

WALDEN SQUARE APARTMENTS

Cambridge, MA

02/19/2024



GRAPHIC VOLUME



PCA

Architecture
Interiors
+ Planning

PLANNING BOARD

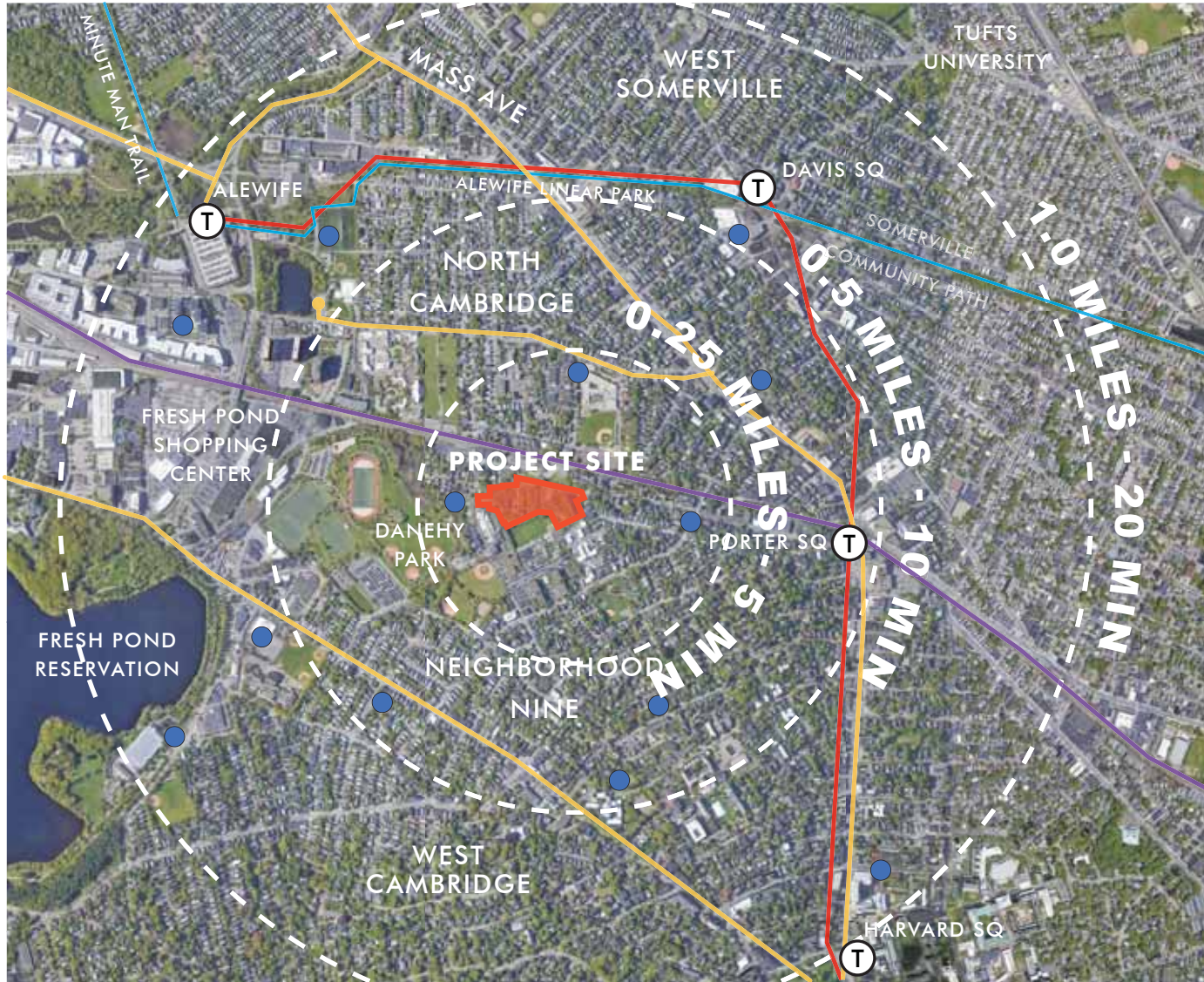


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- 02** Existing Site Analysis and Photographs p.6
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- 04** Civil Plans p.26
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01 Context Maps - Transportation

- BLUE BIKES
- T T STOP
- T ROUTE
- COMMUTER RAIL
- BUS ROUTE
- BIKE PATH

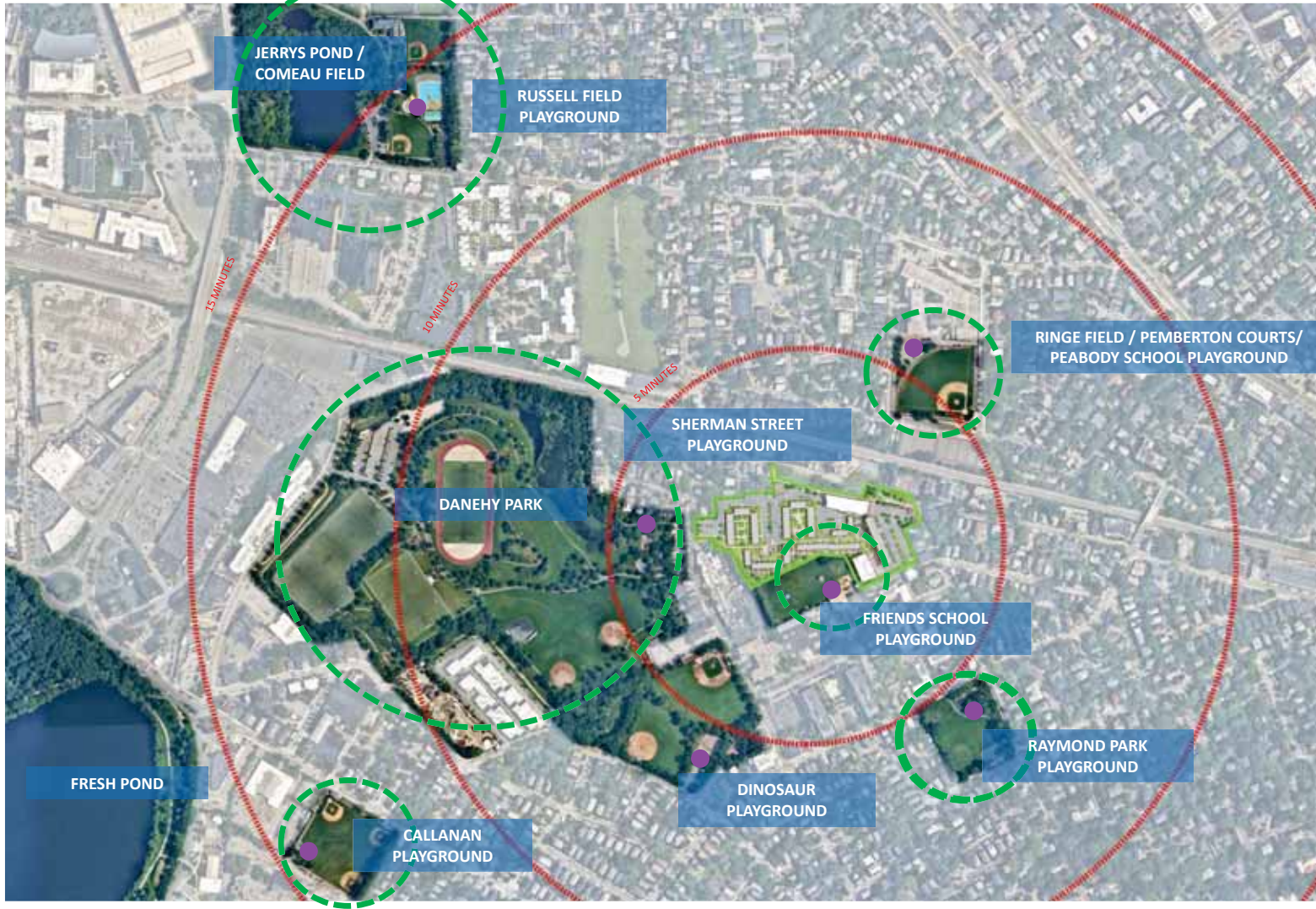


01 Context Maps - Land Use

- RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- EDUCATION
- GREEN SPACE
- PARKING
- WALDEN SQ



