



**CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100**

BZA APPLICATION FORM

Plan No: BZA-017128-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : v Appeal : _____

PETITIONER : 1160 Mass Ave Inc (d/b/a Kung Fu Tea) - C/O Megan M. Kemp, Esq.

PETITIONER'S ADDRESS : 48 Grove Street, Suite 304 Somerville, MA 02144

LOCATION OF PROPERTY : 1160 Massachusetts Ave Cambridge, MA 02138

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Residence C-2B Zone

REASON FOR PETITION :

Change in Use / Occupancy

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner requests a Use Variance to convert an existing retail (alcohol) shop (Salt and Olive) into a fast order food establishment (Kung Fu Tea, bubble tea). As the building is located in a residential zone, the various uses in the building, all require variances as it is located directly among the various businesses in the Harvard Square area.

SECTIONS OF ZONING ORDINANCE CITED :

Article 4.000 Section 4.35.0 (Fast Order Food Establishment).

Article 11.000 Section 11.30 (Fast Order Food Establishment).

Original Signature(s) :


 (Petitioner(s) / Owner)

Megan M. Kemp, Esq // Adam Dash & Associates

(Print Name)

Address : 48 Grove Street, Suite 304
Somerville, MA 02144

Tel. No. : 617-625-7373

E-Mail Address : kemp@adamdashlaw.com

Date : ~~May 28, 2019~~ 9/10/19

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We 1154-1166 MASS. AVE. LLC
(OWNER)

Address: c/o Oriental Furniture; 68 Moulton Street, 3rd Floor, Cambridge, MA 02138

State that I/We own the property located at 3-5 Arrow Street a/k/a 1160 Mass Ave, which is the subject of this zoning application.

The record title of this property is in the name of 1154-166 MASS. AVE. LLC

*Pursuant to a deed of duly recorded in the date 12/9/2011, Middlesex South County Registry of Deeds at Book 58050, Page 199; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

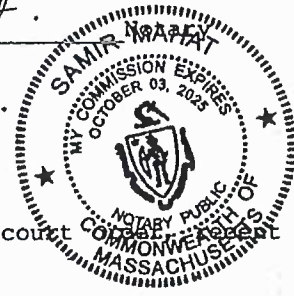
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Peter Givertzman personally appeared before me, this 3rd of May, 2019, and made oath that the above statement is true.

Samir Mahat

My commission expires 10/03/2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the Ordinance would be a substantial hardship to the petitioner because this property contains mostly non-conforming retail oriented businesses, including other food and fast order food establishments, all of which are prohibited by the Residence C-2B zoning classification. The adjacent streets and businesses on both Mass Ave and Arrow Street are a commercial/retail corridor which is incompatible with the residential uses that would otherwise be allowed. As a result, any use compatible current neighborhood necessitates a variance from the Ordinance

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the pre-existing non-comforming building uses and setbacks that predate zoning and are not practical for the allowed residential uses.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

Desirable relief may be granted without substantial detriment to the public good as the Variance requested is for a use that is in keeping with the current non-conforming commercial uses in the building. Additionally, the proposed use for a bubble tea establishment fits with some of the neighboring other food retail uses in the building and is compatible with the overall retail corridor.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Granting this relief will not derogate from the intent or purpose of the Ordinance as it will maintain the current non-conforming commercial nature of the building and the surrounding area. The proposed use will fit with the requirements for fast order food establishments. It is geared towards pedestrian traffic rather than vehicular and will be complimentary to its neighboring businesses.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

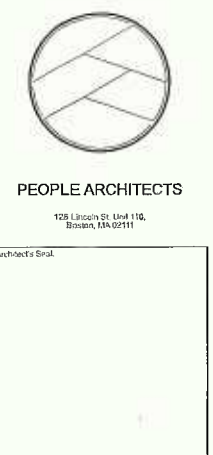
APPLICANT: Adam Dash & Associates PRESENT USE/OCCUPANCY: retail/alcohol retail
 LOCATION: 1160 Massachusetts Ave Cambridge, MA 02138 ZONE: Residence C-2B Zone
 PHONE: _____ REQUESTED USE/OCCUPANCY: fast order food

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>8474</u>	<u>8474</u>	<u>5122</u>	(max.)
<u>LOT AREA:</u>	<u>2927</u>	<u>2927</u>	<u>n/a</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	<u>2.9</u>	<u>2.9</u>	<u>1.75</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	(min.)
<u>SIZE OF LOT:</u>	WIDTH	<u>51 ft</u>	<u>51 ft</u>	<u>55 ft</u> (min.)
	DEPTH	<u>81.75 ft</u>	<u>81.75 ft</u>	<u>n/a</u>
<u>SETBACKS IN FEET:</u>	FRONT	<u>0</u>	<u>0</u>	<u>10 ft</u> (min.)
	REAR	<u>0</u>	<u>0</u>	<u>20 ft</u> (min.)
	LEFT SIDE	<u>0</u>	<u>0</u>	<u>h+1/5</u> (min.)
	RIGHT SIDE	<u>0</u>	<u>0</u>	<u>h+1/5</u> (min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	<u>33 ft +/-</u>	<u>33 ft +/-</u>	<u>45 ft</u> (max.)
	LENGTH	<u>32 ft</u>	<u>32 ft</u>	<u>n/a</u>
	WIDTH	<u>78 ft</u>	<u>78 ft</u>	<u>n/a</u>
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	<u>>30%</u>	<u>>30%</u>	<u>30%</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>0</u>	<u>0</u>	<u>4.8</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>0</u>	<u>0</u>	<u>0</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>0</u>	<u>0</u>	<u>0</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>0</u>	<u>0</u>	<u>0</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

No exterior/dimensional changes, only a change to the use in one space in the building, approx 826 sq. ft.

- SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



PEOPLE ARCHITECTS
105 Lincoln St. Unit 110
Boston, MA 02111

Architect's Seal

PERMIT SET - PROGRESS
03/24/2019

GENERAL REQUIREMENTS & NOTES

- 1. GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- 2. GENERAL CONTRACTOR IS REQUIRED TO VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING OF WORK. GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND OWNER OF ANY DISCREPANCY OR INCONSISTENCIES PRIOR TO PROCEEDING WITH THE WORK.
- 3. IT IS NOT THE INTENT THESE SPECIFICATIONS AND SPECIFICATIONS TO ASSIGN RESPONSIBILITY FOR VARIOUS ASPECTS OF THE WORK TO DRAWING SUBCONTRACTOR OR SUB-SUBCONTRACTOR. THE GENERAL CONTRACTOR HAS PRIME RESPONSIBILITY AND SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK BY ALL TRADES, INCLUDING THOSE PROVIDED AND DIRECTED BY THE OWNER, AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.
- 4. GENERAL CONTRACTOR AND ALL TRADES SHALL COMPLY WITH THE LATEST EDITIONS OF APPLICABLE MASSACHUSETTS BUILDING CODES, REGULATIONS AND STANDARDS.
- 5. GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHER(S) AND KNOX BOX AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE AND LOCAL JURISDICTION.
- 6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING BLOCKING AND REINFORCEMENT ABOVE FINISHED CEILING FOR ALL SURFACE MOUNTED EQUIPMENT, FIXTURES AND FURNISHINGS AS REQUIRED.
- 7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONDITIONS AND NEW WORK DURING CONSTRUCTION.
- 8. WORK SHALL NOT BE COVERED BEFORE INSPECTIONS AND APPROVALS. WORK THAT NEEDS TO BE UNCOVERED SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- 9. ALL WORK SHALL BE EXECUTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS, BY MECHANICS SKILLED IN THE WORK AND FAMILIAR WITH THE MATERIALS TO BE INSTALLED.
- 10. GENERAL CONTRACTOR SHALL BE REQUIRED TO EXAMINE ROUGH-IN AND ACTUAL LOCATIONS OF MECHANICAL AND ELECTRICAL SYSTEM PRIOR TO EQUIPMENT AND FIXTURE INSTALLATION.
- 11. ALL NEW WORK SHALL BE PLUMB AND LEVEL.
- 12. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR TO UNDERTAKE WHATEVER MEASURES, METHODS OR PROCEDURES AS NECESSARY, REQUIRED OR OTHERWISE APPROPRIATE TO SAFEGUARD THE HEALTH AND SAFETY OF ALL WORKERS AND MEMBERS OF THE PUBLIC WITH RESPECT TO IDENTIFICATION AND DISCOVERY OF PREVIOUSLY UNKNOWN HAZARDOUS MATERIALS DURING THE WORK OF THE PROJECT.
- 13. GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING SHOP DRAWINGS FOR FIRE ALARM SYSTEM AND SUBMITTED TO AUTHORITIES HAVING JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO SYSTEM INSTALLATION.
- 14. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO BIDDING THE WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.
- 15. ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY OF ARCHITECT'S PROFESSIONAL SERVICE, AND WHAT IS CALLED FOR BY EITHER WITH BE BINDING AS IF CALLED FOR BY BOTH. WHERE NOTES AND SPECIFICATIONS ARE IN CONFLICT WITH ARCHITECTURAL AND ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- 16. THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEFINE THE SCOPE OF THE WORK REQUIRED BUT DO NOT LIMIT THE WORK REQUIRED TO PRODUCE A COMPLETE AND WORKING SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL ITEMS NOT SHOWN BUT REQUIRED TO PRODUCE A COMPLETE AND WORKING SYSTEM.
- 17. ALL DIAGRAMS, FIXTURES AND FURNISHINGS ARE SHOWN FOR INFORMATION ONLY AND ARE INTENDED TO DEPICT APPROXIMATE LOCATIONS AND ARRANGEMENTS. GENERAL CONTRACTOR TO COORDINATE WITH OWNER/ARCHITECT FOR FINAL LOCATION AND SIZE.
- 18. NOTIFY ARCHITECT/ENGINEER OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.
- 19. WRITTEN DIMENSIONS AND NOTES ON DRAWINGS ARE TYPICAL FOR SIMILAR CONDITIONS.
- 20. ALL REPAIR AND PATCHING REQUIRED FOR THE SATISFACTORY COMPLETION OF THE PROJECT SHALL BE PERFORMED IN WORKMANLIKE MANNER TO MATCH EXISTING FINISHES.
- 21. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND COST OF FLOOR LEVELING REQUIRE FOR THE PROJECT. COST SHALL BE INCLUDED AT TIME OF BIDDING. ALL FLOORS SHALL BE LEVEL TO $\pm 1/8"$ IN $10'-0"$.
- 22. THE GENERAL CONTRACTOR SHALL OBTAIN ARCHITECT/ENGINEER'S APPROVAL FOR ALL SHOP DRAWINGS, PRODUCT SAMPLES, MATERIAL CHANGES AND SUBSTITUTIONS. THE GENERAL CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT IN WRITING WITH MATERIAL SAMPLE, CUT SHEET, SHOP DRAWINGS AND PRODUCT INFORMATION/DATA.
- 23. ALL IN WALL PLUMBING, ELECTRICAL AND HVAC COMPONENTS THRU STUD WALL SHALL BE PROTECTED WITH METAL PLATES.
- 24. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- 25. IN ALL BUILDINGS WHERE STRUCTURAL STEEL HAS BEEN COVERED WITH SPRAYED FIREPROOFING MATERIAL, THE CONTRACTOR IS TO PATCH AND REPAIR SAID MATERIAL WHERE IT HAS BEEN DAMAGED OR REMOVED DURING THE COURSE OF THE WORK. ANY AREAS OF FIREPROOFING WHICH ARE OBSERVED TO BE DAMAGED OR MISSING UPON COMMENCEMENT OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING WORK IN THE AREA INVOLVED.

