



# CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2<sup>nd</sup> Fl., Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 TTY: 617 349 6112  
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

RECEIVED  
DEC 14 2022  
CAMBRIDGE HISTORICAL  
COMMISSION

## APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box):  Appropriateness,  Nonapplicability, or  Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property:  , Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below:  
(An additional page can be attached, if necessary).

Please see attached description and graphics.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record:	<input type="text" value="Fox &amp; Prince 86 LLC; IML 45 LLC"/>		
Mailing Address:	<input type="text" value="Palmer Latko Ledas Page LLC, 20 Tower Ln, Suite 305, Avon, CT 06001"/>		
Telephone/Fax:	<input type="text" value="860-573-2394"/>	E-mail:	<input type="text" value="lobermeier@blumshapiro.com"/>
Signature of Property Owner of Record:	<input type="text" value="Russell G."/>		
(Required field; application will not be considered complete without property owner's signature)			
Name of proponent, if not record owner:	<input type="text" value="Brian Fell, Robert A.M. Stern Architects"/>		
Mailing Address:	<input type="text" value="1 Park Avenue, Floor 16, NY, NY 10016"/>		
Telephone/Fax:	<input type="text" value="212-967-5100"/>	E-mail:	<input type="text" value="B.Fell@ramsa.com"/>

(for office use only):			
Date Application Received:	<input type="text" value="12/14/22"/>	Case Number:	<input type="text" value="4871"/>
		Hearing Date:	<input type="text" value="1/5/23"/>
Type of Certificate Issued:	<input type="text"/>		Date Issued: <input type="text"/>



RAMSA

## **95 Irving Street**

### **Description of Proposed Architectural Changes**

#### *History and Previous Alterations*

95 Irving Street, known as the William James House, is located on Irving Street at the intersection of Farrar and Scott Street on a 16,824 square foot lot. The original cedar-shingled, gambrel-roofed Colonial Revival house was built in 1889 for philosopher and psychologist William James, who engaged the noted Boston architect William Ralph Emerson for the design.

The simple, nearly square massing of the original house has undergone several alterations and additions on the sides and rear over the years. Building permits were issued in 1959, 1976, 1980, 1984, 2001, and 2010. The bulk of these changes have affected the rear of the house where an original ell is partially visible in early photographs and is shown on drawings attributed to Emerson. The renovations in 2001 also added porches on the north (driveway side) and south (garden side), and a mudroom addition in the rear was constructed in 2010.

This property was designated as a protected landmark on Feb. 5, 2001.

#### *Summary of Proposed Alterations*

As part of this project the house will be restored to its original single-family status. This proposal removes the additions to the rear and along the driveway that were constructed in 2001 and 2010, replacing the rear addition with a new gambrel and shed-roofed two-story addition. The proposal also removes three decks that were constructed in 2001, on the third and fourth floors in the rear and on the second floor on the south (garden side).

Specific proposed alterations are noted on the drawings and listed below in the following categories:

- **Landscape:** See attached description of landscape changes supplied by Gregory Lombardi Design.
- **Garage:** Removal of existing non-conforming two-car garage and shed (sited in the side yard setback per zoning variance), replacement with new two-car garage conforming to setbacks, distance from primary structure and allowable height.



## RAMSA

- Restoration of historic windows: Frame and sash restoration, with glass salvage and reinstallation. Replacement of non-original exterior storm windows with new low-profile wood frame exterior storms.
- Exterior typical details: New construction to match existing mouldings including window and door casings, eave and rake profiles, shingle coursing and shingle stops at building corners.
- House Front (East): Restoration of front porch and steps, reconstruction of historic balustrade atop porch (now removed).
- House Right (North): Removal of porch and entry from 2001, removal of basement stair, addition of two new double-hung windows to match typical existing, relocation of one original window, addition of one new oval window based on Emerson's designs for other houses, addition of wood bracket above first floor based on designs by Emerson and John Calvin Stevens.
- House Rear (West): Removal of the additions constructed in 2001 and 2010, including the removal of a large shed-roofed dormer and deck on the third floor, removal of French doors and deck on the fourth floor, removal of skylights and elevator over-run at the roof.

Construction of a new two-story gambrel and shed-roofed addition including a new entry porch, addition of two new double-hung windows to match existing on the second floor, construction of a new shed dormer on the fourth floor with a new casement window matching existing trim and sash details.

- House Left (South): Conversion of second floor deck and surrounding parapet, constructed in 2001, to a hipped shingle roof and a three-part window, relocation of adjacent windows, addition of a new small oval window based on Emerson's designs for other projects, removal of the steps on the southeast corner of the first floor constructed in 2001, conversion of a door to a pair of double-hung windows to match typical existing.



# GREGORY LOMBARDI DESIGN

*Landscape Architecture*

## **95 Irving Street**

### **Description of Proposed Landscape Changes**

The current landscape that surrounds this house is simple in nature. An open side lawn is bordered by a mixed-species plant palette consistent with today's Cambridge residences. There are no particular landscape features that stand out nor compliment the era of the house, with exception to the four foot tall picket fence and date marker stone; both will remain. A few mature trees help to provide scale to the house and added privacy.

The proposed landscape will improve upon the existing landscape elements while maintaining the integrity of the historical value of the property. The front plant beds will be updated with appropriate understory trees, shrubs, and perennial plantings tailored to today's climate, and maintain similar views of the façade as seen today. New plants will be added throughout the property to provide interest and support the proposed hardscape changes. A stone pathway system will guide residents and guests from the public street front and from the parking surfaces. A raised stone terrace will connect the new house addition to the landscape.

The existing garage will be reconstructed in a new position that tucks it behind the house mass. A new mixed-stone driveway will be installed, and a small parking court will be added to allow vehicles to be parked behind the house and quiet the appearance from the street.

The public views of the landscape from Irving Street will predominantly remain as you see them today. We intend to maintain the current fencing around the property. Although the four foot fence off Irving Street may need some repairs, we are not planning to make any major changes at this time.





# 95 IRVING STREET

## APPLICATION TO CAMBRIDGE HISTORICAL COMMISSION



		ISSUED 10/11/22	REVISED 12/9/22
T-000	COVER	X	
A-000	PLOT PLAN	X	
A-001	SITE SURVEY	X	
L-000	LANDSCAPE EXISTING CONDITIONS	X	X
L-001	LANDSCAPE SUPPORTING INFORMATION	X	X
L-002	LANDSCAPE PROPOSED RENDERED SITE PLAN	X	X
L-003	LANDSCAPE PROPOSED SITE PLAN	X	X
L-004	LANDSCAPE LIGHTING PLAN	X	X
A-002	HISTORIC SITE PHOTOS	X	
A-003	CURRENT SITE PHOTOS (2022)	X	
A-100	EXISTING BASEMENT PLAN	X	
A-101	PROPOSED BASEMENT PLAN	X	
A-102	EXISTING FIRST FLOOR PLAN	X	
A-103	PROPOSED FIRST FLOOR PLAN	X	X
A-104	EXISTING SECOND FLOOR PLAN	X	
A-105	PROPOSED SECOND FLOOR PLAN	X	
A-106	EXISTING THIRD FLOOR PLAN	X	
A-107	PROPOSED THIRD FLOOR PLAN	X	
A-108	EXISTING FOURTH FLOOR PLAN	X	
A-109	PROPOSED FOURTH FLOOR PLAN	X	
A-110	EXISTING ROOF PLAN	X	
A-111	PROPOSED ROOF PLAN	X	
A-112	GARAGE PLANS EXISTING AND PROPOSED	X	
A-200	EXISTING ELEVATION - IRVING STREET (EAST)	X	
A-201	PROPOSED ELEVATION - IRVING STREET (EAST)	X	
A-202	EXISTING ELEVATION - RIGHT SIDE (NORTH)	X	
A-203	PROPOSED ELEVATION - RIGHT SIDE (NORTH)	X	
A-204	EXISTING ELEVATION - REAR (WEST)	X	
A-205	PROPOSED ELEVATION - REAR (WEST)	X	
A-206	EXISTING ELEVATION - LEFT SIDE (SOUTH)	X	
A-207	PROPOSED ELEVATION - LEFT SIDE (SOUTH)	X	
A-208	GARAGE ELEVATIONS EXISTING AND PROPOSED	X	
A-300	DETAIL PRECEDENTS	X	
A-400	PERSPECTIVE RENDERING	X	
A-401	PERSPECTIVE RENDERING	X	
A-402	PERSPECTIVE RENDERING	X	X
A-403	PERSPECTIVE RENDERING		X
A-404	PERSPECTIVE RENDERING		X
A-405	PERSPECTIVE RENDERING		X
A-406	PERSPECTIVE RENDERING		X
A-407	PERSPECTIVE RENDERING		X
A-408	PERSPECTIVE RENDERING		X

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

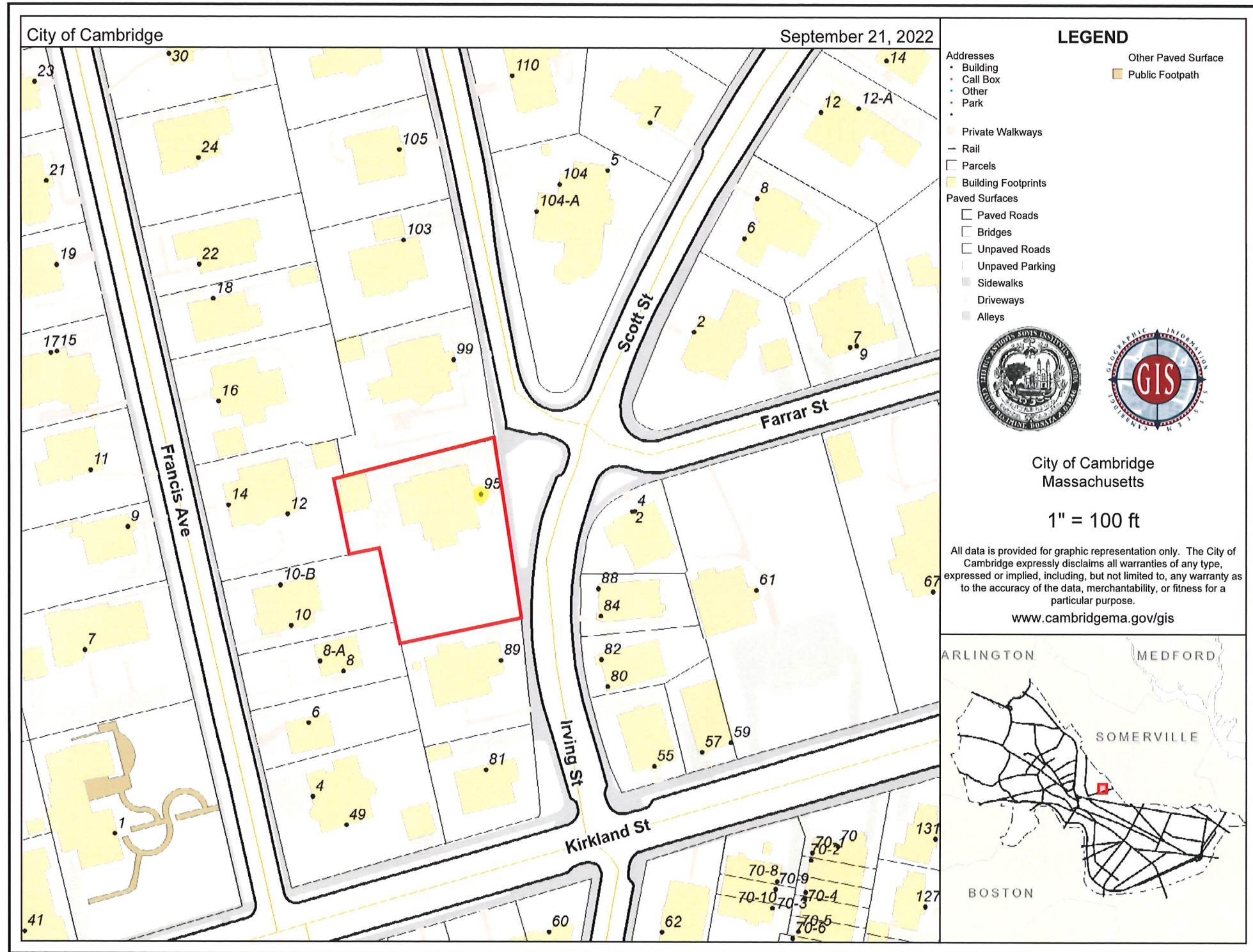
COVER

PROJECT NO.

CAD FILE NO.

DRAWING NO.

T-000



LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PLOT PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-000

95  
IRVING  
STREET

Cambridge, Massachusetts

**HANCOCK  
ASSOCIATES**

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923  
VOICE (978) 777-3050, FAX (978) 774-7816  
WWW.HANCOCKASSOCIATES.COM

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

SITE SURVEY  
BY OTHERS - FOR REFERENCE

PROJECT NO.

CAD FILE NO.

DRAWING NO.

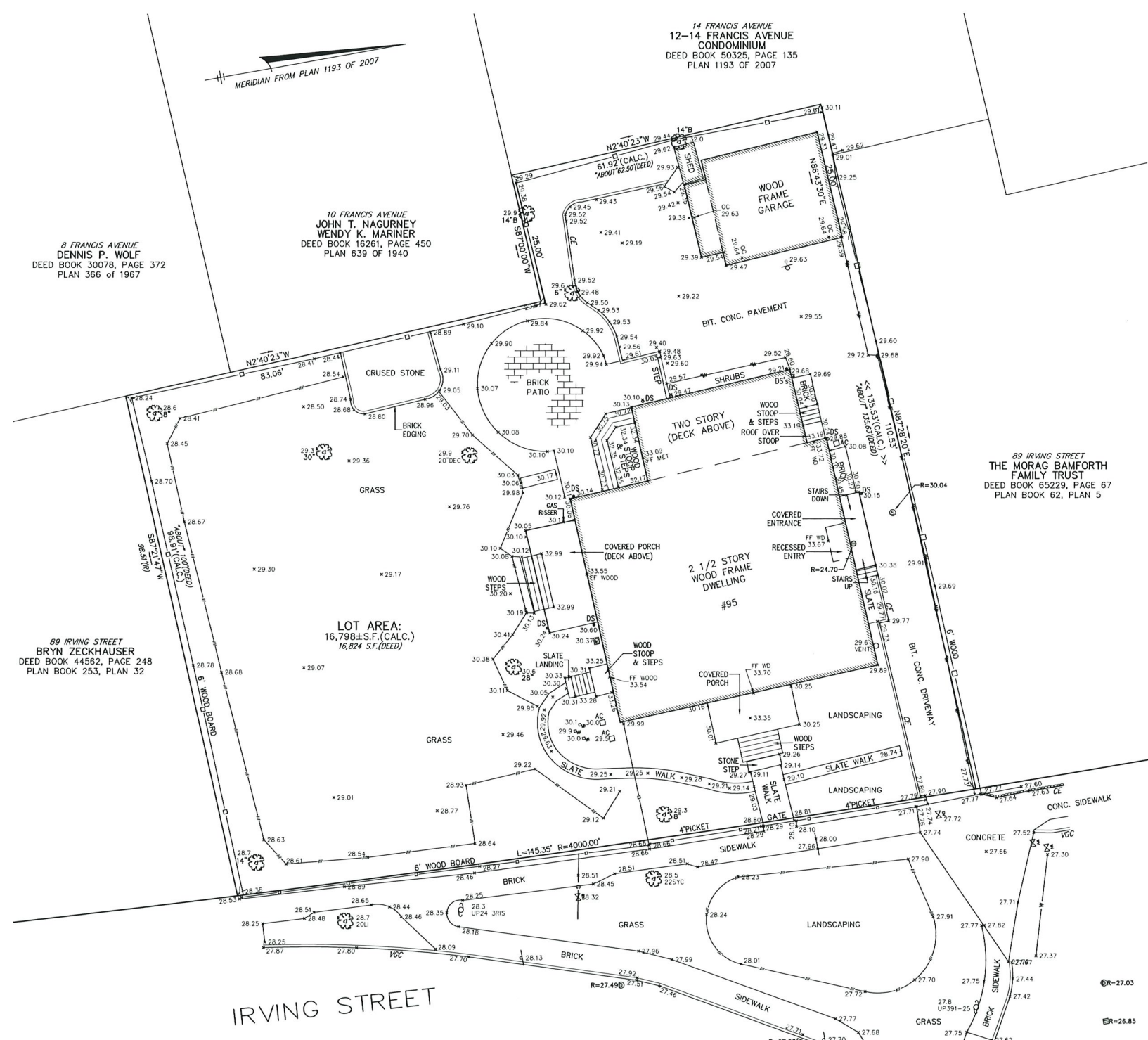
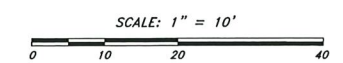
A-001

**ASSESSORS:** MAP 146, LOT B1  
**REFERENCES:** DEED BOOK 33169, PAGE 319 (CONDO MASTER DEED) PLAN 627 OF 2001  
**RECORD OWNER:** WILLIAM JAMES CONDOMINIUM  
**NOTES:**

1) ELEVATIONS SHOWN HEREON REFER TO THE CAMBRIDGE CITY BASE.  
2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT CAMBRIDGE DPW AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

**LEGEND**

- 102 --- SURFACE CONTOUR
- +—+— EDGE OF PAVEMENT
- +—+— CHAIN LINK FENCE
- +—+— WOOD FENCE
- +—+— CURB WITH TOP AND BOTTOM CURB ELEVATION
- +—+— EDGE OF LAWN
- +—+— SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- +—+— DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- +—+— WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- +—+— GAS MAIN WITH SIZE & GATE VALVE
- +—+— EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- +—+— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- +—+— TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- +—+— RETAINING WALL WITH TOP AND BOTTOM ELEVATIONS
- \* 100.7 PROMINENT DECIDUOUS TREE WITH ELEVATION & SIZE
- \* 93.7 / 12" M PROMINENT CONIFEROUS TREE WITH ELEVATION & SIZE
- \* 36.2 / 18" P LIGHT POLE
- GM GAS METER
- EM ELECTRIC METER
- CU CONNECTION UNKNOWN
- BOLLARD
- SIGN
- MANHOLE (UNKNOWN UTILITY)
- (R) RECORD
- (C) CALCULATED
- (R/H) RECORD AND HELD
- (FD) FOUND
- VGC VERTICAL GRANITE CURB
- CE COBBLE EDGING
- BASKETBALL HOOP
- ENTRANCE ELEV. (WOOD THRESHOLD) \* FF WD \* 33.70
- CONCRETE SLAB ELEVATION \* OC \* 29.64



