

February 10, 2022

Planning Board
City of Cambridge
344 Broadway
Cambridge, MA 02139

RE: Formula Business Special Permit
Property Address: 425 Massachusetts Avenue, Cambridge, Mass.
Applicant: ATE Superfoods 2, LLC DBA Vitality Bowls

Dear Honorable Members of the Planning Board:

Please find enclosed the following documents pursuant to a special permit for a formula business in the City of Cambridge for ATE Superfoods 2, LLC DBA Vitality Bowls at 425 Massachusetts Avenue:

- Filing fee check
- Formula business special permit application package
- Ten (10) copies of the application package

Sincerely,

Tim Johnson

tjohnson@vitalitybowls.com

917.721.2037

TABLE OF CONTENTS
APPLICATION TO THE PLANNING BOARD

Special Permit for a Formula Business

Applicant:

ATE Superfoods 2, LLC DBA Vitality Bowls

Property Location:

425 Massachusetts Avenue

Cambridge, MA

VOLUME I:

Special Permit Application Cover Sheet	Page 1
Dimensional Form	2
Owner's Certificate	3
Fee Schedule	4
Project Narrative	5
Zoning Analysis	6 - 7
Community Meeting	8

VOLUME II:

Vitality Bowls Sign Rendering for 425 Mass Ave	Page 9
Examples of Vitality Bowl Signs at Other Locations	10 - 12
Market Central Site Map	13
Storefront Pictures for 425 Mass Ave	14 - 17
Full Set Site Plans for Vitality Bowls at 425 Mass Ave	18 -33



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

SPECIAL PERMIT APPLICATION • COVER SHEET

In accordance with the requirements of the City of Cambridge Zoning Ordinance, the undersigned hereby petitions the Planning Board for one or more Special Permits for the premises indicated below.

Location of Premises: _____

Zoning District: _____

Applicant Name: _____

Applicant Address: _____

Contact Information: _____

Telephone #

Email Address

Fax #

List all requested special permit(s) (with reference to zoning section numbers) below. *Note that the Applicant is responsible for seeking all necessary special permits for the project. A special permit cannot be granted if it is not specifically requested in the Application.*

List all submitted materials (include document titles and volume numbers where applicable) below.

Signature of Applicant: _____

For the Planning Board, this application has been received by the Community Development Department (CDD) on the date specified below:

_____ Date

_____ Signature of CDD Staff

Project Address:

Application Date:

	Existing	Allowed or Required (max/min)	Proposed	Permitted
Lot Area (sq ft)				
Lot Width (ft)				
Total Gross Floor Area (sq ft)				
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Floor Area Ratio				
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Dwelling Units				
Base Units				
Inclusionary Bonus Units				
Base Lot Area / Unit (sq ft)				
Total Lot Area / Unit (sq ft)				
Building Height(s) (ft)				
Front Yard Setback (ft)				
Side Yard Setback (ft)				
Side Yard Setback (ft)				
Rear Yard Setback (ft)				
Open Space (% of Lot Area)				
Private Open Space				
Permeable Open Space				
Other Open Space (Specify)				
Off-Street Parking Spaces				
Long-Term Bicycle Parking				
Short-Term Bicycle Parking				
Loading Bays				

Use space below and/or attached pages for additional notes:

OWNERSHIP CERTIFICATE

Project Address: 425 Massachusetts Avenue

Application Date:

This form is to be completed by the property owner, signed, and submitted with the Special Permit Application:

I hereby authorize the following Applicant: ATE Superfoods 2 LLC

at the following address: 30 School Street, Needham, MA 02492

to apply for a special permit for: Formula Business

on premises located at: 433-445 Mass Avenue

for which the record title stands in the name of: Watermark Central LLC

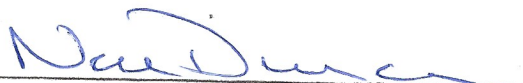
whose address is: 200 Park Avenue, 17th Floor, New York NY 10166

by a deed duly recorded in the:

Registry of Deeds of County: Middlesex So Book: 68928 Page: 398

OR Registry District of the Land Court,
Certificate No.:

Book: Page:



Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

To be completed by Notary Public:

Commonwealth of Connecticut ~~Massachusetts~~, County of Fairfield

The above named Neil Duncan personally appeared before me,

on the month, day and year 2/8/2022 and made oath that the above statement is true.

Notary:



My Commission expires:

Danny Ruiz
Notary Public
State of Connecticut
My Commission expires 02/28/2023



FEE SCHEDULE

Project Address:

Application Date:

The Applicant must provide the full fee (by check or money order) with the Special Permit Application. Depending on the nature of the proposed project and the types of Special Permit being sought, the required fee is the larger of the following amounts:

- If the proposed project includes the creation of new or substantially rehabilitated floor area, or a change of use subject to Section 19.20, the fee is ten cents (\$0.10) per square foot of total proposed Gross Floor Area.
- If a Flood Plain Special Permit is being sought as part of the Application, the fee is one thousand dollars (\$1,000.00), unless the amount determined above is greater.
- In any case, the minimum fee is one hundred fifty dollars (\$150.00).

Fee Calculation

New or Substantially Rehabilitated Gross Floor Area (SF): × \$0.10 =

Flood Plain Special Permit Enter \$1,000.00 if applicable:

Other Special Permit Enter \$150.00 if no other fee is applicable:

TOTAL SPECIAL PERMIT FEE **Enter Larger of the Above Amounts:**

PROJECT NARRATIVE AND ZONING ANALYSIS

The applicant ATE Superfoods 2, LLC DBA Vitality Bowls proposes to open a new superfood café at the new Market Central development located at 425 Massachusetts Avenue, Cambridge, Massachusetts 02139. The proposed superfood café specializing in acai bowls and other superfoods shall occupy approximately 923 square feet on the street level of the complex. As part of the build-out, the applicant intends to utilize its standard color scheme and logo for the interior of the premises. However, based on feedback from the CDD and various community organizations, the applicant intends to develop unique and understated exterior signage unlike any other Vitality Bowls in the world. A copy of the proposed floor plans and sign plans have been submitted, accompanied by examples of standard Vitality Bowls storefronts to highlight the uniqueness of the applicants Cambridge location.

In order to be as compliant as possible, the applicant is filing for a Special Permit to obtain authorization to operate a Formula Business in Cambridge's Business B Zoning District and Central Square Overlay District.

Section 2.0 of the Cambridge Zoning Ordinance contains the following definition of a "Formula Business":

Formula Business. An Individual Retail or Consumer Service establishment that is required by virtue of a contract, franchise agreement, ownership or other similar legal obligation to conform or substantially conform to a set of common design and operating features that served to identify the establishment as one of a group of establishments for business, marketing and public relations purposes. Specifically, an establishment shall be considered a Formula Business if it shares at least two (2) of the following three (3) characteristic with ten (10) or more other establishments in Massachusetts or within twenty (20) or more other establishments.

1. Trademark, service mark or logo, defined as a work, phrase, symbol, or design or combination thereof that identifies and distinguishes the source of the goods or services from others;
2. Standardized building architecture including but not limited to façade design and signage;
3. Standardized color scheme used throughout the exterior of the establishment, including color associated with signs and logos.

As a result of sharing a trademark, logo, and standardized color scheme with twenty (20) or more other establishments in the United States, ATE Superfoods 2, LLC DBA Vitality Bowls is seeking a Special Permit to operate a Formula Business in Cambridge's Business B Zoning District and Central Square Overlay District. While the applicant intends to utilize certain standardized color schemes and logos in the location's interior, they are developing exterior signage that will be extremely unique to Cambridge.

COMPLIANCE WITH SPECIAL PERMIT CRITERIA

Section 20.304.5.4

As defined in Section 20.304.5.4 of the Ordinance, a Formula Business may be established in the Central Square Overlay District after the issuance of a special permit from the Planning Board. In deciding whether to issue a special permit, the Planning Board takes the following into account:

- The extent to which the design of the proposal reflects, amplifies, and strengthens the established historical character of existing buildings and store fronts in Central Square
 - The proposed use will complement the character of the existing (new) building. Further, the proposed signage, developed relying on feedback from the Central Square community, will not adversely affect the character of Central Square.*
- The extent to which the particulars of the building or storefront design is varied from the formula or standard design of the chain in order to reflect the unique character and conditions of Central Square generally or the specific location in particular.
 - The applicant has taken the advice and guidance of the community to ensure its proposed use will not in any way diminish the unique character and conditions of Central Square. As shown on the plans submitted, the signage will be simple, understated, and unlike any other Vitality Bowls in the world.*
- The extent to which the standard elements of the enterprise as they define it as a Formula Business are modified to respect and provide unique expressions of Central Square history and traditions as well as

innovation in physical design and marketing that will distinguish the Central Square location from other locations of the Formula Business.

-The applicant is not only excited and determined to showcase local (Central Square) specialty foods on its shelves, but it is also a critical aspect of their overall business plan.

Community Meeting

**Come Learn About the Proposed Opening
of:**

VITALITY BOWLS, A SUPERFOOD CAFÉ at
Market Central

425 Massachusetts Avenue, Cambridge

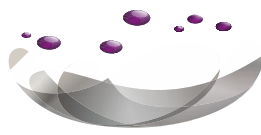
DATE: Tuesday, March 1, 2022, 2:45pm

LOCATION (IN-PERSON): 425 Mass Ave,
Central Square, Cambridge

ZOOM:

<https://zoom.us/j/92440645090?pwd=TkNGbmttZURuZnpvVVdXK2F1TkdsQT09>

For any questions in advance, please contact Tim Johnson,
tjohnson@vitalitybowls.com, 917.721.2037, or Steve Chasse,
stevec@vitalitybowls.com, 617.756.1035.



VITALITYBOWLS
• SUPERFOOD CAFÉ •



*Will be white cut vinyl

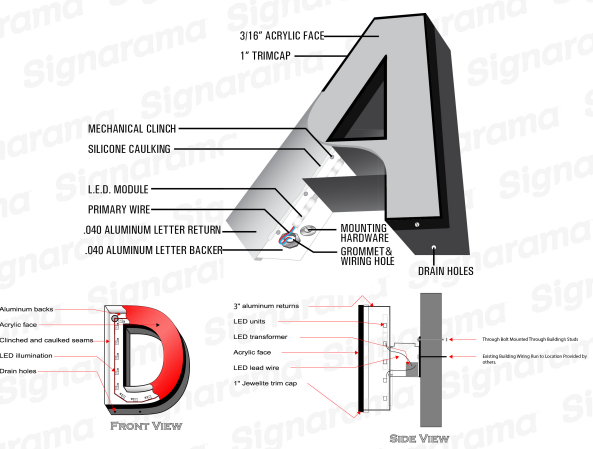


11.396"

20.922"

- AÇAÍ BOWLS
- SMOOTHIES
- JUICES
- WRAPS
- TOASTS
- SALADS
- GRAIN BOWLS

16"



SIGN SQ FT.
15

VINYL SQ FT.
3.15

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The way to grow your business.

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Office (530) 224-9655 Fax (530) 224-1877

Customer Name
Vitality Bowls

Address
453 Mass Ave - Tenant 2

Designer Project Manager
XXXX XXXX

Invoice Job Type
XXXX XXXX

Revision	Proof Date
1st Design	XX/XX/XXXX
1st Redesign	XX/XX/XXXX
2nd Redesign	XX/XX/XXXX
3rd Redesign	XX/XX/XXXX

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FAILURE TO SO THIS MAY RESULT IN ADDITIONAL FEES. ALL PROOFS MUST BE APPROVED THROUGH OUR ONLINE PROOFING SYSTEM, BY OBVIOUS WRITTEN CONSENT OR BY SIGNING THIS PROOF IN PERSON. ALL ORDERS ARE ON HOLD UNTIL CONFIRMED RECEIPT OF APPROVAL.

..... Please Revise
 Approved

Approval Signature:
X

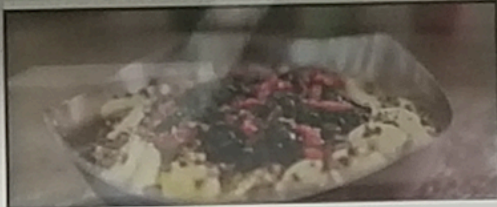
Written Approval, Signature or Approval through our online system is required prior to Production.

THIS PROOF IN A DESIGN REPRESENTATION OF THE PRODUCT. FINAL SIZE AND PLACEMENT MAY VARY.



VITALITY BOWLS

• SUPERFOOD CAFÉ •



VITALITYBOWLS
WE CATER 




Share
 Fresh

ACAI BOWLS

PANINIS

208



VITALITY BOWLS
 SUPERFOOD CAFE

- Acai Bowls
- Smoothies
- Fresh Juices
- Coffee
- Salads
- Paninis
- Soups

Mon - Sat 8 am - 8 pm
 Sunday 9 am - 7 pm

GRAND OPENING
 April 11th

SALADS • SMOOTHIES • COFFEE

FRESH JUICES









425

425

LEASING

COMING SOON

LEASING



McDonald's



MASSACHUSETTS AVE

421

M
C Market Central
NOW
LEASING
617-915-2742
LivMC.com

6





entral

G

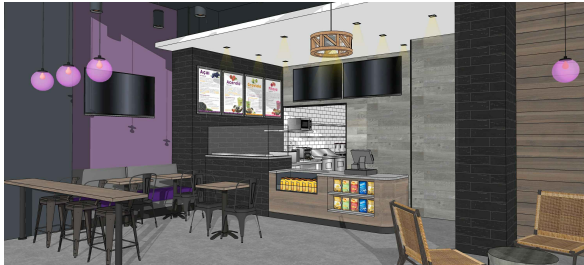
42

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PLEASE RECAL SLATE #

VITALITYBOWLS
MARKET CENTRAL
MING SO

Two people walking on the sidewalk.

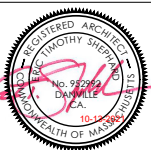


320 Sycamore Valley Road West
Danville, CA 94526
www.theshephardarch.com
(925) 803-1000

Sheet Title:

COVER SHEET

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139



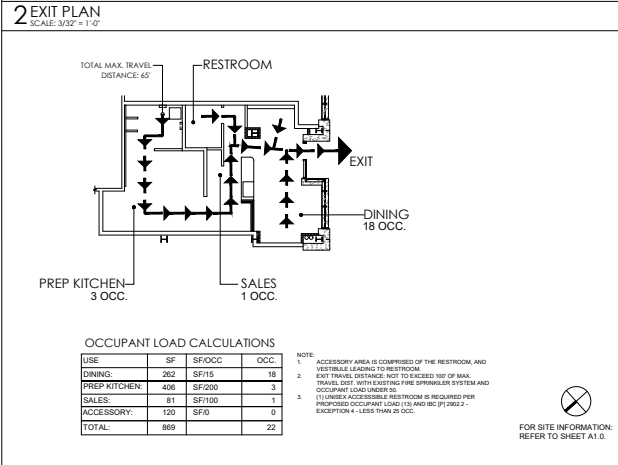
No.	Description	By	Date
△	FRAMING UPDATES	SV	7-9-21
△	EQUIPMENT CHANGES	SV	10-13-21

Date:	6-3-21
Designer:	ETS, KZ
Drafter:	KZ, AB
Proj. Mgr.:	ETS
Scale:	AS NOTED
Proj. No.:	1416.99

Sheet No.:

A0.0

PROJECT ROSTER	GENERAL NOTES
<p>ARCHITECT: ERIC SHEPHARD ARCHITECTS, INC. 320 Sycamore Valley Road West Danville, CA 94526 www.shephardarch.com (925) 803-1000/1102 Contact: KENZO ZHANG E-MAIL: kenzo@shephardarch.com</p> <p>MEP CONSULTANT: EMV Engineering and Design 4236 Hwy 3630 Annville, KY 40402 (606) 364-2886 Contact: Eric or Craig</p>	<p>A. SCOPE OF WORK: THE SCOPE OF WORK INCLUDES TENANT IMPROVEMENT CONSTRUCTION FOR A SUPER FOOD CAFE THAT OFFERS ACA BOWLS, SMOOTHIES, FRESH JUICES, SOUPS, SALADS, AND SANDWICHES. THE FLOOR SURFACE IS CONCRETE SLAB OVER PARKING AREA BELOW. PROVIDE X-RAY SCANNING AND CORE DRILLING THIS SLAB AS NEEDED FOR UTILITIES. SEE PLANS FOR MORE INFORMATION. REFER TO BUILDING SHELL PLANS FOR BALANCE OF INFORMATION. SCOPE OF WORK INCLUDES CONSTRUCTION OF NON-LOAD BEARING PARTITIONS FOR KITCHEN AND RESTROOM. THE BUILDING SPACE AND SYSTEMS ARE EXISTING AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. NEW FINISHES SHALL BE PROVIDED THROUGHOUT UNLESS NOTED.</p> <p>FACILITY USE NOTES:</p> <ul style="list-style-type: none"> • NO COOKING SHALL BE DONE ON SITE. WARMING AND REHEATING OF FOOD SHALL BE DONE IN THE PREP KITCHEN. SEE PLAN. • ALL FOOD SHALL BE PREPARED AND PACKAGED IN THE PREP KITCHEN INCLUDING TOGO ORDERS. • ALL UTENSILS USED BY DINE-IN CUSTOMERS SHALL BE MULTI-USE OR DISPOSABLE. <p>B. OCCUPANCY: 8 FOOD SERVICE - UNDER 50 OCCUPANTS MAXIMUM NUMBER OF PEOPLE PER SFT (INCLUDING EMPLOYEES AND MANAGERS): 3/10 4</p> <p>C. NON-INFRINGEMENT STATEMENTS: THE PROPOSED CONSTRUCTION SHALL BE IN COMPLIANCE WITH APPLICABLE STATE LAWS AND LOCAL ORDINANCES.</p> <p>D. DEFERRED SUBMITTALS: ALL DEFERRED SUBMITTALS ITEMS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT FOR REVIEW AND COORDINATION. A SUBMITTAL TO THE CITY SHALL BE MADE FOR CITY REVIEW AND APPROVAL AS NEEDED. APPLICABLE DEFERRED SUBMITTALS FOR THE PROJECT ARE:</p> <ul style="list-style-type: none"> • NEW TENANT SIGNAGE (N.L.C.) • FIRE SUPPRESSION SYSTEM MODIFICATIONS (SPRINKLERS) <p>E. ACCESSIBILITY COMPLIANCE: THE SUITE ENTRANCE IS ACCESSIBLE AND PATH OF TRAVEL IN THE AREA OF WORK, SALES COUNTER, DINING AND KITCHEN AREA.</p> <p>F. EXTING: THIS TENANT SUITE HAS A MAXIMUM OCCUPANT LOAD OF 22 OCCUPANTS. ONE EXIT IS REQUIRED FOR THIS OCCUPANCY. TWO EXITS EXIST</p> <p>G. FIRE RATED PENETRATIONS: PROVIDE PROTECTION W/ FIRE RATED SEALANTS COMPLYING WITH BUILDING STANDARD PROVISIONS AND BETWEEN ADJACENT OCCUPANCIES AS PERMITTED BY CODE.</p>