- 26. WHENEVER WORK IS REQUIRED WITHIN ADJACENT OCCUPIED TENANT SPACES, OR TENANT SPACES ON THE FLOOR BELOW/ABOVE, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE MANAGEMENT (OWNER AND TENANTS) INVOLVED IN ORDER TO SCHEDULE THE WORK. ALL SUCH WORK IS TO BE PERFORMED DURING NON-BUSINESS HOUR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND MOVING OF ALL FURNITURE AND EQUIPMENT AS MAY BE REQUIRED. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL DUST AND VACUUM AND RESTORE THE PREMISES TO ITS ORIGINAL CONDITION PRIOR TO THE COMMENCEMENT OF WORK.
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- 65. IN ALL BUILDINGS WHERE STRUCTURAL STEEL HAS BEEN COVERED WITH SPRAYED FIREPROOFING MATERIAL, THE CONTRACTOR IS TO PATCH AND REPAIR SAID MATERIAL WHERE IT HAS BEEN DAMAGED OR REMOVED DURING THE COURSE OF THE WORK. ANY AREAS OF FIREPROOFING WHICH ARE OBSERVED TO BE DAMAGED OR MISSING UPON COMMENCEMENT OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING WORK IN THE AREA INVOLVED.
- 66. WHENEVER WORK IS REQUIRED WITHIN ADJACENT OCCUPIED TENANT SPACES, OR TENANT SPACES ON THE FLOOR BELOW/ABOVE, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE MANAGEMENT (OWNER AND TENANTS) INVOLVED IN ORDER TO SCHEDULE THE WORK. ALL SUCH WORK IS TO BE PERFORMED DURING NON-BUSINESS HOUR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND MOVING OF ALL FURNITURE AND EQUIPMENT AS MAY BE REQUIRED. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL DUST AND VACUUM AND RESTORE THE PREMISES TO ITS ORIGINAL CONDITION PRIOR TO THE COMMENCEMENT OF WORK.
- 67. WHENEVER WORK TAKES PLACE WITHIN OCCUPIED TENANT AREAS, THE CONTRACTOR IS REQUIRED TO PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS AND EQUIPMENT, AND PROVIDE TEMPORARY BARRIERS TO ISOLATE THE CONSTRUCTION AREA, EXCEPT AS MAY BE REQUIRED FOR INCIDENTAL ACCESS BEYOND THE WORK AREA.
- 68. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY LIGHTING AND POWER IN ALL AREAS AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- 69. ELEVATORS, BUILDING LOBBIES AND PUBLIC CORRIDORS USED FOR DELIVERY AND ACCESS TO THE CONSTRUCTION SITE SHALL NOT BE USED TO TEMPORARILY STORE CONSTRUCTION MATERIAL, EQUIPMENT AND DEBRIS. ANY DAMAGE THAT OCCURS IN THESE AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS BY THE GENERAL CONTRACTOR.

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GENERAL LIFE SAFETY NOTES

- 1. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT; THE TOP OF FIRE EXTINGUISHERS SHALL BE INSTALLED NOT MORE THAN 5'-4" ABOVE FLOOR IF WEIGHT LESS THAN 40 LBS AND NOT MORE THAN 3'-2" ABOVE FLOOR IF WEIGHT MORE THAN 40 LBS.
- 2. CLASS K-RATED PORTABLE EXTINGUISHERS SHALL BE PROVIDED FOR THE PROTECTION OF COOKING GREASE FIRE.
- 3. THE INTENT OF THIS DOCUMENT IS TO ILLUSTRATE GENERAL FIRE ALARM SYSTEM LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED. DETAILED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR REVIEW AND APPROVAL OF A/JI PRIOR TO COMMENCEMENT OF WORK.
- 4. A FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT AND SHALL INITIATE OCCUPANT NOTIFICATION UPON ACTIVATION. ACTIVATE SHALL BE BY AUTOMATIC FIRE DETECTORS, AUTOMATIC SPRINKLER SYSTEM WATERFLOW DEVICES, MANUAL FIRE ALARM BOXES AND AUTOMATIC FIRE-EXTINGUISHING SYSTEMS.
- 5. THE AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL PROVIDED A SOUND PRESSURE LEVEL OF 15 DECIBELS (dBA) ABOVE THE AVERAGE AMBIENT SOUND LEVEL OR 5 dBA ABOVE THE MAXIMUM SOUND LEVEL HAVING A DURATION OF NOT LESS THAN 60 SECONDS, WHICHEVER IS GREATER, IN EVERY OCCUPIABLE SPACE WITHIN THE BUILDING, THE MAXIMUM SOUND PRESSURE LEVEL FOR AUDIBLE ALARM NOTIFICATION APPLIANCES SHALL BE 110 dBA AT THE MINIMUM HEARING DISTANCE FROM THE AUDIBLE APPLIANCES WHERE THE AVERAGE AMBIENT NOISE IS GREATER THAN 65 dBA. VISIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 72 AND AUDIBLE ALARM NOTIFICATION APPLIANCE SHALL NOT BE REQUIRED.
- 6. EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 A MANUAL OVERRIDE FOR EMERGENCY VOICE COMMUNICATION SHALL BE PROVIDED ON A SELECTIVE AND ALL-CALL BASIS FOR ALL PAGING ZONES, THE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM SHALL HAVE THE CAPABILITY TO BROADCAST LIVE VOICE MESSAGES BY PAGING ZONES ON A SELECTIVE AND ALL-CALL BASIS.
- 7. EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEMS SHALL BE PROVIDED WITH EMERGENCY POWER FOR A DURATION OF NOT LESS THAN 24 HOURS AS REQUIRED BY NFPA 72.
- 8. PROVIDE VISIBLE ALARM SHALL IN PUBLIC USE AREAS AND COMMON USE AREAS.
- 9. OPERATION OF A MANUAL PULL STATION SHALL ACTIVATE THE FOLLOWING SEQUENCE OF FIRE ALARM OPERATION: A) ACTIVATE THE FIRE ALARM HORN AND STROBES THROUGHOUT AND INITIATE PRE-ALARM MESSAGE. B) ACTIVATE INQUIRY TONE THROUGHOUT BUILDING. C) DISPLAY ALARM AT THE FIRE COMMAND STATION AND AT THE REMOTE ANNUNCIATOR. D) NOTIFY FIRE DEPARTMENT VIA CENTRAL STATION. E) ACTIVATE FIRE SIGNAL AT FIRE COMMAND STATION. F) DISPLAY THE APPROPRIATE ZONE AT FIRE COMMAND STATION AND AT THE REMOTE ANNUNCIATOR. G) ANNUNCIATE MECHANICAL SUPPLY AND MAKE UP AIR FAN. H) SHUT DOWN ALL OTHER REQUIRED FANS. I) OPERATE ALL DOOR STRIKE RELEASE RELAYS TO OPEN LOCKED DOORS. J) OPERATE ALL DAMPER RELAYS. K) START REQUIRED SMOKE EXHAUST FANS.
- 10. KITCHEN EXHAUST FIRE SUPPRESSION SYSTEM CONTROL SEQUENCE SHALL BE AS FOLLOWS: A) FIRE SUPPRESSION SYSTEM ACTIVATE. B) CONTINUE OPERATION OF EXHAUST FAN. C) SHUT DOWN MAKE UP AIR FAN. D) SHUT OFF GAS VENTILATION. E) ACTIVATE BUILDING FIRE ALARM SYSTEM. F) SHUT DOWN ALL ELECTRICAL EQUIPMENT UNDER KITCHEN EXHAUST HOOD.
- 11. PANIC HARDWARE SHALL BE LISTED IN ACCORDANCE WITH UL 305.