8 FRANCIS AVENUE  
DENNIS P. WOLF  
DEED BOOK 30078, PAGE 372  
PLAN 366 OF 1967

10 FRANCIS AVENUE  
JOHN T. MARGURNEY  
WENDY K. MARINER  
DEED BOOK 16261, PAGE 450  
PLAN 639 OF 1940

14 FRANCIS AVENUE  
12-14 FRANCIS AVENUE  
CONDOMINIUM  
DEED BOOK 50325, PAGE 135  
PLAN 1193 OF 2007

89 IRVING STREET  
THE MORAG BAMFORTH  
FAMILY TRUST  
DEED BOOK 65229, PAGE 67  
PLAN BOOK 62, PLAN 5

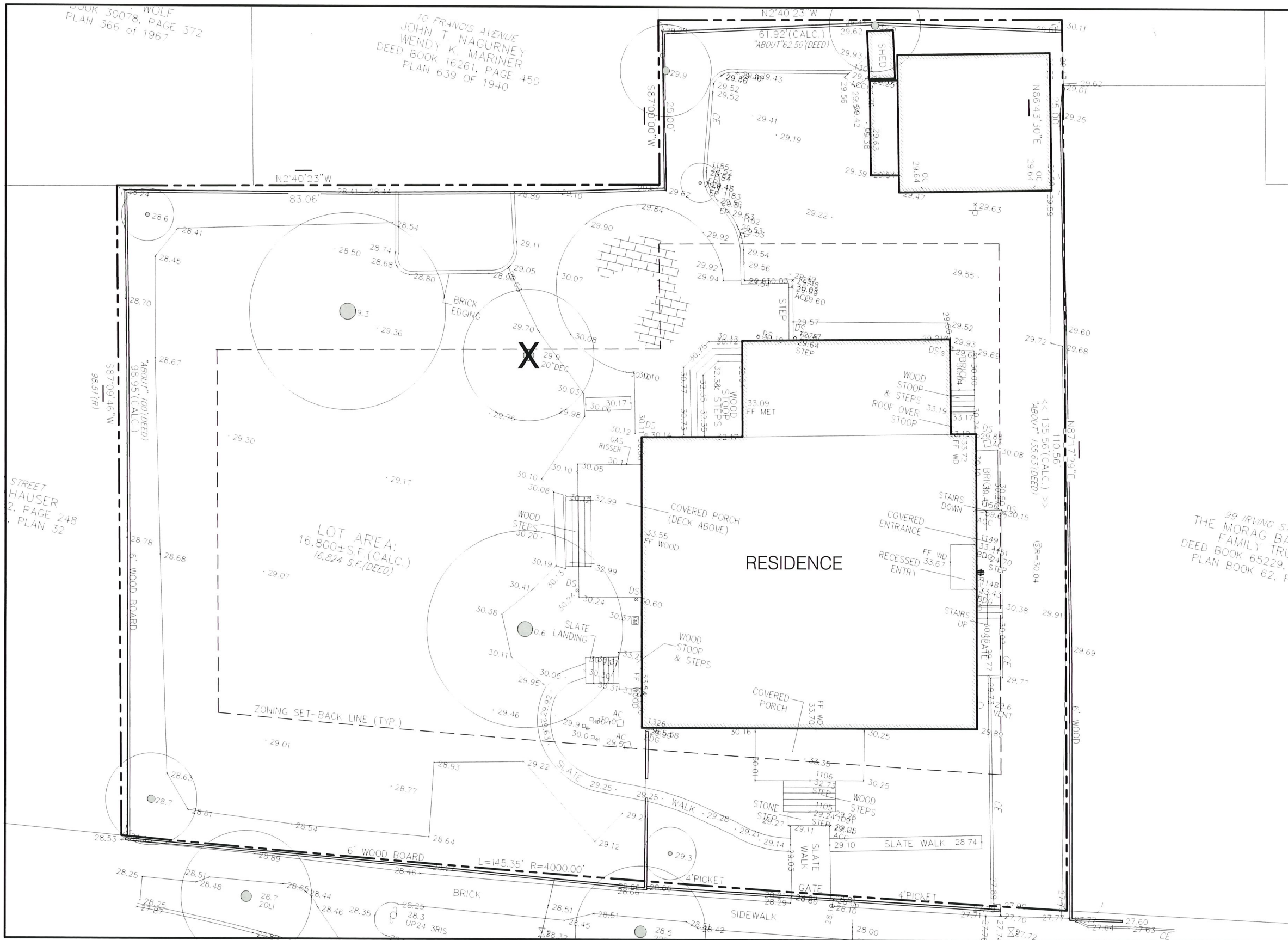
LOT AREA:  
16,798±S.F. (CALC.)  
16,824 S.F. (DEED)

89 IRVING STREET  
BRYN ZECKHAUSER  
DEED BOOK 44552, PAGE 248  
PLAN BOOK 253, PLAN 32

NOTE: PLAN NOT TO SCALE

**EXISTING  
CONDITIONS  
PLAN OF LAND  
IN  
CAMBRIDGE, MA**

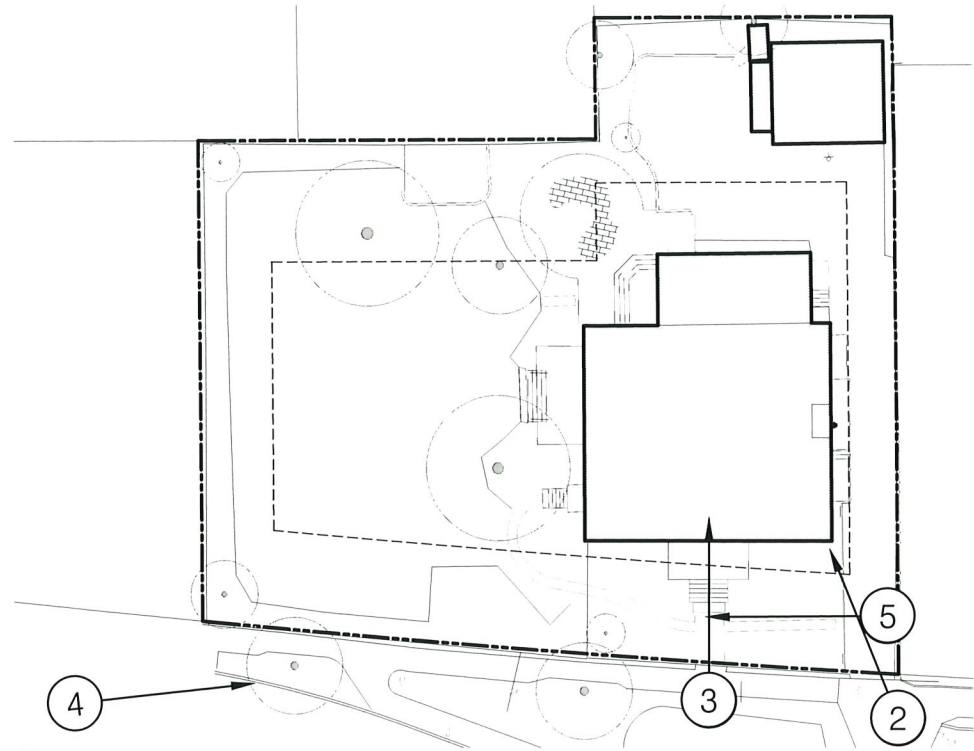
PLOT DATE: May 11, 2022 8:33 pm  
PATH: P:\144 20 P\144\2022\144 - Cambridge\144\144.dwg  
DWG: 25982SV.dwg  
LAYOUT: EC  
SHEET: 1 OF 1  
PROJECT NO.: 25982



### LEGEND

- PROPERTY LINE
- ZONING SETBACK
- EXISTING CONTOUR
- PLANT BED
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED DECIDUOUS TREE
- EXISTING DECIDUOUS TREE TO BE REMOVED
- PROPOSED WALL
- FACE OF RISER
- SPOT ELEVATION

95 IRVING STREET, CAMBRIDGE, MA		EXISTING CONDITIONS		Sheet Reference: L-100	
GREGORY LOMBARDI DESIGN INCORPORATED Landscape Architecture 221 Boston Road North Billerica, Massachusetts 01862 Phone 617.492.2808 Fax 617.492.2904		North		Scale: 1/16" = 1'-0"	Date: 09 DECEMBER 2022
				Drawn By: BD/TSO	Project Number: 22008
1					



**1** KEY PLAN  
SCALE: 1" = 40'-0"  
PLAN



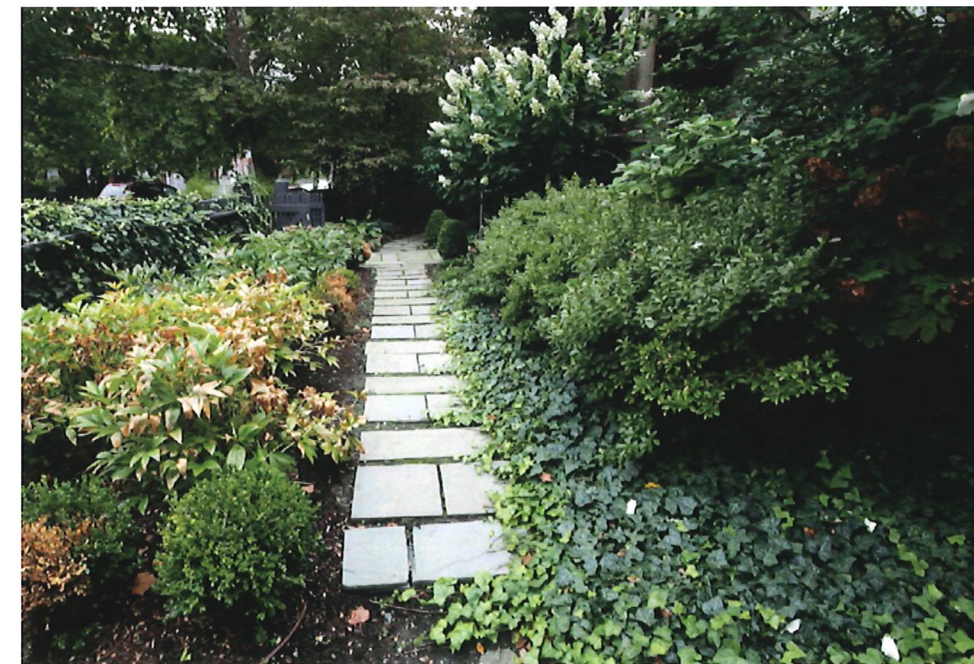
**2** EXISTING SITE CONDITIONS  
SCALE: N.T.S.  
IMAGE



**3** EXISTING SITE CONDITIONS  
SCALE: N.T.S.  
IMAGE



**4** EXISTING SITE CONDITIONS  
SCALE: N.T.S.  
IMAGE



**5** EXISTING SITE CONDITIONS  
SCALE: N.T.S.  
IMAGE

95 IRVING STREET, CAMBRIDGE, MA

SUPPORTING INFORMATION


Sheet Reference: L-101

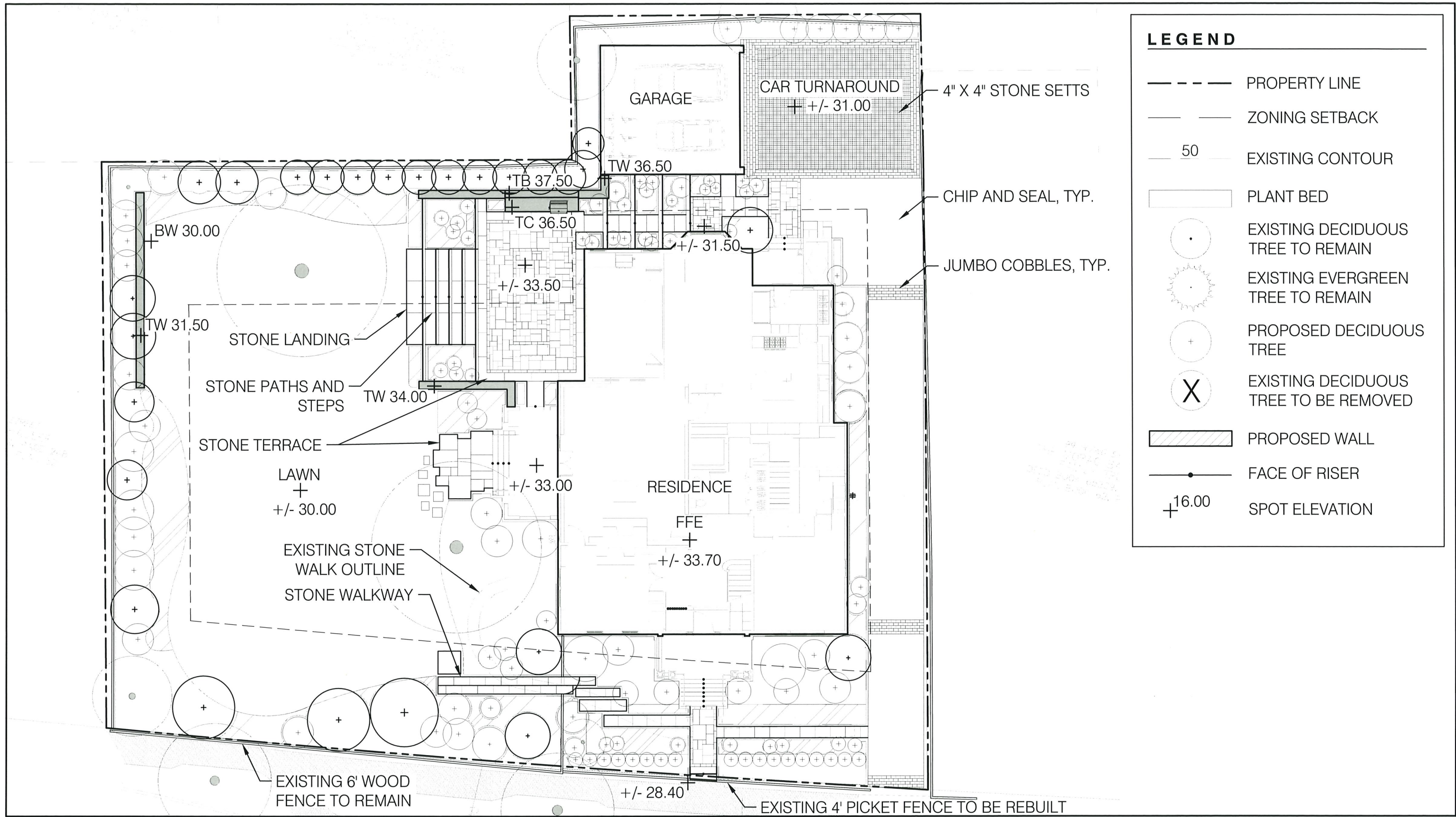
GREGORY LOMBARDI DESIGN INCORPORATED  
Landscape Architecture  
221 Boston Road  
North Billerica, Massachusetts 01862  
Phone 617.492.2808 Fax 617.492.2904

Scale: AS SHOWN Date: 09 DECEMBER 2022

Drawn By: BD/TSo Project Number: 22008



95 IRVING STREET, CAMBRIDGE, MA	PROPOSED RENDERED SITE PLAN	Sheet Reference: L-102	
GREGORY LOMBARDI DESIGN INCORPORATED Landscape Architecture 221 Boston Road North Billerica, Massachusetts 01862 Phone 617.492.2808 Fax 617.492.2904	 North	Scale: 1/8" = 1'-0"	Date: 09 DECEMBER 2022
		Drawn By: BD/TSo	Project Number: 22008



95 IRVING STREET, CAMBRIDGE, MA

PROPOSED SITE PLAN

Sheet Reference: L-103

GREGORY LOMBARDI DESIGN INCORPORATED  
Landscape Architecture  
221 Boston Road  
North Billerica, Massachusetts 01862  
Phone 617.492.2808 Fax 617.492.2904



Scale: 1/8" = 1'-0"