01 Context Maps
Community Amenities

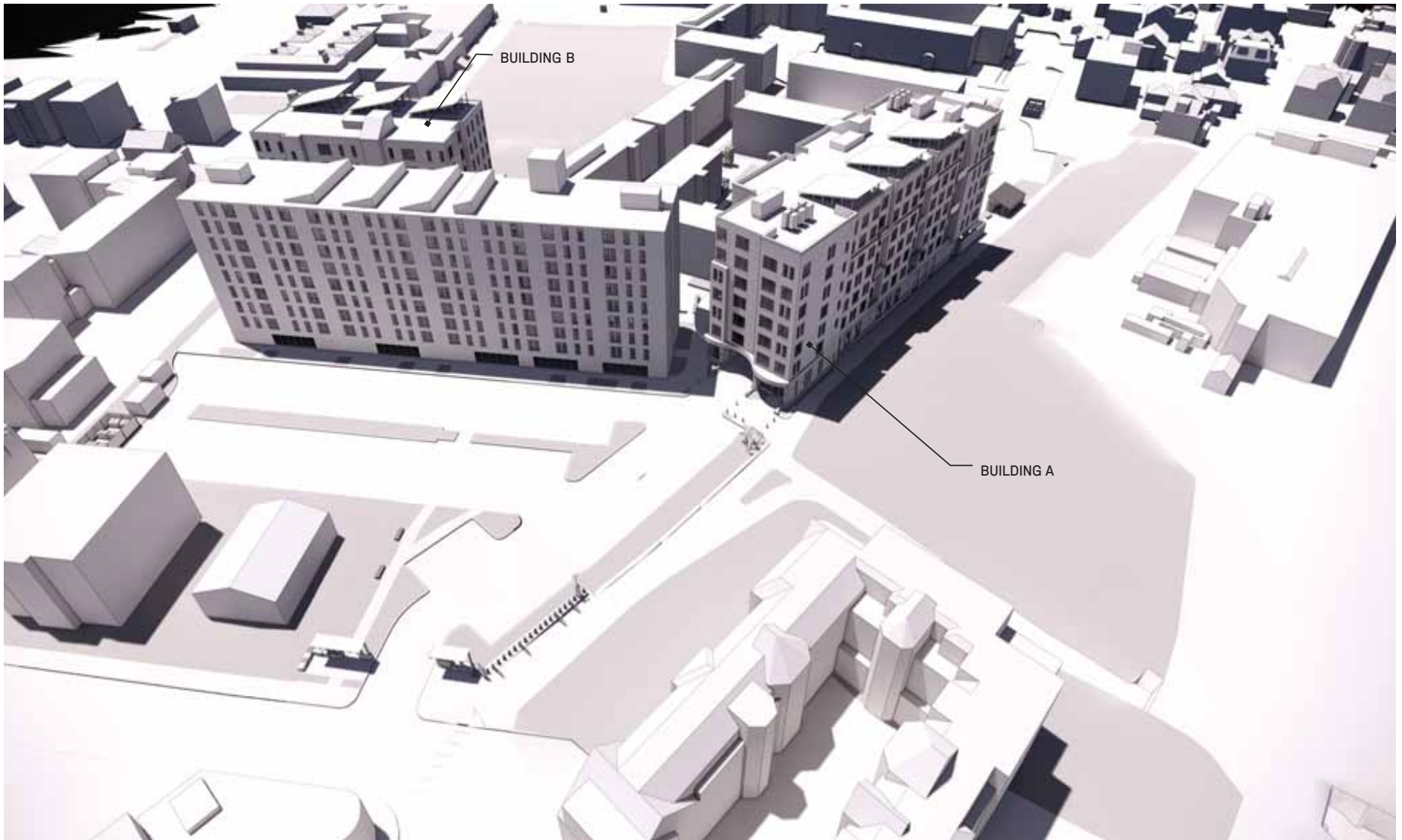


- PLAYGROUND
- ⋯ WALKING DISTANCE

02 Existing Conditions Plan



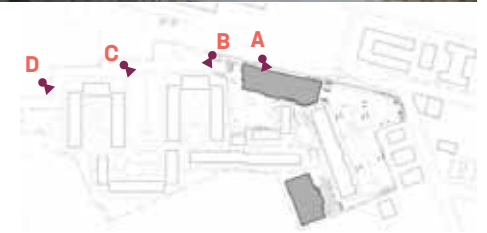
02 Site Analysis - New Proposed Massing



02 Site Analysis - New Proposed Massing



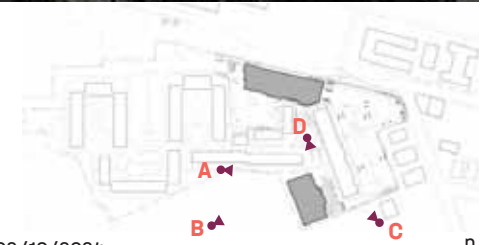
02 Existing Photographs - Overall Site



02 Existing Photographs - Building A Area



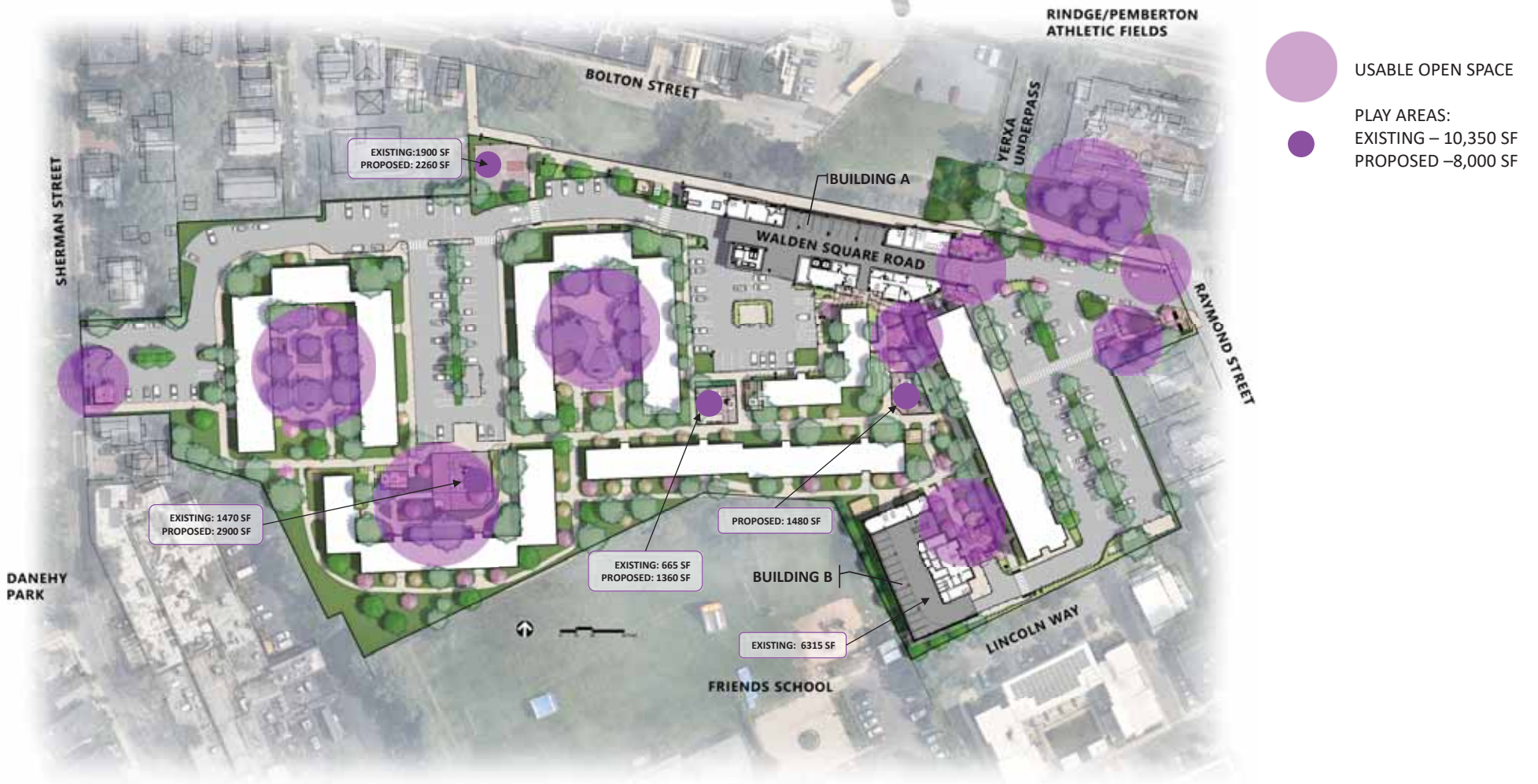
02 Existing Photographs - Building B Area



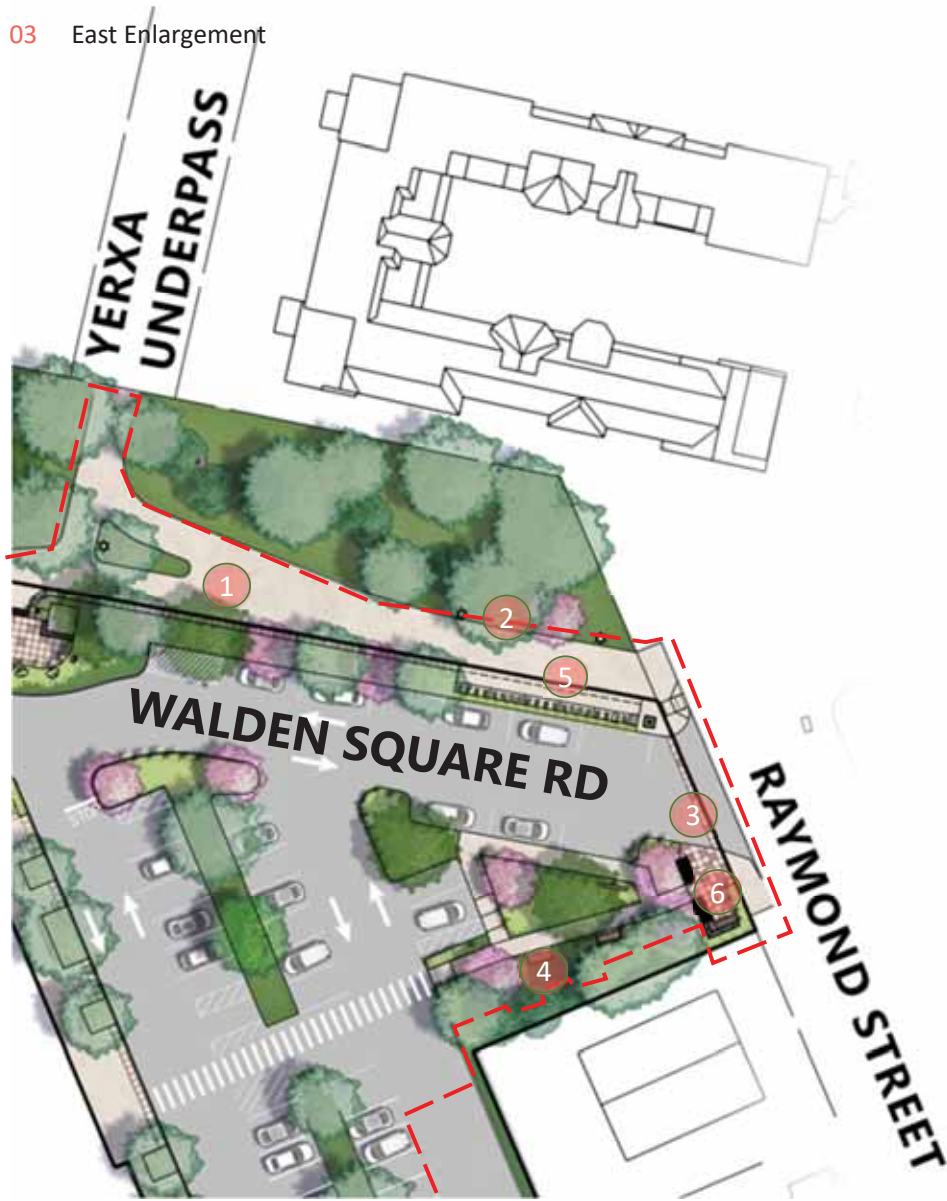
03 Proposed Conditions Plans – Proposed Site Plans



