

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 418 Media LLC (OWNER)

Address: 250 Dorchester Ave, 2nd floor Boston, MA 02127

State that I/We own the property located at 1043-1059 Cambridge St Cambridge, MA which is the subject of this zoning application.

The record title of this property is in the name of 418 Media LLC

*Pursuant to a deed of duly recorded in the date 11/2013, Middlesex South County Registry of Deeds at Book 62948, Page 253; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____



SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Sean D Hope personally appeared before me, this 22 of August, 2018, and made oath that the above statement is true.

Patrick F. Rosseel II Notary

My commission expires April 2025 (Notary Seal).



PATRICK F.ROSSEEL II
Notary Public
Commonwealth of Massachusetts
My Commission Expires April 25, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the Ordinance would involve a substantial hardship to the Petitioner because the lot (two combined parcels) is irregularly shaped containing as many as five (5) side yards abutting three streets sited on a corner lot. Without relief the required side yards setback for the residential portion of the building would severely limit the buildable footprint thereby eliminating the residential development including the three affordable units.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to the odd shape of the lot that creates onerous setbacks for residential uses on the site. Further the building faces a Cambridge Street and the Planning Board (Case No. 336) required ground floor retail which also impacts the location of the residential dwellings on the upper floors.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

1) Substantial detriment to the public good for the following reasons:

Desirable relief may be granted without substantial detriment to the public good because the project contains active ground floor retail and residential units which supports the character of Cambridge Street without overcrowding, nuisance or congestion.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Desirable relief may be granted without nullifying or derogating from the intent or purpose of this Ordinance because the Planning Board in its approval found that the project satisfied all the Urban Design requirements of Article 19.20 and supported the site of the residential units despite being within the setbacks.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Hope Legal law Offices **PRESENT USE/OCCUPANCY:** Commercial
LOCATION: 1043 Cambridge St Cambridge, MA **ZONE:** Business A/Residence C-2B Z
PHONE: 6174920220 **REQUESTED USE/OCCUPANCY:** Mixed-Use

| | <u>EXISTING CONDITIONS</u> | <u>REQUESTED CONDITIONS</u> | <u>ORDINANCE REQUIREMENTS</u> ¹ | |
|---|---------------------------------------|--|---|------------|
| <u>TOTAL GROSS FLOOR AREA:</u> | 7,000 | 29,866* | 29,866sf | (max.) |
| <u>LOT AREA:</u> | 15,686sf | 15,686sf | 5,000 | (min.) |
| <u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ² | .45 | 1.75 | 1.75 | (max.) |
| <u>LOT AREA FOR EACH DWELLING UNIT:</u> | n/a | 600 | 600 | (min.) |
| <u>SIZE OF LOT:</u> | WIDTH | 140' | 140' | (min.) |
| | DEPTH | **138'+/- | 138'+/- | (min.) |
| <u>SETBACKS IN FEET:</u> | FRONT | 0'/10' | 0'/10' | (min.) |
| | REAR | n/a | n/a | (min.) |
| | LEFT SIDE | 0 | 28.46 | (min.) |
| | RIGHT SIDE | 0 | 25.3 | (min.) |
| <u>SIZE OF BLDG.:</u> | HEIGHT | 16' | 45' | (max.) |
| | LENGTH | 65' | 106' | (min.) |
| | WIDTH | 100' | 93'6" | (min.) |
| <u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u> | 0 | 15% | 15% | (min.) |
| <u>NO. OF DWELLING UNITS:</u> | 0 | 18 | 26 | (max.) |
| <u>NO. OF PARKING SPACES:</u> | 0 | 13 | 18 | (min./max) |
| <u>NO. OF LOADING AREAS:</u> | 1 | 0 | 0 | (min.) |
| <u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u> | n/a | n/a | n/a | (min.) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

*include the 30% density bonus allowed by section 11.30.
**depth of the lot varies because of its irregular shape.

- SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



**CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100**

2018 AUG 22 PM 12:01

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Plan No: BZA-017003-2018

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : v Appeal : _____

PETITIONER : 418 Media Real Estate LLC - C/O Sean D. Hope, Esq.

PETITIONER'S ADDRESS : 675 Massachusetts Avenue Cambridge, MA 02139

LOCATION OF PROPERTY : 1043-1059 Cambridge St Cambridge, MA

TYPE OF OCCUPANCY : 4.35/4.31 ZONING DISTRICT : Business A/Residence C-2B
Zone

REASON FOR PETITION :
New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner request Variance relief to locate the residential portion of its Mixed-Use Development approved by the Planning Board (Case No. 336) within the side yard setback(s).

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).
Article 10.000 Section 10.30 (Variance).

Original Signature(s) : 
(Petitioner(s) / Owner)

Sean D. Hope
(Print Name)

Address : 675 Massachusetts Avenue
Cambridge, MA 02139

Tel. No. : 617.492.0220

E-Mail Address : sean@hopelegal.com

Date : August 20, 2018

1043-1059 Camb. St.

Petitioner
SEAN D. HOPE, ESQ.
675 MASS AVENUE
CAMBRIDGE, MA 02139

80-2
MARTINS FAMILY LLC
15 SUMMIT AVE
SOMERVILLE, MA 02143

80-3
MASSACHUSETTS ALLIANCE OF
PORTUGESE SPEAKERS
1046 CAMBRIDGE
CAMBRIDGE, MA 02139

80-147
KOMESSAR, DAVID, SAUL KOMESSAR &
DEBRA MAGIER TRUSTEE
P.O. BOX 920448
NEEDHAM, MA 02492

81-104
PIMENTEL, CARLOS, MARIO PIMENTEL,
ROBERT PIMENTEL & PAUL PIMENTEL
C/O C.L.M. AUTOMOTIVE
306 WEBSTER AVENUE
CAMBRIDGE, MA 02141

81-3
PIMENTEL, MARIO, CARLOS PIMENTEL &
ROBERT E. PIMENTEL
294-306 WEBSTER AVE.
CAMBRIDGE, MA 02141

81-20
GLASSMAN, JAMES H. TR.
C/O 305 WEBSTER AVE CONDOMINIUMS LLC
531 SECOND STREET
EVERETT, MA 02149

81-99
GRILL, MICHAEL S., HILLARY S. BROWN & BRIAN BAI
TRUSTEE OF 432 COLUMBIA ST TR.
C/O FAIRLANE PROPERTIES
1035 CAMBRIDGE ST
CAMBRIDGE, MA 02141

81-100
LONG, GISELLE COSTA,
TR. THE MARIA COSTA LARANJEIRA IRREV TRS
15 POND TER
WOBURN, MA 01801

81-101-102
418 REAL ESTATE LLC
75 CAMBRIDGE PARKWAY, #E1201
CAMBRIDGE, MA 02142

80-128
JAS PROPERTIES
243 BROADWAY
MANAGEMENT OFFICE
CAMBRIDGE, MA 02139

81-103
FAIRLANE COLUMBIA, LLC.
1035 CAMBRIDGE ST
CAMBRIDGE, MA 02141

81-103
JUST A START CORPORATION
ATTN: L CURRY
P.O. BOX 410310
CAMBRIDGE, MA 02141

81-103
1035 CAMBRIDGE STREET, LLC
1035 CAMBRIDGE ST., #13
CAMBRIDGE, MA 02141

81-103
FAIRLANE COLUMBIA, LLC
1035 CAMBRIDGE ST
CAMBRIDGE, MA 02141

81-103
YA ZHOU WEN HUA ENTERPRISES LIMITED
15 EAST 40TH ST
NEW YORK, NY 10016

81-103
FAIRLANE COLUMBIA, LLC.
1035 CAMBRIDGE ST
CAMBRIDGE, MA 02141

81-103
KETABI, MAHMOUD & DAGFINN SAETHER,
TRS MDM REALTY TRUST
C/O ADMIN INC
219 LEWIS WHARF
BOSTON, MA 02110

81-103
RANA ASSOCIATES C/O ADMINS INC
219 LEWIS WHARF
BOSTON, MA 02110

81-103
YA ZHOU WEN HUA ENTERPRISES LIMITED
15 EAST 40TH ST.
NEW YORK, NY 10016

82-107
BERGER, COLBY S.
303-315 ELM ST. UNIT#303/2
CAMBRIDGE, MA 02139

82-107
SMITH, FRANCIS R. II
30 BRADLEY LANE
STOW, MA 01775

82-107
GOULD, ELLIOTT J.
25-27 CLAREMON ST
SOMERVILLE, MA 02144

82-107
KENSKY, EITAN & JENNIFER B. BROXMEYER
1775 MASSACHUSETTS AVE., APT #6.
CAMBRIDGE, MA 02140

81-103
DALLMUS, CHRISTOPHER L. & JOHN F. GIFFORD
1035 CAMBRIDGE ST STE#18B
CAMBRIDGE, MA 02141

82-107
BARKLEY, SOLOMON
303-315 ELM ST., #305/3
CAMBRIDGE, MA 02139

81-103
YA ZHOU WEN HUA ENTERPRISES LIMITED
15 EAST 40TH STREET
NEW YORK, NY 10016

81-103
MONTAGUE, DAVID G. & ALISON M.
MONTAGUE, TRUSTEES OF, ET-AL
1035 CAMBRIDGE STREET BOX 29
CAMBRIDGE, MA 02141

82-93
RODRIGUES, CRISTIANO, ROSA RODRIGUES,
ANTONIO LUIS & MARIA G. LUIS
11 GRANT STREET
SOMERVILLE, MA 02145

82-107
NOLL, MICHAEL P.
303-315 ELM ST. UNIT#303/1
CAMBRIDGE, MA 02139

1043-1059 Camb. St.

82-107
LUK-CYR, JACQUES & MICHAEL CYR
303-315 ELM ST., #315/4
CAMBRIDGE, MA 02139

82-107
LIU, DONG
303-315 ELM ST., #315/3
CAMBRIDGE, MA 02140

82-107
IGNATIEV, KONSTANTIN
66 DIMICK ST., UNIT #1
SOMERVILLE, MA 02143

82-107
SALEHI, ROYA & ALIREZA ASIAII
303-315 ELM ST., #315/1
CAMBRIDGE, MA 02144

82-107
HAYS, DEREK
303-315 ELM STREET, UNIT 313/3
CAMBRIDGE, MA 02139

82-107
VU, CHAU
303-315 ELM ST 313/2
CAMBRIDGE, MA 02139

82-107
UGLJESA, ALEXANDRA
303-315 ELM ST. UNIT#313/1
CAMBRIDGE, MA 02139

82-107
AGARWAL, SACHIN S.
303-315 ELM ST. UNIT#309/3
CAMBRIDGE, MA 02139

82-107
HENKE, ULRICH & MARGARET HENKE
309 ELM ST., #2
CAMBRIDGE, MA 02139

82-107
CHICHIRAU, COSETTE PAULA
303-315 ELM ST. #309/1
CAMBRIDGE, MA 02139

82-107
BUCK, DAVID ALAN
307 ELM ST. UNIT#3
CAMBRIDGE, MA 02139

82-107
WILSON, LAURA
280 EDENFIELD AVE
WATERTOWN, MA 02472

82-107
MERRIFIELD, CATHERINE G. &
MATTHEW BRADLEY MERRIFIELD
1230 23RD ST., NW UNTI 920
WASHINGTON, DC 20037

Project Summary:

4-story mixed-use building of approx. 29,000 GSF with 4300 sf ground floor retail space, 18 residential units, and 13 enclosed residential parking spaces



DRAWING LIST

Architectural Plans

- A000 Cover Sheet
- A001 Existing Plan
- A003 Side Yard Setback West
- A004 Side Yard Setback North
- A005 Open Space
- A011 Existing Conditions Photos
- A100 Basement Plan
- A101 Ground Floor Plan
- A102 Floor 2
- A103 Floor 3
- A104 Floor 4
- A105 Roof Plan
- A110 Parking and Access Plan
- A111 Bicycle Parking Plan
- A112 Elm St Lot Extension
- A201 Exterior Elevations 1
- A202 Exterior Elevations 2
- A203 Building Materials Palette
- A204 Section
- A205 Railings and Screening
- A301 Perspective Views
- A302 Perspective Views
- A303 Shadow Study
- A400 Rendering - Day
- A401 Rendering - Evening

Civil Plans

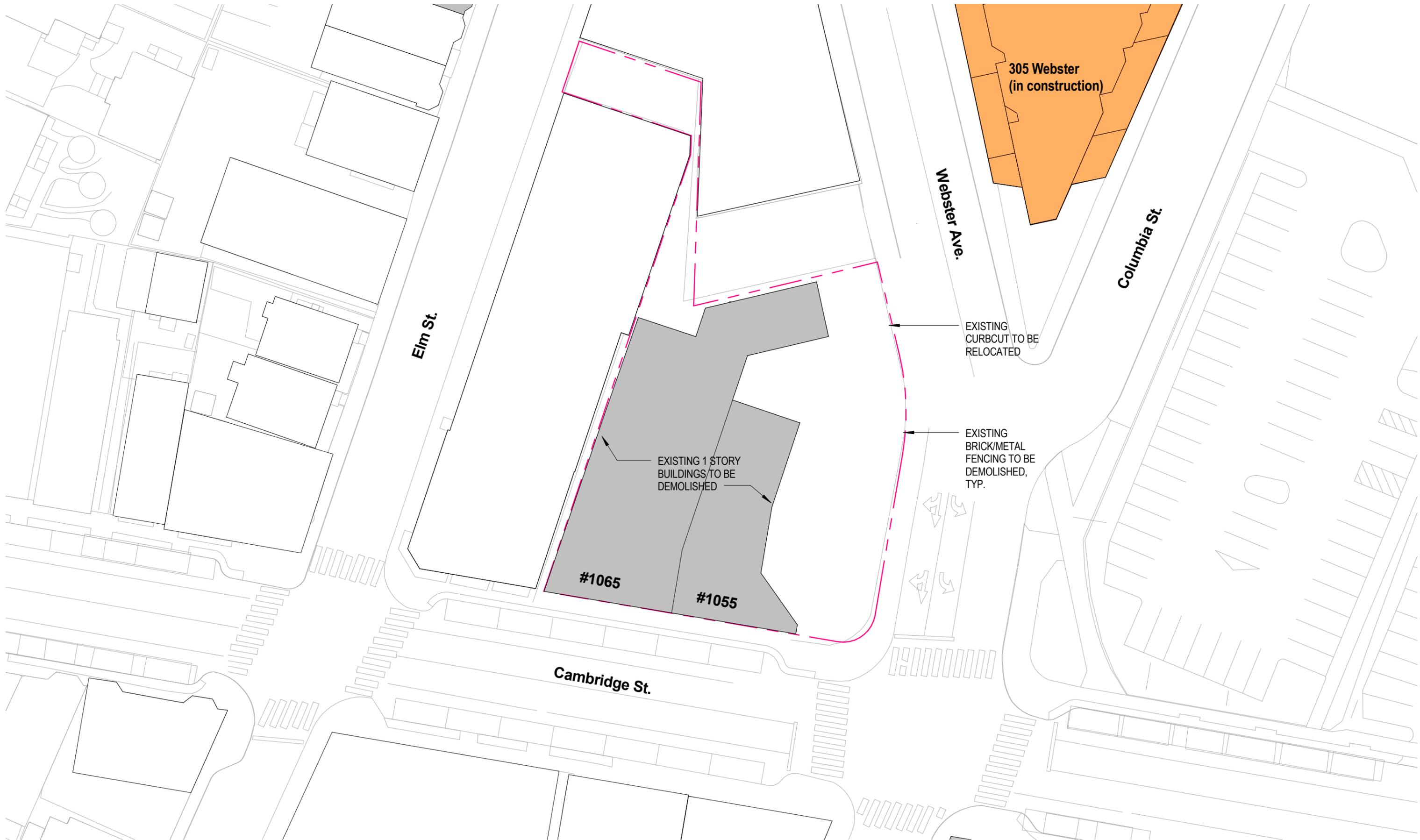
- C1.00 Soil Erosion Control and Utility Preparation Plan
- C2.00 Site Utilities Plan
- C3.00 Site Grading Plan
- C4.01 Civil Details
- C4.02 Civil Details

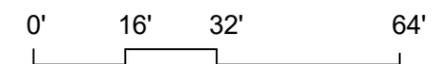
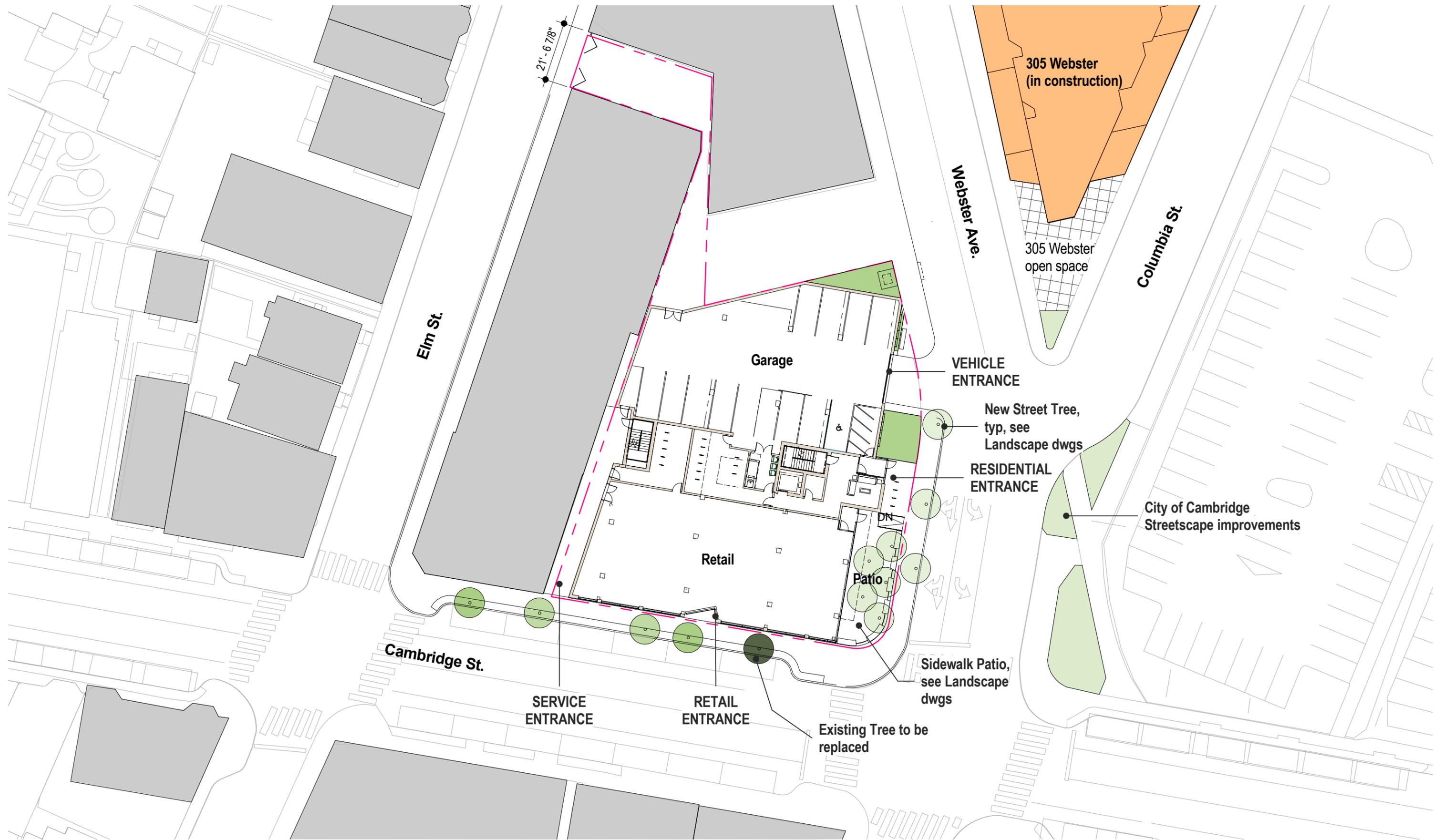
Landscape Plans