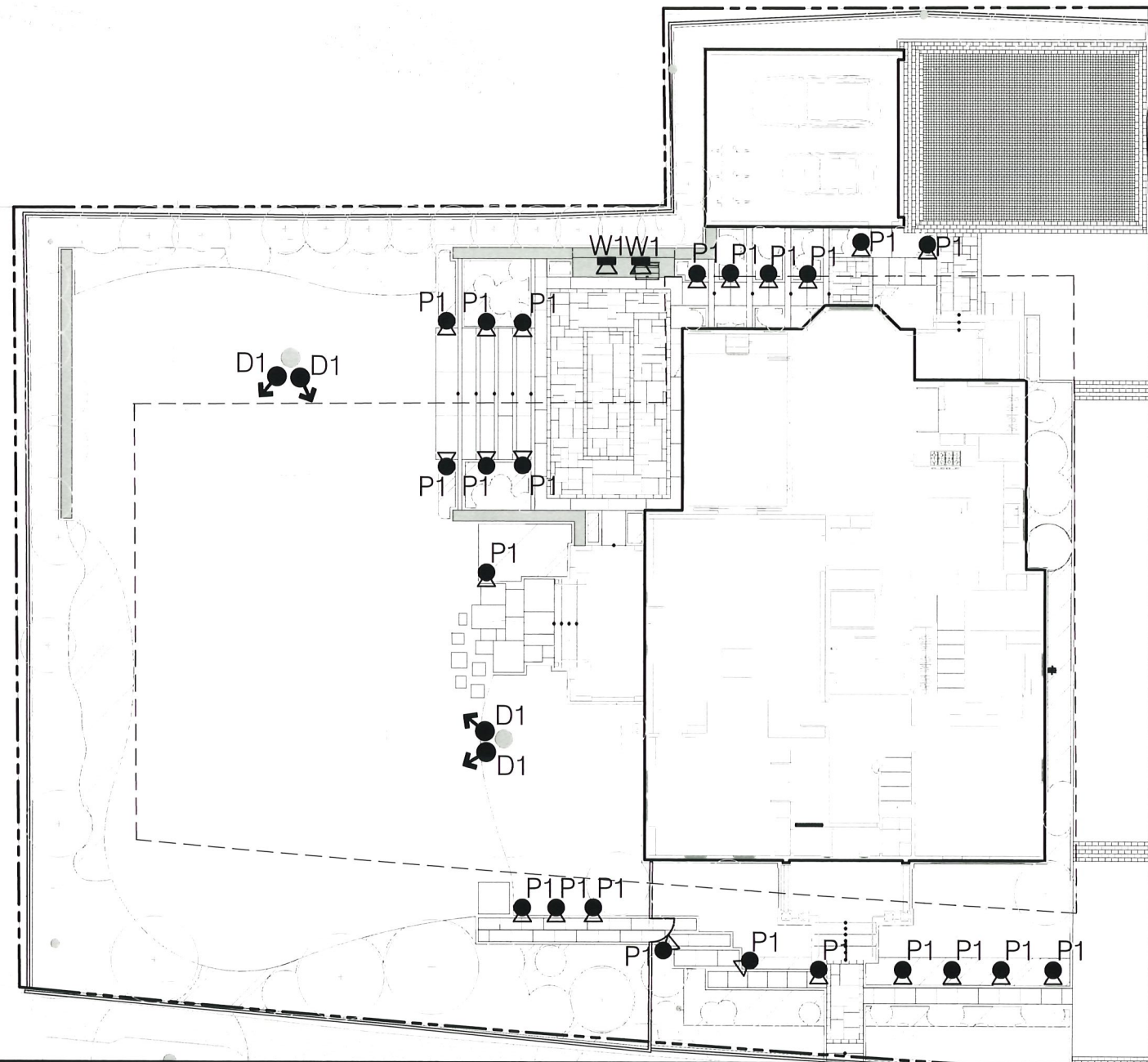
Date: 09 DECEMBER 2022

Drawn By: BD/TSo

Project Number: 22008

LIGHTING FIXTURE LEGEND AND SCHEDULE

KEY	SYMBOL	LIGHT TYPE	MANUFACTURER	MODEL NUMBER	QTY	WATTAGE	TOTAL WATTAGE	LOCATION
D1		DOWNLIGHT	BK DELTA STAR	B-DS-MR-5-NAT-9-11-A-360SL	4	35	70	BY TREE TOWARDS LAWN
P1		PATH LIGHT	TEKA 1130	1130-LV-288-NATL-18	23	20	400	BY PATHS
W1		WALL LIGHT	BK SQUARE STEP STAR	B-CD-SQ-MR16-6-EXT-NBP	2	50	300	WALL BY POOL AND WALL BY OUTDOOR KITCHEN



**(D1)** DOWNLIGHT  
SCALE: N.T.S.



**(P1)** PATH LIGHT  
SCALE: N.T.S.



**(W1)** WALL LIGHT  
SCALE: N.T.S.

95 IRVING STREET, CAMBRIDGE, MA

LIGHTING PLAN

Sheet Reference: L-104

GREGORY LOMBARDI DESIGN INCORPORATED  
Landscape Architecture  
221 Boston Road  
North Billerica, Massachusetts 01862  
Phone 617.492.2808 Fax 617.492.2904



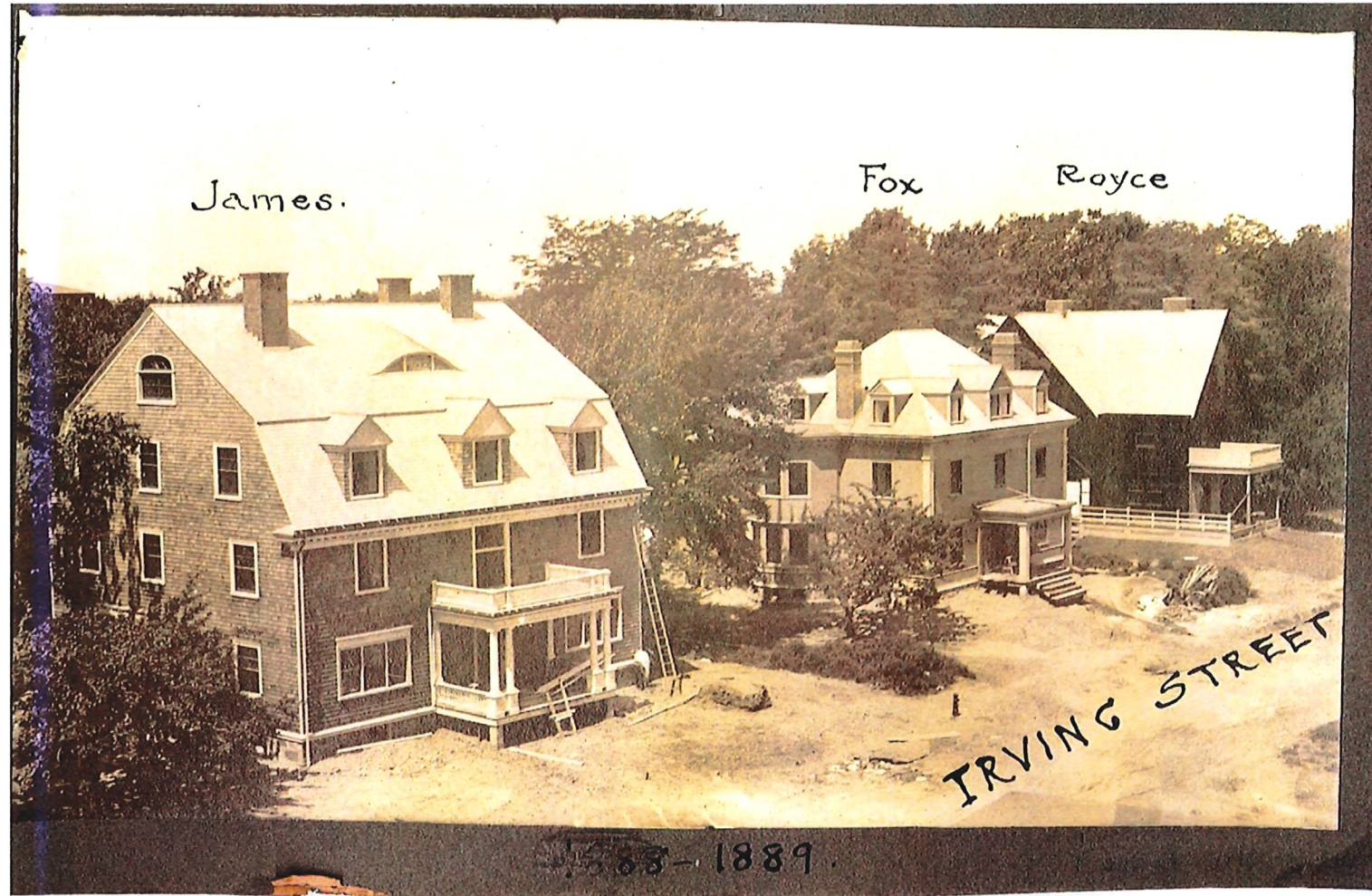
Scale: 1" = 20'-0"

Date: 09 DECEMBER 2022

Drawn By: BD/TSo

Project Number: 22008





BIRDS EYE VIEW DURING CONSTRUCTION  
 DATE: 1889  
 SOURCE: CAMBRIDGE HISTORICAL COMMISSION, COGSWELL COLLECTION



FROM IRVING STREET  
 DATE: UNKNOWN  
 SOURCE: PHOTOGRAPH BY DUDLEY BORLAND



FROM IRVING STREET  
 DATE: 1967  
 SOURCE: CAMBRIDGE HISTORICAL COMMISSION, JAMES FAMILY ALBUM PHOTOGRAPH ON FILE AT HOUGHTON LIBRARY



FROM IRVING STREET  
 DATE: EARLY 1890s  
 SOURCE: CAMBRIDGE HISTORICAL COMMISSION, JAMES FAMILY ALBUM PHOTOGRAPH ON FILE AT HOUGHTON LIBRARY



VIEW FROM THE SOUTH  
 DATE: 1890-1891  
 SOURCE: CAMBRIDGE HISTORICAL COMMISSION, HENRY RAND COLLECTION, SOUTHWEST HARBOR, MAINE



FROM IRVING STREET  
 DATE: 1968  
 SOURCE: HISTORIC AMERICAN BUILDING SURVEY, GEORGE M. CUSHING PHOTOGRAPHY

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

HISTORIC  
 SITE PHOTOS

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-002



VIEW FROM SIDEWALK ON IRVING STREET LOOKING SOUTH



VIEW FROM SCOTT STREET AND IRVING STREET LOOKING WEST



VIEW FROM SIDEWALK LOOKING WEST



VIEW FROM SIDEWALK ON IRVING STREET LOOKING NORTHWEST



VIEW FROM SIDE YARD LOOKING NORTHWEST



VIEW FROM SIDE YARD LOOKING NORTHEAST



VIEW FROM PATIO LOOKING NORTHEAST



VIEW FROM THE DRIVEWAY LOOKING NORTHEAST



VIEW OF GARAGE LOOKING NORTHWEST

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

CURRENT SITE PHOTOS  
2022

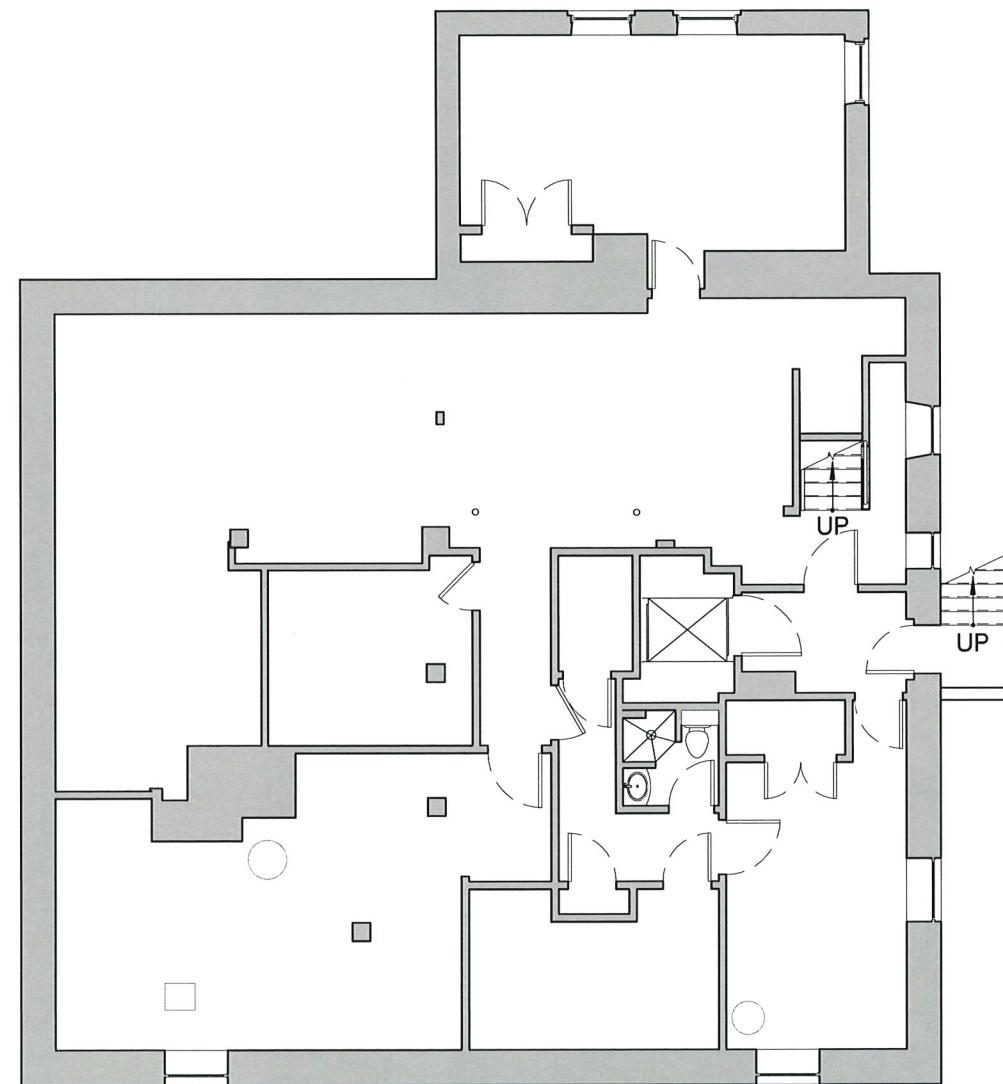
PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-003

EXISTING BASEMENT PLAN



SCALE: 3/32" = 1'  
0 2' 4' 8'

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL: (212) 967-5100 | FAX: (212) 967-5588

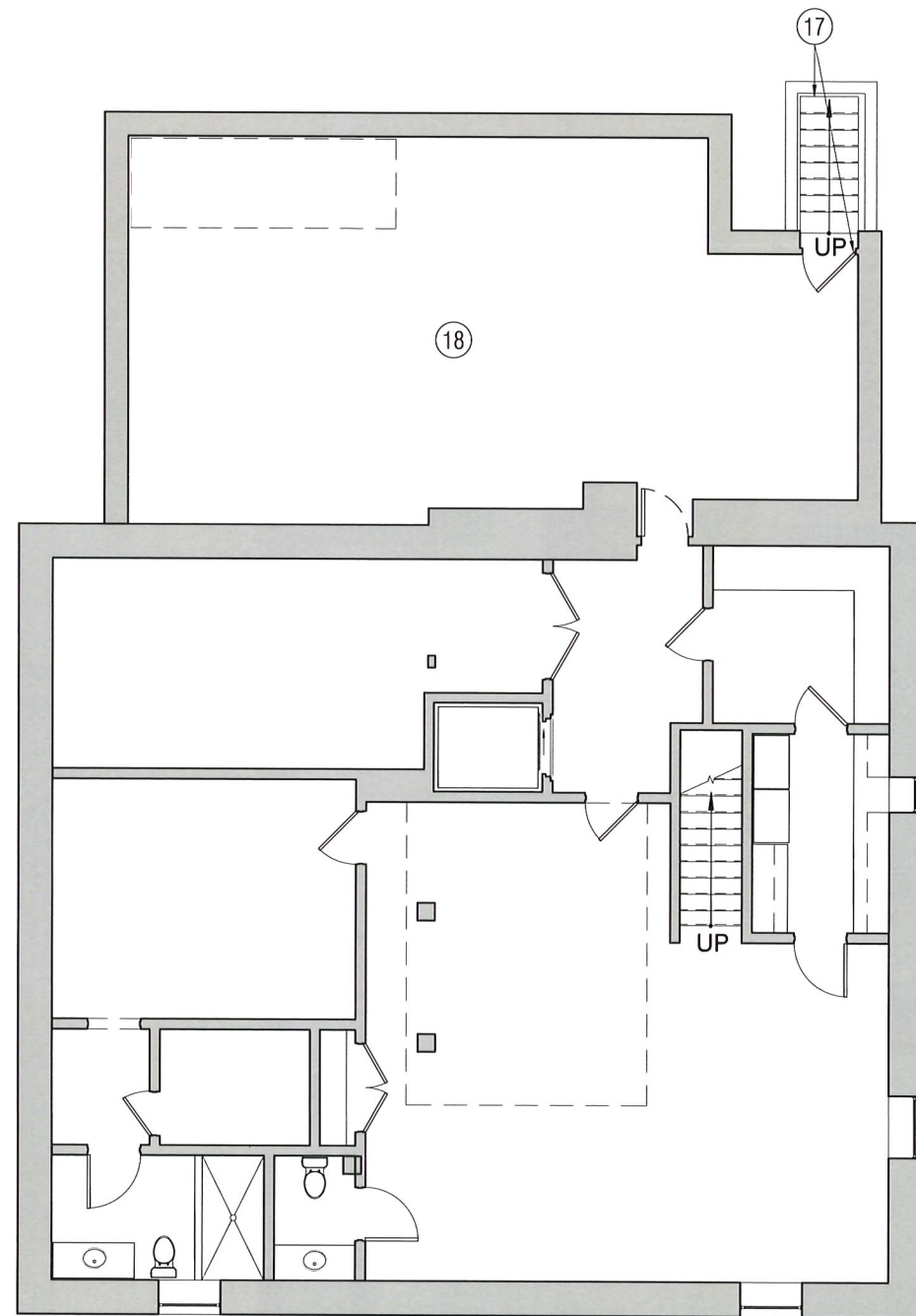
EXISTING  
BASEMENT PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-100



PROPOSED BASEMENT PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

17	NEW EXTERIOR STAIR AND DOOR.
18	BASEMENT EXTENDED BELOW ADDITION.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