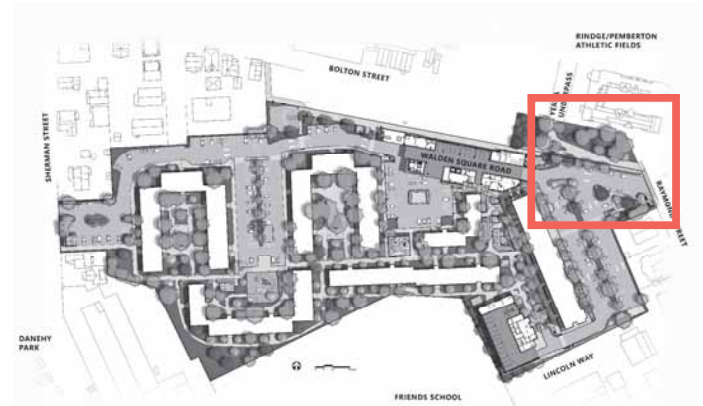
03 Illustrative Site Plan
Open Space



03 East Enlargement



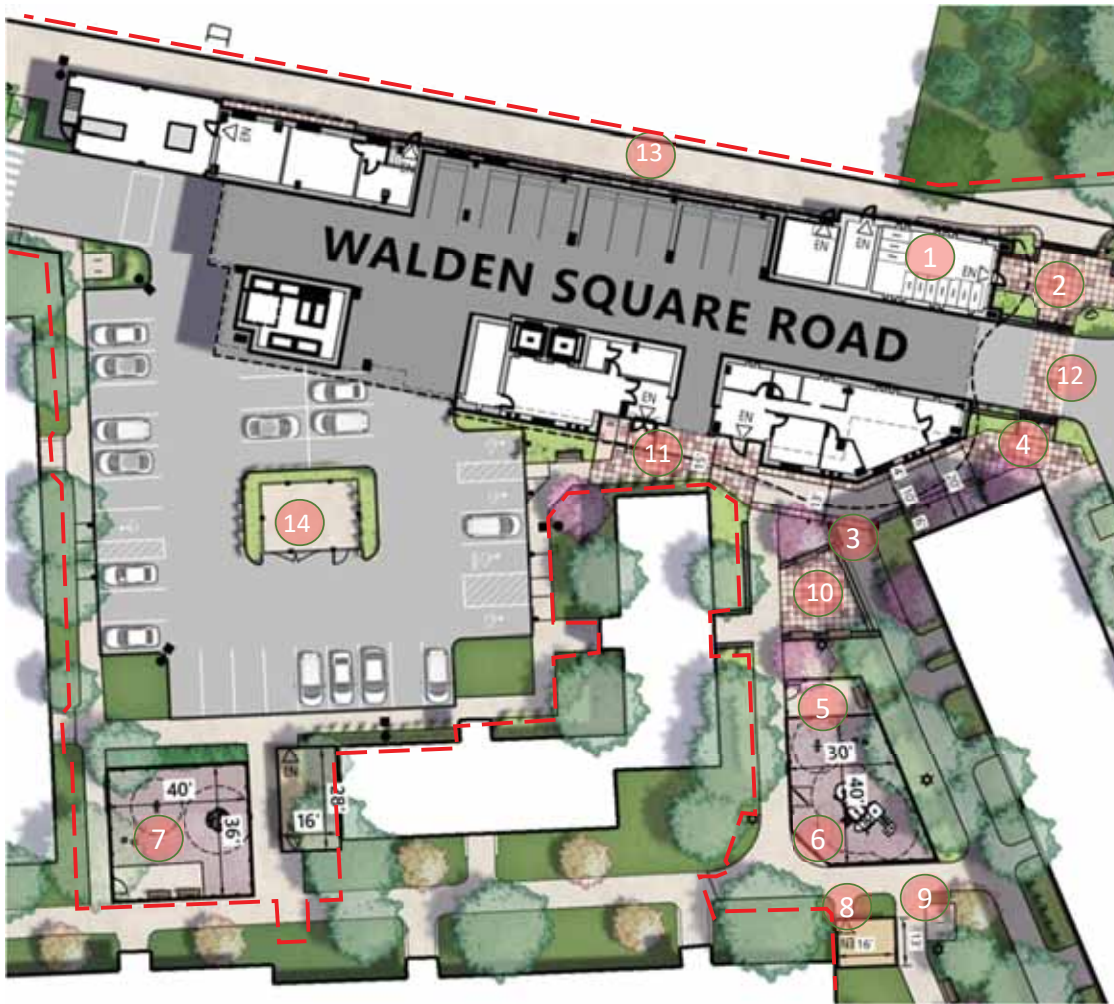
- ① SHARED PATH
- ② PEDESTRIAN LIGHTING
- ③ GATEWAY PLAZA W/ SEAT WALL, PERGOLA, SIGNAGE
- ④ BENCHES
- ⑤ BLUE BIKES
- ⑥ SCHOOL BUS STOP



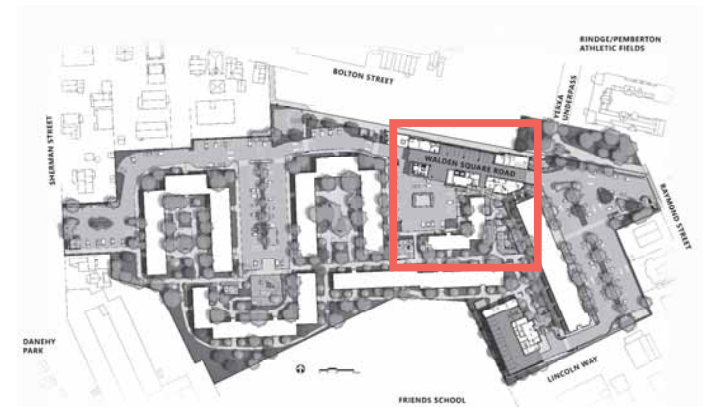
--- Limit of Work



03 North/ Central Enlargement



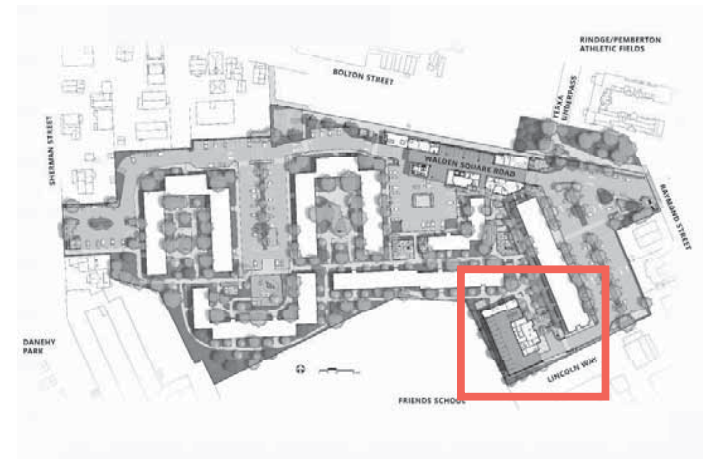
- ① BIKE ROOM
- ② PEDESTRIAN GATEWAY PLAZA
- ③ SEAT WALLS W/ BENCHES
- ④ ENTRANCE PLAZA
- ⑤ PATIO & SEATING
- ⑥ NEW PLAYGROUND (AGES 5-12)
- ⑦ IMPROVED PLAYGROUND (AGES 6-23 MONTHS)
- ⑧ BIKE SHELTER
- ⑨ SHORT TERM BIKE PARKING
- ⑩ COMMUNITY PLAZA
- ⑪ ENTRANCE PLAZA
- ⑫ ENHANCED PEDESTRIAN CROSSWALK
- ⑬ SHARED PATH
- ⑭ TRASH / RECYCLING ENCLOSURE



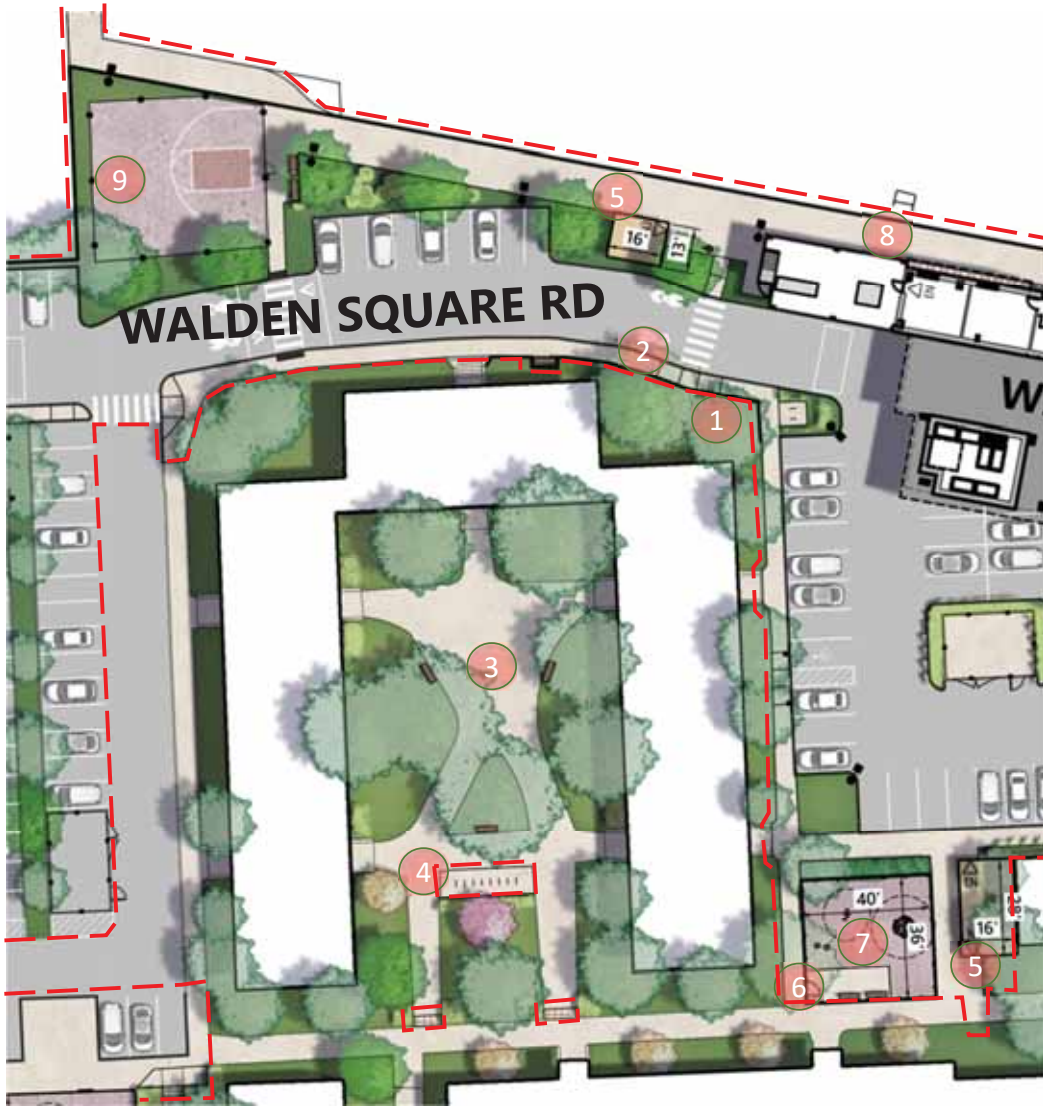
03 South Enlargement



- ① BIKE SHELTER
- ② SHORT TERM BIKE RACKS
- ③ CONCRETE SEAT WALL
- ④ PAVED PEDESTRIAN ENTRANCE
- ⑤ WAYFINDING SIGN
- ⑥ PEDESTRIAN ACCESS
- ⑦ BIKE ROOM
- ⑧ TREE PLANTERS & SEATING
- ⑨ MAINTENANCE, STORAGE, & OFFICE
- ⑩ VEHICLE PARKING ENTRANCE