DIRECTORY OF CONTACTS	INDEX OF DRAWINGS
<p>TENANT: ATE SUPERFOODS 2, LLC 30 School Street, Needham, MA 02492 Contact: Tim Johnson Phone: (917) 721-2037 Email: tj@superfoodsbowls.com</p> <p>LANDLORD: Rober Rack Consultant 49 Russel Ave, Watertown, MA 02472 Contact: Bob Rack Phone: (617) 931-1495 Email: bob@brack.com</p> <p>ARCHITECT: ERIC SHEPHARD ARCHITECTS, INC. 320 Sycamore Valley Road West Danville, CA 94526 Contact: Kenzo Zhang Phone: (925) 803-1000 x 102 Email: kenzo@shephardarch.com</p> <p>CONTRACTOR: TBD</p>	<p>ARCHITECTURAL</p> <p>A0.0 COVER SHEET - OCCUPANCY CALCULATIONS, PROJECT DATA, AND SCOPE OF WORK</p> <p>A0.1 SPECIFICATIONS</p> <p>A1.0 DOOR AND WINDOW SCHEDULE, NOTES AND SITE PLAN</p> <p>A1.1 EQUIPMENT PLAN AND SCHEDULE</p> <p>A2.0 FLOOR PLAN AND COUNTER SECTIONS</p> <p>A2.1 REFLECTIVE CEILING PLAN</p> <p>A2.2 FRESH PLAN AND DINING ROOM ELEVATIONS</p> <p>A2.3 DINING ROOM AND SALES AREA ELEVATIONS AND DETAILS</p> <p>A2.4 KITCHEN ELEVATIONS</p> <p>A3.0 ACCESSIBLE RESTROOM</p> <p>A4.0 CONSTRUCTION DETAILS</p> <p>A4.1 CONSTRUCTION DETAILS</p> <p>PLUMBING DRAWINGS</p> <p>P-1 PLUMBING PLANS, RISERS, NOTES AND DETAILS</p> <p>MECHANICAL DRAWINGS:</p> <p>M-1 HVAC PLANS, NOTES AND LEGEND</p> <p>M-2 MECHANICAL DETAILS</p>
<p>BUILDING INFORMATION</p> <p>LOCATION: 425 MASSACHUSETTS AVE, CAMBRIDGE, MA 02139</p> <p>COUNTY: MIDDLESEX COUNTY</p> <p>CONSTRUCTION TYPE: TYPE I-A</p> <p>OCCUPANCY GROUP: 8 (FOOD SERVICE, UNDER 50 OCCUPANTS) 22 OCCUPANTS PROPOSED USE</p> <p>AREA: 869 S.F.</p> <p>FIRE SUPPRESSION SYSTEM: EXISTING, MODIFY AS NECESSARY. SPRINKLER PLANS WILL BE PROVIDED BY A DESIGN BUILD ENTITY AND PLANS SHALL BE APPLIED FOR AS A DEFERRED OR SEPARATE PERMIT</p> <p>FIRE ALARM: EXISTING SYSTEM - PROVIDE MODIFIED ALARM PLANS AS A SEPARATE PERMIT</p> <p>(E) BUILDING # OF STORIES: 19 STORES</p> <p>CODES IN EFFECT: ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO: 2009 INTERNATIONAL BUILDING CODE W/ MA AMENDMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FIRE CODE 2011 NATIONAL ELECTRICAL CODE MA ACCESSIBILITY REGULATIONS 2011 MA PLUMBING REGULATIONS 105 CMR 090 - STATE SANITARY CODE 521 CMR - ARCHITECTURAL ACCESS BOARD 2010 ADA</p>	<p>ELECTRICAL DRAWINGS</p> <p>E-1 NOTES, LEGEND AND SCHEDULE</p> <p>E-2 ELECTRICAL PLANS AND RISER</p>

