  |
| 20                         | SBex    | 20428     | 9494.875 | 12 | 20.785 |  |
| 21                         | AR3     | 20108.75  | 9474.875 | 12 | 52.232 |  |
| 22                         | AR3     | 20175.375 | 9472.125 | 12 | 90.979 |  |
| 23                         | SBex    | 20440     | 9466.125 | 12 | 20.785 |  |
| 24                         | SBex    | 20452.5   | 9438.375 | 12 | 20.785 |  |
| 25                         | SBex    | 20463.125 | 9412.375 | 12 | 20.785 |  |
| 26                         | SBex    | 20475.25  | 9394.625 | 12 | 20.785 |  |
| 27                         | SBex    | 20488.625 | 9354.5   | 12 | 20.785 |  |

THE GARAGE PARKING AREA CEILING WILL PROVIDE A BALANCE OF LIGHT LEVELS FOR A SAFE AND ATTRACTIVE SPACE. ALL FIXTURES WILL BE LED, CONTROLLED BY OCCUPANCY SENSORS AND ZERO CUT-OFF TO MINIMIZE LIGHT POLLUTION.

05 Landscape Plan

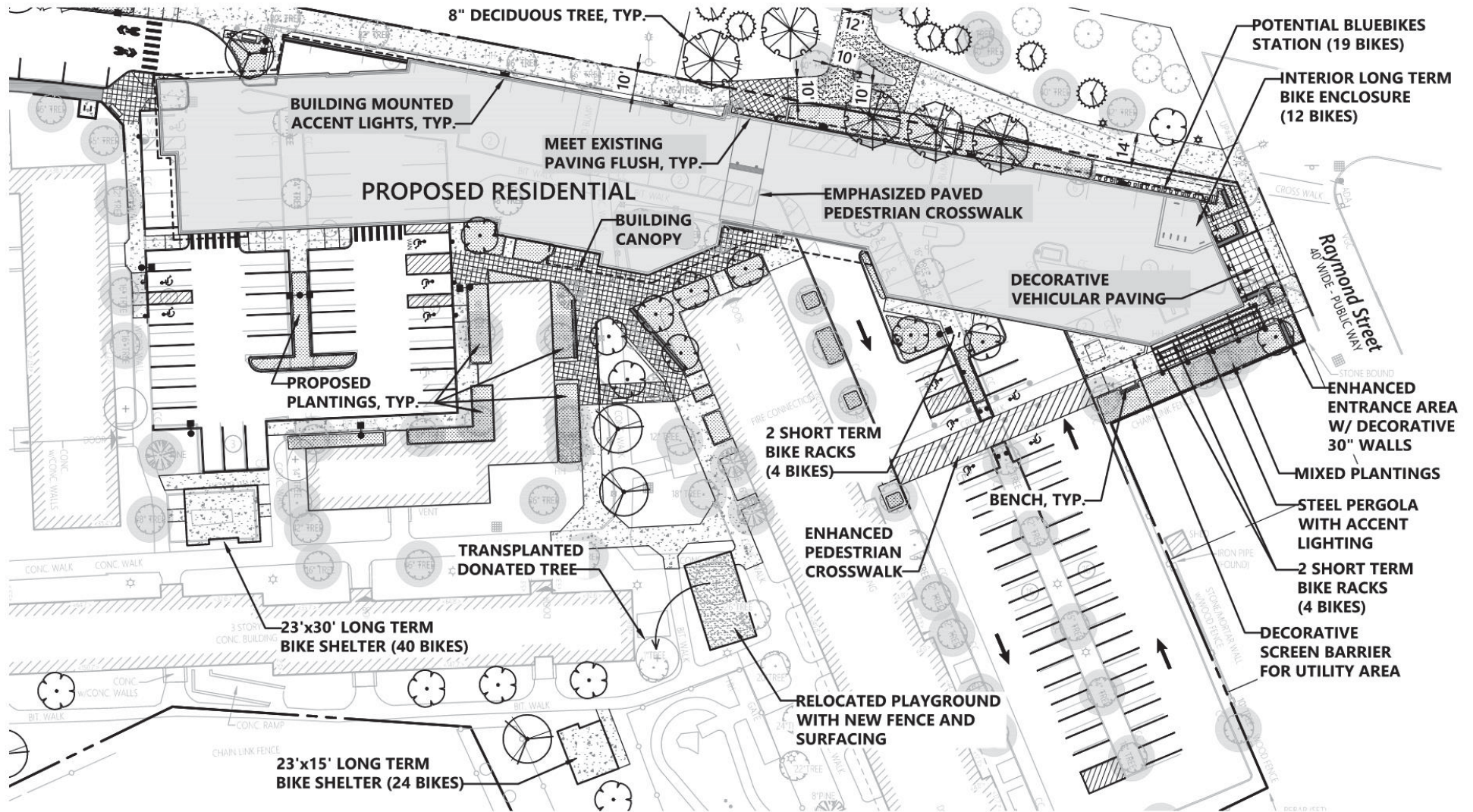


05 Landscape Plan



ENL-1

05 Landscape Plan



ENL-2

05 Landscape Plan

**Trash Receptacle**  
N.T.S. Source: VHB 11/19 LD

**NOTES**  
FINISH RECEPTACLE TO BE WELDED STEEL OR GALVANIZED STEEL WITH TERNALIZED STEEL FINISH AND POLYMER COATED ALUMINUM BASK COVER AS MANUFACTURED BY TORNA SURFACES, INC.

**6' Bench**  
N.T.S. Source: VHB 8/20

Technical drawings include side and front elevations with dimensions: 5'-9" (17/32"), 18" (23/32"), 4'-2" (3/4"), 2'-9" (19/32"), and 5'-5" (9/16"). A note states: "SURFACE MUST BE CONCRETE PER MANUFACTURER'S RECOMMENDATION."

**Seat Wall**  
N.T.S. Source: VHB 1/17

Technical drawing showing a cross-section of a seat wall with various layers and components labeled, including: LEVEL SCRATCH COAT AT TOP OF WALL, SEAL AND CAP AT ANCHORS, CAST STONE CMP, BACKER ROSS, SEALANT (ALL JOINTS), 20 G.A. PREFORMED ALUMINUM FLASHING BY DRIP SEAL ADHESIVE TO MASSCURRY, ADHERED MANUFACTURED STONE VENER, BACKER JOINT (WHERE LINED), 1/2" MIN. AT PAVED AREA, IMPRINTED CONCRETE PAVEMENT, #3 HOOKED COWEL BAR @ 2'-0" O.C., 18-CONT. #3 BARS, and COMPACTED SUBGRADE.

**Edge Treatment at Playground**  
N.T.S. Source: VHB 11/19 LD

Technical drawing showing a cross-section of edge treatment with labels: SEE 4' HT. ORNAMENTAL FENCE DETAIL, RETIENH EDGE TREATMENT TO MATCH EXISTING, FENCE SEE PLANS, POSTS SET IN CONCRETE, TYP., PLAYGROUND, TYP., TOP SURFACE, BASE MATERIAL, COMPACTED GRAVEL BORROW, COMPACTED SUBGRADE, CONCRETE FOOTING, TYP., and COMPACTED GRAVEL BORROW.