- 12. ANY SUBSTITUTION, MODIFICATION AND DEVIATION OF THESE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND THE CLIENT IN WRITING.
- 13. SUBMITTAL SHALL BE MADE PRIOR TO ORDERING THE MATERIAL AND ALLOW 7 DAYS FOR REVIEW BY THE ARCHITECT AND ENGINEER.
- 14. LUMBER USED IN A BUILDING OR STRUCTURE IS REQUIRED TO BE PROPERLY IDENTIFIED BY A LUMBER GRADING OR INSPECTION AGENCY.
- 15. FIRE RETARDANT TREATED WOOD SHALL BE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723 WITH THE FOLLOWING LABEL: A) THE IDENTIFICATION MARK OF AN APPROVED AGENCY. B) IDENTIFICATION OF THE TREATING MANUFACTURER. C) THE NAME OF THE FIRE-RETARDANT TREATMENT. D) THE SPECIES OF WOOD TREATED. E) FLAME SPREAD AND SMOKE DEVELOPED INDEX. F) METHOD OF DRYING AFTER TREATMENT. G) CONFORMANCE WITH APPROPRIATE STANDARDS IN ACCORDANCE WITH IBC 2303.2.5 - 2303.2.8. H) FOR FIRE RETARDANT-TREATED WOOD EXPOSED TO WEATHER DAMP OR WET LOCATIONS, INCLUDE THE WORDS "NO INCREASE IN THE LISTED CLASSIFICATION WHEN SUBJECTED TO THE STANDARD RAIN TEST PER ASTM D2898.
- 16. FOAM PLASTIC INSULATION AND FOAM PLASTIC CORES OF MANUFACTURED ASSEMBLIES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM 384 OR UL 723, EXCEPT FOR COOL STORAGE BUILDINGS, ICE PLANTS, FOOD PLANTS, FOOD PROCESSING ROOMS AND SIMILAR AREAS. FOAM PLASTIC INSULATION WHERE TESTED IN A THICKNESS OF 4" SHALL BE PERMITTED IN A THICKNESS UP TO 10" WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1. THE APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED IN BOTH THE ROOM AND THAT PART OF THE BUILDING IN WHICH THE ROOM IS LOCATED.
- 17. FOAM PLASTIC INSTALLED IN A MAXIMUM THICKNESS OF 10" IN COOLER AND FREEZER WALLS SHALL MEET THE FOLLOWING: A) HAVING F15 LESS THAN OR EQUAL TO 25 AND SDI LESS THAN OR EQUAL TO 450 WHERE TESTED IN A MINIMUM 4" THICKNESS. B) HAVING FLASH IGNITION AND SELF IGNITION TEMPERATURES OF NOT LESS THAN 500°F AND 800°F RESPECTIVELY. C) HAVING A COVERING OF NOT LESS THAN 0.002" ALUMINUM OR CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.0160" AT ANY POINT. D) BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE APPLICABLE CODE AND STANDARDS.

- 18. INSTALL TILE IN AREAS INDICATED ON FINISH FLOOR PLAN.
- 19. SUBFLOOR PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH ANSI STANDARDS PRIOR TO TILE INSTALLATION.
- 20. SET AND GROUT TILE WHEN AMBIENT TEMPERATURES IS AT LEAST 50 AND RISING. ALL JOINTS AND CORNERS MUST BE ALIGNED.
- 21. SUBSTRATE PREPARATION SHALL INCLUDE REMOVAL OF PROTRUSIONS, BUMPS AND RIDGES BY GRINDING OR CHIPPING, REPAIR, FILL AND LEVEL CRACKS, HOLES, DEPRESSIONS AND ROUGH OR CHIPPED AREAS IN SUBSTRATE USING PATCHING MATERIAL RECOMMENDED BY SETTING MATERIALS MANUFACTURER. SLAB TO HAVE LIGHT BROOM FINISH WHEN TILE IS INSTALLED BY THIN-SET METHOD.
- 22. ENSURE THAT THE SUBSTRATE IS WITHIN THE FOLLOWING TOLERANCES: A) HORIZONTAL SURFACES (FLOORS) - MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 1/4" IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE. B) VERTICAL SURFACES (WALLS) - MAXIMUM VARIATION IN SUBSTRATE SHALL NOT EXCEED 1/4" IN 10' FROM REQUIRED PLANE, DEPENDING ON SUBSTRATE.
- 23. WHEN USING TILE LARGER THAN 12" X 12" AND A GROUT JOINT NARROWER THAN 1/4" IS DESIRED.
- 24. FIELD MOCK UP SHALL BE REQUIRED FOR EACH TILE INSTALLATION. MOCK UP SHALL BE A MINIMUM OF 10'X10'.
- 25. MIX GROUT AND MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.
- 26. INSTALL ALUMINUM TILE EDGE PROTECTION FOR ALL FLOORING TRANSITIONS.
- 27. TILE INSTALLATION SHALL SLOPED TO FLOOR DRAIN.

- 28. DEMOLITION NOTES
- 1. ANY DEMOLITION NECESSARY FOR THE CONSTRUCTION BUT NOT NECESSARILY INDICATED ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
- 2. IT IS NOT THE INTENTION OF THESE DRAWINGS TO FULLY OUTLINE ALL REQUIRED DEMOLITION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE BETWEEN THE EXISTING AND PROPOSED PLANS TO DETERMINE THE COMPLETE EXTENT OF DEMOLITION.
- 3. UNLESS NOTED OTHERWISE, KEYED CONDITIONS IN THE PLANS ARE TYPICAL; HENCE NOT ALL RELEVANT LOCATIONS ARE KEVED.
- 4. REMOVE ALL OBSOLETE MATERIALS AS NECESSARY AND APPROPRIATE, AND LEGALLY DISCARD IN A SAFE AND ACCEPTABLE MANNER.
- 5. ALL DEMOLITION DEBRIS ARE TO BE REMOVED FROM SITE. AREAS WHERE DEMOLITION OCCURRED SHALL BE LEFT IN A CLEAN AND SAFE CONDITION FOR NEW WORK.
- 6. GENERAL CONTRACTOR SHALL NOTIFY AND CONFER WITH THE ARCHITECT/ENGINEER OF ALL UNFORESEEN CONDITION AND FOR CLARIFICATIONS.
- 7. UPON COMPLETION OF DEMOLITION, GENERAL CONTRACTOR SHALL CONFIRM ALL DIMENSIONS INDICATED ON THE DRAWINGS AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.
- 8. PROTECT EXISTING FINISHES, DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES TO BE REMAINED IN THE PROJECT DURING DEMOLITION.
- 9. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE AND ODOR MUST BE SCHEDULED WITH BUILDING MANAGEMENT AND PERFORM WITH WRITTEN APPROVAL BY BUILDING MANAGEMENT.
- 10. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR CONSULTING WITH BUILDING MANAGEMENT WHEN REMAINING CONDUITS AND CABLES THAT ARE IN USE TO AVOID SERVICE INTERRUPTION TO ALL AREA OUTSIDE OF PROJECT AREA. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR ARE RESPONSIBLE FOR REPAIR DUE TO DISRUPTION OF ANY SERVICES TO REMAIN.

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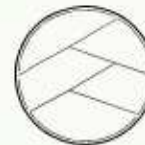
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GLASS AND GLAZING NOTES

- 1. EACH PANE OF GLASS SHALL BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL.
- 2. SAFETY GLAZING SHALL BE PROVIDED IN ALL OF THE FOLLOWING LOCATIONS: A) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS. B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN 24" OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT IS GREATER THAN 9 SF, LESS THAN 12' ABOVE THE FLOOR FROM THE BOTTOM EDGE OF THE GLAZING, GREATER THAN 36" ABOVE THE FLOOR FROM THE TOP EDGE OF THE GLAZING, AND WITHIN 36" OF WALKING SURFACE MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE PLANE OF THE GLAZING. D) GLAZING IN GLAZED AND RAILINGS. E) GLAZING IN WET SURFACES WITH THE BOTTOM EDGE OF THE GLAZING LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. F) GLAZING ADJACENT TO STAIRWAYS AND RAMPS. G) GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING. H) FIRE DEPARTMENT ACCESS PANELS.
- 3. SAFETY GLAZING SHALL MEET THE STANDARDS OF ANSI Z97.1-14.
- 4. WINDOWS, DOORS AND SKYLIGHTS SHALL MEET THE STANDARDS OF AAMA WDM/CA 101/S.2/A440-11.