<p>DIVISION 0 - CONDITIONS OF THE CONTRACT</p> <p>00-100 PROJECT DIRECTORY See Cover Sheet, A0. Owner shall equip Tenant (Franchisee)</p> <p>00-200 BIDDERS - INVITATION TO BID</p> <p>PRE-BIDDING JOB SITE MEETING: Prior to bidding this project, all invited contractors shall read Landlord construction requirements for this shopping center and existing plans. In addition, attend a pre-bidding site meeting to visually review the existing conditions and become familiar with the existing conditions. There are construction drawings for the original building that is existing, however, there have been some modifications to the construction and by no means are these existing drawings meant to represent the full extent of the existing building or construction means. The date of the Pre-Bidding job site meeting will be determined at a later date.</p> <p>SUBMISSION OF POST-BID INFORMATION: The selected bidder shall within five days after such selection, or sooner if required, submit the following: 1. A Statement of costs for each major item of work included in the bid. 2. A designation of the work to be performed by the bidder with his own forces. 3. A list of names of the subcontractors or other persons or organizations (including those who are to furnish materials or equipment fabricated to a special design) proposed for the principal portions of the work. The bidder will be required to establish to the satisfaction of the Owner the reliability and responsibility of the proposed Subcontractors to furnish and perform the work described in the sections of the Specifications pertaining to such proposed Subcontractors' respective trades. Before the award of the Contract, the Owner will notify the bidder in writing if the Owner, after due investigation, has reasonable and substantial objection to any person or organization on such list. If the Owner has a reasonable and substantial objection to any person or organization on such list, and the bidder is willing to accept such person or organization, the bidder may, at his option, withdraw his bid. If the bidder submits an acceptable substitute with an increase in his bid price to cover the difference in cost occasioned by such substitution, the Owner may, at his discretion, accept the increased bid price or he may disqualify the bidder, subcontractors and other persons and organizations proposed by the bidder. Bids accepted by the Owner must be used on the work for which they were proposed and accepted and shall not be changed except with the written approval of the Owner.</p> <p>INTERPRETATION OF CONTRACT DOCUMENTS: Prospective bidders requiring further information or interpretation of the Contract Documents shall request such data in writing. ADDENDA: Answers to all questions, inquiries, or requests for additional information will be issued in the form of Addenda, and copies of each Addendum will be issued to all prospective bidders. Prospective bidders may, during the bidding period, be advised by Addendum of additions to, deletions from or changes in the requirements of the Contract Documents. The Owner will not be responsible for the authenticity or correctness of revisions obtained in any other manner than by Addenda. Bidders in their proposals shall acknowledge receipt of each Addendum and each Addendum shall be considered a part of the Contract Documents. Failure to acknowledge receipt of any Addenda issued may invalidate a proposal as incomplete.</p> <p>00-235 EXISTING CONDITIONS Contractor must review the site and become familiar with existing conditions and the scope of work as shown in the Drawings and Specifications. If there are any questions regarding the site or the bid package, the Contractor shall notify the Architect to clarify before bids are received. The contractor shall notify the governing local jurisdiction regarding work hours, special permits and licenses.</p> <p>00-500 CONTRACT DOCUMENTS A. Contract documents consist of the contract, including any subcontract agreements, the drawings, and these specifications herein. The general contractor shall provide everything herein unless noted otherwise or agreed to in writing with tenant or landlord. B. Contract drawings and specifications are intended to supplement each other. In case of conflict, specification shall control both. C. General Contractor shall use and prepare AIA document A101-2017 or A103-2017. Owner-Contractor agreement.</p> <p>00-800 BONDS Completion bonds, performance bonds, bid bonds and/or any other bonds, if required, shall be specified in the contract between owner and contractor.</p>	<p>DIVISION 1 - GENERAL REQUIREMENTS</p> <p>01-100 SUBSTITUTIONS AND PRODUCT OPTIONS</p> <p>Where products, materials and equipment are specified by manufacturer or trade name, they are intended to establish quality and function. The contractor is encouraged to seek substitutions and product options, but the quality and function shall be equal to what is specified in these specifications and drawings. Substitution requests shall be made in writing to the Architect and shall include sufficient data to analyze the substitution, including cost data comparison, so that the Architect and owner can make a reasonable decision to allow the substitution. Where there are cost differences, the contract sum shall be adjusted. Where products, materials, and equipment are specified "no substitution", the specified products, material and equipment shall be provided and installed by the contractor. The term "or equal" or "or approved equal" as used in these contract documents shall mean "as accepted by the Architect."</p> <p>01-300 SUBMITTALS Where items require approval or selection by the Architect or Owner, submit three copies of data and samples as necessary for review and selection before commencing any work shown on the submittals. The Owner and Architect shall be given (7) seven calendar days to review submittals prior to responding in writing the results of the submittal review. Contractor shall not commence work or order any materials that are part of a submittal that is under review of the Owner and Architect. Below is a list of submittals that are required to be submitted and reviewed by the Owner and the Architect: A. Automatic Fire Sprinkler System drawings and calculations, including sample of metal type, see addendum for additional information B. Cabinet and millwork including shop drawings. C. Paint including finishes. D. Roof Finishes, including grout colors. E. Plumbing fixtures. F. Lighting Fixtures. G. Substitutions.</p> <p>01-400 QUALITY CONTROL Certification of quality is the Contractor's responsibility. When called for by the Contract Documents, submit such certification to the Owner. Where special inspections and testing are required, they will be performed by an independent testing agency retained and paid for by the Owner. All other tests and inspections, including those for water, sewer, streets and the like and those tests which fail, and the cost for restoration of rejected work shall be paid for by the Contractor at no addition to the Contract Sum.</p> <p>A. The work shall conform to the industry accepted standards of good quality, and that be free from faults and defects. B. The work shall conform to all applicable codes, laws, ordinances, rules, regulations, and orders of any public authority covering building operations in the city and/or county in which the real property is located. C. In carrying out their work, subcontractors shall take necessary precautions to protect the work of other trades from damage. D. Each sub-contractor shall take all reasonable precautions to prevent damage to or destruction of materials and equipment during delivery, storage and installation. E. Tolerances where not specified in the drawings shall conform to the industry accepted standards. The contractor shall conform to tolerances more critical than industry standards where specified. F. Details shown in the drawings are for typical conditions. Similar details shall apply at similar conditions. G. Contractor shall verify all existing conditions and dimensions at the job site. Any conditions requiring construction different from that shown on the drawings shall be brought to the attention of the Architect. H. Dimensions shall refer to rough concrete surfaces, face of stud, face of concrete block, top of sheathing, or top of slab, unless otherwise noted for required clearances required by law, code, or regulations. I. Contractor shall be solely responsible for all excavation procedures including: logging, shoring, and the protection of adjacent property, structures, streets, and utilities. J. Contractor shall be solely responsible for providing adequate shoring and bracing as required for the protection of life and property during the construction of the structure. Shoring and bracing shall remain in place until floors, roof and wall sheathing have been entirely constructed. K. Any conflicting information found in the contract documents shall be brought to the attention of the Architect. L. Contractor and subcontractors shall furnish all labor, and tools necessary to perform the work shown on the drawings, specified herein, or reasonably implied. M. Contractor shall coordinate with Owner and adjacent site or adjacent sites for the coordination of utilities, tieoffing and all construction activities that affect the management of construction of the work and are critical to the project.</p> <p>01-500 TEMPORARY FACILITIES AND CONTROLS Provide all temporary utilities, barricades, lighting, and other safety measures as necessary to ensure safety of all persons and property. The Contractor shall provide a port-o-potty on site during entire construction activities. Contractor shall provide job telephone.</p> <p>01-400 SUPERVISION Supervision shall be provided by the contractor and each subcontractor to assure satisfactory results to the contractor. All subcontractor coordination and control shall be provided to the General Contractor by subcontractors. Subcontractors shall send their Request for Information (RFI) and submittals to the General Contractor for review and to engaging the Architects and Engineers for review.</p>	<p>01-600 MATERIALS AND EQUIPMENT The Contractor shall provide at no cost to the subcontractors or Owner the following temporary facilities and services: - Sanitary - Electrical power - Water - Material storage Dumprates/containers removed</p> <p>01-630 SUBSTITUTIONS AND PRODUCT OPTIONS Where products, materials, and equipment are specified by manufacturer or trade name, they are intended to establish quality and function. The contractor is encouraged to seek substitutions and product options but the burden of proof that quality and function are equal to those specified by the contractor shall be upon the contractor. Where there are cost differences, the Contractor Sum will be adjusted.</p> <p>Where products, materials, and equipment are specified "no substitution," such products, materials and equipment shall be used. The term "or equal" as used in these Contract Documents shall mean as accepted by the Owner.</p> <p>01-710 CLEAN-UP A. Each subcontractor shall leave the project clean of debris and scrap material upon the completion of the subcontract. B. All excess material is the property of the contractor or the subcontractor. C. The contractor shall leave the project room(s) clean and ready for occupancy. D. During the course of construction, the project shall be maintained in an orderly fashion with debris picked up and removed on a regular basis, and materials carefully stacked and protected.</p> <p>01-800 PERMITS AND FEES A. The contractor shall obtain and pay for all applicable permits and fees, unless otherwise agreed to in writing with the Owner. B. All subcontractors shall obtain permits and licenses for their operations as required by governing agencies.</p> <p>DIVISION 03 - CONCRETE</p> <p>03-010 GENERAL PROVISIONS Patch existing floor with concrete to match existing building standard is required. Minimum strength of concrete shall be 2500 PSI or stronger. See building specifications to verify requirements. Areas of concrete slab include but are not limited to the concrete slab leave-out area and any plumbing trench patching, the existing floor in the tenant space is concrete slab. Contractor and sub-contractor shall familiarize themselves with the existing condition for all modifications and coordinate all under floor work with landlord and landlord's general manager or subcontractors. Provide rebar dowels at all concrete slab-to-slab locations. Provide epoxy in 6" deep, dust free holes for #4 bars at 24" O.C. and install patch and seal with epoxy. Provide concrete substrate preparation and laminated vapor barrier in compliance with the original building set plans and soils reports. See Section 07-192 for additional information.</p> <p>DIVISION 4 - MASONRY</p> <p>04-065 MORTAR AND GROUT Provide mortar and grout for masonry construction. Mortar shall have minimum compression strength of 2000 psi at 28 days. Provide Type "S" mortar conforming to Portland cement per ASTM C-150 Type I, sand per ASTM C114, and hydrated lime per ASTM C207. Mix mortar by volume (one part cement to four parts sand to half part hydrated lime) with sufficient water to make pliable. When mortar has partially hardened before use, discard; do not retemper. Submit design mix per ASTM C476.</p> <p>04-413 INTERIOR STONE SLABS AND STONE TILE (includes Corian) Provide cut and polished stone countertops and splashes, and tile for floor and walls as shown on Drawings. Owner to select all stone. All countertops shall be slab. All exposed edges and surfaces shall be polished. Colors per drawings. Make cuts straight and true to field dimensions in sizes as large as practicable. Where joints in the field are required, provide draw bolts to maintain adjacent pieces in true alignment. Provide anchor recesses on back. Make cutouts for appliances and electrical. Install stone secure to cabinets and walls. Use mechanical fasteners to secure to cabinets. At joints, set with mortar routed to receive sealant where exposed. Set splashes to wall and top with adhesive. Upon complete installation, fill joint routings with silicone sealant matching color of stone. Use appropriate substrate, such as plywood, under stone for continuous support at slabs. Stone slab shall have a Block Edge detail. After completion, thoroughly clean slab and seal, as needed.</p> <p>DIVISION 05 - METALS</p> <p>05-500 METAL FABRICATIONS Provide miscellaneous shoes and brackets as detailed and as needed. Fabricate from ASTM A36 steel as detailed. Provide steel shapes per ASTM A36 of equivalent strength conforming to AISC Code of Standard Practice for Steel Buildings and Bridges and Specifications for the Design, Fabrication, and Erection of Structural Steel for Buildings, with bolts conforming to ASTM A325. Welding shall be by welders certified by AWS and shall conform to AWS D1.1 Structural Welding Code. Fabricator shall certify shop and field welding. Shop prime fabricated items with red oxide primer after fabrications per SSPC for structural members. Touch up in field after erection. Provide complete shop drawings to Architect and Owner for review prior to fabrication.</p>	<p>DIVISION 6 - WOOD AN PLASTICS</p> <p>06-200 FINISH CABINETRY Provide trim, doorframes, and poles and shelves as shown on Drawings. Use finish nails or interior, hot-dipped galvanized common nails at exterior. Make cuts in trim accurately; blind mill and joints and running joints; make cuts unless noted otherwise. Provide panel grade solid wood trim as listed below and shown on drawings; confirm with Owner. Sand, prime and paint per Division 9. For schedule of finishes, see Finish Plan and drawings. Make cuts in trim accurately; blind mill end-joints in running joints; and miter corners. Chases behind doors, glue, and blind nail. Set door frames with heads behind frames.</p> <p>06-410 CUSTOM CABINETS - MILLWORK Coordinate and provide cabinet installation for cabinetry throughout. See drawing for locations. Cabinet maker shall supply scaled shop drawings for Architect and Owner to review before assembly and purchase of materials.</p> <p>DIVISION 7 - THERMAL AND MOISTURE PROTECTION</p> <p>07-192 LAMINATED VAPOR BARRIER Provide vapor barrier (membrane) at all existing and new concrete slabs or trench patches. Vapor barrier shall be Fartifiber Moisture or approved equal. Lay in widest practical width over entire plan area of slab to form continuous uninterrupted barrier from foundation to foundation or slab to slab at trenching as occurs. Lay joints 4" and seal with compatible self-adhesive tape or mastic. Neatly cut at edges and turn up at foundation walls; secure to walls. Cover accidental tears with additional barrier strip sealed as for joints. Provide tight seal at pipe penetrations. all sub slab area shall be prepared and verified to be in compliance with the Original building construction documents and geotechnical report.</p> <p>07-410 FLASHING AND SHEET METAL A. Provide Galvanized sheet metal flashing components and assemblies as required to make watertight all locations as shown on drawings and where roof or exterior deck surfaces intersect walls, skylites, chimneys and vent stacks, where changes of plane occur. B. Material: 26 Gauge Galvanized sheet metal or heavier. Material used elsewhere, or where standard requires a specific standard. C. Sheet metal materials and installation, including but limited to required expansion joints, shall meet recommendations of the Sheet Metal and Air Conditioning Contractors National Association (SMACNA), current ed. D. Provide all required sheet metal appearances, including jacks, sleeves, and collars of roof and wall penetrations.</p> <p>07-910 CAULKING AND SEALANTS A. Provide caulking or sealant at the following locations: A.A. Finish material intersections where mildew resistance is required. A.B. Locations where movement is anticipated. A.C. Intersections of dissimilar exterior materials. A.D. Joints and cracks around windows, thresholds, door frames, wall and roof penetrations. A.E. All joint locations necessary to make the building watertight and to prevent the passage of dirt, dust, wind, air, water or vapor. B. Caulking or sealant material shall be selected as appropriate to each application, based on manufacturer's recommendations. C. Subcontractors shall provide all caulking or sealants for their own work.</p> <p>DIVISION 8 - DOORS AND WINDOWS</p> <p>08-551 STEEL FRAMES FOR DOORS AND WINDOWS A. All steel hollow metal door and window frames shall be miter cut and welded frames, primed and painted per finish plans. B. Frame MFR. Ceac Door</p> <p>08-210 DOORS A. Doors shall be set in a plumb and square position, without distortion. B. All doors shall be installed per the manufacture specifications. C. Door Hardware 1. Lever Hardware: Schlage or approved equal. 2. Knob Hardware (except tenant if it shall be changed): a. Provide equestrian dead bolt MFR.: Schlage B571 626 8580 Deadbolt Approved ID X Trumation 626. Solin Chrome b. Provide solin chrome Push and Pull plate by Solyn Hardware finish: solin chrome</p> <p>08-810 GLASS Provide glass for all windows and glazed doors as shown on Drawings. Unless otherwise noted, glass shall be single pane type, tempered unless approved by SIGMA.</p>	<p>DIVISION 9 - FINISHES</p> <p>09-250 GYPSUM WALLBOARD A. Gypsum wallboard shall be 5/8" inch on walls and on ceilings, unless otherwise noted. Fasteners shall be according to the Building code requirements. B. Provide 5/8" thick "Durock" cementitious backer board of all other wall locations, such as, behind the toilets and as indicated at Drawings. C. Gypsum wallboard shall be taped, the three coats apply unless noted otherwise, sanded and free from seam lines or defects in workmanship. D. Wall and ceiling texture shall be Level 4, Smooth. E. Fire rated walls shall receive 1/2 inch Type "X" gypsum wallboard, fire taped. All penetrations that shall be prepared and sealed to conform to the wall assembly fire resistive rating. F. Metal corner beads shall shall be square corner type.</p> <p>09-310 CERAMIC TILE A. Locations of ceramic tile shall be as selected by Architect. B. Tile materials, colors, and patterns shall be selected by Architect. C. Install ceramic tile according to the following methods from the 2019 Tile Council of America(TCA) Handbook for ceramic, glass, or stone tile installation. (Some conditions may not apply to this project.) Refer to Manufacturer special instructions prior to using TCA methods for proper installation in accordance with the manufacturer. • Interior floors Thinsit TCA #F113-21 • Interior walls Thinsit TCA #W243-21 • Countertops: see countertop manufacturer requirements • Provide matching splash tile, base tile, corner, and edge trim shapes as required for a complete installation. • Provide grout with color to match tile per finish schedule. Type of grout shall be as indicated in the TCA method used for each type of application. Grout joints shall be 1/8 inch wide maximum. Thoroughly compact grout. Thoroughly clean grout from face of tile; use no acids. Finished grout shall be slightly concave with no voids. Seal all grout with clear sealer.</p> <p>09-900 PAINTS AND COATINGS Provide paint and transparent finishes as shown on drawings and specifications. Owner shall select and approve of all paint colors, sheens, stains and transparent finishes. Submit sample boards to the owner in a timely manner for Owner's approval, prior to application. Provide painting as follows (all paints listed are manufactured by Kelly-Moore): Gypsum wallboard: A. One coat Premium Interior Pigmented Sealer B. Two coats Interior EGG SHELL PAINT Wood trim and doors - (In-lieu of stain grade): A. One coat Interior Acrylic Enamel Undercoat B. Two coats INTERIOR PAINT, sheen per finish schedule</p> <p>09-20 EXTERIOR PAINTS Match building standard, consult Landlord Field Representative for information, only where applicable.</p> <p>09-700 FLOORING Provide floor leveling compound as required so that finish surface of different materials provides a smooth transition from one surface to another. Feather transitions 1/8" per 1'-0" minimum with appropriate material. Flooring and Base materials: Verify that subsurface is smooth, level and free from defects which would affect the installation. Do not proceed with work until defects have been corrected. Thoroughly clean sub-floor prior to installation. Coatings or tile shall be laid out as shown on finish plan. a. Review in field and contact architect if there are questions. b. Do not cut field tiles c. Align parallel to respective walls. d. Neatly trim material abutting other work to form true, clean joints. The tile pattern shall alternate direction, u.o.n, repair bottom of corners, existing and new, as required for proper, smooth base installation. e. Base of concrete shall be straight; base of tile shall be concave. Run base continuously, including under millwork in toe-kick space. f. Provide proper reducer strips for smooth transition between concrete and tile flooring as required. Comply with code and accessibility transition requirements. Coordinate color of transitions material with architect. Change floor finishes at centerline of door opening typically, u.o.n.</p>	<div data-bbox="1898 139 2066 276" data-label="Image"></div> <p data-bbox="1898 276 2066 332">320 Sycamore Valley Road West Dorchester, CA 94526 www.esandamp.com (925) 803-1000</p> <p data-bbox="1898 341 2066 365">Sheet Title:</p> <p data-bbox="1898 414 2066 446">SPECIFICATIONS</p> <p data-bbox="1898 552 2066 820" style="writing-mode: vertical-rl; transform: rotate(180deg);"> Tenant Improvements for: VITALITY BOWLS 425 MASSACHUSETTS AVE. CAMBRIDGE, MA 02139 </p> <div data-bbox="1898 893 2066 1039" data-label="Image"></div> <table border="1" data-bbox="1898 1047 2066 1356"> <thead> <tr> <th colspan="4">Revisions:</th> </tr> <tr> <th>No.</th> <th>Description</th> <th>By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FRAMING UPDATES</td> <td>SV</td> <td>7-9-21</td> </tr> <tr> <td>2</td> <td>EQUIPMENT CHANGES</td> <td>SV</td> <td>10-13-21</td> </tr> </tbody> </table> <table border="1" data-bbox="1898 1364 2066 1388"> <tr> <td>Date:</td> <td>6-3-21</td> </tr> <tr> <td>Designer:</td> <td>EIS</td> </tr> <tr> <td>Drafter:</td> <td>ETS</td> </tr> <tr> <td>Proj. Mgr.:</td> <td>EIS</td> </tr> <tr> <td>Scale:</td> <td>AS NOTED</td> </tr> <tr> <td>Proj. 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ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	ENT ENTRANCE	LB LAG BOLT	REM REMOVE/REMOVABLE
AFH ACCESS HATCH	EQ ELEVATOR	LAM LAMINATE	REQ REQUIRED
ACOUS ACOUSTIC	SOIP SQUIP	EQI EQUAL LANDING	RES RESISTANT
ACT ACCUSTICAL TILE	ESC ESCALATOR	LAV LAVATORY	REV RETURN AIR
ACU ACUYATE	EST ESTIMATE	LH LEIFHANG	RV REVERSE [SIDE REVERSE]
ADD ADDENDUM	EXC EXECUTIVE	LEH LEIFHIGH	RY REVERSE [SIDE REVERSE]
ADJ ADJACENT	EXH EXHAUST	LIB LIBRARY	RH RIGHT HAND
ADJ ADJUSTABLE	EXST EXISTING	LIG LIGHTING	RIB ROD-OUT BUSH
AGG AGGREGATE	EXP EXPOSED	LIP LIGHTING	ROB ROD-OUT BASIN
AIR AIR CONDITIONING	EXT EXTERIOR	LF LIFT	RD ROOF DRAIN
ALT ALTERNATE	EXS EXISTING	LFN LIFEN FEET	RFG ROOF FINISH
ALU ALUMINUM	EXS EXISTING	LH LIGHT HOOK	ROB ROD-OUT BASIN
AMA AMERICANS WITH DISABILITIES ACT	EXS EXISTING	LV LIVE LOAD	RM ROOM
ANOD ANODIZED	EXS EXISTING	LVP LOW VOLTAGE	RO ROUGH OPENING
APRO APPROVED	FAB FABRICATE	LP LOW PRESSURE	ROB RUBBER BASE
APX APPROXIMATE	FBC FACE OF CONCRETE	LV LOW VOLTAGE	RT RUBBER TILE
ARCH ARCHITECT (URAL)	FOM FACE OF MASONRY	M MACH	SG SAFETY GLASS
ASB ASBESTOS	FOF FACE OF FINISH	MACH MACHINE	SAN SANITARY
AUTH AUTHORIZED	FOT FACE TO FACE	MACH MACHINE BOLT	SCHD SCHEDULE
AUTO AUTOMATIC	FF FACTORY FINISH	MAN MANUAL	SECY SECRETARY
AVG AVERAGE	FFS FEET FOOT	MFR MANUFACTURE(R)	SECT SECTION
B TO B BACK TO BACK	FRB FRIBROBOARD	MFR MANUFACTURING	SESK SERVICE SINK
BB BALL BEARING	FGL FIBERGLASS	MFR MANUFACTURING	SETT SETTING BASIN
BSMT BASEMENT	FIN FINISH	MFR MANUFACTURING	SHT SHEET
BRG BEARING	FIN FINISHED FLOOR	MFR MASONRY OPENING	SG SHEET METAL
BRL BEVELLED	FA FIRE ALARM	MAT MATERIAL(S)	SM SHEET METAL
BTM BITUMINOUS	FDC FIRE DEPARTMENT CONNECTION	MAX MAXIMUM	SMW SIMILAR
BLK BLOCK	FRE FIRE EXTINGUISHER CABINET	MCH MECHANICAL	SL SLUEVE
BLKG BLOCKING	FVC FIRE VALVE CABINET	MED MEDICINE CABINET	SLD SLOTTED
BO BOARD	FHS FIRE HOSE CABINET	MED MEMBER	SP SOLID CORE
BS BOTH SIDES	FHS FIRE HOSE STATION	MEM MEMBER	SPC SOUNDPROOF
BW BOTH WAYS	FHY FIRE HYDRANT	MFR MEMBRANE	SOUTH SOUTH
BKT BRACKET	FIR FIRE RESISTANT COATING	MFR METAL	SPK SPEAKER
BR BRICK	FL FIRE RETARDANT	MFR METAL ROOF DECKING	SPRC SPECIFICATION
BRCK BRICK COURSE	FR FIRE RESISTANT	MFR METAL ROOF DECKING	SBL SPLASH BLOCK
BZN BRONZE	FLG FLOORING	MFR METAL ROOF DECKING	SPR SPRINKLER
BUD BUILDING	FLR FLOOR	MFR MISCELLANEOUS	ST STAIRCASE
BUR BUILT-UP ROOFING	FLR FLOORING	MFR MISCELLANEOUS	STL STEEL
BBB BULLETIN BOARD	FLR FLOORING	MFR MISCELLANEOUS	STN STONE
CAB CABINET	FLR FLOORING	MFR MISCELLANEOUS	STO STORAGE
CAJ CAJON	FLR FLOORING	MFR MISCELLANEOUS	STR STRUCTURAL
CPT CARPET	FLR FLOORING	MFR MISCELLANEOUS	STR STRUCTURAL CLAY TILE
CI CAST IRON	FLR FLOORING	MFR MISCELLANEOUS	STR SUB-SOIL DRAIN
CIP CAST-IN-PLACE	FLR FLOORING	MFR MISCELLANEOUS	SUP SUPPLEMENT
CB CATCH BASIN	FLR FLOORING	MFR MISCELLANEOUS	SUS SUSPENDED
CBP CATHODIC PROTECTION	FLR FLOORING	MFR MISCELLANEOUS	SW NATURAL SWITCH
CLG CEILING	FLR FLOORING	MFR MISCELLANEOUS	SWB SWITCHBOARD
CLG HT CEILING HEIGHT	FLR FLOORING	MFR MISCELLANEOUS	SWG SWIRL
CEN C TO C CENTER TO CENTER	FLR FLOORING	MFR MISCELLANEOUS	SYM SYMMETRICAL
CER CERAMIC	FLR FLOORING	MFR MISCELLANEOUS	TAN TANGENT
CER CERAMIC MOSAIC TILE	FLR FLOORING	MFR MISCELLANEOUS	TCK TACKBOARD
CT CERAMIC TILE	FLR FLOORING	MFR MISCELLANEOUS	TES TACKSTRIP
CHBD CHALKBOARD	FLR FLOORING	MFR MISCELLANEOUS	TEL TELEPHONE
CHM CHAMBER	FLR FLOORING	MFR MISCELLANEOUS	TEV TELEVISION
CR CHROMIUM PLATED	FLR FLOORING	MFR MISCELLANEOUS	TEMP TEMPERATURE
CO CLEANOUT	FLR FLOORING	MFR MISCELLANEOUS	TER TERRAZZO
CLO CLOSET	FLR FLOORING	MFR MISCELLANEOUS	THD THREAD
COEF COEFFICIENT	FLR FLOORING	MFR MISCELLANEOUS	THR THRESHOLD
COEF COEFFICIENT OF UTILIZATION	FLR FLOORING	MFR MISCELLANEOUS	THR THRESHOLD
CW COLD WATER	FLR FLOORING	MFR MISCELLANEOUS	TLT TOLLETT
COIL COIL	FLR FLOORING	MFR MISCELLANEOUS	TOI TOILET PAPER DISPENSER
COMB COMBINATION	FLR FLOORING	MFR MISCELLANEOUS	TOL TOLERANCE
COMP COMPARTMENT	FLR FLOORING	MFR MISCELLANEOUS	TONG TONGUE AND GROOVE
COMP COMPRESSED (JOH, BLE)	FLR FLOORING	MFR MISCELLANEOUS	TOP TOP OF DRAIN (JELV, ETC.)
COMP COMPRESSOR	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
COMC COMPOSITE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CNU CONCRETE MASONRY UNIT	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CON CONNECTION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONST CONSTRUCTION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONT CONTINUE, CONTINUOUS	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONTR CONTRACT LIMIT LINE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONTR CONTRACTOR	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONTR CONTRACTOR	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CONV CONVENIENCE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
COR CORNER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CORR CORROSION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CIR COUNTER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CL COUNTERFLASHING	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CS COUNTERSINK	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CUR CURB	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CU CUBIC	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CU CUBIC FOOT	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CU CUBIC YARD	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CYL CYLINDER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
CL CENTERLINE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
D DR DAMPROOFING	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
D DR DAMPER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DE DECEL	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DEG DEGREE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DEMO DEMOLITION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DEM DEMONSTRABLE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DEPT DEPARTMENT	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DEP DEPRESSED	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DI DETAIL	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DIAG DIAGONAL	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DIAM DIAMETER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DMA DIMENSION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DSP DISPENSER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DO DITTO	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DV DIVISION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DR DOUBLE-ACTING	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DWL DOWEL	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DS DOWN	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DR DRAIN	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DIA DIAMETER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DWR DRAWER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DWG DRAWING	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DF DRINKING FOUNTAIN	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
DW DISHWASHER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
E EACH FACE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
E EACH WAY	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
E EAST	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
ELB ELBOW	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
ELEC ELECTRIC	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
EWH ELECTRIC WATER HEATER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
EWL ELECTRIC WATER COOLER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
ELEV ELEVATION	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
EMER EMERGENCY	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
ENCL ENCLOSURE	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER
ENGR ENGINEER	FLR FLOORING	MFR MISCELLANEOUS	TRNS TRANSFORMER

SYMBOL LEGEND

DRAWING NO. [Symbol]	EXTERIOR ELEVATION TARGET
DETAIL NO. [Symbol]	DETAIL/WALL SECTION TARGET
DRAWING VIEW [Symbol]	INTERIOR ELEVATION TARGET
DRAWING NO. [Symbol]	PARTIAL PLAN AND DETAIL TARGET
WALL TYPE NO. [Symbol]	PARTITION TYPE
DOOR NO. [Symbol]	DOOR NUMBER
WINDOW TYPE [Symbol]	WINDOW TYPE SYMBOL
EQUIPMENT NO. [Symbol]	EQUIPMENT NUMBER
SHEET NO. [Symbol]	SHEET NOTE NUMBER
REVISION NO. [Symbol]	DRAWING REVISION TAG
[Symbol]	VERTICAL ELEVATION
[Symbol]	MATCH LINE
[Symbol]	PROPERTY LINE
[Symbol]	BREAK LINE
[Symbol]	COLUMN SYMBOLS AND CENTER LINES
[Symbol]	NORTH ARROW
[Symbol]	TACTILE SIGNS
[Symbol]	HOSE BIB
[Symbol]	FLOOR CLEARANCE OR AREA OF RESCUE ASSISTANCE (30"x48")
[Symbol]	TURNING CIRCLE CLEARANCE (5'-0" DIA)
[Symbol]	ALIGN FINISH SURFACES
[Symbol]	CENTERLINE
[Symbol]	EXISTING
[Symbol]	RELOCATED
[Symbol]	NEW

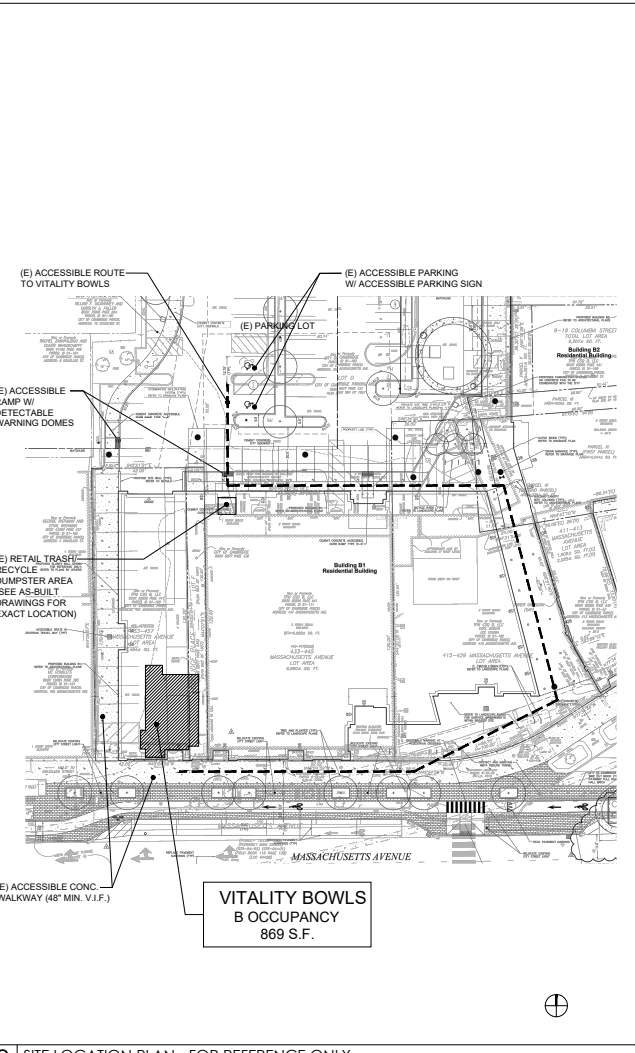
DOOR SCHEDULE

SEE DETAILS 1 AND 2 ON THIS SHEET FOR ADD'L INFO.