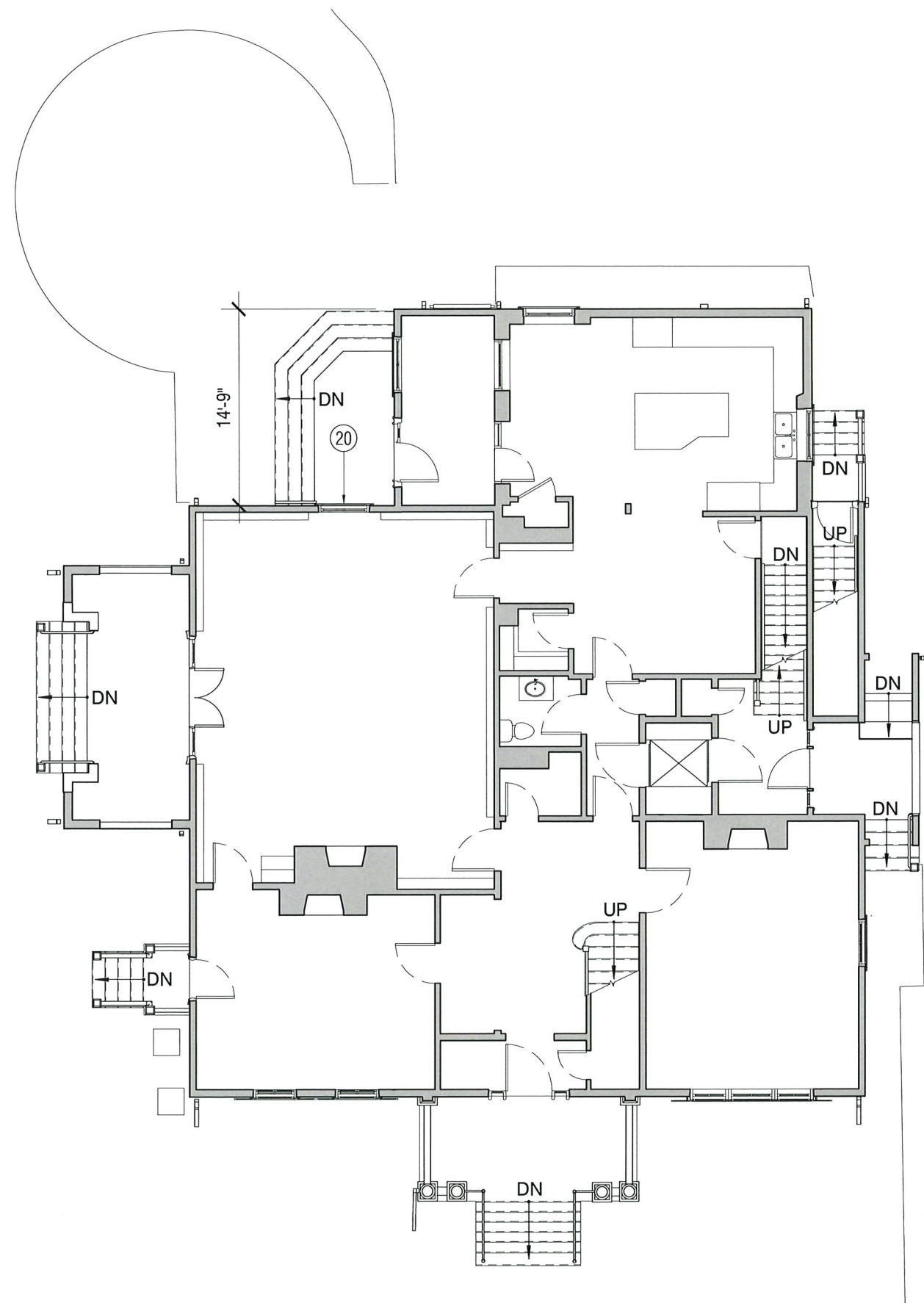
PROPOSED  
 BASEMENT PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-101



EXISTING FIRST FLOOR PLAN

PROPERTY LINE



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

20 HISTORIC EXISTING WINDOW TO BE RELOCATED.

REVISED: 12/09/22

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

EXISTING  
 FIRST FLOOR PLAN

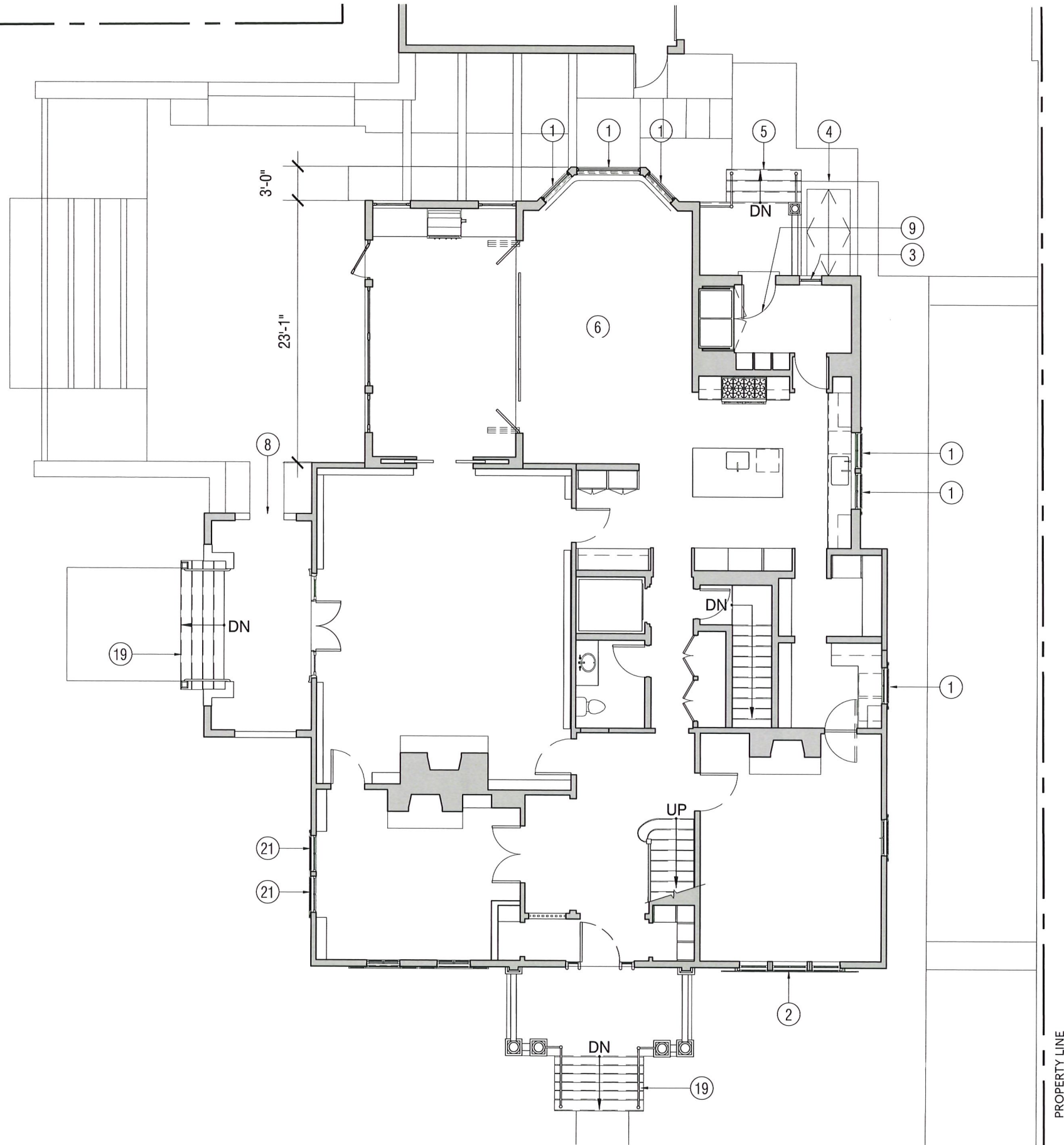
PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-102

PROPOSED FIRST FLOOR PLAN



SCALE: 3/32" = 1'  
0 2' 4' 8'

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
3	NEW OVAL WINDOW. SEE DETAIL PRECEDENTS A-300.
4	NEW BASEMENT ACCESS.
5	NEW PORCH AND STEPS. DETAILING TO MATCH EXISTING.
6	NEW ADDITION.
8	NEW OPENING IN EXISTING PORCH RAILING.
9	NEW DOOR AND TRIM TO MATCH EXISTING.
19	REFURBISH PORCH AND STEPS AS REQUIRED.
21	HISTORIC WINDOW RELOCATED AND REUSED. REFURBISH AS REQUIRED.

REVISED: 12/09/22

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

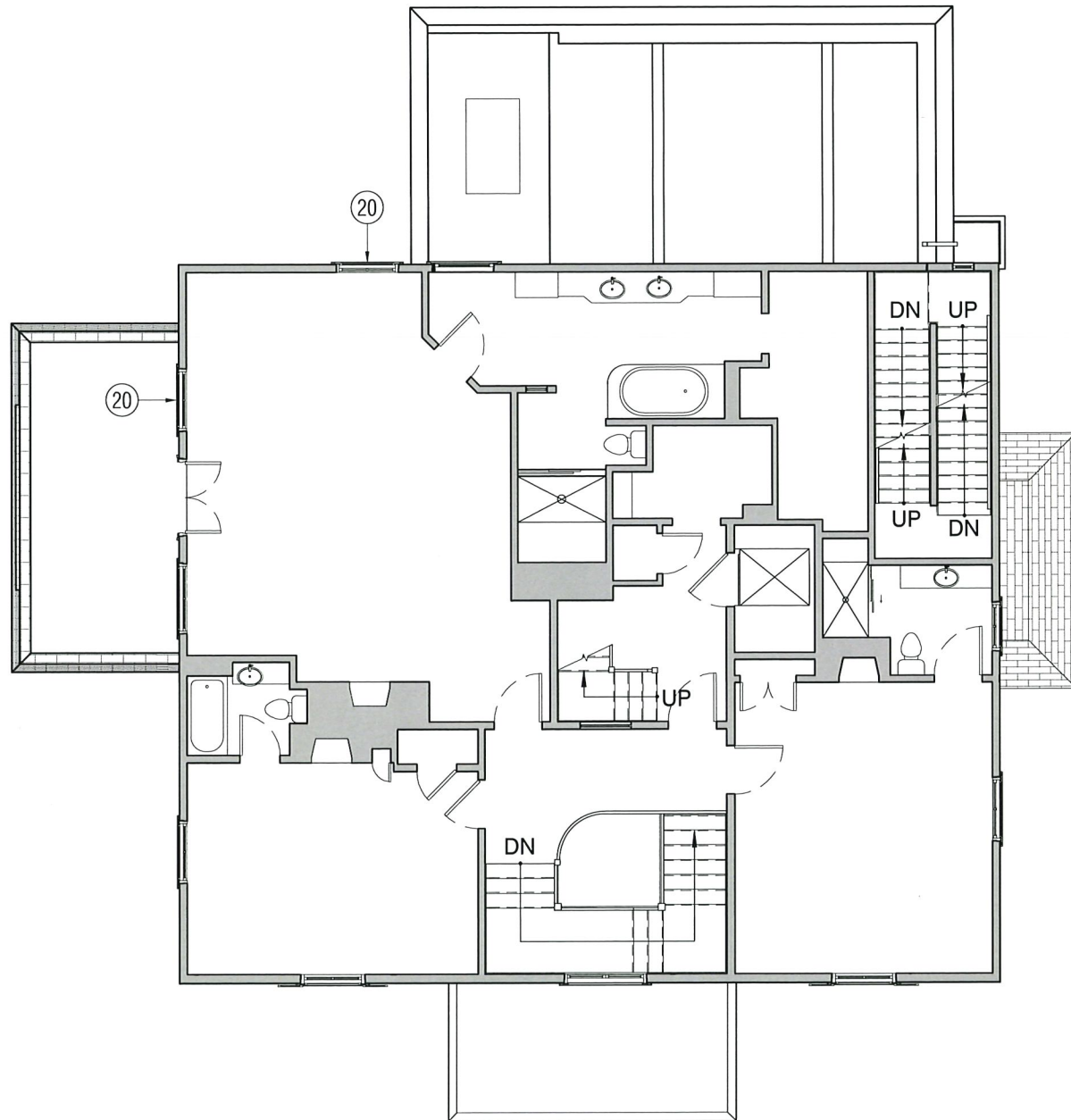
PROPOSED  
FIRST FLOOR PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-103



EXISTING SECOND FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

20 HISTORIC EXISTING WINDOW TO BE RELOCATED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

EXISTING  
 SECOND FLOOR PLAN

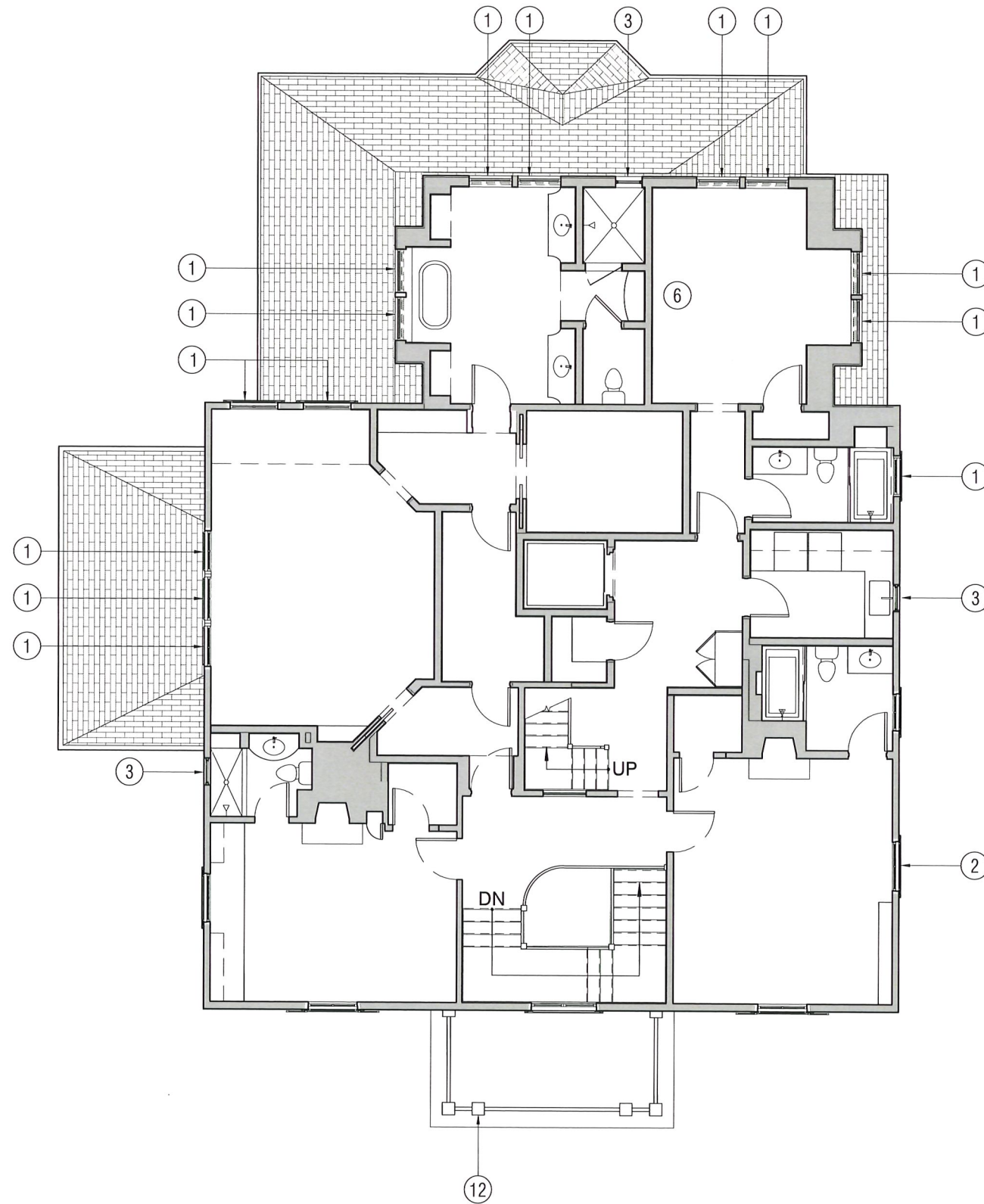
PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-104

PROPOSED SECOND FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
3	NEW OVAL WINDOW. SEE DETAIL PRECEDENTS A-300.
6	NEW ADDITION.
12	NEW BALUSTRADE ON EXISTING ROOF TO MATCH ORIGINAL.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 907-5100 | FAX (212) 907-5588

PROPOSED  
 SECOND FLOOR PLAN

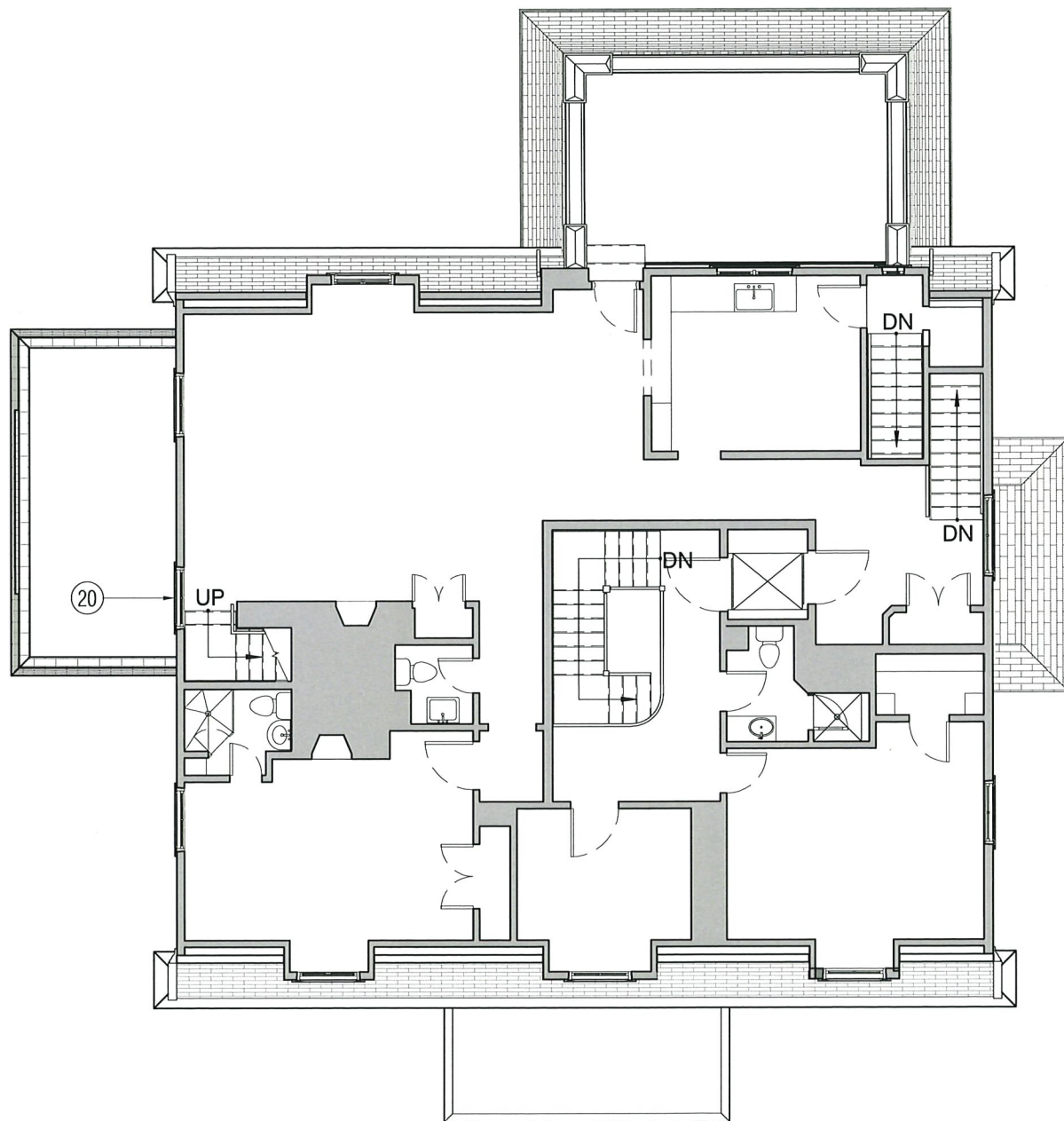
PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-105





