



6 BROOKLINE STREET

client
CSQ REALTY LLC

title
COVER

project
6 BROOKLINE STREET

dh architects, llc
300 Leverage Street, Boston MA 02114

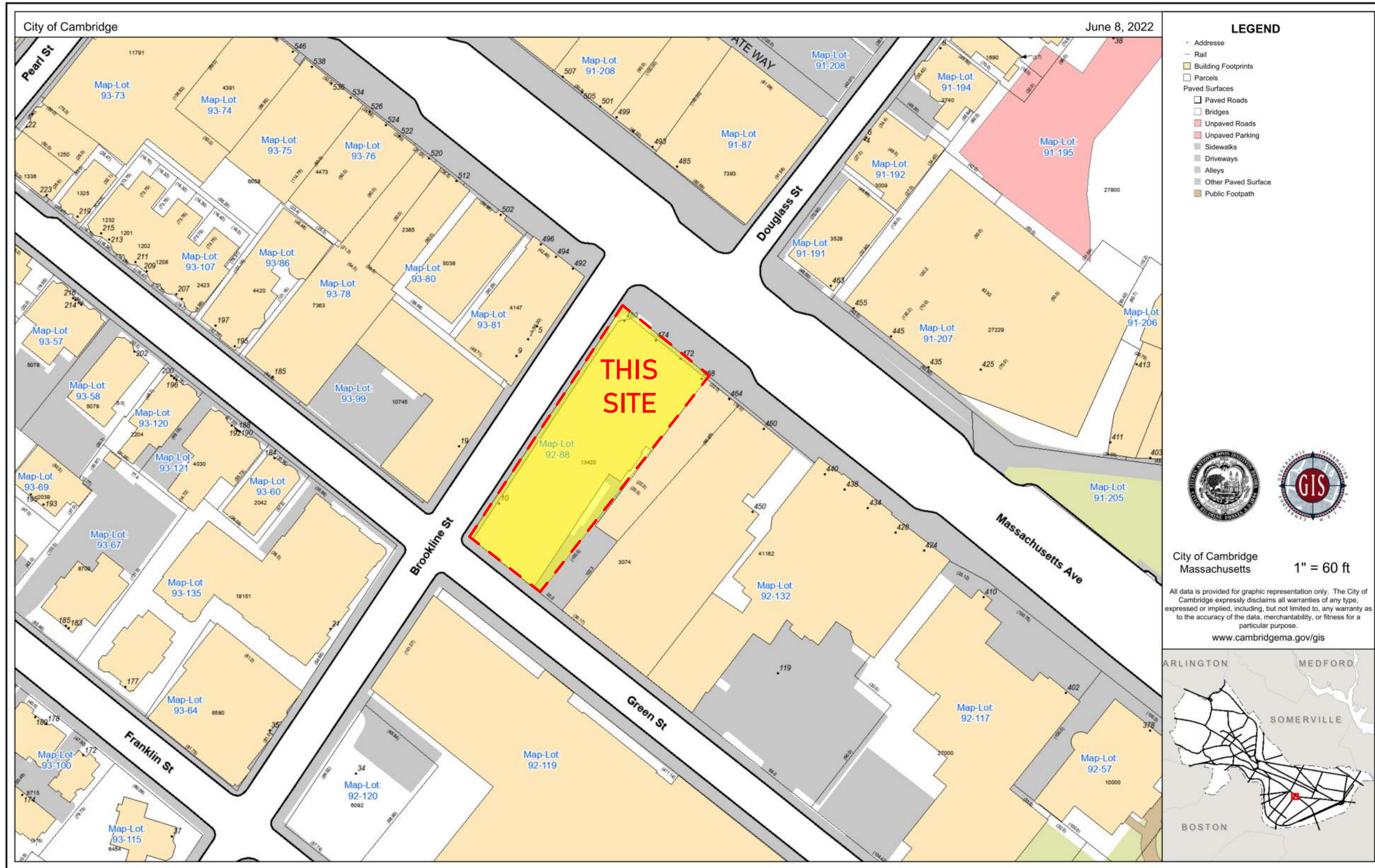
job number
22050

scale

set issue date
11.30.22

Sheet no.
A000

11/30/2022 4:27:17 AM



client
CSQ REALTY LLC

title
ASSESSORS PLOT PLAN

project
6 BROOKLINE STREET

dh architects, llc
200 Cambridge Street, Boston MA 02114

job number
22050

scale

set issue date
11.30.22

Sheet no.
A001

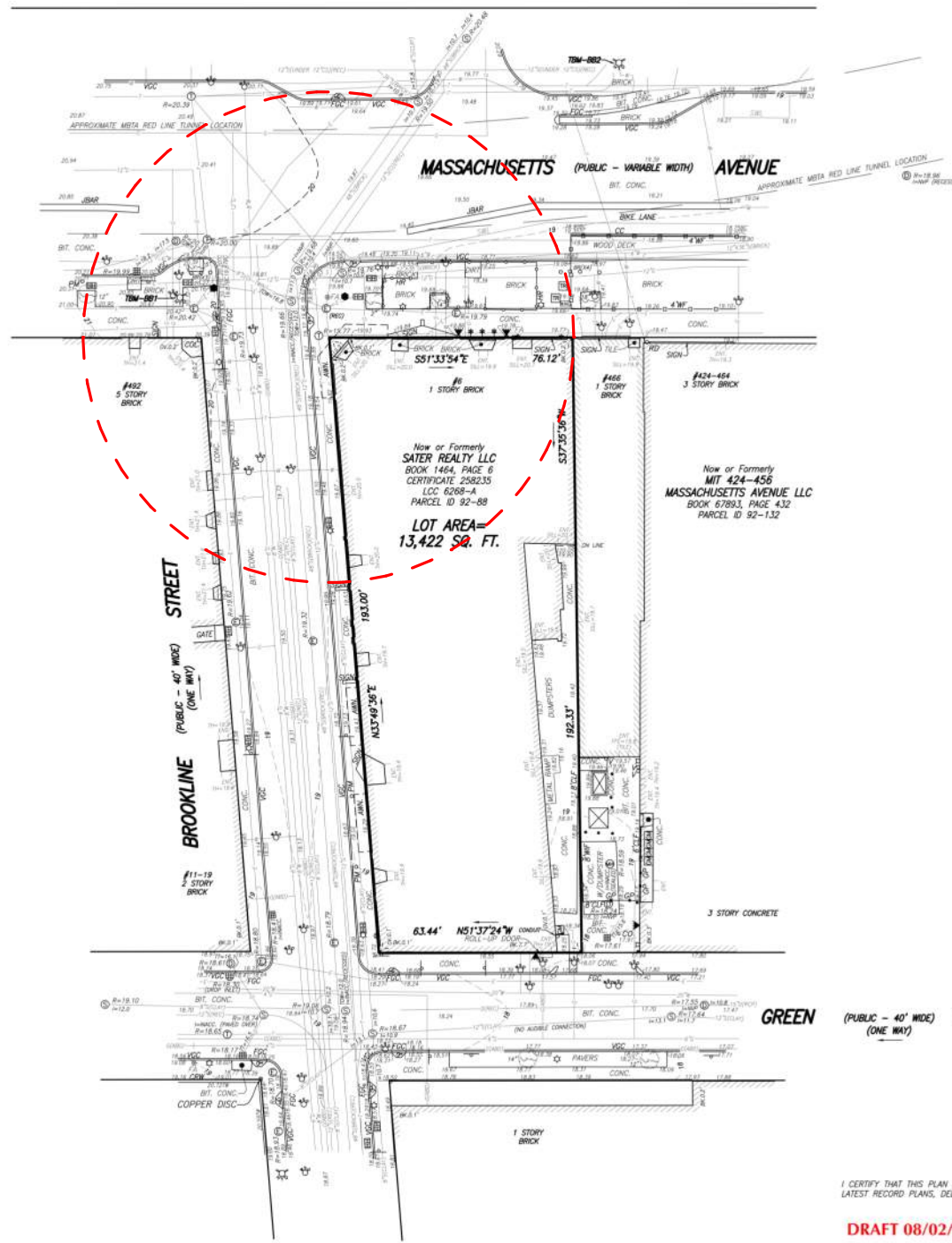


NOTES:

- BENCH MARK INFORMATION:**
ELEVATION DATUM TAKEN FROM FELDMAN JOB #11737.
TEMPORARY BENCH MARKS SET:
TBM-BB1- RIGHT BOLT OVER MAIN OUTLET ON A HYDRANT AT THE SOUTH WEST INTERSECTION OF MASSACHUSETTS AVENUE AND BROOKLINE STREET, AS SHOWN HEREON. ELEVATION=22.57
TBM-BB2- RIGHT BOLT OVER MAIN OUTLET ON A HYDRANT ON THE NORTH SIDE OF MASSACHUSETTS AVENUE ACROSS FROM LOCUS, AS SHOWN HEREON. ELEVATION=22.62
- ELEVATIONS REFER TO CAMBRIDGE CITY BASE (CCB).
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A "ZONE 2" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0576E, CITY OF CAMBRIDGE COMMUNITY NUMBER 250186, PANEL NUMBER 0576, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

LEGEND

<ul style="list-style-type: none"> ○ SEWER MANHOLE ○ DRAIN MANHOLE ○ ELECTRIC MANHOLE ○ TELEPHONE MANHOLE ○ MANHOLE ○ HYDRANT ○ WATER SHUT OFF/WATER GATE ○ GAS SHUT OFF/GAS GATE ○ CATCH BASIN ○ D-FRAME CATCH BASIN ○ TRAFFIC SIGNAL ○ LIGHT POLE ○ WALK LIGHT ○ ELECTRIC HANDHOLE ○ BOLLARD ○ POST ○ MAIL BOX ○ SIGN ○ CO CLEAN OUT ○ CC COAL CHUTE ○ FA FIRE ALARM ○ BR BIKE RACK ○ RD ROOF DRAIN ○ PM PARKING METER ○ V VENT ○ COPPER DISC ○ SECURITY CAMERA ○ FLOOD LIGHT ○ TRANSFORMER ○ GAS METER ○ TRASH RECEPTACLE ○ DECIDUOUS TREE ○ HANDICAP RAMP ○ GATE POST ○ IRRIGATION CONTROL VALVE ○ CURB RETURN ○ SPRINKLER CONNECTION ○ JERSEY BARRIER 	<ul style="list-style-type: none"> AWN AWNING BC BOTTOM OF CURB BIT BITUMINOUS BRK BRICK CC CONCRETE CURB CLF CHAIN LINK FENCE CONC CONCRETE COL COLUMN CRW CONCRETE RETAINING WALL ENT ENTRANCE FTE FINISH FLOOR ELEVATION FDC FLUSH GRANITE CURB HR HAND RAIL I= INVERT ELEVATION INACC INACCESSIBLE JBRP JERSEY BARRIER LCC LAND COURT CASE MBTA MASSACHUSETTS BAY TRANSPORTATION AUTHORITY NVP NO VISIBLE PIPES OV OVER R= RM ELEVATION (REC) RECORD SWL SOLID WHITE LINE SQ. FT. SQUARE FEET TBM TEMPORARY BENCH MARK TC TOP OF CURB TH THRESHOLD TOW TOP OF WATER TR= TOP OF TRAP TW TOP OF WALL VCG VERTICAL GRANITE CURB WF WOOD FENCE WIF WROUGHT IRON FENCE C CHABLE TELEVISION D DRAIN E ELECTRIC G GAS S SEWER T TELEPHONE W WATER S(ABO) ABANDONED PIPE SIZE AND MATERIAL -12"(D) CAST IRON DI DUCTILE IRON -X- METAL FENCE -W- WOOD FENCE -W- WROUGHT IRON FENCE
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REFERENCES

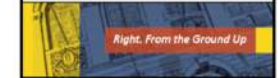
- MASSACHUSETTS LAND COURT
 - LCC 6268A
 - LCC 7974A
 - LCC 9198A
- CAMBRIDGE ENGINEERING DEPARTMENT
 - FIELD BOOK 167, PAGE 11
 - FILE: SURVEY0135
 - FILE: STR-04-01
 - FILE: STR-05-08
 - LAYOUT 573



BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



ADDRESS:
**6 BROOKLINE STREET
CAMBRIDGE, MASS.**

RESEARCH: CEM	FIELD CHIEF: BB
PROJ MGR: JRZ	APPROVED:
CALC: CEM	CADD: CEM
FIELD CHK:	CRD FILE: 2200677

REVISIONS:

DRAWING NAME:
**EXISTING CONDITIONS
PLAN OF LAND**

DATE:	AUGUST 02, 2022
SCALE:	1" = 10'-0"
set issue date	11.30.22
SHEET NO.	1 OF 1

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS, AND CERTIFICATES OF TITLE.