**Playground Surfacing**  
N.T.S. Source: VHB 11/19 LD

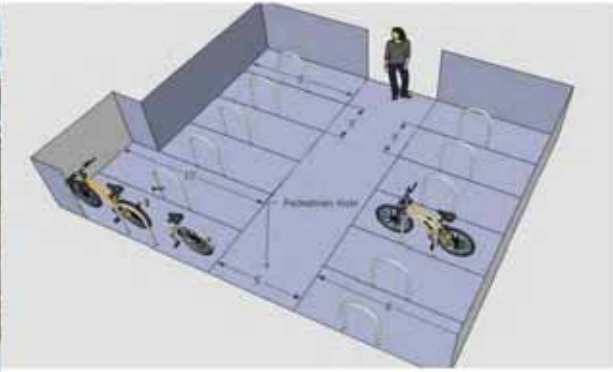
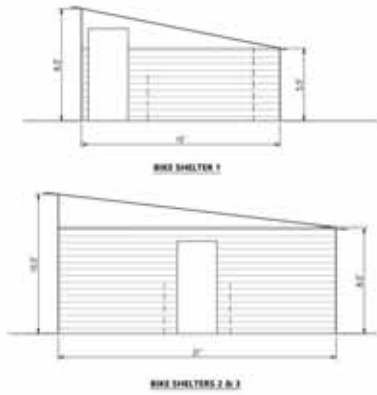
Technical drawing showing a cross-section of playground surfacing with labels: POURED-IN-BLACK COLORED RUBBER SURFACE FLUSH WITH ADJACENT SURFACES, RUBBER CUSHION COURSE, DEPTH TO MEET CPSC SAFETY REQUIREMENTS FOR FALL HEIGHT OF TALLEST STRUCTURE, ABUTTING SURFACE TREATMENT SEE CONCRETE EDGE AT PLAYGROUND DETAIL, COMPACTED GRAVEL BORROW, and COMPACTED SUBGRADE.

**Notes:**  
1. FINAL DETAILING SHALL BE PROVIDED BY PLAYGROUND CONSULTANT.  
2. SURFACING MATERIALS AND DEPTHS SHALL MEET CPSC SAFETY REQUIREMENTS.  
3. SUBMIT SHOP DRAWINGS FOR PATTERN AND COLORS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.  
4. SLOPE TO DRAIN SHALL MEET ALL MAAB REQUIREMENTS.  
5. OWNER TO CONSULT WITH PLAYGROUND MANUFACTURER REPRESENTATIVE FOR ANY NEW PLAYGROUND EQUIPMENT CODE REQUIREMENTS PRIOR TO INSTALLATION OF NEW SURFACING.

**Unit Paver on Permeable Base**  
N.T.S. Source: VHB 1/16 LD\_801

Technical drawing showing a cross-section of a unit paver on a permeable base with labels: 3" AGGREGATE IN OPENINGS, UNIT PAVER, PRECAST FLUSH CURB EDGE RESTRAINT WITH CUT-OUTS FOR OVERFLOW DRAINAGE, LANDSCAPED AREA, BEDDING COURSE, 1" STONE AGGREGATE, 3" STONE AGGREGATE, SUB BASE 1.5" OPEN GRADED STONE, and SOIL SURGRADE.

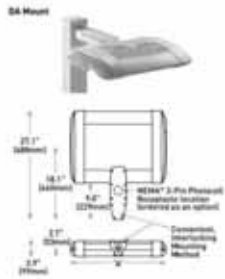
05 Landscape Plan



**Bike Shelter**  
N.T.S.

Source: Form+Surface

8/20



**Light Pole Fixture**  
N.T.S.

Source: VHB

11/11

LD



**Building Mounted Accent Light**  
N.T.S.

Source: VHB

11/11

LD



**Bike Repair Station**  
N.T.S.

Source: VHB

11/11

LD



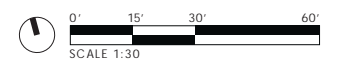
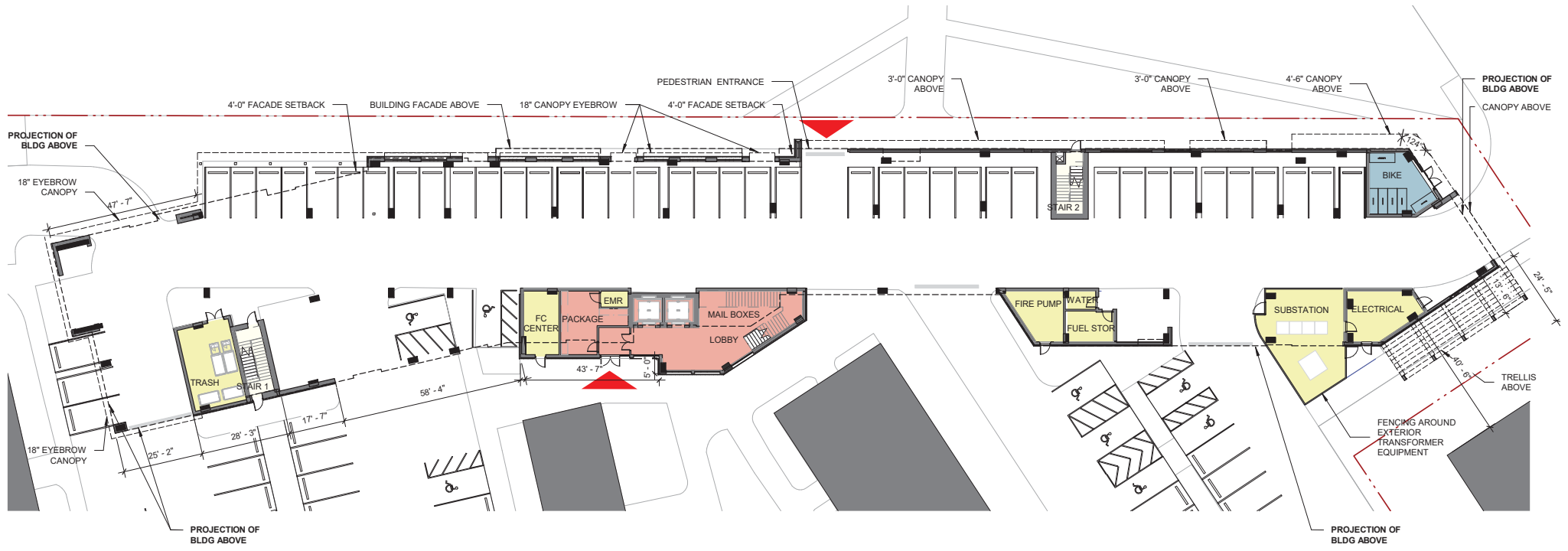
**NOTE**  
SEE ARCH TO BE CORRECTED WITH US/2018  
TUBING BY BILLY'S OUTDOOR PRODUCTS