DOOR DESIGNATION	OPENING		DOOR		FRAME		REMARKS					
	NO.	LOCATION	WIDTH	HEIGHT	BATING	TYPE		CORE	FINSH	MATL	TYPE	FINSH
100	(E) MAIN ENTRY	3'-0"	8'-0"	V.I.F.			(E)					STOREFRONT DOOR. VERIFY DOOR HAS IDENTIFICATION SITE NUMBER SIGNAGE AND ISA LOGO. SEE HARDWARE NOTES FOR ADDITIONAL INFORMATION.
101	RESTROOM	3'-0"	7'-0"	NR	WD	SC	PG	HM	HM	PG		PROVIDE PRIVACY HARDWARE PER SPECIFICATIONS, CLOSER AND SEE SHEET A3.0 FOR SIGNAGE & ACCESSORIES

ABBREVIATIONS

ALUM ALUMINUM, EXTRUDED	HM HOLLOW METAL	SGE SEMI-GLOSS ENAMEL
CA CLEAR ANODIZED	MC MINERAL CORE	SS STAINLESS STEEL
DBA DARK BRONZE ANODIZED	FG FIBERGLASS DOOR	SL SPRAYED LACQUER
ALUM ALUMINUM	MFA MILL FINISH ALUMINUM	TG TEMPERED GLASS
HCB HOLLOW CORE	P-LAM PLASTIC LAMINATE	TS TRANSPARENT STAIN
HNS HONEYCOMB INSULATED	PG PAINT GRADE	WBF WATERBASED CLEAR FINISH
	SC SOLID CORE	WC WIRE GLASS
		BS BUILDING STANDARD



DOOR & HARDWARE NOTES

- CONTRACTOR IS TO SUBMIT COMPLETE HARDWARE SCHEDULE FOR ARCHITECT'S REVIEW.
- EXTERIOR HARDWARE FINISHES SHALL BE BUILDING STANDARD.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS OR ANY SPECIAL KNOWLEDGE OR PARTICULAR EFFORT.
- ALL CLOSERS SHALL CONFORM TO ADA. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED FIVE POUNDS (5 LBS.) FOR INTERIOR AND EXTERIOR DOORS AND FIFTEEN POUNDS (15 LBS.) FOR FIRE RATED DOORS. ALL DOOR CLOSERS SHALL BE MOUNTED INSIDE ROOM WITH PARALLEL ARM SO IT IS NOT VISIBLE FROM OUTSIDE.
- INSTALL DOORS WITH ALL HARDWARE FITTINGS, ACCESSORIES AND PARTITION REINFORCEMENT AS REQUIRED FOR THE SPECIFIC INSTALLATION. PROVIDE ANY SPECIAL ITEMS REQUIRED FOR CODE COMPLIANCE OR OPERATION AT SPECIAL DOOR LOCATIONS.
- ALL HARDWARE LOCKSETS AND LATCH SETS SHALL BE LEVER STYLE TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
- ALL DOORS MARKED (E) ARE EXISTING DOORS.
- VERIFY ALL EXISTING RATED DOOR HAVE PROPER RATING (AS NOTED) FOR DOOR AND FRAME AND HARDWARE.
- PROVIDE SIGN AT THE INTERIOR SIDE THAT READS: "THIS DOOR SHALL REMAIN UNLOCKED WHILE OCCUPIED" DIRECTLY ADJACENT TO THE EXIT DOOR.



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Sheet Title:

ABBREVIATIONS, SITE PLAN, AND DOOR SCHEDULE

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139

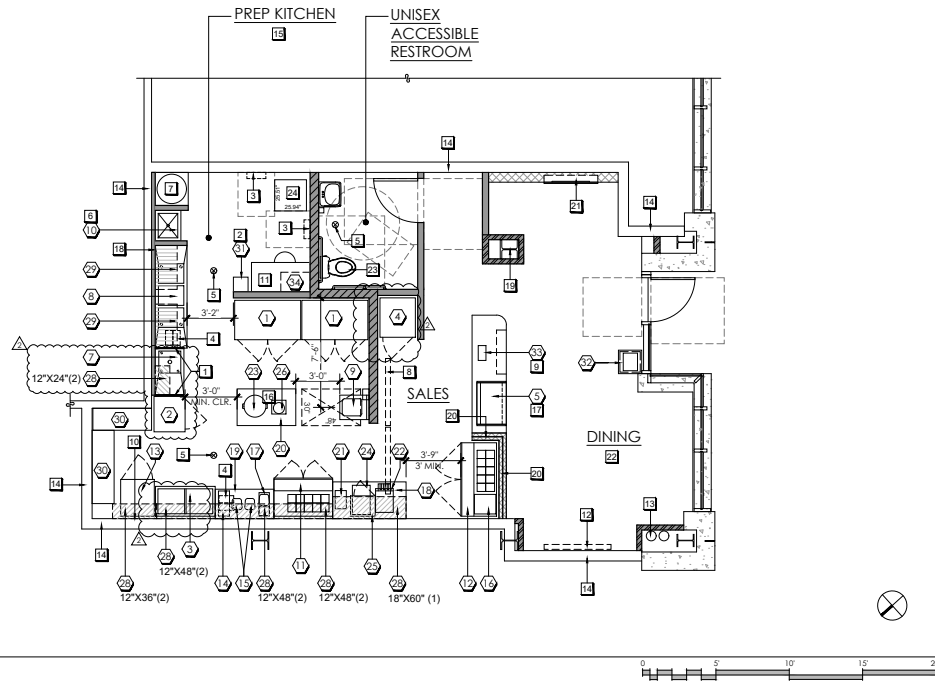


Revisions:

No.	Description	By	Date
1	FRAMING UPDATES	SV	7-9-21
2	EQUIPMENT CHANGES	SV	10-13-21

Date:	6-3-21
Designer:	ETS, KZ
Drafter:	KZ, LA, SV
Proj. Mgr.:	ETS
Scale:	N/A
Proj. No.:	1416.99

Sheet No. **A1.0**



- SHEET NOTES**
- PROVIDE STAINLESS STEEL SPLASH GUARD 6" MIN. HEIGHT THAT EXTENDS FROM BACK EDGE OF DRAINBOARD TO FRONT EDGE OF DRAINBOARD BETWEEN FOOD PREP SINK AND HAND SINK, AND DRY BACK AND HAND SINK. CORNERS OF GUARD SHALL BE ROUNDED.
 - INSTALL TENANT FURNISHED METAL LOCKERS, FASTEN TO WALL STUD OR BACKING.
 - PROVIDE (N) SURFACE-MOUNT ELECTRICAL PANEL. (S.E.D.)
 - PROVIDE (N) FLOOR SINK. (S.P.D.)
 - PROVIDE (N) FLOOR DRAIN. (S.P.D.)
 - PROVIDE (N) MOP SINK. (S.P.D.)
 - PROVIDE (N) WATER HEATER. (S.P.D.)
 - TV MENUS: INSTALL TENANT PROVIDED TV MENUS (2 TOTAL). GENERAL CONTRACTOR SHALL PROVIDE ALL WIRING, BACKING, AND ADJUSTABLE MOUNTING BRACKET. WIRE TO SERVER COMPUTER PER SHEET NO. 9 ON THIS SHEET. TENANT SHALL PROVIDE TV'S. SEE PLANS FOR MORE INFO.
 - PROVIDE ALL (N) POS SYSTEM LOW VOLTAGE AND STD. WIRING CONNECTIONS TO INVOICE PRINTER, PATCH PANEL, KITCHEN PRINTER, AND KITCHEN MONITOR (OPTIONAL). S.E.D. AND REFER WIRING DIAGRAM ATTACHED WITH EQUIPMENT BOOKLET. SEE PLANS FOR MORE INFO. WIRING PLAN REQUIREMENTS:
A- CAT 5/6 FROM POS STATION SALES COUNTER TO A/V RACK IN KITCHEN AREA.
B- CAT5/6 FROM KITCHEN INVOICE PRINTER ON SHELF ABOVE THE BASING REFRIGERATOR (WITH POWER OUTLET) TO A/V RACK IN KITCHEN AREA.
C- HDMI PRESEEDS (OR HDMI TO CAT 4 CONVERTERS) FROM THE TWO DIGITAL TV MENU BOARDS TO THE A/V RACK IN KITCHEN AREA.
 - PROVIDE (N) POS DATA AND PRINTER OUTLET ABOVE BASING REF. @ 46" A.F.F., S.E.D. AND REFER TO POS SYSTEM WIRING DIAGRAM IN EQUIPMENT BOOKLET.
 - TENANT PROVIDED DESK AND CHAIR.
 - INSTALL (N) WALL MOUNTED TV PROVIDED BY TENANT. PROVIDE ADJUSTABLE BRACKETS AND WALL BACKING.
 - (E) DRAIN PIPES, V.I.F..
 - (E) DEMISING WALL SEAL ALL PENETRATIONS WITH CODE COMPLIANT FIRE PROTECTIVE SEALANTS TO MAINTAIN EXISTING FIRE RATING.
 - PROVIDE (N) PLUMBING CONNECTED TO LANDLORD PROVIDED GREASE LINE AND GREASE INTERCEPTOR. SEE PLUMBING PLANS AND VERIFY IN FIELD.
 - PROVIDE (N) SUSPENDED OUTLETS FROM CEILING ABOVE WORK TABLE (EQUIPMENT # 20) FOR EQUIPMENT #23 AND 26. (S.E.D)
 - PROVIDE CUSTOM COUNTER FOR UNDER-COUNTER GRAB & GO DRINK REFRIGERATOR (EQUIPMENT #3).
- PROVIDE REMOVABLE PANEL FOR REAR ACCESS PER MANUFACTURER.
- SEE CURTSET OPTIONS AND CONFIRM W/ TENANT. CONSULT VENDOR AS NECESSARY.
- SEE ELEVATIONS. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW.
 - PROVIDE (N) FURRED WALL FOR PLUMBING AND ELECTRICAL PIPES AND CONDUITS. SEE FLOOR PLAN FOR DETAILS.
 - (E) STEEL COLUMN SPRAYED W/ FIRE PROOFING TYP.
 - PROVIDE (N) SNEEZIE GUARD AT 60" A.F.F. MINIMUM ON 44" H. COUNTERTOP.
MFR.: GLASS DIVIDER
MODEL: C107
SIZE: (1) 18" HEIGHT, 24" LENGTH;
(1) 18" H. CUSTOM LENGTH OR STANDARD LENGTHS IN SECTIONS. CONFIRM W/ TENANT.
 - PROVIDE (N) 44" ELECTRIC FIREPLACE. (S.E.D.). PROVIDE SEPARATE BID ITEM AND CONFIRM W/ TENANT.
MFR. & MODEL: HEAT & GLO - ALLURE 48
 - SEE A2.0 FOR FURNITURE LAYOUT.
 - FIELD VERIFY (E) W-BEAM UNDERFLOOR LOCATION WITH EXISTING STRUCTURAL PLANS AND REQUIREMENTS FOR (N) TOILET PLUMBING PENETRATION. (S.P.D.).
 - PROVIDE (N) FLOOR-MOUNT ELECTRICAL TRANSFORMER PER ELECTRICAL DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MANUFACTURER. MAINTAIN REQUIRED CLEARANCES AT ALL TIMES
OPTIONAL: FIELD VERIFY FT CONDITIONS FOR POSSIBLE ABOVE CEILING INSTALLATION. PROVIDE VERIFICATION, DIMENSIONS, SUPPORT CALCULATIONS AS A SUBSTITUTION TO THE ARCHITECT IF THIS OPTION IS PREFERRED.

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Sheet Title:
EQUIPMENT PLAN AND SCHEDULE

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139

1 EQUIPMENT PLAN
SCALE: 1/8"=1'-0"

EQUIPMENT SCHEDULE:
ALL EQUIPMENT PROVIDED BY TENANT AND INSTALLED BY GENERAL CONTRACTOR. EXCEPT MOP SINK, GENERAL CONTRACTOR TO PROVIDE MOP SINK AND FAUCET.

SYN #	TYPE	LENGTH	DEPTH	HEIGHT	REMARKS - ADDS	MANUFACTURER	MODEL#	COMMENT
1	STAND-UP 2-DOOR FREEZER	52"	33-3/4"	82-1/4"	SET ON CASTERS	BEVERAGE AIR	(2) H849HC-1	SELF-CONTAINED. SEE B1.A.1 FOR SEISMIC ANCHORAGE DETAIL AND STRUCTURAL CALCULATIONS ATTACHED WITH BUILDING APPLICATION. PROVIDE ANCHORAGE PER DETAIL.
2	STAND-UP 1-DOOR REFRIGERATOR	29"	25-1/2"	80-1/2"	SET ON CASTERS	AVANTICO	178A19HC	SELF-CONTAINED. SEE B1.A.1 FOR SEISMIC ANCHORAGE DETAIL. PROVIDE ANCHORAGE PER DETAIL.
3	FLAT LED DISPLAY FREEZER	48-7/8"	24-3/8"	34-1/4"	SET ON CASTERS	GALAXY	177CFC12HC	SELF-CONTAINED
4	STAND-UP 1-DOOR FREEZER	29"	30-1/4"	80-1/2"	SET ON CASTERS	AVANTICO	178S19HC	SELF-CONTAINED. SEE B1.A.1 FOR SEISMIC ANCHORAGE DETAIL. PROVIDE ANCHORAGE PER DETAIL.
5	TO-GO DRINK REFRIGERATOR	36-1/4"	24-1/8"	30-3/4"	UNDERCOUNTER TYPE. INSTALL INTO CUSTOMER COUNTER BY G.C.	OASIS	C033248-UC	SELF-CONTAINED UNDER-COUNTER HEIGHT. PROVIDE CABINET OPENING FOR EQUIPMENT PER MANUFACTURER.
6	ONE COMPARTMENT SINK	38-1/2"	24"	43"	W/ 8" HIGH INTEGRAL BACK SPLASH. FAUCET: CROMCO. 51-GC(3)A1(S)MFC AND HAND SPRAYER	ADVANCE TABCO	FC-31420-18BL	(1) 18" X 18" X 1/4" SINK W/ (1) 18" DRAIN BOARD. INDIRECTLY DRAIN TO FLOOR SINK. HOT WATER
7	THREE COMPARTMENT SINK	84"	26"	43"	W/ 8" HIGH INTEGRAL BACK SPLASH. FAUCETS: (2) ADVANCE FAUCETS 6-1/2" W/ (1) 62A-53 HAND SPRAYER AT LEFT SIDE FAUCET. SUPPLY WITH 4" GOOSENECK HANDLE FAUCET & DECK MOUNTED SOAP DISPENSER. PROVIDE PAPER TOWEL DISPENSER	ADVANCE TABCO	FC-31420-18BL	(2) 14" X 20" X 1/4" SINKS W/ (1) 18" DRAIN BOARD ON EACH SIDE. INDIRECTLY DRAIN TO FLOOR SINK.
8	ACCESSIBLE HAND SINK	20"	24"	5"	SEE KITCHEN ELEVATIONS FOR FINISH AND ACCESSORY MOUNTING HEIGHT REQUIREMENTS.	ADVANCE TABCO	7.PS.25	SEE KITCHEN ELEVATIONS FOR FINISH AND ACCESSORY MOUNTING HEIGHT REQUIREMENTS.
9	MOP SINK W/ SHELF ABOVE & MOP HANGER	25"	21"	10"	MIXING FAUCET: K-240 HANGER SET: K-245	ADVANCE TABCO	9.OP.20	G.C. TO PROVIDE MOP SINK.
10	BOWL TOPPINGS 2-DOOR REF. TABLE	48"	32"	45-1/4"	SET ON CASTERS	BEVERAGE - AIR	SPE48HC-08	SELF-CONTAINED
11	FOOD PREPARATION TABLES	60"	29-1/4"	41-11/16"	SET ON CASTERS	BEVERAGE - AIR	SPE60HC-10	SELF-CONTAINED
12	UNDERCOUNTER REFRIGERATOR 1-DOOR	27-1/2"	30"	30-5/8"	SET ON CASTERS	TURBO AIR	MUR-28-N	SELF-CONTAINED
13	RAPID RINSER	9"	20-1/2"	6-1/4"	REQ. WATER & DRAIN	BLENDETEC	JRE-510	INDIRECTLY DRAIN TO FLOOR SINK AND PROVIDE BACK FLOW PREVENTER
14	BLENDEERS	8"	9"	17-3/4"	OUTLET FOR EACH BLENDER SHALL HAVE PLASTIC COVER	BLENDETEC COMMERCIAL	(2) SPEATH 885	OUTLET FOR EACH BLENDER SHALL HAVE PLASTIC COVER
15	PANINI PRESS	16"	17-1/2"	9-1/4"	NOT FOR COOKING	WARNING	WPS250	PROVIDE SS PLATE IN OVERLAY ON TOP BEHIND PANINI PRESS. SEE ELEV.
16	VITAMIX BLENDER	8.5"	19"	18.1"	ON COUNTER	VITAMIX	VITAMIX XL 5201	OUTLET FOR EACH BLENDER SHALL HAVE PLASTIC COVER
17	WORK TABLE	60"	30"	34"	W/ UNDERSHELF	REGENCY	60073040G	WITH BACKSPLASH
18	WORK TABLE	48"	24"	34"	W/ UNDERSHELF	REGENCY	60072480G	WITH BACKSPLASH

EQUIPMENT SCHEDULE:
ALL EQUIPMENT PROVIDED BY TENANT AND INSTALLED BY GENERAL CONTRACTOR. EXCEPT MOP SINK, GENERAL CONTRACTOR TO PROVIDE MOP SINK AND FAUCET.

