

Landscape Architect
 STEPHEN STIMSON ASSOCIATES
 LANDSCAPE ARCHITECTS
 71 Gates Road
 Princeton, MA 01541
 (978) 464-5200

Civil Engineer
 NITSCH ENGINEERING
 370 Main St, Suite 850
 Worcester, MA 01608
 (508) 365-1030

Mechanical, Electrical, & Plumbing Engineer
 ARUP
 60 State St.
 Boston, MA 02109
 (617) 846-2987

CENTERBROOK
 Architects and Planners, LLP
 67 Main Street
 Post Office Box 955
 Centerbrook, Connecticut 06409-0955
 Telephone 860.767.0175
 Facsimile 360.767.8719

ISSUED:
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DRAWING NAME:
LANDSCAPE KEY PLAN

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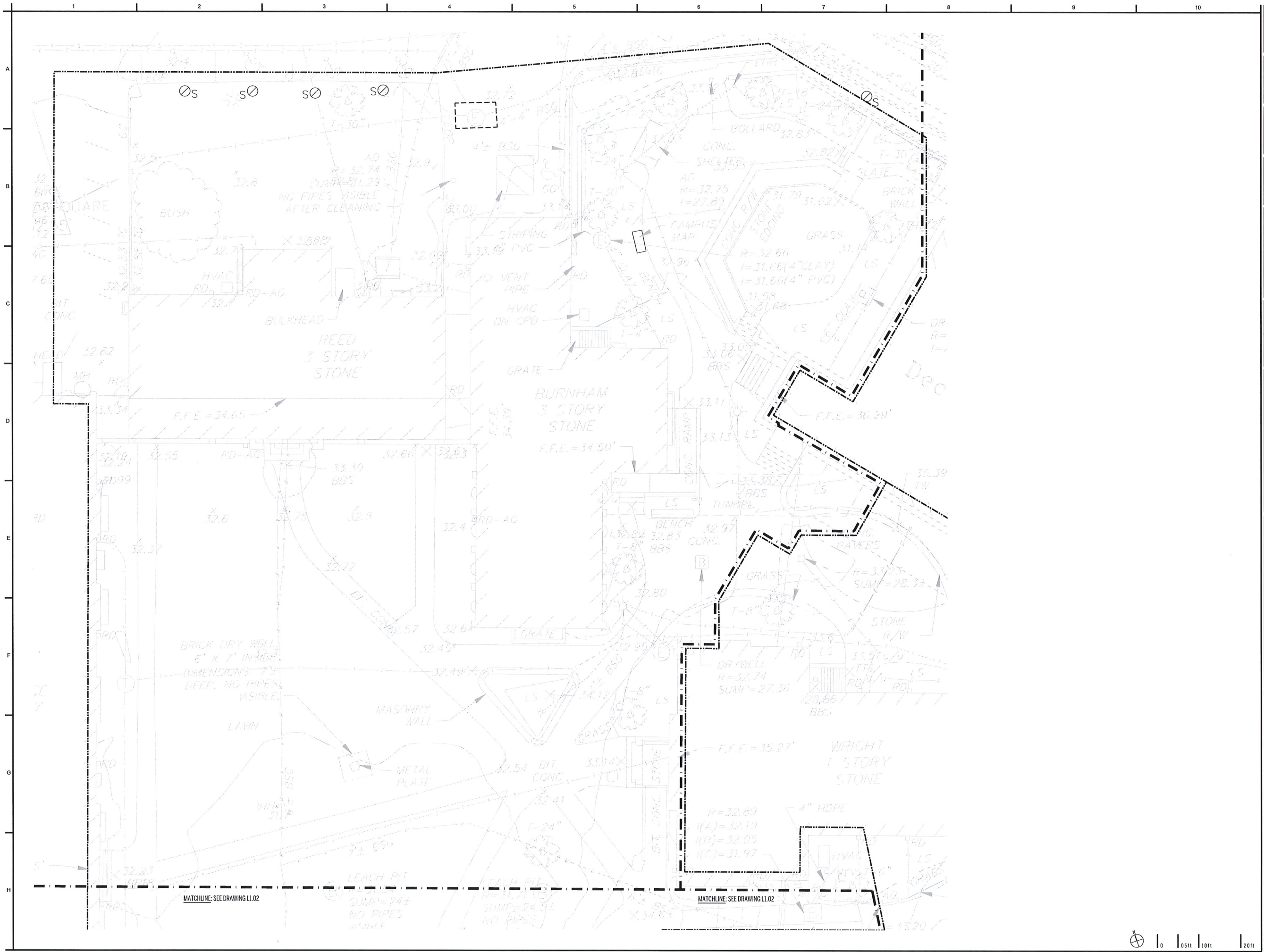
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 Author: 2022 Centerbrook





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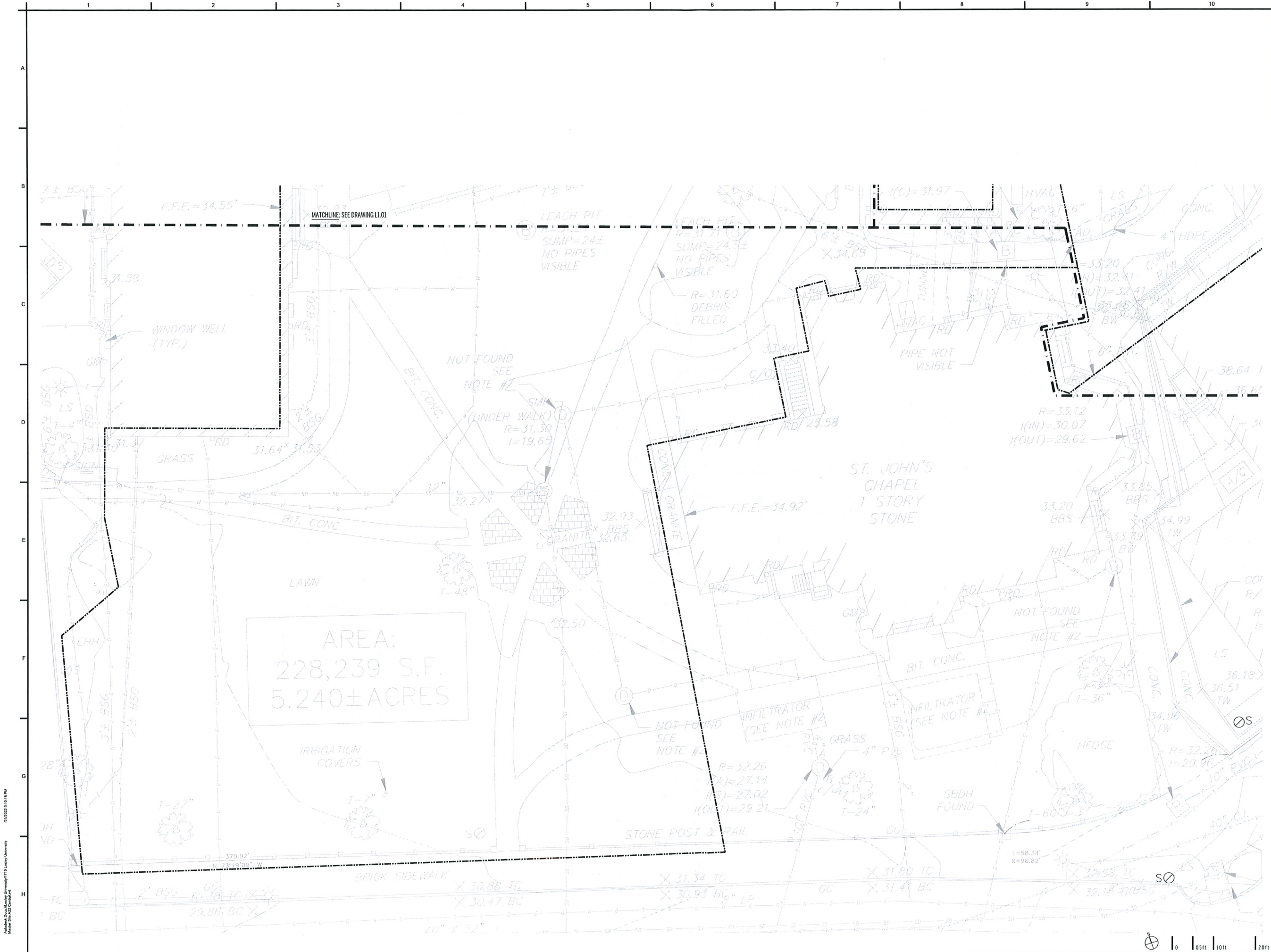
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 Map: 01/2023 Centerbrook





AREA:
228,239 S.F.
5.240± ACRES

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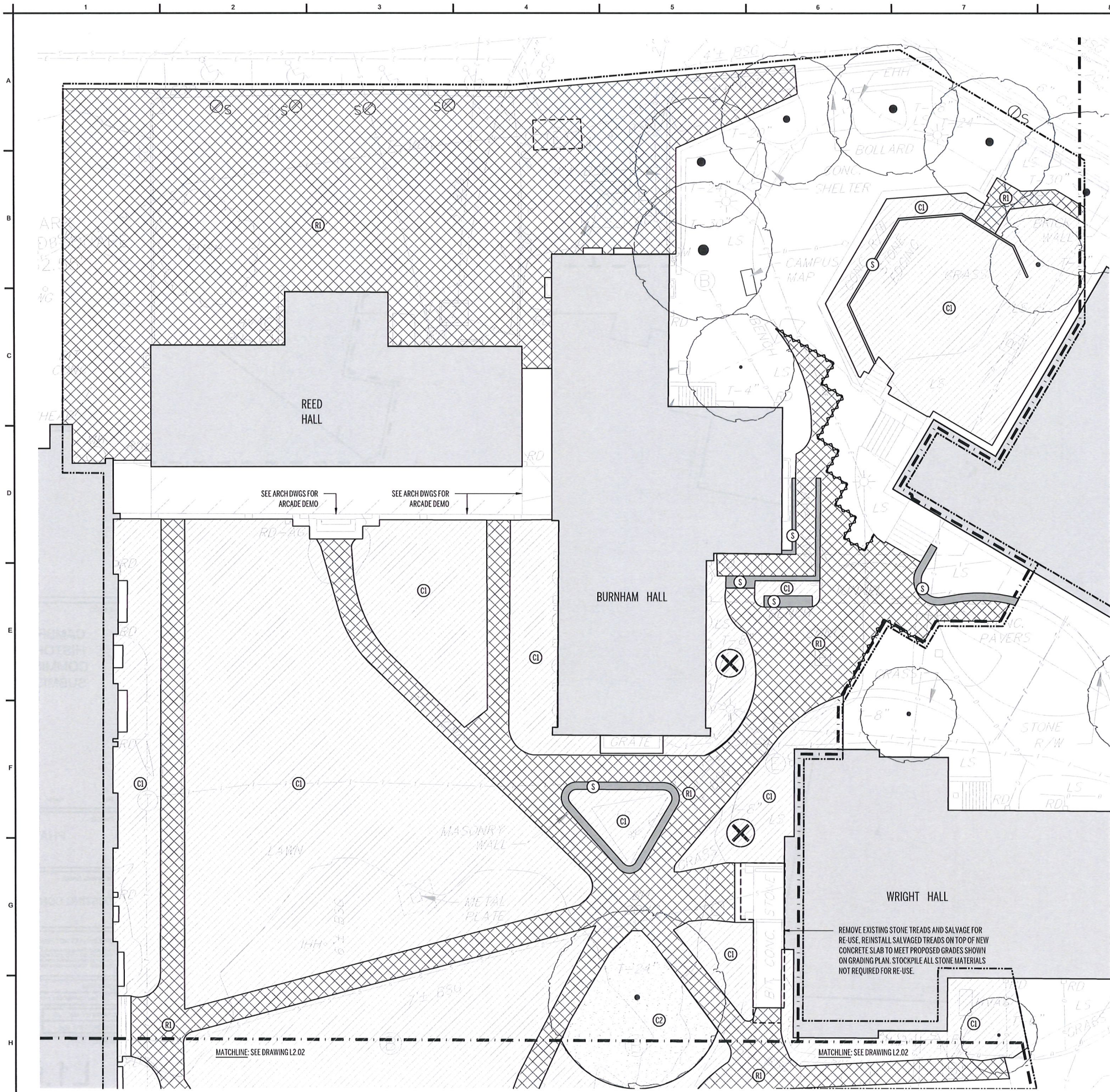
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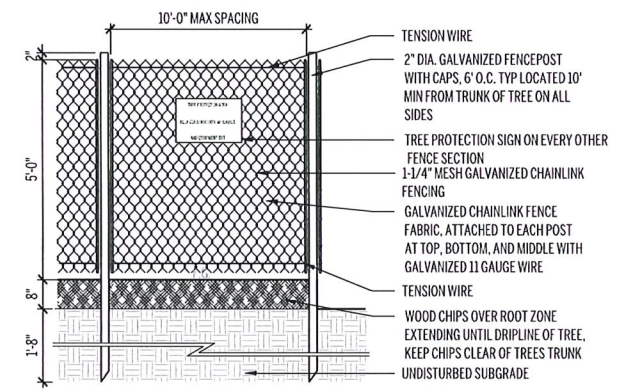