**Bike Rack**  
N.T.S.

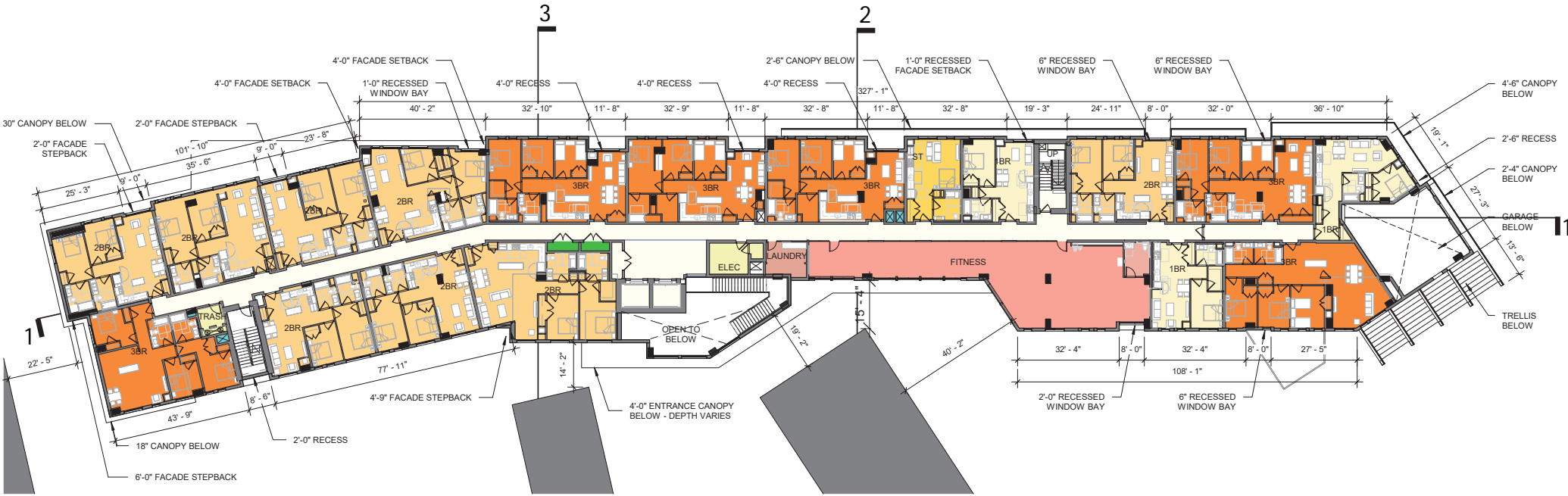
Source: VHB

06/21

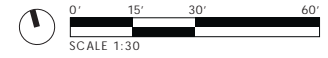
# 06 Ground Floor Plan



# 06 Second Floor Plan

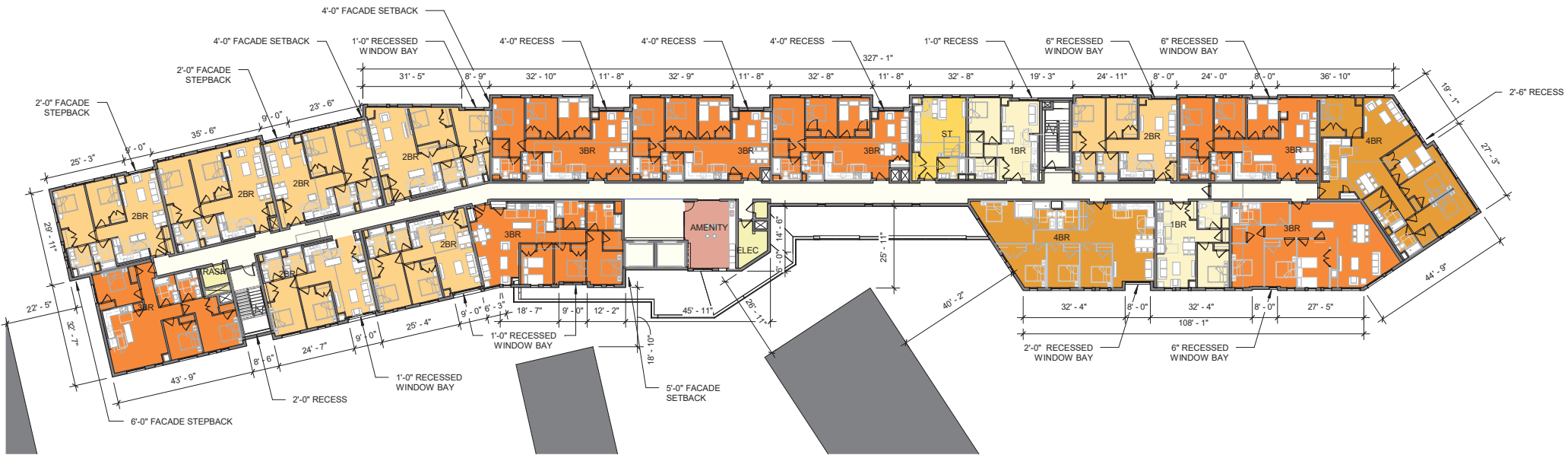


| FLOOR              | STUDIOS      | 1 BED        | 2 BEDS       | 3 BEDS      | 4 BEDS    | TOTAL PER FLOOR |
|--------------------|--------------|--------------|--------------|-------------|-----------|-----------------|
| 2                  | 1            | 3            | 8            | 6           | 0         | 18              |
| 3                  | 1            | 2            | 7            | 7           | 2         | 19              |
| 4                  | 1            | 2            | 7            | 7           | 2         | 19              |
| 5                  | 1            | 1            | 6            | 5           | 2         | 15              |
| 6                  | 0            | 1            | 6            | 5           | 0         | 12              |
| 7                  | 0            | 2            | 6            | 4           | 0         | 12              |
| <b>TOTAL UNITS</b> | <b>15</b>    | <b>40</b>    | <b>34</b>    | <b>6</b>    | <b>95</b> |                 |
| <b>UNIT RATIO</b>  | <b>15.8%</b> | <b>42.1%</b> | <b>35.8%</b> | <b>6.3%</b> |           |                 |





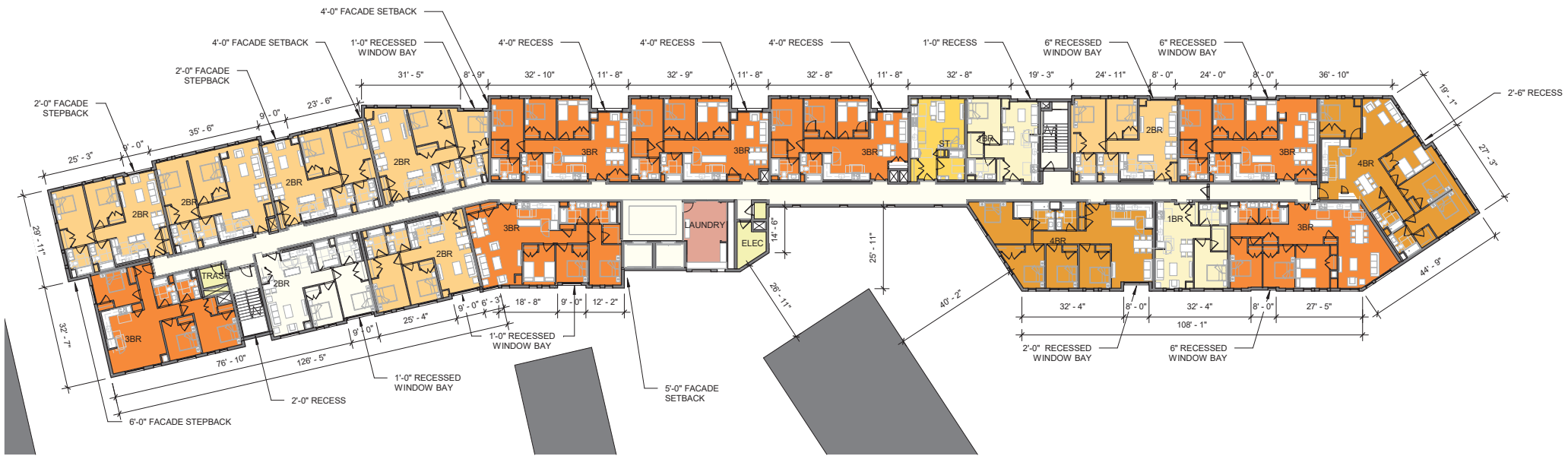
# 06 Third Floor Plan



| FLOOR              | STUDIOS | 1 BED | 2 BEDS | 3 BEDS | 4 BEDS | TOTAL PER FLOOR |
|--------------------|---------|-------|--------|--------|--------|-----------------|
| 2                  | 1       | 3     | 8      | 6      | 0      | 18              |
| 3                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 4                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 5                  | 1       | 1     | 6      | 5      | 2      | 15              |
| 6                  | 0       | 1     | 6      | 5      | 0      | 12              |
| 7                  | 0       | 2     | 6      | 4      | 0      | 12              |
| <b>TOTAL UNITS</b> |         | 15    | 40     | 34     | 6      | 95              |
| <b>UNIT RATIO</b>  |         | 15.8% | 42.1%  | 35.8%  | 6.3%   |                 |