- 5. FINISHES NOTES
- 1. ALL UPHOLSTERED FURNITURE AND BEDDING PRODUCTS SHALL MEET CAL TB 133 TEST STANDARDS IN BUILDING.
- 2. ALL GROUT SHALL BE STAIN RESISTANT, COLOR CONSISTENT AND CRACK RESISTANT.
- 3. ALL GLASS SHALL BE TEMPERED IN ACCORDANCE WITH ASTM C 1048-04 STANDARDS.
- 4. GLASS THICKNESS SHOWN IN THE DRAWINGS ARE FOR DETAILING PURPOSES ONLY. FINAL THICKNESS SHALL BE DETERMINED BY GLASS MANUFACTURER TO MEET APPLICABLE BUILDING CODE AND SAFETY STANDARDS AND REQUIREMENT OF LOCAL AUTHORITY HAVING JURISDICTION.
- 5. THE LEVEL OF GYPSUM DRYWALL FINISH SHALL CONFORM TO LEVEL 4 OF ASTM C840 AND GA-214 OF GYPSUM ASSOCIATION UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 6. FLOORING FINISHES IN CLOSETS SHALL BE THE SAME AS THE SPACE IN WHICH THE CLOSET OPENS TO UNLESS OTHERWISE NOTED ON



PEOPLE ARCHITECTS

129 Lincoln St., Unit 110,
Boston, MA 02111

Architect's Seal

PERMIT SET - PROGRESS
03/24/2019

DRAWN BY: MN

REVIEWED BY: CKY

DATE	DESCRIPTIONS
12/28/2018	PROGRESS DRAWING 1
01/28/2019	PROGRESS DRAWING 2
02/09/2019	PROGRESS DRAWING 3
02/11/2019	PROGRESS DRAWING 4
03/05/2019	PROGRESS DRAWING 5
03/10/2019	PROGRESS DRAWING 6
03/18/2019	PERMIT SET PROGRESS
03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA
HARVARD SQUARE

CLIENT

KUNG FU TEA

PROJECT ADDRESS

1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA

TITLE

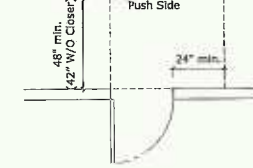
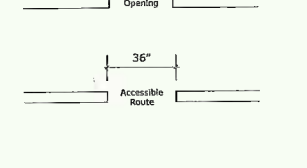
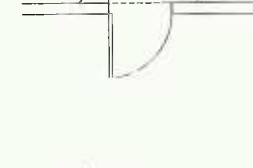
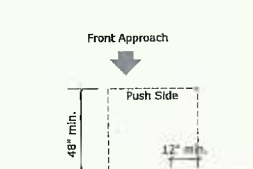
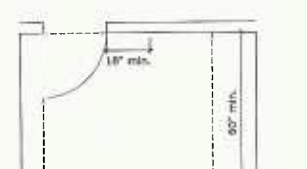
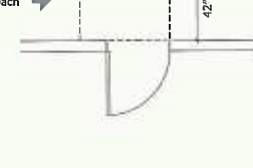
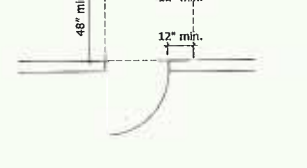
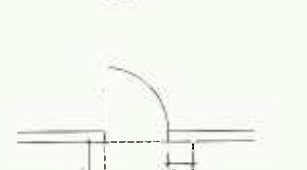
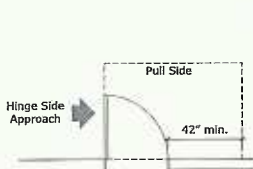
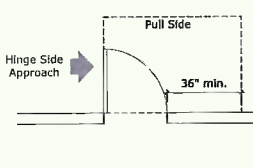
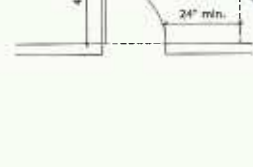
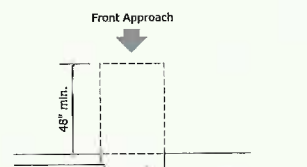
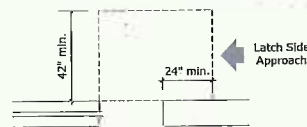
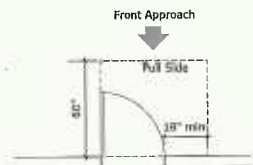
MAAB NOTES AND
TYPICAL DETAILS

DRAWING NO.

A-0.2

521 CMR (MAAB) NOTES

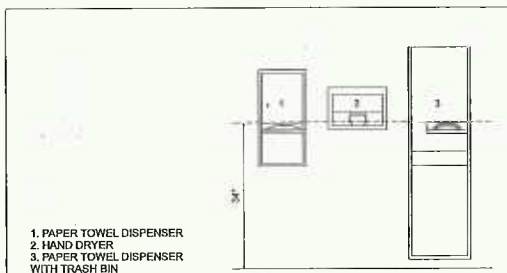
1. THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF/HERSELF WITH THE MAAB AND ADA STANDARDS.
2. AN ACCESSIBLE ROUTE SHALL HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES
3. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN FOUR INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES AND SHALL NOT HAVE SHARP OR ABRUPT EDGES.
4. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY DISTANCE AS LONG AS THEY DO NOT REDUCE THE ACCESSIBLE ROUTE BELOW 36 INCHES.
5. FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY HAVE A MAXIMUM OVERHANG OF 12 INCHES MEASURED BETWEEN 27 INCHES AND 80 INCHES ABOVE THE GROUND OR FINISH FLOOR.
6. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE STEEPER THAN 1:20 (5%) IS A RAMP AND SHALL COMPLY 521 CMR 24.00: RAMP. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50 (2%). THE MAXIMUM SLOPE SHOULD BE USED FOR ANY RAMP SHALL BE 1:12. WHERE SIDEWALKS ARE TOO NARROW TO INSTALL A STRAIGHT-LINE CURB CUT AT A SLOPE OF 1:12 (8.3%), THE SIDES OF THE CURB CUT SHALL NOT EXCEED 1:12 (8.3%).
7. THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 48 INCHES MEASURED BETWEEN THE RAILINGS. RAMPS SHALL HAVE LANDINGS FOR TURNING AND RESTING. AT A MINIMUM, LANDINGS SHALL BE LOCATED AT THE BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN, AND WHENEVER A RAMP CHANGES DIRECTION. THE MAXIMUM LENGTH OF A RAMP RUN BETWEEN LANDINGS SHALL NOT EXCEED 30 FEET. LANDINGS SHALL BE LEVEL AND UNOBSTRUCTED BY PROJECTIONS AND DOOR SWINGS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT. THE LANDING LENGTH SHALL BE A MINIMUM OF 60 INCHES CLEAR. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE LEVEL AREA IN FRONT OF THE DOORWAY SHALL ALSO COMPLY WITH MANEUVERING CLEARANCES. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. HANDRAILS SHALL BE PROVIDED IN PAIRS, ONE AT A HEIGHT BETWEEN 34 INCHES AND 38 INCHES, AND A LOWER ONE AT A HEIGHT BETWEEN 18 INCHES AND 20 INCHES, MEASURED VERTICALLY FROM THE SURFACE OF THE RAMP TO TOP OF HANDRAIL. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION, EXCEPT BY DOORWAYS AND OPENINGS, SO THAT A HAND CAN MOVE FROM END TO END WITHOUT INTERRUPTION. HANDRAILS SHALL EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF THE RAMP AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE, EXCEPT WHERE THE EXTENSION WOULD CAUSE A SAFETY HAZARD. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4 INCHES MINIMUM AND 2 INCHES MAXIMUM. WHEN A HANDRAIL IS MOUNTED ADJACENT TO A WALL, THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCHES. HANDRAILS MAY BE LOCATED IN A WALL RECESS IF THE RECESS IS A MAXIMUM OF 3 INCHES DEEP AND EXTENDS AT LEAST 18 INCHES ABOVE THE TOP OF THE RAIL.
8. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: A) EXTERIOR HINGED DOORS - 15 LBS. B) INTERIOR HINGED DOOR - 5 LBS. C) SLIDING OR FOLDING DOORS - 5 LBS. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 6 SECONDS TO CLOSE. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL BE BEVELED ON BOTH SIDES WITH A SLOPE NO GREATER THAN 1:2 (50%). HAND OPERATED DOOR OPENING HARDWARE SHALL BE LOCATED 36 INCHES TO 48 INCHES ABOVE THE FLOOR.
9. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE MOUNTED.
10. IF SEATING FOR PEOPLE IN WHEELCHAIRS IS PROVIDED AT TABLES OR COUNTERS, KNEE SPACES AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 19 INCHES DEEP SHALL BE PROVIDED.
11. HEIGHT OF TABLES OR COUNTERS SHALL BE FROM 28 INCHES TO 34 INCHES ABOVE THE FINISH FLOOR OR GROUND.
12. AT COUNTERS WHERE FOOD IS CONSUMED BUT THERE IS NO SERVICE, A 60 INCHES PORTION OF THE DINING COUNTER SHALL BE ACCESSIBLE, ON AN ACCESSIBLE ROUTE.
13. AT COUNTERS EXCEED 34 INCHES IN HEIGHT, WHERE FOOD OR DRINK IS SERVED FOR CONSUMPTION BY CUSTOMERS SEATED ON STOOLS OR STANDING AT THE COUNTER, A PORTION OF THE MAIN COUNTER SHALL BE ACCESSIBLE OR SERVICE SHALL BE AVAILABLE AT ACCESSIBLE TABLES WITHIN THE SAME AREA. THE ACCESSIBLE PORTION SHALL BE A MINIMUM OF 60 INCHES IN LENGTH.



NOTE: THIS DIAGRAM IS FOR REFERENCE AND COMPLIANCE VERIFICATION ONLY.