EXISTING THIRD FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

20 HISTORIC EXISTING WINDOW TO BE RELOCATED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

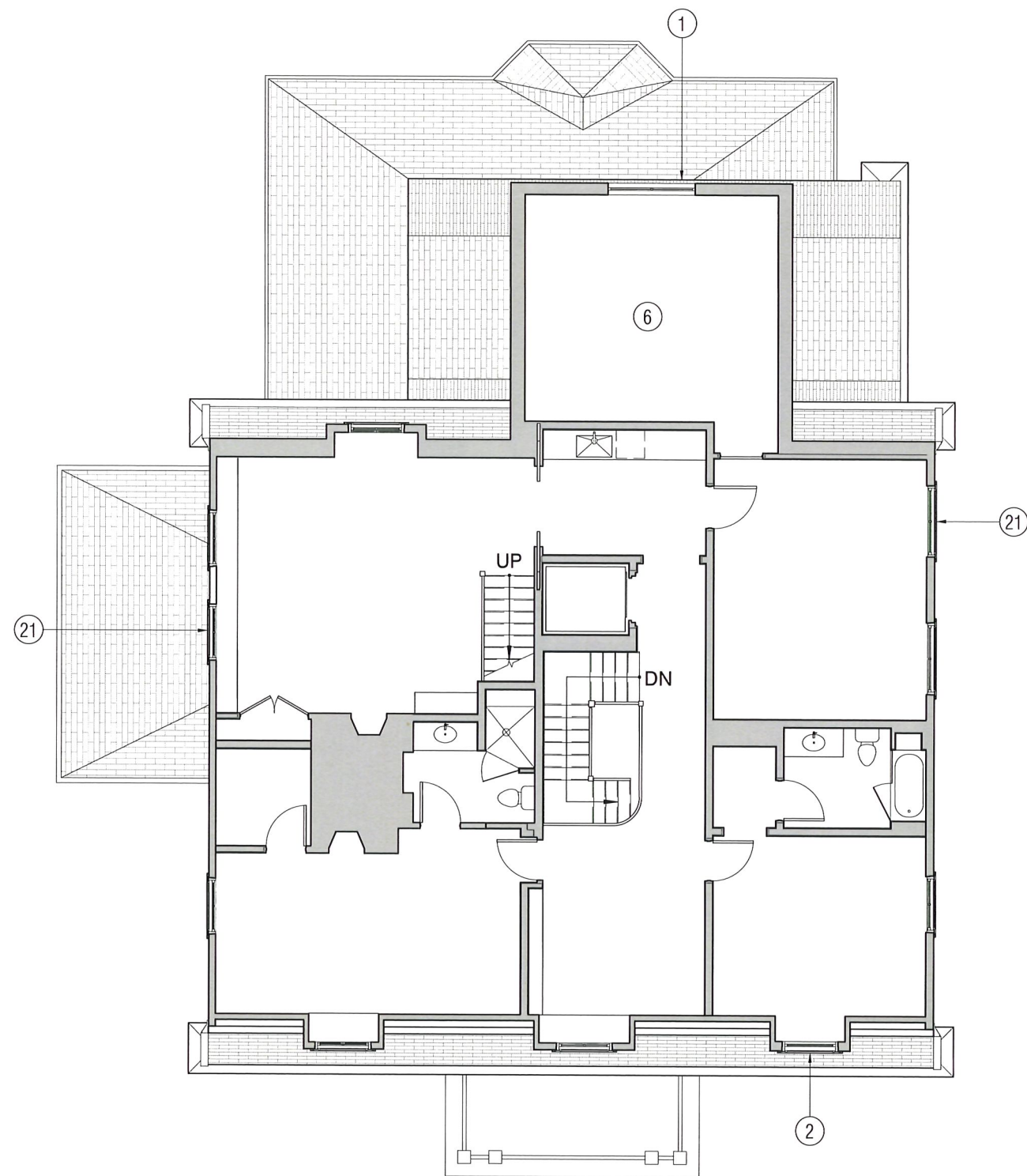
EXISTING  
 THIRD FLOOR PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-106



PROPOSED THIRD FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
6	NEW ADDITION.
21	HISTORIC WINDOW RELOCATED AND REUSED. REFURBISH AS REQUIRED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL: (212) 967-5100 | FAX: (212) 967-5588

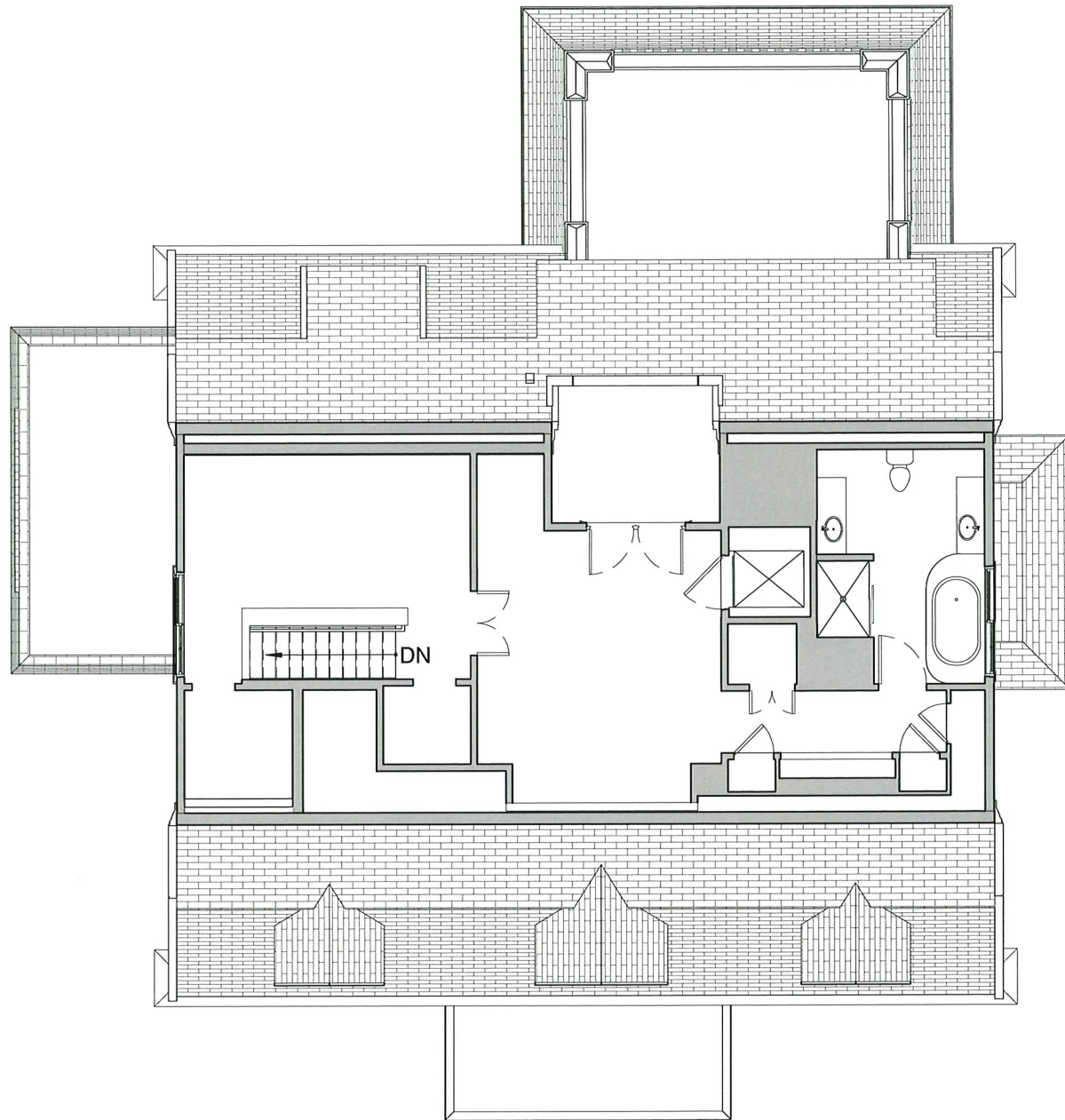
PROPOSED  
 THIRD FLOOR PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-107



EXISTING FOURTH FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

EXISTING  
 FOURTH FLOOR PLAN

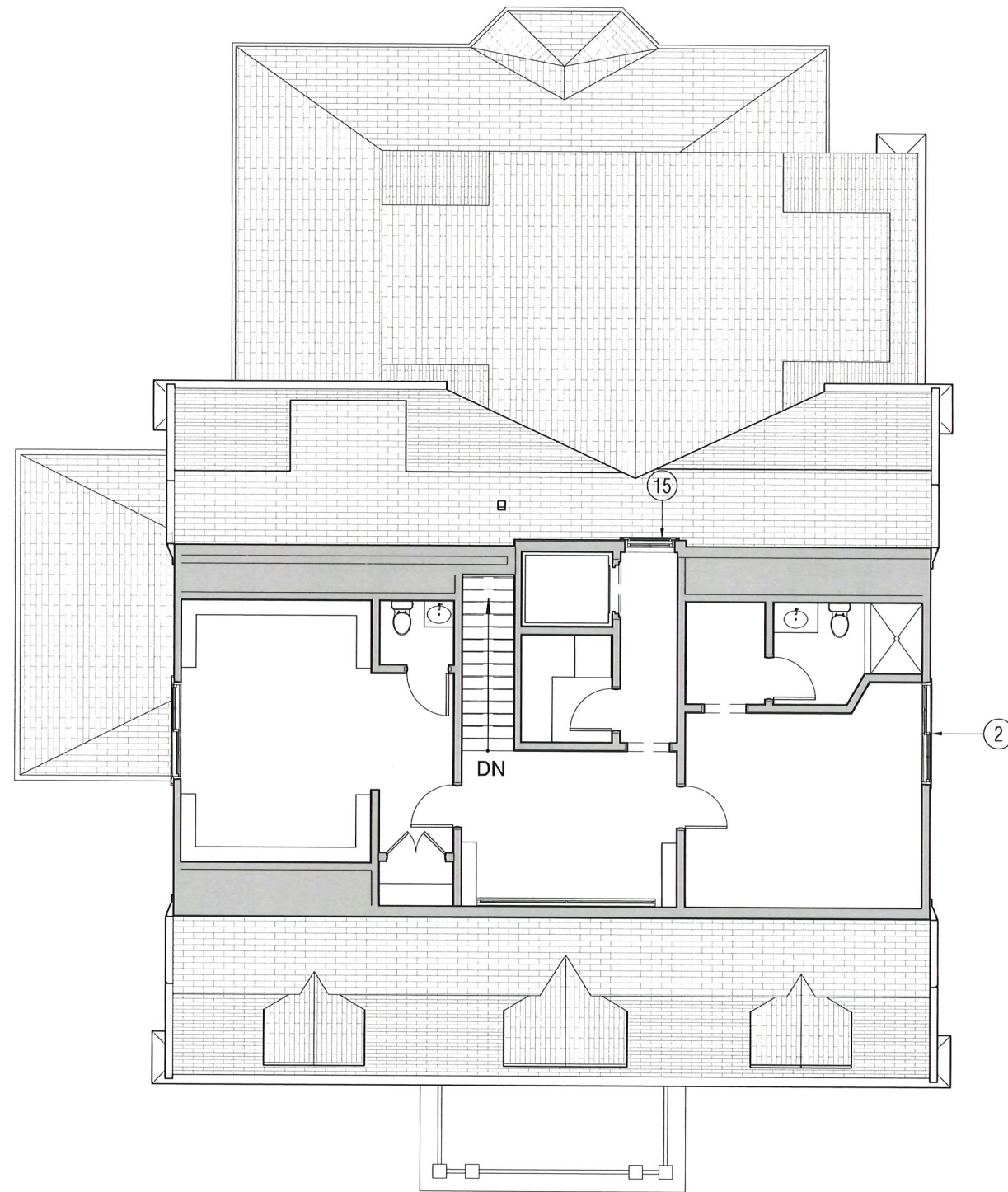
PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-108

PROPOSED FOURTH FLOOR PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
15	NEW AWNING WINDOW AND TRIM TO MATCH EXISTING DETAILS.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL. (212) 967-5100 | FAX (212) 967-5588

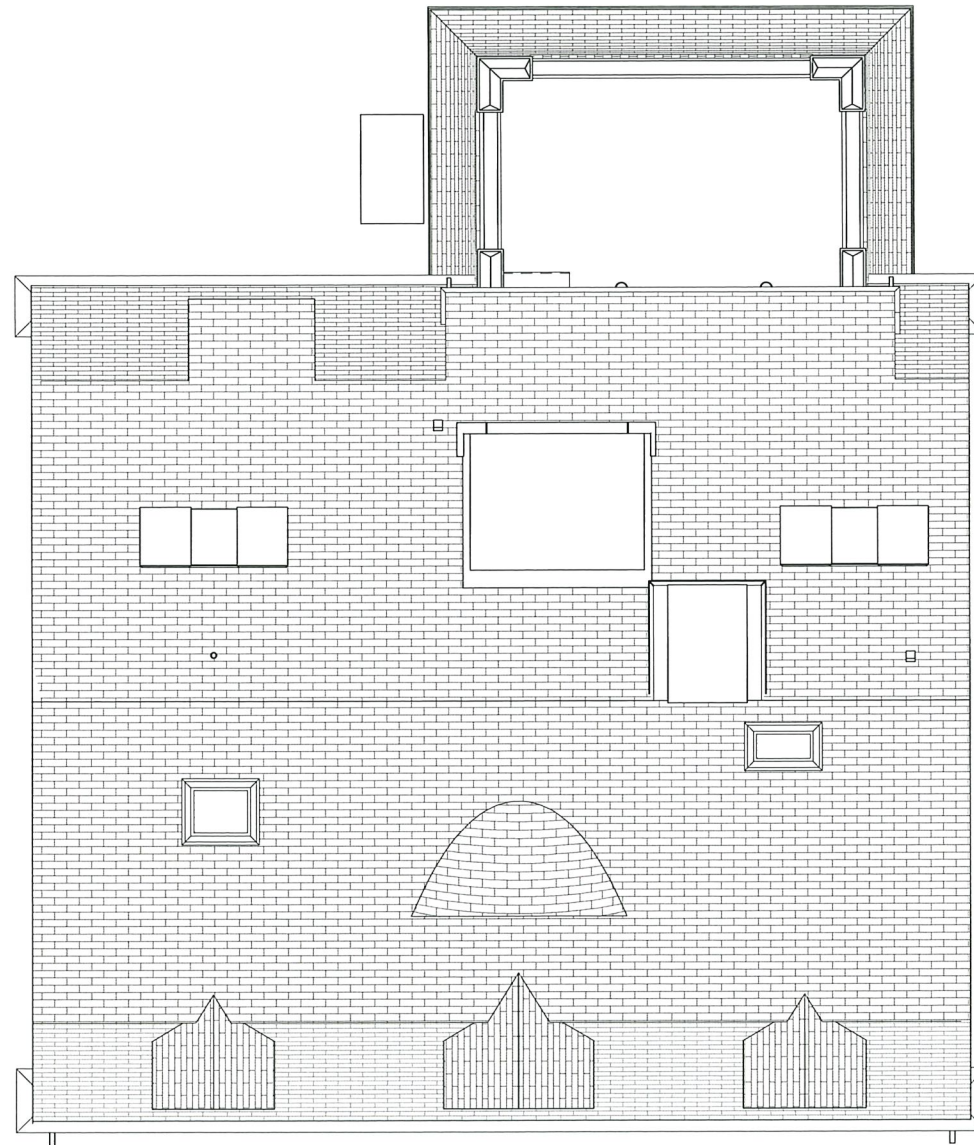
PROPOSED  
 FOURTH FLOOR PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-109



EXISTING ROOF PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL: (212) 967-5100 | FAX: (212) 967-5588