- Street Level
- Common Space
- Roof Terrace
- Planting and Materials Plan
- Planting and Materials Plan 2
- Planting and Materials Plan 3

SPECIAL PERMIT APPLICATION
Volume II: Plans and Drawings
Revised: July 3rd 2018







Key

- S Setback
- FA Facing Area (LxH)
- L Length
- H Height

5.24.4 Multiple vertical planes calculation

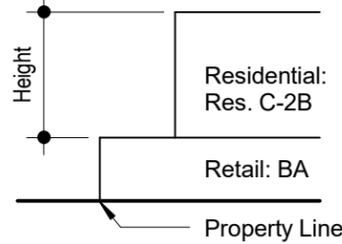
$$(S1 \times FA1) + (S2 \times FA2) \geq ((\text{Single plane } S) \times (\text{Single plane FA}))$$

$$(10.65 \times (59.85 \times 30.65)) + (44.49 \times (45.20 \times 30.65)) \geq (28.46 \times (111.65 \times 30.65))$$

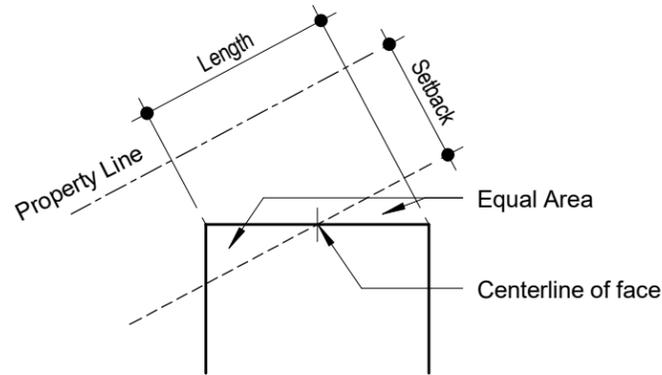
81,171.95 \geq 97,392.18

Note:

Setback formula in accordance with 5.24.4
 Height + facing area (FA) are calculated from the top of floor 1 to roof
 (see diagram below)



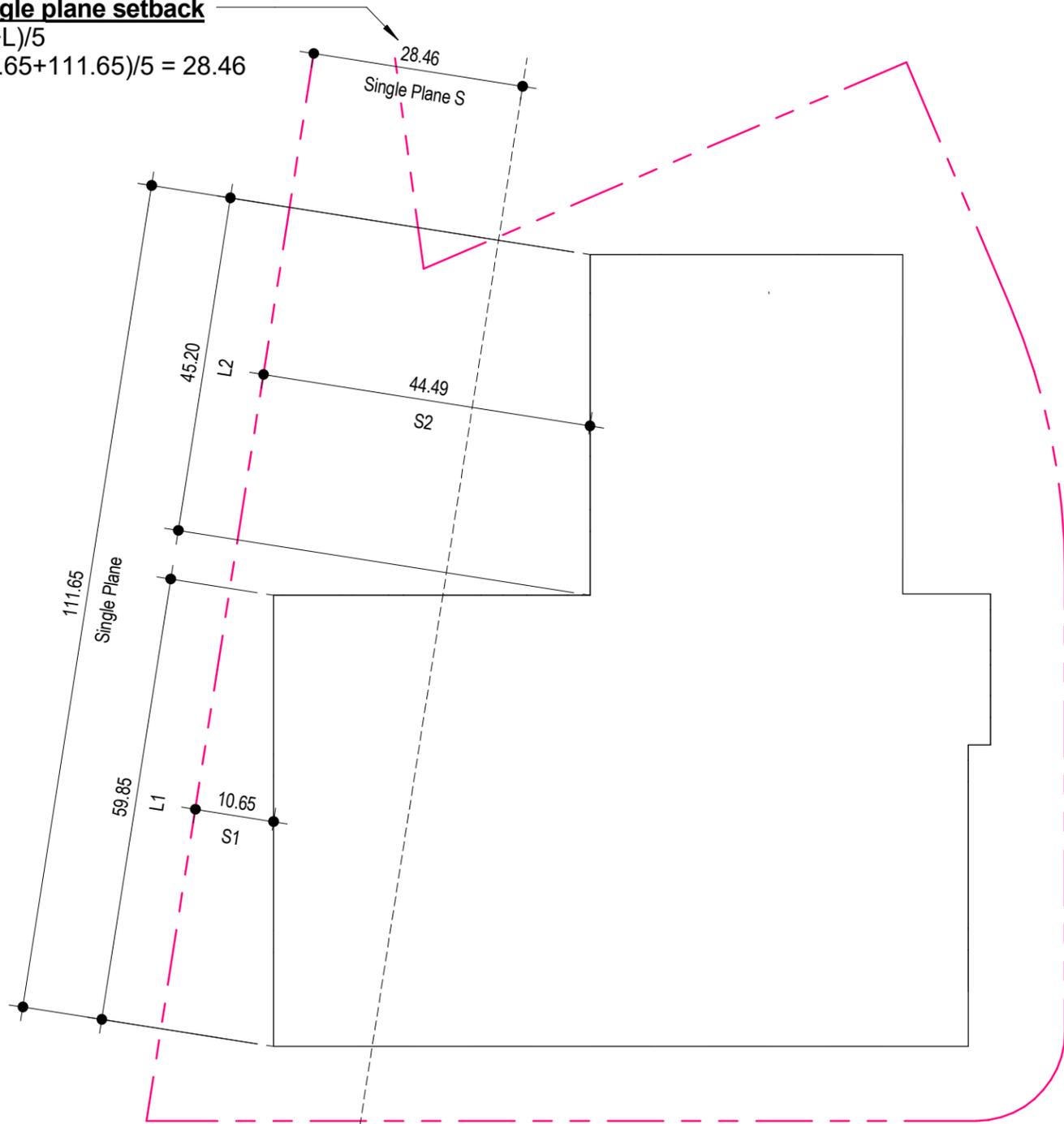
Due to the irregular shape of the site and non-parallel nature of the building faces to the property line:
 Setback distances are measured to the centerline of facade faces in order to assure equal area is in front/behind the desired setback distance. (see diagram below)



Single plane setback

$$(H+L)/5$$

$$(30.65+111.65)/5 = 28.46$$



Sideyard Setbacks West

1" = 20'-0"

Key

S Setback
 FA Facing Area (LxH)
 L Length
 H Height

5.24.4 Multiple vertical planes calculation

$$(S1 \times FA1) + (S2 \times FA2) + (S3 \times FA3) \geq ((\text{Single plane } S) \times (\text{Single plane } FA))$$

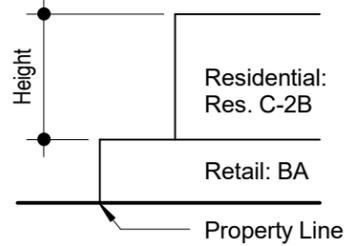
$$(15.17 \times (38.70 \times 30.65)) + (28.01 \times (17.95 \times 30.65)) + (40.77 \times (39.18 \times 30.65)) \geq (25.30 \times (95.83 \times 30.65))$$

$$82,363.51 \geq 74,310.89$$

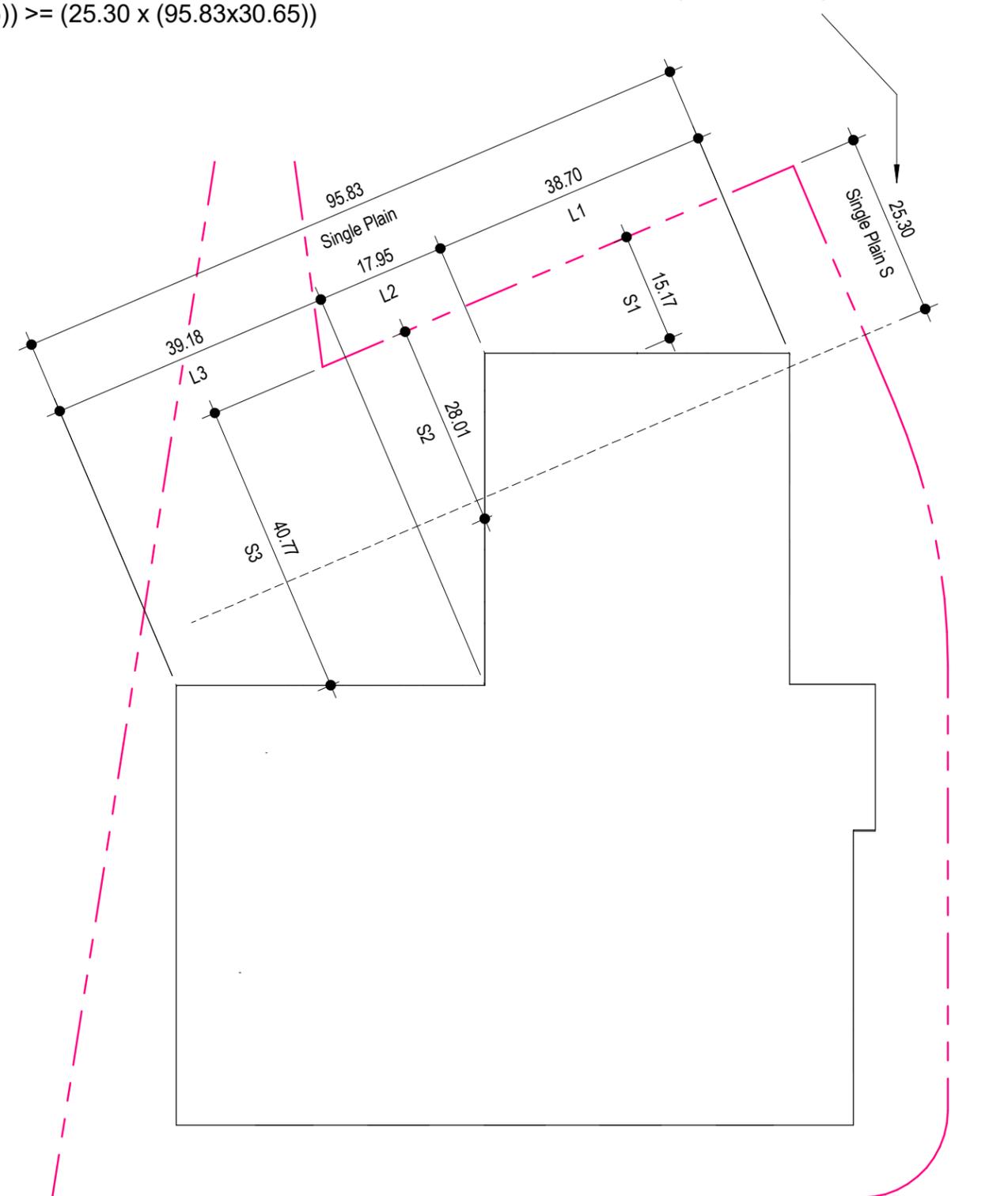
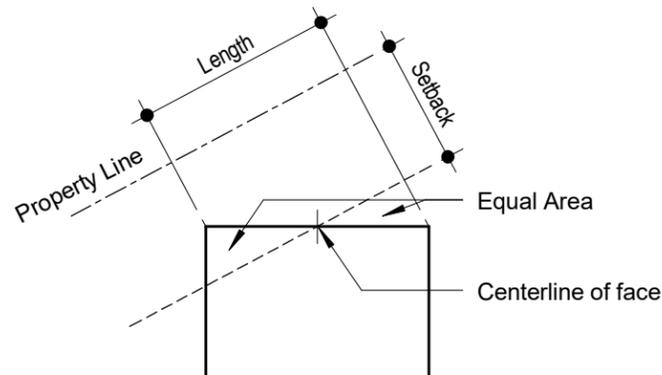
Single plane setback
 $(H+L)/5$
 $(30.65+95.83)/5 = 25.30$

Note:

Setback formula in accordance with 5.24.4
 Height + facing area (FA) are calculated from the top of floor 1 to roof
 (see diagram below)

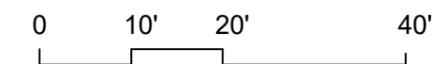


Due to the irregular shape of the site and non-parallel nature of the building faces to the property line:
 Setback distances are measured to the centerline of facade faces in order to assure equal area is in front/behind the desired setback distance. (see diagram below)



Sideyard Setbacks North

1" = 20'-0"



Open Space Requirements:

Section 5.22.1

- Open Spaces must measure 15' x 15' minimum, except for balconies
- At least 1/2 of total area must be at ground level or w/in 10' of lowest residential level

Section 5.22.2

- In mixed use buildings, open space for residential buildings shall be calculated in relation to the portion of the lot which the residential floor area is to the total area of the building

Section 5.31

- Residential District C-2B - 15% min of Lot Area to be Private Open space

Total Building Area - 29,256 sf

Total Residential Building Area - 24,892 sf

Residential area as a percentage of total building area - $24,892/29,256 = 85.08\%$

Total Site Area - 15,686 sf

Site Area required for residential open space calculation - $15,686 \times 85\% = 13,333$ sf

Total required private open space - $12,313 \times 15\% = 2,000$ sf

PROPOSED RESIDENTIAL OPEN SPACES

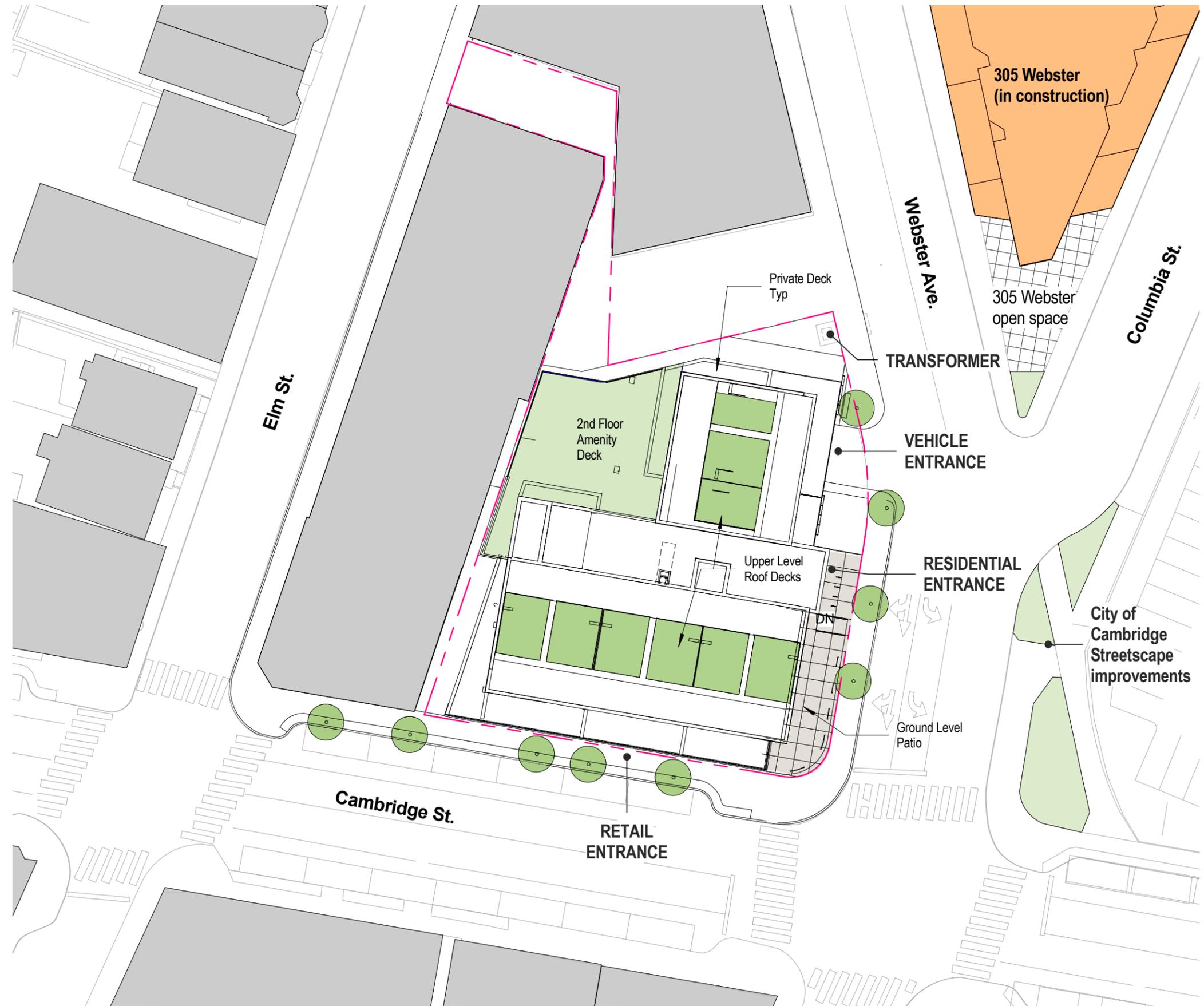
2nd Level Amenity Deck (Accessible to All Tenants) - 1,971 sf