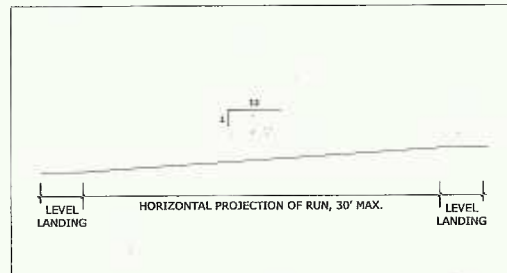
1 MAAB DOOR CLEARANCE DIAGRAM

SCALE: NTS



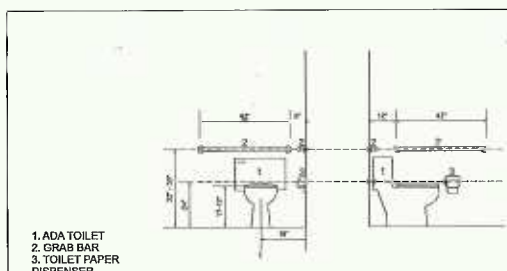
1. PAPER TOWEL DISPENSER
2. HAND DRYER
3. PAPER TOWEL DISPENSER WITH TRASH BIN

SCALE: NTS



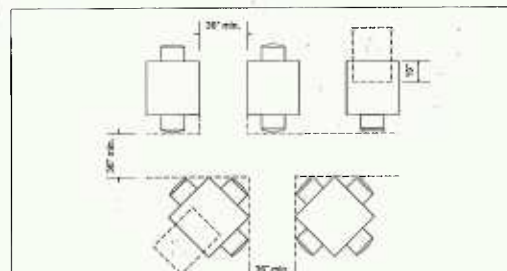
2 MAAB RAMP SLOPE

SCALE: NTS



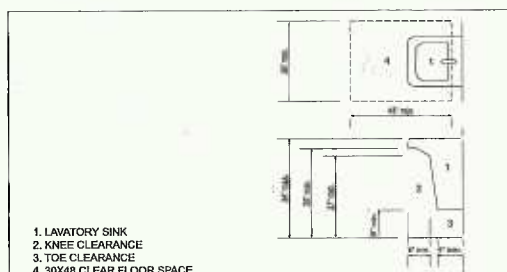
1. ADA TOILET
2. GRAB BAR
3. TOILET PAPER DISPENSER

SCALE: NTS



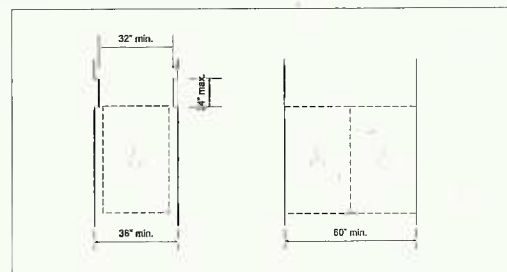
3 MAAB CLEARANCES FOR TABLES AND SEATING

SCALE: NTS



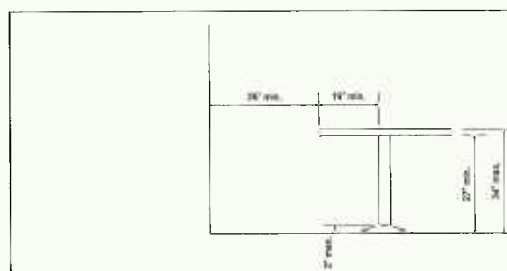
1. LAVATORY SINK
2. KNEE CLEARANCE
3. TOE CLEARANCE
4. 30X48 CLEAR FLOOR SPACE

SCALE: NTS



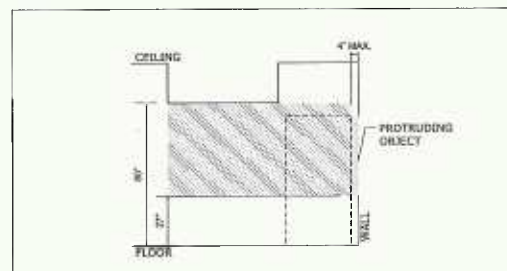
4 MAAB WHEELCHAIR PASSAGE WIDTH

SCALE: NTS



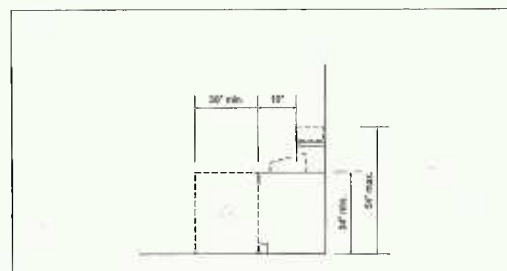
5 MAAB TABLE HEIGHTS AND CLEARANCES

SCALE: NTS



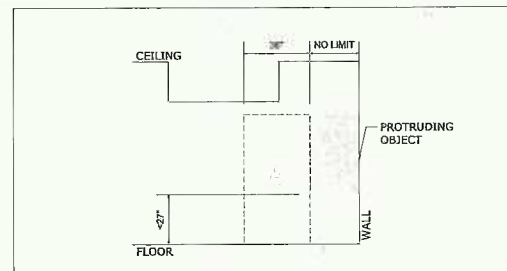
6 MAAB LIMITED PROTRUDING OBJECT ON ACCESSIBLE ROUTE

SCALE: NTS



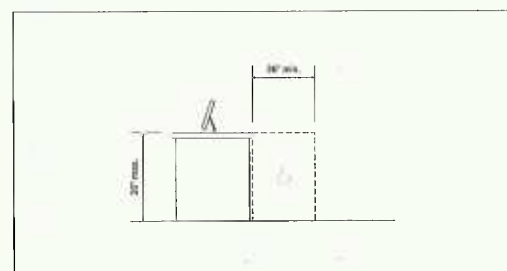
7 MAAB SELF-SERVICE SHELVES AND DISPENSING DEVICES REACH RANGE

SCALE: NTS



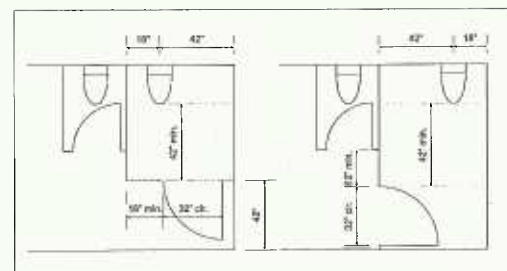
8 MAAB UNLIMITED PROTRUDING OBJECT ON ACCESSIBLE ROUTE

SCALE: NTS



8 MAAB CASH REGISTER CHECK OUT COUNTER HEIGHT AND CLEARANCES

SCALE: NTS



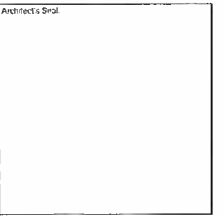
9 ACCESSIBLE TOILET STALL

SCALE: NTS

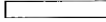








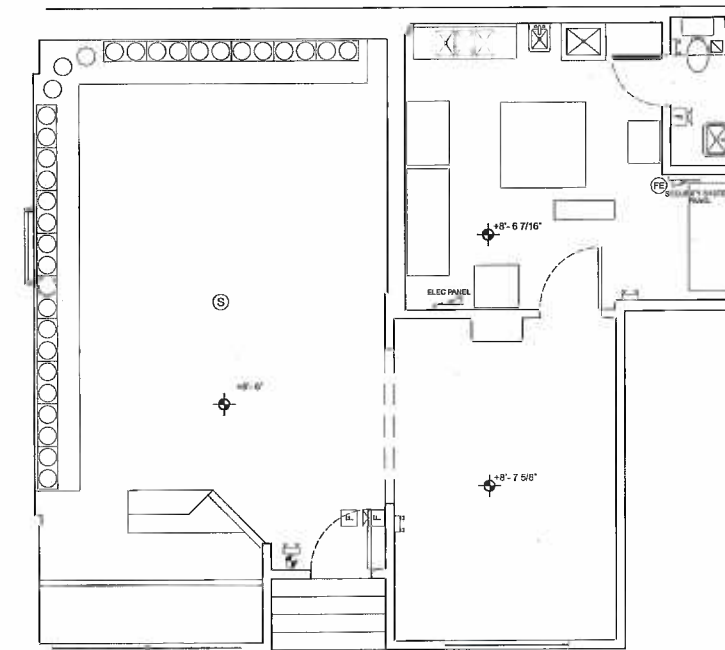
PEOPLE ARCHITECTS

128 Lincoln St. Unit 110,
Boston, MA 02111



LEGENDS

-  EXISTING CONSTRUCTION
-  EMERGENCY LIGHTING
-  FIRE EXTINGUISHER
-  SMOKE DETECTOR
-  PULL STATION
-  FIRE ALARM HORN/STROBE
-  RESTROOM EXHAUST - DUCTED TO THE EXTERIOR



FIRST FLOOR PLAN
Scale: 1/8\"/>

PERMIT SET - PROGRESS
03/24/2019

DRAWN BY: MN
REVIEWED BY: CKY

DATE	DESCRIPTIONS
12/28/2018	PROGRESS DRAWING 1
01/28/2019	PROGRESS DRAWING 2
02/09/2019	PROGRESS DRAWING 3
02/11/2019	PROGRESS DRAWING 4
03/05/2019	PROGRESS DRAWING 5
03/10/2019	PROGRESS DRAWING 6
03/18/2019	PERMIT SET PROGRESS
03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE
KUNG FU TEA
HARVARD SQUARE