DRAFT 08/02/2022

JOSEPH R. ZAMBUTO, PLS (MA# 52783) DATE: JZAMBUTO@FELDMANGEO.COM

SITE AREA 13,422 S.F.
DISTRICT F.A.R. 4.0
ALLOWABLE GFA 53,688 S.F.

BUILDING AREA SCHEDULE - GFA

MIDDLE EAST ENTRY

SONIA VENUE	3944 SF
CIRC	422 SF
CIRC	376 SF
STR	266 SF
ELEV	155 SF
TRASH	256 SF
	5420 SF

2ND FLOOR

GUEST ROOMS	10104 SF
	10104 SF

3RD FLOOR

GUEST ROOMS	10145 SF
	10145 SF

4TH FLOOR

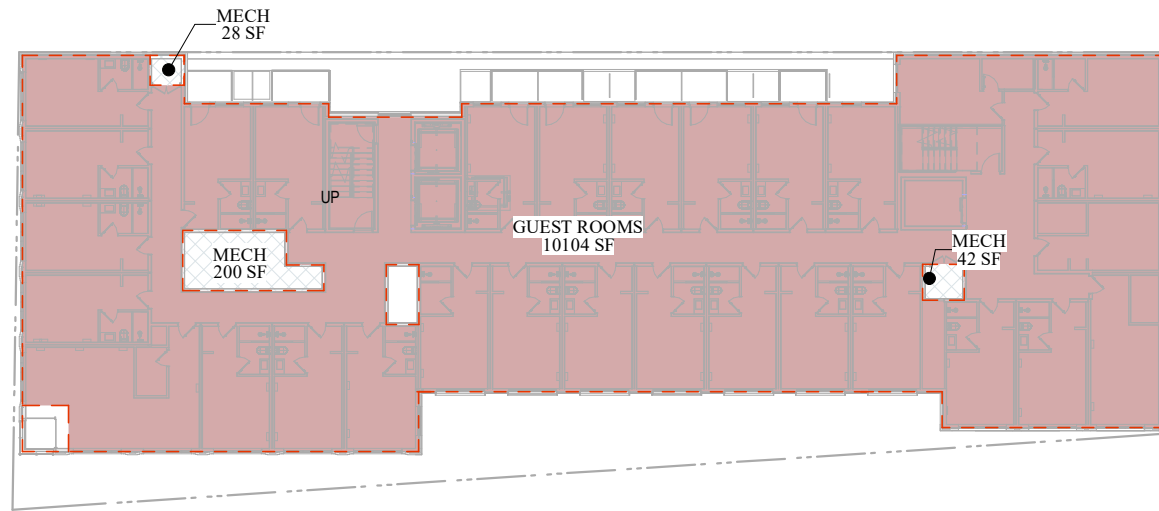
GUEST ROOMS	10097 SF
	10097 SF

5TH FLOOR

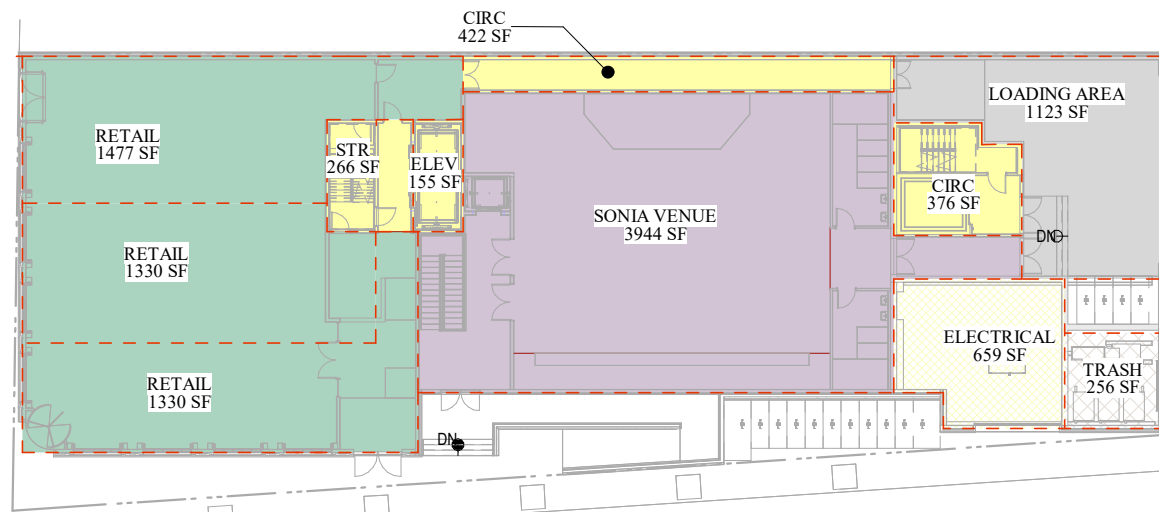
GUEST ROOMS	10104 SF
	10104 SF

6TH FLOOR

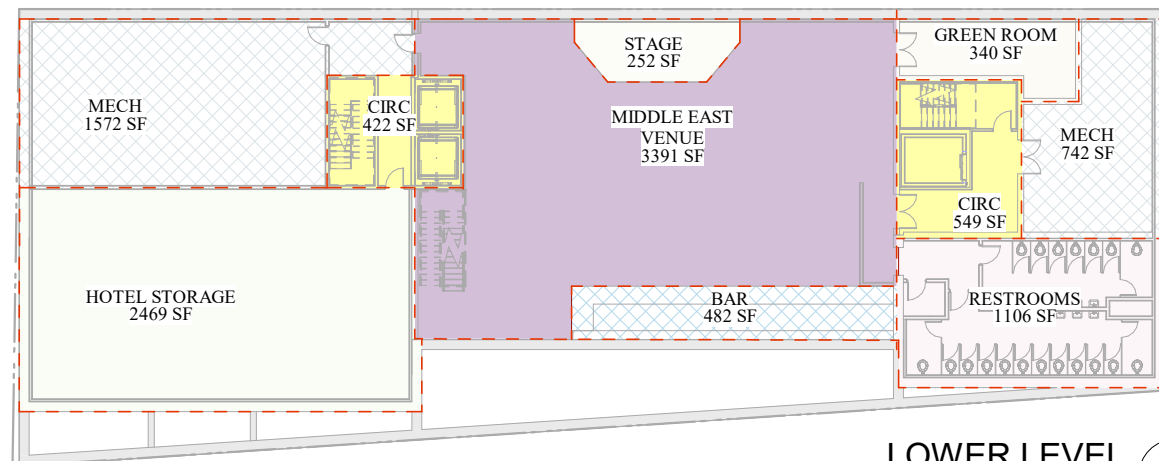
BAR/RESTAURANT	2395 SF
RR	253 SF
CIRCULATION	1563 SF
KITCHEN	1025 SF
GUEST ROOMS	2372 SF
	7607 SF
	53477 SF