03 Courtyard A Enlargement



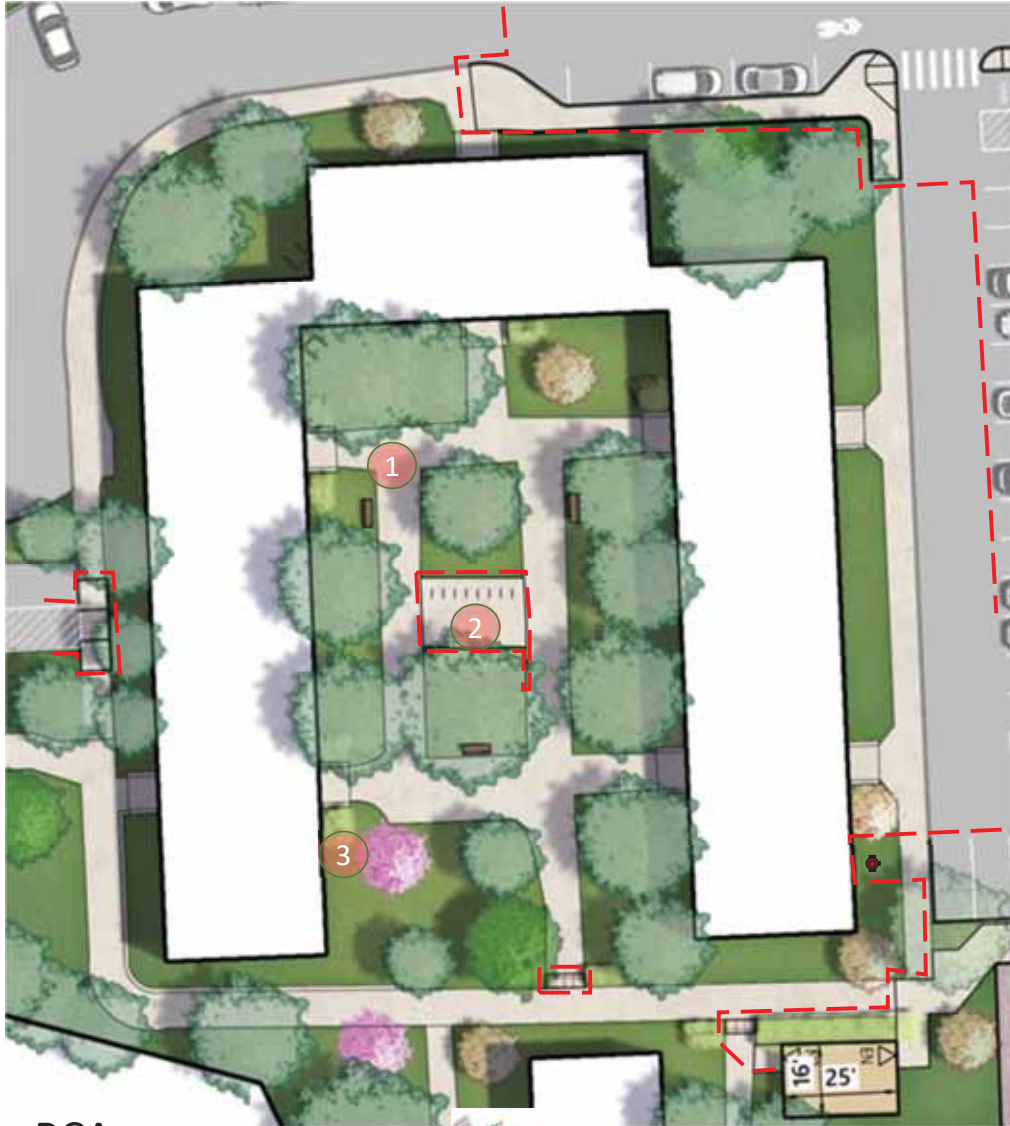
- ① SHORT TERM BIKE PARKING
- ② SCHOOL BUS STOP
- ③ BENCHES, PLANTING AND LIGHTING ENHANCEMENTS
- ④ SHORT TERM BIKE PARKING
- ⑤ BIKE SHELTER
- ⑥ PATIO SEATING
- ⑦ IMPROVED PLAYGROUND (AGES 6-23 MONTHS)
- ⑧ SHARED PATH
- ⑨ RESURFACED BASKETBALL COURT



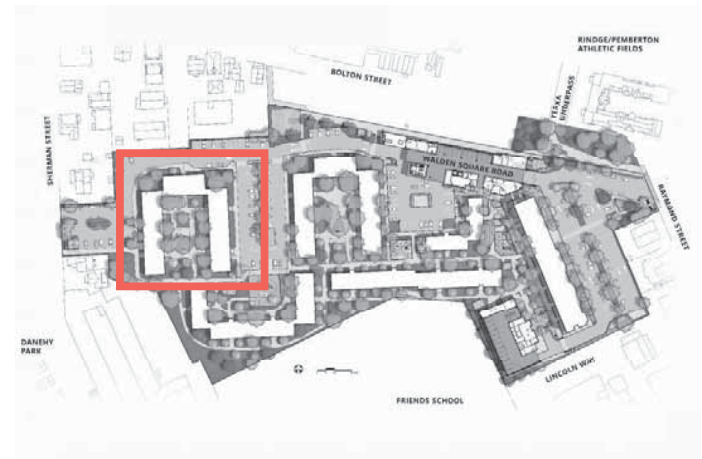
--- Limit of Work



03 Courtyard B Enlargement



- ① BENCHES, PLANTING AND LIGHTING IMPROVEMENTS
- ② SHORT TERM BIKE PARKING
- ③ PLANTING AND LIGHTING ENHANCEMENTS



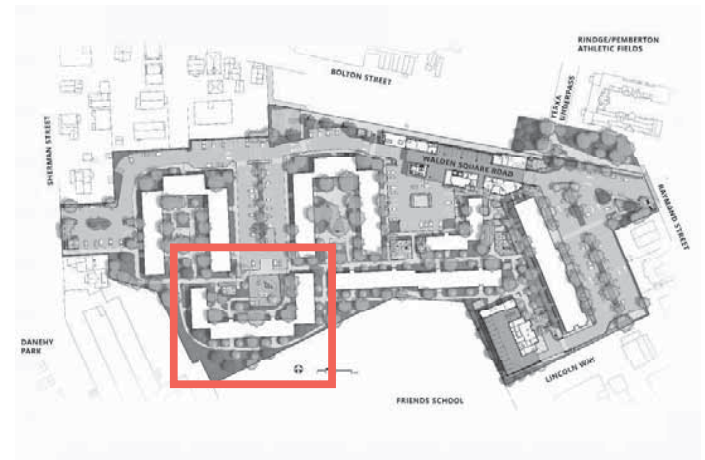
--- Limit of Work



03 Courtyard C Enlargement



- ① IMPROVED PLAYGROUND (AGES 5-12)
- ② PATIO SEATING
- ③ DECORATIVE FENCING
- ④ BENCHES
- ⑤ BIKE SHELTER
- ⑥ PARK BENCHES
- ⑦ PLANTING AND LIGHTING ENHANCEMENTS



--- Limit of Work



03 West Enlargement



- ① 30" DECORATIVE WALL & SIGNAGE
- ② SEAT WALL

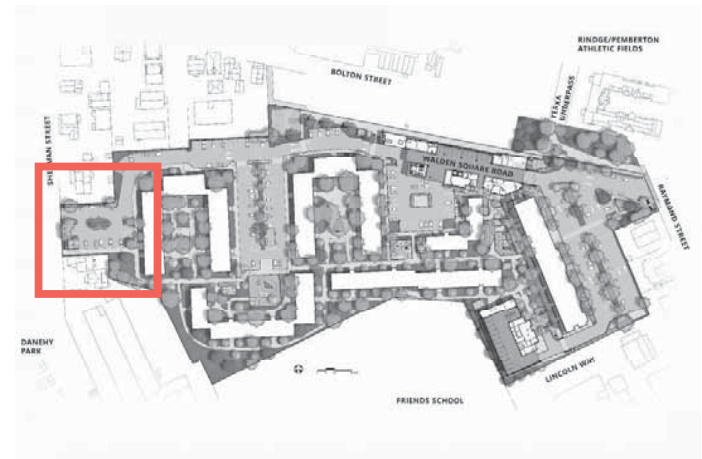


FIGURE 1 Existing Open Space Calculations

Legend

- TOTAL PERMEABLE OPEN SPACE
**includes private open space
113,485 SF (36%)
- PRIVATE OPEN SPACE
78,264 SF (25%)