CLIENT
KUNG FU TEA

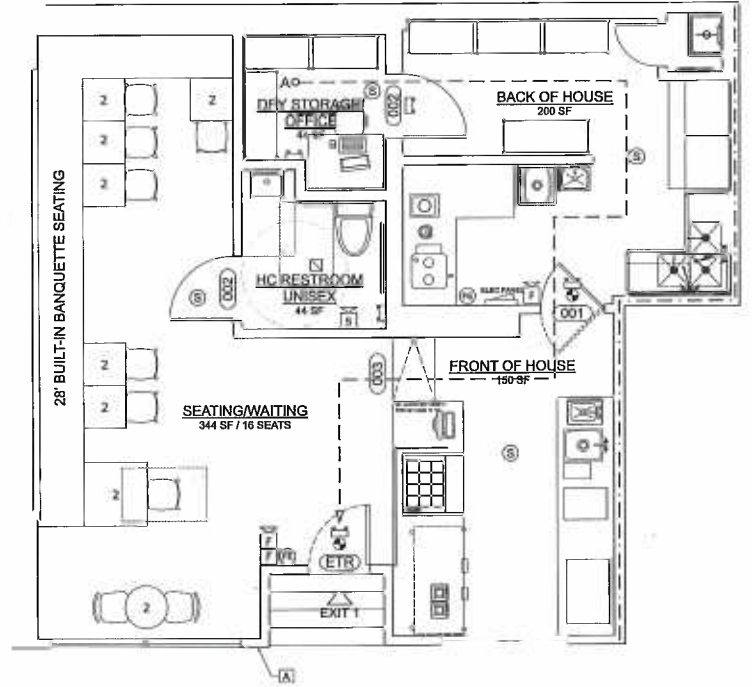
PROJECT ADDRESS
1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA

TITLE
EXISTING FLOOR PLAN

DRAWING NO.
EX-1.0

DOOR AND FRAME SCHEDULE						
DESIGNATION	LOCATION	NOMINAL SIZE	MATERIALS	FINISH	FRAME	REMARKS
ETR	EXISTING	EXISTING	ETR	EXISTING	EXISTING	EXISTING DOOR TO REMAIN
001	BOH/FOH	36X84	ALUMNWOOD	ALUMN	PRE-DRILLED FRAME	WOOD CORE, 1", DBL ACTING HINGE, 8X14 VISION PANEL
002	RESTROOM	36X84	WOOD	WOOD	KD	SOLID CORE, KICK PLATE, SELF-CLOSING, PRIVACY LOCK AND LEVER
003	FOH	36X36	WOOD	WOOD	GATE POST	SERVICE COUNTER ENTRY DOOR, DBL ACTING HINGE

GENERAL NOTES:
 1. ALL WOOD DOOR SHALL BE PREFINISHED SOLID CORE
 2. ALL KITCHEN DOOR AND PRE-DRILLED C-CHANNEL FRAME SHALL BE BY ELIASON OR APPROVED EQUAL.
 3. GC TO REINFORCE HOLLOW METAL JAMBS AT HARDWARE LOCATIONS



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

LEGENDS	
	EXIT
	TENANT DEMISING WALL
	EMERGENCY LIGHTING
	30X48 CLEAR FLOOR SPACE
	60" WHEELCHAIR TURNING CIRCLE
	ENTRANCE/EXIT
	DOOR KEY
	EMERGENCY LIGHTING
	FIRE EXTINGUISHER
	SMOKE DETECTOR
	PULL STATION
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE
	RESTROOM EXHAUST - DUCTED TO THE EXTERIOR

KEY NOTES	
	EXISTING STOREFRONT TO REMAIN

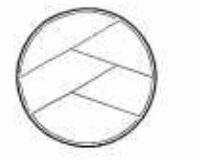
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02/09/2019	PROGRESS DRAWING 3
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03/10/2019	PROGRESS DRAWING 6
03/18/2019	PERMIT SET PROGRESS
03/24/2019	PERMIT SET PROGRESS

EXIT ACCESSED TRAVEL DISTANCE CALCULATIONS
 (1017.2) OCCUPANCY GROUP B: 200' WITHOUT SPRINKLER SYSTEM

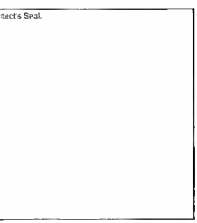
A0 - -> EXIT 1: 52.08' +/-

GENERAL NOTES

1. IT'S THE ARCHITECT'S INTENT TO ACCURATELY SHOW PROPOSED CONDITIONS AS WELL AS THE EXISTING CONDITIONS FOR THE PROJECT. HOWEVER, FIELD CONDITIONS MAY VARY AND IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD CONDITIONS AND IMMEDIATELY REPORT ANY MAJOR DISCREPANCIES OR OMISSIONS TO THE ARCHITECT.



PEOPLE ARCHITECTS
 128 Lincoln St. Unit 110,
 Boston, MA 02111



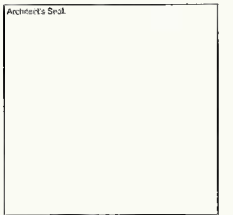
PERMIT SET - PROGRESS
 03/24/2019

DRAWN BY: MN	
REVIEWED BY: CKY	
PROJECT TITLE	KUNG FU TEA HARVARD SQUARE
CLIENT	KUNG FU TEA
PROJECT ADDRESS	1160 MASSACHUSETTS AVE, CAMBRIDGE, MA
TITLE	PROPOSED FLOOR PLAN
DRAWING NO.	A-1.0



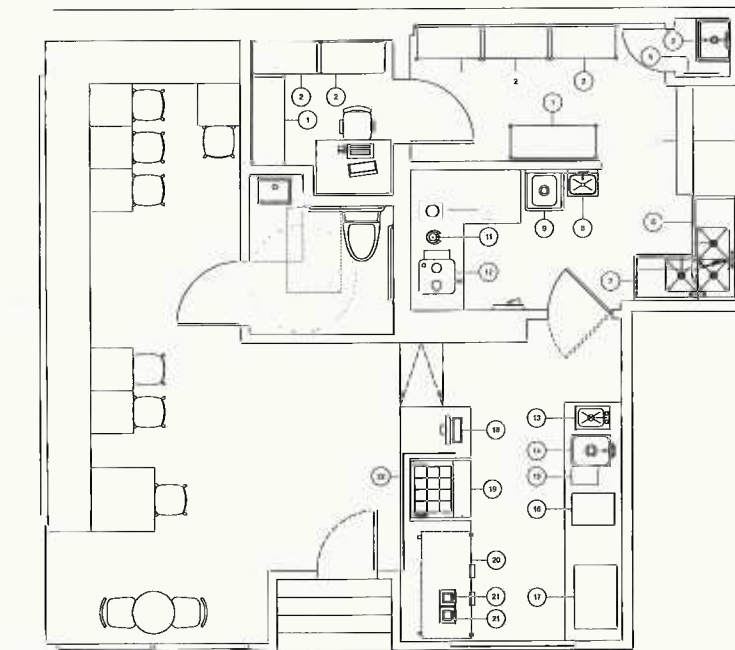
PEOPLE ARCHITECTS

128 Lincoln St Unit 110,
Boston, MA 02111



EQUIPMENT KEY
SEE EQUIPMENT SCHEDULE (BY OTHER) FOR DETAILS

- 1 48" DRY STORAGE SHELVING
- 2 36" DRY STORAGE SHELVING
- 3 MOP SINK
- 4 MOP HANGER
- 5 600 LB ICE MAKER WITH STORAGE BIN
- 6 THREE COMPARTMENT CORNER SINK
- 7 CLEANED DISH SHELVING
- 8 WALL MOUNT HAND SINK
- 9 DUMP SINK
- 10 ELECTRIC FOOD WARMER
- 11 COMMERCIAL JUICER
- 12 TEA URN
- 13 DROP IN HAND SINK WITH SPLASHGUARDS
- 14 DROP IN DUMP SINK
- 15 BLENDER RINSER
- 16 INSULATED ICE BIN WITH COVER
- 17 ESPRESSO MACHINE
- 18 POS
- 19 32" REFRIGERATED FOOD PREP TABLE
- 20 60" UNDERCOUNTER REFRIGERATOR
- 21 COMMERCIAL BLENDER
- 22 FOOD SHIELD



1 FIRST FLOOR PLAN
Scale: 3/4" = 1'-0"

GENERAL NOTES

- 1. ALL EQUIPMENT, FIXTURES AND FURNISHINGS TO BE PROVIDED BY OWNER, GC TO INSTALL.

PERMIT SET - PROGRESS
03/24/2019

DRAWN BY: JHN

REVIEWED BY: CKY

DATE	DESCRIPTIONS
12/28/2018	PROGRESS DRAWING 1
01/28/2019	PROGRESS DRAWING 2
02/09/2019	PROGRESS DRAWING 3
02/11/2019	PROGRESS DRAWING 4
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03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA
HARVARD SQUARE

CLIENT

KUNG FU TEA

PROJECT ADDRESS

1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA

TITLE

EQUIPMENT PLAN

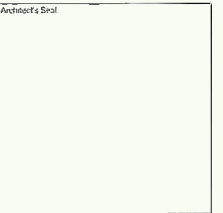
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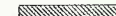





PEOPLE ARCHITECTS

128 Lincoln St. Unit 110,
Boston, MA 02111



LEGENDS

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION

-  CUSTOM MILLWORK BY GC - FRONT OF HOUSE SERVICE COUNTER
-  CUSTOM MILLWORK BY GC - BACK OF HOUSE SERVICE COUNTER
-  CUSTOM MILLWORK BY GC - 24' BUILT IN BANQUETTE SEATING

GENERAL NOTES

1. ACTUAL FIELD CONDITION MIGHT VARY. GC SHALL VERIFY THAT ALL INTERIOR DIMENSIONS INDICATED CAN BE MET PRIOR TO WALL CONSTRUCTION. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL WALL MOUNTED FIXTURES. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.
3. MTL STD REINFORCEMENT SHALL BE INSTALLED AT 48" O.C. TO STRUCTURE ABOVE FOR ALL WALL.
4. ALL DIMENSIONS ARE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.