2ND FLOOR
 1/32" = 1'-0" 3



1ST FLOOR
 1/32" = 1'-0" 2



LOWER LEVEL
 1/32" = 1'-0" 1

11/30/2022 4:27:24 AM

client
CSQ REALTY LLC

title
ZONING AREA CALCULATIONS
 project
6 BROOKLINE STREET

dh architects, llc
 200 Leverage Street, Boston MA 02114

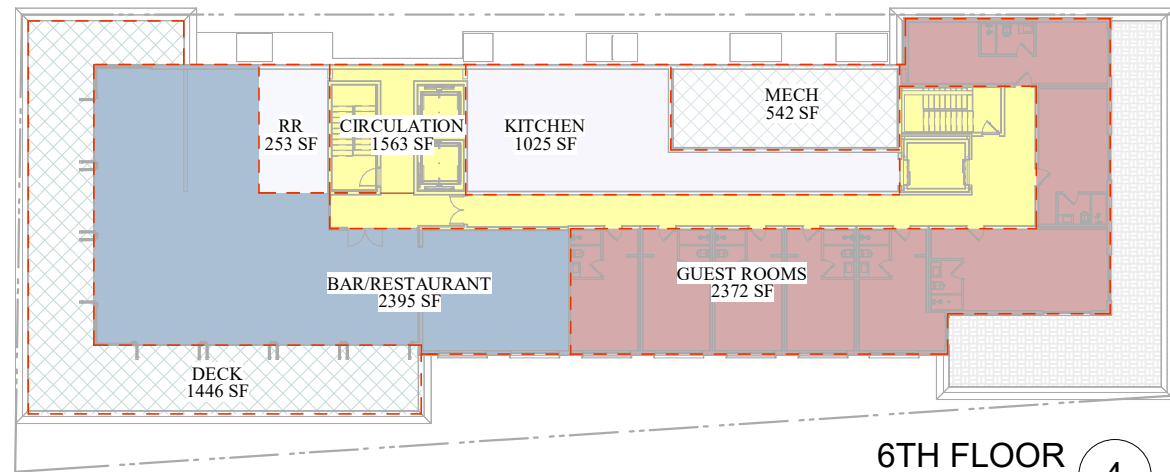
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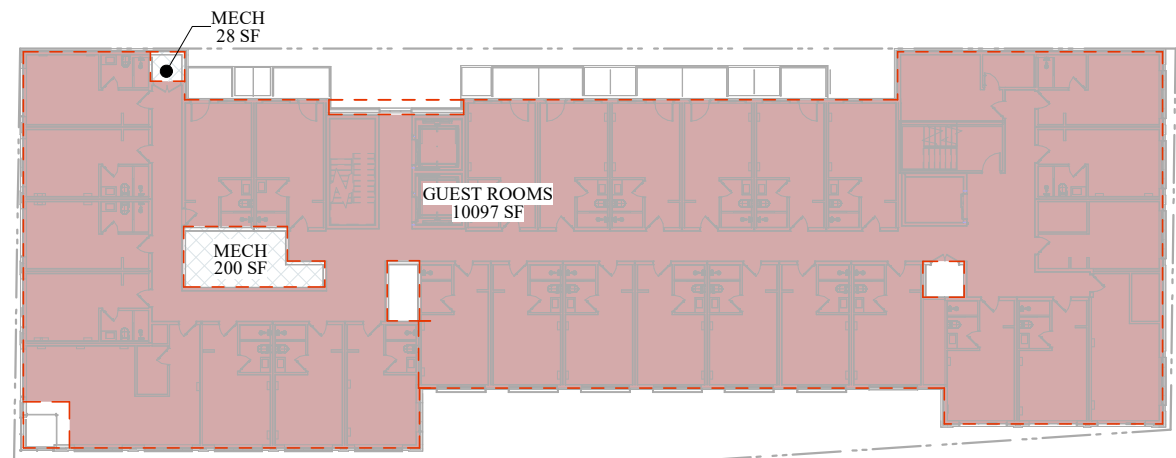
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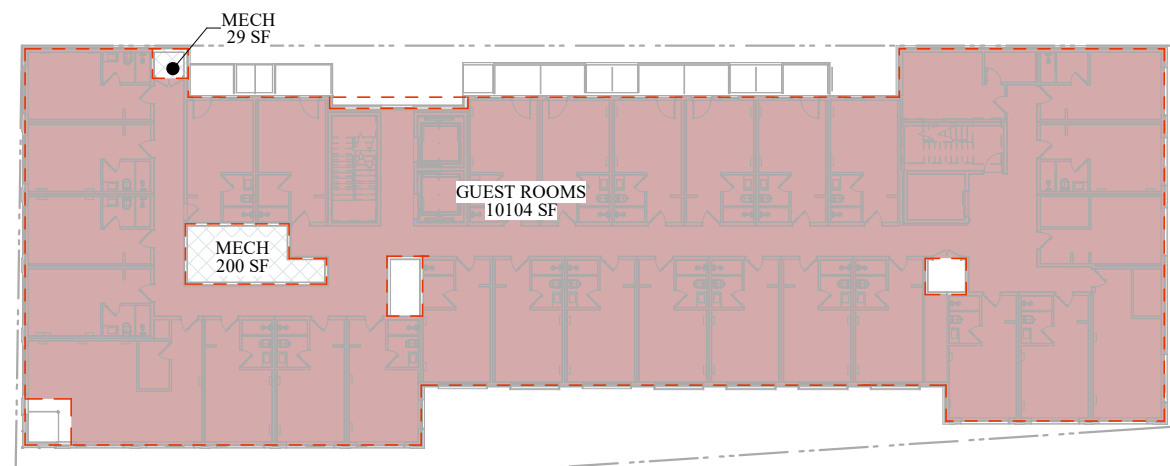
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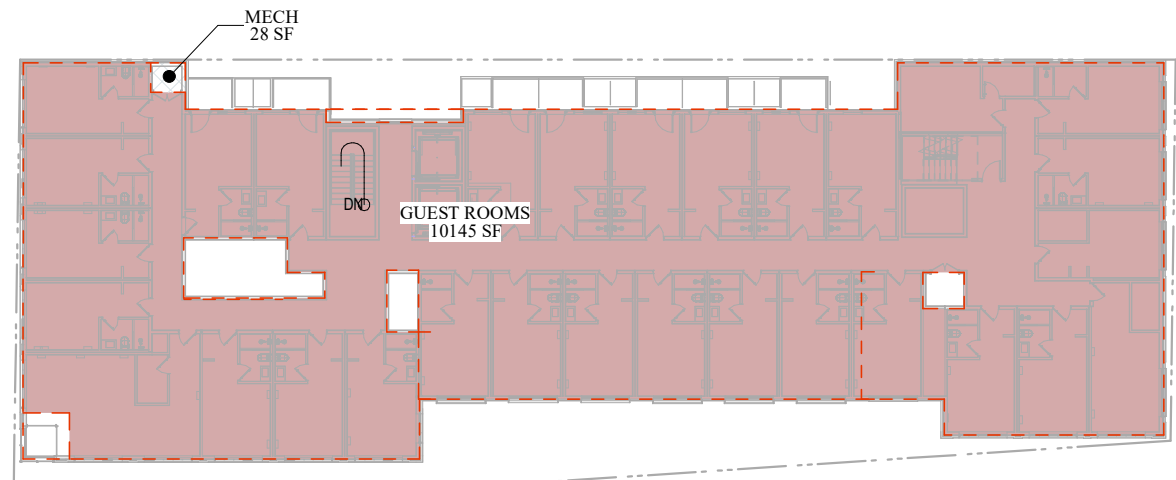
6TH FLOOR ④
1/32" = 1'-0"



4TH FLOOR ②
1/32" = 1'-0"



5TH FLOOR ③
1/32" = 1'-0"



3RD FLOOR ①
1/32" = 1'-0"

client
CSQ REALTY LLC

title
ZONING AREA CALCULATIONS
project
6 BROOKLINE STREET

dh architects, llc
200 LaGrange Street, Boston, MA 02124

job number
22050

scale
1/32" = 1'-0"

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11.30.22

Sheet no.
A011



VIEW OF SUBJECT PROPERTY FROM MASS AVE



VIEW FROM BROOKLINE STREET



VIEW FROM BROOKLINE STREET



VIEW FROM BROOKLINE STREET

11/30/2022 4:27:38 AM

client
CSQ REALTY LLC

title
SITE PHOTOS

project
6 BROOKLINE STREET

dh architects, llc
300 LaGrange Street, Boston MA 02134

job number
22050

scale

set issue date
11.30.22

Sheet no.

A012



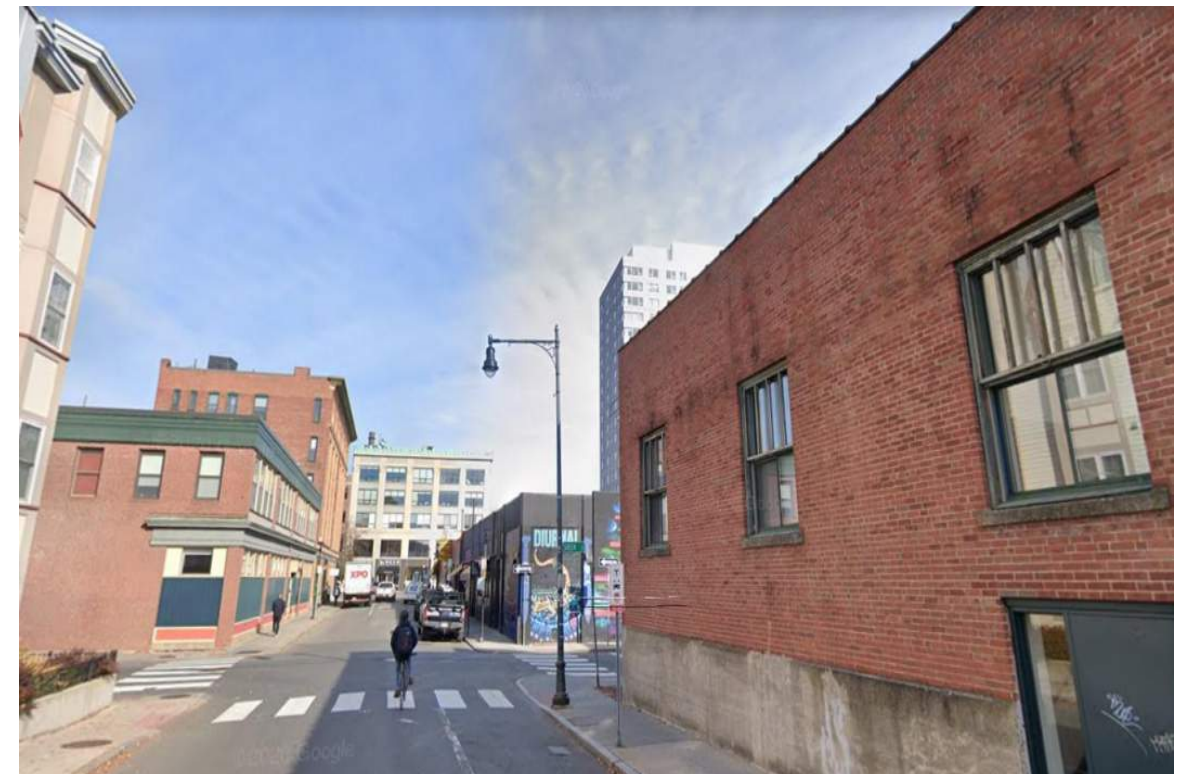
494 MASS AVE



VIEW OF PROPERTY FROM GREEN STREET



VIEW SOUTHEAST FROM BROOKLINE STREET



VIEW NORTHEAST FROM BROOKLINE STREET

11/30/2022 4:27:38 AM

client
CSQ REALTY LLC

title
SITE PHOTOS
project
6 BROOKLINE STREET

dh architects, llc
300 LaGrange Street, Boston, MA 02134

job number
22050

scale

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11.30.22

Sheet no.
A013



428 MASS AVE



440 MASS AVE



VIEW NORTHWEST FROM MASS AVE



VIEW SOUTHEAST FROM MASS AVE

11/30/2022 4:27:39 AM

client
CSQ REALTY LLC

title
SITE PHOTOS
project
6 BROOKLINE STREET

dh architects, llc
300 Leverage Street, Boston MA 02130

job number
22050

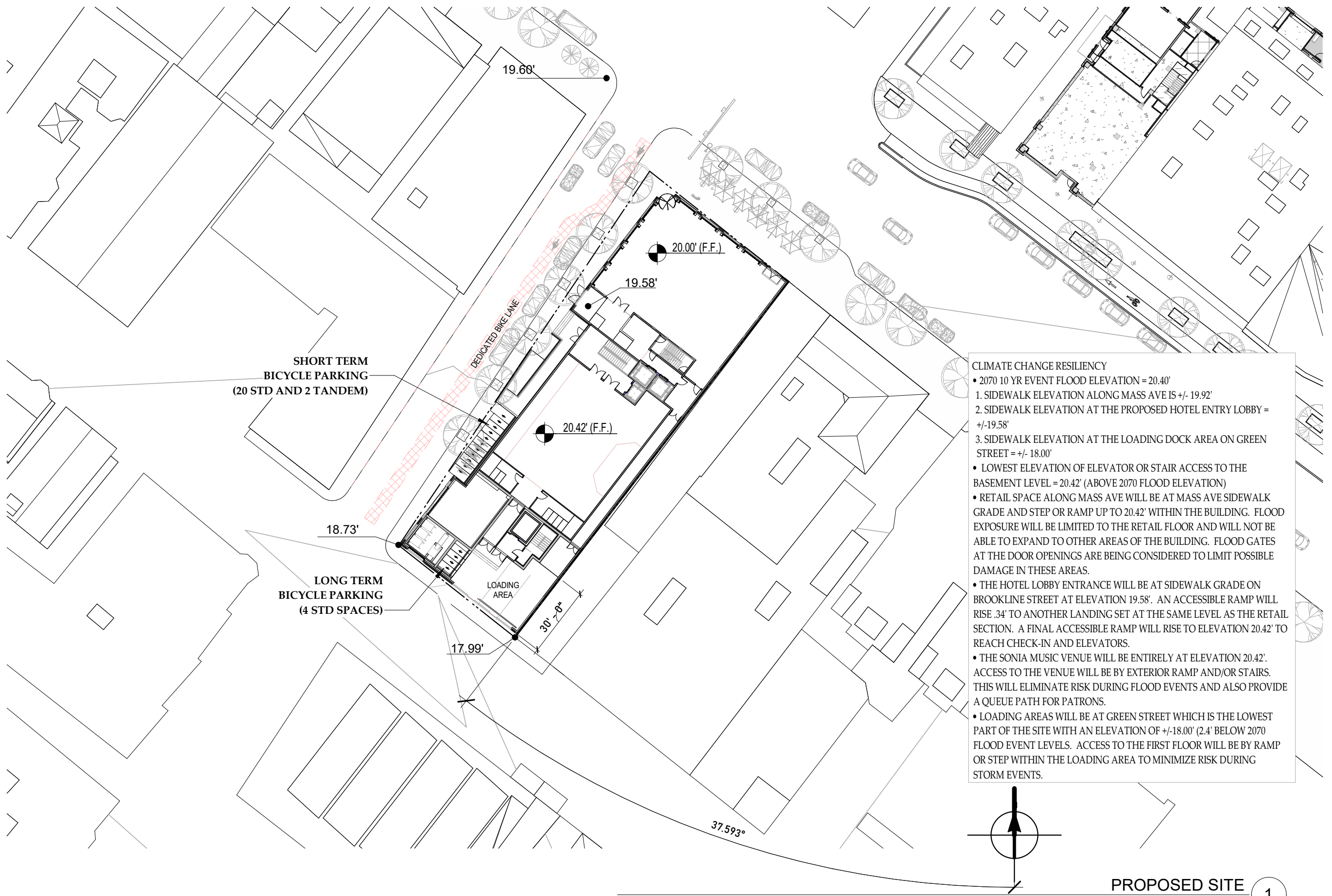
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11.30.22