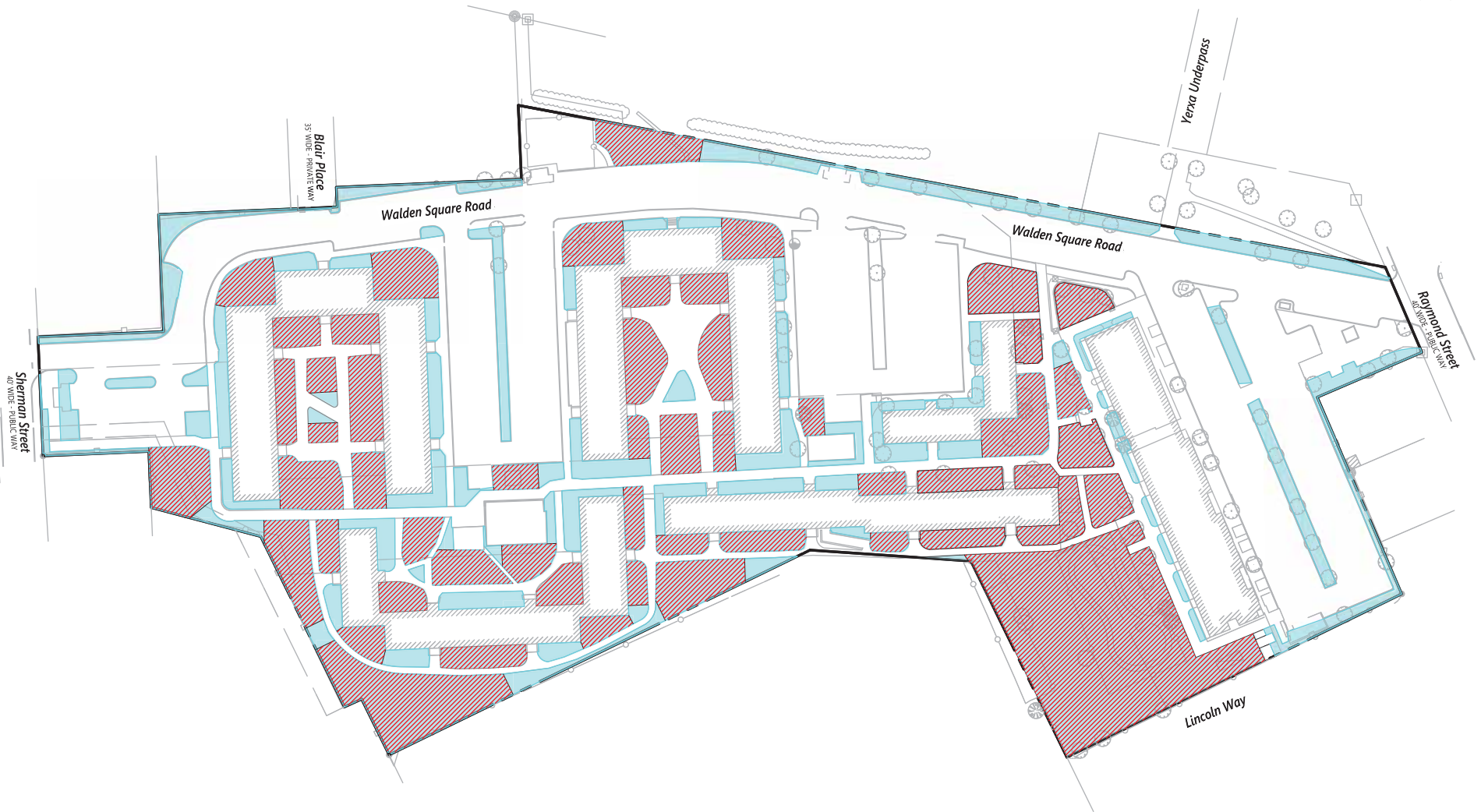
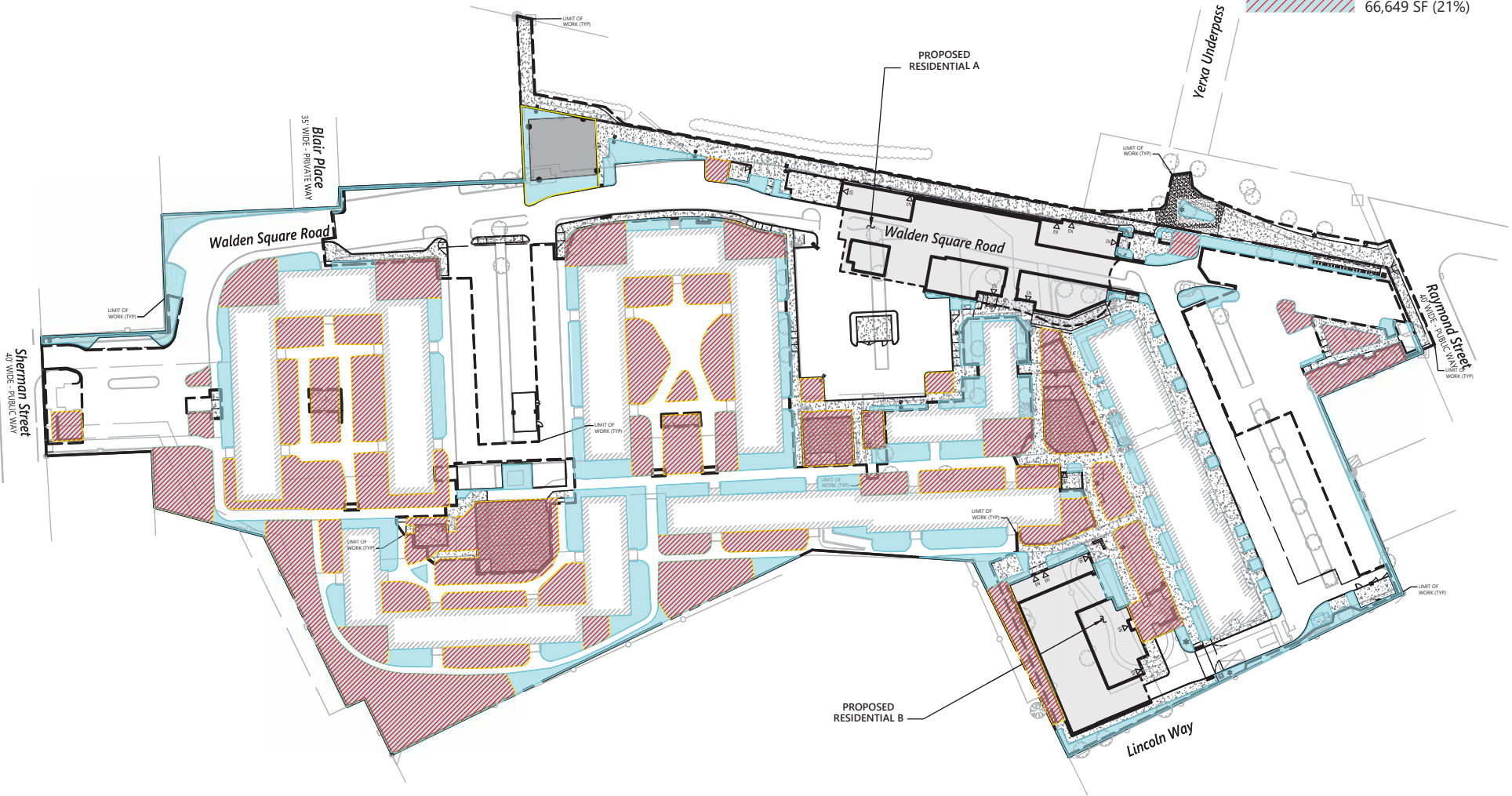


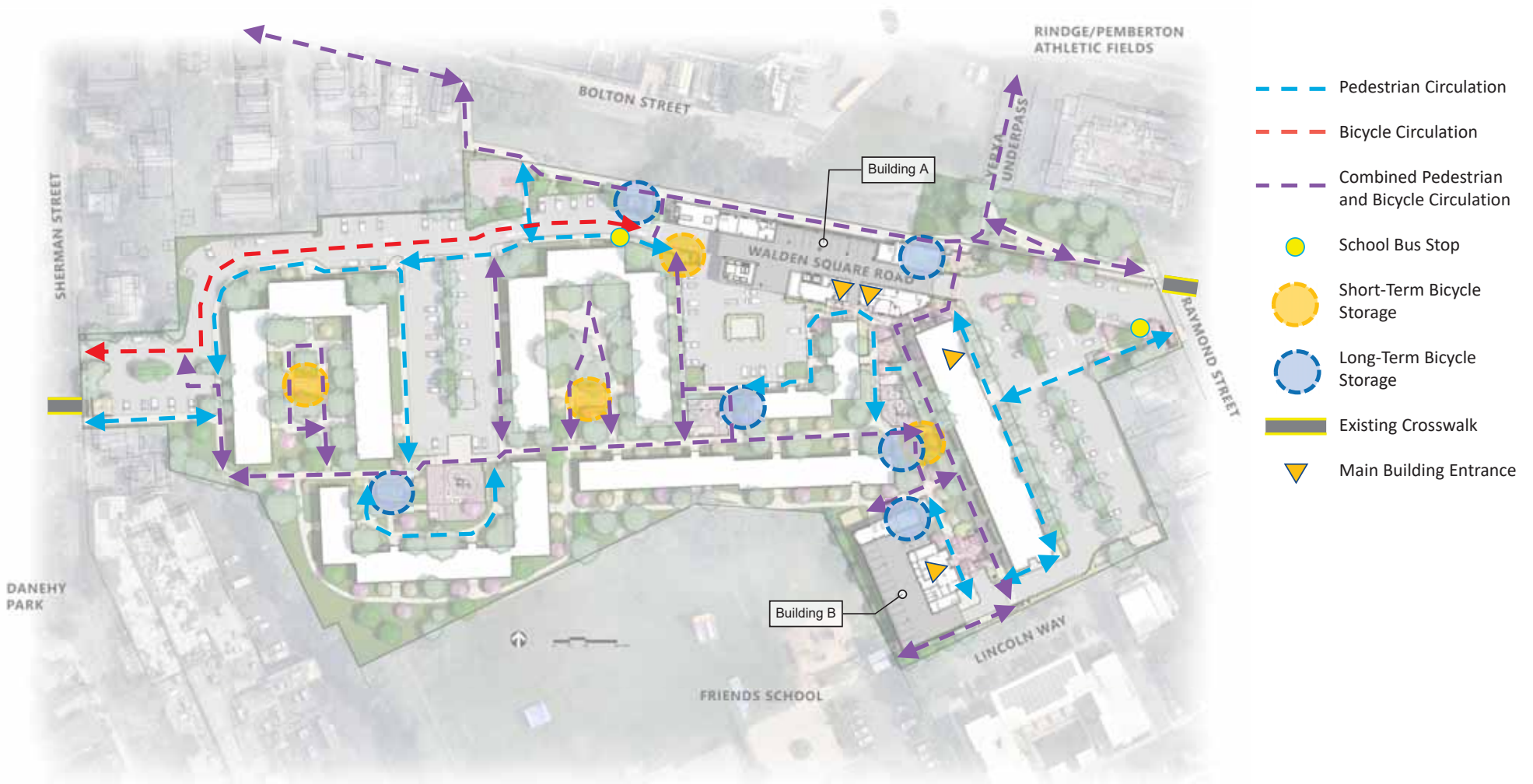
FIGURE 2 Proposed Open Space Calculations