PERMIT SET - PROGRESS
03/24/2019

DRAWN BY: MN

REVIEWED BY: CKY

DATE	DESCRIPTIONS
12/28/2018	PROGRESS DRAWING 1
01/28/2019	PROGRESS DRAWING 2
02/09/2019	PROGRESS DRAWING 3
02/11/2019	PROGRESS DRAWING 4
03/05/2019	PROGRESS DRAWING 5
03/10/2019	PROGRESS DRAWING 6
03/18/2019	PERMIT SET PROGRESS
03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE

KUNG FU TEA
HARVARD SQUARE

CLIENT

KUNG FU TEA

PROJECT ADDRESS

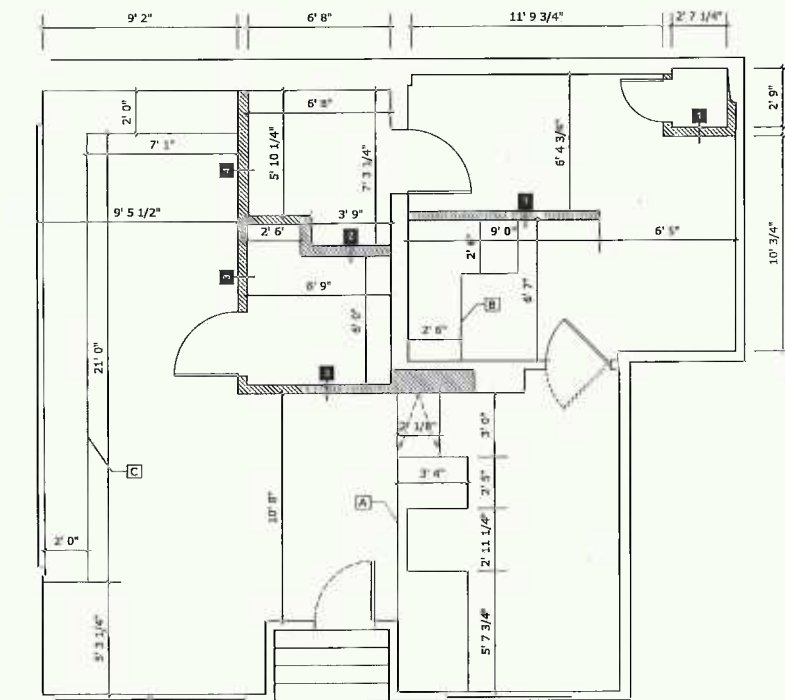
1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA

TITLE

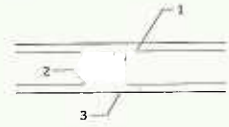
NEW CONSTRUCTION PLAN

DRAWING NO.

A-1.2



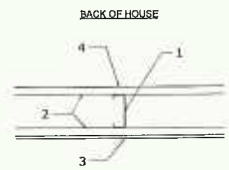
1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



- 1 - 20GA 4\"/>
- 2 - 5/8\"/>
- 3 - 24GA STAINLESS STEEL WALL PANEL

1 TYPICAL KITCHEN PARTITION WALL TYPE 1

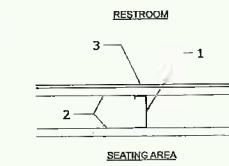
NOT TO SCALE



- 1 - 20GA 4\"/>
- 2 - 5/8\"/>
- 3 - CERAMIC TILE
- 4 - 24GA STAINLESS STEEL WALL PANEL

2 TYPICAL PARTITION WALL TYPE 2

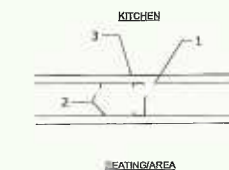
NOT TO SCALE



- 1 - 20GA 4\"/>
- 2 - 5/8\"/>
- 3 - CERAMIC TILE

3 TYPICAL PARTITION WALL TYPE 3

NOT TO SCALE







- 1 - 20GA 4\"/>
- 2 - 5/8\"/>
- 3 - 24GA STAINLESS STEEL WALL PANEL

4 TYPICAL PARTITION WALL TYPE 4

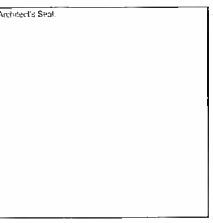
NOT TO SCALE

FINISH SCHEDULE									
ROOM	LOCATION	DESIGNATION	MANUFACTURER	SPECIFICATIONS	SIZE	FINISH	COLOR	GROUT	REMARKS
SEATING/WAITING	FLOOR	CT-1	TBD	CERAMIC TILE	12 X 24	TBD	TBD	--	CLASS A
	BASE	WD-1	TBD	WOOD	4"	PTD	TBD	--	CLASS A
	WALL	W-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A
FRONT OF HOUSE	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY	--	CLASS A
	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY	--	CLASS A
	WALL	W-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A
BACK OF HOUSE	FLOOR	QT-1	METROPOLITAN	TBD	6X6	UNGLAZED	PURITAN GRAY	--	CLASS A
	BASE	QB-1	METROPOLITAN	COVE BASE	6X6	UNGLAZED	PURITAN GRAY	--	CLASS A
	WALL	SS	SS	Z4GA	NA	SS	SS	--	CLASS A
	CEILING	ACT-1	CEILING TILE	GYPSUM CORE	12X24	VINYL FACED	WHITE	--	CLASS A
RESTROOM	FLOOR	CT-2	TBD	CERAMIC TILE	TBD	TBD	TBD	--	CLASS A
	BASE	CB-1	TBD	COVE BASE	TBD	TBD	TBD	--	CLASS A
	WALL	W-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A
	CEILING	CLG-1	GWB	TBD	NA	LVL4	TBD	--	CLASS A

- LEGENDS
-  CERAMIC TILE (CT-1)
 -  CERAMIC TILE (CT-2)
 -  QUARRY TILE (QT-1)
 -  FLOOR SINK/FLOOR DRAIN



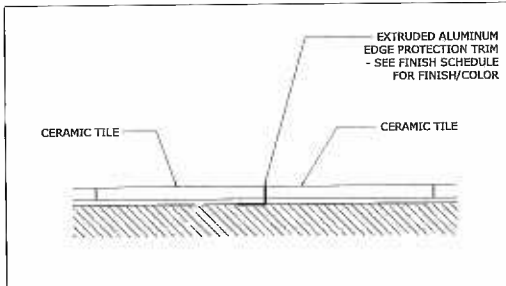
PEOPLE ARCHITECTS
128 Lincoln St. Unit 110,
Boston, MA 02111



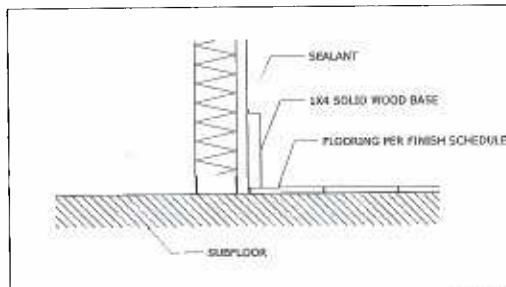
1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

KEY NOTES

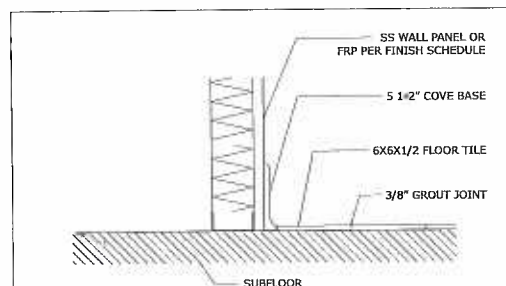
- GENERAL NOTES
- INSTALLATION OF FLOOR SINK AND FLOOR DRAIN SHALL BE FLUSHED WITH FINISHED FLOOR.
 - FINISH FLOOR SHALL SLOPE TO DRAIN TO FLOOR DRAIN, TYP.



2 TYPICAL TILE TO TILE FLOORING TRANSITION DETAIL SCALE: NTS



3 TYPICAL WOOD BASE DETAIL SCALE: NTS



4 TYPICAL KITCHEN TILE FLOORING WITH COVE BASE SCALE: NTS

PERMIT SET - PROGRESS
03/24/2019

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REVIEWED BY: CKY

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03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE
KUNG FU TEA
HARVARD SQUARE

CLIENT
KUNG FU TEA

PROJECT ADDRESS
1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA

TITLE
FINISH FLOOR PLAN

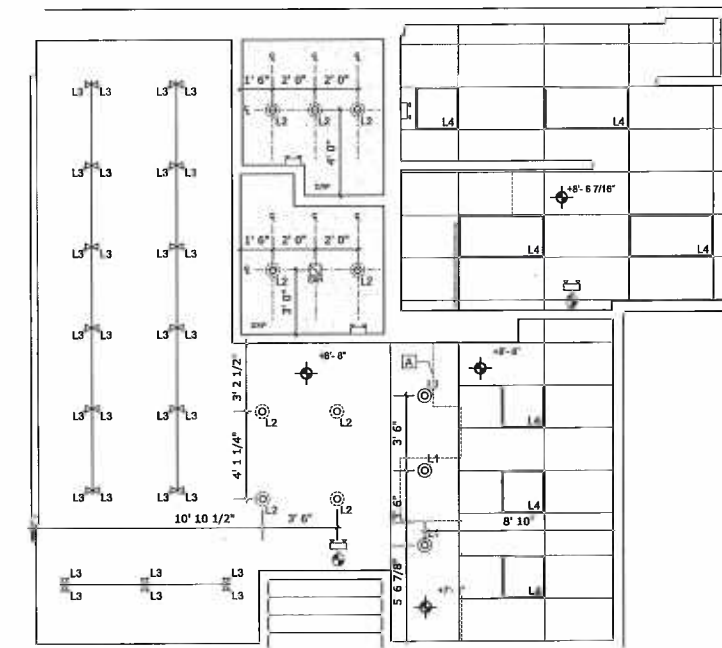
DRAWING NO.
A-1.3

LIGHT FIXTURES SCHEDULE

DESIGNATION	MANUFACTURER	MODEL	MOUNTING TYPE	COLOR TEMPERATURE	DIMMABLE	REMARKS
L1	TBD	TBD	TBD	2700 - 3000 K	YES	
L2	LITHONIA	WF3LED	RECESSED	3000 K	YES	WHITE, 3" SQUARE TRIM INDOOR/OUTDOOR
L3	CREE	E-KCV	TRACK	3000 K	YES	WHITE, LED, FROSTED LEN
L4	NICOR	T-5C	TRACK	4000 K	NO	2X4 OR 2X2, WHITE, LED,
EXT	-	E-XEL1GBCA	TOP/END/BACK	-	-	UL
EL-W	-	E-XML2W	WALL/CEILING	-	-	UL