Balconies (Private) - 1,278 sf

Upper Level Roof Decks (Private) - 1,296 sf

Total Area - **4,545 sf**

Total Percentage - $4,545/13,333 = 34\%$





View from Webster Street



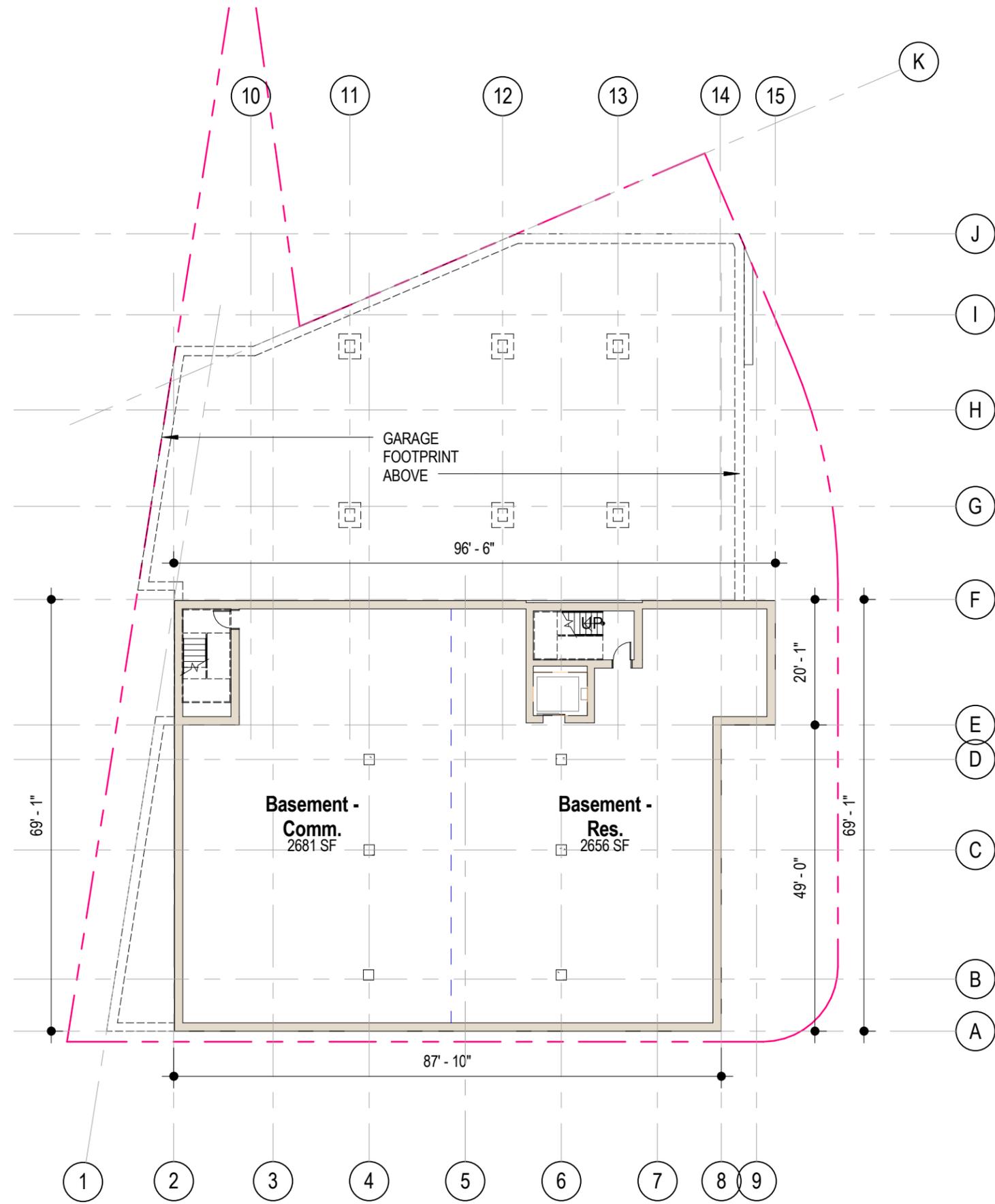
View from Columbia Street

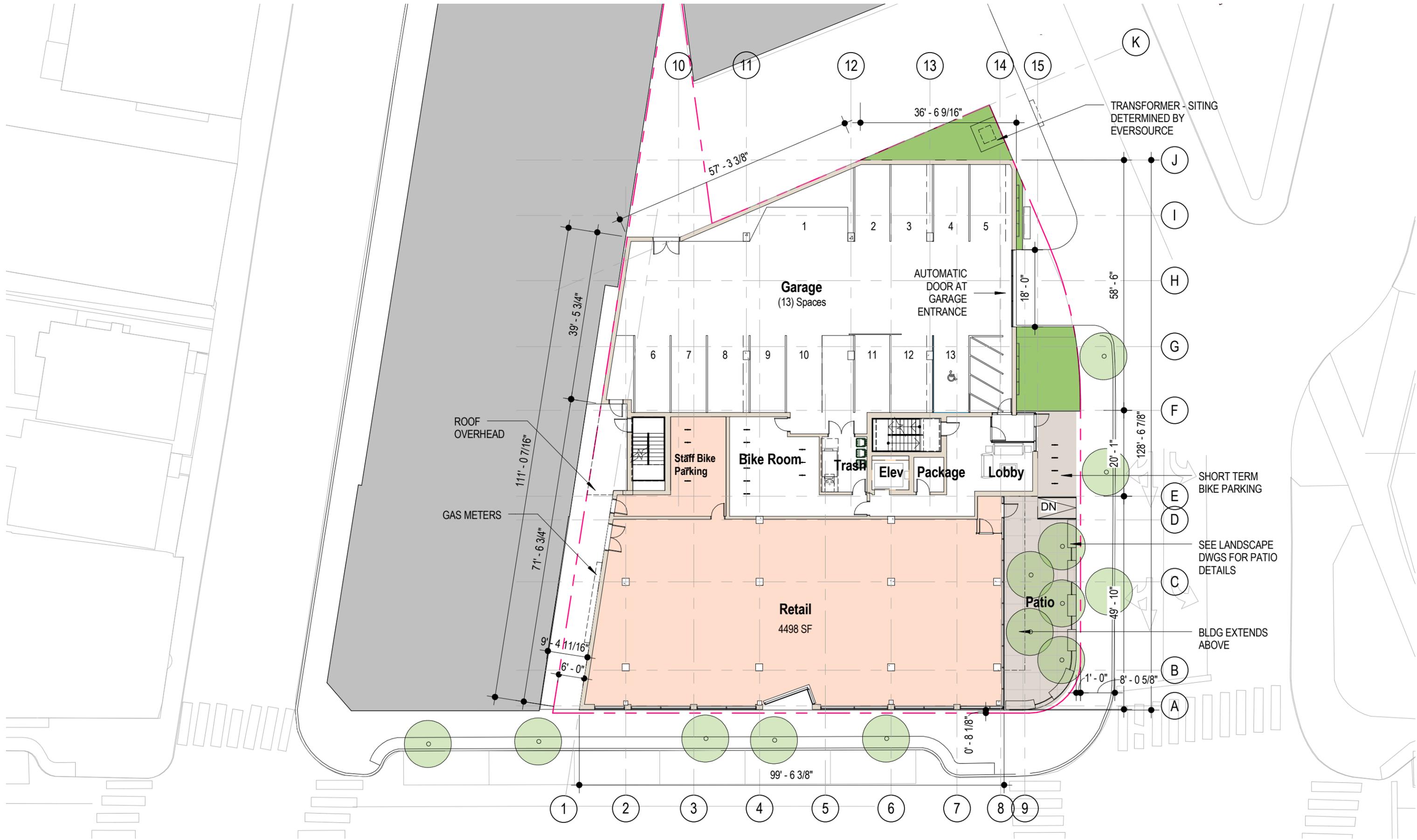


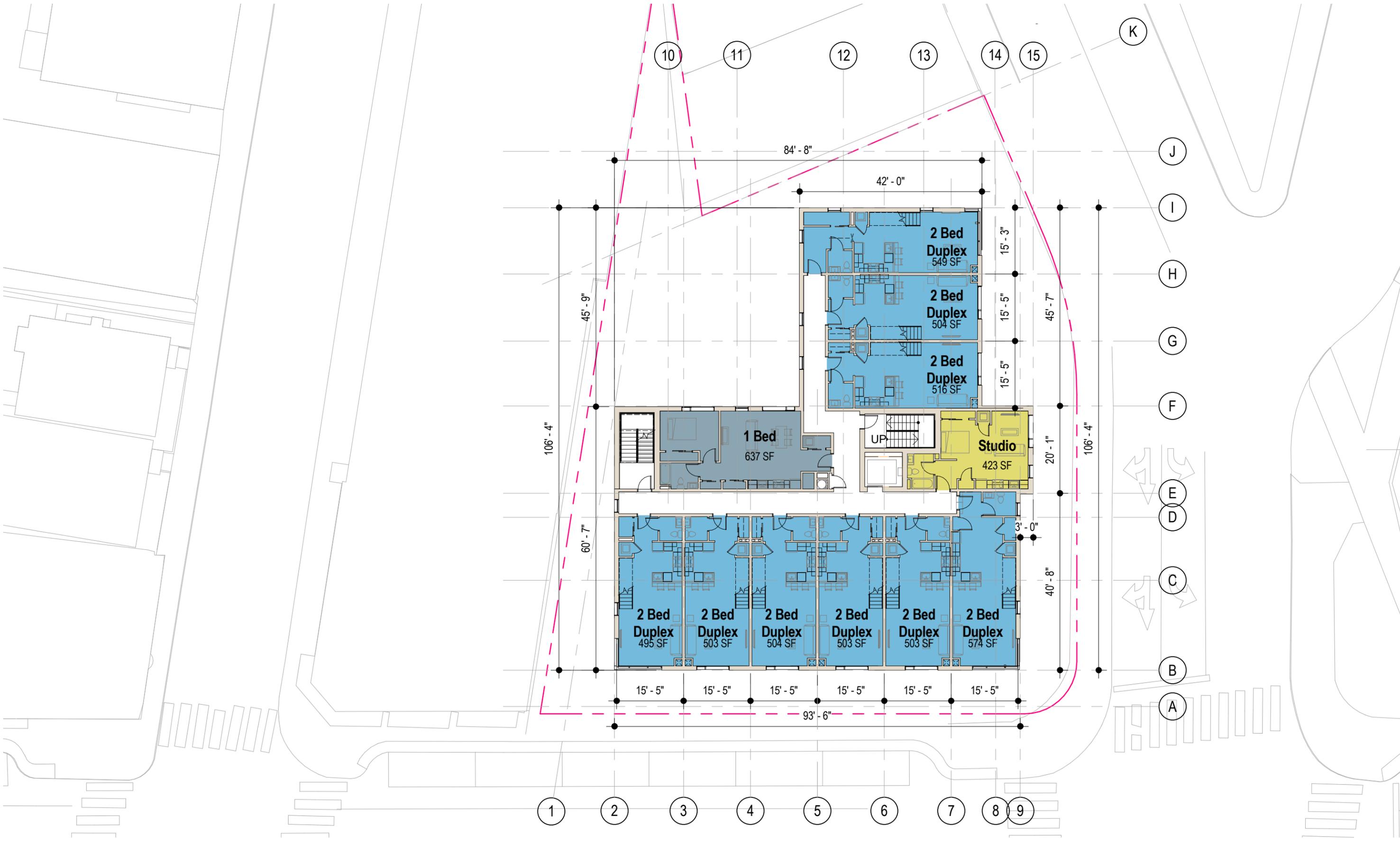
View from Cambridge Street

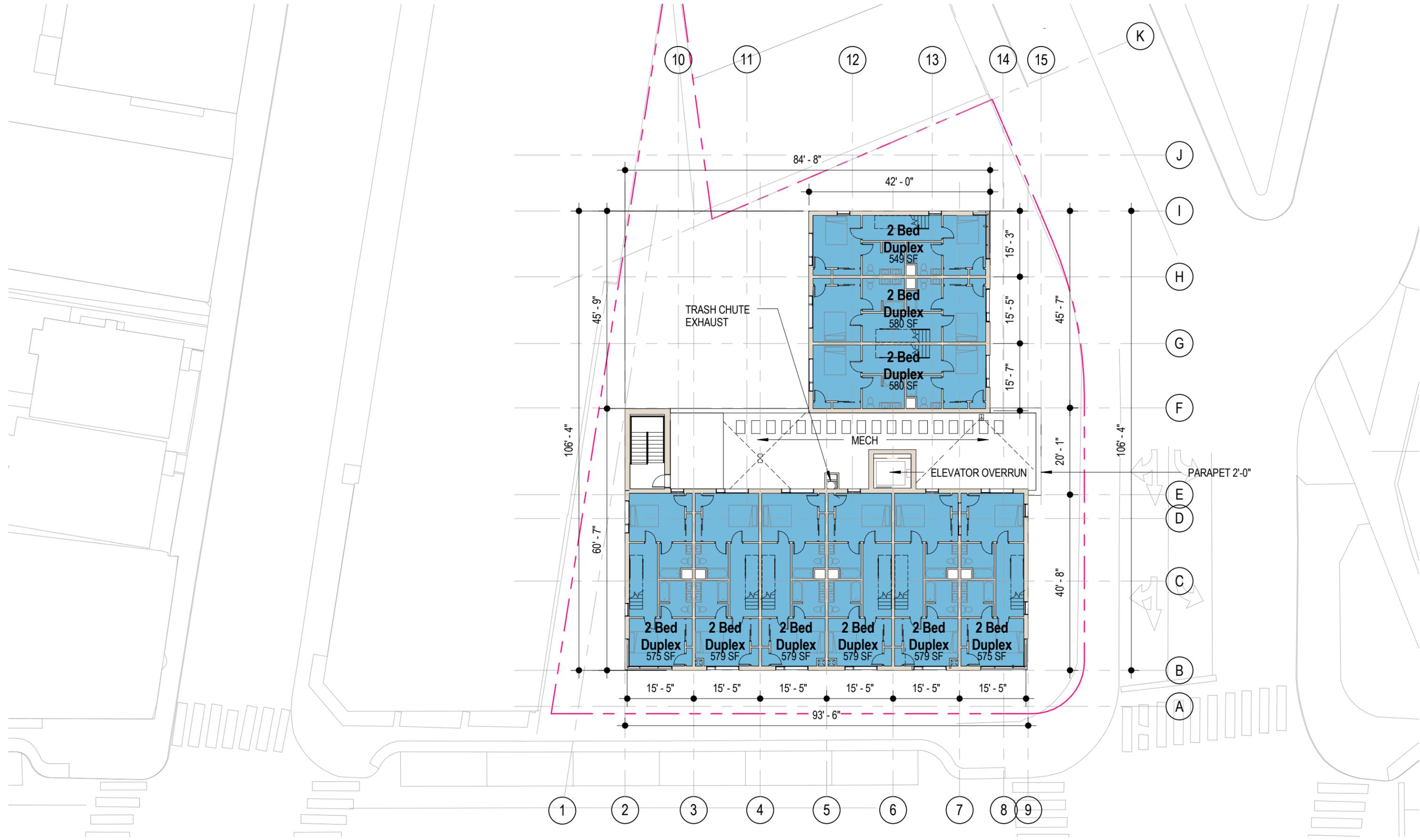


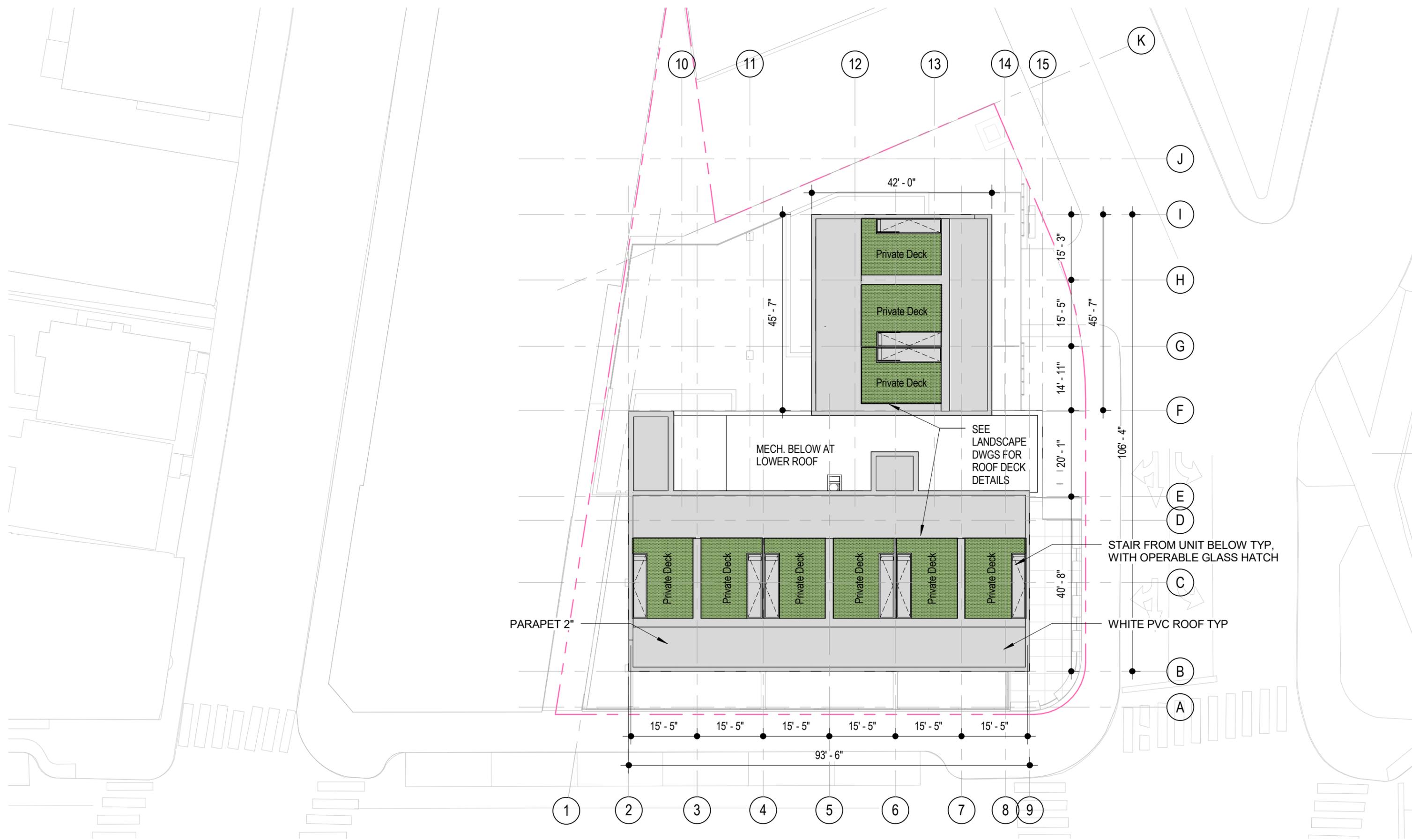
View from Cambridge Street

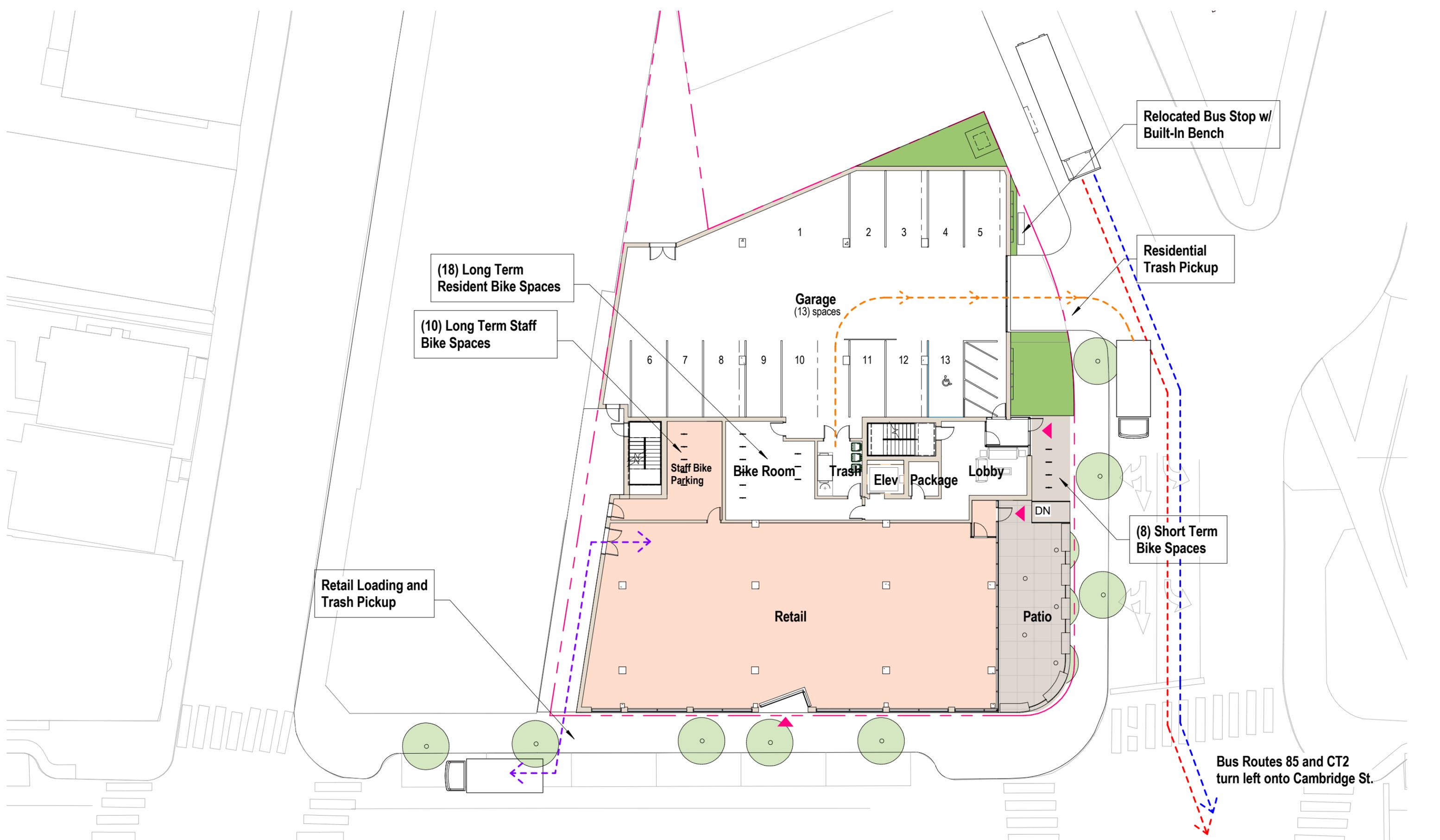


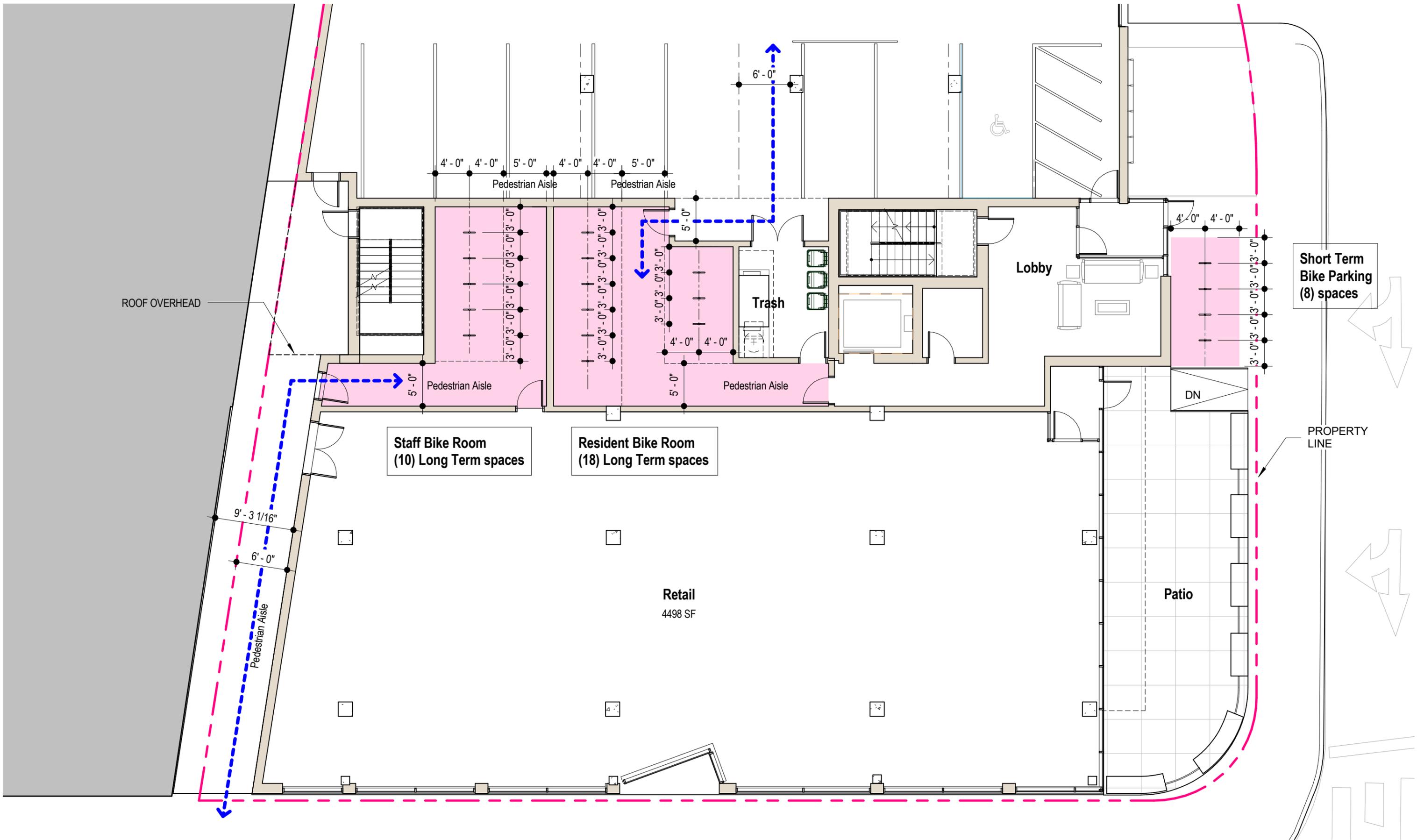