SYN #	TYPE	LENGTH	DEPTH	HEIGHT	REMARKS - ADDS	MANUFACTURER	MODEL#	COMMENT
19	WORK TABLE	48"	30"	34"	W/ UNDERSHELF	REGENCY	60073040G	NO BACKSPLASH
20	JUICER	9.5"	15.3"	19.3"		CEAADO	ES500	TO BE LOCATED ON TOP OF TABLE #20.
21	CONVEYOR TOASTER	14-1/2"	19-1/2"	13-1/2"	2" CLEARANCE FOR TOP OPENING/ 7" CLEARANCE FOR BOTTOM OPENING/ NSF CERTIFIED.	ADCRAPT	CVYT	TO BE LOCATED ON TOP OF TABLE #20.
22	RICE COOKER (DRAINABLE)	16-7/8"	10-1/2"	11-7/8"	46 CUPS/ NSF CERTIFIED.	PANASONIC	SR-GA61H	TO BE LOCATED ON TOP OF TABLE #20.
23	HEATED WELLS	14-9/16"	23-15/16"	10-3/4"	COOLER AND WARMER. HOLDS A FULL-SIZE PAN OR 3 THIRD-SIZE PANS	HATCO	CHW-FLE	TO BE LOCATED ON TOP OF TABLE #20.
24	MICROWAVE	20-1/8"	16-9/16"	17"		PANASONIC	NE-1054	LOCATED ON 18" D SOLID WALL SHELVING (ITEM #38). SEE KITCHEN ELEVATION.
25	FOOD PROCESSOR	11-3/4"	11-1/4"	17"	14 CUPS	CUSNART	FP-14DCN	TO BE LOCATED ON TOP OF TABLE #20.
26	SOLID WALL SHELF	24-3/8", 48", 60"	12", 18"	1-1/2"	MOUNTING HGT: (1) TER @ 40" (1) TER @ 72"	REGENCY	(1) 600W51224 (2) 600W51236 (3) 600W51248 (4) 600W516016	PROVIDE WALL BACKING PER DETAIL 3/A.4.D. CONFIRM SHEET SIZES AND QUANTITIES W/ EQUIPMENT PLAN AND FIELD VERIFY WALL LOCATION.
27	WIRE SHELVING/ 3-COMP. SINK	36"	18"	-	(2) GRIDS. (4) EQ. SPACE TERS WALL MOUNTS. (1) TER @ 72"	METRO (GRID SYSTEM)	(4) 34" SHELVES	PROVIDE WALL BACKING PER DETAIL 3/A.4.D.
28	WIRE SHELVING	48", 60"	18"	72"	5 TERS - ON CASTERS. LOWEST SHELF @ 6 A.F.F.	SEVILLE	(1) SHE 1849Z8 (1) WEBK359	MANUFACTURER WEBSITE: http://www.sevillesteel.com/
29	EMPLOYEE LOCKERS	12"	12"	60"	3 TIER	SALSBERY (PROVIDED/ INSTALLED BY BUILDER)	43-152	COLOR: GRAY
30	BUS/RECEPTACLE	19-1/4"	19"	46"	34 GALLONS - GRAY	SARCO PRODUCTS	92PRC	COLOR: GRAY OR BLACK
31	POS SYSTEM				SEE WIRING DIAGRAM FOR ROUTING AND TYPE OF WIRE USED: HDMI AND CAT 6.	ALPHAN		PROVIDE ALL WIRING REQUIRED. CONFIRM MODEL WITH TENANT.
32	AUDIO/VIDEO RACK (A/V)	23.6"	21.6"	25"	WALL MOUNT INTO PLW/D. BACKING (140 LB MAX. LOADING)	TRIPP LITE	SRW125G	VERIFY LOCATION WITH TENANT

- EQUIPMENT NOTE:**
- ALL NON-FIXED EQUIPMENT SHALL HAVE APPROVED LESS AT LEAST 6" HIGH OR ON CASTERS. TABLETOP MOUNTING METHOD TO BE USED, AND FLOOR MOUNTED EQUIPMENT WITH AN INTEGRALLY COVERED BASE AT LEAST 4" HIGH. IF CASTERS LESS THAN 6" IN HEIGHT ARE USED, THE EQUIPMENT MUST BE READILY MOVABLE BY ONE PERSON AND SECURED BY TETHERS TO THE SATISFACTION TO THE LOCAL FIRE DEPARTMENT; IF TABLE TOP MOUNTED, THE EQUIPMENT MUST BE ON APPROVED 4" HIGH LEGS, READILY MOVABLE (LESS THAN 80 POUNDS), OR SEALED IN AN APPROVED MANNER, IF A BASE WILL BE USED. PROVIDE AND INTEGRAL TILE BASE COMMENSURATE WITH THE WALL BASE THROUGHOUT THE KITCHEN AREA WITH A MINIMUM 3/4" RADIUS COVERED TILE BASE AT FLOOR /WALL JUNCTURES. EXCEPT AT SALES AND DINING AREA, DISPLAY CASES MUST MEET THE ABOVE REQUIREMENT AND NO SKIRTING IS ALLOWED AROUND THE BASE OF THE DISPLAY CASES, IF PROVIDED.
- PROVIDE WALL BACKING TO SUPPORT A/V RACK, WALL MOUNTED TV, MENU RD., WALL SHELVING AND ALL APPLICABLE WALL MOUNTED EQUIPMENT. SEE DETAIL 3/A.4.D.



Revisions:

No.	Description	By	Date
1	FRAMING UPDATES	sv	7-9-21
2	EQUIPMENT CHANGES	sv	10-13-21

Date: 6-3-21
Designer: ETS, KZ
Drawer: KZ, LA
Proj. Mgr.: KZ
Scale: AS NOTED
Proj. No.: 1416.99

Sheet No.:
A1.1

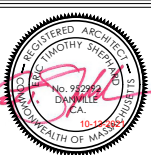


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Sheet Title:

REFLECTIVE
CEILING PLAN

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139

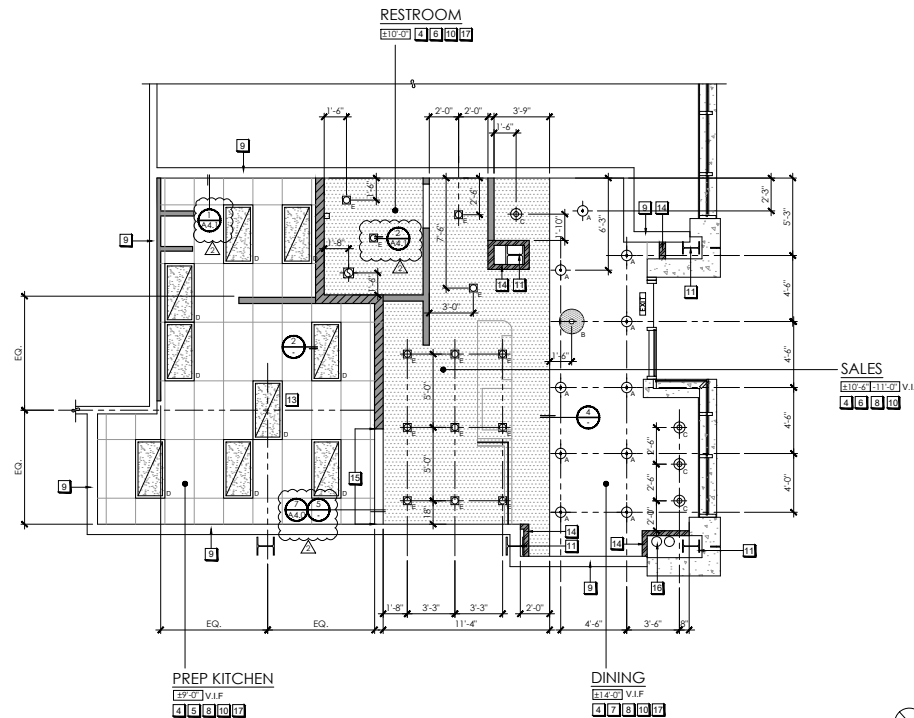


SYMBOL LEGEND

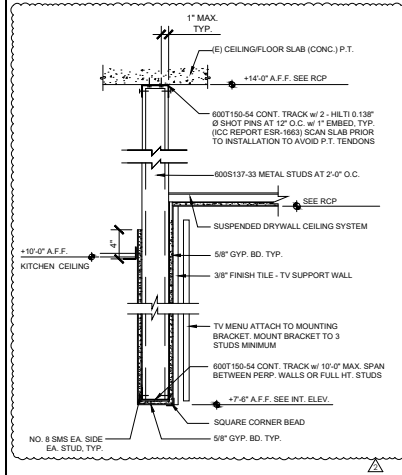
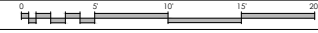
- (A) (N) SUSPENDED PENDANT LIGHTS
(GENERAL LIGHTING)
MANUFACTURER: INTENSE LIGHTING
MODEL: SSAGCC
CCT: 2700K
FINISH: BLACK
TYPE: LED
MOUNTING: 211'-6" A.F.F. VERIFY IN FIELD.
- (B) (N) LARGE PENDANT CEILING LAMP
(GENERAL LIGHTING)
MANUFACTURER: KENNEDY WOOD AND WIRE
MODEL: 40W INCANDESCENT
MOUNTING HEIGHT: +9'-0" A.F.F.
- (C) (N) PENDANT LIGHT
MFR.: HODMARRY
MODEL: ROUND BUBBLE DESIGN (GLASS GLOBE) #0010457
SHADE FINISH: PURPLE (PLUM)
TYPE: LED LAMPS
WAITS: 40W RATED
MOUNTING HEIGHT: SEE ELEVATIONS.
- (D) (N) 2x4 LAY-IN LIGHT FIXTURE, S.E.D.
MANUFACTURER: WILLIAMS
MODEL: 50524-LEDU35/840F AF 12125-DG-EGCLPS-DIM-UNY
CCT: 5000K
TYPE: LED
MOUNTING: SEE DETAIL 2/.
- (E) (N) RECESSED LIGHT FIXTURE, IF NEEDED
MANUFACTURER: ZIMTORO
MODEL: BR4D-LED24-22W-830-WS-D1-CL-W-CA
TYPE: LED
MOUNTING: SEE DETAIL 2/A4.1
- (EXIT) (E) OR (N) EXIT LIGHT, V.I.F.
- (N) EXHAUST FAN SWITCH WITH LIGHT AND VENT TO ROOF, S.M.D.
- (X.X) CEILING HEIGHT INDICATOR

REFLECTIVE CEILING PLAN SHEET NOTES

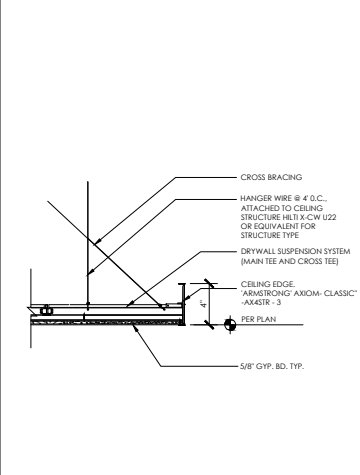
1. REFER TO GENERAL NOTES FOR MORE INFORMATION.
2. THIS PLAN IS PROVIDED TO SHOW LOCATION OF ALL PRIMARY CEILING FIXTURES AND ARCHITECTURAL ELEMENTS ONLY.
3. NO EQUIPMENT OVER 400 POUNDS SHALL BE MOUNTED ON ROOF, CEILING OR FLOOR STRUCTURE. NO FIXTURES WITH WEIGHT MORE THAN 20 LBS WILL BE SUSPENDED FROM ROOF, CEILING, WALL STRUCTURE, (TYP.)
4. ALL LIGHT FIXTURES SHOWN ARE NEW. SEE LIGHT FIXTURE SCHEDULE ON THIS SHEET AND SEE ELECTRICAL DRAWINGS FOR BALANCE OF INFO. FIELD VERIFY SPECIFIED (N) LIGHT FIXTURE MOUNTING HEIGHTS AND LOCATIONS PER R.C.P., FLOOR PLAN, AND (N) CEILING GRID. REPORT TO ARCHITECT IF NECESSARY.
- 4A. PROVIDE (N) 2x4 SUSPENDED CEILING SYSTEM, SEE DETAIL 2/A4.1
MANUFACTURER: ARMSTRONG FRIELEDGE XL 15/16" CEILING SYSTEM IN THE KITCHEN AREA TO COMPLY WITH HEALTH CODES FOR COMMERCIAL KITCHEN. FIELD VERIFY PROPOSED NEW CEILING HEIGHT.
 - (N) 2x4 SUSPENDED CEILING SYSTEM, CEILING TILE: GOLD BOND BRAND "GRIDSTONE" PANELS FOR COMMERCIAL KITCHEN OR APPROVED EQ.
 - COLOR: WHITE
- 4B. PROVIDE (N) GYP. BOARD SOFFIT. SEE DETAILS 3/- AND 4/-; PAINT PER FINISH PLAN. FIELD VERIFY PROPOSE SOFFIT HEIGHT AND CONFIRM W/ ARCHITECT.
5. EXPOSE (E) CEILING. PROVIDE (N) 3M FIRE BARRIER WRAP (1-HR RATED, PAINTABLE) TO WRAP EXPOSED CEILING DECK, BEAMS, AND (N) HVAC DUCT. PAINT (E) EXPOSED PIPES AND (N) FIRE BARRIER WRAP PER FINISH PLAN. MAINTAIN FIRE RATING OF EXISTING FIRE PROOFING AND EXISTING CEILING S.T.C. RATING.
6. GENERAL CONTRACTOR SHALL INSTALL TENANT PROVIDED SOUND SYSTEM, SPEAKERS, AND SECURITY CAMERAS SYSTEMS. CONSULT WITH TENANT.
7. (E) DEMISING WALL. SEAL ALL PENETRATIONS WITH CODE COMPLIANT FIRE PROTECTIVE SEALANTS TO MAINTAIN EXISTING FIRE RATINGS.
8. PROVIDE (N) HVAC SYSTEM PER MECHANICAL PLANS. (S.M.D.) CONSULT L.L. CONSTRUCTION MANAGER AND REFER L.L. DRAWINGS REGARDING DUCT INSTALLATION AND R.T.U. ZONING REQUIREMENTS AND INSTALLATION.
9. (E) STL. COL. SPRAYED W/ FIRE PROOFING. MAINTAIN FIRE PROOFING.
10. NOT USED
11. PROVIDE (N) SUSPENDED OUTLETS FROM CEILING ABOVE WORK TABLE EQUIPMENT # 20, (S.E.D.).
12. FULL-HEIGHT WALL TO ENCLOSE (E) FIRE PROOFED COLUMN, TYP. THROUGHOUT
13. PROVIDE (N) WALL OPENING W/ MTL. STUD HEADER. SEE 5/- AND 7/A4.0 FOR DETAILS. SEE 7/A.0 FOR HEADER SCHEDULE. SEE INTERIOR ELEVATIONS FOR HEIGHT AND CLADDING FIN.. SUBMIT CLADDING FINISH FOR ARCHITECT'S REVIEW.
14. (E) DRAIN PIPES CONFIRM LOCATIONS AND HEIGHTS OR POTENTIAL CONFLICTS
15. MODIFY (E) FIRE SPRINKLER AND ALARM SYSTEM AND PROVIDE THE ITEMS AS FOLLOW:
- TAMPER/ FLOW ISOLATION VALVES PER RETAIL SPACE.
- EXTERIOR BEACON PER RETAIL SPACE.
- REMOTE ANNUNCIATOR.
CONFIRM W/ TENANT.



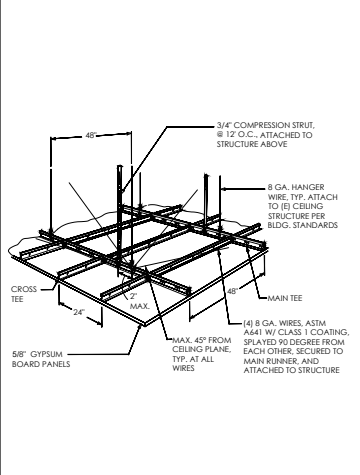
1 REFLECTIVE CEILING PLAN
SCALE: 1/4" = 1'-0"



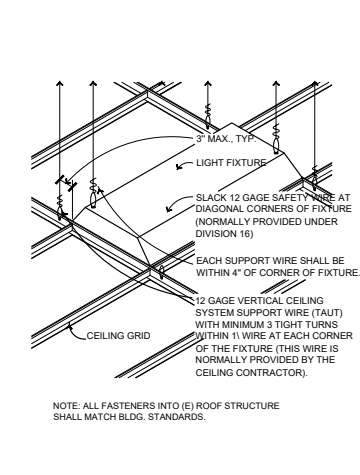
5 SUSPENDED WALL
SCALE: 1/2" = 1'-0"



4 SUSPENDED CEILING EDGE DETAIL
SCALE: N.I.S.



3 LATERAL BRACING - GYP. BD. CEILING
SCALE: N.I.S.



2 LIGHT FIXTURE AT ACOUSTICAL CEILING
SCALE: N.I.S.

Revisions:			
No.	Description	By	Date
1	FRAMING UPDATES	sv	7-9-21
2	EQUIPMENT CHANGES	sv	10-13-21

Date: 6-3-21
Designer: EIS, KZ
Drafter: KZ, LA
Proj. Mgr.: EIS
Scale: AS NOTED
Proj. No.: 1416.99

Sheet No.:
A2.1



320 Sycamore Valley Road West
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Sheet Title:

FINISH PLAN
& DINING
ELEVATIONS

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139



Revisions:			
No.	Description	By	Date
△	FRAMING UPDATES	SV	7-9-21
△	EQUIPMENT CHANGES	SV	10-13-21

Date: 6-3-21
Designer: ETS, KZ
Drafter: KZ, SV
Proj. Mgr.: ETS
Scale: AS NOTED
Proj. No.: 1416.99

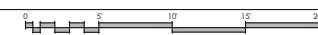
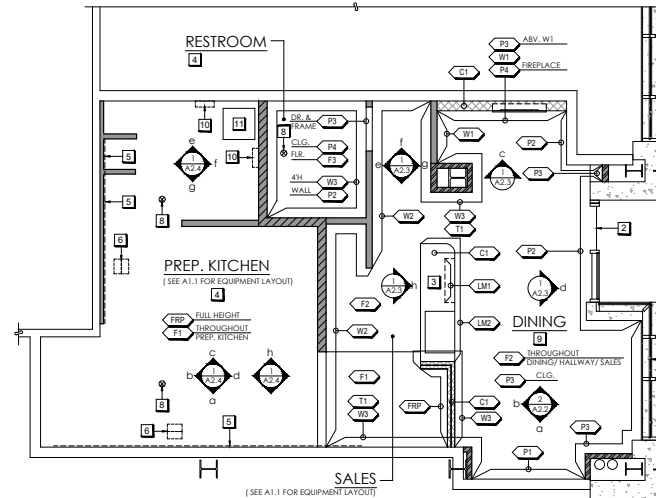
Sheet No.:

A2.2

1. REFER TO GENERAL NOTES FOR MORE INFORMATION.
2. TRANSITION STRIP PER DETAIL (A2.2)
3. BUILT IN CABINETRY (SEE 7(A.4.1))
 - A. TOP: CORIAN TOP 1-1/2" THICK
 - B. FRAME AND SHELVING: PLASTIC LAMINATE WALLS INSIDE AND OUT, INCLUDING UNDERSIDE OF COUNTER TOPS. WHITE MELAMINE INTERIOR SURFACES ON SHELVING. ALL SURFACES MUST BE FINISHED.
 - C. CONSTRUCTION OF SUBSTRATE SHALL BE WITH LOW VOC PLYWOOD.
 - D. CUSTOM COUNTER FOR UNDER-COUNTER GRAB & GO DRINK REFRIGERATOR (EQUIPMENT #5).
 - E. SUBMIT SHOP DRAWINGS.
4. SMOOTH, DURABLE, EASILY CLEANABLE, LIGHT-COLORED, AND NON ABSORBENT, WALL AND CEILING FINISHES WILL BE REQUIRED IN THE FOLLOWING AREAS WHERE APPLICABLE:
 - WHERE FOOD IS PREPARED OR PACKAGED
 - CUSTOMER SELF-SERVE LOCATION WHERE OPEN FOOD OR BEVERAGE IS DISPENSED (BEVERAGE STATIONS)
 - WAIT STATIONS
 - WHERE UTENSILS ARE WASHED AND STORED
 - JANITORIAL AREAS
 - RESTROOMS (CUSTOMER RESTROOMS DO NOT REQUIRE LIGHT COLORED WALL OR CEILING FINISHES THROUGH IT IS RECOMMENDED)
 - EMPLOYEE LOCKER ROOMS
 - WHERE ANY FOOD IS NOT STORED IN THE ORIGINAL UNOPENED CONTAINERS.
5. PROVIDE FIRE-RETARDANT-TREATED PLYWOOD BACKING AT ALL WALL MOUNTED SHELVING PER DETAIL 3(A.6). NOT ALL BACKING IS SHOWN ON THIS PLAN. SEE EQUIPMENT PLAN FOR ALL SHELVING LOCATIONS. TYP. THROUGHOUT.
6. (N) FLOOR SINK. REFER TO PLUMBING DRAWINGS FOR BALANCE OF INFORMATION.
7. G.C. TO CLEAN UP (E) STOREFRONT.
8. (N) FLOOR DRAIN. REFER TO PLUMBING DRAWINGS FOR BALANCE OF INFORMATION.
9. (E) EXPOSED CONCRETE CEILING AT DINING AREA.
10. PROVIDE (N) SURFACE-MOUNT ELECTRICAL PANEL (S.E.D.).
11. PROVIDE (N) FLOOR-MOUNT ELECTRICAL TRANSFORMER PER ELECTRICAL DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MANUFACTURER. OPTIONAL: FIELD VERIFY CONDITIONS FOR CEILING MOUNTING ABOVE KITCHEN CEILING AND PROVIDE CONSTRUCTION CALCULATIONS FOR CEILING MOUNTING. REPORT TO ARCHITECT.