Legend

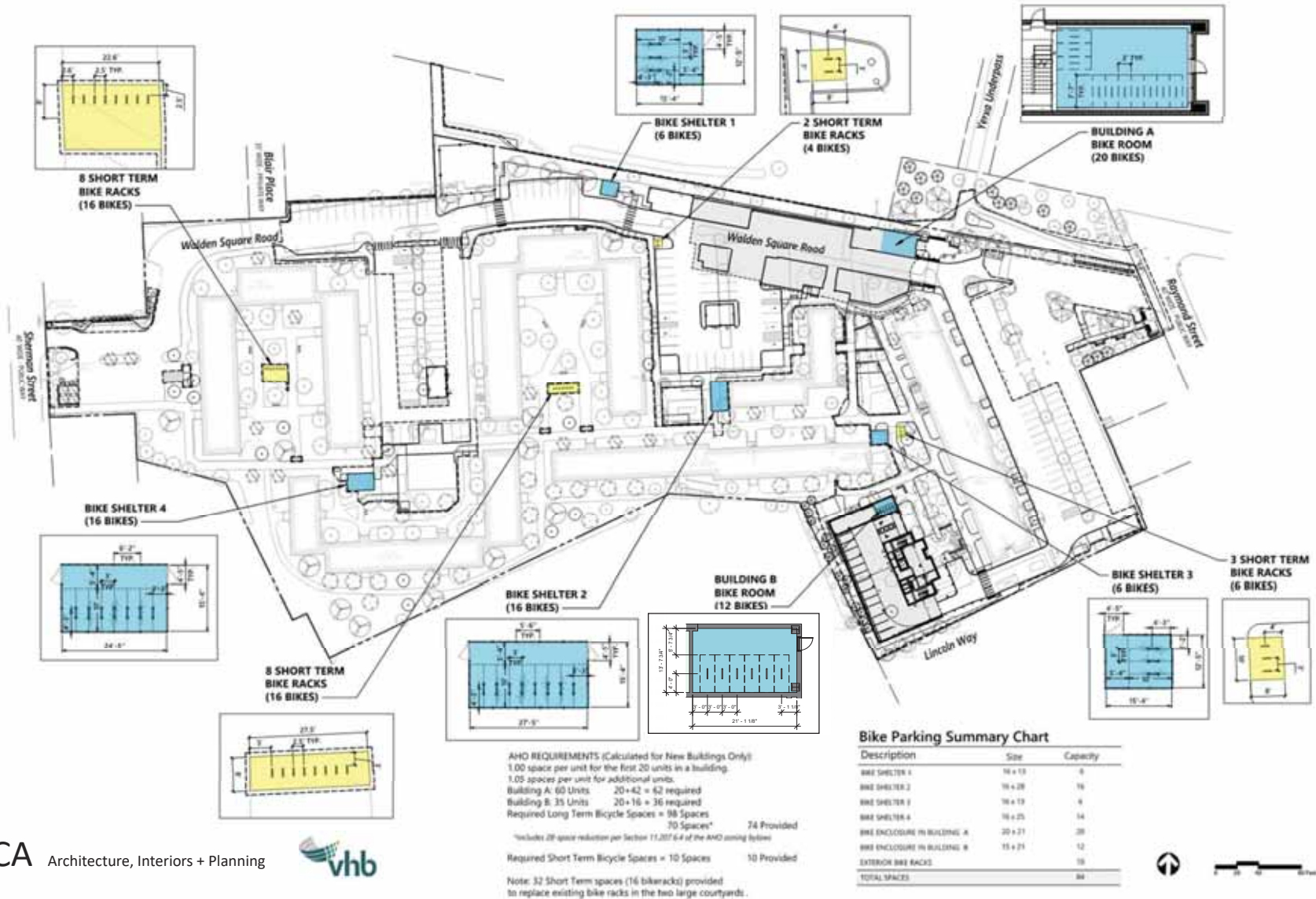
- TOTAL PERMEABLE OPEN SPACE
**includes private open space
100,108 SF (31%)
- PRIVATE OPEN SPACE
66,649 SF (21%)



03 Illustrative Site Plan
Pedestrian and Bicycle Circulation



03 Site Plan
Bicycle Parking Plan Enlargement



03 Illustrative Site Plan
Bicycle Parking Details

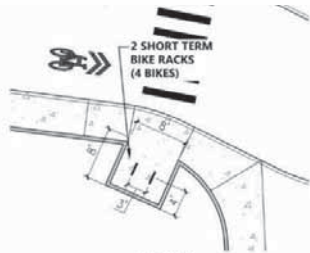


NOTE
BIKE RACK TO BE EXACT STYLE WITH SQUARE
TUBING BY NULON OUTDOOR PRODUCTS.

Bike Rack
N.T.S. Source: VHB 8/21



Bike Shelter Concept
N.T.S. Source: Karmarth 8/20

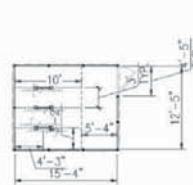


BR 'A'

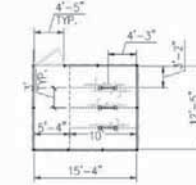


BR 'B'

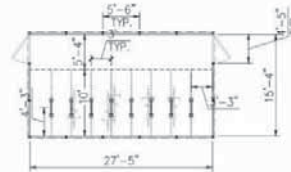
Bike Rack Layouts
1" = 10'-0" Source: VHB 8/20



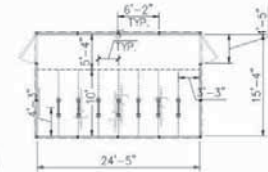
**16x13
BS 1
6 Bikes**



**16x13
BS 3
6 Bikes**



**16x28
BS 2
16 Bikes**



**16x25
BS 4
14 Bikes**

Note: Building dimensions are between interior walls.

Bike Shelter Layouts
1" = 10'-0" Source: VHB 8/20

C2.00 Overall Site Plan

Parking Summary Chart

Description	Size		Spaces	
	Required ^a	Provided	Existing	Provided
STANDARD SPACES	8.5 x 18	8.5 x 18	60	95
HEAD-IN PARALLEL			34	14
COMPACT SPACES (90% ALLOWED)	7.5 x 16	7.5 x 16		
HEAD-IN			75	70
PARALLEL			8	5
STANDARD ACCESSIBLE SPACES ^c	8.5 x 18	8.5 x 18	13	14
VAN ACCESSIBLE SPACES	8.5 x 18	8.5 x 18	0	2
TOTAL SPACES			190	200

- A. ADA/STATE/LOCAL REQUIREMENTS
- B. PER SECTION 11.207.6.1 OF THE AHO ZONING BYLAWS, THERE SHALL BE NO REQUIRED MINIMUM NUMBER OF OFF-STREET PARKING SPACES
- C. PARKING RATIO CALCULATION:
EXISTING UNITS: 182 SPACES / 246 EXISTING UNITS = 0.7 (0.7 RATIO REQUIRED PER 1989 URBAN RENOVATION PLAN)
PROPOSED UNITS: 32 SPACES / 95 PROPOSED UNITS = 0.48

Zoning Summary Chart - Entire Site

Zoning District(S)	Residence C-2 Affordable Housing Overlay		
Overlay District(S)	Required (C-2) ^a	Required (AHO) ^b	Provided (Entire Site)
Zoning Regulation Requirements	Required (C-2) ^a	Required (AHO) ^b	Provided (Entire Site)
MINIMUM LOT AREA	600 SF Per DLI (205,800 SF)	N/A	925 SF Per DLI (810,049 SF)
FRONTAGE (RAYMOND)	20 Feet	N/A	70 Feet
FRONTAGE (SHERMAN)	20 Feet	N/A	91 Feet
FRONTAGE (BLAIR)	20 Feet	N/A	35 Feet
MINIMUM LOT WIDTH	50 Feet	N/A	275.8 Feet
MAXIMUM IMPERVIOUS	85 %	85 %	71 %
MINIMUM PRIVATE OPEN SPACE	15 %	15 %	20 %
INTERIOR PARKING LANDSCAPING PERCENTAGE	5.0 %	N/A	5.0 %

A. Zoning regulation requirements as specified in the 10/30/2020 Cambridge Zoning Ordinance and the 2020 Affordable Housing Overlay Ordinance.

B. On-grade parking spaces may be located within five (5) feet of a side or rear property line without requiring a special permit, provided that screening is provided in the form of a fence or other dense year-round visual screen at the property line, unless such screening is waived by mutual written agreement of the owner of the lot and the owner of the abutting lot.

C. Existing and Proposed Parking within 5-foot of property boundary is screened by a combination of existing and proposed fencing.

D. Dimension provided is to proposed structure.

Zoning Summary Chart - Building A

Zoning District(S)	Residence C-2 Affordable Housing Overlay		
Overlay District(S)	Required (C-2) ^a	Required (AHO) ^b	Provided (Building A)
Zoning Regulation Requirements	Required (C-2) ^a	Required (AHO) ^b	Provided (Building A)
FRONT YARD SETBACK: RAYMOND STREET	33.5'	0 Feet	196.1 Feet ^c
FRONT YARD SETBACK: RAYMOND STREET	33.5'	0 Feet	606.3 Feet ^c
SIDE YARD SETBACK: BOLTON STREET PARTNERS	59.2'	0 Feet	9.0 Feet ^c
SIDE YARD SETBACK: FRIENDS SCHOOL	56.4'	0 Feet	189.4 Feet ^c
PARKING SETBACK	5 Feet	0 Feet ^d	1.3 Feet ^c
MAXIMUM BUILDING HEIGHT	85 Feet	150 Feet	80 Feet

A. Zoning regulation requirements as specified in the 10/30/2020 Cambridge Zoning Ordinance and the 2020 Affordable Housing Overlay Ordinance.

B. On-grade parking spaces may be located within five (5) feet of a side or rear property line without requiring a special permit, provided that screening is provided in the form of a fence or other dense year-round visual screen at the property line, unless such screening is waived by mutual written agreement of the owner of the lot and the owner of the abutting lot.

C. Existing and Proposed Parking within 5-foot of property boundary is screened by a combination of existing and proposed fencing.