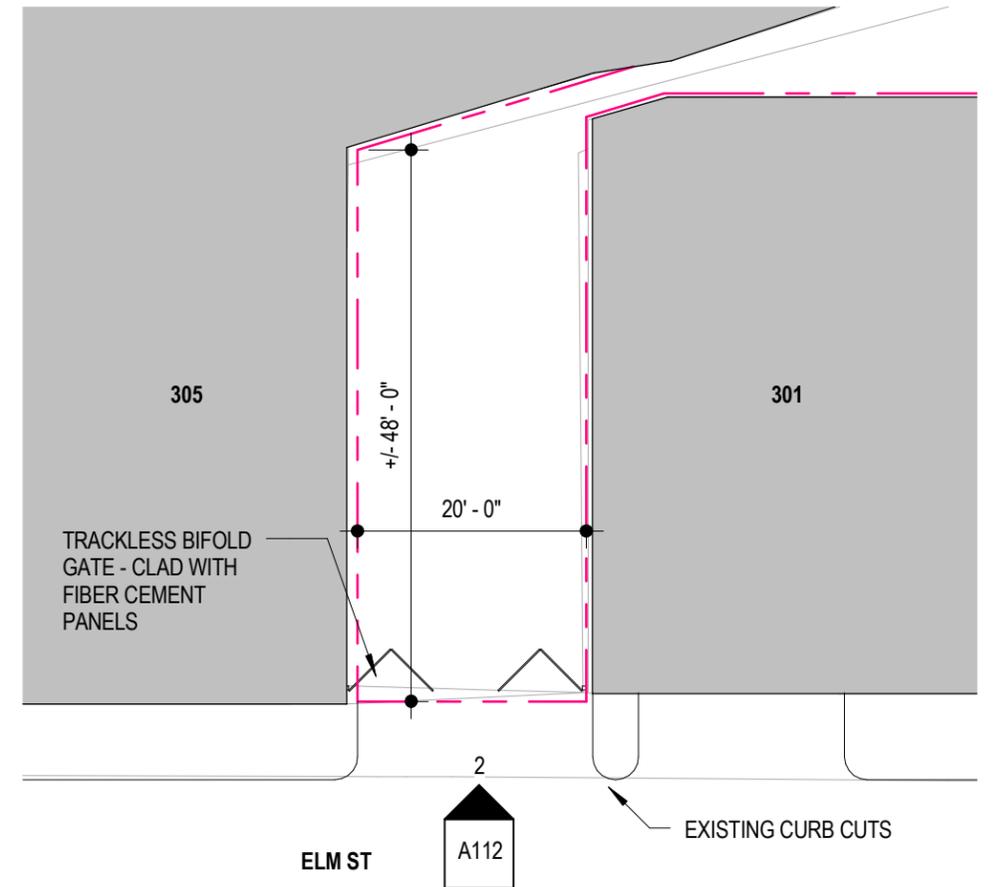




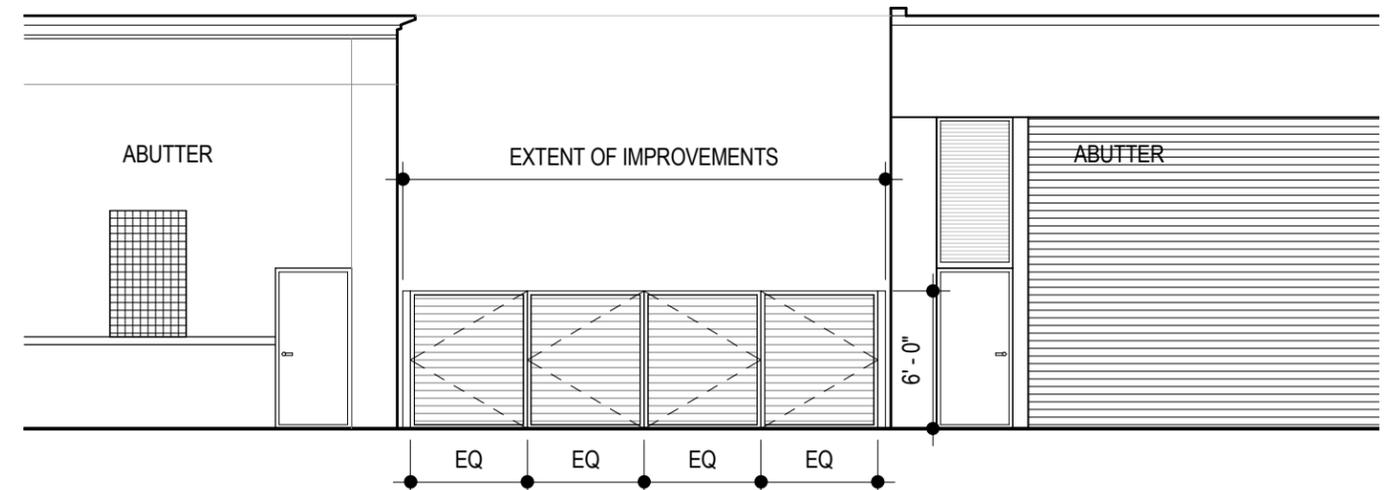
Perspective - Exist. Conditions at Elm St Lot



Perspective - Proposed Gate at Elm St lot



1 Enlarged Plan at Elm St Parking Zone
1/16" = 1'-0"



2 Elevation at Elm St Gate
1/8" = 1'-0"



SOUTH ELEVATION - Presentation

1/16" = 1'-0"



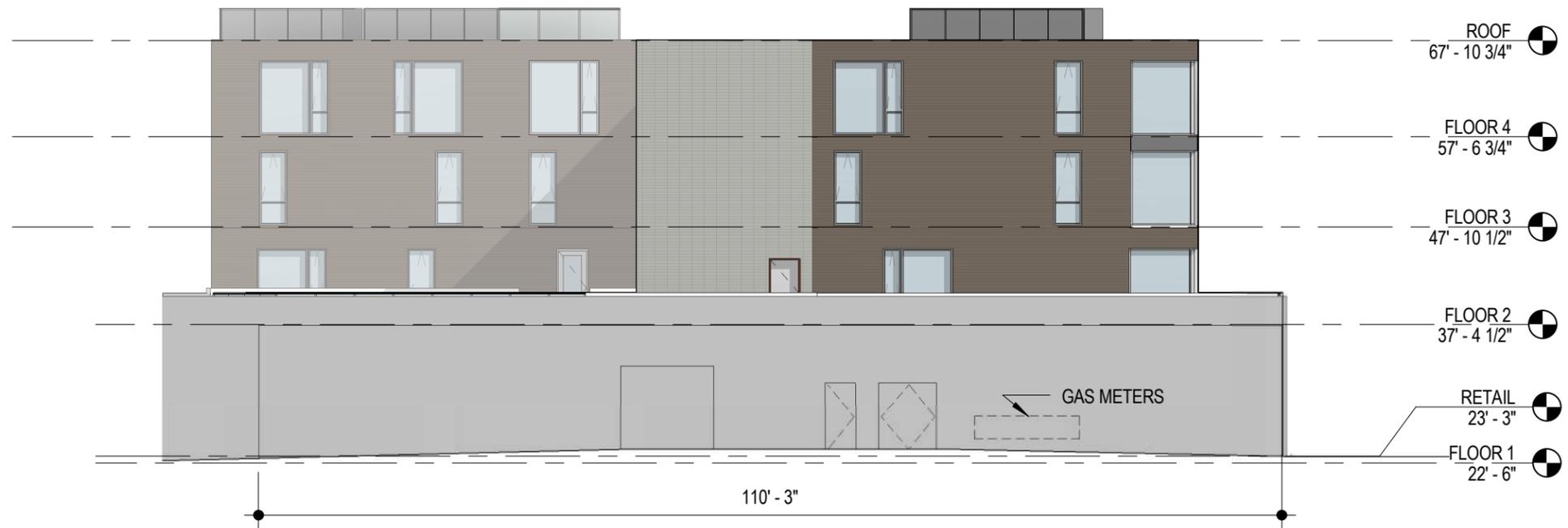
EAST ELEVATION - Presentation

1/16" = 1'-0"



NORTH ELEVATION - Presentation

1/16" = 1'-0"

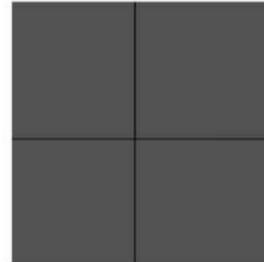


WEST ELEVATION - Presentation

1/16" = 1'-0"