GENERAL LIGHTING NOTES:

1. EC TO PROVIDE ALL NECESSARY ACCESSORIES AND COMPATIBLE DIMMER BY LUTRON OR APPROVED EQUAL.
2. EC SHALL SUPPLY AND INSTALL THE LINEAR LED LIGHTING FIXTURE AND ALL ACCESSORIES, INCLUDING VOLTAGE DRIVER, DIMMABLE DRIVER, CONNECTORS, ETC.
3. LED TAPE LIGHTS SHALL BE SECURED IN ALUMINUM CHANNELS WITH FROSTED LENSES.
4. EC MUST VERIFY EXACT QUANTITY OF FIXTURES PRIOR TO ORDERING.
5. THE SPECIFIED LIGHTING FIXTURES SHALL BE THE BASIS OF THE BASE BID. ANY LIGHT FIXTURE THAT THE ELECTRICAL CONTRACTOR PROPOSED AS A VALUE ENGINEERING SUBSTITUTION SHALL BE PROPOSED AS A DEDUCT ALTERNATE OF THE PROJECT.
6. WHERE THE SPECIFIED LIGHTING FIXTURE IS NOT AVAILABLE OR NOT AVAILABLE FOR DELIVERY TO MEET THE PROJECT SCHEDULE, ELECTRICAL CONTRACTOR SHALL PROPOSED EQUAL SUBSTITUTION WITH DOCUMENTATION TO VERIFY THAT THE SPECIFIED LIGHTING FIXTURE IS UNAVAILABLE.



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

LEGENDS

- CEILING HEIGHT
- EXIT
- EMERGENCY LIGHTING
- 2X4 LAY IN CEILING TILE
- GYPSUM BOARD CEILING
- FIRE SPRINKLER
- CENTERLINE
- PENDANT LIGHTING
- 4" ULTRA THIN WAFER LED DOWN LIGHT
- WALL SCONE
- TRACK LIGHT HEAD
- LED STRIP LIGHTING
- LED TROFFER
- RESTROOM EXHAUST
EX. EXHAUST ONLY
EXHAUST EXHAUST & LIGHT COMBO
- LED DRIVER

OUTLINE OF COUNTER BELOW

GENERAL NOTES

1. EXACT LOCATIONS OF EXIT SIGN AND EMERGENCY LIGHT LOCATION SHALL BE DETERMINED IN THE FIELD BY ELECTRICIAN AND APPROVE BY THE ARCHITECT.



PEOPLE ARCHITECTS

129 Lincoln St, Unit 110,
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 03/24/2019

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03/24/2019	PERMIT SET PROGRESS

PROJECT TITLE

**KUNG FU TEA
HARVARD SQUARE**

CLIENT

KUNG FU TEA

PROJECT ADDRESS

**1160 MASSACHUSETTS AVE,
CAMBRIDGE, MA**

TITLE

REFLECTED CEILING PLAN

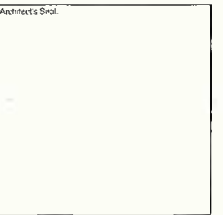
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A-1.4



PEOPLE ARCHITECTS

128 Lincoln St. Unit 110,
Boston, MA 02111



EQUIPMENT, FIXTURES AND FURNISHING SCHEDULE

DESIGNATION	QTY.	EQUIPMENT	DIMENSIONS			PLUMBING DATA						ELECTRICAL DATA			REMARKS	
			L	D	H	Cold	Hot	Waste	Vent	Gas	BTU	Voltage	Amps	NEMA Config.		
1	1	POSCASH REGISTER	--	--	--	--	--	--	--	--	--	--	--	--	--	--
2	1	FLOOR DISPLAY REFRIGERATOR: TURBO AIR TOM-30LW-N OR EQ	28	34 5/8	46 1/8	--	--	--	--	--	--	115/60/1	6.7	5-15P		ETL
3	1	FROZEN TREAT MIXER: VITA-MIX CORPORATION OR EQ	10	8 1/4	24	--	--	--	--	--	--	220-240/285-325	2.6	THREE-PRONG PLUG		NSF
4	2	JUICE BLENDER: HAMILTON BEACH HBH759 OR EQ	8 1/2	11 1/4	18 1/2	--	--	--	--	--	--	120/60	8.6	--		UL, NSF
5	1	DUMP SINK: ADVANCED TABCO SL-RS-12 OR EQ	12	23	33 3/8	1/2	1/2	ID	--	--	--	--	--	--		NSF
6	1	DROP IN HAND SINK WITH SPLASHGUARDS	12	16	10	1/2	1/2	2	2	--	--	--	--	--		NSF
7	1	INSULATED ICE BIN WITH COVER	--	--	--	--	--	ID	--	--	--	115/60/1	15	--		NSF, UL
8	1	UNDERCOUNTER REFRIGERATOR: CONTINENTAL SW32-U	32	31 9/16	31 13/16	--	--	--	--	--	--	115	6.3	--		UL, NSF
9	2	32" FOOD PREP REFRIGERATOR: CONTINENTAL SW32-12M	32	35	42 1/4	--	--	--	--	--	--	115	6.3	5-15P		UL, NSF
10	2	GLASS DOOR MERCHANDISER REFRIGERATOR: BEVERAGE-AIR LV27HC-1-B OR EQ	30	32 1/4	78	--	--	--	--	--	--	115/60/1	3	5-15P		UL
11	1	COMMERCIAL JUICE EXTRACTOR: WARING OR EQ	12 3/8	10 1/4	10 1/4	--	--	--	--	--	--	120/60/6	--	--		UL
12	1	AIRPOT COFFEE BREWER: BUNN CW15-APS OR EQ	23.6	9	18.5	--	--	--	--	--	--	120/240	11.4	5-15P		UL, NSF
13	1	COUNTERTOP INDUCTION RANGE: AVANTCO IC1800 OR EQ	11 3/4	14 1/4	3 1/2	--	--	--	--	--	--	120/60	--	5-15P		ETL
14	1	ICE MAKER WITH STORAGE BIN: SCOTSMAN N622A-1, B322S	22 15/16	24	23	--	--	ID	--	--	--	115	18.3	--		AIR COOLED, NSF, 843 LB/DAY PRODUCTION
15	2	ELECTRIC RICE COOKER: IOWN OR EQ	--	--	--	--	--	--	--	--	--	120	--	--		NSF, ETL
16	1	STAINLESS STEEL HEAVY DUTY WALL SHELF: REGENCY OR EQ	36	18	--	--	--	--	--	--	--	--	--	--		NSF
17	1	COMMERCIAL COUNTERTOP CONVECTION OVEN: AVANTCO OR EQ	18 3/4	18	15	--	--	--	--	--	--	120	--	5-15P		ETL
18	1	STAINLESS STEEL ONE COMPARTMENT SINK WITHOUT DRAINBOARDS: REGENCY 16GA.304S/S OR EQ	23	23 1/2	43 3/4	1/2	1/2	ID	--	--	--	--	--	--		NSF
19	1	STAINLESS STEEL ONE COMPARTMENT FLOOR MOP SINK: REGENCY OR EQ	25	21	16	1/2	1/2	2	--	--	--	--	--	--		NSF
20	1	STAINLESS STEEL THREE COMPARTMENT SINK WITH R&L DRAINBOARDS: ADVANCE TABCO FC-3-1818-18RL OR EQ	90	24	43	1/2	1/2	1 1/2	--	--	--	--	--	--		NSF
21	1	STAINLESS STEEL WALL SHELF: ADVANCED TABCO WS-12-108 OR EQ	108	12	1 1/2	--	--	--	--	--	--	--	--	--		NSF
22	1	TWO DOOR REACH-IN FREEZER: BEVEREGE-AIR HB149-1 OR EQ	52	32	84	--	--	--	--	--	--	115/60/1	11.9	--		UL

GENERAL NOTES:

- [1]. PLUMBING CONTRACTOR TO PROVIDE INDIRECT DRAIN AS REQUIRED.
- [2]. INFORMATION PROVIDED ARE FOR COORDINATION ONLY. VERIFY WITH OWNER/EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
- [3]. SEE EQUIPMENT SPECIFICATION FOR DETAILS PRIOR TO INSTALLATION.

PERMIT SET - PROGRESS
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1160 MASSACHUSETTS AVE,
 CAMBRIDGE, MA

TITLE

EQUIPMENT SCHEDULES

DRAWING NO.

A-1.6