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A014

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CLIMATE CHANGE RESILIENCY

- 2070 10 YR EVENT FLOOD ELEVATION = 20.40'
- 1. SIDEWALK ELEVATION ALONG MASS AVE IS +/- 19.92'
- 2. SIDEWALK ELEVATION AT THE PROPOSED HOTEL ENTRY LOBBY = +/- 19.58'
- 3. SIDEWALK ELEVATION AT THE LOADING DOCK AREA ON GREEN STREET = +/- 18.00'
- LOWEST ELEVATION OF ELEVATOR OR STAIR ACCESS TO THE BASEMENT LEVEL = 20.42' (ABOVE 2070 FLOOD ELEVATION)
- RETAIL SPACE ALONG MASS AVE WILL BE AT MASS AVE SIDEWALK GRADE AND STEP OR RAMP UP TO 20.42' WITHIN THE BUILDING. FLOOD EXPOSURE WILL BE LIMITED TO THE RETAIL FLOOR AND WILL NOT BE ABLE TO EXPAND TO OTHER AREAS OF THE BUILDING. FLOOD GATES AT THE DOOR OPENINGS ARE BEING CONSIDERED TO LIMIT POSSIBLE DAMAGE IN THESE AREAS.
- THE HOTEL LOBBY ENTRANCE WILL BE AT SIDEWALK GRADE ON BROOKLINE STREET AT ELEVATION 19.58'. AN ACCESSIBLE RAMP WILL RISE .34' TO ANOTHER LANDING SET AT THE SAME LEVEL AS THE RETAIL SECTION. A FINAL ACCESSIBLE RAMP WILL RISE TO ELEVATION 20.42' TO REACH CHECK-IN AND ELEVATORS.
- THE SONIA MUSIC VENUE WILL BE ENTIRELY AT ELEVATION 20.42'. ACCESS TO THE VENUE WILL BE BY EXTERIOR RAMP AND/OR STAIRS. THIS WILL ELIMINATE RISK DURING FLOOD EVENTS AND ALSO PROVIDE A QUEUE PATH FOR PATRONS.
- LOADING AREAS WILL BE AT GREEN STREET WHICH IS THE LOWEST PART OF THE SITE WITH AN ELEVATION OF +/- 18.00' (2.4' BELOW 2070 FLOOD EVENT LEVELS). ACCESS TO THE FIRST FLOOR WILL BE BY RAMP OR STEP WITHIN THE LOADING AREA TO MINIMIZE RISK DURING STORM EVENTS.

PROPOSED SITE 1
1" = 40'-0"

client
CSQ REALTY LLC

title
SITE PLAN

project
6 BROOKLINE STREET

dh architects, llc

job number
22050

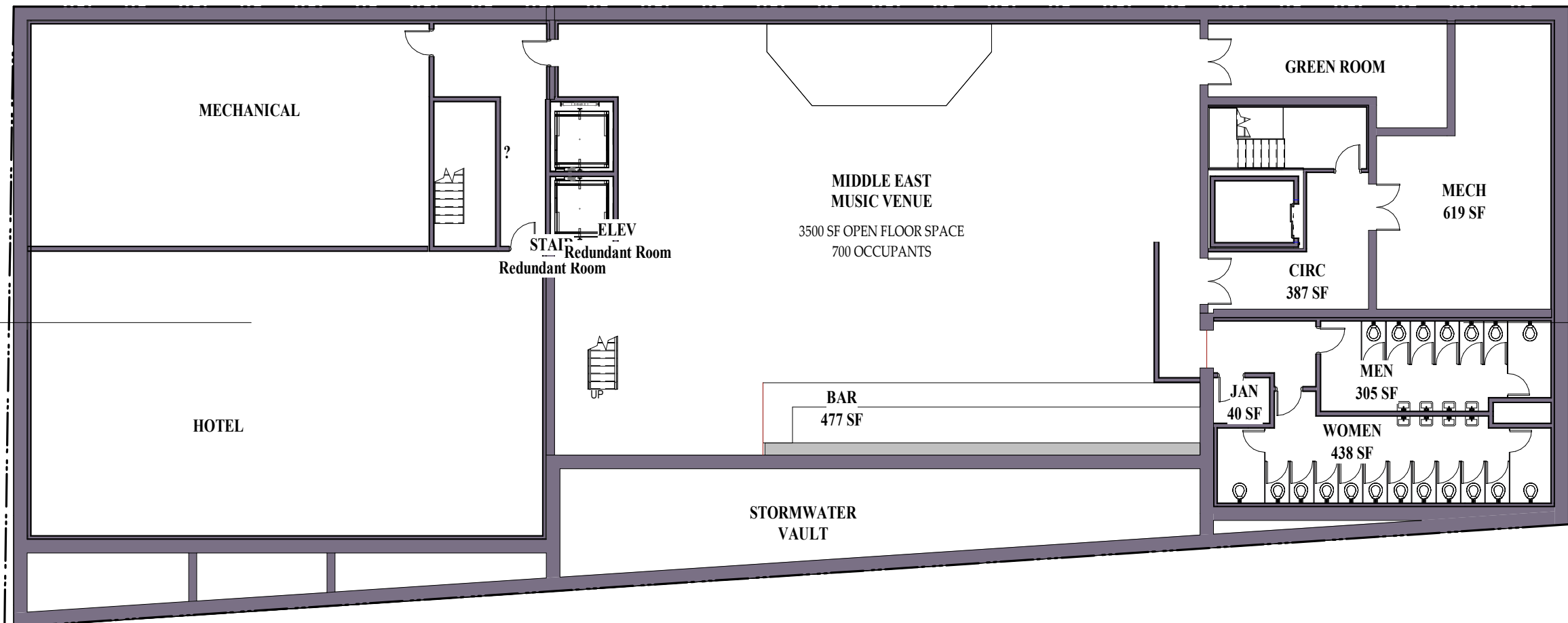
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set issue date
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A100

11/30/2022 4:27:46 AM

1
A301



LOWER LEVEL 1
1/16" = 1'-0"

client
CSQ REALTY LLC

title
BASEMENT FLOOR PLAN
project
6 BROOKLINE STREET

dh architects, llc
200 Leverage Street, Boston MA 02128

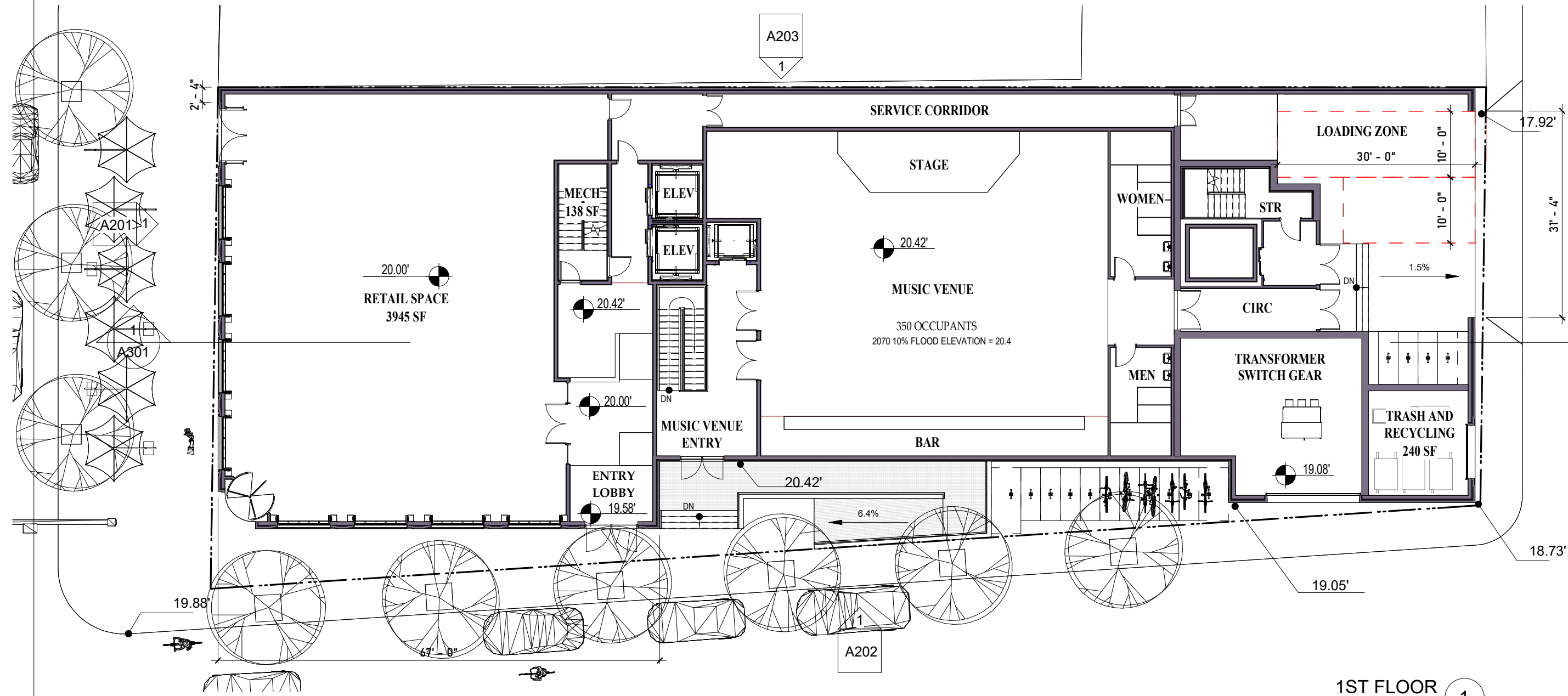
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set issue date
11.30.22