FINISH PLAN SHEET NOTES

1 FINISH FLOOR PLAN
SCALE: 1/4"=1'-0"

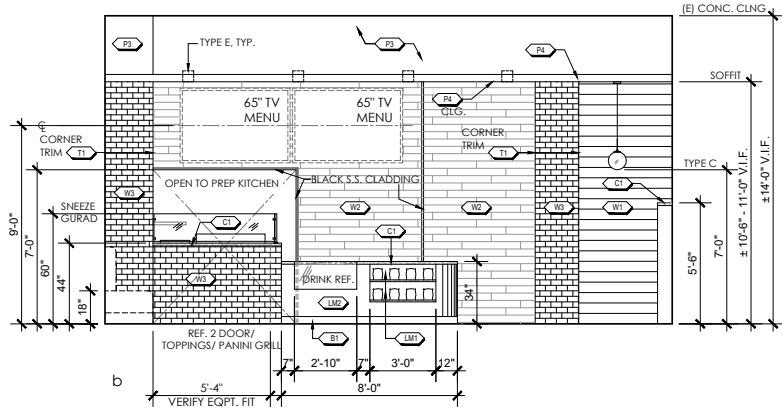
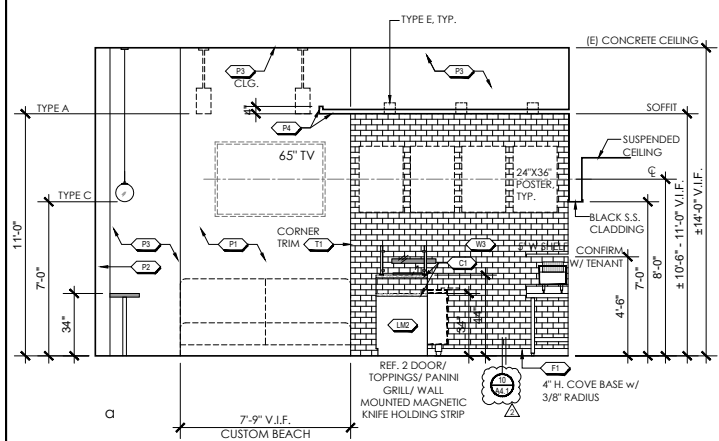


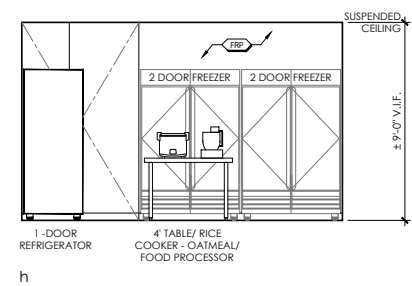
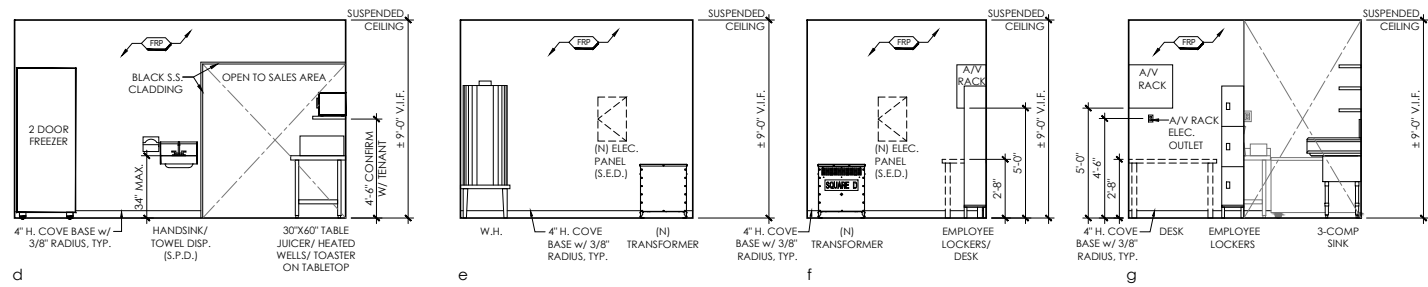
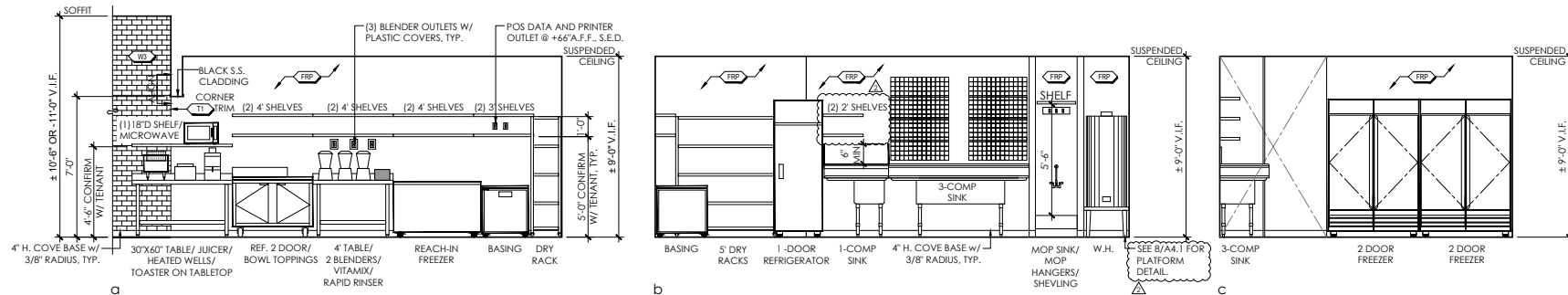
FINISHES

- F1 EPOXY POLYURETHANE FLOORING SYSTEM W/ INTEGRAL 4" HIGH & 3/8" RADIUS COVE BASE (KITCHEN)
 - MANUFACTURER: SHERWIN WILLIAMS
 - MODEL: FASTOP 125
 - THICKNESS: 1/4" MIN.
 - TOP COAT COLOR: GRAY W/ ANGULAR AGGREGATE
 - APPLICATION: FOR COMMERCIAL KITCHEN WET LOCATION
 - BASE DETAIL: 7(A.4.1)
- F2 SLIP RESISTANT POLISHED CONCRETE - GRIND EXISTING FLOOR
 - MANUFACTURER: RETRO PLATE - FLOOR POLISHING SYSTEM
 - STAIN COLOR: NATURAL GRAY - POLISHED GLOSSY
 - FINISH: 1-1/2" THICK BLOCK EDGE
 - * VERIFY CONDITION OF SLAB W/ TENANT AFTER DEMO.
- C1 CORIAN COUNTERTOP w/ 1-1/2" BLOCK EDGE (SALES COUNTER)
 - MANUFACTURER: DUPONT CORIAN
 - THICKNESS: 1/2"
 - COLOR: NATURAL GRAY - POLISHED GLOSSY
 - EDGE: 1-1/2" THICK BLOCK EDGE
- W1 RECLAIMED WOOD FLOORING SYSTE TO BE INSTALLED ON WALL
 - MANUFACTURER: BLACK'S FARMWOOD
 - TYPE: SQUARE EDGE
 - SIZE: 3/4" THICK, RANDOM 3"-4" W., RANDOM 2'-12" L.
 - MODEL: EUROPEAN WHITE OAK FLOORING
 - FINISH: UNFINISHED OR APPROVED EQUAL
- W2 PORCELAIN TILE
 - MANUFACTURER: BEDROSIANS - 'TAHOE'
 - SIZE: 4'X4'
 - COLOR: GLACIER
 - SEAM: 3/16"
 - PATTERN: 33% MAX. OVERLAP PER MFR. SPECS.
 - GROUT COLOR: CUSTOM - #335 WINTER GRAY
 - CORNER TRIM: TEXTURED COLOR-COATED ALUMINUM MATTE BLACK MGS
 - FINISH: UNFINISHED
- W3 SUBWAY TILE (RESTROOM, SALES AREA, AND FRONT END)
 - MANUFACTURER: DALTILE
 - MODEL: COLOR WHEEL COLLECTION - CLASSIC
 - SIZE: 3'X4'
 - COLOR: BLACK (K11) GLOSSY
 - GROUT COLOR: CUSTOM - #370 DOVE GRAY
 - PATTERN: OFFSET - 50/50
 - BASE: COVE BASE TILE (RESTROOM) (SEE 7(A.4.1))
 - TOP TRIM: BULLNOSE TRIM TILE (RESTROOM)
- T1 METAL TRANSITION AND CORNER TRIM FOR
 - MFR: SCHLUTER
 - MODEL: JOLLY
 - SIZE: VERIFY TRIM HEIGHT PER TILE THICKNESS
 - FINISH: MGS - TEXTURED COLOR-COATED ALUMINUM MATTE BLACK
- F3 FLOOR TILE (RESTROOM)
 - MANUFACTURER: EMSER TILE
 - MODEL: BUILDING BLOCKS CONCRETE
 - SIZE: 12'X24"
 - COLOR: GRAY
 - GROUT COLOR: CUSTOM # 165 DELOREAN GRAY
 - PATTERN: 50/50 OFFSET
- FRP FRP FULL HEIGHT WALL PANEL (PREP KITCHEN)
 - MANUFACTURER: MARLITE STAINMETRIX
 - FINISH/COLOR: 37M S330-C63-R1 (WHITE SUBWAY TILE)
 - INSTALLATION: GLUE TO SUBSTRATE - PER MFR. SPECS.
- P1 PAINT (WALL)
 - MANUFACTURER: KELLY MOORE
 - COLOR: PULSH PURPLE - KM 5595
 - SHEEN: EGG-SHELL
- P2 PAINT (WALL)
 - MANUFACTURER: KELLY MOORE
 - COLOR: FOGGY DAY - KM 4886
 - SHEEN: EGG-SHELL
- P3 PAINT (WALL, DINING CEILING, DOOR & DOOR FRAME)
 - MANUFACTURER: KELLY MOORE
 - TYPE: TITANIUM GRAY - KM 4882
 - SHEEN: EGG-SHELL (WALL); SEMI-GLOSS (DOOR & DOOR FRAME)
- P4 PAINT (RESTROOM CEILING, FIREPLACE WALL AND SOFFIT)
 - MANUFACTURER: KELLY MOORE
 - COLOR: PURE WHITE
 - SHEEN: EGG-SHELL (SOFFIT, FIREPLACE WALL); SEMI-GLOSS (RESTROOM)
- LM1 LAMINATE
 - MANUFACTURER: ABET
 - MODEL: 1831 SB
 - COLOR: DARK GRAY
 - OR APPROVED EQUAL
- LM2 LAMINATE
 - MANUFACTURER: ABET
 - MODEL: 370 SOFT
 - COLOR: WOOD LOOK
 - OR APPROVED EQUAL
- B1 4" H. WOOD BASE @ POS PUBLIC SIDE
 - PAINT: P3
 - SHEEN: EGG-SHELL

NOTE: CONFIRM ALL FINISHES WITH TENANT, AND SUBMIT SAMPLES FOR ALL FINISHES FOR ARCHITECTS REVIEW.

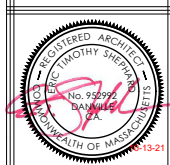
2 DINING ROOM AND SALES ELEVATIONS
SCALE: 3/8"=1'-0"





Sheet Title:
KITCHEN ELEVATIONS

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139



Revisions:

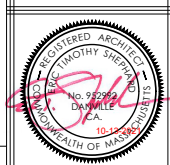
No.	Description	By	Date
△	FRAMING UPDATES	sv	7-9-21
△	EQUIPMENT CHANGES	sv	10-13-21

Date:	6-3-21
Designer:	ETS, KZ
Drafter:	KZ, LA, SV
Proj. Mgr.:	ETS
Scale:	AS NOTED
Proj. No.:	1416.99

Sheet No.:
A2.4

Sheet Title:
ACCESSIBLE RESTROOM

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139



Revisions:

No.	Description	By	Date
1	FRAMING UPDATES	sv	7-9-21
2	EQUIPMENT CHANGES	sv	10-13-21

Date: 6-3-21
Designer: EST, KZ
Draftsman: KZ, LA
Proj. Mgr.: EIS
Scale: AS NOTED
Proj. No.: 1416.99

Sheet No.:
A3.0

8 LAVATORY REQUIREMENTS
SCALE: N.I.S.

NOTES:
1) PROVIDE CLEAR SPACE 30" W/4" IN FRONT OF THE LAVATORY. THE CLEAR SPACE MAY EXTEND INTO KNEE AND TOE SPACE UNDER LAVATORY.
2) ISOLATE OR COVER SUPPLY AND DRAIN PIPES UNDER LAVATORIES.
3) NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES.
4) LETTERS & NUMBERS ON SIGNS SHALL BE RAISED 1/8" MIN. SHALL BE MIN. 1/2" HIGH & SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
5) BRaille SHALL COMPLY WITH ICC A117.1 SECTION 703.4

5 RESTROOM SIGNS
SCALE: N.I.S.

NOTES:
1) TECHNICAL CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
2) PROVIDE ROOM IDENTIFICATION SIGN ON LATCH SIDE OF DOOR.
3) VENTILATION, WINDOWS, CHAIRS, DOORS AND SHARPS CONTROLS OF RESIDENT AND ESSENTIAL USE ARE TO BE SET AT A MAXIMUM OF 48" FROM FLOOR TO THE TOP OF THE SWITCH BOX.
4) ELECTRICAL CONVENIENCE WALL OUTLETS ARE TO BE SET WITH THE BOTTOM AT A MINIMUM OF 15" FROM THE FLOOR. ELECTRICAL CONVENIENCE FLOOR OUTLETS AND BASEBOARD ELECTRICAL OUTLETS USED IN MOVABLE PARTITIONS OR WINDOW WALLS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.
5) EXISTING BUILDING MUST MEET SAME REQUIREMENTS AS NEW CONSTRUCTION UNLESS AN UNREASONABLE HANDICAP IS GRANTED BY THE ENFORCEING AGENCY.

1 ALL-GENDER ACCESSIBLE RESTROOM PLAN
SCALE: 3/8"=1'-0"

9 TOILET GRAB BAR (IF REQUIRED)
SCALE: N.I.S.

GRAB BARS:
1) LOCATE GRAB BARS ON EACH SIDE OR ONE SIDE AND BACK OF TOILET 33" ABOVE AND PARALLEL TO THE FLOOR. EXCEPT WITH A FLUX-TYPE TOILET WHICH OBSTRUCTS PLACEMENT THE GRAB BAR MAY BE AS HIGH AS 36" BARS AT SIDE TO BE 42" LONG WITH FRONT END 4" FROM TOILET. BARS IN BACK TO BE 36" LONG. DIAMETER OR WIDTH OF GRIPPING SURFACE IS REQUIRED TO BE 1/2" TO 3/4" OR SHAPE IS TO PROVIDE AN EQUIVARIANT GRIPPING SURFACE.
2) IF GRAB BARS ARE MOUNTED ADJACENT TO WALL THE SPACE BETWEEN WALL AND BAR IS TO BE 1/2".
3) GRAB BARS SHALL NOT ROTATE.
4) GRAB BARS AND ANY SURFACE ADJACENT TO THEM CANNOT HAVE ANY SHARP OR ABRASIVE ELEMENTS. EDGES ARE TO HAVE A MINIMUM RADIUS OF 1/8".
5) GRAB BARS AND MOUNTINGS SHALL WITHSTAND 250 LBS/SIDE 500 LBS WEIGHT/MIDDLE.

6 CONTROL HEIGHT
SCALE: N.I.S.

NOTES:
1) MANUALLY OPERATED SWITCHES AND CONTROLS ARE LIGHTS, POWER, HEAT, VENTILATION, WINDOWS, CHAIRS, DOORS AND SHARPS CONTROLS OF RESIDENT AND ESSENTIAL USE ARE TO BE SET AT A MAXIMUM OF 48" FROM FLOOR TO THE TOP OF THE SWITCH BOX.
2) ELECTRICAL CONVENIENCE WALL OUTLETS ARE TO BE SET WITH THE BOTTOM AT A MINIMUM OF 15" FROM THE FLOOR. ELECTRICAL CONVENIENCE FLOOR OUTLETS AND BASEBOARD ELECTRICAL OUTLETS USED IN MOVABLE PARTITIONS OR WINDOW WALLS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.
3) EXISTING BUILDING MUST MEET SAME REQUIREMENTS AS NEW CONSTRUCTION UNLESS AN UNREASONABLE HANDICAP IS GRANTED BY THE ENFORCEING AGENCY.