SITE PREPARATION LEGEND

- LOW APPROXIMATE LIMIT OF WORK
- TREE PROTECTION FENCE, SEE DETAIL 1/L2.01 ALL WORK INSIDE TREE PROTECTION FENCE TO BE SUPERVISED BY A LICENSED ARBORIST. HANDWORK ONLY. ANY EXCAVATION OR SOIL PREP IS TO BE DONE BY HAND USING HIGH PRESSURE AIR EXCAVATION TOOL, TYP.
- EXISTING BUILDINGS
- REMOVE AND DISPOSE OF EXISTING PAVING, CURBING, STAIRS, WALLS AND FURNISHINGS
- CLEAR AND GRUB, PROTECT EXISTING SOILS IN PLACE DURING CONSTRUCTION
- HAND CLEAR AND GRUB WITHIN DRIP LINE OF TREES. DO NOT STRIP TOPSOIL. ANY EXPOSED TREE ROOTS GREATER THAN 2" DIA. SHALL BE EXAMINED AND ADDRESSED BY THE PROJECT LANDSCAPE ARCHITECT
- SALVAGE AND STOCKPILE EXISTING STONE AND BRICK FOR REUSE ON SITE
- TREE TO BE REMOVED
- SAW-CUT EXISTING PAVEMENT AND PROTECT PAVEMENT EDGE

SITE PREPARATION NOTES

1. CONTACT "DIG SAFE" (811) TO LOCATE EXISTING UTILITIES PRIOR TO ANY EXCAVATION. PROTECT EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PROCESS, AND REPAIR ANY DAMAGE DONE TO THESE AT NO COST TO THE OWNER.
2. THE LIMIT OF WORK LINE WILL BE ESTABLISHED WITH SILT AND TREE PROTECTION FENCING. THIS MATERIAL SHALL BE USED TO PROTECT TREES, SHRUBS AND OTHER PLANTINGS AS INDICATED ON PLAN. FENCING IS TO BE KEPT IN GOOD REPAIR THROUGHOUT THE CONSTRUCTION PROCESS.
3. UTILITIES NOTED ON DRAWING ARE ILLUSTRATIVE AND REPRESENT APPROXIMATE LOCATIONS OF TRENCHING. AS BUILT DRAWINGS WILL BE REQUIRED, SUPPLIED BY GENERAL CONTRACTOR UPON COMPLETION OF EACH PHASE OF PROJECT AS IT OCCURS. REFER TO CIVIL DRAWINGS AND SPECS FOR UTILITY AND ADDITIONAL SITE REMOVAL.
4. STRIP TOPSOIL FROM CONSTRUCTION ACCESS AREAS. STOCKPILE OFFSITE FOR REUSE.
5. ALL STONE FROM SITE WALL REMOVALS TO BE SALVAGED AND REUSED ON SITE WHEN POSSIBLE. CONTRACTOR SHALL COORDINATE STORAGE AND REUSE OF STONE WITH OWNER AND LANDSCAPE ARCHITECT.
6. CONTRACTOR TO REVIEW ALL TREE REMOVALS WITH LANDSCAPE ARCHITECT IN FIELD PRIOR TO COMMENCING WORK.



1 TREE PROTECTION FENCE
1/2"-1'-0"

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SITE PREPARATION LEGEND

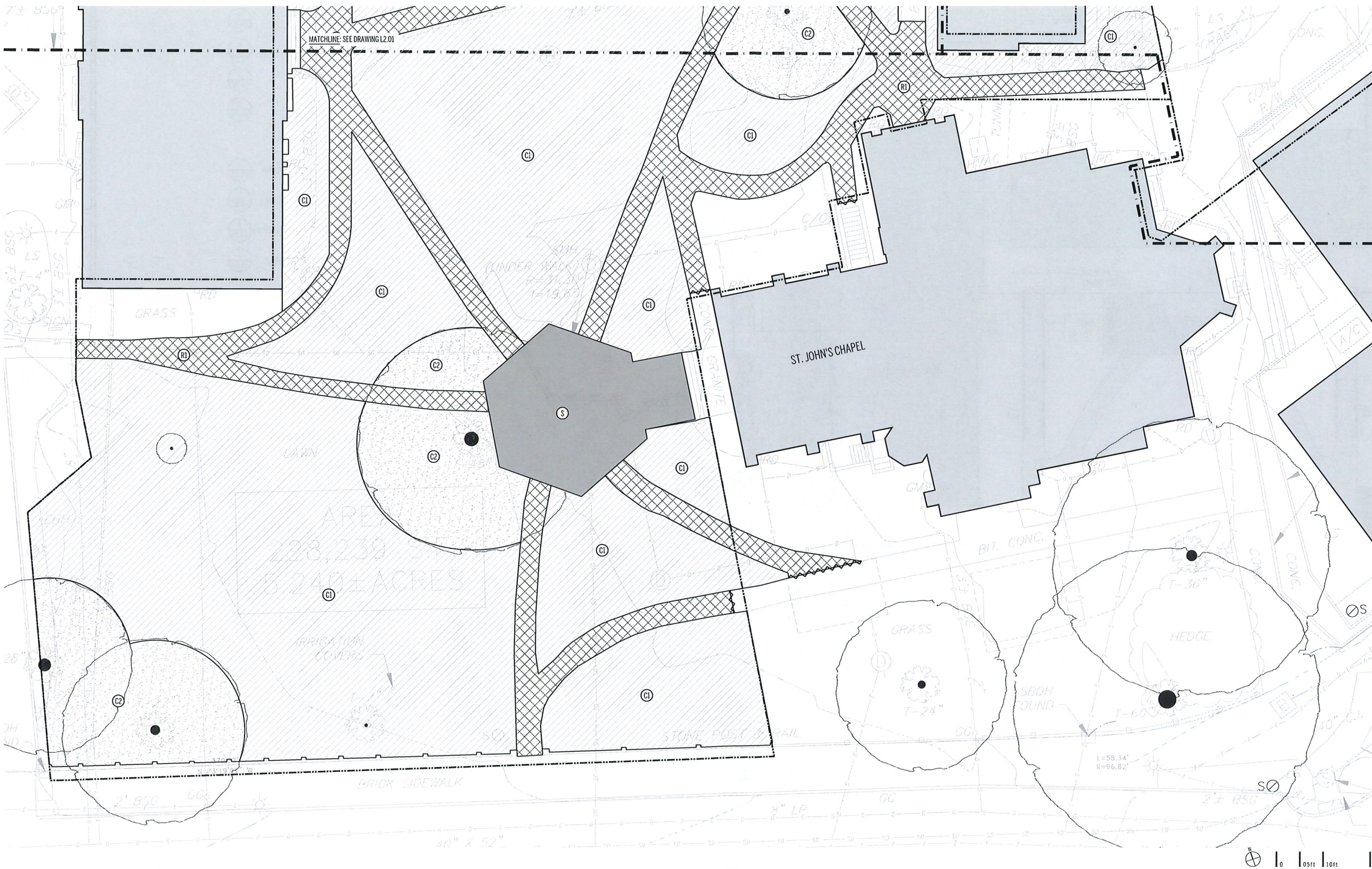
- LOW**
APPROXIMATE LIMIT OF WORK
- TP**
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- EXISTING BUILDINGS**

- (R1)**
REMOVE AND DISPOSE OF EXISTING PAVING, CURBING, STAIRS, WALLS AND FURNISHINGS
- (C1)**
CLEAR AND GRUB. PROTECT EXISTING SOILS IN PLACE DURING CONSTRUCTION
- (C2)**
HAND CLEAR AND GRUB WITHIN DRIP LINE OF TREES. DO NOT STRIP TOPSOIL. ANY EXPOSED TREE ROOTS GREATER THAN 2" DIA. SHALL BE EXAMINED AND ADDRESSED BY THE PROJECT LANDSCAPE ARCHITECT
- (S)**
SALVAGE AND STOCKPILE EXISTING STONE AND BRICK FOR REUSE ON SITE