Sheet no.
A101

11/30/2022 4:27:48 AM



1ST FLOOR 1
 1/16" = 1'-0"

client
CSQ REALTY LLC

title
1ST FLOOR PLAN
 project
6 BROOKLINE STREET

dh architects, llc
 200 LaGrange Street, Boston, MA 02124

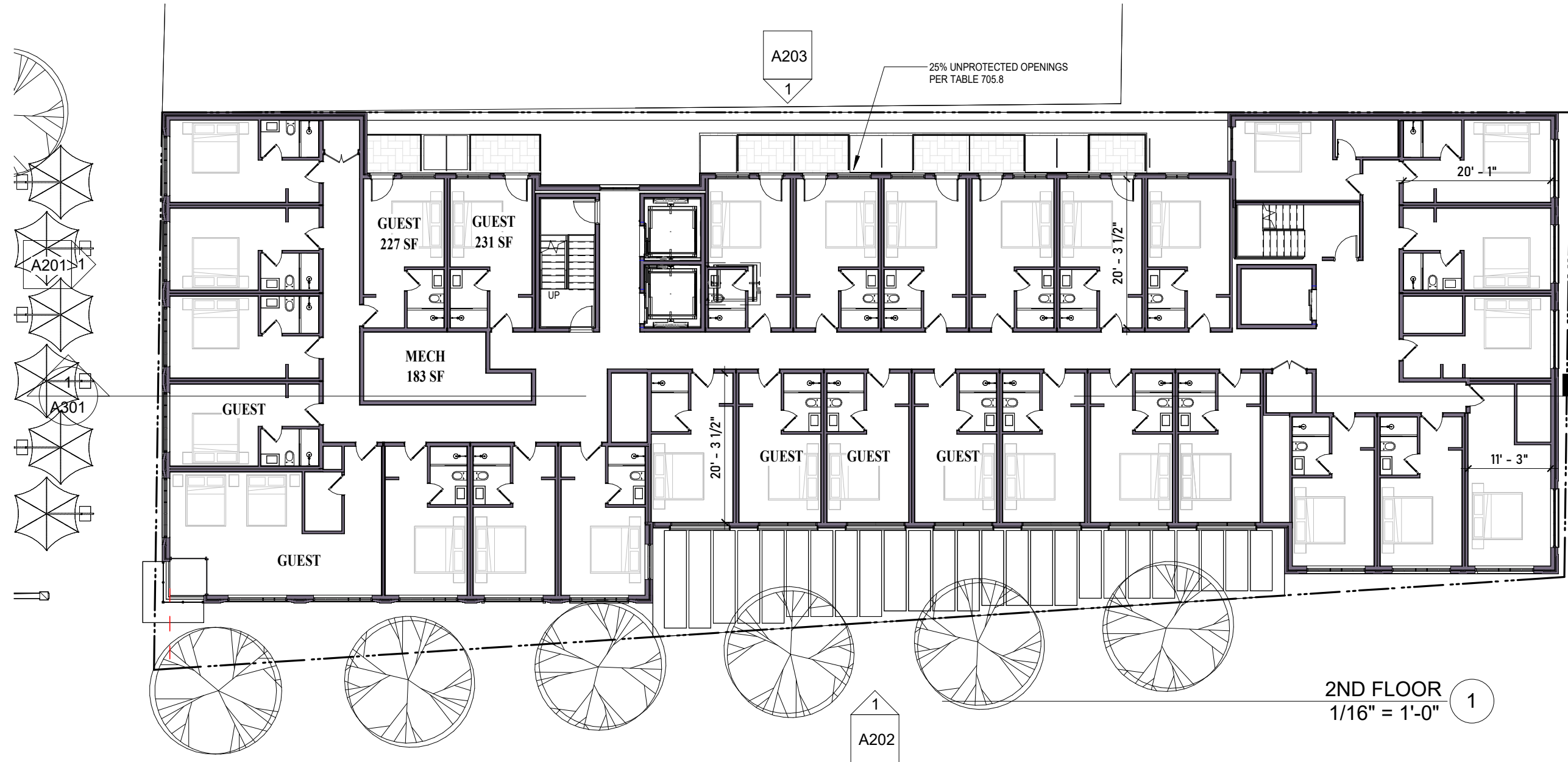
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Sheet no.
A102

11/30/2022 4:27:51 AM



client
CSQ REALTY LLC

title
2ND FLOOR PLAN
project
6 BROOKLINE STREET

dh architects, llc
200 Leverage Street, Boston MA 02114

job number
22050

scale
1/16" = 1'-0"

set issue date
11.30.22

Sheet no.
A103

2ND FLOOR
1/16" = 1'-0" 1

A203
1

25% UNPROTECTED OPENINGS
PER TABLE 705.8

GUEST
227 SF

GUEST
231 SF

MECH
183 SF

GUEST

GUEST

GUEST

GUEST

GUEST

20' - 1"

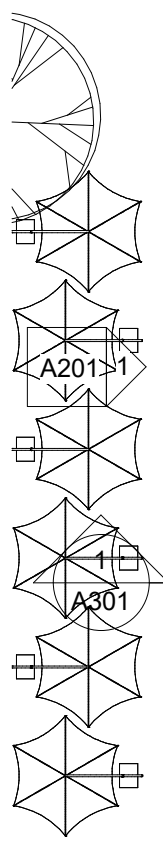
20' - 3 1/2"

20' - 3 1/2"

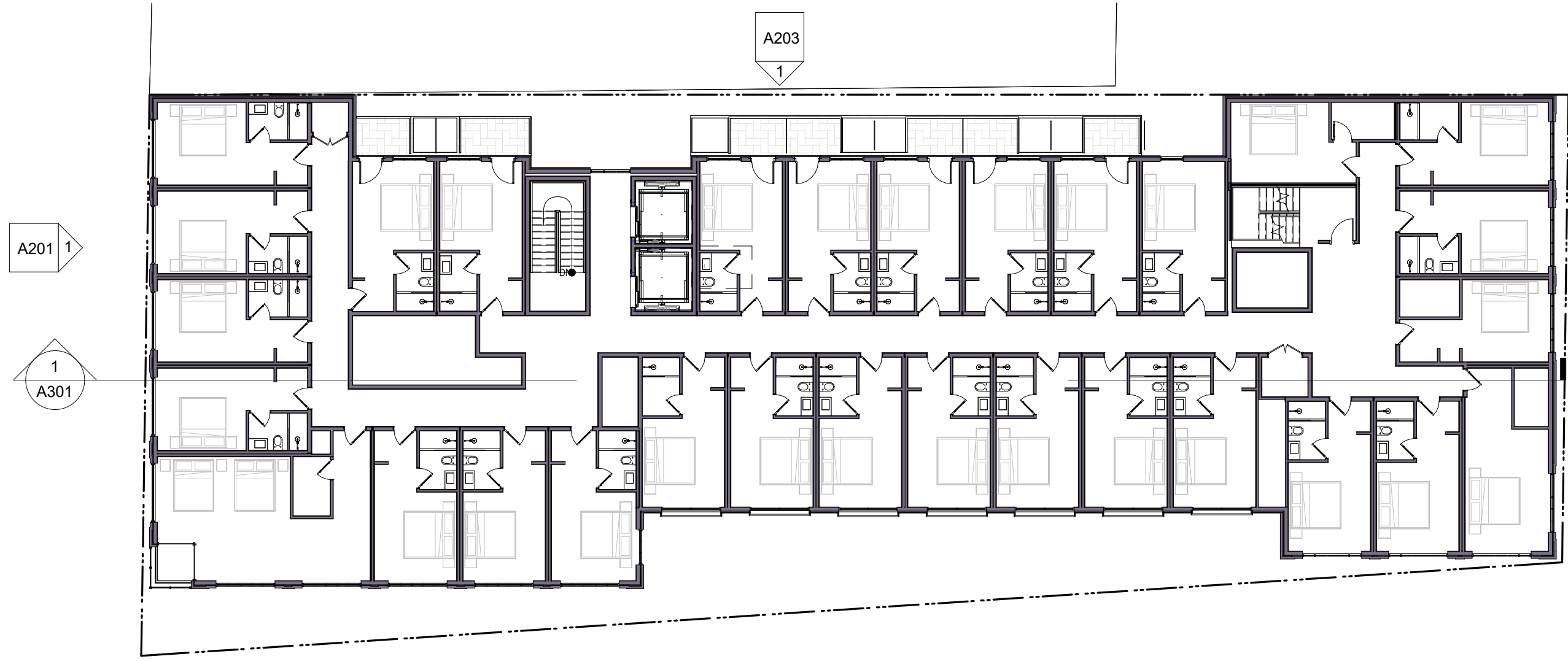
11' - 3"

1
A202

2
A201



11/30/2022 4:27:53 AM



3RD FLOOR
 1/16" = 1'-0" 1

client
CSQ REALTY LLC

2 2
3RD FLOOR PLAN
6 BROOKLINE STREET

title
3RD FLOOR PLAN
 project
6 BROOKLINE STREET

dh architects, llc
 200 LaGrange Street, Boston, MA 02124

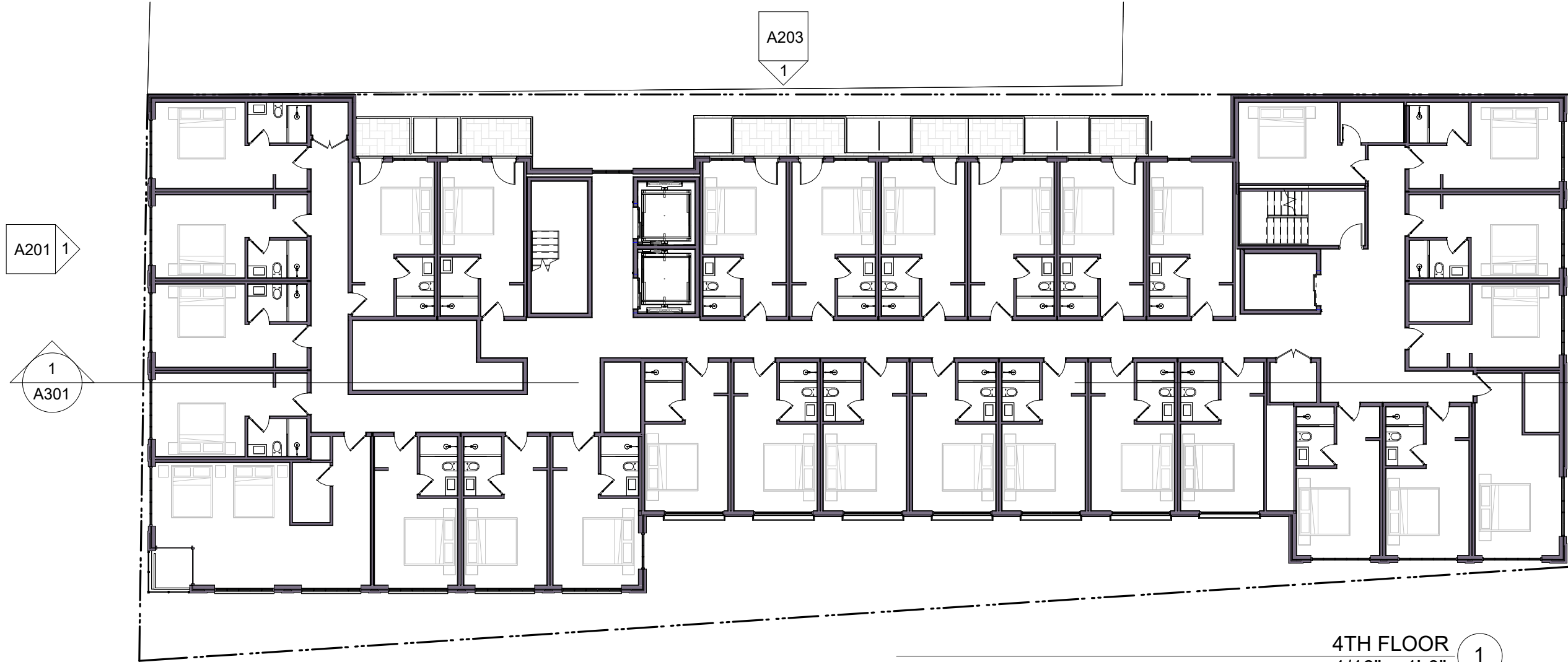
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set issue date
11.30.22