1. Fiber-Reinforced Concrete Panel



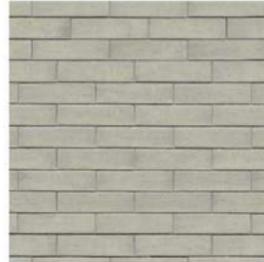
2. Dark Metal Panel System



3. Painted Aluminum Window System



4. Cast-In-Place Concrete



5. Ground Face CMU



6. Frosted Glass Garage Door System



7. Fiber Cement Clad Planters



8. Perforated/ Opaque Metal Railing



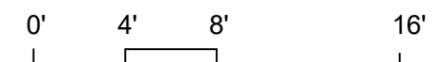
9. Aluminum Storefront System

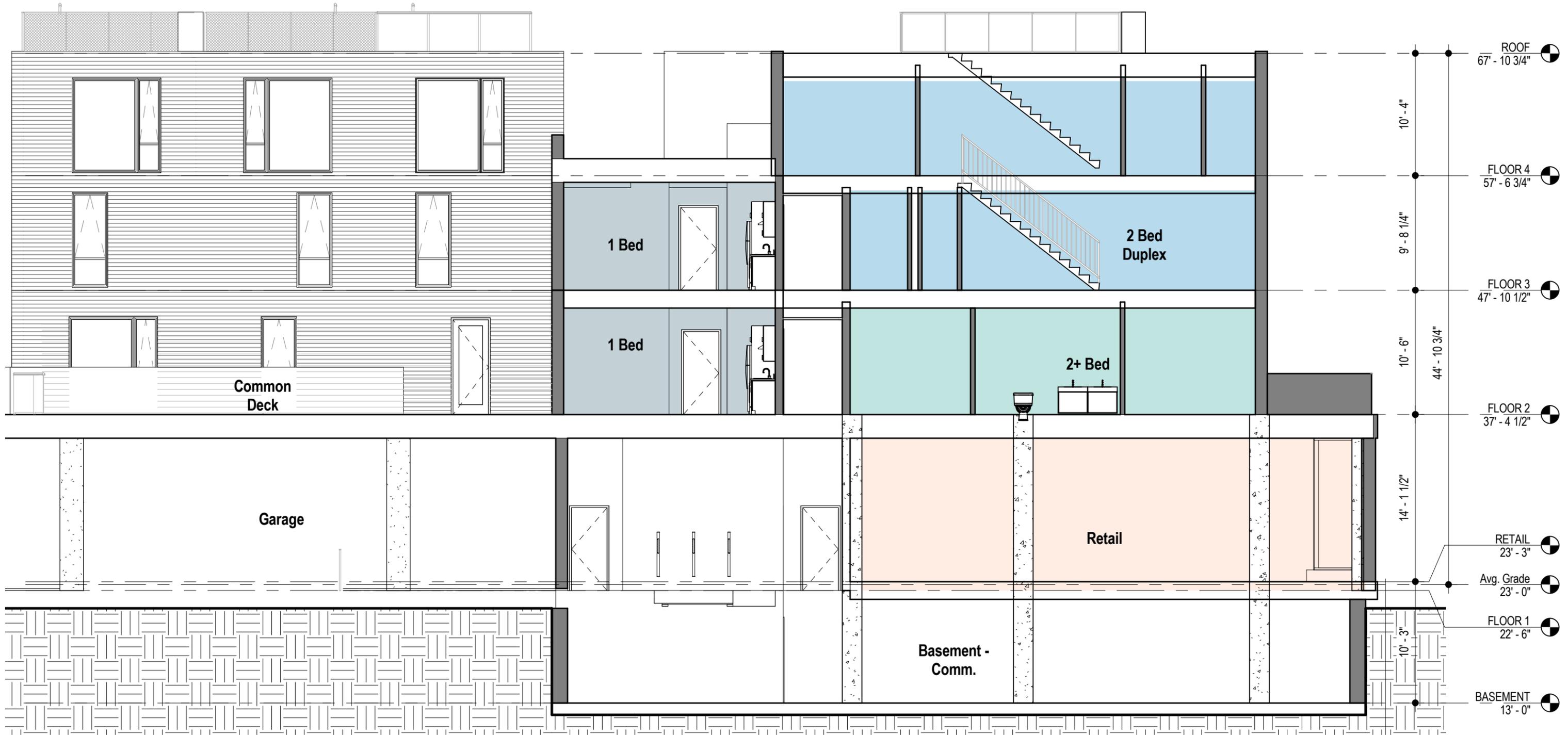


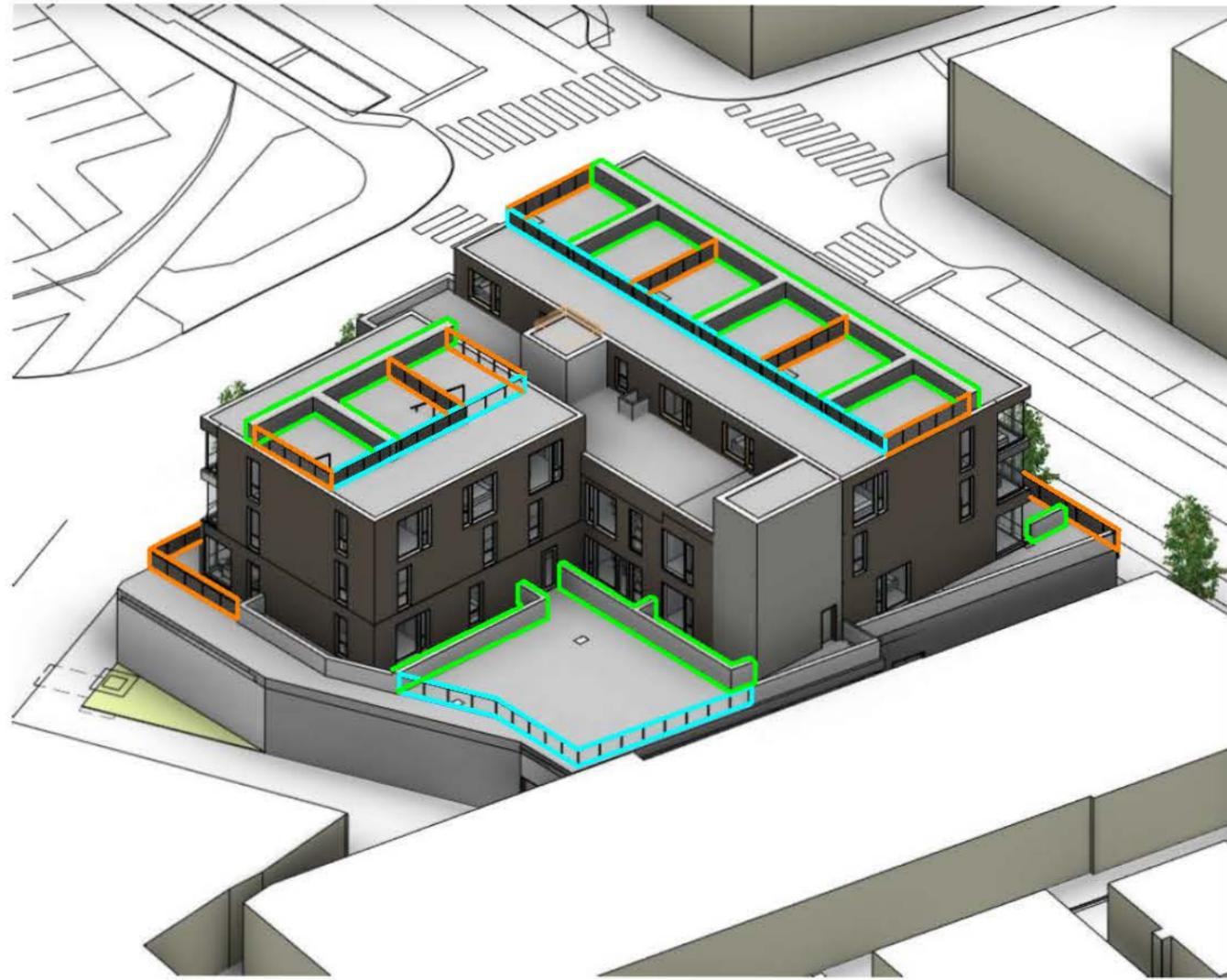
EAST ELEVATION - Materials Palette

1/8" = 1'-0"

VERTICAL WIRE TRELLIS







FIBER CEMENT CLAD PLANTERS



OPAQUE METAL RAILING



PERFORATED METAL RAILING



Looking East on Cambridge St



Building Entrance and Patio



Looking Southwest on Webster



Looking North Across Cambridge St



Looking North from Columbia Street



Looking West from Cambridge Street



Aerial View



Summer Solstice - 9am



Summer Solstice - 12pm



Summer Solstice - 3pm



Summer Solstice - 6pm



Fall/Spring Equinox - 9am



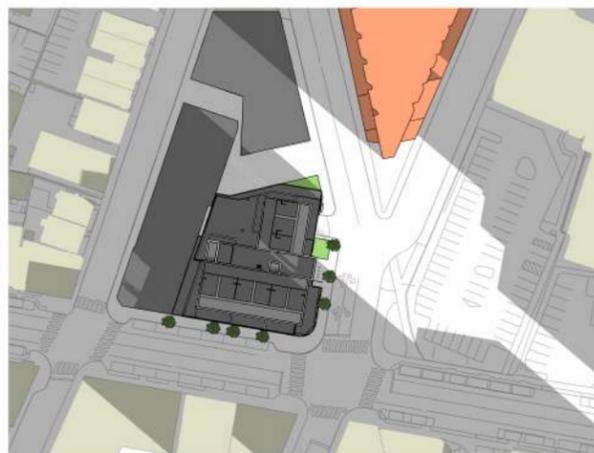
Fall/Spring Equinox - 12pm



Fall/Spring Equinox - 3pm



Fall/Spring Equinox - 6pm



Winter Solstice - 9am



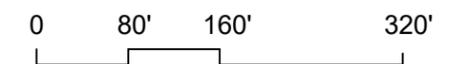
Winter Solstice - 12pm



Winter Solstice - 3pm



Winter Solstice - 6pm





Cambridge St Mixed-Use
1043-1059 Cambridge St.
Cambridge, MA, 02139

418 Media Real Estate LLC

A400 - Rendering - Day
Special Permit Application - Revised
07/03/18

DISCLAIMER: These plans are conceptual only. They have not been subject to a comprehensive code and regulatory review, nor have they been tested against any as-built surveys. Discoveries in such an analysis may result in fundamental changes to the original concept. This scheme assumes zoning relief will be required, as will all zoning relief, the architect cannot guarantee zoning relief will be achieved.

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Architecture & Planning



CAMBRIDGE ST

1055 CAMBRIDGE ST
CAMBRIDGE, MA 02139

418 MEDIA REAL-ESTATE, LLC

250 Dorchester Ave, 2nd floor
Boston, MA 02127
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OWNER

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ARCHITECTURE + URBAN DESIGN

115 KINGSTON STREET
BOSTON, MA 02111
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ARCHITECT

STRUCTURAL

MEP/FP

Samiotes Consultants, Inc.

20 A STREET
FRAMINGHAM, MA 01701
P (508) 877-6688 F (508) 877-8349

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CIVIL

STAMP



8/14/2016 SCHEMATIC DESIGN / PRICING

07/03/2018 PLANNING BOARD SUBMISSION

SETNAME DATE

TITLE

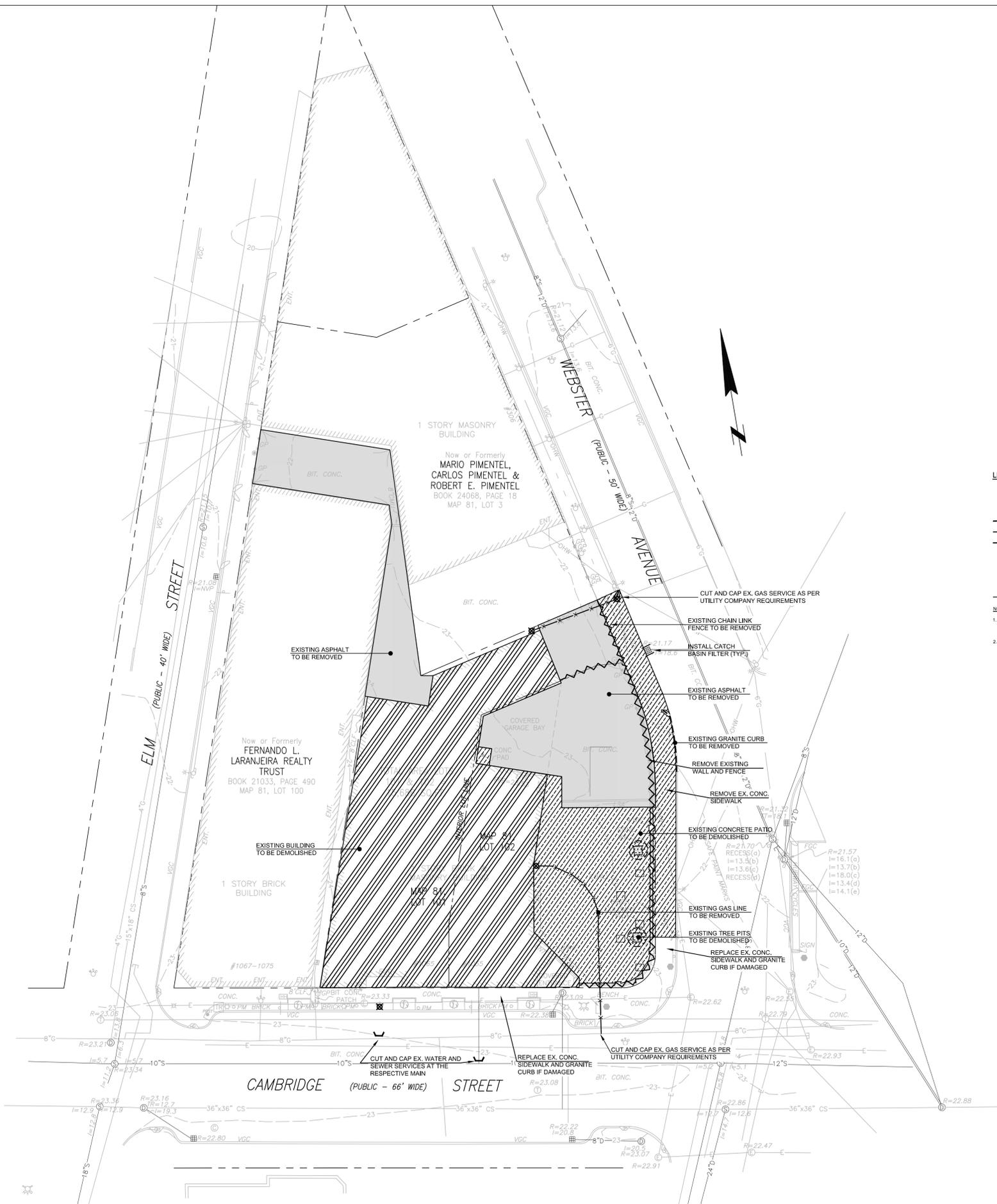
SOIL EROSION CONTROL
AND UTILITY
PREPARATION PLAN

SCALE UTILITY PROJECT NUMBER

1" = 20' 1447

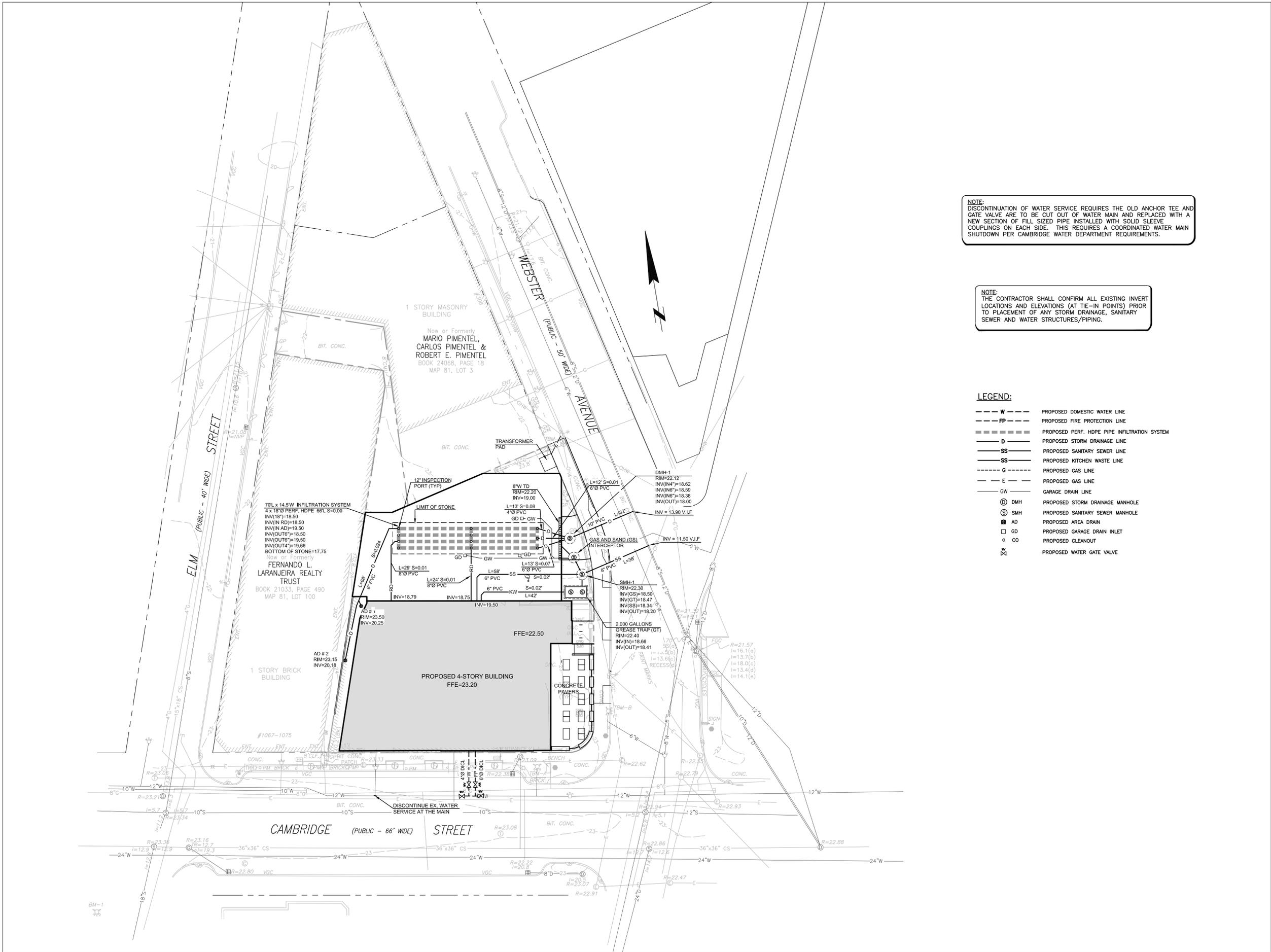
DRAWING NUMBER

C 1.00



- LEGEND:**
- BUILDING TO BE REMOVED (INCL. CUT & CAP UTILITIES)
 - BITUMINOUS CONCRETE TO BE REMOVED/PULVERIZED
 - CEMENT CONCRETE TO BE REMOVED
 - CURB REMOVAL
 - UTILITIES LINE TO BE REMOVED/ABANDONED (COORDINATE WITH MEP)
 - FENCE REMOVAL
 - UTILITIES STRUCTURE TO BE REMOVED
 - TREE TO BE REMOVED AND COMPOSTED
 - PROPOSED CATCH-BASIN FILTER
 - PROPERTY LINE / LIMIT OF WORK

- NOTES:**
1. THE CONTRACTOR SHALL PHASE ALL DEMOLITION AND REMOVAL WORK TO ALLOW FOR THE CONTINUING OPERATION OF ALL STRUCTURES.
 2. DRAWING DOES NOT SHOW ENTIRE SCOPE OF DEMO. IT IS INTENDED TO ASK CONTRACTOR WITH IDENTIFYING WORK AND IS NOT ALL INCLUSIVE. CONTRACTOR SHOULD REFER TO OTHER DRAWINGS FOR COORDINATION.



NOTE:
DISCONTINUATION OF WATER SERVICE REQUIRES THE OLD ANCHOR TEE AND GATE VALVE ARE TO BE CUT OUT OF WATER MAIN AND REPLACED WITH A NEW SECTION OF FILL SIZED PIPE INSTALLED WITH SOLID SLEEVE COUPLINGS ON EACH SIDE. THIS REQUIRES A COORDINATED WATER MAIN SHUTDOWN PER CAMBRIDGE WATER DEPARTMENT REQUIREMENTS.

NOTE:
THE CONTRACTOR SHALL CONFIRM ALL EXISTING INVERT LOCATIONS AND ELEVATIONS (AT TIE-IN POINTS) PRIOR TO PLACEMENT OF ANY STORM DRAINAGE, SANITARY SEWER AND WATER STRUCTURES/PIPING.