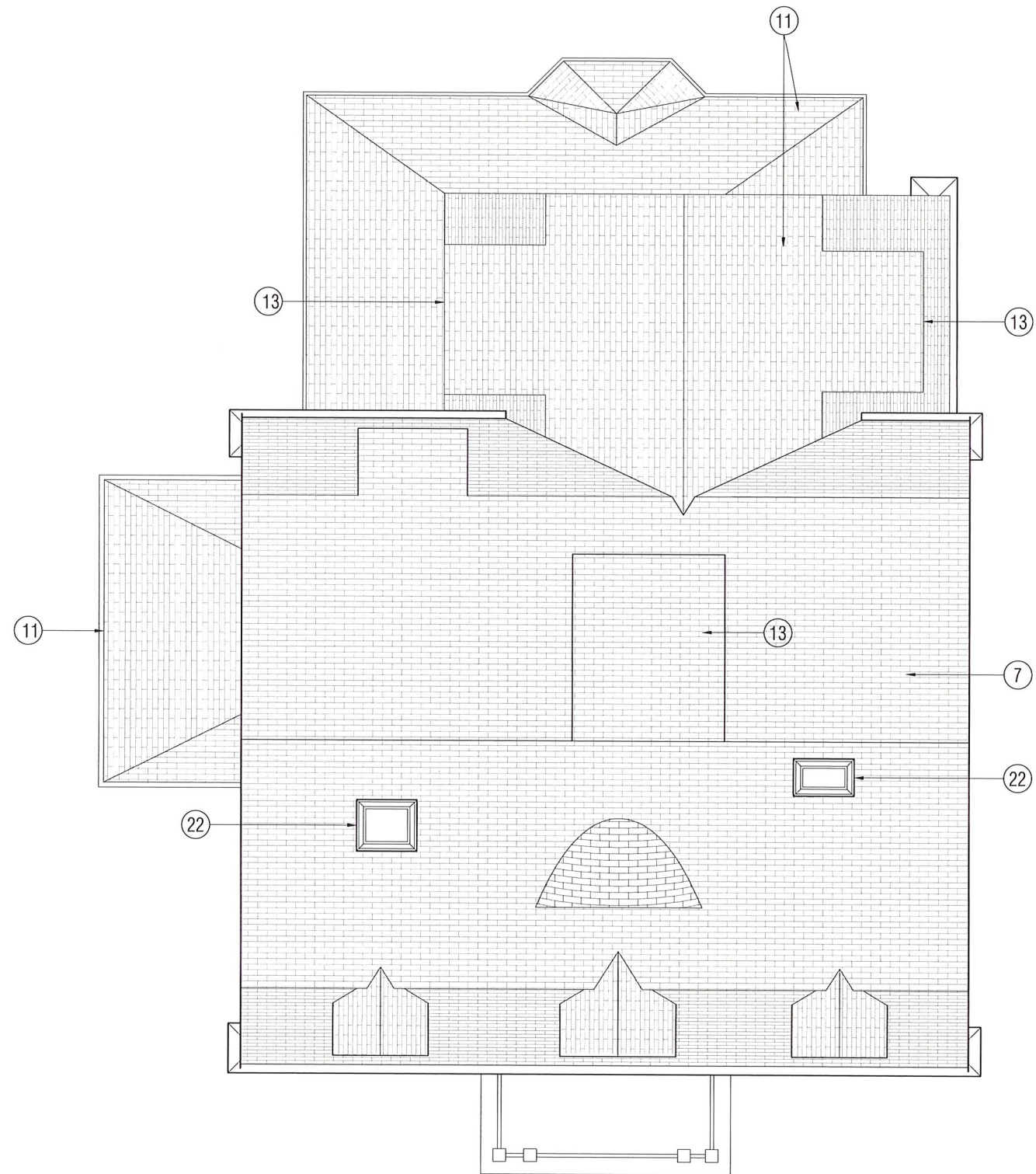
EXISTING  
 ROOF PLAN

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-110



PROPOSED ROOF PLAN



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

7	EXISTING ASPHALT SHINGLE ROOF TO BE REPAIRED AS NEEDED.
11	NEW ASPHALT SHINGLE ROOF.
13	NEW DORMER AND ASPHALT ROOF. DETAILING TO MATCH EXISTING.
22	EXISTING CHIMNEY STRUCTURE TO REMAIN AND BE REPAIRED AS REQUIRED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL. (212) 967-5100 | FAX (212) 967-5588

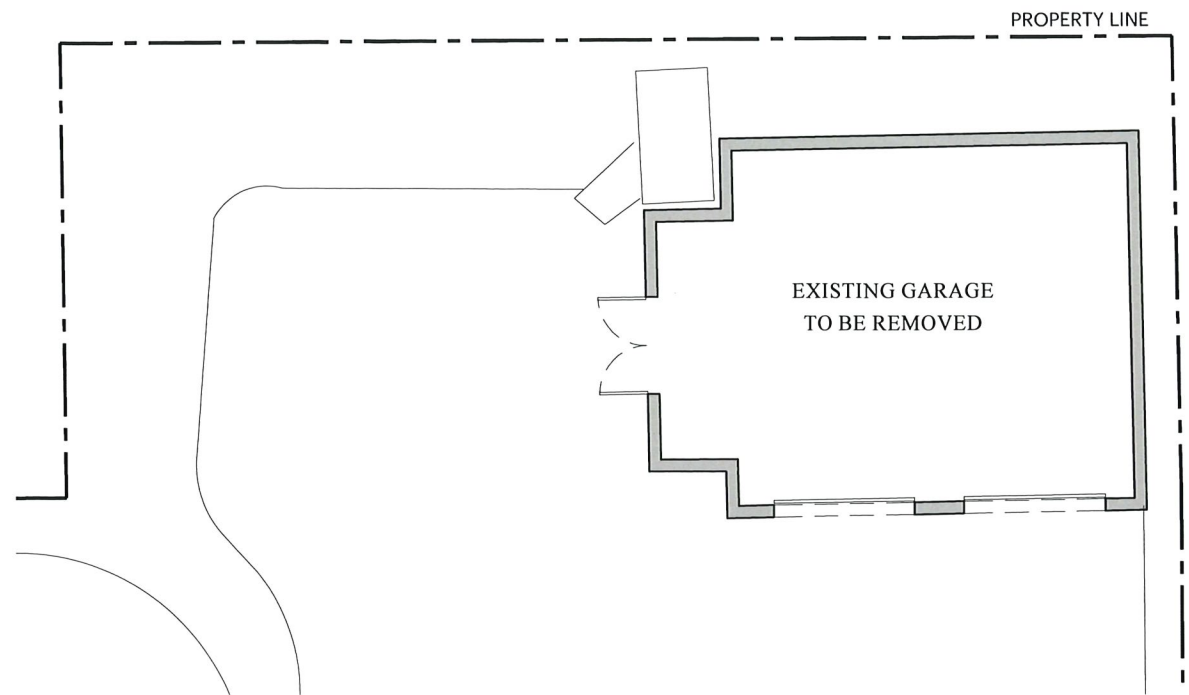
PROPOSED  
 ROOF PLAN

PROJECT NO.

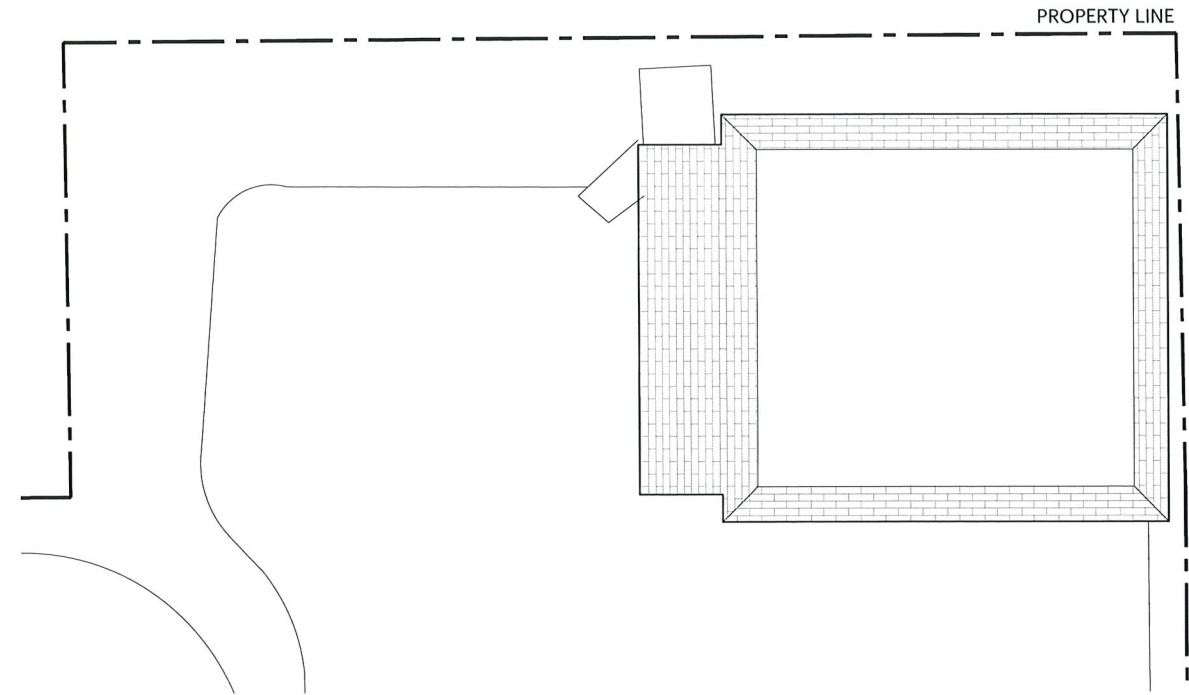
CAD FILE NO.

DRAWING NO.

A-111

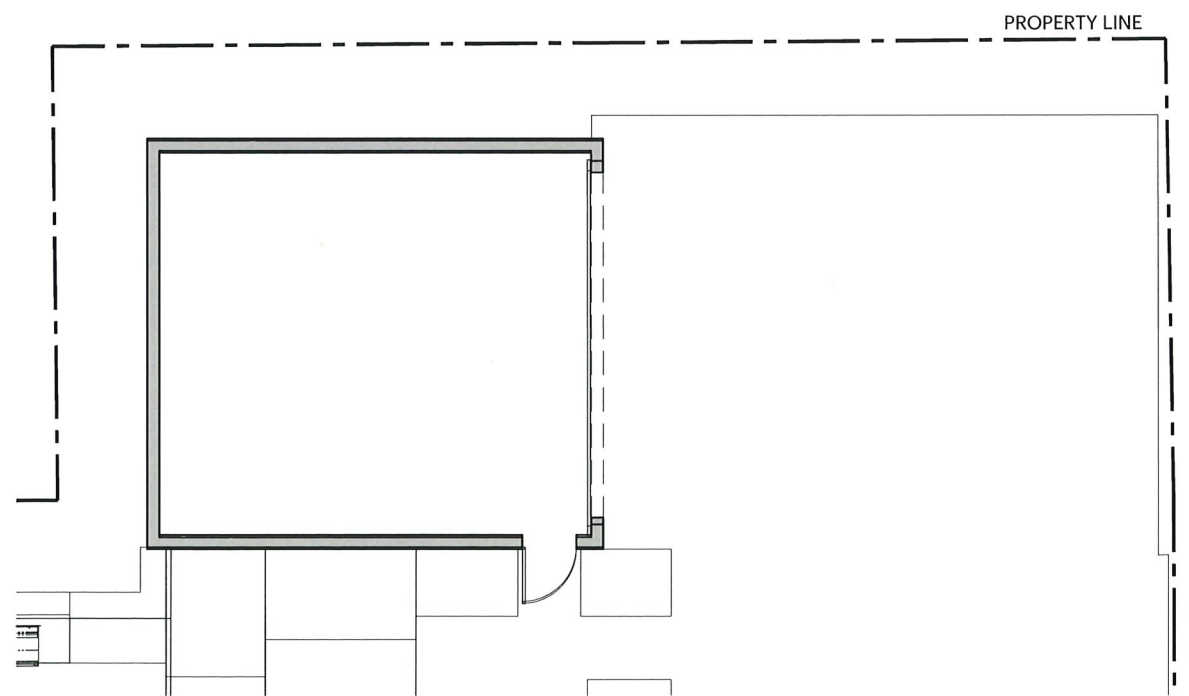


PLAN

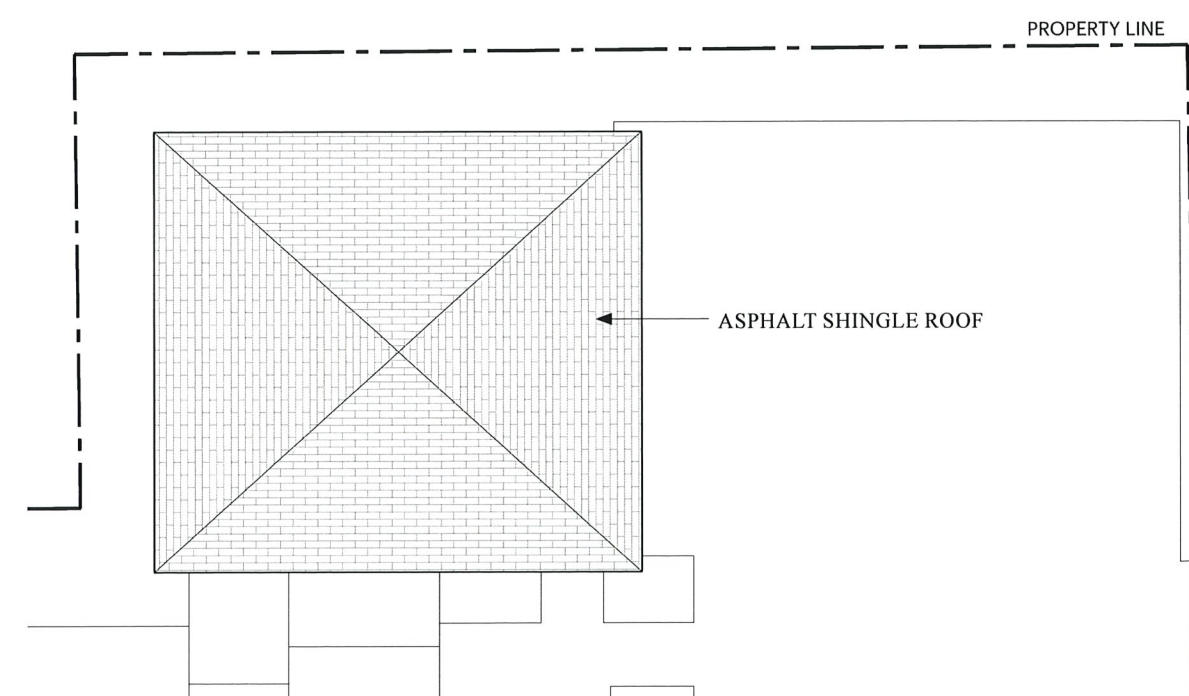


ROOF PLAN

EXISTING GARAGE



PLAN



ROOF PLAN

PROPOSED GARAGE



SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL: (212) 967-5100 | FAX: (212) 967-5588

GARAGE PLANS  
 EXISTING AND PROPOSED

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-112

LEGEND / NOTES

24	2000 / 2001 REAR ADDITION TO BE REMOVED
26	2000 / 2001 PARAPET WALL, DECK AND FRENCH DOOR TO BE REMOVED.
27	2000 / 2001 PORCH AND STEPS TO BE REMOVED.
29	2000 / 2001 SIDE ADDITION TO BE REMOVED.



DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
TEL. (212) 967-5100 | FAX (212) 967-5588

EXISTING ELEVATION -  
IRVING STREET (EAST)

PROJECT NO.  
CAD FILE NO.  
DRAWING NO.  
**A-200**

EXISTING ELEVATION - IRVING STREET (EAST)

SCALE: 3/32" = 1'  
0 2'-8 5/8" 4" 10'-8"





PROPOSED ELEVATION - IRVING STREET (EAST)

SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
11	NEW ASPHALT SHINGLE ROOF.
12	NEW BALUSTRADE ON EXISTING ROOF TO MATCH ORIGINAL.
19	REFURBISH PORCH AND STEPS AS REQUIRED.
22	EXISTING CHIMNEY STRUCTURE TO REMAIN AND BE REPAIRED AS REQUIRED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

PROPOSED ELEVATION -  
 IRVING STREET (EAST)

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-201



EXISTING ELEVATION - RIGHT SIDE (NORTH)

SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

24	2000 / 2001 REAR ADDITION TO BE REMOVED
28	2000 / 2001 GARAGE TO BE REMOVED.
29	2000 / 2001 SIDE ADDITION TO BE REMOVED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL. (212) 967-5100 | FAX (212) 967-5588

EXISTING ELEVATION -  
 RIGHT SIDE (NORTH)

PROJECT NO.  
 CAD FILE NO.  
 DRAWING NO.  
**A-202**



PROPOSED ELEVATION - RIGHT SIDE (NORTH)

SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
3	NEW OVAL WINDOW. SEE DETAIL PRECEDENTS A-300.
5	NEW PORCH AND STEPS. DETAILING TO MATCH EXISTING.
10	NEW GARAGE.
11	NEW ASPHALT SHINGLE ROOF.
12	NEW BALUSTRADE ON EXISTING ROOF TO MATCH ORIGINAL.
13	NEW DORMER AND ASPHALT ROOF. DETAILING TO MATCH EXISTING.
14	NEW EAVE. DETAILING TO MATCH EXISTING.
16	PAINTED WOOD SHINGLES TO MATCH EXISTING.
21	HISTORIC WINDOW RELOCATED AND REUSED. REFURBISH AS REQUIRED.
23	NEW BRACKET. SEE DETAIL PRECEDENTS A-300.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL: (212) 967-5100 | FAX: (212) 967-5588

PROPOSED ELEVATION -  
 RIGHT SIDE (NORTH)

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-203



EXISTING ELEVATION - REAR (WEST)

SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

20	HISTORIC EXISTING WINDOW TO BE RELOCATED.
24	2000 / 2001 CONSTRUCTION TO BE REMOVED
25	2010 CONSTRUCTION TO BE REMOVED
26	2000 / 2001 PARAPET WALL, DECK AND FRENCH DOOR TO BE REMOVED.
27	2000 / 2001 PORCH AND STEPS TO BE REMOVED.
29	2000 / 2001 SIDE ADDITION TO BE REMOVED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL. (212) 967-5100 | FAX (212) 967-5588

EXISTING ELEVATION -  
 REAR (WEST)

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-204

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
3	NEW OVAL WINDOW. SEE DETAIL PRECEDENTS A-300.
5	NEW PORCH AND STEPS. DETAILING TO MATCH EXISTING.
6	NEW ADDITION.
7	EXISTING ASPHALT SHINGLE ROOF TO BE REPAIRED AS NEEDED.
8	NEW OPENING IN EXISTING PORCH RAILING.
9	NEW DOOR AND TRIM TO MATCH EXISTING.
11	NEW ASPHALT SHINGLE ROOF.
13	NEW DORMER AND ASPHALT ROOF. DETAILING TO MATCH EXISTING.
14	NEW EAVE. DETAILING TO MATCH EXISTING.
15	NEW AWNING WINDOW AND TRIM TO MATCH EXISTING DETAILS.
16	PAINTED WOOD SHINGLES TO MATCH EXISTING.