- X**
TREE TO BE REMOVED
- SAW-CUT**
SAW-CUT EXISTING PAVEMENT AND PROTECT PAVEMENT EDGE

SITE PREPARATION NOTES

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 Number: 2022 Centerbrook

MATERIALS PLAN LEGEND - L3.02

--- LOW --- APPROXIMATE LIMIT OF WORK

(P3) CONCRETE PAVING

[Symbol] CONTROL JOINT, TYP

[Symbol] EXPANSION JOINT, TYP

(3) 18.00

(4) 18.00

(5) 18.00

(P4) UNIT PAVING - TYPE A

(B2) STONE BENCH IN UNIT PAVERS

(CHEEK WALL-J) GRANITE CHEEK WALL - RAMP AT ST. JOHN'S CHAPEL

(GPI) SITE SALVAGED GRANITE POST

(GPI) (10) RECLAIMED GRANITE POST

(6) 18.00

(9) 18.01

(9) 18.01

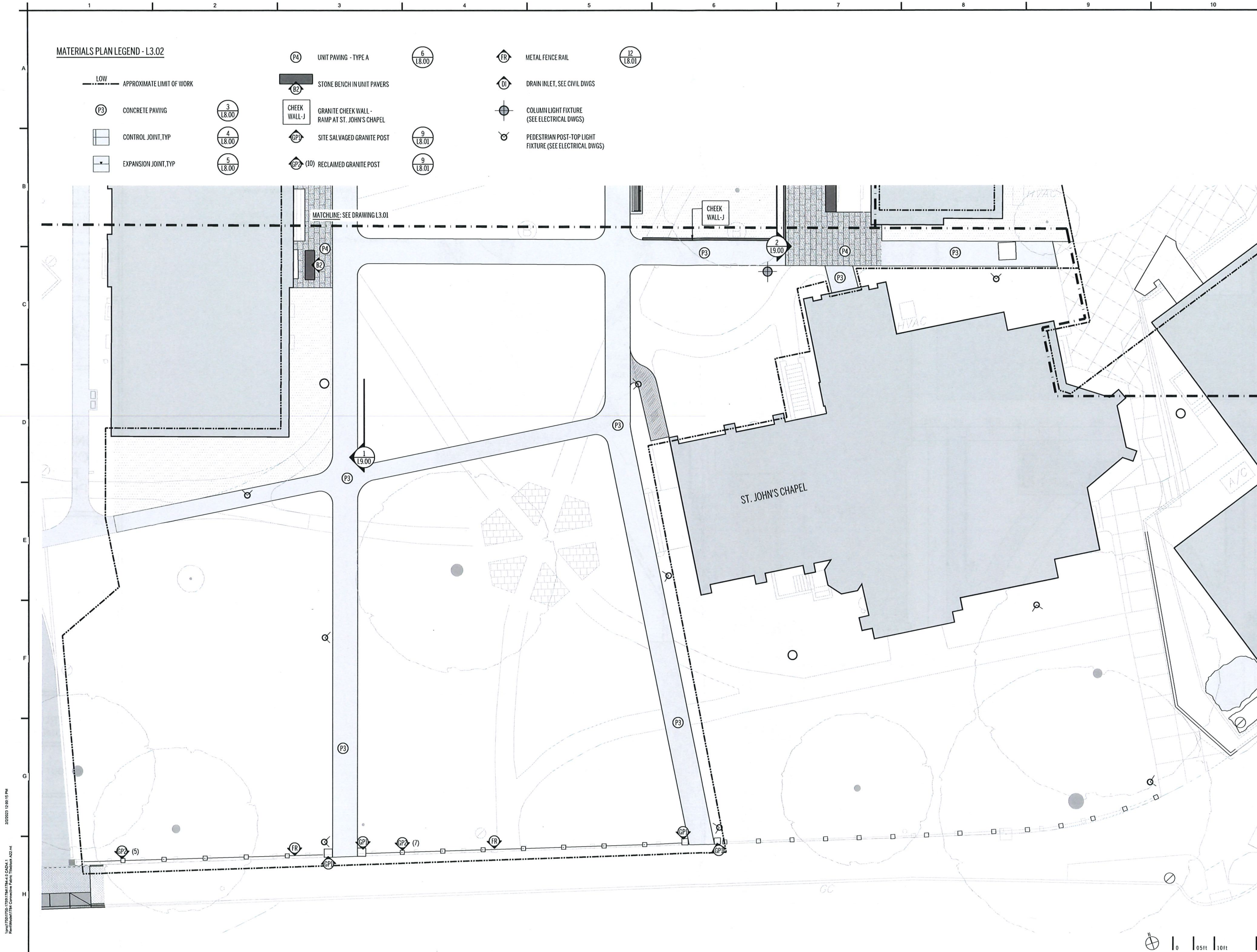
(FR) METAL FENCE RAIL

(DI) DRAIN INLET, SEE CIVIL DWGS

(Symbol) COLUMN LIGHT FIXTURE (SEE ELECTRICAL DWGS)

(Symbol) PEDESTRIAN POST-TOP LIGHT FIXTURE (SEE ELECTRICAL DWGS)

(12) 18.01



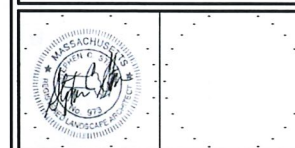
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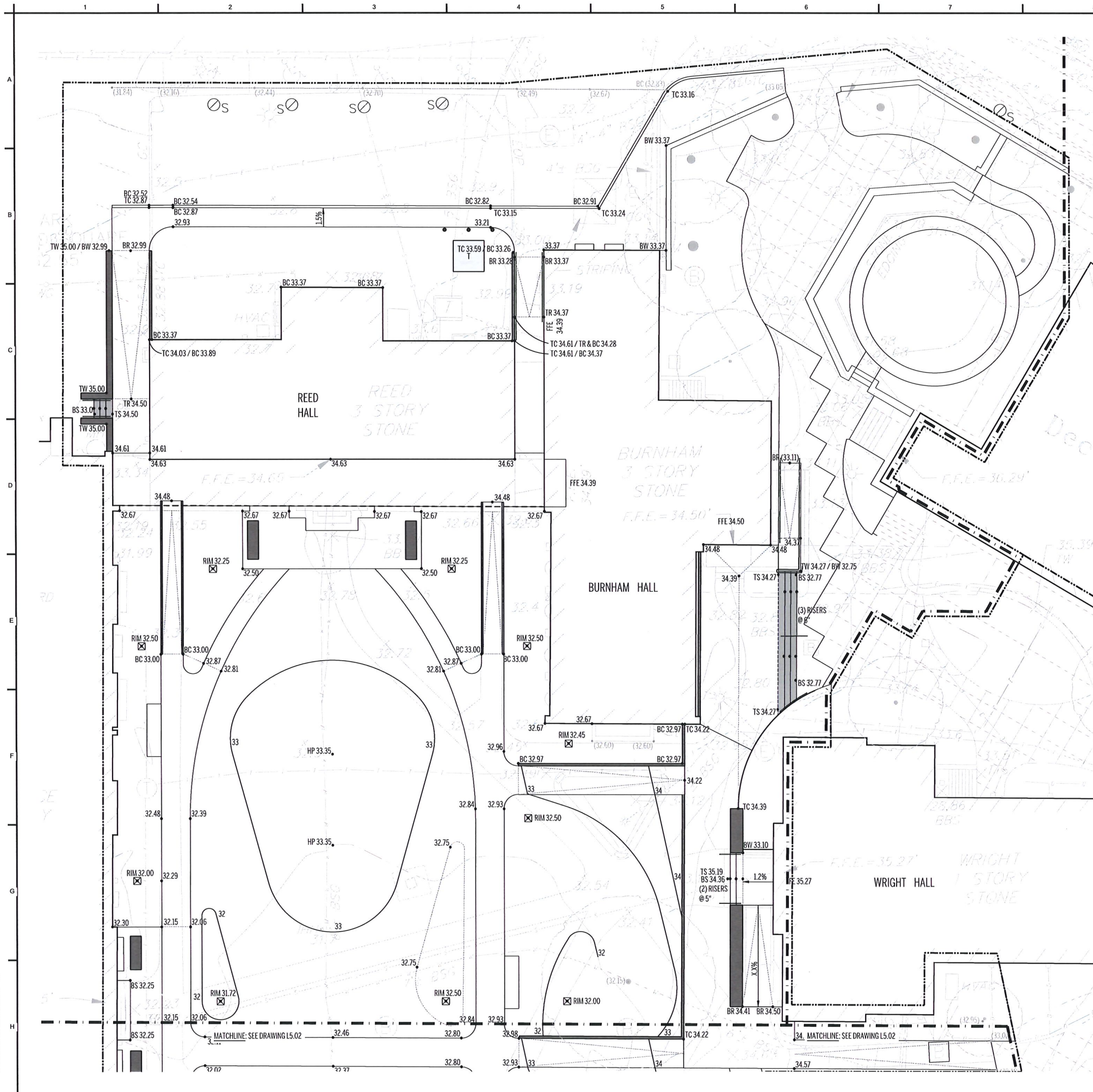
PHASE:
CONSTRUCTION DOCUMENTS

DRAWING NAME:
MATERIALS PLAN

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 CHECKED BY: MaL SCALE: 1"= 10'-0"

SHEET:
L3.02



GRADING PLAN LEGEND

- LOW --- APPROXIMATE LIMIT OF WORK
- FFE (557.92) FINISHED FLOOR ELEVATION
- (32.28) EXISTING SPOT ELEVATION, VERIFY IN FIELD
- 32.25 PROPOSED SPOT ELEVATION
- VIF VERIFY IN FIELD
- - - - EXISTING CONTOUR
- — — — PROPOSED CONTOUR
- G.B. GRADE BREAK
- 1.5% SLOPE AND DIRECTION
- TW • BW • TOP OF WALL / BOTTOM OF WALL
- TC • BC • TOP OF CURB / BOTTOM OF CURB
- TS • BS • TOP OF STAIRS / BOTTOM OF STAIRS
- — — — PROPOSED STEP
- HP HIGH POINT
- LP LOW POINT

GRADING NOTES

1. Install staked haybale siltation fence at edge of proposed grading as shown. Maintain haybale fence in good condition throughout project.
2. The locations of utilities shown on the plan are approximate. The contractor shall call Dig-Safe to verify the precise location of all utilities on-site before initiating demolition activities and protect existing utilities throughout construction. Any utilities damaged by construction activities will be repaired by the contractor at no cost to the owner.
3. Provide samples of materials proposed for use for the review of the Landscape Architect, including fill, topsoil, planting soil, and pavements. Suitable excavated materials removed to accommodate new construction may be used as fill material subject to the approval of the Landscape Architect. Soil test reports for topsoil shall be provided by the contractor through the University of Massachusetts soil testing laboratory.
4. Promptly notify the Landscape Architect of unexpected sub-surface conditions. Contractor to set grade stakes showing lines and elevations for review and approval by the Landscape Architect prior to rough grading.
5. Perform grading within contract Limits of Construction, including adjacent transition areas, to new elevations, levels, profiles, and contours indicated. Provide subgrade surfaces parallel to finished surface grades. Provide uniform levels and slopes between new elevations and existing grades. Grade surfaces to assure areas drain away from structures and to prevent ponding and pockets of surface drainage.
6. Topsoil to be installed shall be natural, friable, fertile soil characteristic of productive soil in the vicinity, reasonably free of stones, clay lumps, roots, and other foreign matter. Do not use muddy topsoil. Place during dry weather. Allow for 6" average depth of topsoil screened for lawn areas, and 12" depth at planting areas, except as otherwise indicated on the drawings.
7. Fine grade topsoil eliminating rough and low areas to ensure positive drainage. Maintain levels, profiles, and contours of subgrades.
8. Protect finish graded areas from traffic and erosion. Keep free of trash and debris. Repair and re-establish grades in settled, eroded, and damaged areas. Where completed areas are disturbed by construction operations or adverse weather, scarify, re-shape, and compact to required density.
9. Upon completion of earthwork operation, clean areas within contract limits, remove tools and equipment. Provide site clear, clean, free of debris, and suitable for further site work operations.