2 ACCESSIBLE RESTROOM ELEVATIONS
SCALE: 1/4"=1'-0"

10 ACCESSORY MOUNTING HEIGHT
SCALE: N.I.S.

TOILET ACCESSORIES:
1) WHERE TOILET, SANITARY NAPRIN AND WASTE RECEPTACLES AND SOAP AND SHARP DISPENSERS AND DISPOSAL FRIBRES ARE PROVIDED, AT LEAST ONE OF EACH TYPE IS TO BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40" FROM THE FLOOR.
2) MOUNT HUBBERS WITH BOTTOM EDGE OF THE REFLECTIVE SURFACE NO MORE THAN 45" FROM FLOOR TO THE REFLECTIVE SURFACE.
3) LOCATE CENTER OF TOILET TISSUE DISPENSER ON WALL WITHIN 7" MIN - 9" MAX OF FRONT EDGE OF TOILET SEAT.
4) FLUSH CONTROL SHALL BE AN OSCILLATING HANDLE W/ 3/8" MAX. 3" OPERATING FORCE. ELECTRIC OPERATION OR APPROVED EQUAL.

RESTROOM ACCESSORY SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	DETAIL
▽	(N) 5.5. RECESSED AUTOMATIC PAPER TOWEL DISPENSER/ WASTE RECEPTACLE. VERIFY WITH TENANT!	BOBRICK MODEL # 83974	10/
▽	(N) 5.5. TOILET PAPER DISPENSER - VERIFY COMPLIANCE W/ DETAIL.	BOBRICK MODEL # 82988	7/
▽	(N) 5.5. TOILET SEAT COVER DISPENSER - VERIFY COMPLIANCE W/ DETAIL.	BOBRICK MODEL # 8221	7/
▽	(N) 5.5. "TOUCHLESS" AUTO SOAP DISPENSER - WALL MOUNTED - VERIFY COMPLIANCE W/ DETAIL.	BOBRICK MODEL # 82012	10/
▽	(N) WALL MOUNTED LAVATORY W/ - VERIFY COMPLIANCE W/ DETAIL.	KOHLER MODEL # K-2084-L	8/
▽	(N) AUTOMATIC DECK MOUNTED FAUCET "TOUCHLESS"	KOHLER MODEL # K-13457-CP	8/
▽	(N) FLOOR WATER CLOSET (WHITE). - RIGHT FLUSH HANDLE - VERIFY COMPLIANCE W/ DETAIL.	AMERICAN STANDARD CADET 3 ADA COMPLIANT MODEL: 2096A101	7/
▽	(N) WALL MOUNTED MIRROR (24x36) REFLECTIVE SURFACE @ 40" MAX A.F.F.	BOBRICK MODEL # 8145	8/
▽	(N) GRAB BAR: 18", 36" AND 42" - VERIFY COMPLIANCE W/ DETAIL.	BOBRICK MODEL # B606	7/ & 9/
▽	(N) COAT HOOK	BOBRICK MODEL # B682	9/

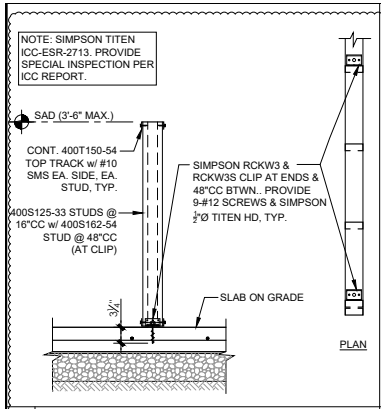
KEY PLAN NOTES

- PROVIDE (N) INSULATION AT DRAIN PIPE AND HOT WATER PIPES WITH PRE-MANUFACTURED & PRE-FORMED INSULATORS, WHITE IN COLOR.
- PROVIDE NEW INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE MOUNTED TO OUTSIDE FACE OF RESTROOM DOOR. SEE DETAIL 5/- FOR BALANCE OF INFO.
- PAINT CEILING WITH (2) COATS OF LATEX ENAMEL PAINT OVER (2) COATS OF DRYWALL PRIMER. FINISH: SEMI GLOSS. SEE FIN. SCHEDULE
- WALL TILE @ 4" A.F.F. PER FINISH SCHEDULE. TYP. THROUGHOUT RESTROOMS.
- PROVIDE NEW SANITARY 4" X 4" TALL COVED BASE TILE ALONG FLOOR EDGE. TYP. MFR: DALLITE MODEL: S3417P FINISH: PER FINISH SCHEDULE G.C. TO CONFIRM COVE BASE HEIGHT WITH TILE THICKNESS.
- PROVIDE NEW BULL-NOSE TILE ALONG EDGE OF TILE WAJNSCOTING. MFR: DALLITE MODEL: S4369M FINISH: PER FINISH SCHEDULE G.C. TO CONFIRM TILE.
- PROVIDE (N) FLOOR DRAIN. (S.P.D.)

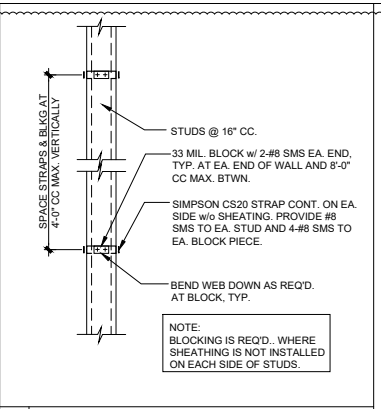
7 WATER CLOSET COMPARTMENT
SCALE: N.I.S.

3 ACCESSORY SCHEDULE
SCALE: N/A

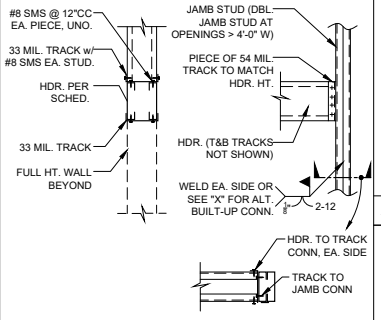
4 KEY NOTES
SCALE: N/A



8 HALF WALL SUPPORT AT SLAB ON GRADE
SCALE: 1/4"=1'-0"

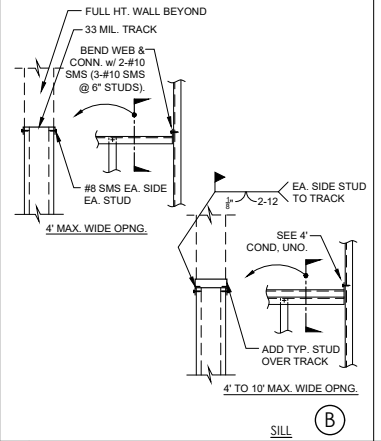


6 TYP. METAL STUD BLOCKING
SCALE: 1/4"=1'-0"

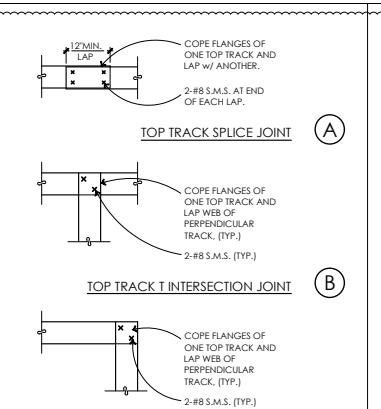


MAX HDR. SPAN	HDR.	HEADER TO TRACK CONN.	TRACK TO JAMB CONN.
6'-0"	2-600S137-33	3-#10 SMS	6-#10 SMS
8'-0"	2-600S137-54	3-#10 SMS	6-#10 SMS
10'-0"	2-600S200-54	4-#10 SMS	8-#10 SMS

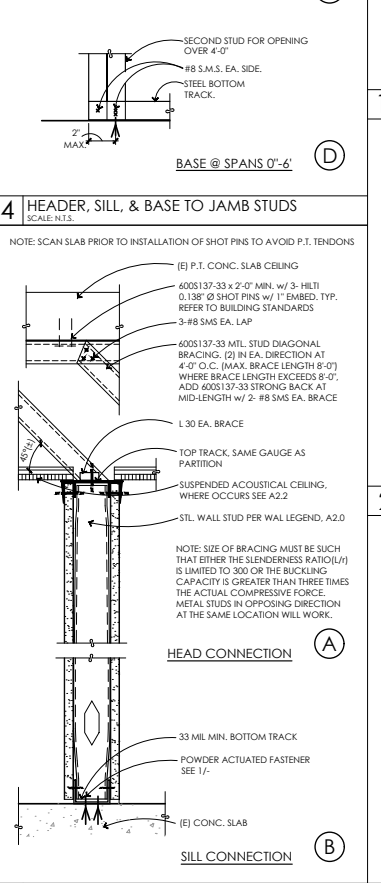
HEADER (A)



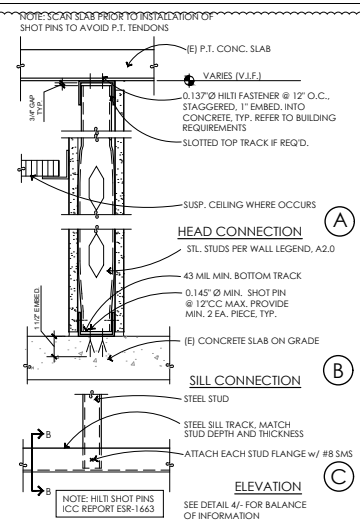
7 METAL STUD FRAMING AT WALL OPENINGS
SCALE: 1/4"=1'-0"



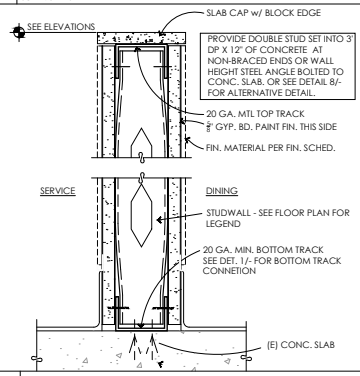
5 CEILING HEIGHT WALL
SCALE: 1/4"=1'-0"



3 WALL BACKING DETAIL
SCALE: 1/4"=1'-0"



1 FULL HEIGHT WALL (NON BEARING)
SCALE: 3/8"=1'-0"

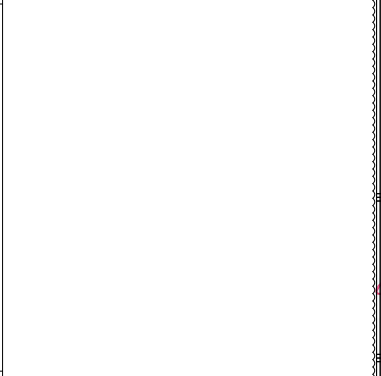


2 PARTIAL HEIGHT WALL w/ CAP
SCALE: 3/8"=1'-0"

- LIGHT GAUGE METAL FRAMING**
- ALL PRODUCTS TO BE MANUFACTURED BY THE CURRENT MEMBERS OF THE STEEL STUD MANUFACTURERS ASSOCIATION, PER ICC ESR REPORT NO. 3064P, OR APPROVED EQUAL.
 - ALL GALVANIZED STUDS AND JOISTS SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE MIN. REQUIREMENTS OF AISI 510-14.
 - ALL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE W/ THE AMERICAN IRON AND STEEL INSTITUTE (AISI) NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AISI 510-14 EDITION.
 - PROVIDE ALL ACCESSORIES INCLUDING, BUT NOT LIMITED TO, TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ACCESSORIES REQ'D. FOR A COMPLETE AND PROPER INSTALLATION, AND AS RECOMMENDED BY THE MANUFACTURER FOR THE STEEL MEMBERS USED.
 - ALL FRAMING COMPONENTS SHALL BE CUT SQUARELY OR ON AN ANGLE (SUCH AS BRACING) TO SQUARELY FIT AGAINST ABUTTING MEMBERS. MEMBERS SHALL BE HELD FIRMLY IN POSITION UNTIL PROPERLY FASTENED.
 - FASTENING OF COMPONENTS SHALL BE W/ SELF-DRILLING SCREWS OR WELDING. SCREWS OR WELDS SHALL BE OF SUFFICIENT SIZE TO INSURE THE STRENGTH OF THE CONNECTION. ALL WELDS OF GALVANIZED STEEL SHALL BE TOUCHED UP W/ ZINC-RICH PAINT. ALL WELDS OF CARBON SHEET STEEL SHALL BE TOUCHED UP W/ PRIME. WELDING OF COMPONENTS SHALL NOT BE PERMITTED. SCREWS TO BE IN ACCORDANCE W/ ICC ESR REPORT NO. 3064P.
 - RUNNER TRACKS SHALL BE THE SAME GAGE AS STUDS SUPPORTED, UNLESS OTHERWISE NOTED. TRACKS SHALL BE FASTENED TO STRUCTURE AT 24"CC MAX., UNLESS NOTED OTHERWISE.
 - PROVIDE BLOCKING OF WALL STUDS AT 4'-0"CC MAX. PER DETAIL 44/51.2 WHERE SHEATHING IS NOT PRESENT ON BOTH SIDES OF STUDS.
 - METAL STUDS SHALL BE FABRICATED FROM SHEET STEEL, CONFORMING TO ASTM A1003 AND ASTM A653 IN ACCORDANCE W/ ICC ESR REPORT NO. 3064P.
 - MIN. STUD SIZES (33 KSI. UNO) FOR NON-BEARING WALLS SHALL BE:

UNBRACED HEIGHT	STUD
13'	342S125-18 @ 16"cc
12'	342S125-33 @ 16"cc
20'	400S125-33 @ 16"cc
	600S125-33 @ 16"cc
 - 54 MIL AND HEAVIER STUDS AND TRACKS SHALL BE 50 KSI.

1 FULL HEIGHT WALL (NON BEARING)
SCALE: 3/8"=1'-0"



2 PARTIAL HEIGHT WALL w/ CAP
SCALE: 3/8"=1'-0"



320 Sycamore Valley Road West
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Sheet Title:

DETAILS

Tenant Improvements for:
VITALITY BOWLS
425 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02139



Revisions:

No.	Description	By	Date
1	FRAMING UPDATES	SV	7-9-21
2	EQUIPMENT CHANGES	SV	10-13-21

Date: 6-3-21
Designer: ETS
Drafter: KZ
Proj. Mgr.: KZ
Scale: NOTED
Proj. No.: 1416.99

Sheet No.:

A4.0



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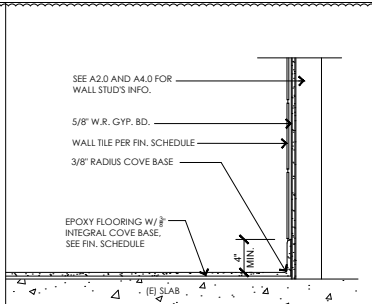


Revisions:			
No.	Description	By	Date
△	FRAMING UPDATES	SV	7-9-21
△	EQUIPMENT CHANGES	SV	10-19-21

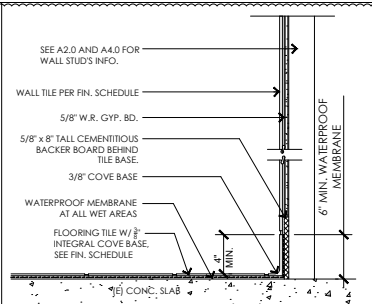
Date:	6-3-21
Designer:	ETS
Drafter:	KZ
Proj. Mgr.:	KZ
Scale:	NOTED
Proj. No.:	1416.99

Sheet No.:

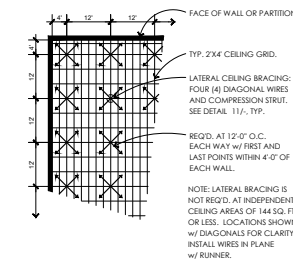
A4.1



10 COVE WALL BASE @ PANINI STATION
SCALE: 1-1/2"=1'-0"



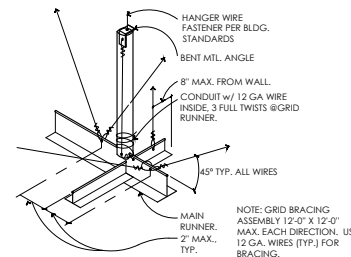
7 WALL BASE @ RESTROOM
SCALE: 1-1/2"=1'-0"



NOTE: ALL FASTENERS INTO (E) ROOF STRUCTURE SHALL MATCH BLDG. STANDARDS.

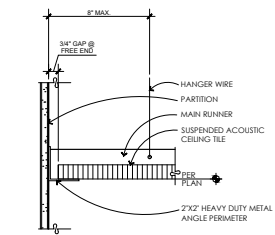
4 SUSPENDED CLG BRACING & STRUT LAYOUT
SCALE: 1/16"=1'-0"

DIA.	HEIGHT IN FEET RIGID CONDUIT	THIN WALL CONDUIT HEIGHT IN FEET
1/2"	4.36'	3.92'
3/4"	5.83'	5.12'
1"	7.50'	6.53'
1-1/4"	9.17'	8.52'
1-1/2"	10.8'	9.90'



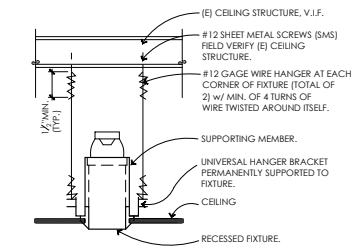
NOTE: ALL FASTENERS INTO (E) CONCRETE CEILING STRUCTURE SHALL MATCH BLDG. STANDARDS.

5 STANDARD COMPRESSION STRUT
SCALE: 3"=1'-0"

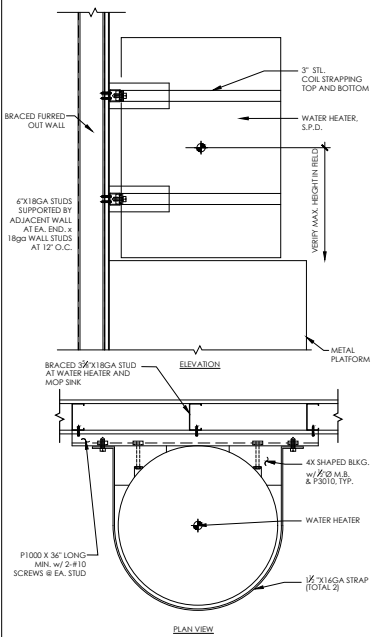
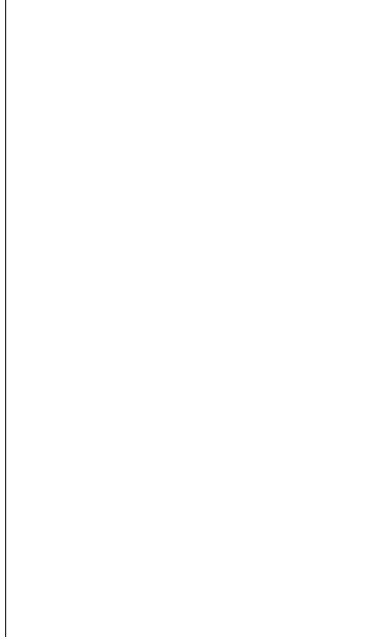


NOTE: ALL FASTENERS INTO (E) ROOF STRUCTURE SHALL MATCH BLDG. STANDARDS.

