

BZA-201972

BZA APPLICATION FORM  
GENERAL INFORMATION

2022 NOV 14 PM 3:00  
OFFICE OF THE CITY CLERK  
CAMBRIDGE MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:  Variance: \_\_\_\_\_ Appeal: \_\_\_\_\_

PETITIONER: 194 Green St LLC

PETITIONER'S ADDRESS: 667 Somerville Avenue, Somerville, MA 02143

LOCATION OF PROPERTY: 188-194 Street, Cambridge, MA 02139

TYPE OF OCCUPANCY: Multi-family (4-unit building)

ZONING DISTRICT: Residential C-2A/Central Square Overlay

REASON FOR PETITION:

- |   |  |
|---|--|
| <input type="checkbox"/> Additions  | <input type="checkbox"/> New Structure |
| <input type="checkbox"/> Change in Use/Occupancy                              | <input type="checkbox"/> Parking       |
| <input type="checkbox"/> Conversion to Addi'l Dwelling Unit's                 | <input type="checkbox"/> Sign          |
| <input type="checkbox"/> Dormer   | <input type="checkbox"/> Subdivision   |
| <input checked="" type="checkbox"/> Other: Additional windows within setbacks |  |

DESCRIPTION OF PETITIONER'S PROPOSAL:

Renovation of an existing 4 unit building creating new bedrooms and bathrooms that need new windows within left side yard and rear yard setbacks requiring a special permit.

SECTIONS OF ZONING ORDINANCE CITED:

- Article 5.000 Section: 5.31 (Table of Dimensional Requirements)
- Article 8.0000 Section: 8.22.2.c (Alteration or Enlargement of Non-conforming structure)
- Article 10.000 Section: 10.40 (Special Permit)

Applicants for a **Variance** must complete Pages 1-5  
Applicants for a **Special Permit** must complete Pages 1-4 and 6  
Applicants for an **Appeal** to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): Ryan Wittig  
(Petitioner(s)/Owner)

Ryan Wittig on behalf of 194 Green St LLC  
Address: 194 Green St LLC, 667 Somerville Ave.  
Somerville MA 02143  
Tel. No.: 617-835-6037  
E-Mail Address: ryan@kinvarracapital.com

Date: November 3, 2022

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

(To be completed by OWNER, signed before a notary, and returned to Secretary of Board of Appeal).

*194 Green St LLC, a Massachusetts limited liability company, with a business address of 667 Somerville Avenue, Somerville, Massachusetts*

*(OWNER)*

Address: *188-194 Green St., Cambridge, Massachusetts 02139*

state that *194 Green St LLC* owns the property located at *188-194 Green Street, Cambridge, Massachusetts* which is the subject of this zoning application.

The record title of this property is in the name of *194 Green St LLC, a Massachusetts limited liability company*

pursuant to a deed dated *August 3, 2021* and duly recorded on *August 13, 2021*, in the Middlesex South County Registry of Deeds at Book

~~00409~~, Page ~~223~~.  
78466                      296

[Signature appears on the following page.]

194 GREEN ST LLC,  
a Massachusetts limited liability company

*Matthew Moore*

By: Matthew Moore  
Its: A Manager  
Duly Authorized

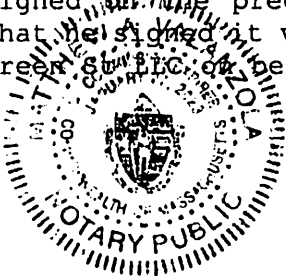
*Ryan Wittig*

By: Ryan Wittig  
Its: A Manager  
Duly Authorized

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Commonwealth of Massachusetts

COUNTY: Middlesex County, ss.

On this 7<sup>th</sup> day of November, 2022, before me, the undersigned notary public, personally appeared the above named **Matthew Moore, a Manager of 194 Green St LLC**, proved to me through satisfactory evidence of identification which was  a driver's license or \_\_\_\_\_ (form of photo identification) to be the same person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose as a Manager of 194 Green St LLC on behalf of said company.



*[Signature]*  
Notary Public:

Commission Expires: 11/27/23

Commonwealth of Massachusetts

COUNTY: Middlesex County, ss.