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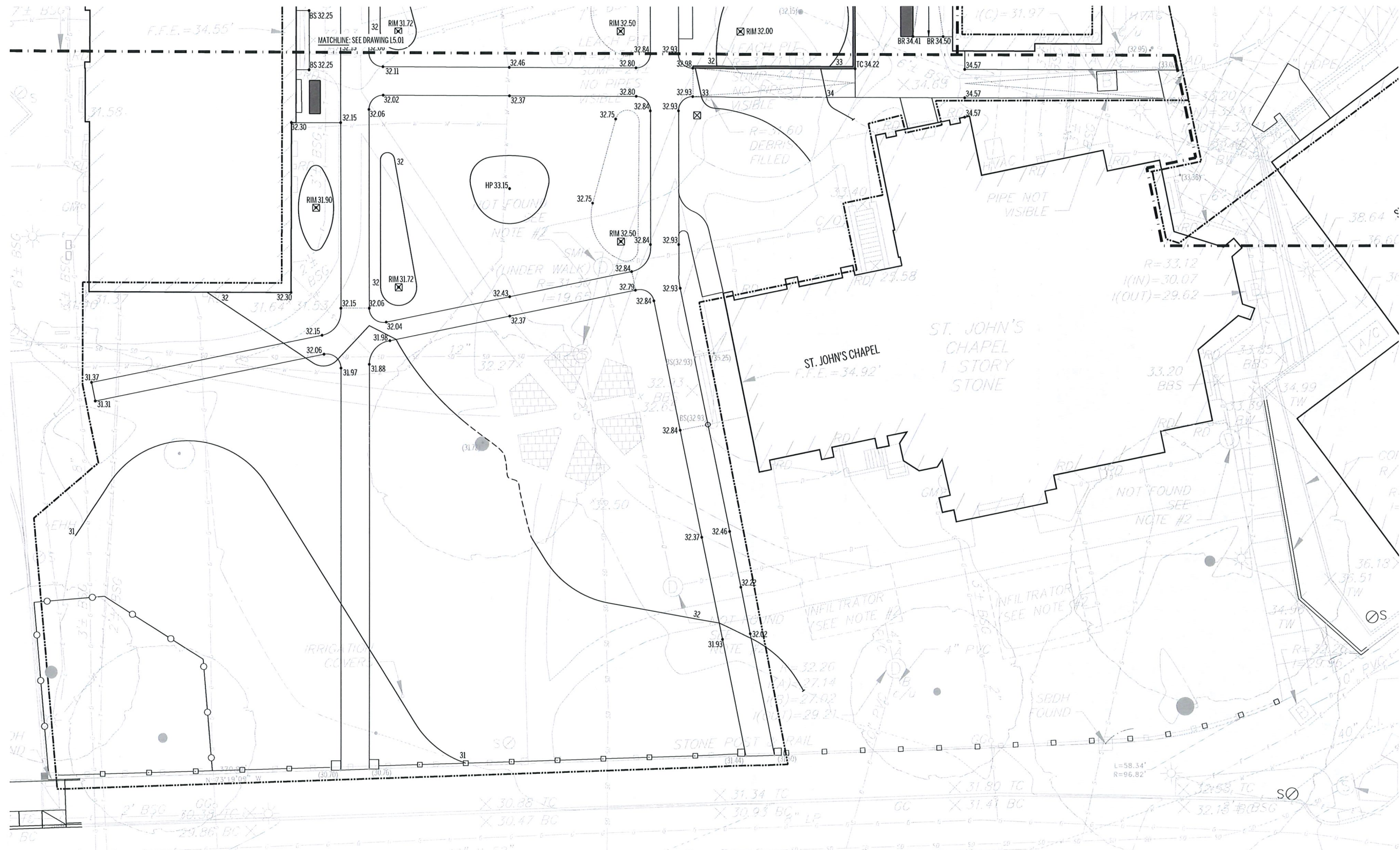
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GRADING PLAN LEGEND

	LOW	APPROXIMATE LIMIT OF WORK		EXISTING CONTOUR		TS	BS	TOP OF STAIRS / BOTTOM OF STAIRS
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	32.28	EXISTING SPOT ELEVATION, VERIFY IN FIELD		1.5%		LP		LOW POINT
	32.25	PROPOSED SPOT ELEVATION		TW		BW		TOP OF WALL / BOTTOM OF WALL
	VIF	VERIFY IN FIELD		TC		BC		TOP OF CURB / BOTTOM OF CURB



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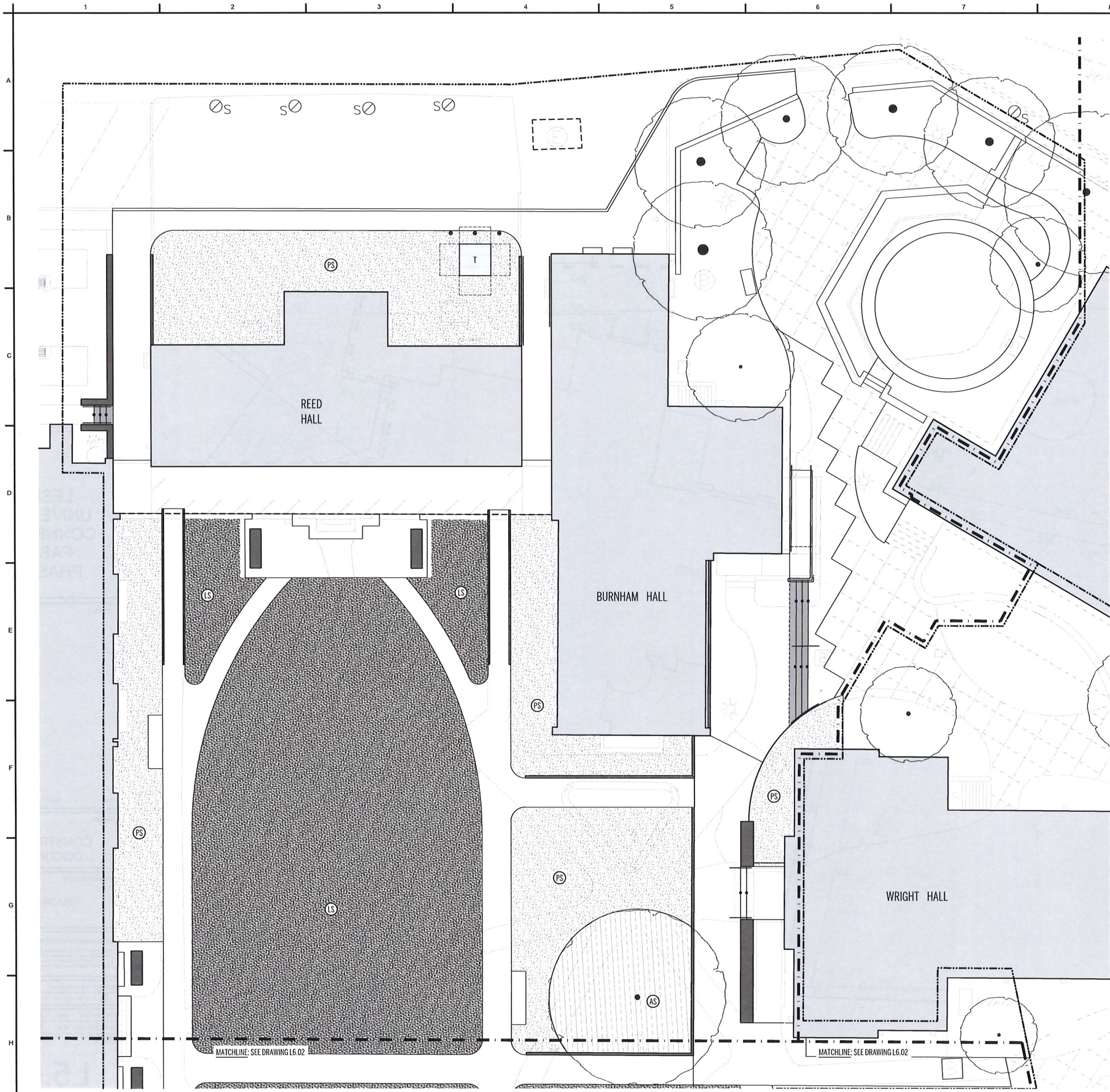
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SOILS LEGEND

- LOW APPROXIMATE LIMIT OF WORK
- LAWN SOIL - 6" DEPTH MIN. REFER TO SPECIFICATIONS FOR SOIL PREPARATION.
- PLANTING SOIL - 1' DEPTH, 8" HORT. SUBSOIL DEPTH
- AMEND EXISTING SOILS IN TREE PROTECTION AREA UNDER THE SUPERVISION OF LICENSED ARBORIST PER RECOMMENDATIONS OF SOIL TESTS

NOTES

1. INDIVIDUAL TREE AND SHRUBS ARE NOT SHOWN ON THIS PLAN. PROVIDE 1'-0" PLANTING SOIL AND HORTICULTURAL SUBSOIL TO BOTTOM OF ROOT BALL. TYPICAL REFERENCE PLANTING PLANS ON SHEETS L7.01-L7.02.
2. THE CONSTRUCTION PROCESS. CONTRACTOR TO TEST EXISTING SOIL FOR USE AS PLANTING SOIL AND HORTICULTURAL SUBSOIL TO GREATEST EXTENT POSSIBLE.

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SOILS LEGEND

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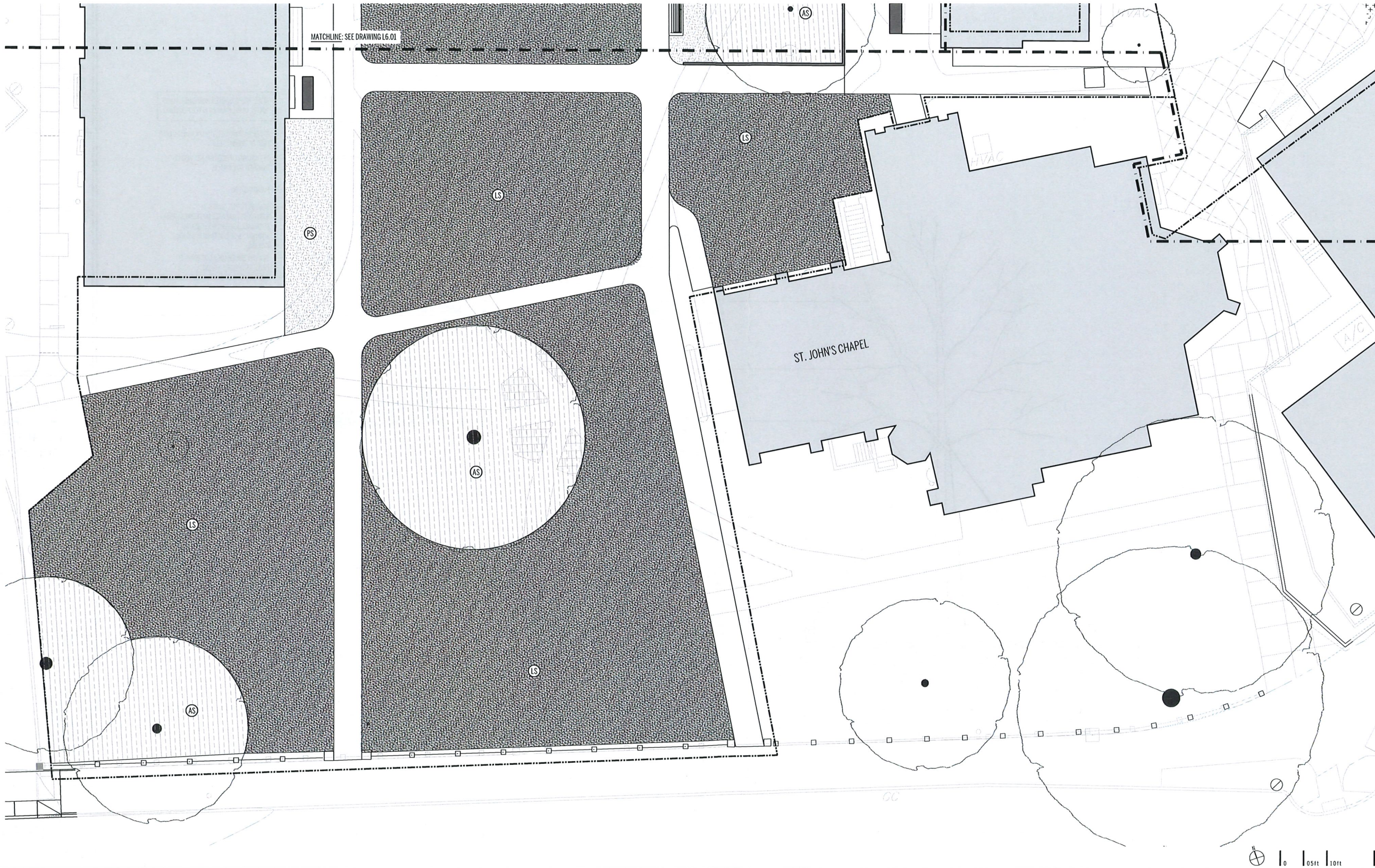
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 (617) 846-2987