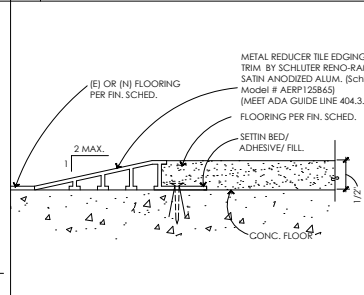
1 SUSPENDED CEILING EDGE SUPPORT DETAIL
SCALE: N.T.S.



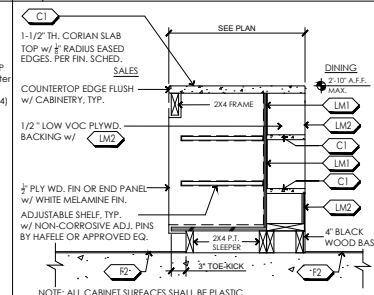
2 RECESSED LIGHT FIX. MOUNTING DETAIL
SCALE: N.T.S.



8 WATER HEATER PLATFORM
SCALE: 1-1/2"=1'-0"

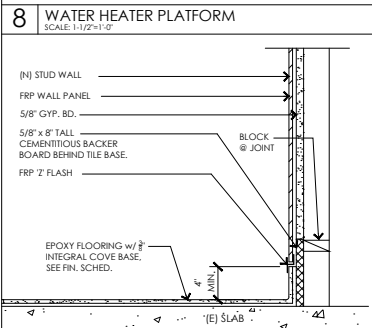


6 FLOOR TRANSITION - FLOOR TILE & CONCRETE
SCALE: FULL SCALE

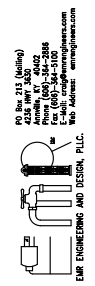


NOTE: ALL CABINET SURFACES SHALL BE PLASTIC LAM. OR MELAMINE EXCEPT TOP MATERIAL.

3 CABINET CROSS SECTION
SCALE: 1-1/2"=1'-0"



9 WALL BASE @ KITCHEN
SCALE: 1-1/2"=1'-0"



VITALITY BOWLS
 425 MASSACHUSETTS AVE.,
 CAMBRIDGE, MA 02139

REVISIONS DATES:



ISSUE DATE: 05/20/21
 PROJECT #: 234B.121902
 DRAWN BY: LD
 CHECKED BY: AK

HVAC PLAN,
 NOTES &
 LEGEND

M-1

FAN SCHEDULE		
DESIGNATION	KEF-1	BEF-1
STATUS	NEW	NEW
QUANTITY	1	1
MANUFACTURER	GREENHECK	GREENHECK
MODEL	SP-A250	SP-B20L
CFM	250 @ 0.25" SP	80 @ 0.1" SP
WATTS	67	24.5
AMPS	0.60	0.50
OUTLET	GRS 10"	-
NORMAL TONS	-	-
ACCESSORIES	BS, BDD	BDD, LITE KIT
FILTER	F-250 SS	-
WEIGHT (LBS)	24	9
VOLTAGE	115/1/60	115/1/60

WATER SOURCE HEAT PUMP SCHEDULE	
DESIGNATION	WSHP-1-2
STATUS	EXISTING BY LANDLORD
QUANTITY	2
MANUFACTURER	CLIMATEMASTER
MODEL	TT038
NORMAL TONS	3.0
COND WATER GPM	-
TOTAL BTU/h's	38,000
CFM	1,200
OUTDOOR AIR	150
EER	17.8
HEATING BTU/h's	37,200
COP	5.4
FAN HP	0.5
VOLTAGE	480/3/60
MCA	10.3
MOCP	15
RLA/FLA	8.9
WEIGHT	393
ACCESSORIES	REFER TO DETAIL
*EWT 76 DEG	

OCCUPANCY CALCULATIONS PER IMC TABLE 403.3.1.1			
DINING ROOM	262 SQ. FT.	@ 70 PEOPLE/ 1000 SQ FT =	18 PEOPLE
BUSINESS	81 SQ. FT.	@ 5 PEOPLE/ 1000 SQ FT =	1 PERSON
TOTAL			19 PEOPLE

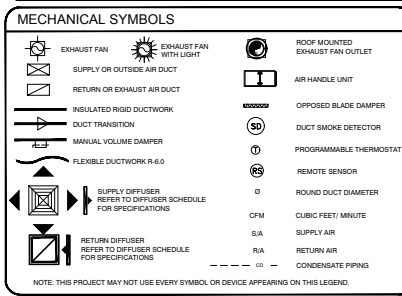
VENTILATION REQUIREMENTS PER IMC TABLE 403.3.1.1			
DINING ROOM	18 PEOPLE X 7.5 CFM/PP =	135 CFM	
BUSINESS	262 SQ. FT. X 0.18 CFM/SQ. FT. =	47 CFM	
	1 PERSON X 5 CFM/PP =	5 CFM	
	81 SQ. FT. X 0.06 CFM/SQ. FT. =	5 CFM	
Q/A REQUIRED		192 CFM	
WSHP #1 (BY LANDLORD)		150 CFM	
WSHP #2 (BY LANDLORD)		150 CFM	
Q/A PROVIDED		300 CFM	
EXHAUST REQUIRED			
BACK KITCHEN	328 SQ. FT. X 0.7 CFM/SQ. FT. =	230 CFM	
KEF-1		250 CFM	
AIR BALANCE			
OUTDOOR AIR		300 CFM	
KEF-1		250 CFM	
RELIEF VENT		50 CFM	

SCOPE OF WORK

USE EXISTING (2) 3 TONS WATER SOURCE HEAT PUMP UNIT AND PROVIDE ALL NEW DUCTWORK AND NECESSARY ACCESSORIES FOR COMPLETE HVAC SYSTEMS. PROVIDE EXHAUST FANS FOR BATHROOM AND KITCHEN AREA.

COORDINATE WITH GC ANY ADDITIONAL REFRIGERATION WORK REQUIRED AND WITH GC AND PLUMBING CONTRACTOR PROVIDING CONDENSATE LINES FOR MECHANICAL EQUIPMENT.

DIFFUSER SCHEDULE*				
MAKE	TITUS	TITUS	TITUS	TITUS
MODEL	TMS-AA	TMS-AA	309FL	295L
DESIGNATION	A	B	C	R
LOCATION	LAY IN CEILING	HARD CEILING	DUCT MOUNTED	ANY
CFM	UP TO 600	UP TO 600	UP TO 600	UP TO 3000
FACE SIZE	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN
NECK SIZE	TO MATCH DUCT	TO MATCH DUCT	TO MATCH DUCT	AS SHOWN
FRAME TYPE	LAY IN	FLANGED	LAY IN	LAY IN
FINISH	FIELD PAINTED	FIELD PAINTED	FIELD PAINTED	FIELD PAINTED
NOISE CRITERIA	<-30	<-30	<-30	<-30
ACCESSORIES	VOLUME DAMPER	OB DAMPER	VOLUME DAMPER	



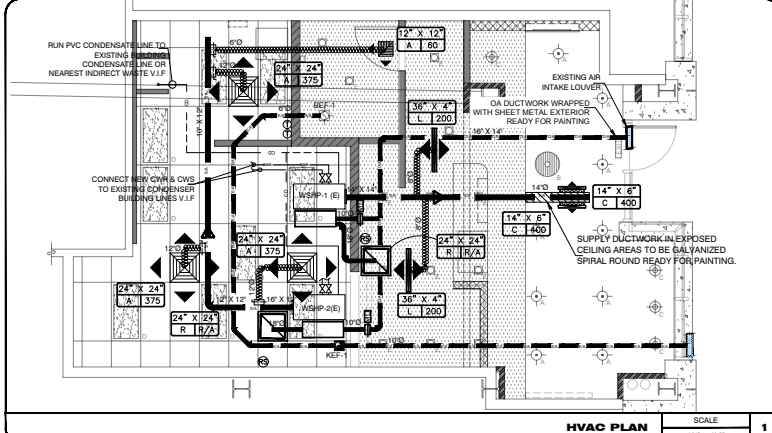
EXISTING CONTIDIONS NOTES

STOP AND READ

THE CONTRACTOR AND SUB CONTRACTORS SHALL NOT INITIATE ANY WORK UNTIL EXISTING FIELD CONDITIONS ARE PROPERLY VERIFIED. THIS SHALL HOLD TRUE FOR FIRST GENERATION AND 2ND GENERATION SPACES. WHEN DEMOLITION IS REQUIRED, THAT WILL BE PERMITTED TO EXPOSE CONDITIONS. THESE VERIFICATIONS SHALL INCLUDE BUT NOT LIMITED TO: DIMENSIONS BOTH HORIZONTALLY AND VERTICALLY, ELECTRICAL SERVICE PANELS LOCATION AND VOLTAGE, LOCATION OF ROOF MOUNTED HVAC EQUIPMENT, CONFIRM THAT INTERIOR HVAC HUNG UNITS HAVE PROPER SUPPORT CONNECTIONS FOR EXISTING STRUCTURE, FIRE SPRINKLER MAIN RUNS, TOILET ROOM DIMENSIONS, DOOR SWINGS FOR DOORS TO REHAB AND ETC. IF NOT VERIFIED AND DISCOVERED AT A LATER TIME, THE CONTRACTOR SHALL REIMBURSE THE ARCHITECT FOR THE REDESIGN FEE. THIS DOES NOT INCLUDE HODD WORK I.E. PATCH OF SANITARY LINES, ACTUAL CONDITIONS OF EXISTING HVAC EQUIPMENT, STRUCTURAL COLUMNS, BEARING WALLS OR CONDITIONS OF GREASE INTERCEPTORS AND ETC.

- MECHANICAL PLAN NOTES**
- PROVIDE (2) NEW 3 TON SPLIT HEAT PUMP UNIT. PROVIDE NEW DUCT SYSTEM AS SHOWN. PROVIDE FLEXIBLE CONNECTORS ON SUPPLY AND RETURN AIR DUCT CONNECTIONS. INSTALL FIRE DAMPERS IN ANY FIRE WALLS AND BETWEEN FLOORS. TRANSITION TO DUCT SIZES SHOWN. PROVIDE DUCTWORK AND AIR DISTRIBUTION DEVICES AS INDICATED ON THE PLAN. EXISTING DUCTWORK MAY BE REUSED WHERE POSSIBLE. REFER TO A/C UNIT SCHEDULE FOR ADDITIONAL REQUIREMENTS.
 - FOR SYSTEM OVER 2.000 CFM PROVIDE 120V PROVIDE DUCT MOUNTED AIR SMOKE DETECTORS AND THAT MEET THE REQUIREMENTS OF U.L. 208A, INTERLOCKED TO SHUTDOWN A/C UNIT UPON DETECTION OF SMOKE. IF NECESSARY PROVIDE SMOKE DETECTOR WITH AN ANNUNCIATOR, ALARM AND POWER L.E.D.'S FOR VISIBLE AND AUDIBLE ALARM SIGNAL, AND VISIBLE TROUBLE SIGNAL. MOUNT ANNUNCIATOR ON ROOM SIDE OF CEILING.
 - ALL DUCTS WILL BE FIBERBOARD OR MINIM 16 GAUGE SHEET METAL WITH EXTERNAL DUCT WRAP INSULATION. ALL DUCTS TO BE MANUFACTURED AND INSTALLED ACCORDING TO ASHRAE AND SIMONA METAL DUCT CONSTRUCTION STANDARD, LATEST EDITION. ALL MATERIALS WILL CONFORM TO NFPA 90A.
 - THERMOSTATS SHALL BE 7 DAY PROGRAMMABLE TYPE. MOUNT THERMOSTAT 48" A.F.F. COORDINATE LOCATION OF THERMOSTAT.
 - ALL AIR DUCTS WITH INSULATION SHALL HAVE A MINIMUM OF THICKNESS OF 1.5" R-6 INSULATION ACCORDING TO I.E.C.C. - 2015.
 - ALL SEAMS, JOINTS, ETC WILL BE SEALED TO MAKE AIR DUCT TIGHT. PRESSURE SENSITIVE MATERIALS AND OTHERS APPROVED BY LATEST SMACNA SEALING MATERIALS WILL BE USED.
 - ALL EVAPORATOR UNITS SHALL HAVE A FLOAT SWITCH TO CONTROL OVERFLOW THAT WILL AUTOMATICALLY SHUT DOWN THE A/C SYSTEM. THE DEVICE SHALL BE ATTACHED TO THE SECONDARY DRAIN OUTLET ON THE UNIT.
 - ALL NEW A/C CONDENSATE DRAINS WILL BE PVC FULL DIAMETER OF OUTLET AND WILL TERMINATE IN THE NEAREST ROOF DRAIN OR INDIRECT WASTE.
 - ALL EQUIPMENT AND MATERIALS WILL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS AND ACCORDING TO THE BEST PRACTICE.
 - TESTING AND BALANCING SHALL BE DONE IN ACCORDANCE WITH IBAC 6.0, SECTION C08.2.2. BALANCING PROCEDURES SHALL BE IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL BALANCING BUREAU (N.E.B.B.), THE ASSOCIATED AIR BALANCE COUNCIL (A.A.B.C) NATIONAL STANDARDS OR EQUIVALENT PROCEDURES.
 - HANGER ATTACHMENTS TO THE STEEL STRUCTURE WILL BE RATED POWDER ACTUATED FASTENERS, TO CLAMPS, WELDED STUDS, CLAMP HANGERS, JOIST CLAMPS OR OTHER METHODS RECOMMENDED BY SIMONA'S METAL AND FLEXIBLE STANDARDS, CHAPTER 4, AND WILL HAVE A MINIMUM SAFETY MARGIN OF 4:1.
 - EXHAUST HOODS, DUCTS, CURBS, FANS AND CONTROLS TO BE SUPPLIED AND INSTALLED FOR EACH CONTRACTOR ACCORDING TO THE MANUFACTURERS INSTRUCTIONS, THE IBC, NEC AND NFPA 96.
 - ALL HVAC CONTROLS AND CONTROL WIRING SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
 - HVAC SYSTEM TO BE TIED INTO MALL ENERGY MANAGEMENT SYSTEM AT TENANTS COST.

- GENERAL NOTES**
- CONTRACTORS AND SUB-CONTRACTORS SHALL CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS. INFORMATION REGARDING THE COMPLETE WORK IS DISPERSED THROUGHOUT THE DOCUMENT SET AND CANNOT BE ACCURATELY DETERMINED WITHOUT REFERENCE TO THE COMPLETE DOCUMENT SET. PAY SPECIAL ATTENTION TO THE RESPONSIBILITY SCHEDULE. WORK DESIGNATED ON SCHEDULE SHALL BE CONSIDERED INCLUDED IN YOUR SCOPE OF WORK AND CONTRACT AMOUNT.
 - CONTRACTOR TO VERIFY THAT ALL EQUIPMENT SHOWN AS EXISTING MATCHES THE DESCRIPTIONS AND SPECIFICATIONS SHOWN ON DRAWINGS AND SCHEDULES. IF DIFFERENT NOTIFY ARCHITECT/ENGINEER BEFORE DIRMING, ORDERING, OR PROCEEDING WITH WORK.
 - DRAWINGS/DETAILS ARE TO BE CONSIDERED DIAGRAMMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL MINOR ITEMS. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK, AND CHECK/COORDINATE DRAWINGS OF ALL TRADES.
 - COORDINATE WITH THE WORK OF OTHERS SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. PROVIDE DUCT RISERS AND DRIPS AS REQUIRED FOR FIELD INSTALLATION AND TRADE COORDINATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.
 - DRAWINGS FOR HVAC WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. REFER TO MANUFACTURERS STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS. PROVIDE DUCTWORK, CONNECTIONS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY FOR A COMPLETE SYSTEM.
 - ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS AS APPROVED AND AMENDED BY THE GOVERNING CITY. PURCHASE ALL PERMITS ASSOCIATED WITH THE WORK. OBTAIN ALL INSPECTIONS REQUIRED BY CODE.
 - USE OF COMBUSTIBLE MATERIALS IS NOT ALLOWED IN THE RETURN AIR PLENUM. MATERIALS USED IN THE PLENUM SHALL HAVE FLAME SPREAD RATINGS NOT TO EXCEED 25, AND SMOKE DEVELOPMENT RATINGS NOT TO EXCEED 250 WHEN TESTED IN ACCORDANCE WITH ASTM E 84. ALL EXPOSED WIRING IN THE PLENUM SHALL BE PLENUM RATED.
 - VERIFY LOCATION OF PERMISSIBLE NEW STRUCTURAL ROOF PENETRATIONS AND ADAPT THE REQUIRED DUCTS ACCORDINGLY. THE OPENINGS MUST BE LOCATED USING A REBAR LOCATOR, TRYING TO LEAVE A TRANSVERSE BAR WITHIN 4" FROM THE OPENING. LOCATE OPENINGS AT MID-DISTANCE BETWEEN THE STEMS OF THE DOUBLE TEE AND LONGITUDINAL REINFORCEMENT SHALL NEVER BE CUT. CALL THE ARCHITECT'S OFFICE IN CASE OF UNEXPECTED DIFFICULTIES.
 - ALL A/C AND FRESH AIR ROUND EXPOSED DUCTS WILL BE SPIRAL GALVANIZED AND READY FOR PAINTING. ALL RECTANGULAR DUCTS SHALL BE GALVANIZED. ALL 50 SUPPLY GRILLS WILL BE DOUBLE DEFLECTION WITH VOLUME CONTROLS.
 - G.C. SHALL CONTRACT LANDLORD-APPROVED ROOFING CONTRACTOR TO FLASH AND SEAL ALL ROOF PENETRATIONS TO MAINTAIN ROOFING WARRANTY.
 - IF APPLICABLE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR KITCHEN VENTILATION SYSTEM INCLUDING TYPE 1 HOOD AND FOR THE WALK-IN COOLER & FREEZER.
 - REQUIRED INSURANCE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
 - CONSTRUCTION "AS BUILT" DRAWINGS AND DOCUMENTS SHALL BE PROVIDED TO THE OWNER WITHIN 30 DAYS AFTER THE DATE OF ACCEPTANCE.
 - OPERATION MANUALS AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OWNER.



HVAC PLAN SCALE 1/4" = 1'-0"