- LEGEND:**
- W --- PROPOSED DOMESTIC WATER LINE
 - FP --- PROPOSED FIRE PROTECTION LINE
 - HDPE --- PROPOSED PERF. HDPE PIPE INFILTRATION SYSTEM
 - D --- PROPOSED STORM DRAINAGE LINE
 - SS --- PROPOSED SANITARY SEWER LINE
 - KW --- PROPOSED KITCHEN WASTE LINE
 - G --- PROPOSED GAS LINE
 - E --- PROPOSED GAS LINE
 - GW --- GARAGE DRAIN LINE
 - ⊙ DMH PROPOSED STORM DRAINAGE MANHOLE
 - ⊙ SMH PROPOSED SANITARY SEWER MANHOLE
 - AD PROPOSED AREA DRAIN
 - GD PROPOSED GARAGE DRAIN INLET
 - CO PROPOSED CLEANOUT
 - ⊗ WGV PROPOSED WATER GATE VALVE

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Alicja Zukowski

| REVISIONS | DATE | DESCRIPTION |
|------------|----------------------------|-------------|
| 8/14/2016 | SCHEMATIC DESIGN / PRICING | |
| 07/03/2018 | PLANNING BOARD SUBMISSION | |

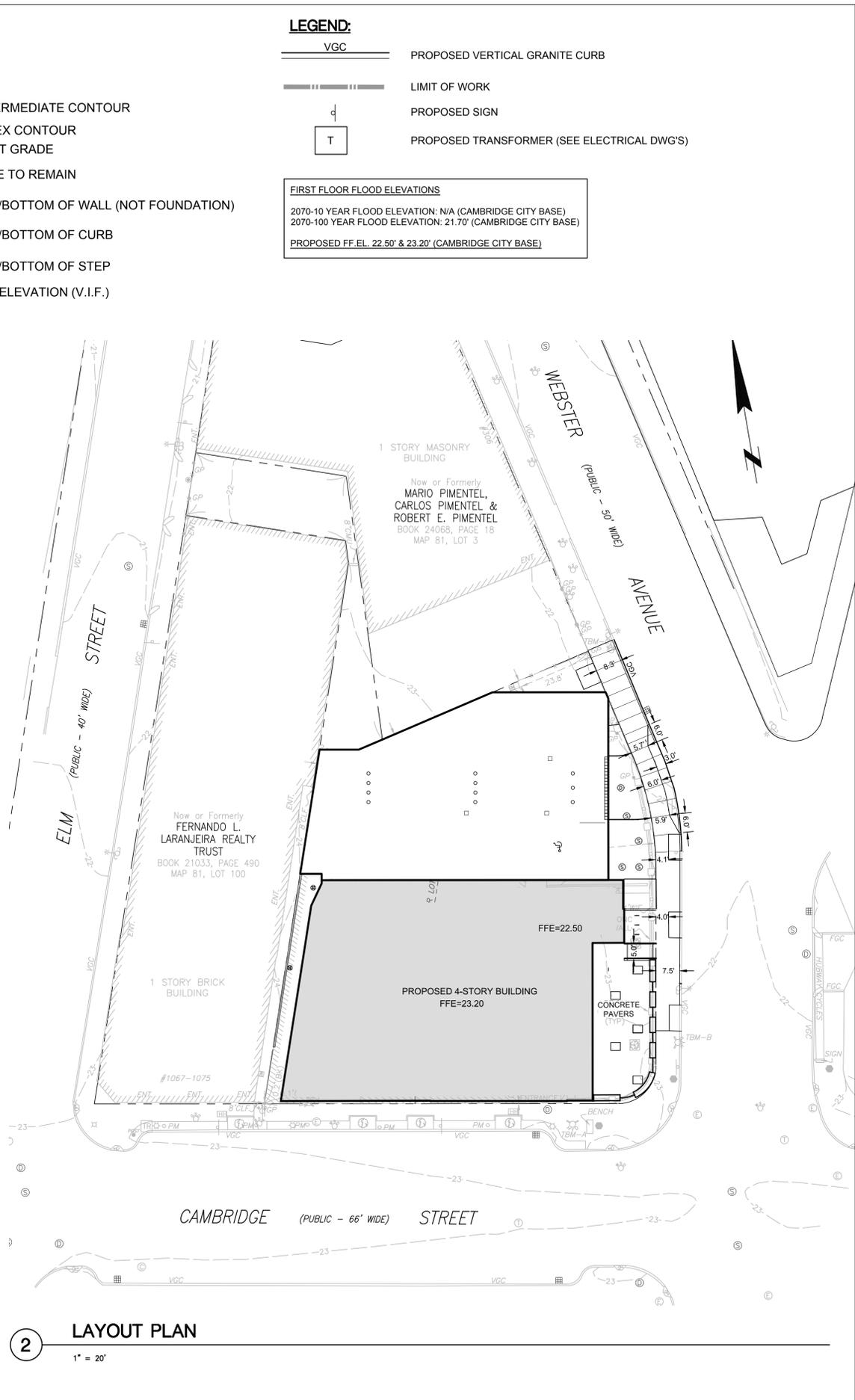
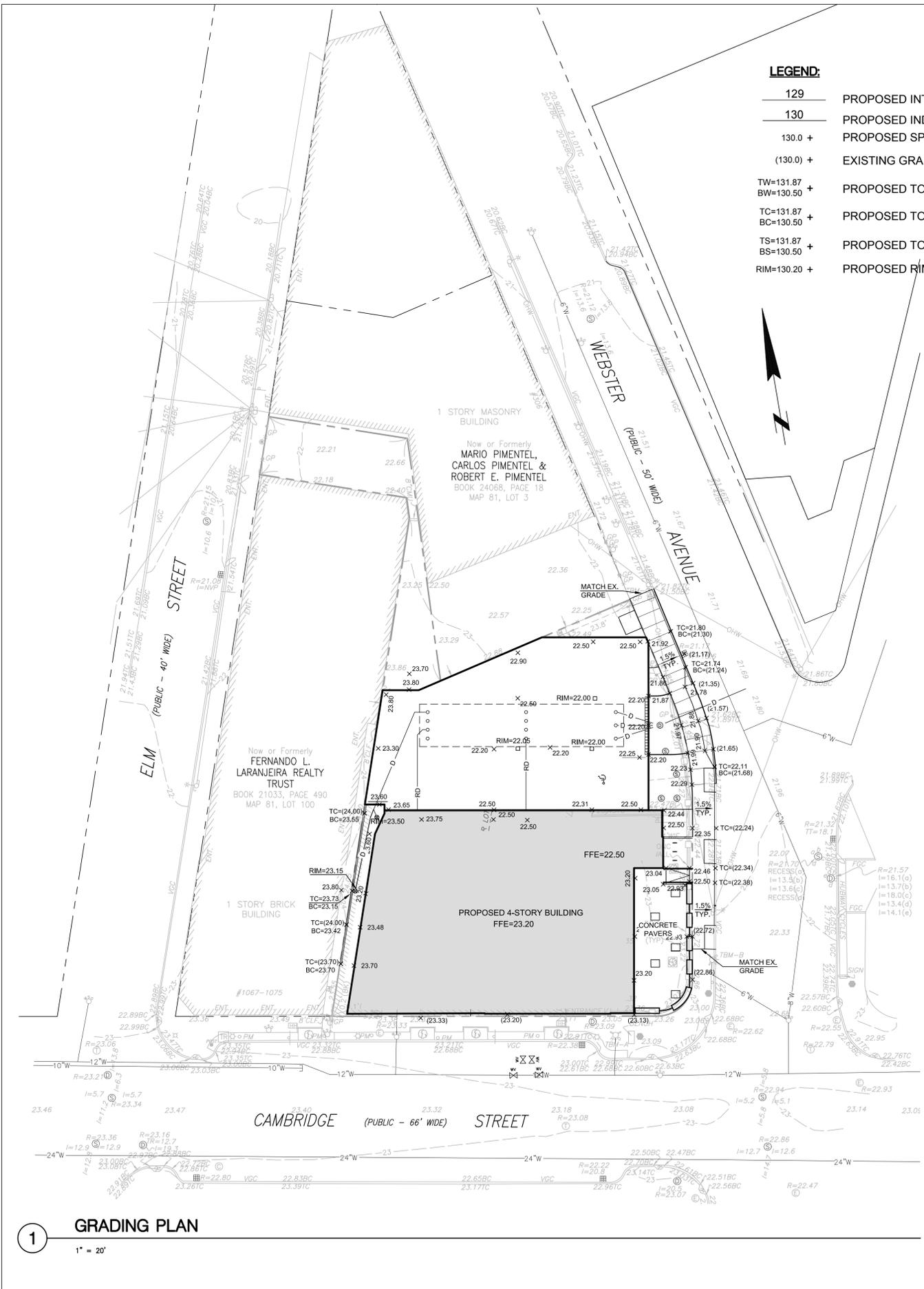
SETNAME: DATE: TITLE:

SITE UTILITIES PLAN

SCALE: 1" = 20'
UTILITY PROJECT NUMBER: 1447

DRAWING NUMBER

C 2.00



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|------------|----------------------------|-------------|
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| 07/03/2018 | PLANNING BOARD SUBMISSION | |

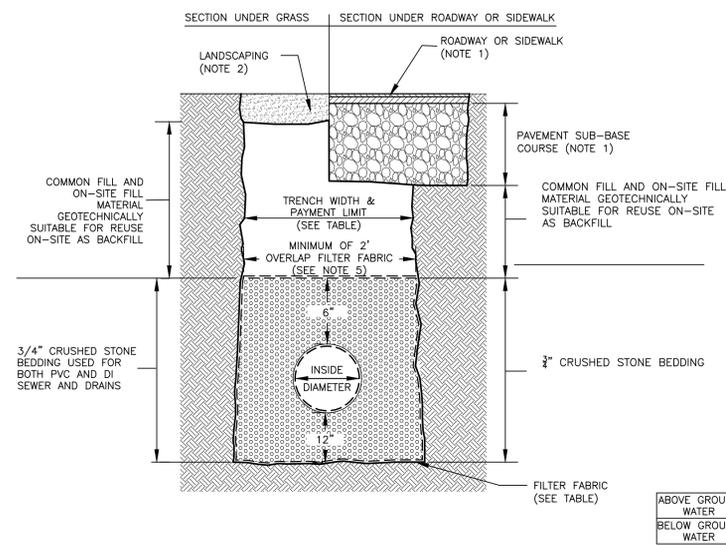
SETNAME DATE TITLE

LAYOUT AND GRADING PLAN

| SCALE | UTILITY PROJECT NUMBER |
|----------|------------------------|
| 1" = 20' | 1447 |

DRAWING NUMBER

C 3.00



NOTES:
 1. REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS.
 2. REFER TO LANDSCAPING REQUIREMENTS.
 3. REFER TO "TRENCH PAY LIMIT TABLE FOR PIPES" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT.
 4. REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS.

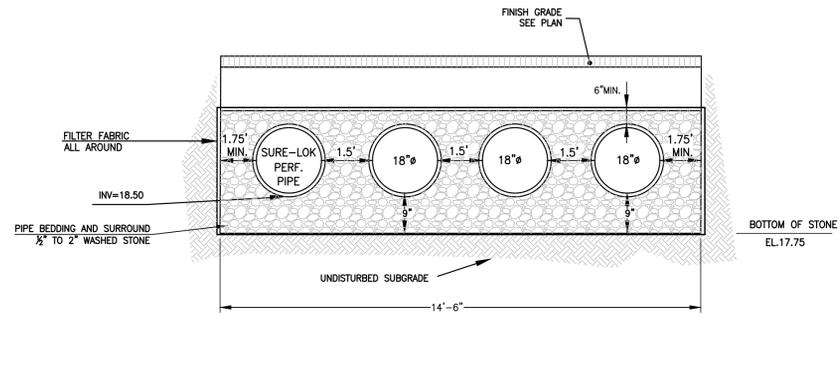
| PIPE SIZE (DIA.) | MAX TRENCH WIDTH |
|------------------|------------------|
| LESS THAN 2" | 2'-0" |
| 2" TO 6" | 3'-0" |
| 8" TO 22" | 4'-0" |
| 24" & GREATER | I.D. + 2'-0" |

I.D. = INSIDE DIMENSION
 FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

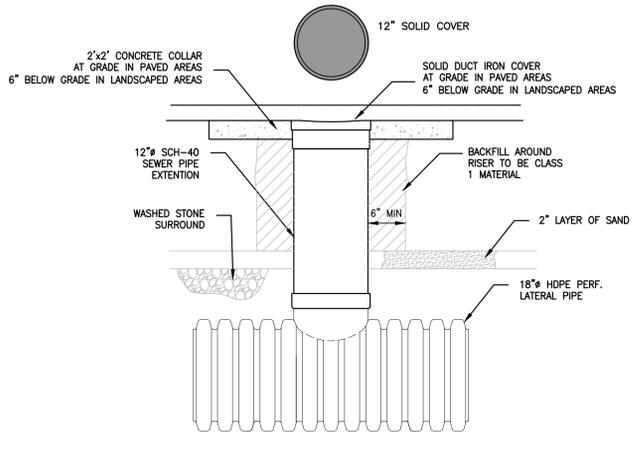
| SOIL TYPE | FILTER FABRIC USE |
|--------------------|----------------------------|
| SILT OR CLAY | REQUIRED |
| GRANULAR SOIL | NOT REQUIRED |
| ABOVE GROUND WATER | FILTER FABRIC NOT REQUIRED |
| BELOW GROUND WATER | FILTER FABRIC REQUIRED |

1 TRENCH SECTION- PVC GRAVITY PIPE
NTS

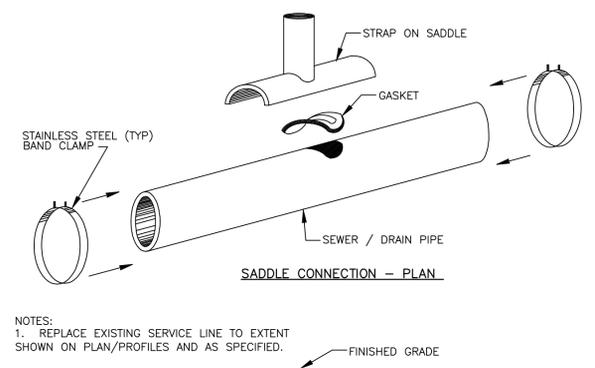
NOTE:
ALL PIPE AND FITTINGS SHALL BE HANCOR SURE-LOK ST OR APPROVED EQUAL



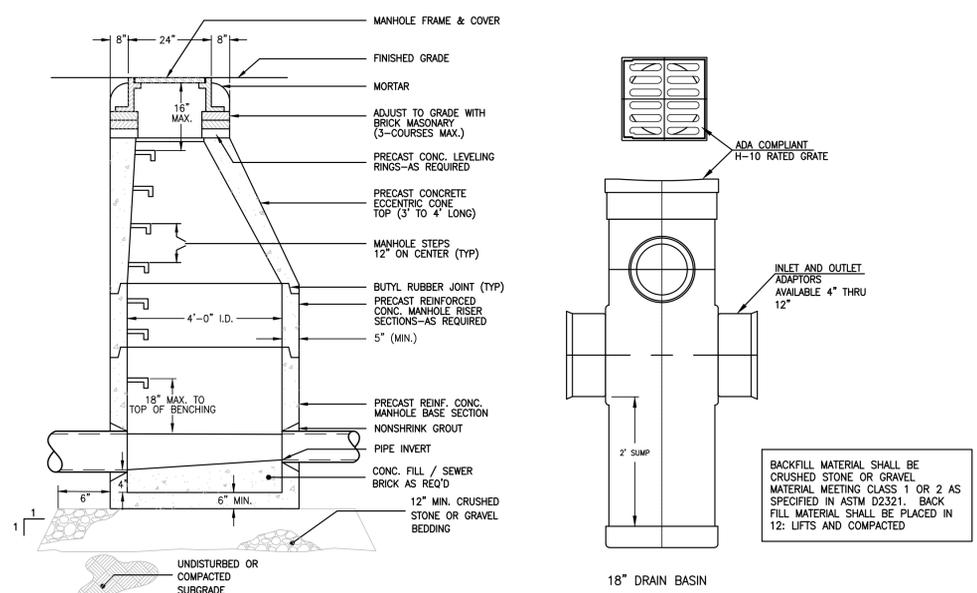
2 INFILTRATION - 18" PERFORATED HDPE SYSTEM
NTS



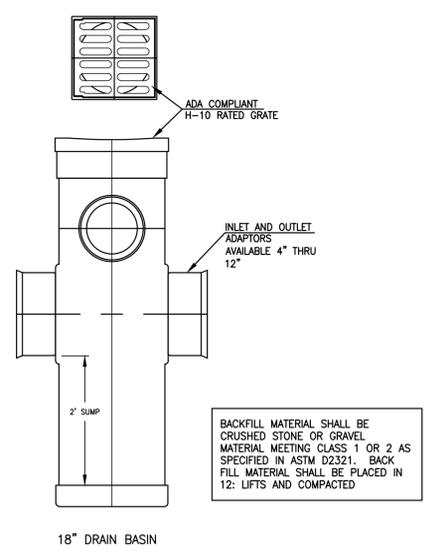
3 DETENTION SYSTEM CLEANOUT RISER DEAL
NTS



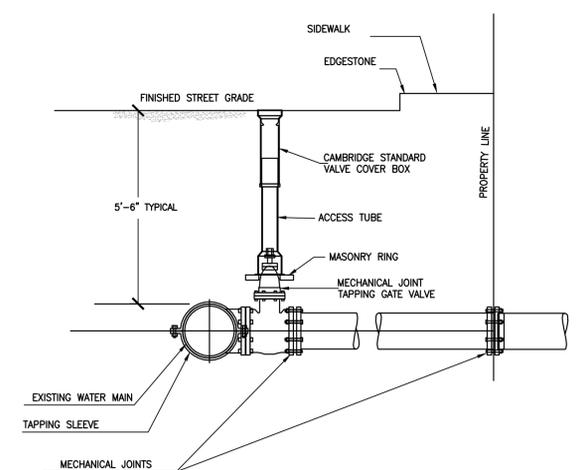
4 CONNECTION TO SEWER/DRAIN
NTS



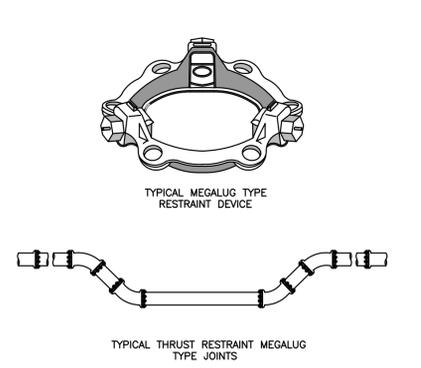
5 PRECAST MANHOLE
NTS



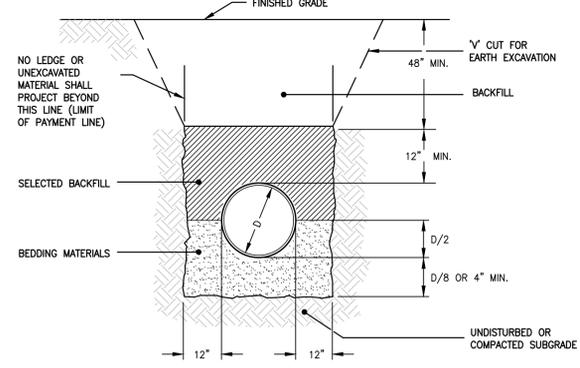
6 'NYLOPLAST' AREA DRAIN
NTS



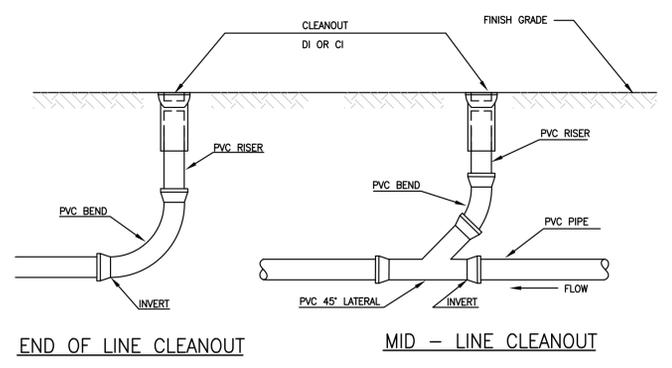
7 WATER PIPE CONNECTION WITH TAPPING SLEEVE AND GATE VALVE
NTS



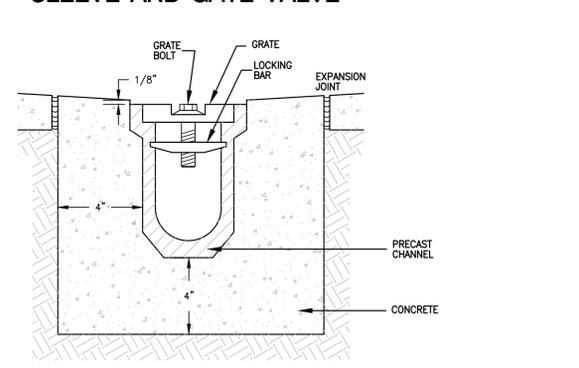
8 MEGALUG DETAIL
NTS



9 TRENCH SECTION - C.L.D.I. WATER PIPE
NTS



10 CLEANOUT
NTS



11 TRENCH DRAIN
NTS

CAMBRIDGE ST

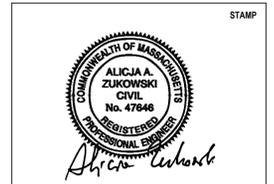
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| REVISIONS | DATE |
|-----------|----------------------------|
| 8/14/2016 | SCHEMATIC DESIGN / PRICING |
| 6/28/2018 | PLANNING BOARD SUBMISSION |