CENTERBROOK
 Architects and Planners, LLP
 67 Main Street
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 Centerbrook, Connecticut 06409-0955
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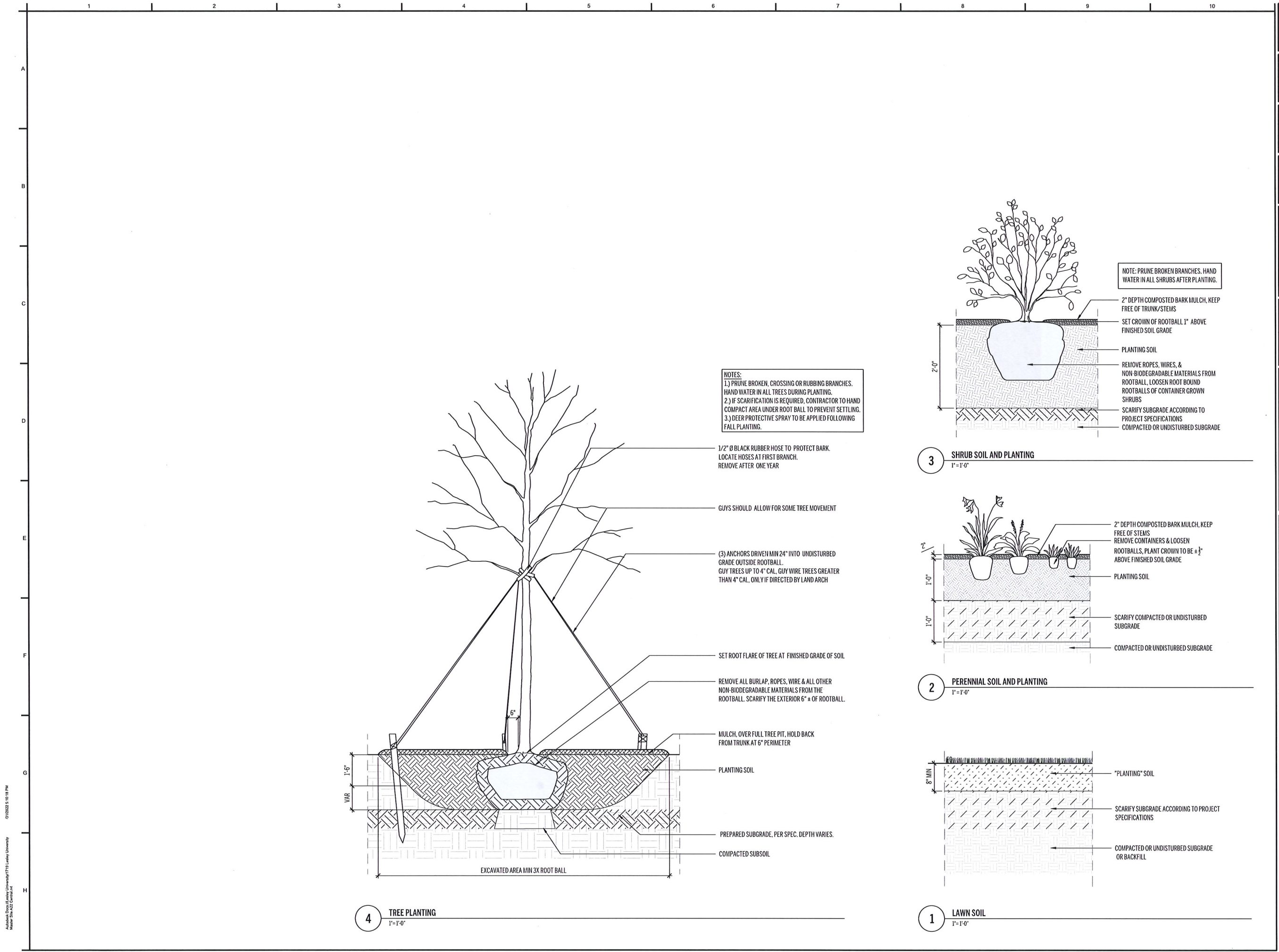
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SOILS PLAN

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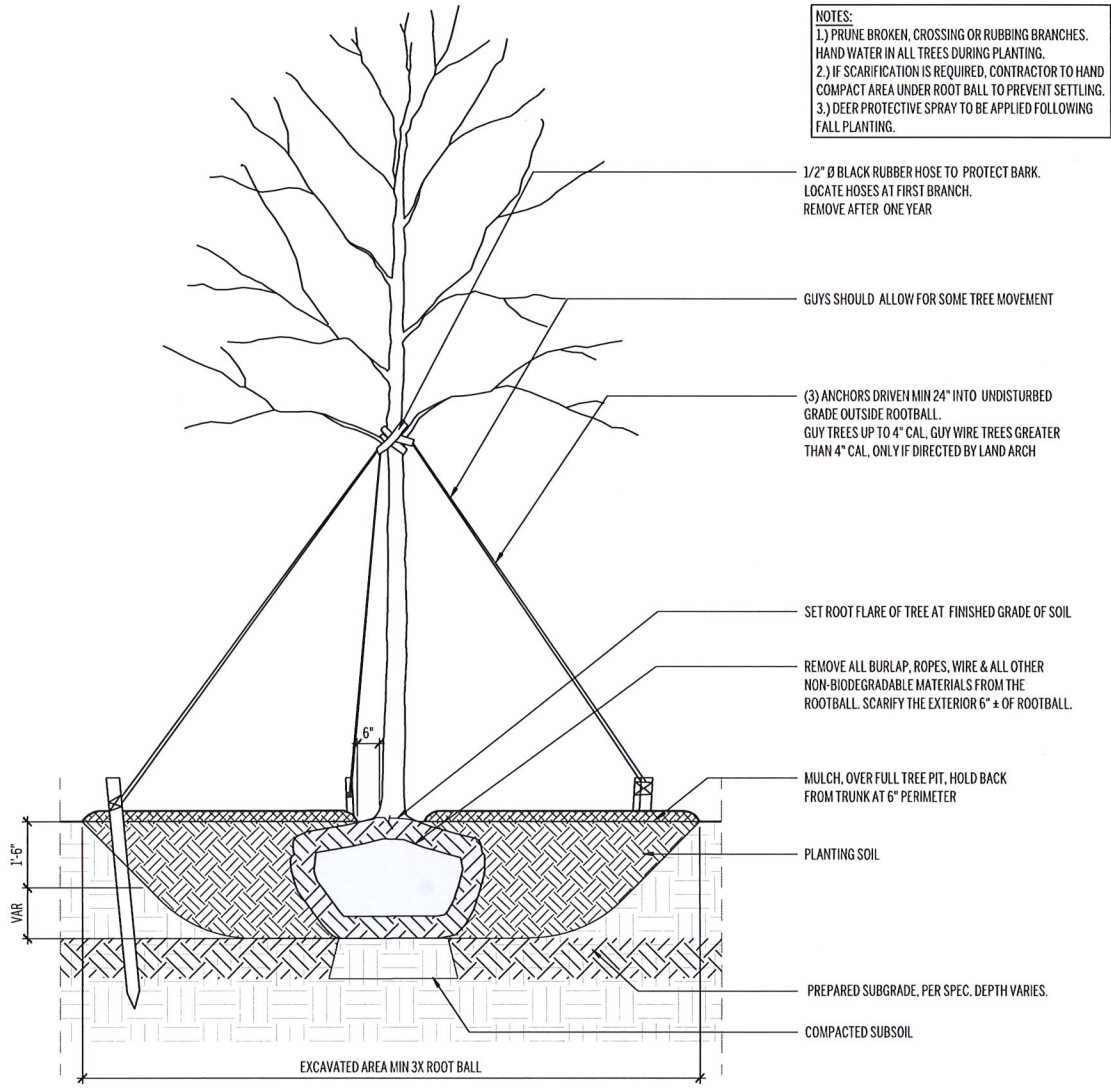
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 CHECKED BY: MaL SCALE: 1" = 10'-0"

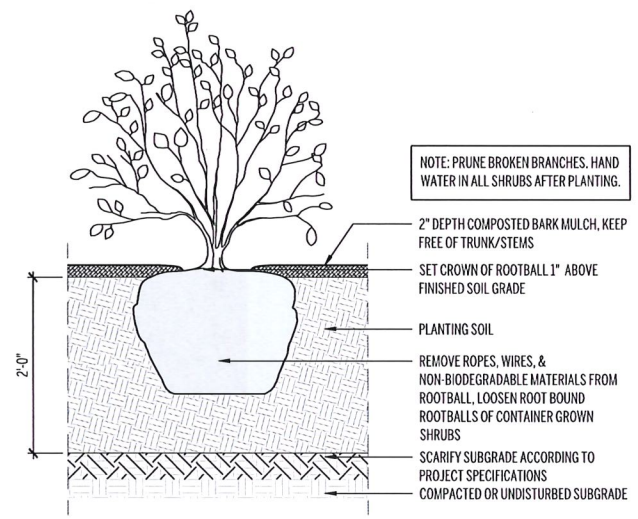
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L6.02



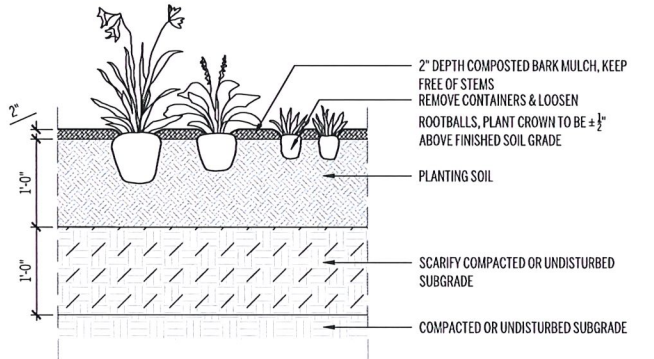
NOTES:
 1.) PRUNE BROKEN, CROSSING OR RUBBING BRANCHES. HAND WATER IN ALL TREES DURING PLANTING.
 2.) IF SCARIFICATION IS REQUIRED, CONTRACTOR TO HAND COMPACT AREA UNDER ROOT BALL TO PREVENT SETTLING.
 3.) DEER PROTECTIVE SPRAY TO BE APPLIED FOLLOWING FALL PLANTING.