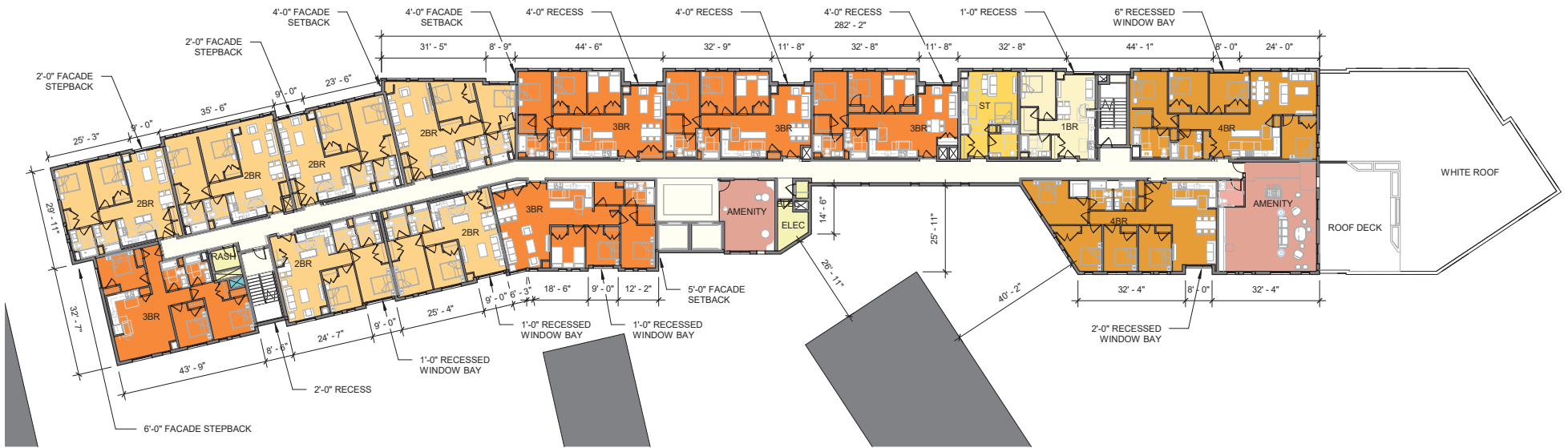
# 06 Fourth Floor Plan



| FLOOR              | STUDIOS | 1 BED | 2 BEDS | 3 BEDS | 4 BEDS | TOTAL PER FLOOR |
|--------------------|---------|-------|--------|--------|--------|-----------------|
| 2                  | 1       | 3     | 8      | 6      | 0      | 18              |
| 3                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 4                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 5                  | 1       | 1     | 6      | 5      | 2      | 15              |
| 6                  | 0       | 1     | 6      | 5      | 0      | 12              |
| 7                  | 0       | 2     | 6      | 4      | 0      | 12              |
| <b>TOTAL UNITS</b> |         | 15    | 40     | 34     | 6      | 95              |
| <b>UNIT RATIO</b>  |         | 15.8% | 42.1%  | 35.8%  | 6.3%   |                 |



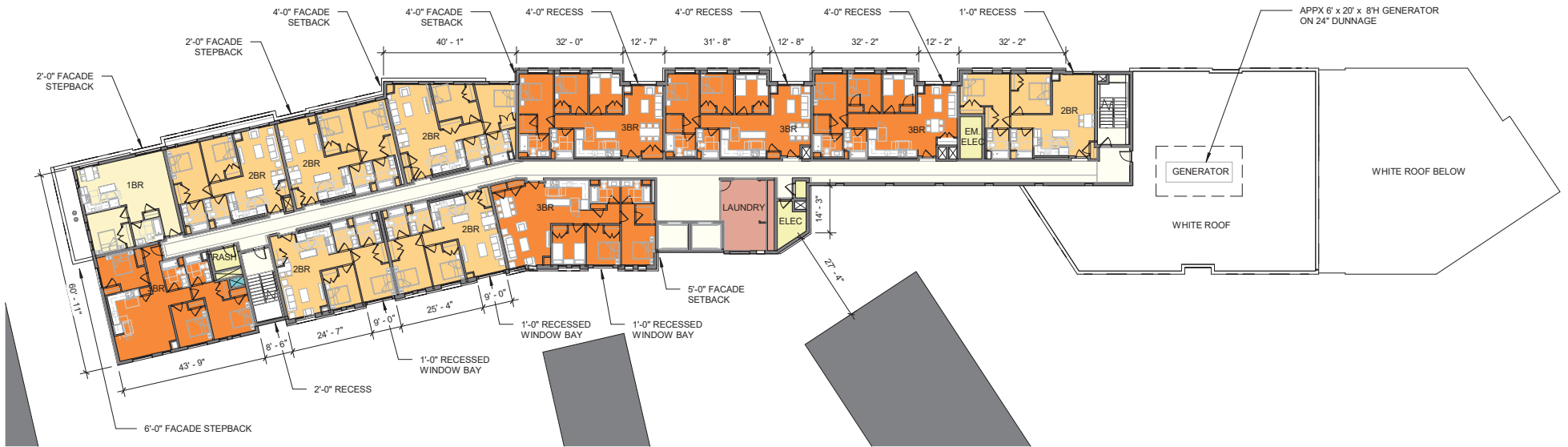
# 06 Fifth Floor Plan



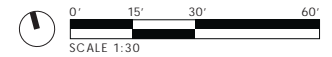
| FLOOR              | STUDIOS | 1 BED | 2 BEDS | 3 BEDS | 4 BEDS | TOTAL PER FLOOR |
|--------------------|---------|-------|--------|--------|--------|-----------------|
| 2                  | 1       | 3     | 8      | 6      | 0      | 18              |
| 3                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 4                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 5                  | 1       | 1     | 6      | 5      | 2      | 15              |
| 6                  | 0       | 1     | 6      | 5      | 0      | 12              |
| 7                  | 0       | 2     | 6      | 4      | 0      | 12              |
| <b>TOTAL UNITS</b> |         | 15    | 40     | 34     | 6      | 95              |
| <b>UNIT RATIO</b>  |         | 15.8% | 42.1%  | 35.8%  | 6.3%   |                 |