D. Dimension provided is to proposed structure.

Zoning Summary Chart - Building B

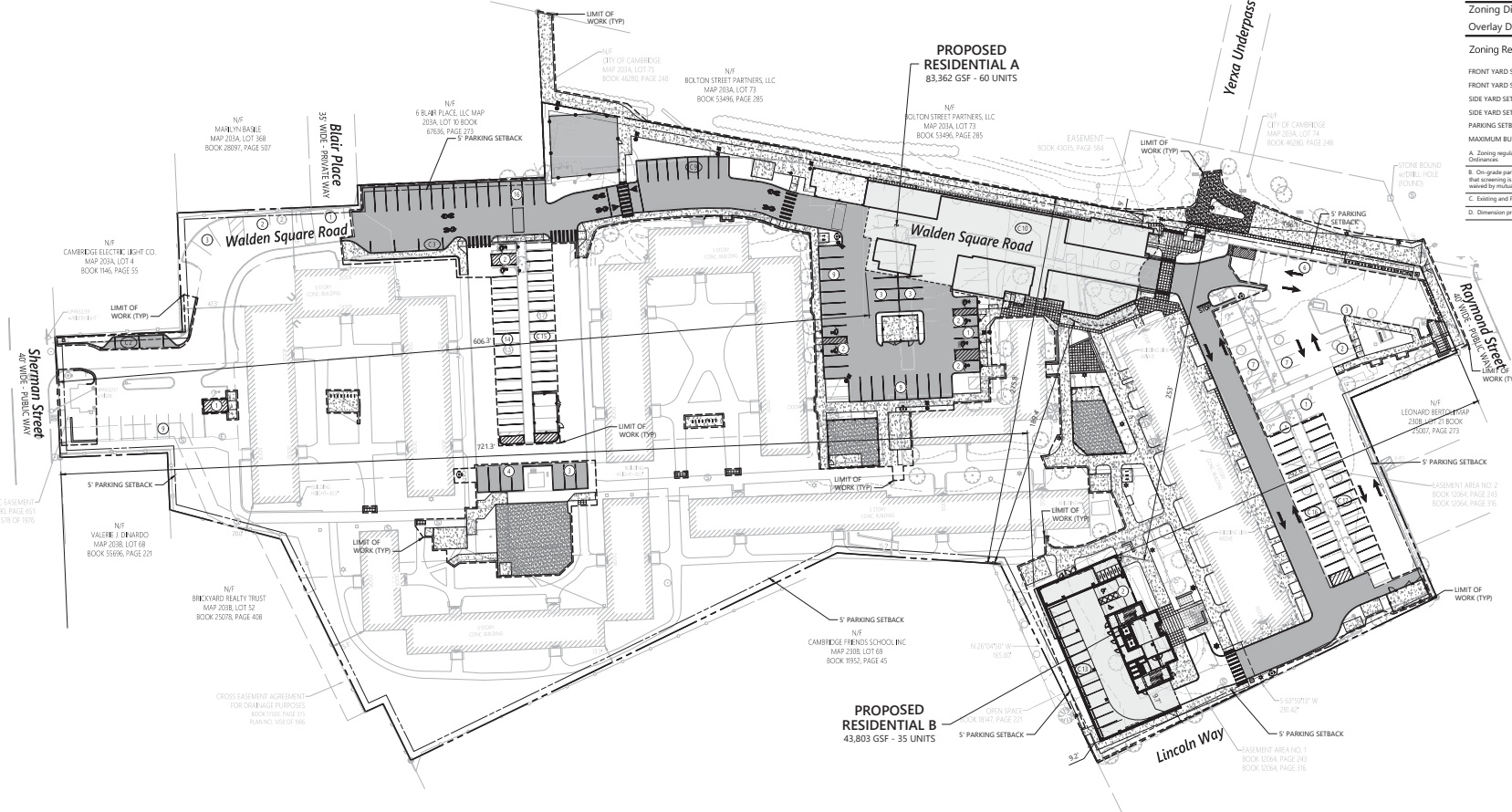
Zoning District(S)	Residence C-2 Affordable Housing Overlay		
Overlay District(S)	Required (C-2) ^a	Required (AHO) ^b	Provided (Building B)
Zoning Regulation Requirements	Required (C-2) ^a	Required (AHO) ^b	Provided (Building B)
FRONT YARD SETBACK: RAYMOND STREET	39.0 Feet	0 Feet	252.6 Feet ^c
FRONT YARD SETBACK: SHERMAN STREET	39.0 Feet	0 Feet	721.3 Feet ^c
SIDE YARD SETBACK: LINCOLN WAY	27.6 Feet	0 Feet	9.7 Feet ^c
SIDE YARD SETBACK: FRIENDS SCHOOL	27.2 Feet	0 Feet	9.0 Feet ^c
PARKING SETBACK	5 Feet	0 Feet ^d	9.0 Feet ^c
MAXIMUM BUILDING HEIGHT	85 Feet	150 Feet	80 Feet

A. Zoning regulation requirements as specified in the 10/30/2020 Cambridge Zoning Ordinance and the 2020 Affordable Housing Overlay Ordinance.

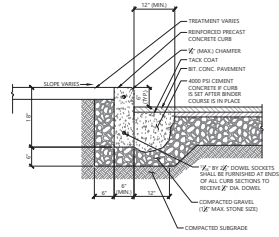
B. On-grade parking spaces may be located within five (5) feet of a side or rear property line without requiring a special permit, provided that screening is provided in the form of a fence or other dense year-round visual screen at the property line, unless such screening is waived by mutual written agreement of the owner of the lot and the owner of the abutting lot.

C. Existing and Proposed Parking within 5-foot of property boundary is screened by a combination of existing and proposed fencing.

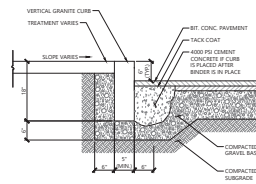
D. Dimension provided is to proposed structure.



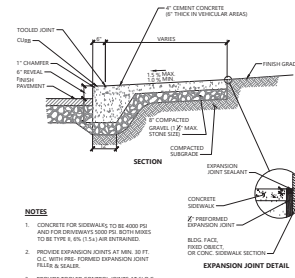
C6.01 Site Details



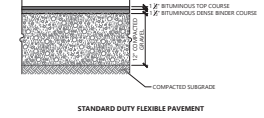
Precast Concrete Curb (PCC) 1/16
N.T.S. Source: VHB LD_404



Vertical Granite Curb (VGC) 1/16
N.T.S. Source: VHB LD_402

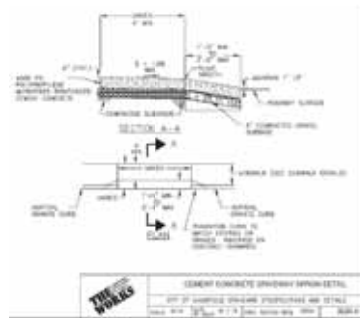


Monolithic Concrete Curb (MCC) & Sidewalk 1/16
N.T.S. Source: VHB LD_421

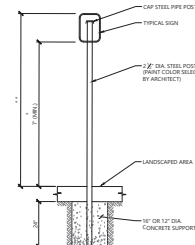


STANDARD DUTY FLEXIBLE PAVEMENT

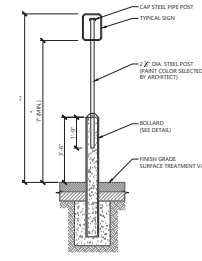
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATION.



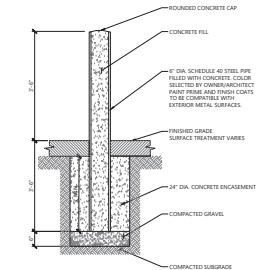
Driveway Apron 1/16
N.T.S. Source: Cambridge DPW



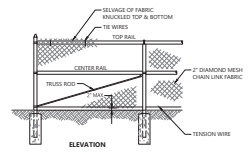
Sign Post - Type 'A' 1/16
N.T.S. Source: VHB LD_701



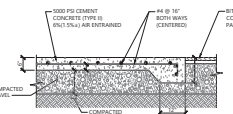
Bollard Mounted Sign 1/16
N.T.S. Source: VHB LD_703



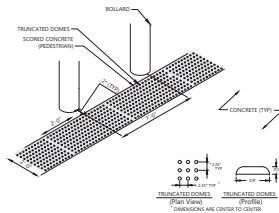
Bollard 1/16
N.T.S. Source: VHB LD_700



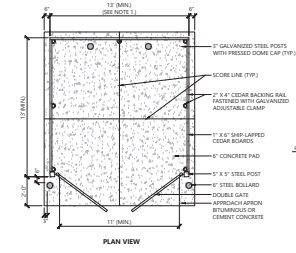
6' to 12' Chain Link Fence 10/20
N.T.S. Source: VHB LD_480



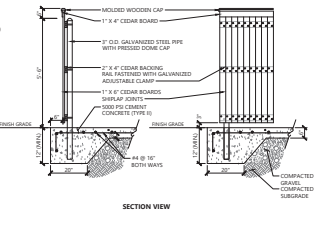
Concrete Pad for Transformer 1/16
N.T.S. Source: VHB REV LD_710



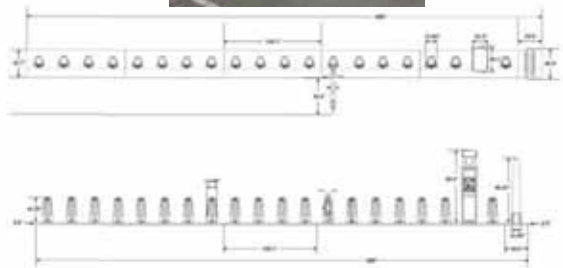
Detectable Warning Pavers at Bollards 11/15
N.T.S. Source: VHB LD_711



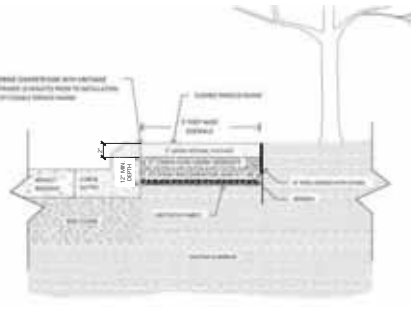
Dumpster Pad w/ Enclosure 1/16
N.T.S. Source: VHB LD_712



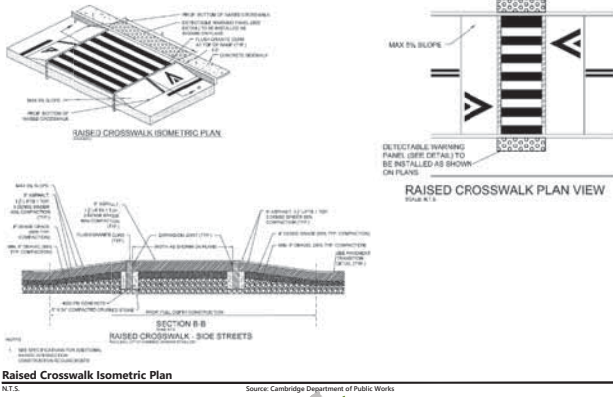
C6.02 Site Details



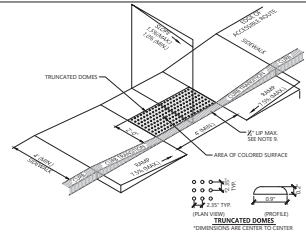
Blue Bikes Station
N.T.S. Source: VHB 3/21 LD