SETNAME DATE
TITLE

CIVIL DETAILS

| SCALE | UTILITY PROJECT NUMBER |
|----------|------------------------|
| AS NOTED | 1447 |

DRAWING NUMBER
C 4.01



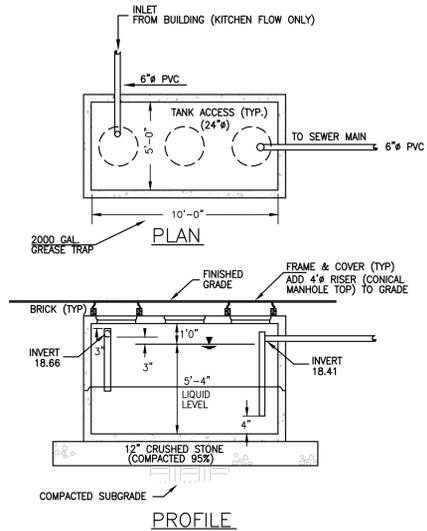
| REVISIONS | |
|------------|----------------------------|
| 8/14/2016 | SCHEMATIC DESIGN / PRICING |
| 07/03/2018 | PLANNING BOARD SUBMISSION |

| | |
|---------|------|
| SETNAME | DATE |
| TITLE | |

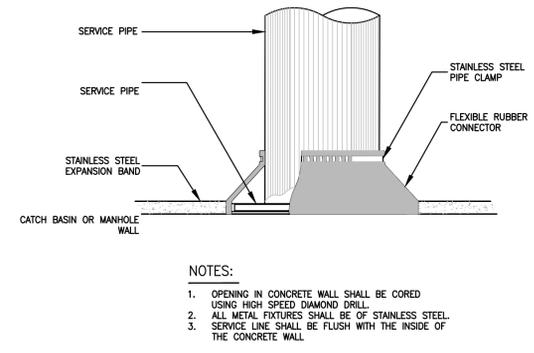
CIVIL DETAILS

| | |
|----------------|------------------------|
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| DRAWING NUMBER | |

C 4.02

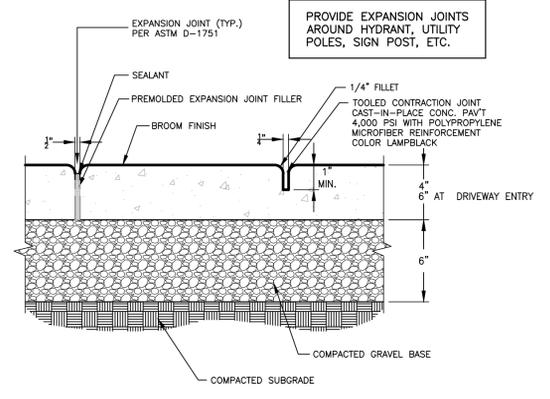


1 2,000 GALLON GREASE TRAP
NTS

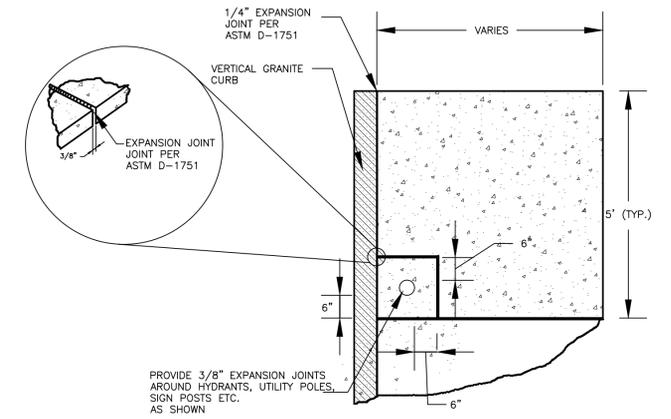


2 PIPE CONNECTION TO MANHOLE
NTS

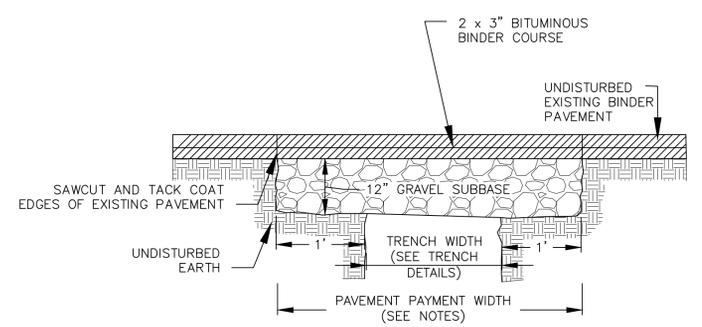
- NOTES:
1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
 2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
 3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE WALL.



3 BROOM FINISH CONCRETE WALKWAY
NTS

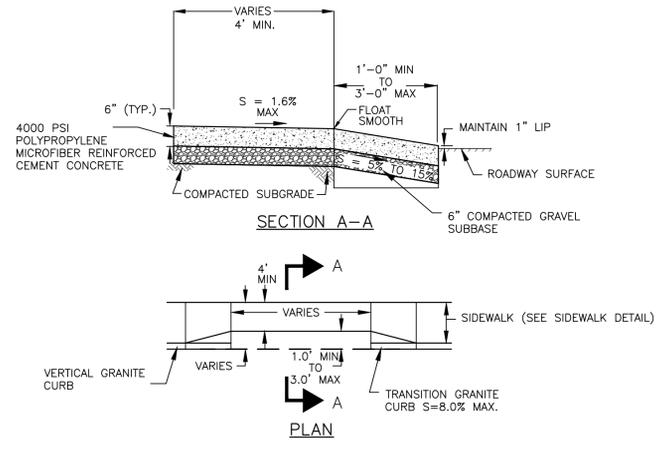


4 EXPANSION JOINTS
NTS

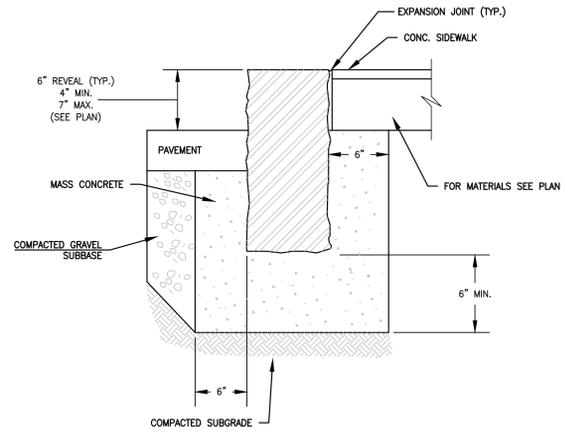


- NOTES:
1. PERMANENT TRENCH PAVEMENT PAYMENT WIDTH SHALL BE THE TRENCH PAY LIMIT PLUS 2 FEET
 2. TEMPORARY TRENCH PAVEMENT PAYMENT WIDTH SHALL BE EQUAL TO THE TRENCH PAYMENT LIMIT
 3. REMOVE AND DISPOSE ALL TEMPORARY PAVEMENT AS REQUIRED. RESTORE AND COMPACT SUBBASE AS REQUIRED PRIOR TO PERMANENT TRENCH PAVEMENT.

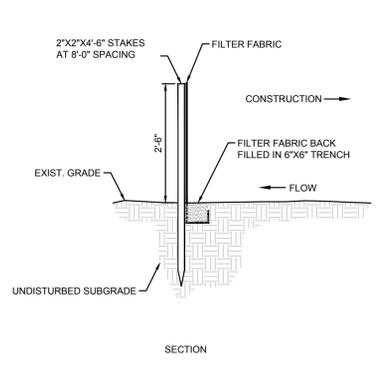
5 TRENCH PATCHING DETAIL
NTS



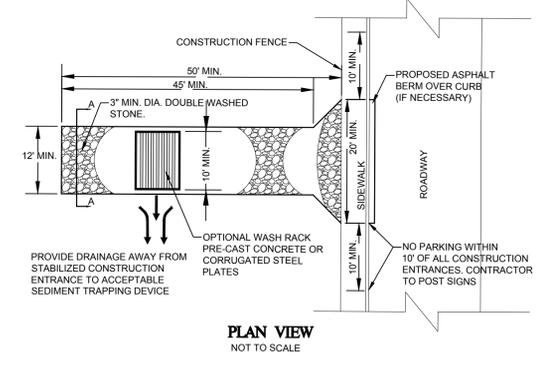
6 CONCRETE DRIVEWAY APRON
NTS



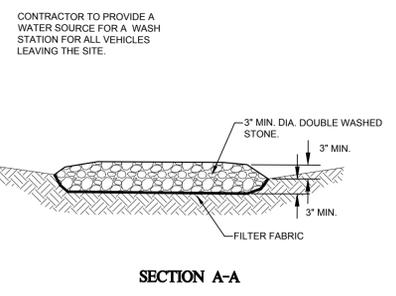
7 VERTICAL GRANITE CURB
NTS



8 SILT FENCE
NTS

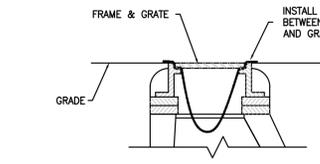


9 STABILIZED CONSTRUCTION ENTRANCE
NTS

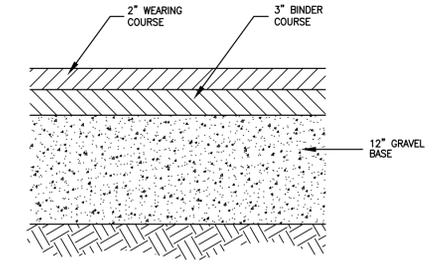


CONTRACTOR TO PROVIDE A WATER SOURCE FOR A WASH STATION FOR ALL VEHICLES LEAVING THE SITE.

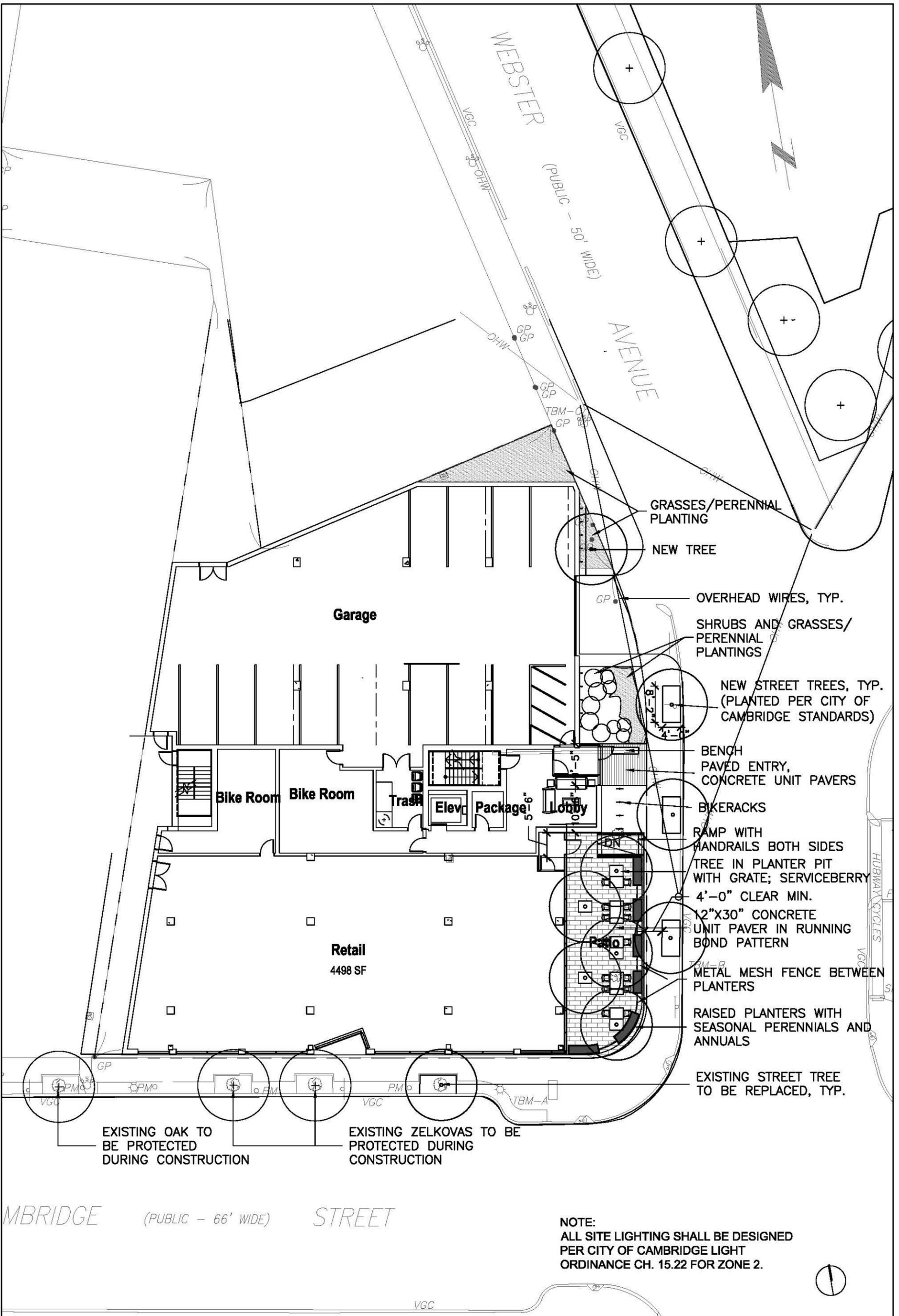
SECTION A-A



10 DRAIN INLET W/ SILT SAC
NTS



11 BITUMINOUS PAVEMENT
NTS



- GRASSES/PERENNIAL PLANTING
- NEW TREE
- OVERHEAD WIRES, TYP.
- SHRUBS AND GRASSES/PERENNIAL PLANTINGS
- NEW STREET TREES, TYP. (PLANTED PER CITY OF CAMBRIDGE STANDARDS)
- BENCH
- PAVED ENTRY, CONCRETE UNIT PAVERS
- BIKERACKS
- RAMP WITH HANDRAILS BOTH SIDES
- TREE IN PLANTER PIT WITH GRATE; SERVICEBERRY
- 4'-0" CLEAR MIN.
- 12"X30" CONCRETE UNIT PAVER IN RUNNING BOND PATTERN
- METAL MESH FENCE BETWEEN PLANTERS
- RAISED PLANTERS WITH SEASONAL PERENNIALS AND ANNUALS
- EXISTING STREET TREE TO BE REPLACED, TYP.

EXISTING OAK TO BE PROTECTED DURING CONSTRUCTION

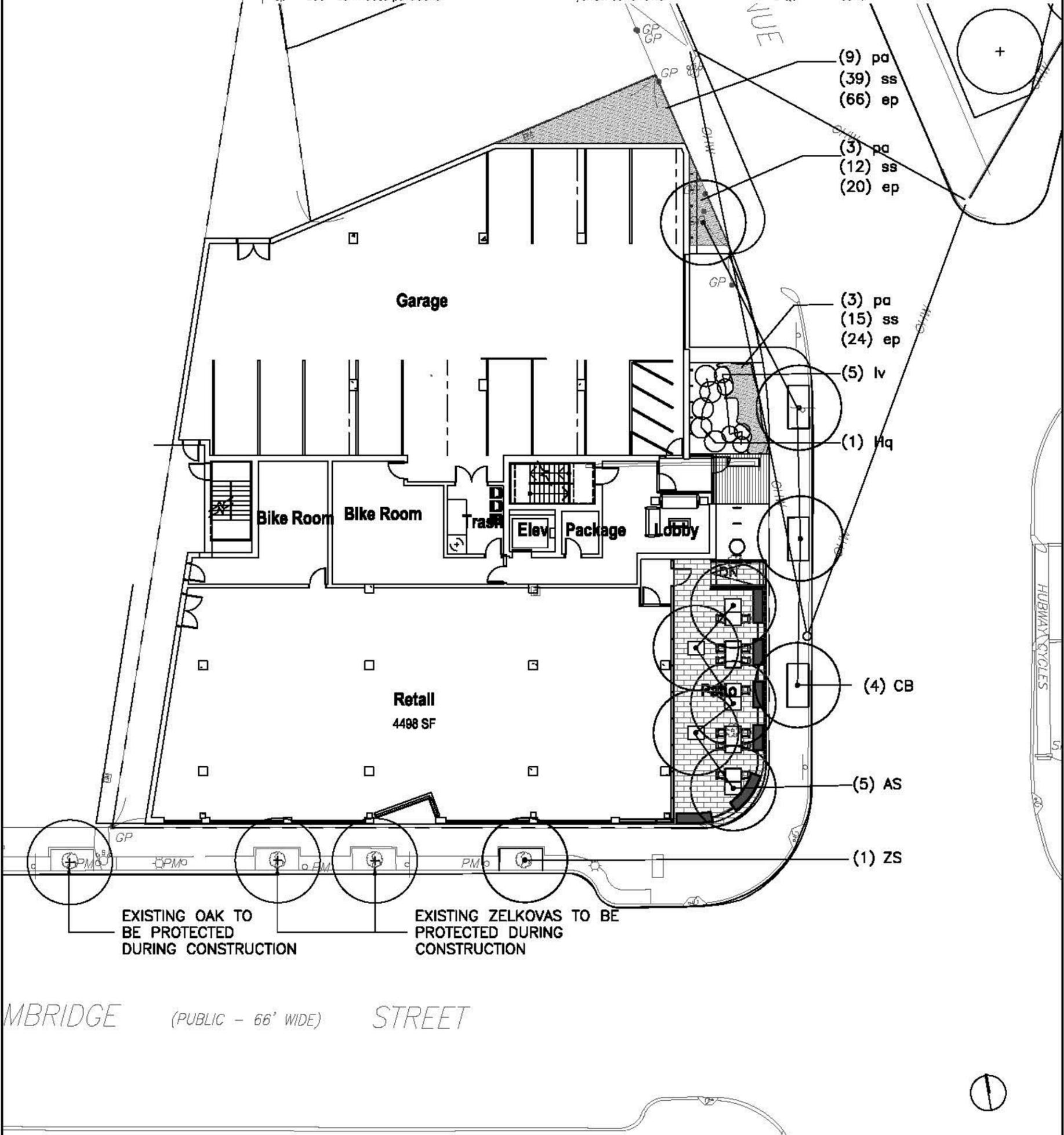
EXISTING ZELKOVAS TO BE PROTECTED DURING CONSTRUCTION

NOTE:
ALL SITE LIGHTING SHALL BE DESIGNED PER CITY OF CAMBRIDGE LIGHT ORDINANCE CH. 15.22 FOR ZONE 2.