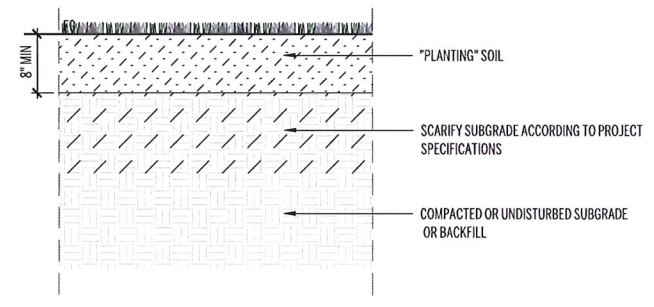
4 TREE PLANTING
1'-1'-0"



3 SHRUB SOIL AND PLANTING
1'-1'-0"



2 PERENNIAL SOIL AND PLANTING
1'-1'-0"



1 LAWN SOIL
1'-1'-0"

Landscape Architect
STEPHEN STIMSON ASSOCIATES
 LANDSCAPE ARCHITECTS
 71 Gates Road
 Princeton, MA 01541
 (978) 464-5200

Civil Engineer
NITSCH ENGINEERING
 370 Main St, Suite 850
 Worcester, MA 01608
 (508) 365-1030

Mechanical, Electrical, & Plumbing Engineer
ARUP
 60 State St.
 Boston, MA 02109
 (617) 846-2987

CENTERBROOK
 Architects and Planners, LLP
 67 Main Street
 Post Office Box 955
 Centerbrook, Connecticut 06409-0955
 Telephone 860.767.0175
 Facsimile 360.767.8719

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SOILS & PLANTING DETAILS

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STEPHEN STIMSON ASSOCIATES
 LANDSCAPE ARCHITECTS
 71 Gates Road
 Princeton, MA 01541
 (978) 464-5200

Civil Engineer
NITSCH ENGINEERING
 370 Main St. Suite 850
 Worcester, MA 01608
 (508) 365-1030

Mechanical, Electrical, & Plumbing Engineer
ARUP
 60 State St.
 Boston, MA 02109
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CENTERBROOK
 Architects and Planners, LLP
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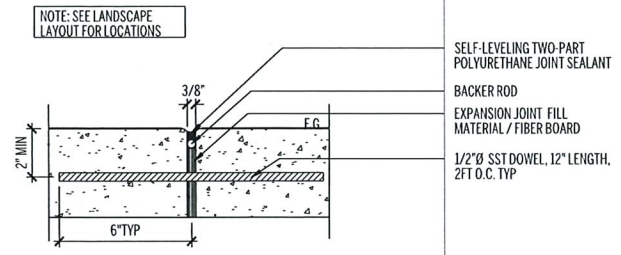
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SITE DETAILS

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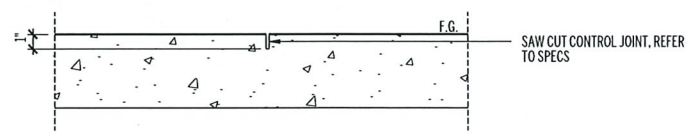
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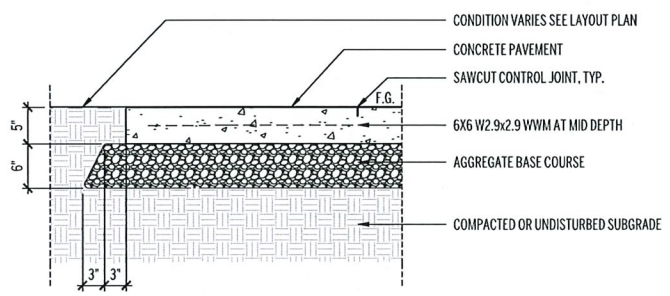
SHEET:
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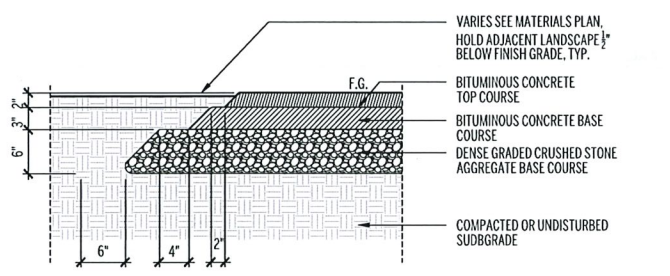
5 CONCRETE PAVING - EXPANSION JOINT (EJ)
 3'-1'-0"



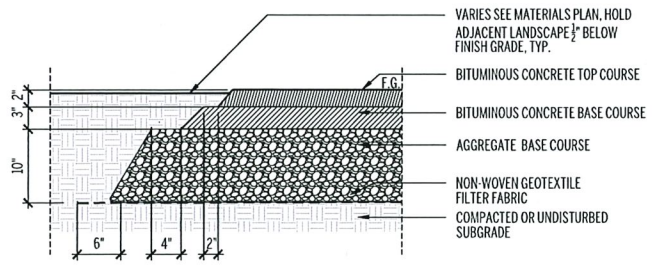
4 CONCRETE PAVING - CONTROL JOINT (CJ)
 2'-1'-0"



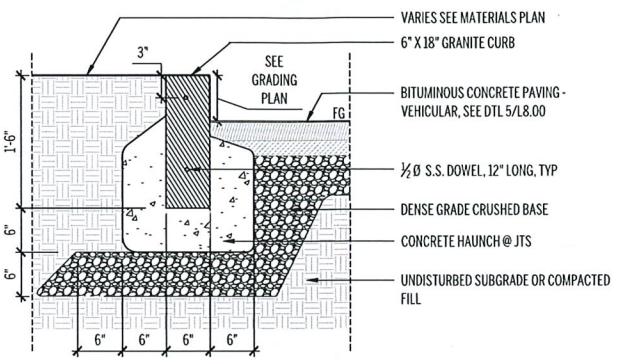
3 CONCRETE PAVING - PEDESTRIAN (P1)
 1'-1'-0"



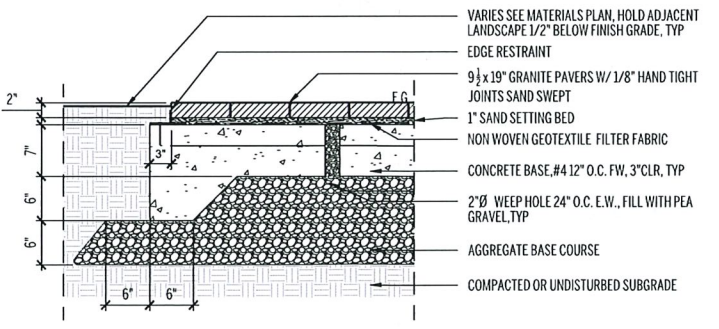
2 BITUMINOUS CONCRETE PAVING - VEHICULAR (P1)
 1'-1'-0"



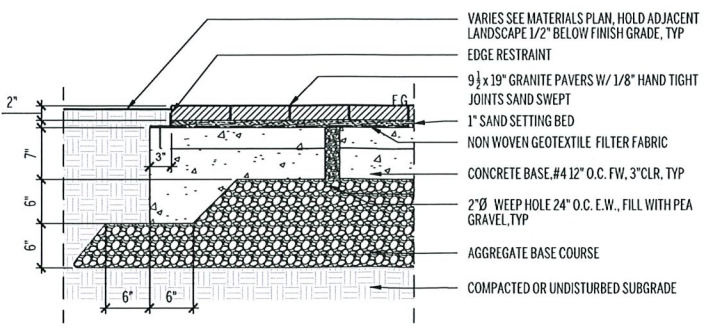
1 BITUMINOUS CONCRETE PAVING - VEHICULAR (P1)
 1'-1'-0"



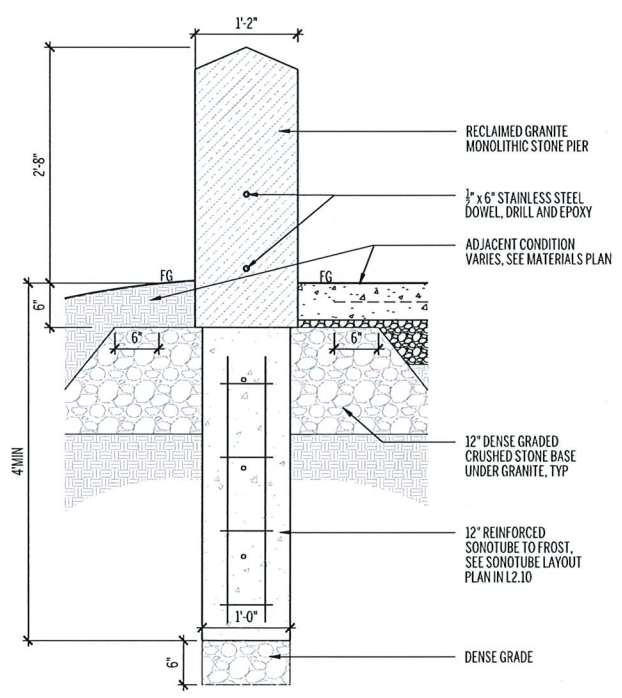
8 GRANITE CURB (GC)
 1'-1'-0"