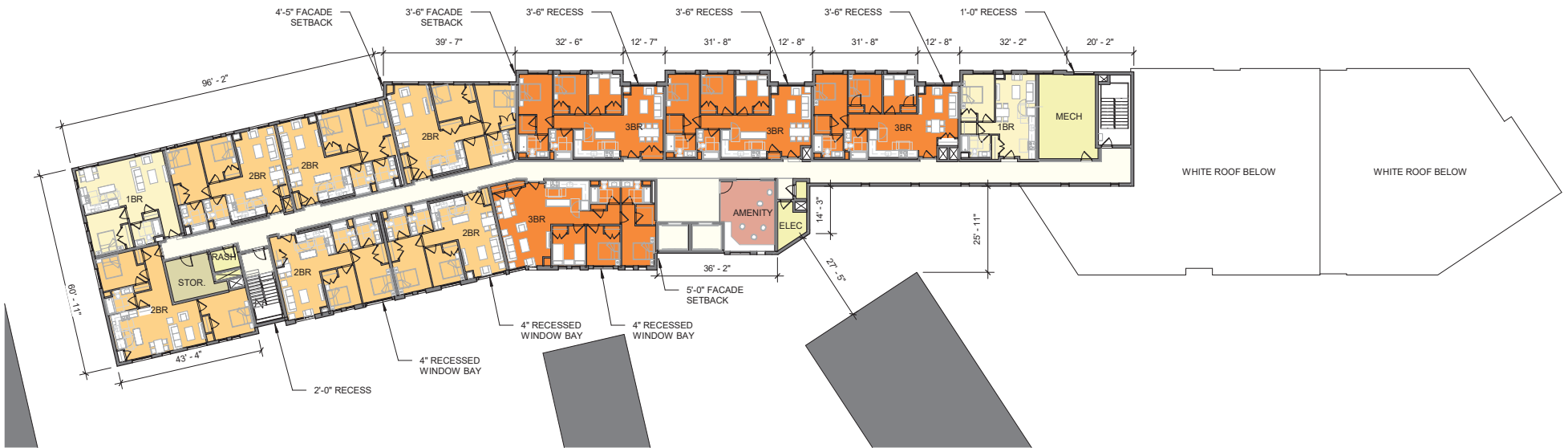
## 06 Sixth Floor Plan



| FLOOR              | STUDIOS | 1 BED | 2 BEDS | 3 BEDS | 4 BEDS | TOTAL PER FLOOR |
|--------------------|---------|-------|--------|--------|--------|-----------------|
| 2                  | 1       | 3     | 8      | 6      | 0      | 18              |
| 3                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 4                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 5                  | 1       | 1     | 6      | 5      | 2      | 15              |
| 6                  | 0       | 1     | 6      | 5      | 0      | 12              |
| 7                  | 0       | 2     | 6      | 4      | 0      | 12              |
| <b>TOTAL UNITS</b> |         | 15    | 40     | 34     | 6      | 95              |
| <b>UNIT RATIO</b>  |         | 15.8% | 42.1%  | 35.8%  | 6.3%   |                 |



## 06 Seventh Floor Plan



| FLOOR              | STUDIOS | 1 BED | 2 BEDS | 3 BEDS | 4 BEDS | TOTAL PER FLOOR |
|--------------------|---------|-------|--------|--------|--------|-----------------|
| 2                  | 1       | 3     | 8      | 6      | 0      | 18              |
| 3                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 4                  | 1       | 2     | 7      | 7      | 2      | 19              |
| 5                  | 1       | 1     | 6      | 5      | 2      | 15              |
| 6                  | 0       | 1     | 6      | 5      | 0      | 12              |
| 7                  | 0       | 2     | 6      | 4      | 0      | 12              |
| <b>TOTAL UNITS</b> |         | 15    | 40     | 34     | 6      | 95              |
| <b>UNIT RATIO</b>  |         | 15.8% | 42.1%  | 35.8%  | 6.3%   |                 |



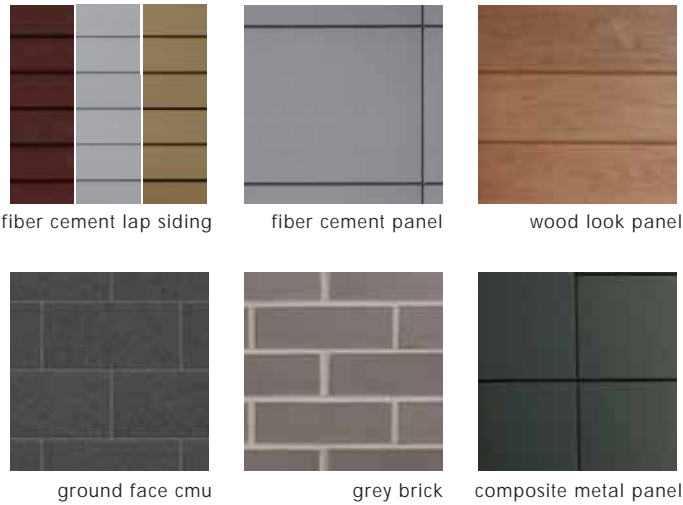


# 07 Elevations

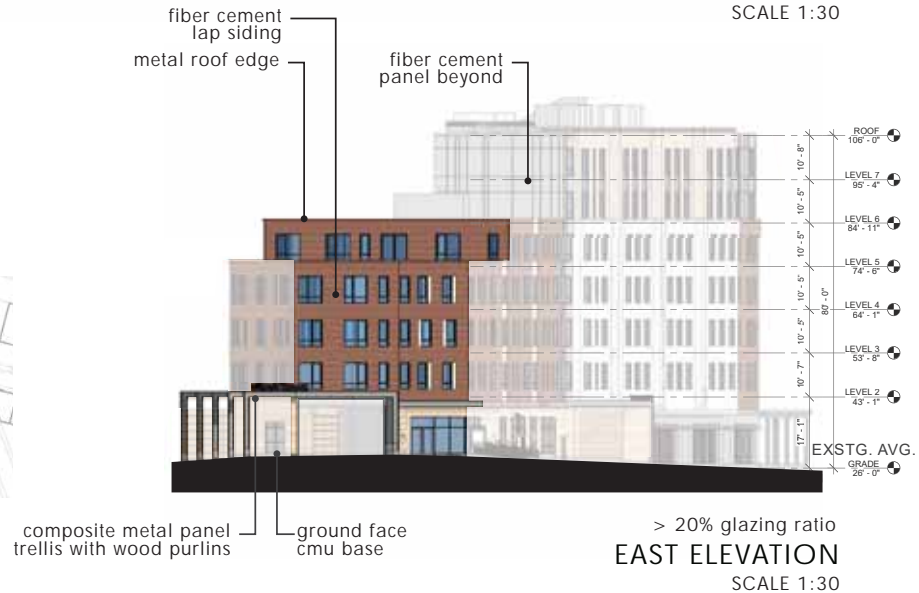
**AWNING & FIXED WINDOWS - TYPICAL**  
 VLT (Visible Light Transmittance): 0.58  
 VLR (Visible Light Reflectance): 0.13