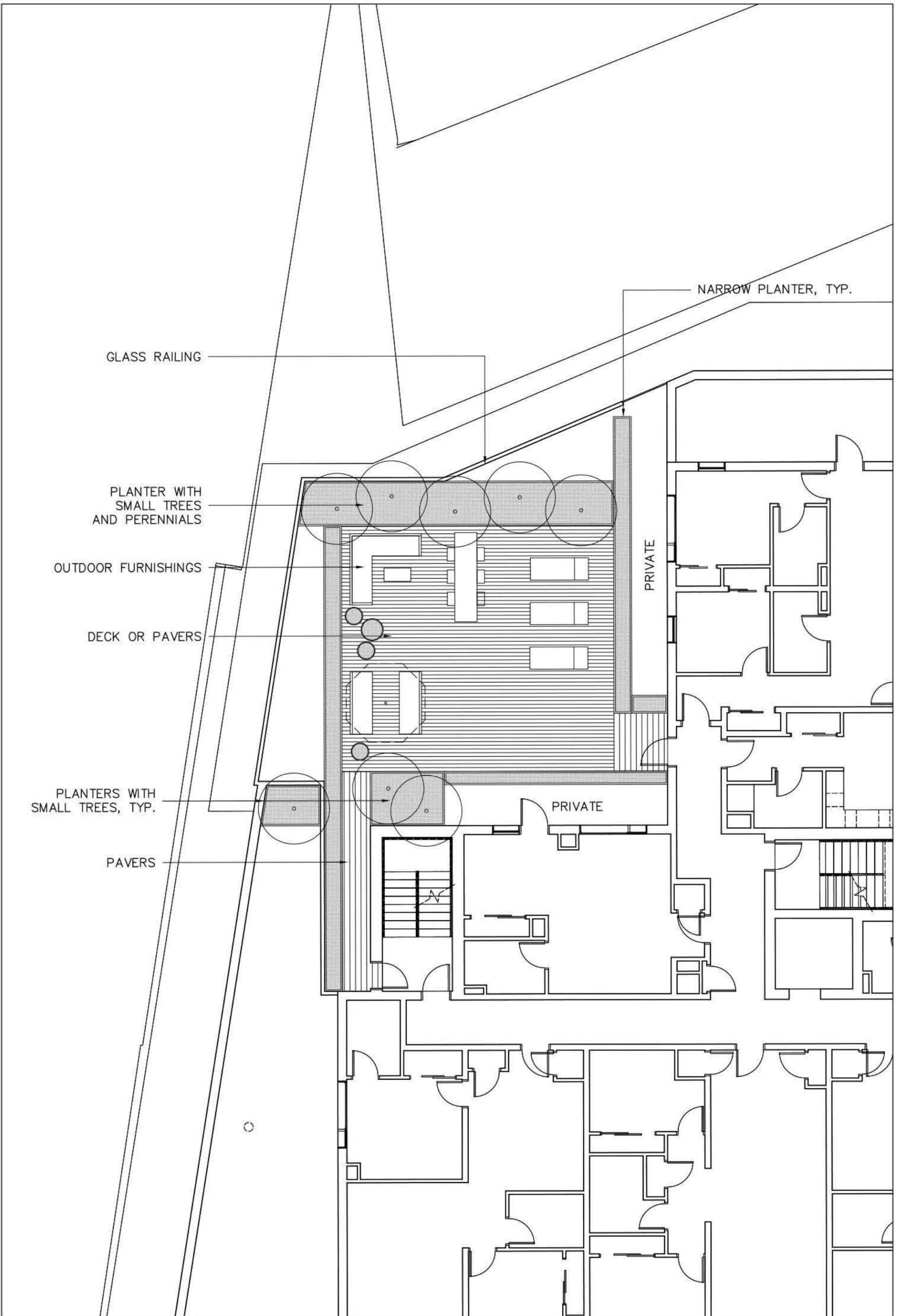
| | | | |
|---|---------------------|--|------------------------------------|
| G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02543 781.373.5945 | G2CLA PROJ. #: 1608 | PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139 | Owner: 418 Media Real Estate, Inc. |
| | DRAWN BY: EG | | |
| | DWG REF: LG | | |
| | SCALE: 1"=20'-0" | DATE: 07.03.2018 | SHEET TITLE: STREET LEVEL PLAN |

PLANT SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT SIZE | ROOT | COMMENTS |
|-------------------|-----|--|---------------------|----------------|-------|----------------------|
| TREES | | | | | | |
| AG | 5 | Amelanchier x grandiflora 'Princess Diana' | Apple Serviceberry | 2.5-3" caliper | B&B | Single stem specimen |
| CB | 4 | Carpinus betulus 'Fastigiata' | Columnar Hornbeam | 3"-3.5" calip | B&B | |
| ZS | 1 | Zelkova Serrata | Japanese Zelkova | 3"-3.5" calip | B&B | |
| SHRUBS | | | | | | |
| Hq | 5 | Hydrangea quercifolia | Oakleaf hydrangea | 5 gal | Cont. | |
| Iv | 5 | Itea virginica 'Henry's Garnet' | Virginia sweetspire | 5 gal | Cont. | |
| GRASSES | | | | | | |
| ss | 60 | Schizachyrium scoparium 'Prairie Blues' | Little Bluestem | 2 Qt | Cont. | |
| PERENNIALS | | | | | | |
| pa | 15 | Perovskia atriplicifolia | Russian sage | 2 Qt | Cont. | |
| ep | 100 | Echinacea paradoxa | yellow coneflower | 2 Qt | Cont. | |



| | | | |
|---|---|--|---|
| G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02453 781.373.3945 | G2CLA PROJ. # 1608 DRAWN BY: EG DWG REF: LG SCALE: 1"=20'-0" DATE: 07.03.2018 | PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139 SHEET TITLE: STREET LEVEL PLANTING PLAN | Owner: 418 Media Real Estate, Inc. |
| | MBRIDGE (PUBLIC - 66' WIDE) STREET | | |
| | © COPYRIGHT G2 COLLABORATIVE | | |
| | (North Arrow) | | |



NARROW PLANTER, TYP.

GLASS RAILING

PLANTER WITH SMALL TREES AND PERENNIALS

OUTDOOR FURNISHINGS

DECK OR PAVERS

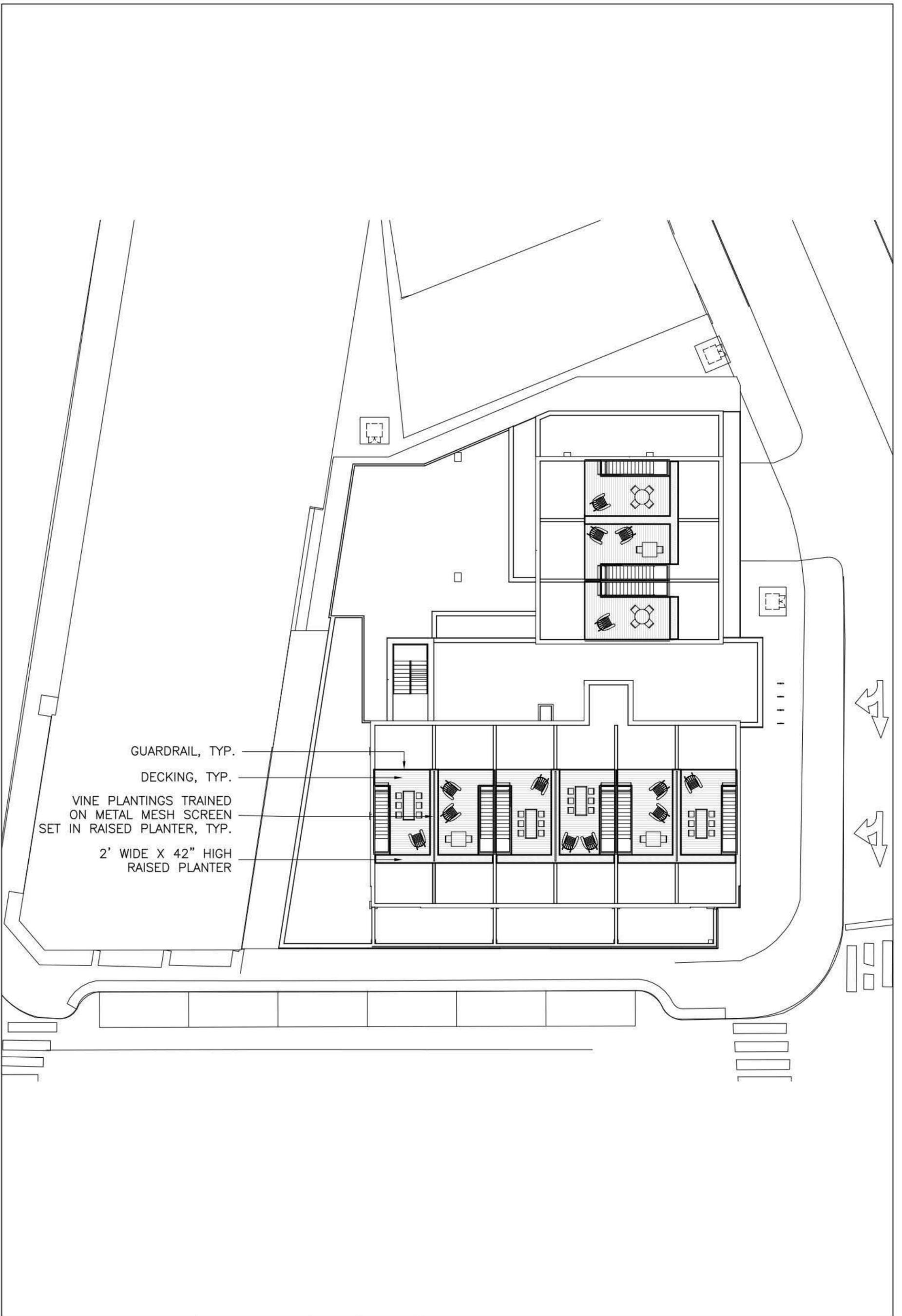
PLANTERS WITH SMALL TREES, TYP.

PAVERS

PRIVATE

PRIVATE

| | | | |
|---|---------------------|--|------------------------------------|
| G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02543 781.373.5945 | G2CLA PROJ. #: 1608 | PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139 | Owner: 418 Media Real Estate, Inc. |
| | DRAWN BY: EG | | |
| | DWG REF: LG | | |
| | SCALE: 1"=10'-0" | SHEET TITLE: COMMON SPACE | |
| | DATE: 07.03.2018 | | |



| | | | |
|---|---------------------|--|------------------------------------|
| G2 COLLABORATIVE LANDSCAPE ARCHITECTURE 282 Moody Street, Suite 308 Waltham, MA 02543 781.373.5945 | G2CLA PROJ. #: 1608 | PROJECT: Cambridge St Mixed-Use 1055-1065 Cambridge St. Cambridge, MA, 02139 | Owner: 418 Media Real Estate, Inc. |
| | DRAWN BY: EG | | |
| | DWG REF: LG | | |
| | SCALE: 1"=20'-0" | DATE: 07.03.2018 | SHEET TITLE: ROOF TERRACE |



Amelanchier x grandifolia



Carpinus Betulus 'fastigiata'



Hydrangea quercifolia



Itea virginica 'Henry Garnet'



Schizachyrium scoparium 'Prairie Blues'



Perovskia atriplicifolia



Echinacea paradoxa

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

SCALE: NTS

DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner:

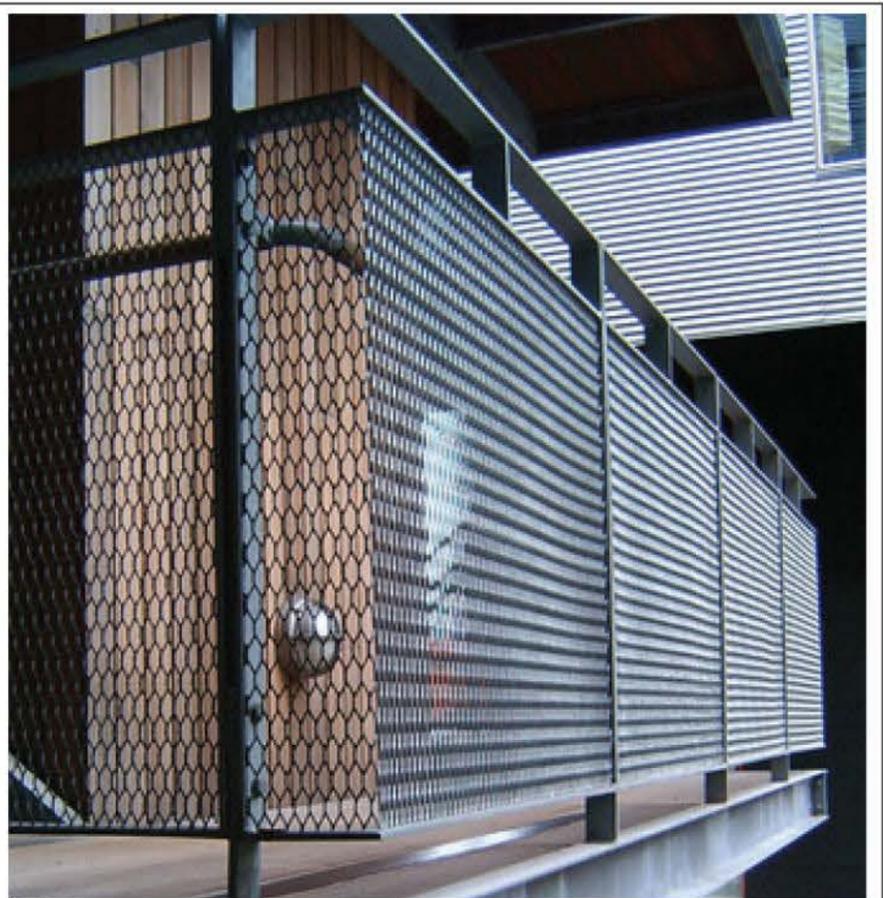
418 Media Real Estate, Inc.

SHEET TITLE:

PLANTING AND MATERIALS PLAN



Outdoor Planters



Metal Fencing between planters



Concrete Unit Pavers at Cafe



Bench at Entry

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

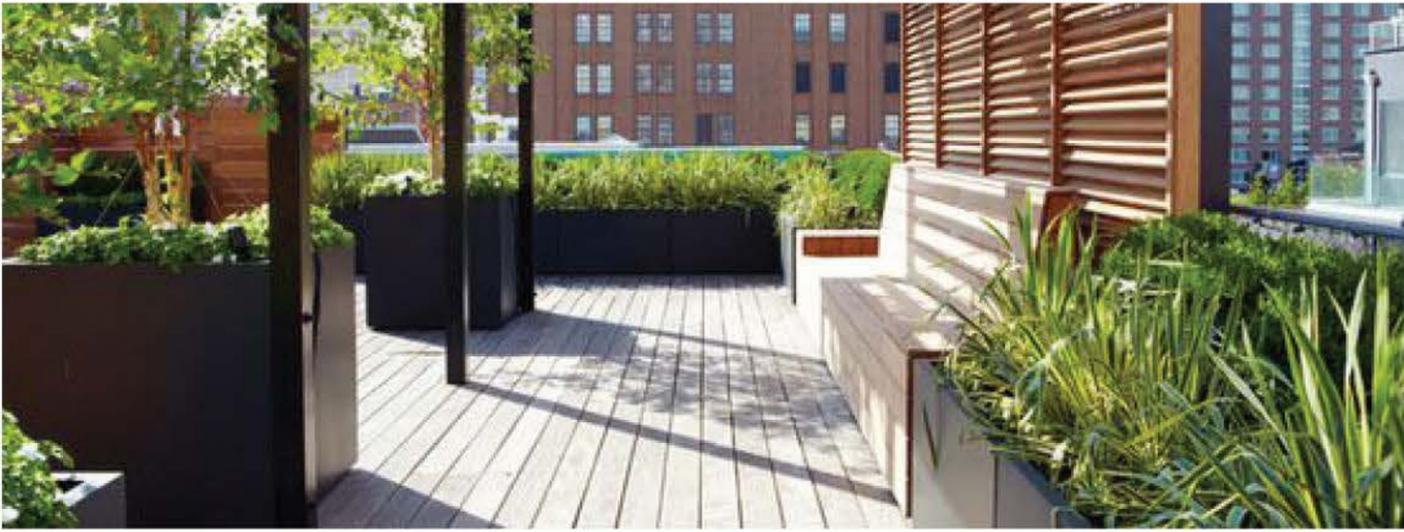
SCALE: NTS

DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner: 418 Media Real Estate, Inc.

SHEET TITLE:
PLANTING AND MATERIALS PLAN 2



Second floor decking, site furnishings, trees and shrubs in planters



Third floor decking, planters with screening vines and planting.

G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE

282 Moody Street, Suite 308
Waltham, MA 02543
781.373.5945

G2CLA PROJ. #: 1608

DRAWN BY: EG

DWG REF: LG

SCALE: NTS

DATE: 07.03.2018

PROJECT: Cambridge St Mixed-Use
1055-1065 Cambridge St.
Cambridge, MA, 02139

Owner: 418 Media Real Estate, Inc.

SHEET TITLE:
PLANTING AND MATERIALS PLAN 3



View from Webster Street



View from Columbia Street



View from Cambridge Street



View from Cambridge Street



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 1043-1059 Cambridge Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date August 22, 2018

Received by Uploaded to Energov

Date August 22, 2018

Relationship to project BZA 17003-2018

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>