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

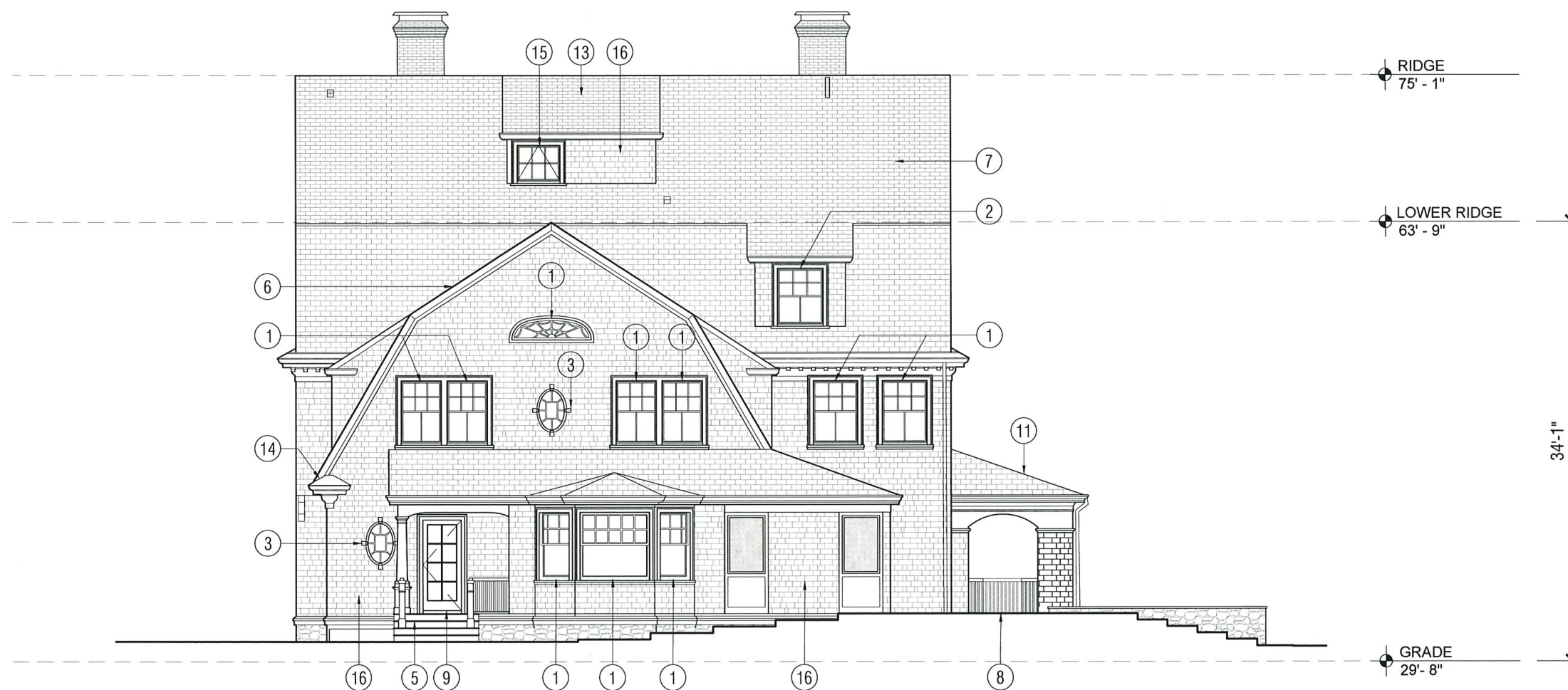
PROPOSED ELEVATION -  
REAR (WEST)

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-205



SCALE: 3/32" = 1'  
0 2' 4' 8'

PROPOSED ELEVATION - REAR (WEST)

LEGEND / NOTES

20	HISTORIC EXISTING WINDOW TO BE RELOCATED.
24	2000 / 2001 CONSTRUCTION TO BE REMOVED
25	2010 CONSTRUCTION TO BE REMOVED
26	2000 / 2001 PARAPET WALL, DECK AND FRENCH DOOR TO BE REMOVED.
27	2000 / 2001 PORCH AND STEPS TO BE REMOVED.
28	2000 / 2001 GARAGE TO BE REMOVED.



DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
TEL. (212) 967-5100 | FAX (212) 967-5588

EXISTING ELEVATION -  
LEFT SIDE (SOUTH)

PROJECT NO.  
CAD FILE NO.  
DRAWING NO.  
**A-206**

EXISTING ELEVATION - LEFT SIDE (SOUTH)





PROPOSED ELEVATION - LEFT SIDE (SOUTH)

SCALE: 3/32" = 1'  
 0 2' 4' 8'

LEGEND / NOTES

1	NEW WINDOW AND TRIM TO MATCH EXISTING.
2	UNLESS OTHERWISE NOTED, ALL EXISTING HISTORIC WINDOWS AND TRIM TO REMAIN AND BE REFURBISHED.
3	NEW OVAL WINDOW. SEE DETAIL PRECEDENTS A-300.
10	NEW GARAGE.
11	NEW ASPHALT SHINGLE ROOF.
12	NEW BALUSTRADE ON EXISTING ROOF TO MATCH ORIGINAL.
13	NEW DORMER AND ASPHALT ROOF. DETAILING TO MATCH EXISTING.
16	PAINTED WOOD SHINGLES TO MATCH EXISTING.
19	REFURBISH PORCH AND STEPS AS REQUIRED.
21	HISTORIC WINDOW RELOCATED AND REUSED. REFURBISH AS REQUIRED.
22	EXISTING CHIMNEY STRUCTURE TO REMAIN AND BE REPAIRED AS REQUIRED.

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

PROPOSED ELEVATION -  
 LEFT SIDE (SOUTH)

PROJECT NO.

CAD FILE NO.

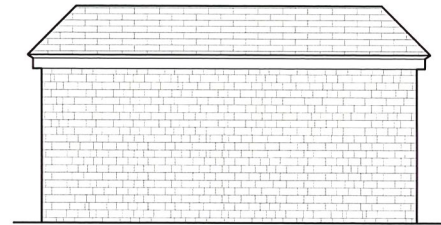
DRAWING NO.

A-207

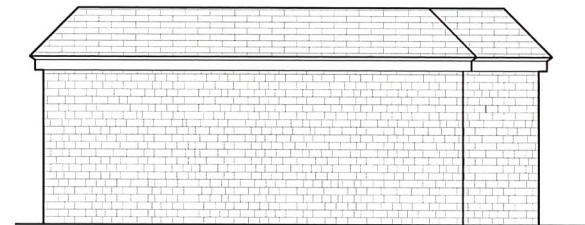
LEGEND / NOTES



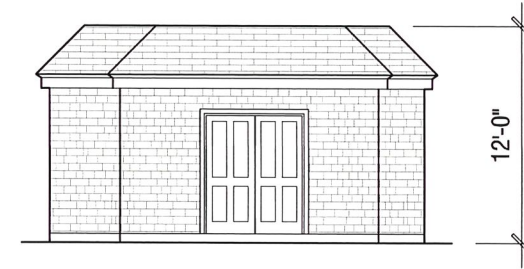
EAST



NORTH

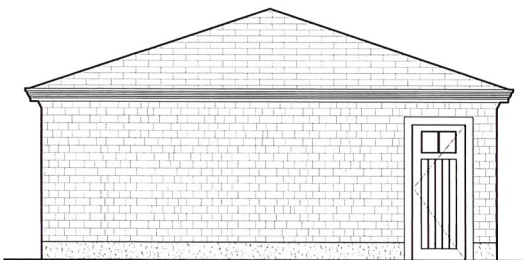


EAST



SOUTH

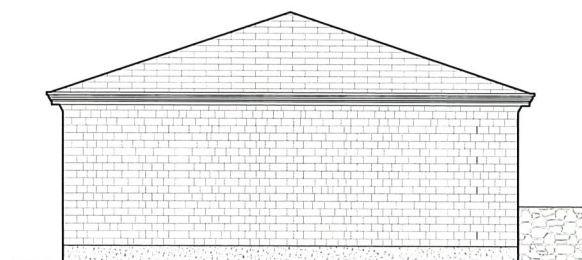
EXISTING GARAGE ELEVATIONS



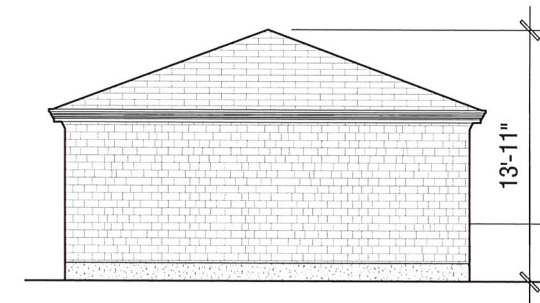
EAST



NORTH



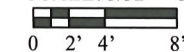
EAST



SOUTH

PROPOSED GARAGE ELEVATIONS

SCALE: 3/32" = 1'



DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

GARAGE ELEVATIONS  
EXISTING AND PROPOSED

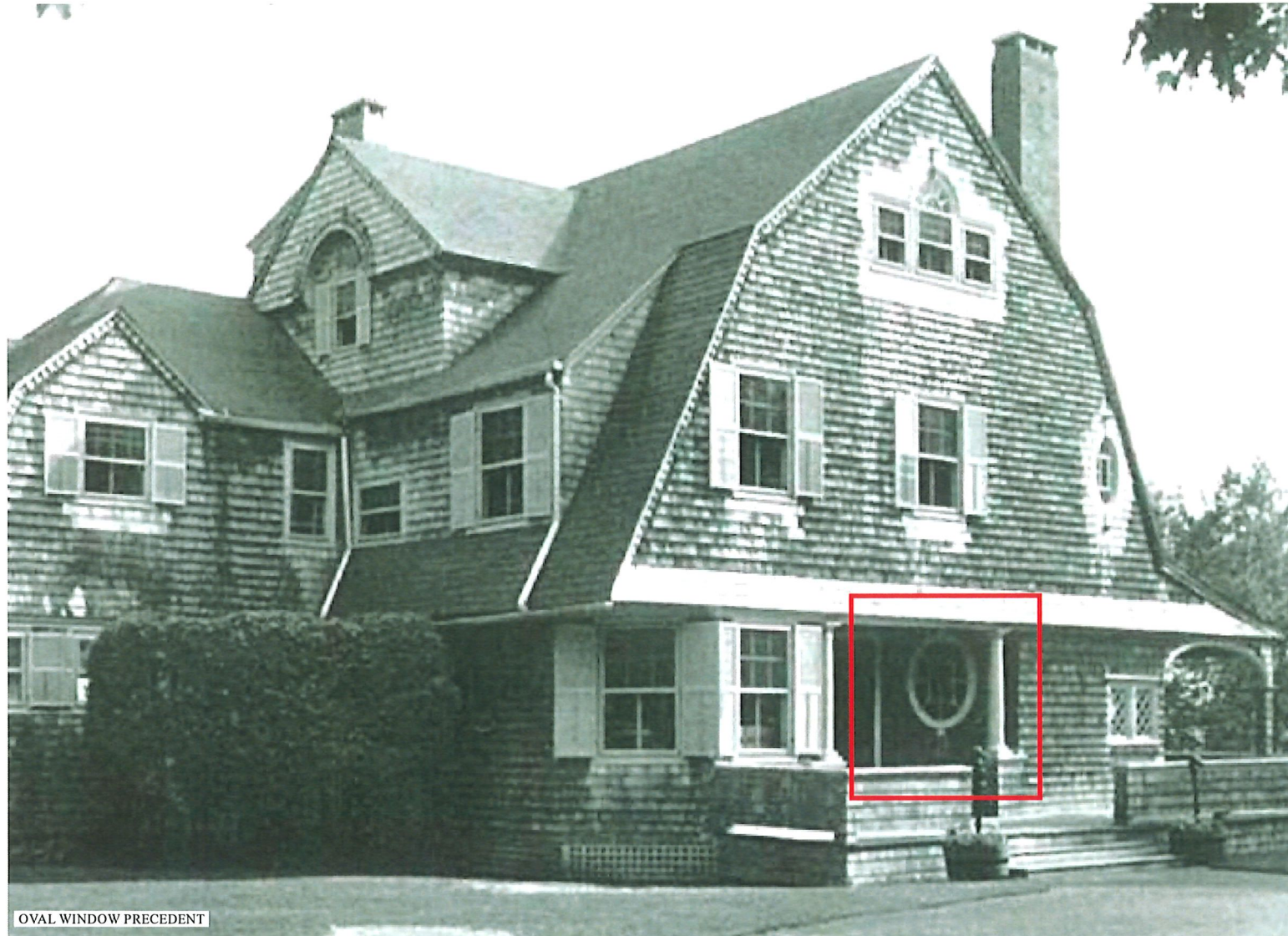
PROJECT NO.

CAD FILE NO.

DRAWING NO.

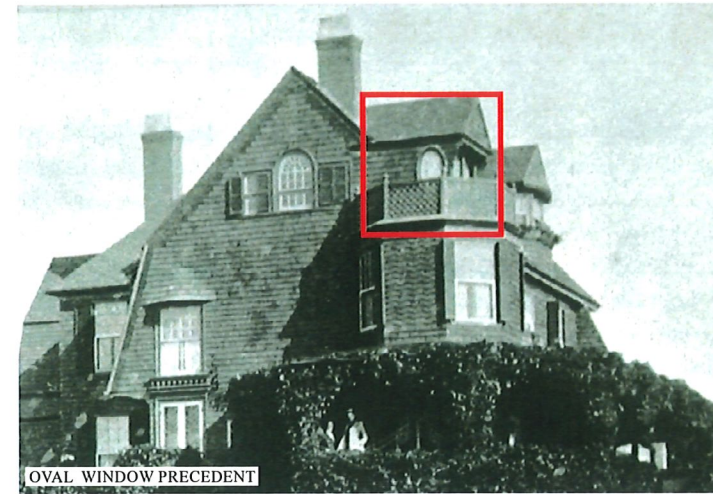
A-208





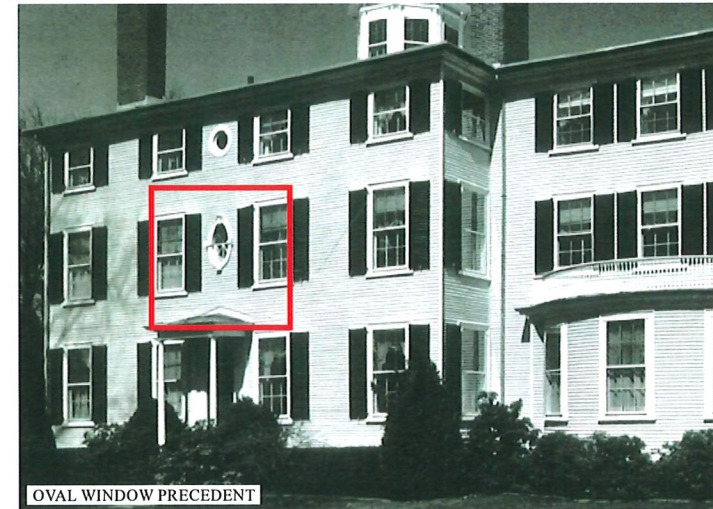
OVAL WINDOW PRECEDENT

THOMAS D. BLAKE COTTAGE, MAINE  
 ARCHITECT: WILLIAM RALPH EMERSON  
 DATE: 1891-1892  
 SOURCE: A DELIGHT TO ALL WHO KNOW IT. THE MAINE SUMMER ARCHITECTURE OF WILLIAM R. EMERSON BY ROGER G. REED



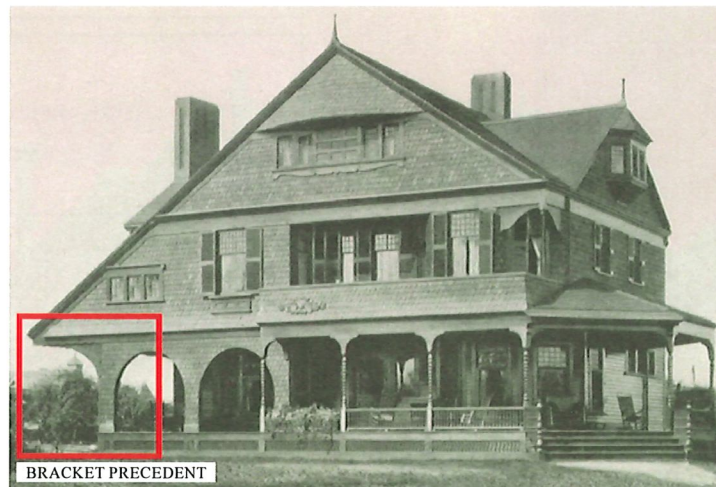
OVAL WINDOW PRECEDENT

FAIR HAVEN, SAMUEL H. JONES COTTAGE, MAINE  
 ARCHITECT: WILLIAM RALPH EMERSON  
 DATE: 1887-1888  
 SOURCE: A DELIGHT TO ALL WHO KNOW IT. THE MAINE SUMMER ARCHITECTURE OF WILLIAM R. EMERSON BY ROGER G. REED



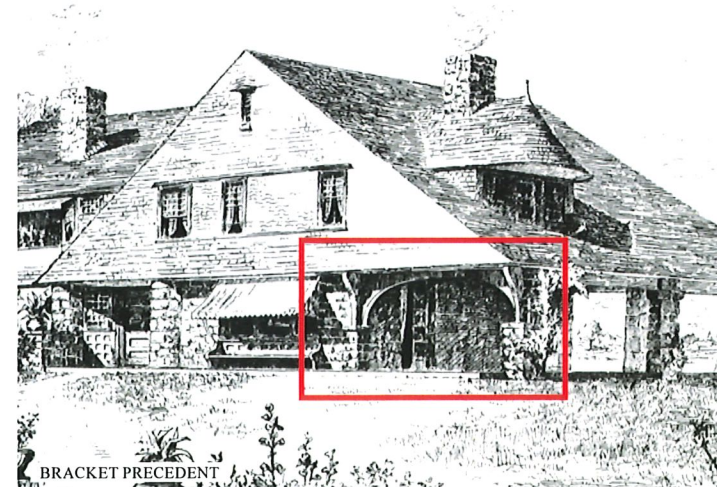
OVAL WINDOW PRECEDENT

CHARLES P. CLARK HOUSE - ADDITION, MAINE  
 ARCHITECT: WILLIAM RALPH EMERSON  
 DATE: 1898  
 SOURCE: A DELIGHT TO ALL WHO KNOW IT. THE MAINE SUMMER ARCHITECTURE OF WILLIAM R. EMERSON BY ROGER G. REED



BRACKET PRECEDENT

BEAURIVAGE JOHN B. DYER RESIDENCE, MICHIGAN  
 ARCHITECT: MASON AND RICE  
 DATE: 1886  
 SOURCE: AMERICAN COUNTRY HOUSES OF THE GILDED AGE: SHELDON'S "ARTISTIC COUNTRY-SEATS" / LEWIS, ARNOLD; SHELDON, GEORGE WILLIAM. -- MINEOLA: DOVER, 1982



BRACKET PRECEDENT

A HOUSE BY THE SEA  
 ARCHITECT: JOHN CALVIN STEVENS  
 DATE: 1886  
 SOURCE: SCULLY, VINCENT, ROBERT A.M. STERN. THE ARCHITECTURE OF THE AMERICAN SUMMER: THE FLOWERING OF THE SHINGLE STYLE. NEW YORK, NY: RIZZOLI, 1989



BRACKET PRECEDENT

FELSTED, FREDRICK LAW OLMSTED SUMMER HOUSE, MAINE  
 ARCHITECT: WILLIAM RALPH EMERSON  
 DATE: 1896  
 SOURCE: SUMMER HOUSES BY THE SEA: THE SHINGLE STYLE / MORGAN, BRET; OSSMAN, LAURIE. - NEW YORK: RIZZOLI, 2019.