7 UNIT PAVING TYPE B (P5)
 1'-1'-0"

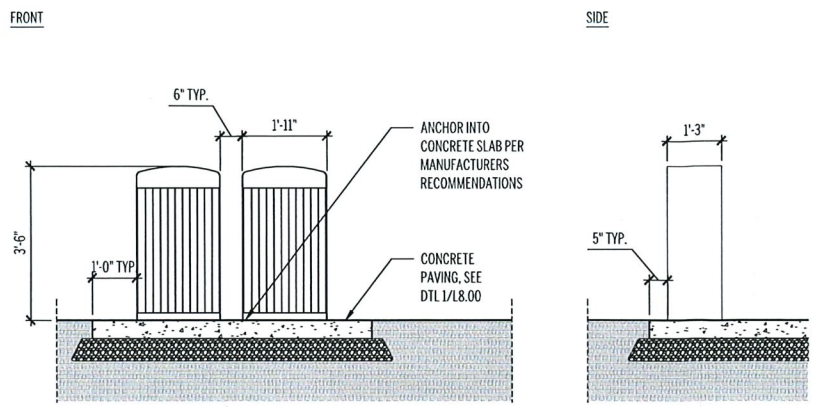


6 UNIT PAVING TYPE A (P4)
 1'-1'-0"

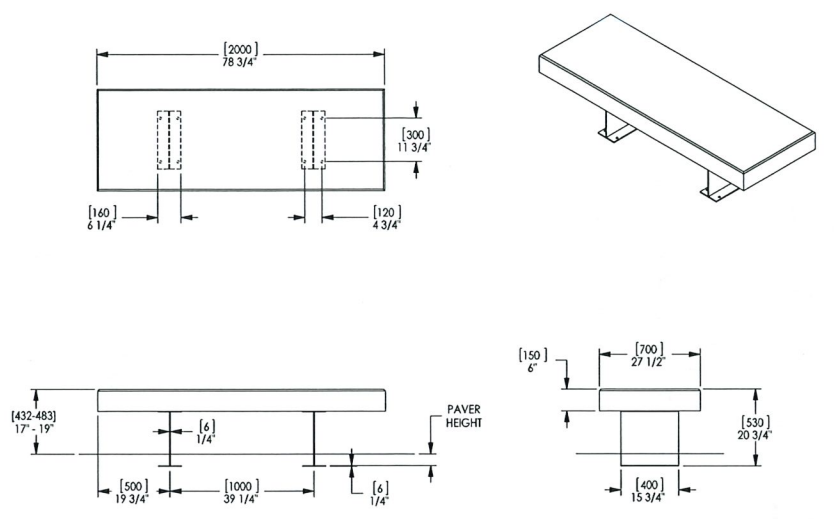


9 SITE SALVAGED GRANITE POST (GP)
 1'-1'-0"

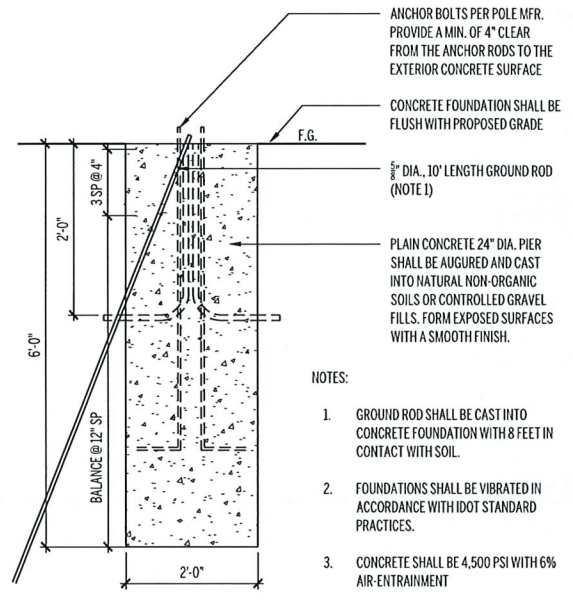
01/2022 5:10:18 PM
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 Number 2022 Centerbrook



5 TRASH & RECYCLING RECEPTACLES
1/2"=1'-0"

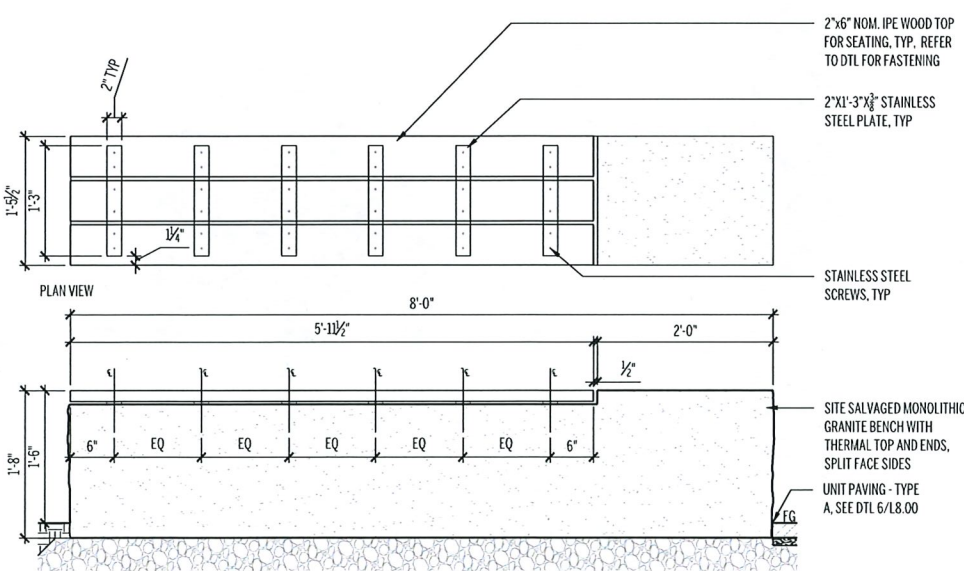
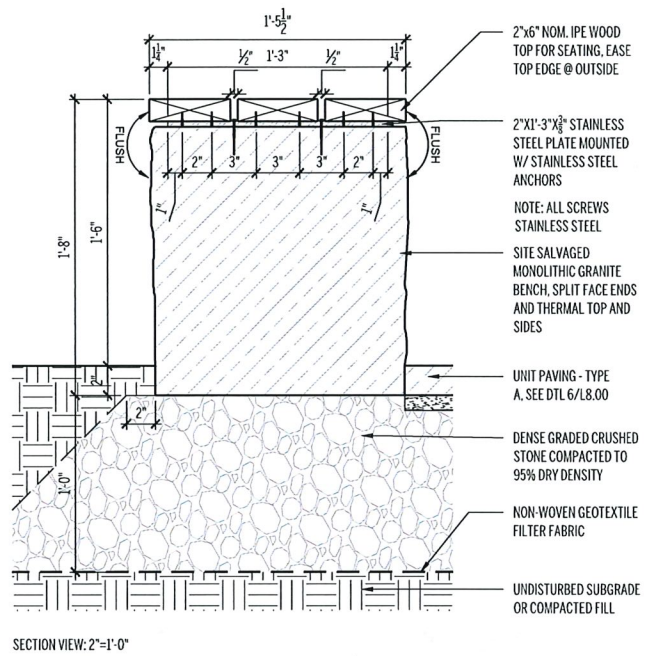


2 FREESTANDING STONE SLAB BENCH
1/2"=1'-0"

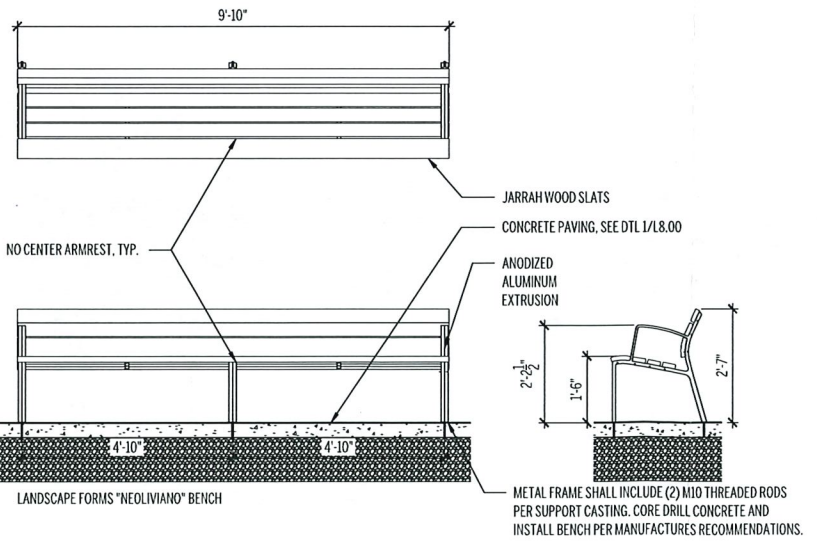


- NOTES:
- GROUND ROD SHALL BE CAST INTO CONCRETE FOUNDATION WITH 8 FEET IN CONTACT WITH SOIL.
 - FOUNDATIONS SHALL BE VIBRATED IN ACCORDANCE WITH IDOT STANDARD PRACTICES.
 - CONCRETE SHALL BE 4,500 PSI WITH 6% AIR-ENTRAINMENT

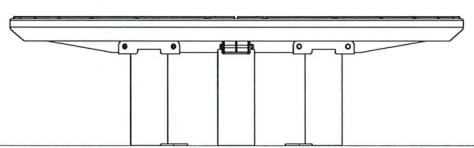
4 LIGHT POLE FOUNDATION
3/4"=1'-0"



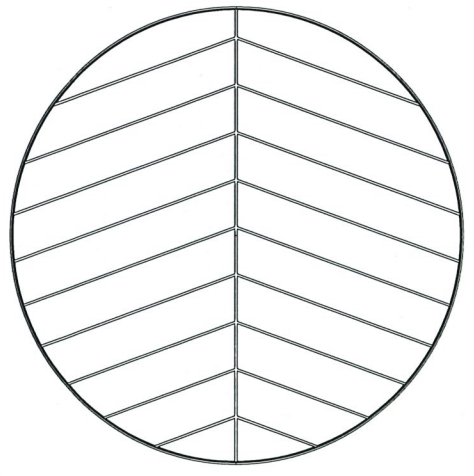
1 GRANITE BENCH WITH WOOD SEAT
1/2"=1'-0"



3 L.F. "NEOLIVIANO" BACKED 118" BENCH
1/2"=1'-0"



6 METALCO "ATOLLO" WOOD SEATS
1/2"=1'-0"



Landscape Architect
STEPHEN STIMSON ASSOCIATES
LANDSCAPE ARCHITECTS
71 Gates Road
Princeton, MA 01541
(878) 464-5200

Civil Engineer
NITSCH ENGINEERING
370 Main St, Suite 850
Worcester, MA 01608
(508) 365-1030

Mechanical, Electrical, & Plumbing Engineer
ARUP
60 State St.
Boston, MA 02109
(617) 845-2987

CENTERBROOK
Architects and Planners, LLP
67 Main Street
Post Office Box 955
Centerbrook, Connecticut 06409-0955
Telephone 860.767.0175
Facsimile 360.767.8719

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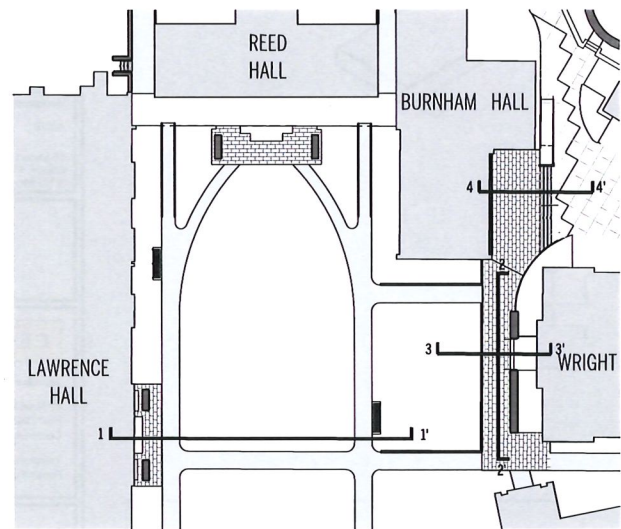
PHASE:
CONSTRUCTION DOCUMENTS