Sheet no.
A104

11/30/2022 4:27:56 AM



4TH FLOOR
 1/16" = 1'-0" 1

client
 CSQ REALTY LLC

title
 4TH FLOOR PLAN
 project
 6 BROOKLINE STREET

dh architects, llc
 200 Leverage Street, Boston MA 02114

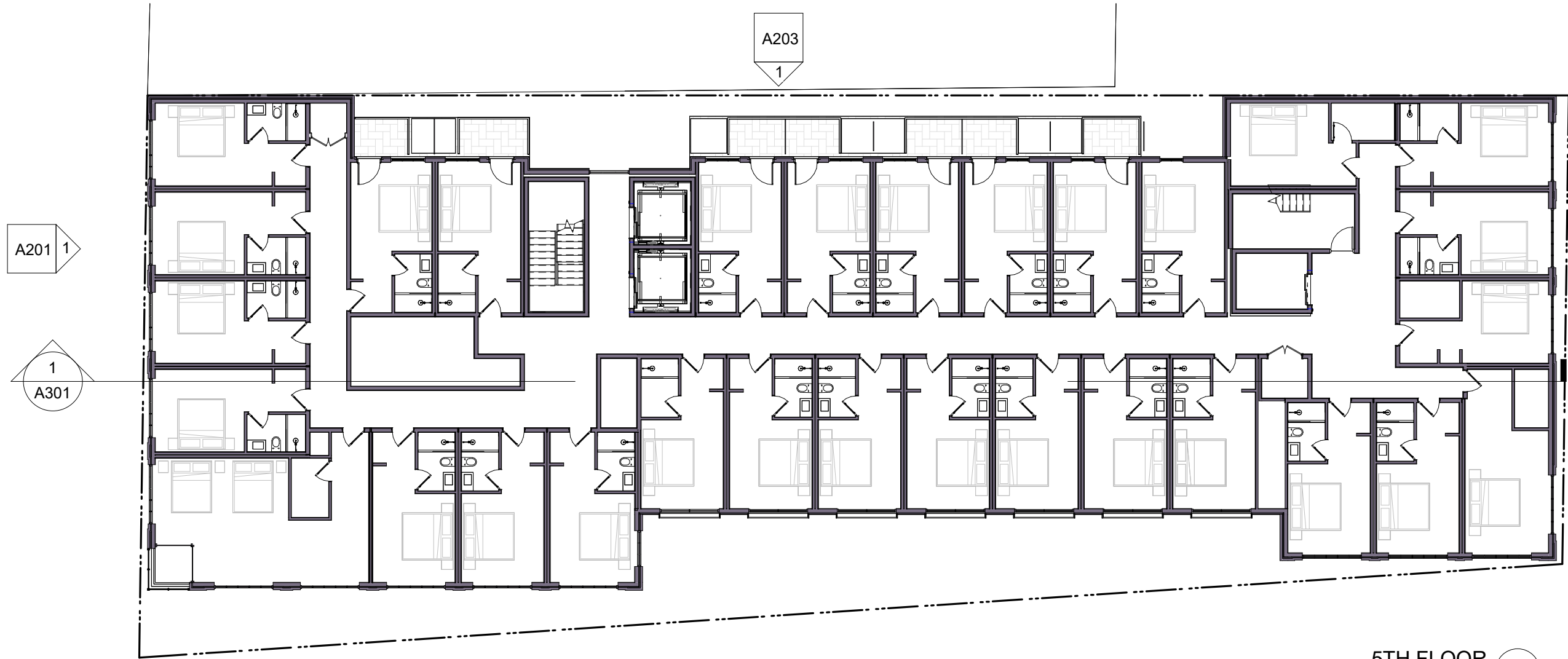
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scale
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set issue date
 11.30.22

Sheet no.
 A105

11/30/2022 4:27:59 AM



5TH FLOOR
 1/16" = 1'-0" 1

client
CSQ REALTY LLC

title **5TH FLOOR PLAN**
 project **6 BROOKLINE STREET**

dh architects, llc
 200 LaGrange Street, Boston, MA 02124

job number
22050

scale
 1/16" = 1'-0"

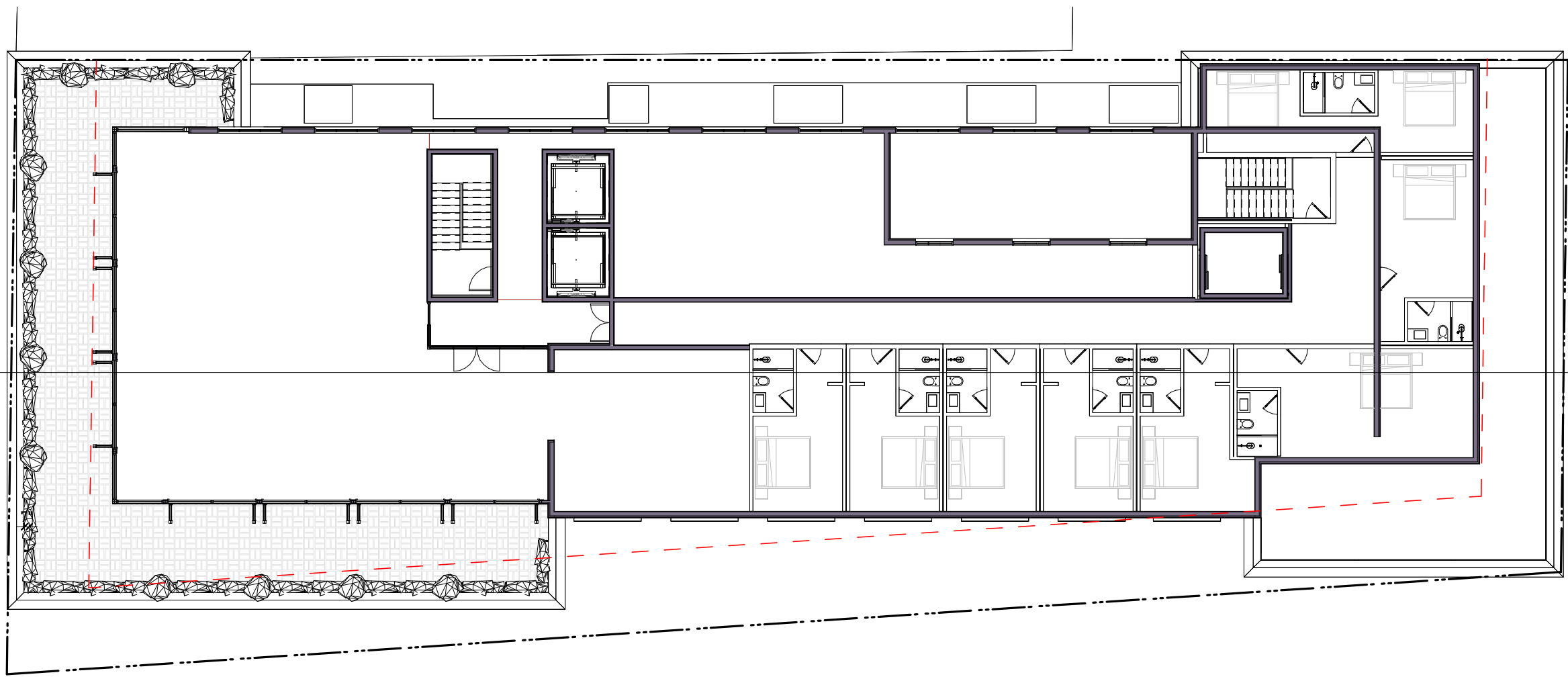
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11.30.22