LEGEND / NOTES

DATE ISSUED: 10/11/22

95 IRVING STREET  
 CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
 ONE PARK AVENUE, NEW YORK, NY 10016  
 TEL (212) 967-5100 | FAX (212) 967-5588

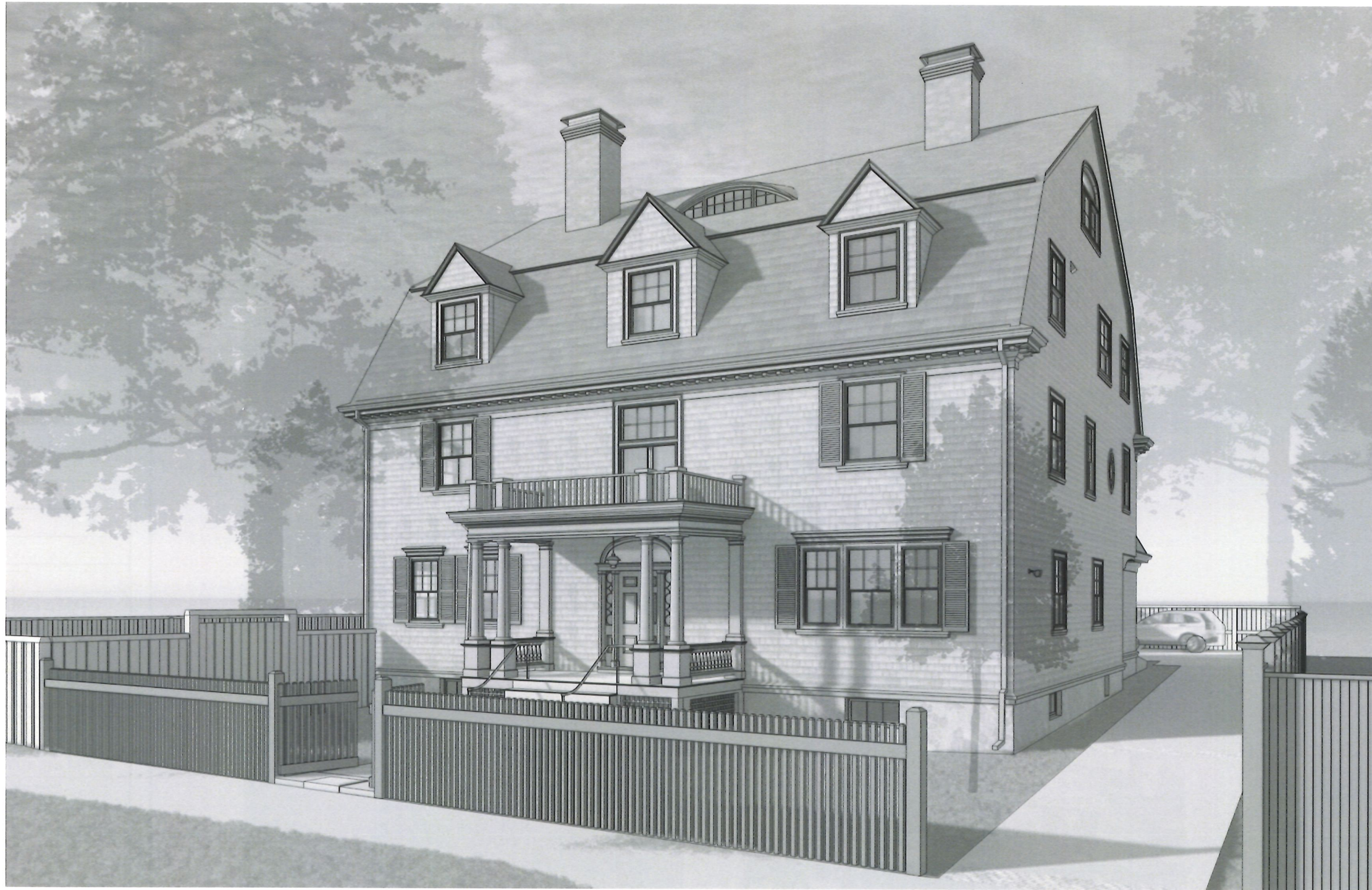
DETAIL  
 PRECEDENTS

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-300



PROPOSED VIEW FROM IRVING STREET LOOKING WEST

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-400



PROPOSED VIEW FROM THE SOUTHEAST

DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-401



PROPOSED VIEW FROM THE SOUTHWEST

REVISED: 12/09/22  
DATE ISSUED: 10/11/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

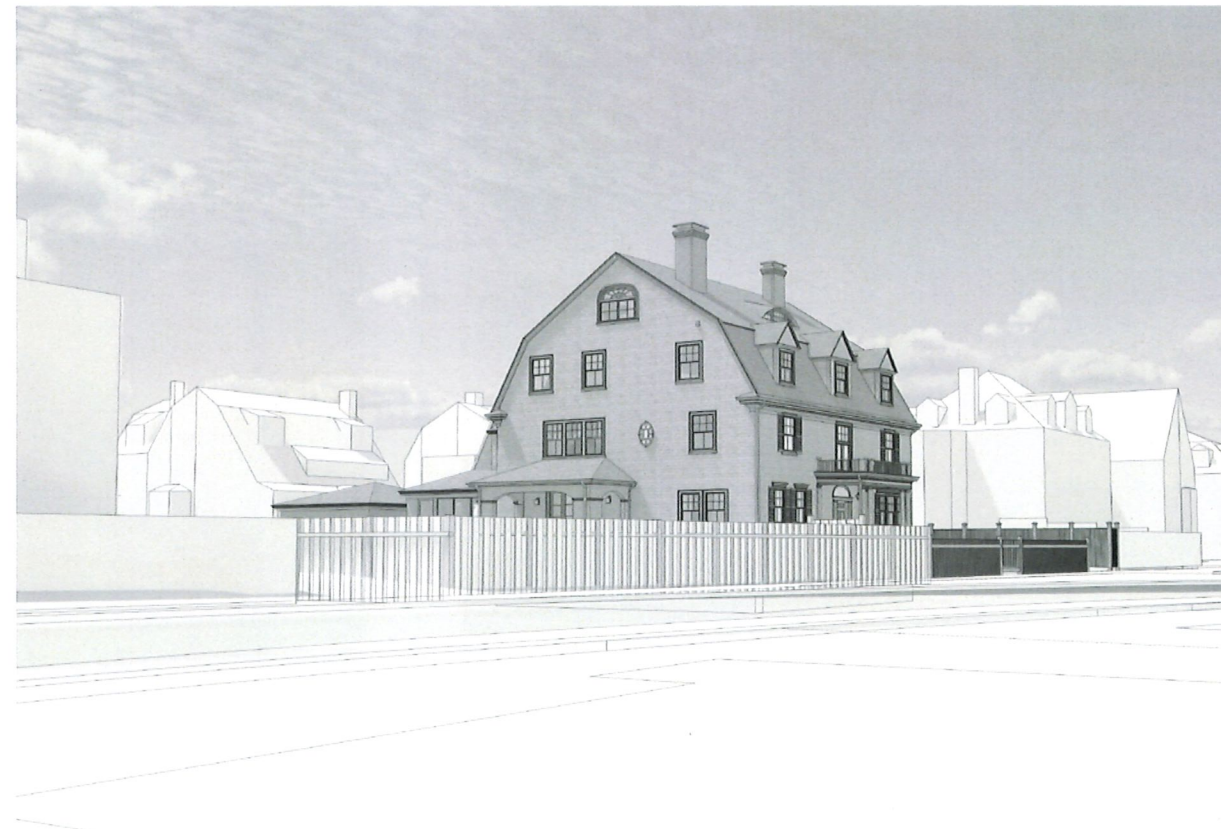
A-402



CURRENT VIEW FROM IRVING ST



CURRENT



PROPOSED

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-403



CURRENT VIEW FROM IRVING ST



CURRENT - WITH VEGETATION



PROPOSED - WITH VEGETATION

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL: (212) 967-5100 | FAX: (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-404



CURRENT VIEW FROM IRVING ST



CURRENT



PROPOSED

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-405

LEGEND / NOTES



CURRENT VIEW FROM IRVING ST



CURRENT - WITH VEGETATION



PROPOSED - WITH VEGETATION

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

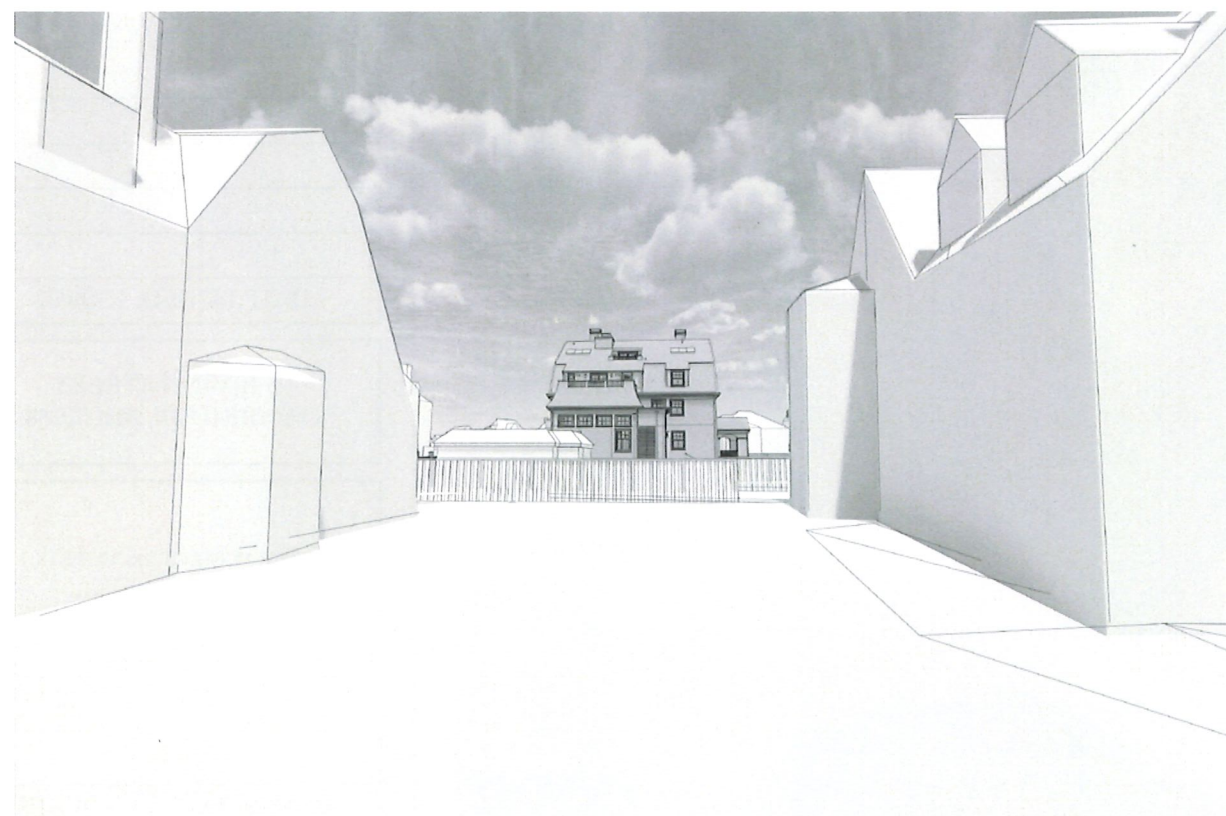
DRAWING NO.

A-406

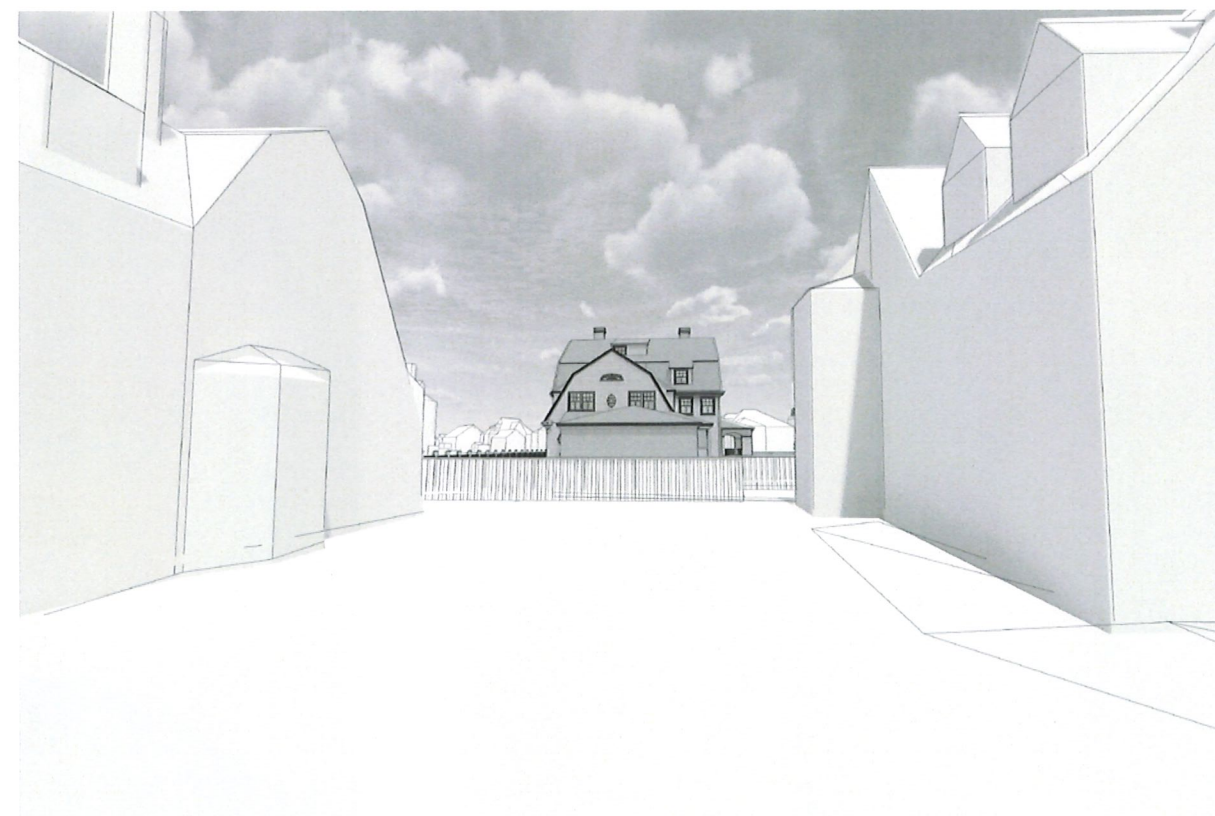




CURRENT VIEW FROM FRANCIS AVE



CURRENT



PROPOSED

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP  
ONE PARK AVENUE, NEW YORK, NY 10016  
TEL (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-407



CURRENT VIEW FROM FRANCIS AVE



CURRENT - WITH VEGETATION



PROPOSED - WITH VEGETATION

DATE ISSUED: 12/09/22

95 IRVING STREET  
CAMBRIDGE, MA 02138

ROBERT A.M. STERN ARCHITECTS, LLP

ONE PARK AVENUE, NEW YORK, NY 10016  
TEL. (212) 967-5100 | FAX (212) 967-5588

PERSPECTIVE RENDERING

PROJECT NO.

CAD FILE NO.

DRAWING NO.

A-408