DRAWING NAME:
SITE DETAILS - FURNISHINGS

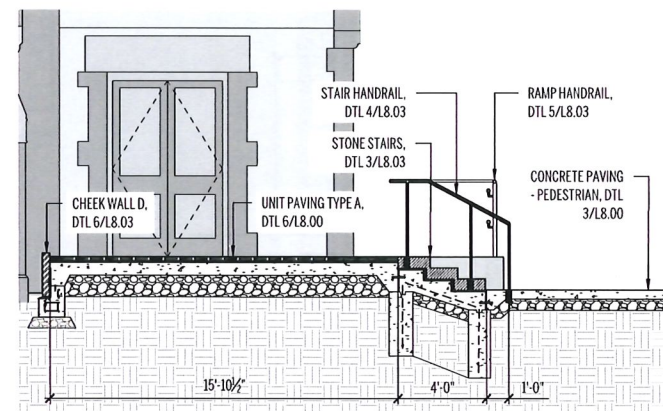
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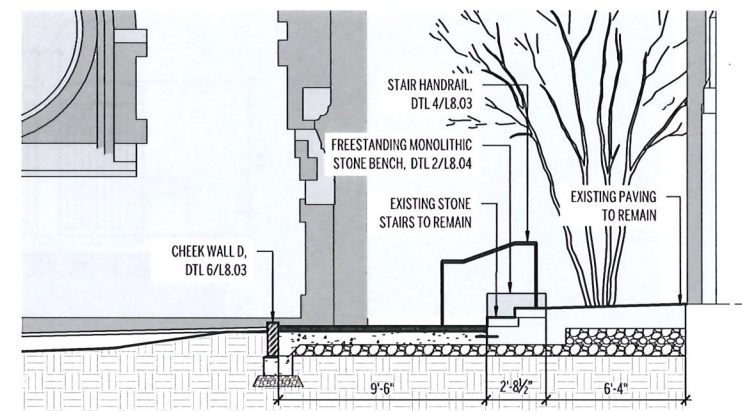
SHEET:
L8.04



KEY PLAN: 1" = 30'



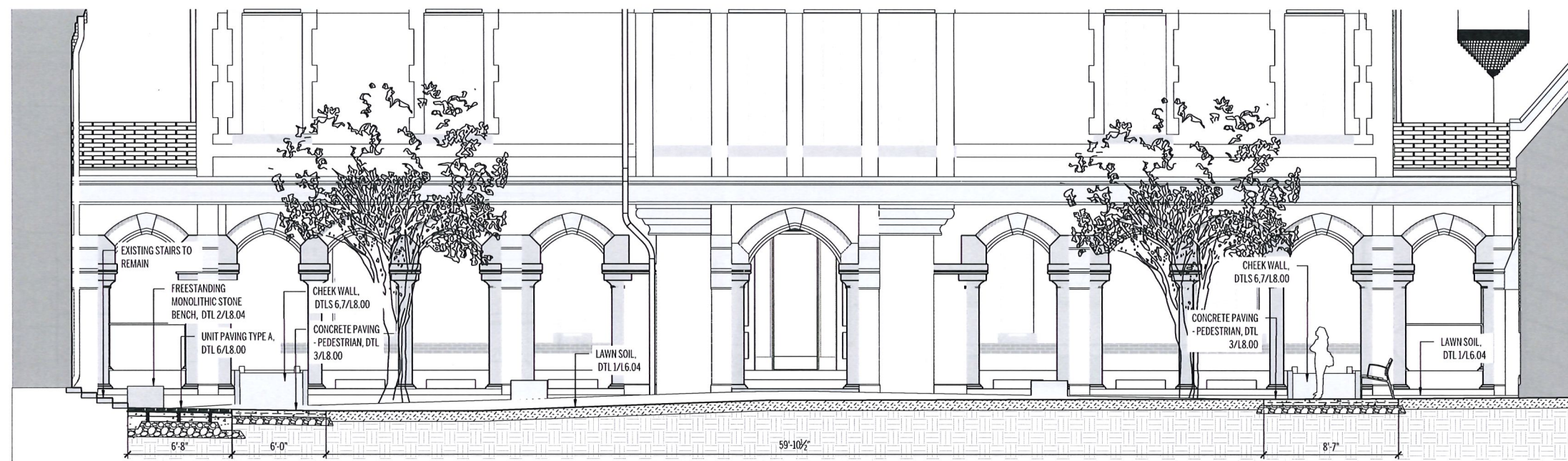
4 SECTION D: GRANITE STAIRS AT BURNHAM HALL
1/4"=1'-0"



3 SECTION C: GRANITE TERRACE AT WRIGHT HALL
1/4"=1'-0"



2 SECTION B: GRANITE TERRACE AT WRIGHT HALL
1/4"=1'-0"



1 SECTION A: REED HALL QUAD
1/4"=1'-0"

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STEPHEN STIMSON ASSOCIATES
LANDSCAPE ARCHITECTS
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Princeton, MA 01541
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CENTERBROOK
Architects and Planners, LLP
67 Main Street
Post Office Box 955
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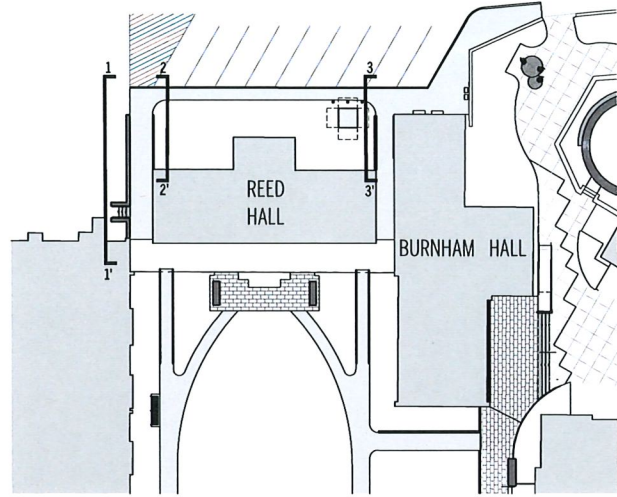
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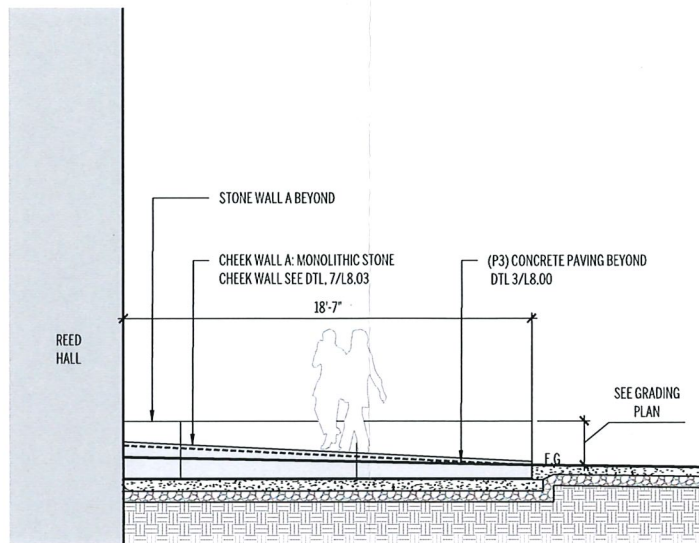
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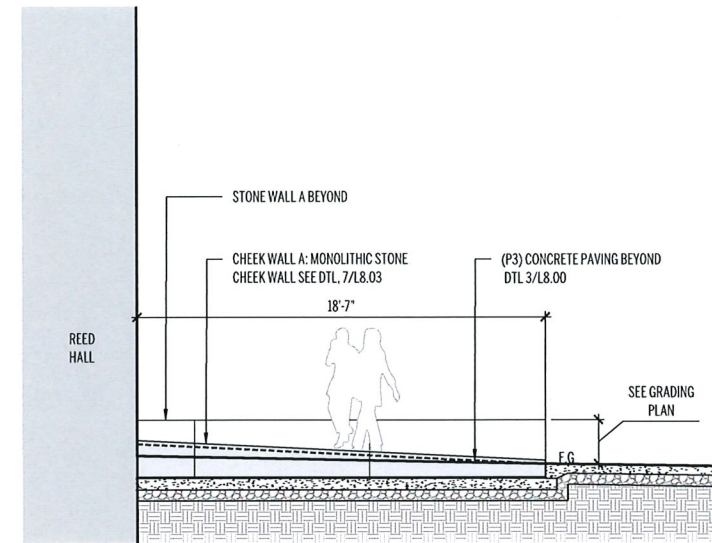
Autodesk® AutoCAD LT 2022.05.16.18 PM
Name: John P. O'Connell, Inc.



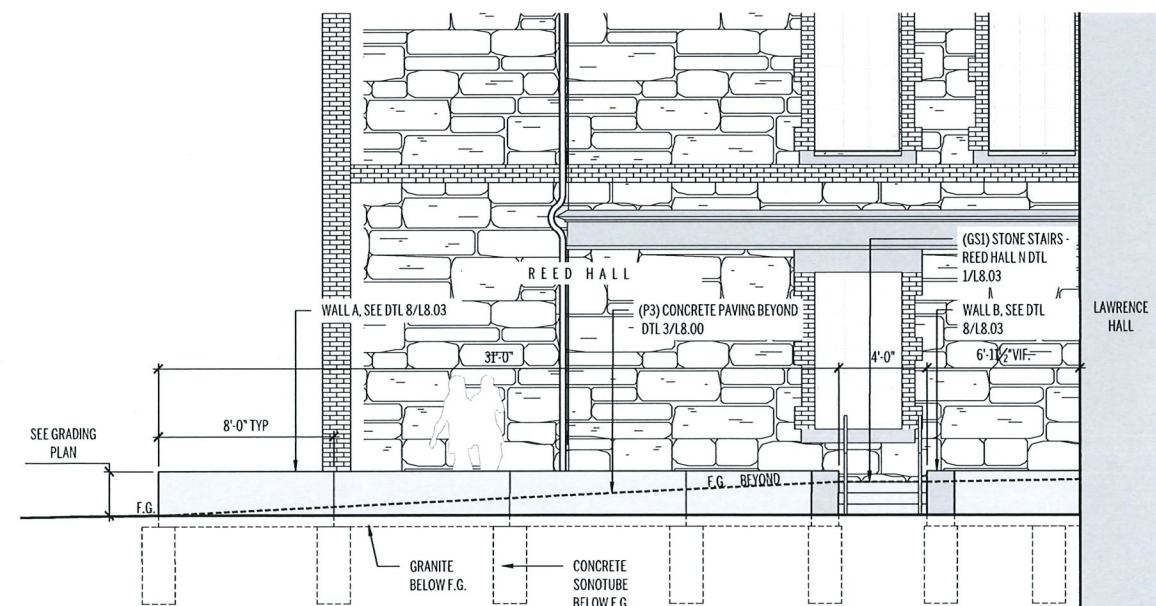
KEY PLAN: 1" = 30'



3 ELEVATION 3: CHEEK WALL A
1/4"=1'-0"



2 ELEVATION 2: CHEEK WALL A
1/4"=1'-0"



1 ELEVATION 1: WALL A + WALL B
1/4"=1'-0"

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 LANDSCAPE ARCHITECTS
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