Sheet no.
A106

11/30/2022 4:28:00 AM

1
A301

A201 1



1
A202

6TH FLOOR
1/16" = 1'-0" 1

2
A201

client
CSQ REALTY LLC

title
6TH FLOOR PLAN

project
6 BROOKLINE STREET

dh architects, llc
200 Leverage Street, Boston MA 02129

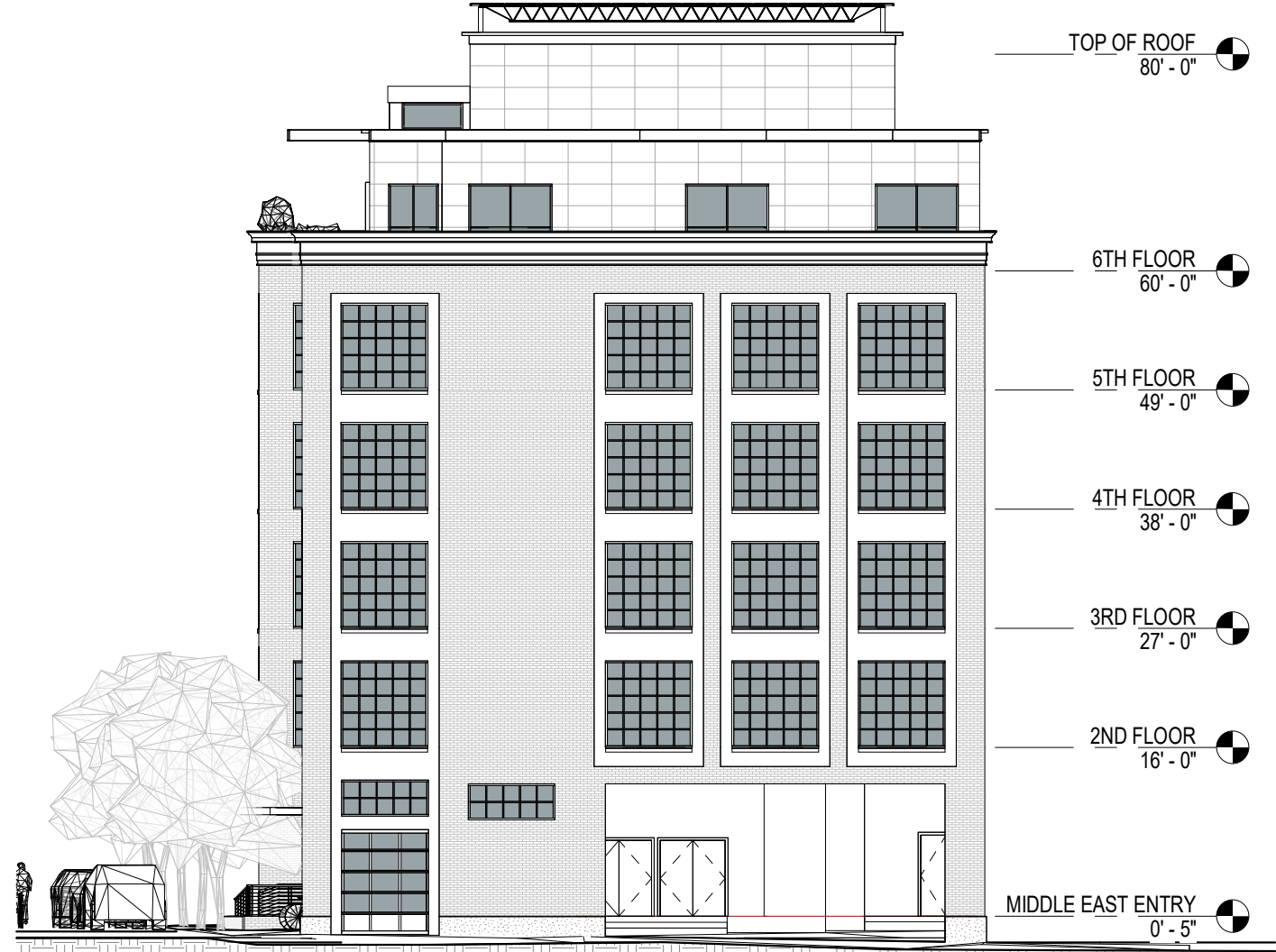
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scale
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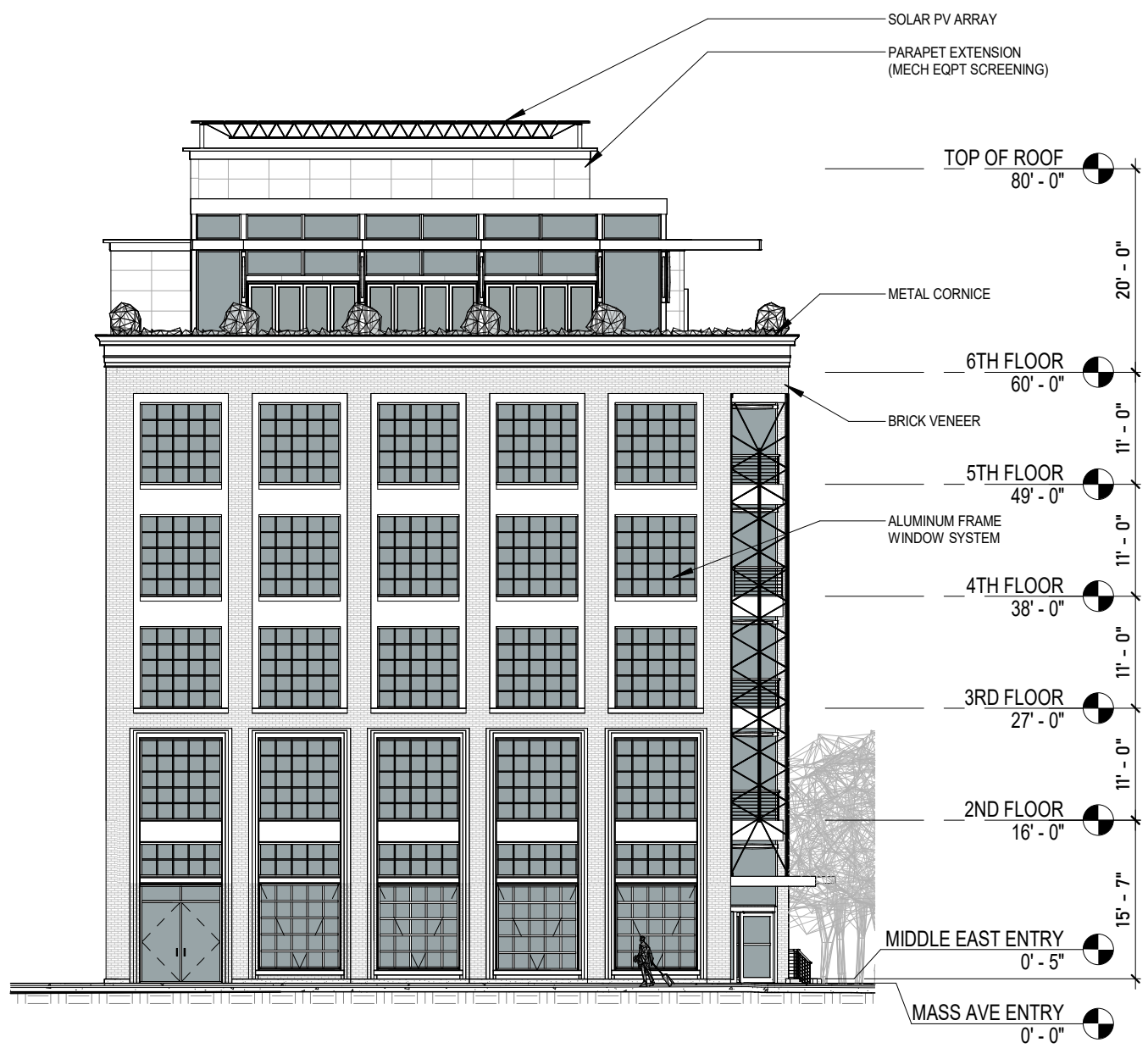
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11.30.22

Sheet no.
A107

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2 GREEN STREET ELEVATION
1/16" = 1'-0"



1 MASS AVE ELEVATION
1/16" = 1'-0"

client
CSQ REALTY LLC

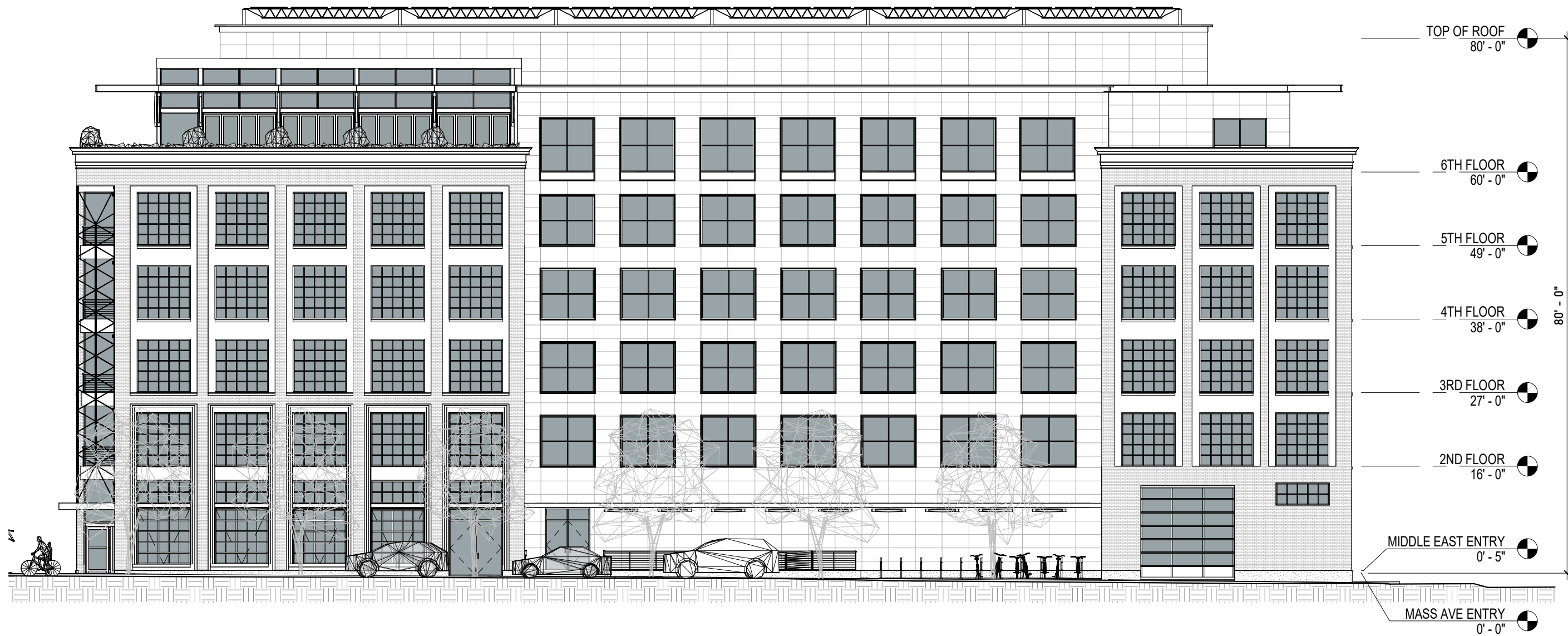
title
PROPOSED BUILDING ELEVATIONS

project
6 BROOKLINE STREET

dh architects, llc
200 Leverage Street, Boston MA 02128
job number
22050
scale
1/16" = 1'-0"
set issue date
11.30.22

Sheet no.
A201

11/30/2022 4:28:12 AM



1 BROOKLINE STREET ELEVATION
 1/16" = 1'-0"

client
CSQ REALTY LLC

title
PROPOSED BUILDING ELEVATIONS

project
6 BROOKLINE STREET

dh architects, llc
 200 Cambridge Street, Boston MA 02114

job number
22050

scale
1/16" = 1'-0"

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11.30.22

Sheet no.
A202

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MASS AVE LEFT SIDE ELEVATION
1/16" = 1'-0"

1

client
CSQ REALTY LLC

title
PROPOSED BUILDING ELEVATIONS

project
6 BROOKLINE STREET

dh architects, llc
200 Leverage Street, Boston MA 02116

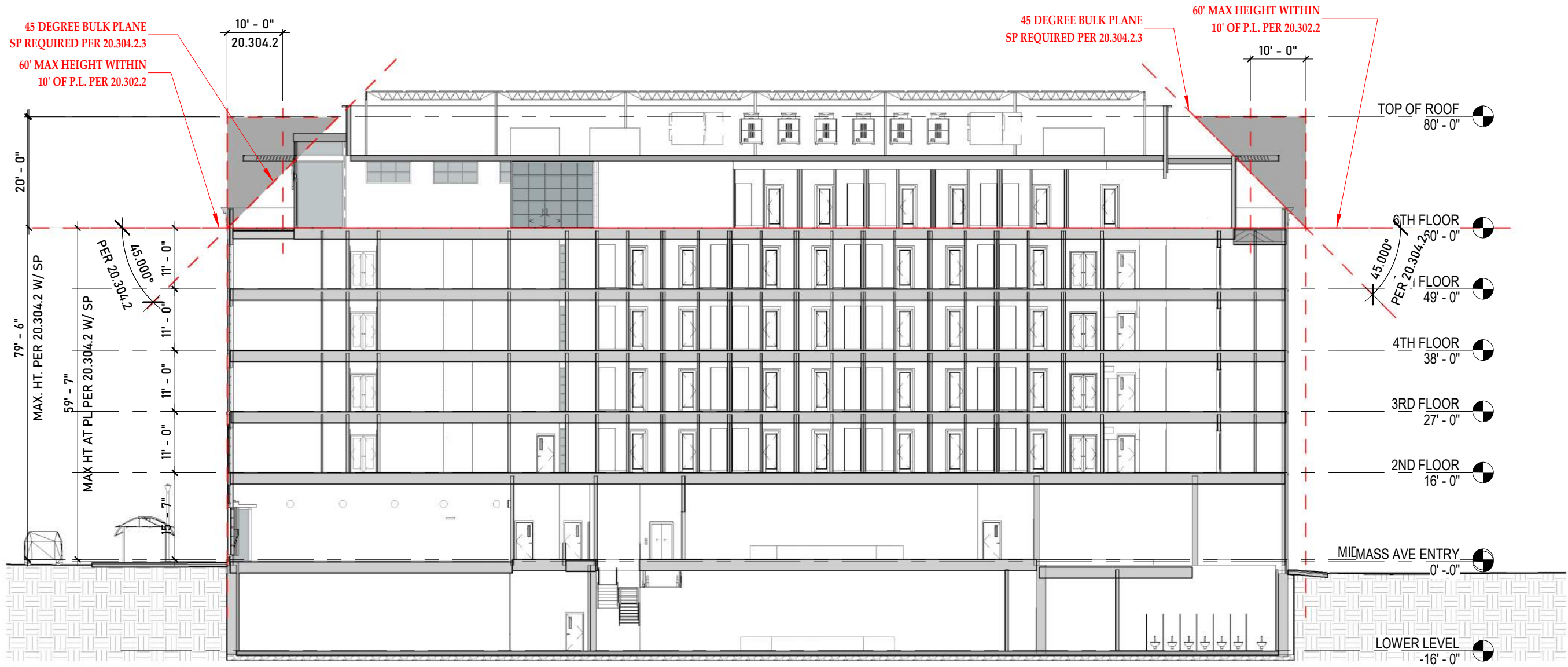
job number
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scale
1/16" = 1'-0"