> 20% glazing ratio  
**NORTH ELEVATION**  
 SCALE 1:30



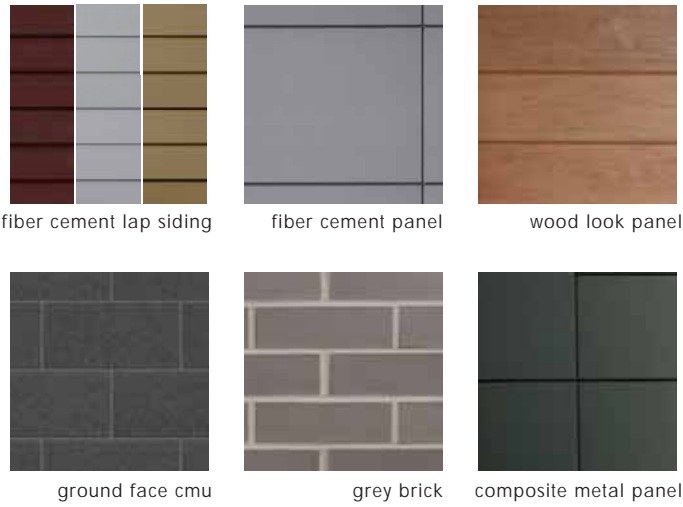
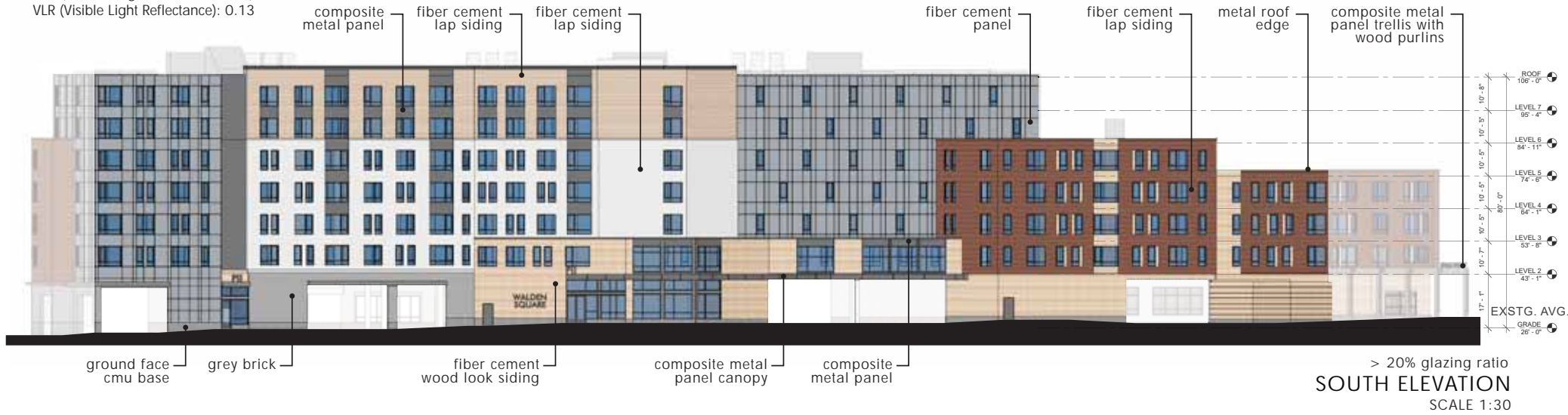
**MATERIAL PALETTE**



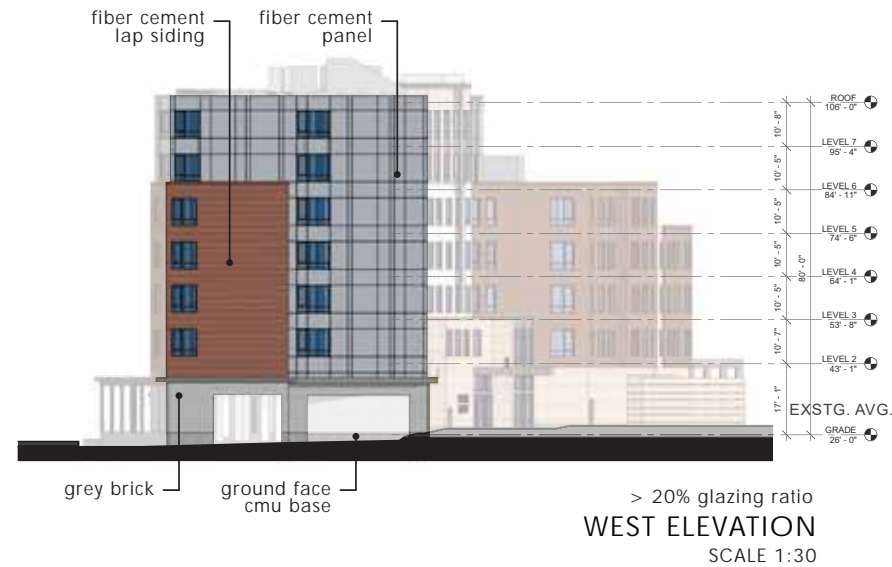
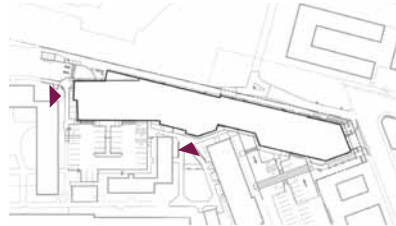
> 20% glazing ratio  
**EAST ELEVATION**  
 SCALE 1:30