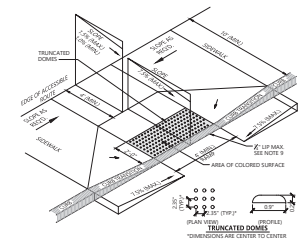
Flex-Pave Surface
N.T.S. Source: Capital Flex-Pave, LLC 4/13 LD



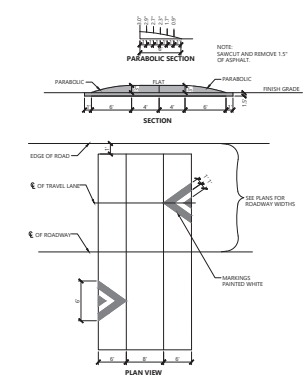
Raised Crosswalk Isometric Plan
N.T.S. Source: Cambridge Department of Public Works 2/16 LD



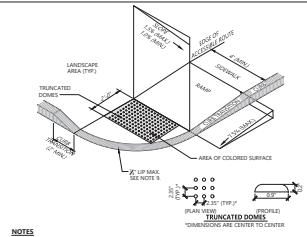
Accessible Curb Ramp (ACR) Type 'A-D'
N.T.S. Source: VHB 1/16 LD.500



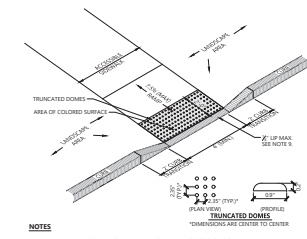
Accessible Curb Ramp (ACR) Type 'D-D'
N.T.S. Source: VHB 1/16 LD.305



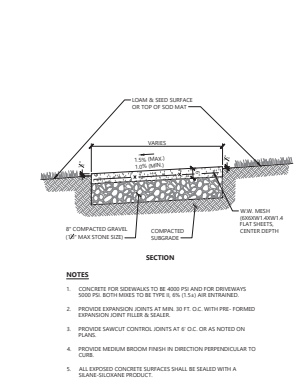
Speed Table
N.T.S. Source: VHB 10/10 LD.306



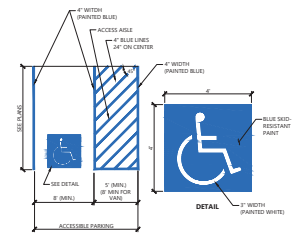
Accessible Curb Ramp (ACR) Type 'B-D'
N.T.S. Source: VHB 1/16 LD.501



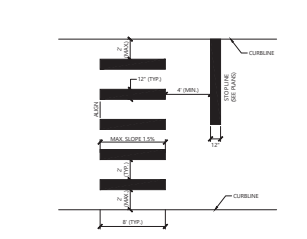
Accessible Curb Ramp (ACR) Type 'M-D'
N.T.S. Source: VHB 1/16 LD.512



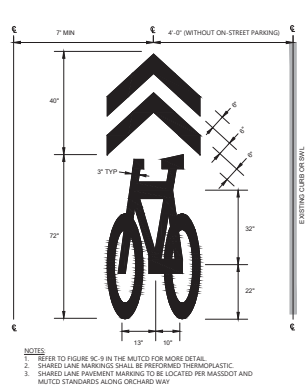
Concrete Sidewalk in Landscape Area
N.T.S. Source: VHB 3/01 LD.426



Accessible Parking Space
N.T.S. Source: VHB 1/16 LD.528



Crosswalk
N.T.S. Source: VHB 1/16 LD.553



Shared Lane Pavement Marking
N.T.S. Source: VHB 7/2009 LD

C6.03 Site Details

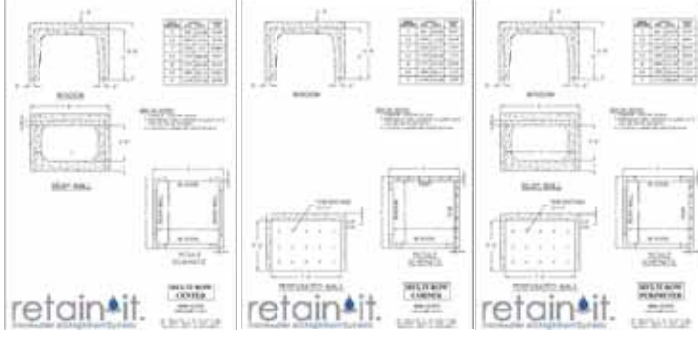
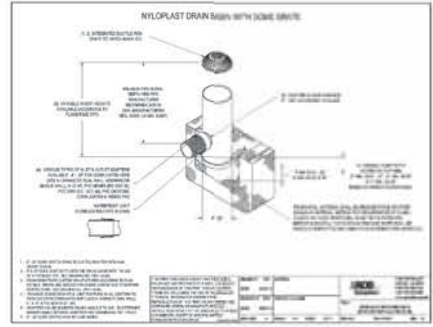
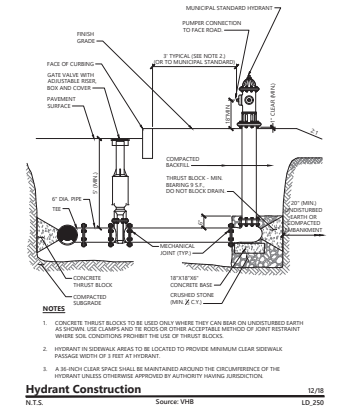
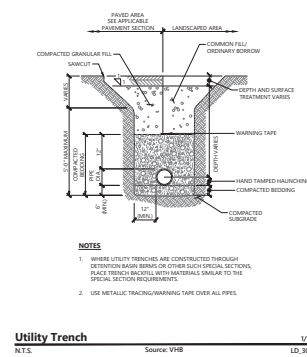
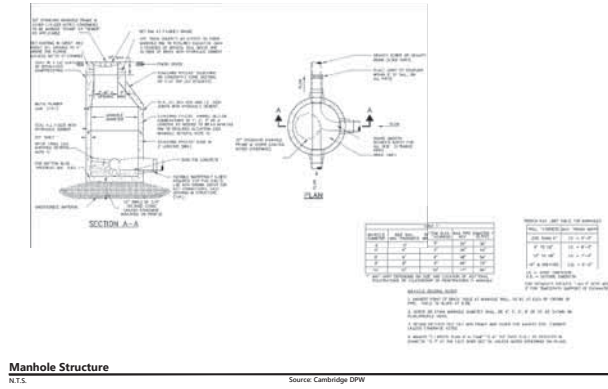
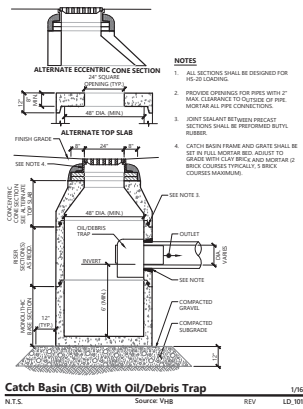


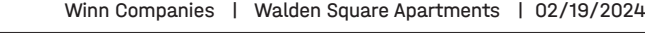
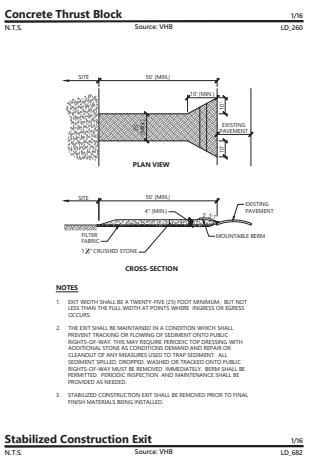
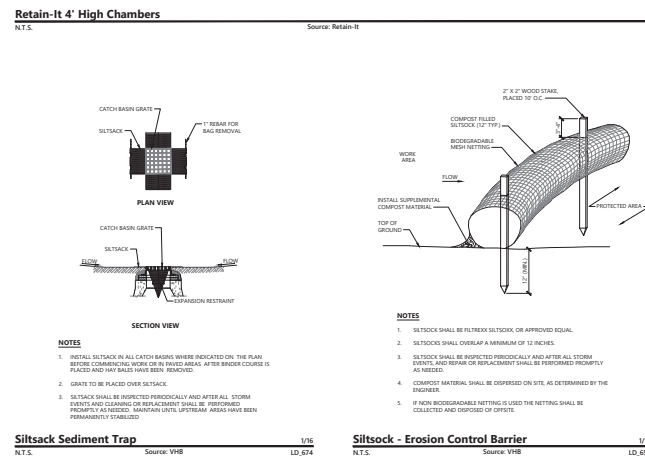
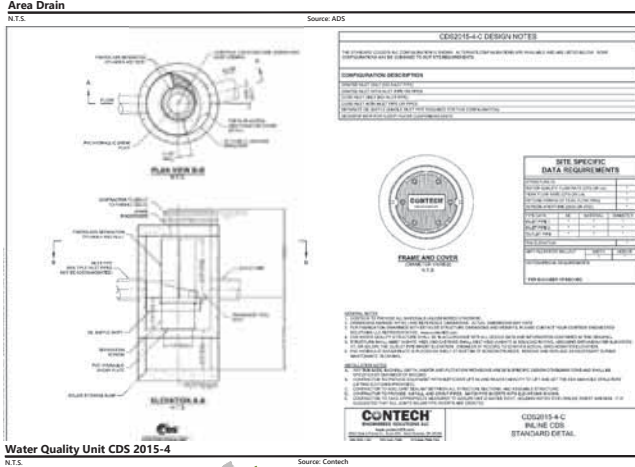
TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 1/2"	6"	15"	24"	12"	6"	6" 45°	6"	20"	12"	24"	14"
6" 2 1/2"	-	18"	-	18"	6" 90°	6" 30°	-	30"	-	24"	22"
6" 1 1/2"	-	20"	-	12"	6" 45°	6" 30°	-	30"	-	24"	24"
6" 2 1/2"	-	22"	-	11"	6" 90°	6" 30°	-	38"	-	38"	36"
12" 1 1/2"	-	30"	-	15"	12" 45°	12" 45°	-	40"	-	40"	40"
12" 2 1/2"	-	35"	-	25"	12" 90°	12" 90°	-	60"	-	60"	52"

TEES

TEES	G	H	I	TEES	G	H	I
6" 90°	12"	24"	18"	12" 1/2" 90°	12"	24"	18"
6" 45°	-	-	-	12" 1/2" 45°	-	-	24"
6" 30°	-	-	24"	12" 1/2" 30°	-	-	36"

CONCRETE THRUST BLOCK
 N.T.S. Source: VHB LD 260



C6.04 Site Details