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11.30.22

Sheet no.
A203

11/30/2022 4:28:21 AM



BUILDING SECTION 1
1" = 20'-0"

client
CSQ REALTY LLC

title
LONGITUDINAL SECTION
project
6 BROOKLINE STREET

dh architects, llc
333 LAURENCE STREET, SUITE 500, BOSTON, MA 02129

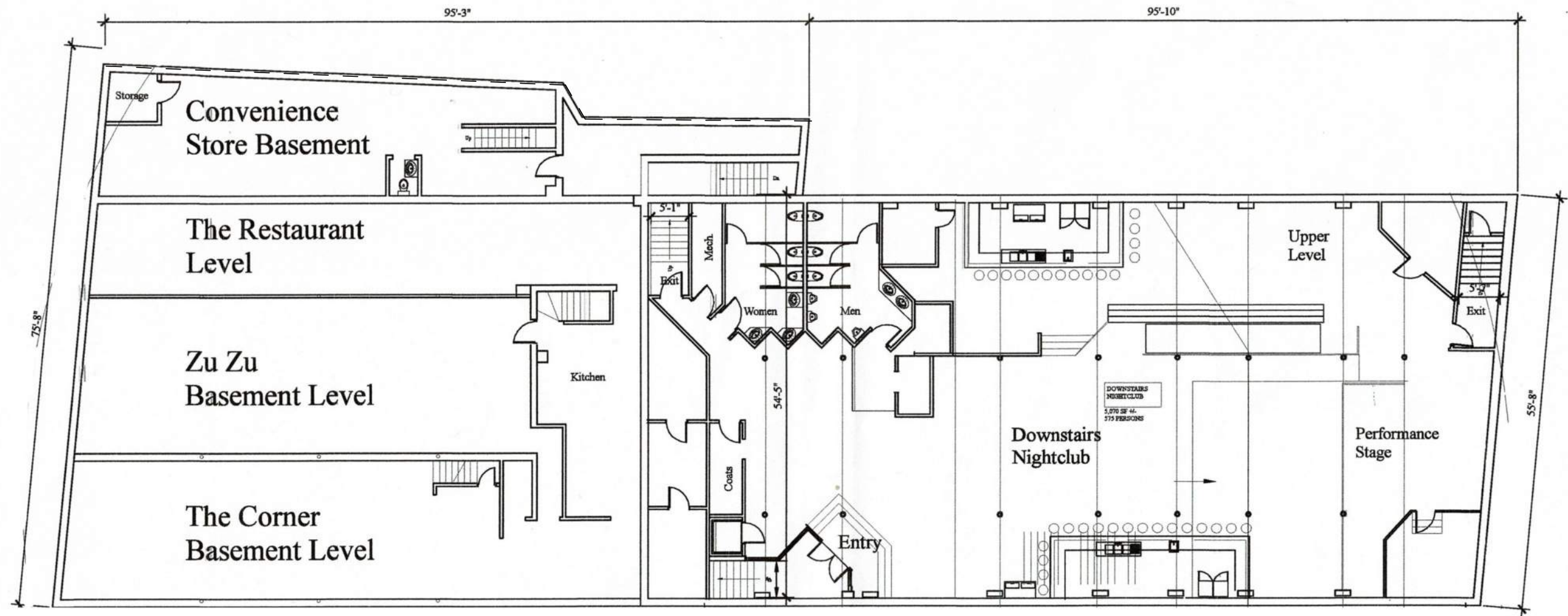
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22050

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11.30.22

Sheet no.
A301

11/30/2022 4:28:21 AM



EXISTING BASEMENT LEVEL PLAN
 1/16" = 1'-0"

1

client
 CSQ REALTY LLC

title
 EXISTING FLOOR PLANS
 project
 6 BROOKLINE STREET

dh architects, llc
 200 Leverage Street, Boston, MA 02129

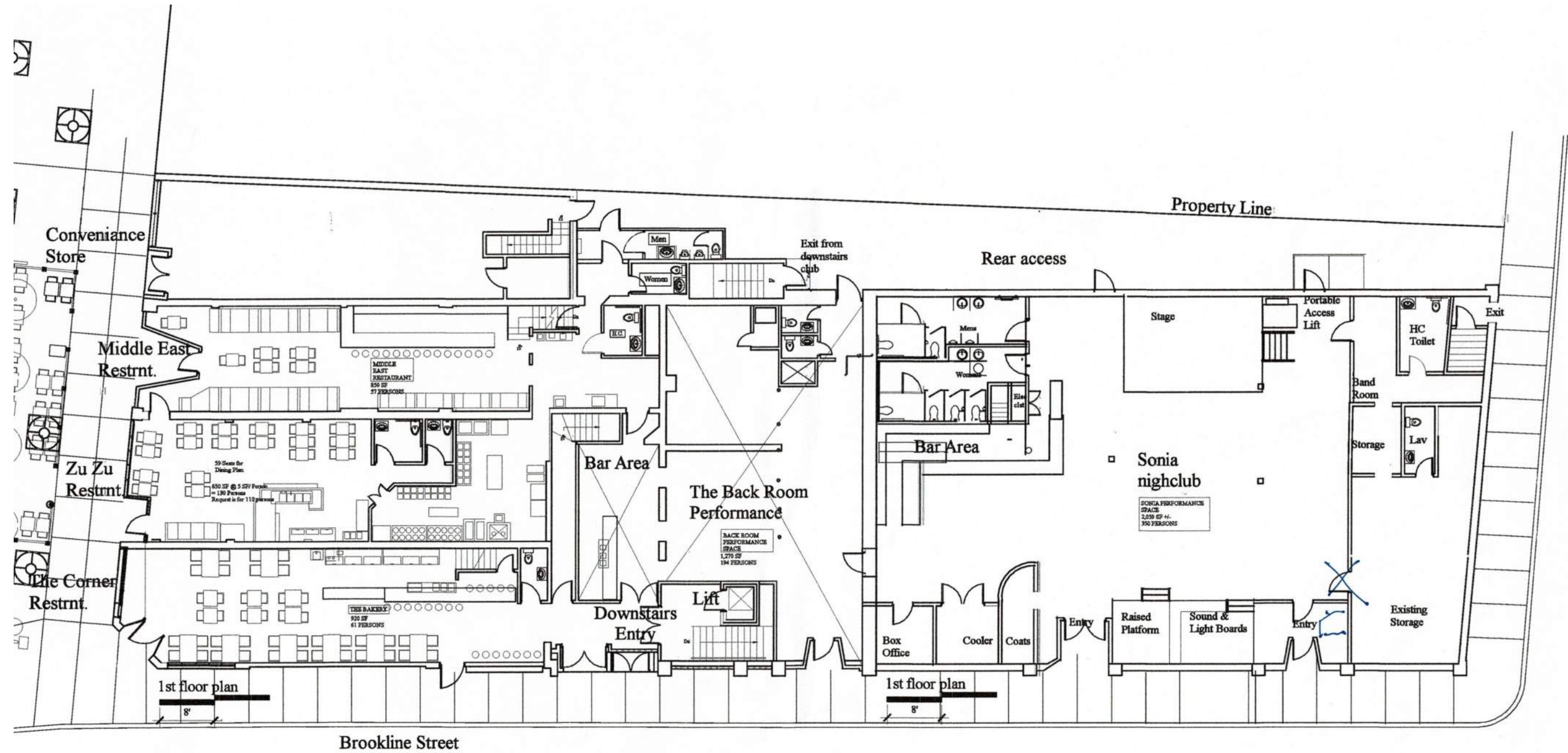
job number
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scale
 1/16" = 1'-0"

set issue date
 11.30.22

Sheet no.
 R101

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EXISTING FIRST FLOOR PLAN
 1/16" = 1'-0"

1

client
 CSQ REALTY LLC

title
 EXISTING FLOOR PLANS
 project
 6 BROOKLINE STREET

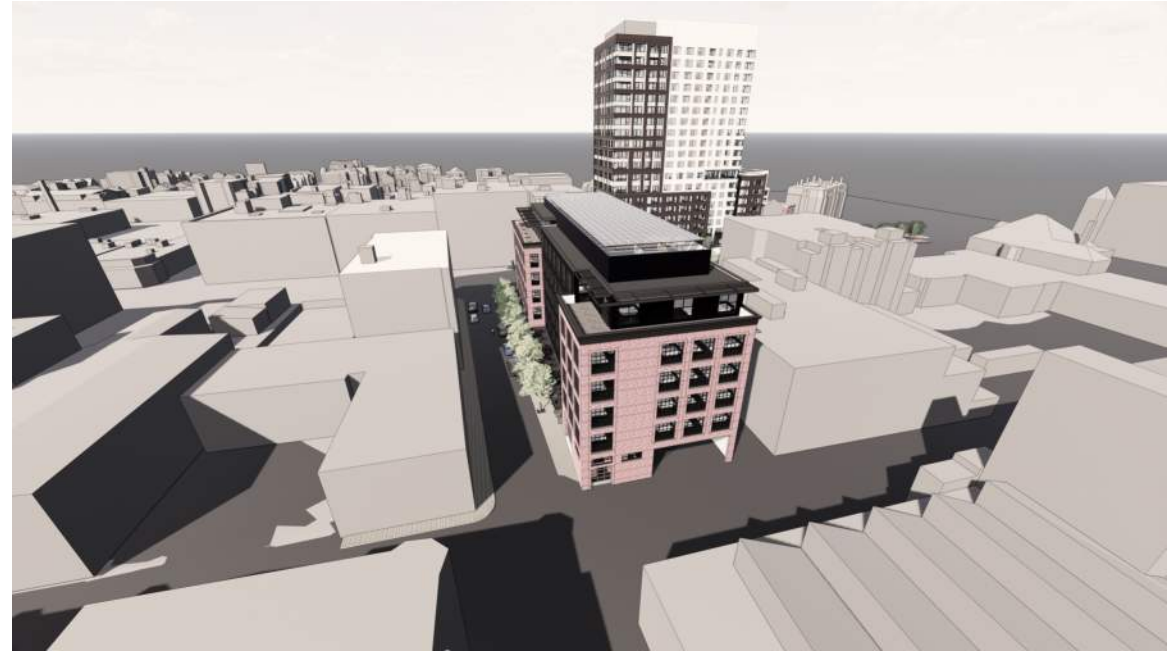
dh architects, llc
 200 Leverage Street, Boston MA 02128

job number
 22050

scale
 1/16" = 1'-0"

set issue date
 11.30.22

Sheet no.
 R102



11/30/2022 4:28:22 AM

client
CSQ REALTY LLC

title
PERSPECTIVE RENDERINGS
project
6 BROOKLINE STREET

dh architects, llc
300 LaGrange Street, Boston MA 02133

job number
22050

scale

set issue date
11.30.22

Sheet no.
A901



client
CSQ REALTY LLC

title
PERSPECTIVE RENDERINGS
project
6 BROOKLINE STREET

dh architects, llc
300 LaGrange Street, Boston MA 02134

job number
22050

scale

set issue date
11.30.22

Sheet no.
A902