# 07 Elevations

**AWNING & FIXED WINDOWS - TYPICAL**  
 VLT (Visible Light Transmittance): 0.58  
 VLR (Visible Light Reflectance): 0.13

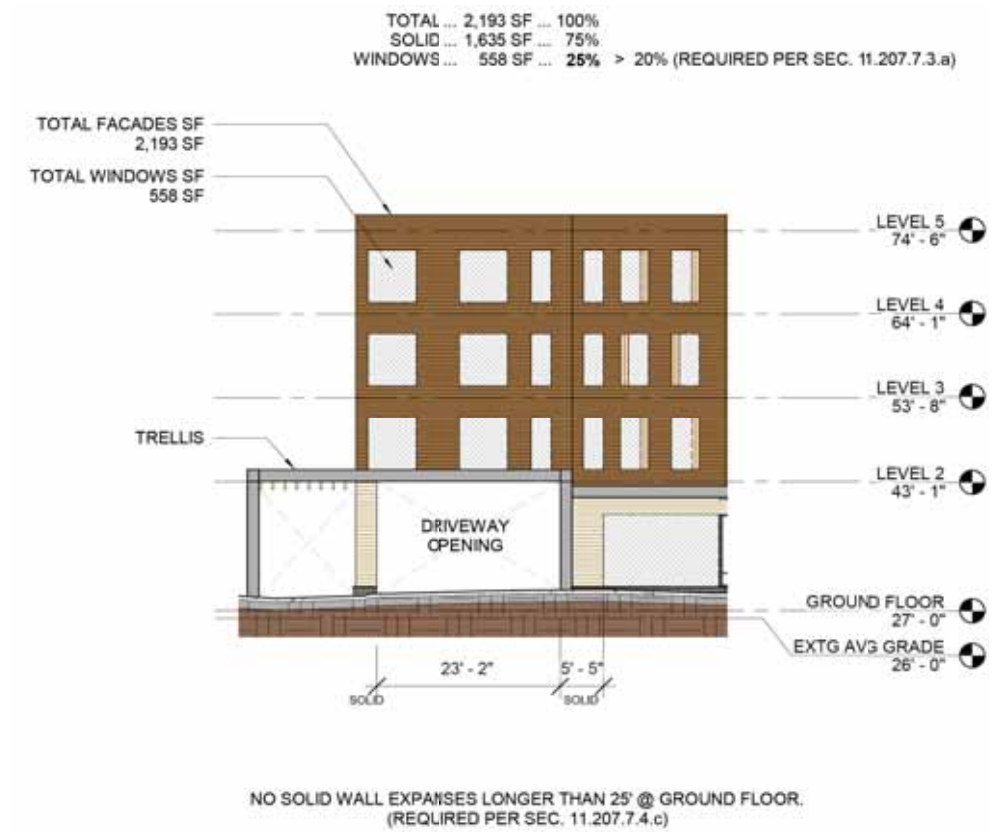


**MATERIAL PALETTE**



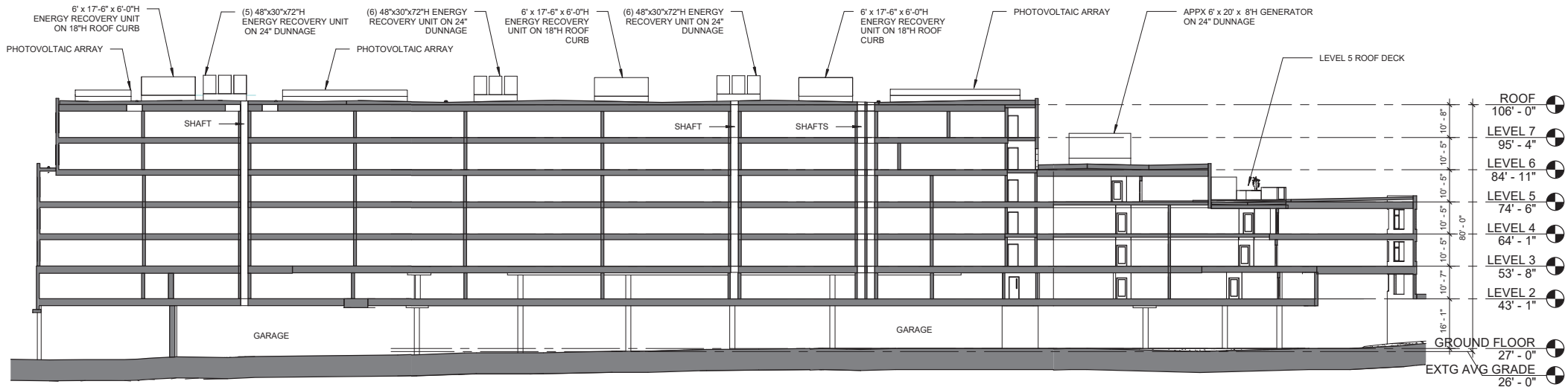


07 Elevations



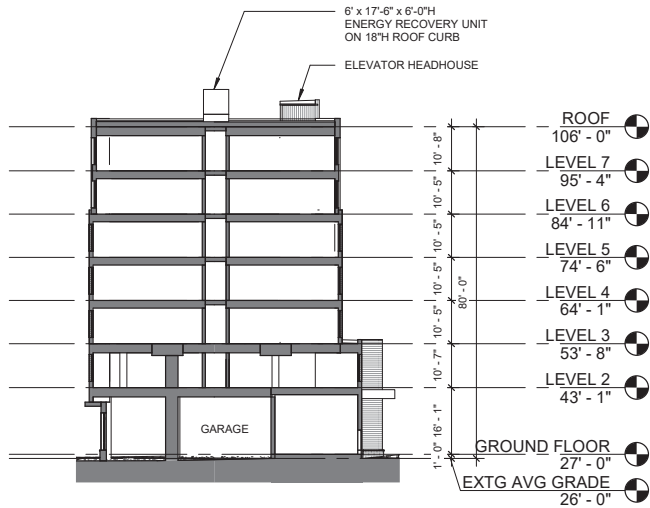
RAYMOND STREET ELEVATION

07 Sections



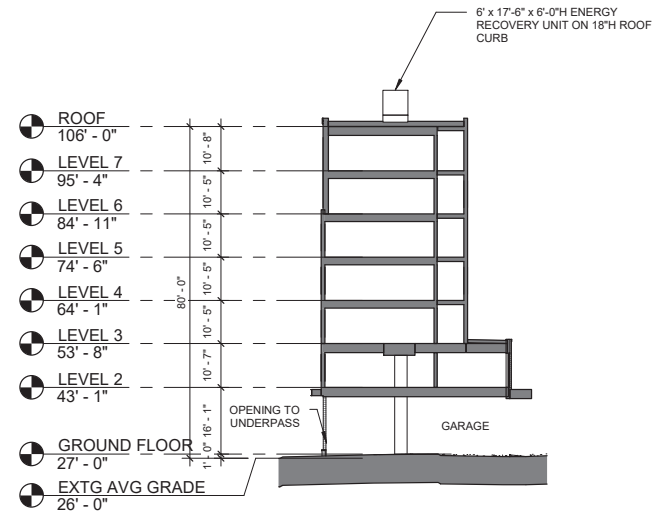
SECTION 1

SCALE 1:30



SECTION 3

SCALE 1:30



SECTION 2

SCALE 1:30









LOW CMU WALLS SEPARATE PEDESTRIANS FROM VEHICLES

FIBER CEMENT WOOD LOOK SIDING

TRELLIS DENOTES PEDESTRIAN ENTRANCE SEPARATED FROM VEHICULAR ENTRANCE

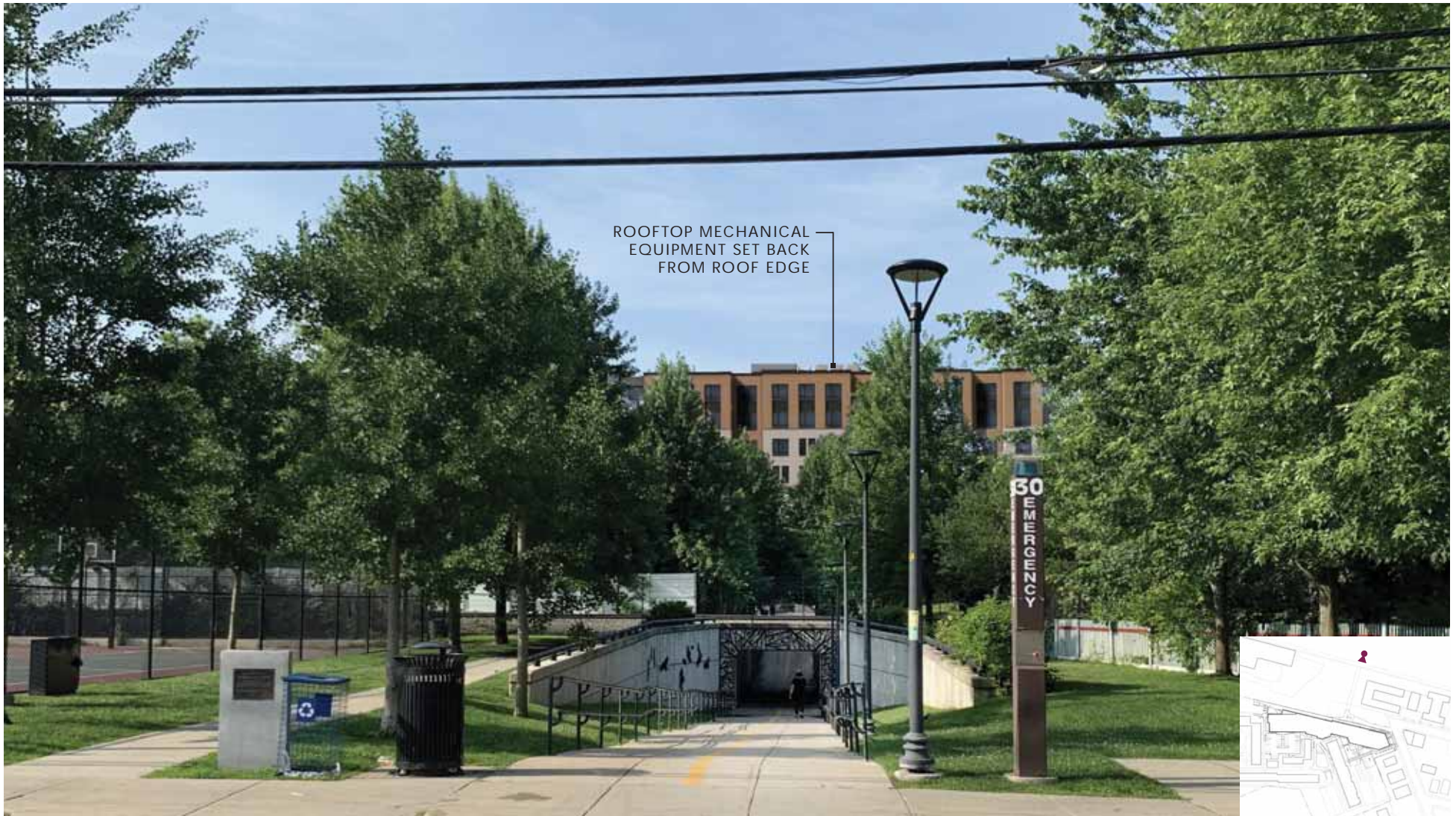
















PEDESTRIAN PORTAL AT THE END OF YERXA PATH



- FIBER CEMENT PANEL
- FIBER CEMENT LAP SIDING
- AWNING WINDOW (TYPICAL)
- COMPOSITE METAL PANEL
- COMPOSITE METAL PANEL CORNICE
- ROOFTOP EQUIPMENT IS MODELED AND IT IS OBSCURED FROM VIEW BY THE BLDG



- GREY BRICK
- FIBER CEMENT LAP SIDING
- FIBER CEMENT PANEL
- FIBER CEMENT LAP SIDING

VARIETY OF HUMAN SCALE ELEMENTS  
ALONG PEDESTRIAN PATH

















08 Proposed Views & Viewshed Analysis

VIEW AT UNDERPASS

CHANGE OF MATERIALS AT GROUND PLANE AND CEILING AS WELL AS LIGHTING ELEMENTS AND RAISED GROUND SURFACES EMPHASIZE SAFE PEDESTRIAN CROSSWALK



- SAFE SENSOR LIGHTING (TYP)
- GROUND FACE CMU BASE
- FIBER CEMENT WOOD LOOK SIDING
- EXPOSED CMU
- EXPOSED CONCRETE COLUMN
- FIBER CEMENT WOOD LOOK SIDING
- RAISED CROSSWALK
- ACCENT LED LIGHTING AT PEDESTRIAN CROSSING







09 Shadow Studies - June

 NEW BUILDING FOOTPRINT  EXISTING SHADOWS  NEW SHADOW  NEW SHADOW OVER EXISTING SHADOW

EXISTING SITE



9AM



12PM



530PM

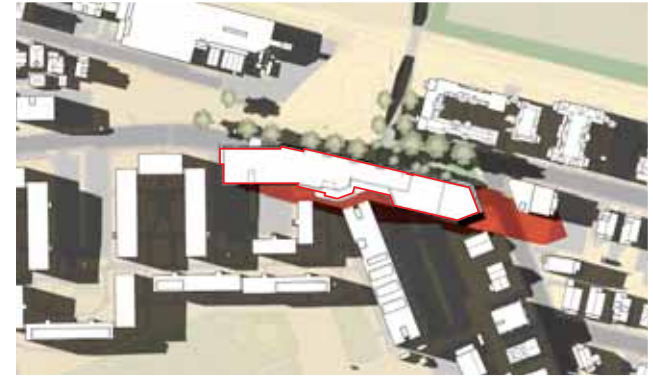
PROPOSED SITE



9AM



12PM



530PM



09 Shadow Studies – September

 NEW BUILDING FOOTPRINT    EXISTING SHADOWS    NEW SHADOW    NEW SHADOW OVER EXISTING SHADOW

EXISTING SITE



9AM

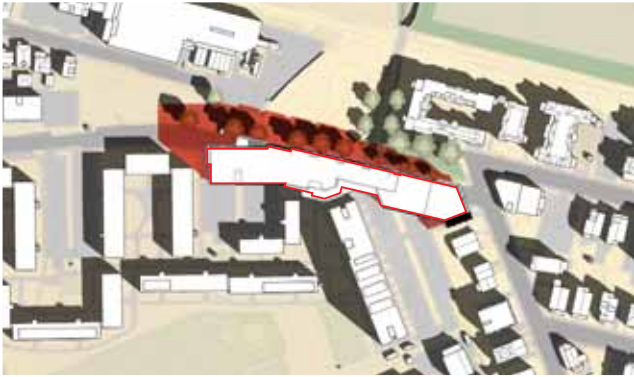


12PM



430PM

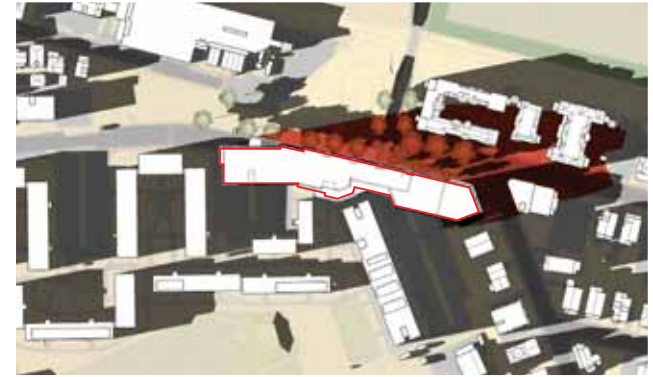
PROPOSED SITE



9AM



12PM



430PM



09 Shadow Studies – December

 NEW BUILDING FOOTPRINT    EXISTING SHADOWS    NEW SHADOW    NEW SHADOW OVER EXISTING SHADOW

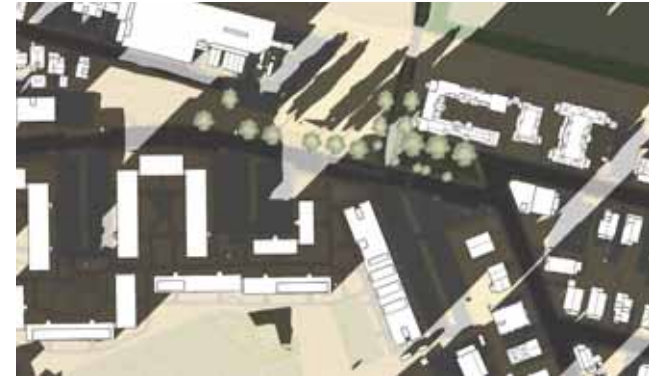
EXISTING SITE



9AM



12PM



3PM

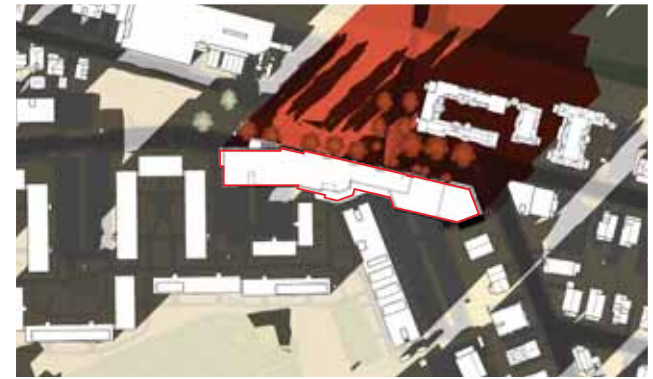
PROPOSED SITE



9AM



12PM



3PM