On this 7<sup>th</sup> day of November, 2022, before me, the undersigned notary public, personally appeared the above named **Ryan Wittig, a Manager of 194 Green St LLC**, proved to me through satisfactory evidence of identification which was  a driver's license or \_\_\_\_\_ (form of photo identification) to be the same person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose as a Manager of 194 Green St LLC on behalf of said company.



*[Signature]*  
Notary Public:

Commission Expires: 11/27/23

**Page 6-Supporting statement for a Special Permit**

***A) Requirements of the Ordinance will be met for the following reasons:***

With the granting of a special permit requested herein, the project will otherwise comply with the dimensional and other requirements of the Ordinance, and meet the requirements for a special permit under Section 8.22.2.c to allow for new, modified and/or enlarged windows, doors and/or skylights on exterior walls of the nonconforming structure located within the side or rear yard setbacks (that would not otherwise be allowed under Section 8.22.1.d), where such new, modified and/or enlarged openings will not be detrimental to abutters or the district.

***B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:***

The project meets the general special permit criteria in that it will not substantially impact the established neighborhood character, nor cause congestion hazard, or negative impacts in terms of traffic generated or patterns of access or egress. The changes proposed are consistent with a modest change to a preexisting nonconforming structure that will bring the Property's uses into conformity with neighboring multi-family residential uses. There will be no change to access or egress patterns. Parking is not required; moreover, the Property is located on several bus routes and within a 5-minute walk to the Central Square MBTA Red Line Station.

The new windows proposed for the left side of the building on the 3<sup>rd</sup> floor bathroom, 2<sup>nd</sup> floor rear bedroom, left-rear wall of the building and 2<sup>nd</sup> floor right side rear bedrooms will be largely unseen by any neighbors, and are necessary to allow adequate light, air and code compliant living areas (bedrooms).

***C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:***

The continued operation of or development of adjacent uses will not be adversely affected by this project. The Petitioners have outreached to their immediate abutters to discuss their plans for additional windows and the neighbors have not voiced any concerns. The dilapidated condition of the building has been an eyesore to the neighborhood as the building was kept in very poor repair. The proposed renovation and conversion will be a welcome improvement benefiting the abutting properties and the neighborhood.

***D) Nuisance or hazard would not be created to the detriment of the health and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:***

No nuisance or hazard will be created by the granting of the requested special permit relief, for the reasons described above. The proposal is in keeping with the residential development and density and nature of uses envisioned for the neighborhood.

***E) For other reasons. The proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:***

• **188-194 Green St., Cambridge, MA - BZA Application**

The requested special permit relief can be granted without impairing the integrity of the districts or adjoining districts, because it will allow for sensible and modest changes to a preexisting nonconforming structure that will be in keeping with the neighborhood uses and beneficial in providing much-needed, moderately-sized, residential apartments for the benefit of the district and City residents.

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

**APPLICANT:** 194 Green St LLC **PRESENT USE/OCCUPANCY:** 4 Unit Apartment

**LOCATION:** 188-194 Green St. **ZONE:** C-1

**PHONE:** 617-835-6037 **REQUESTED USE/OCCUPANCY:** 4 Unit Apartment

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS<sup>1</sup></u>	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>7364</u>	<u>7364</u>	<u>3022.5</u>	(max.)
<u>LOT AREA:</u>	<u>4030</u>		<u>5000</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:<sup>2</sup></u>	<u>1.83</u>	<u>1.83</u>	<u>.75</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>1070</u>	<u>1070</u>	<u>1500</u>	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	<u>61.2</u>		<u>50</u>	(min.)
DEPTH				
<u>Setbacks in Feet:</u>				
FRONT	<u>1.7</u>	<u>1.7</u>	<u>13.2</u>	(min.)
REAR	<u>1.6</u>	<u>1.6</u>	<u>20</u>	(min.)
LEFT SIDE	<u>5.4</u>	<u>5.4</u>	<u>7.5</u>	(min.)
RIGHT SIDE	<u>11.7</u>	<u>11.7</u>	<u>7.5</u>	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	<u>35.5</u>	<u>35.5</u>	<u>35</u>	(max.)
LENGTH				
WIDTH				
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:<sup>3</sup></u>	<u>0</u>	<u>0</u>	<u>30%</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>4</u>	<u>4</u>	<u>2</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>1</u>	<u>1</u>	<u>0</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

**N/A**

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1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

# 194 GREEN ST

194 GREEN STREET, CAMBRIDGE MA 02139

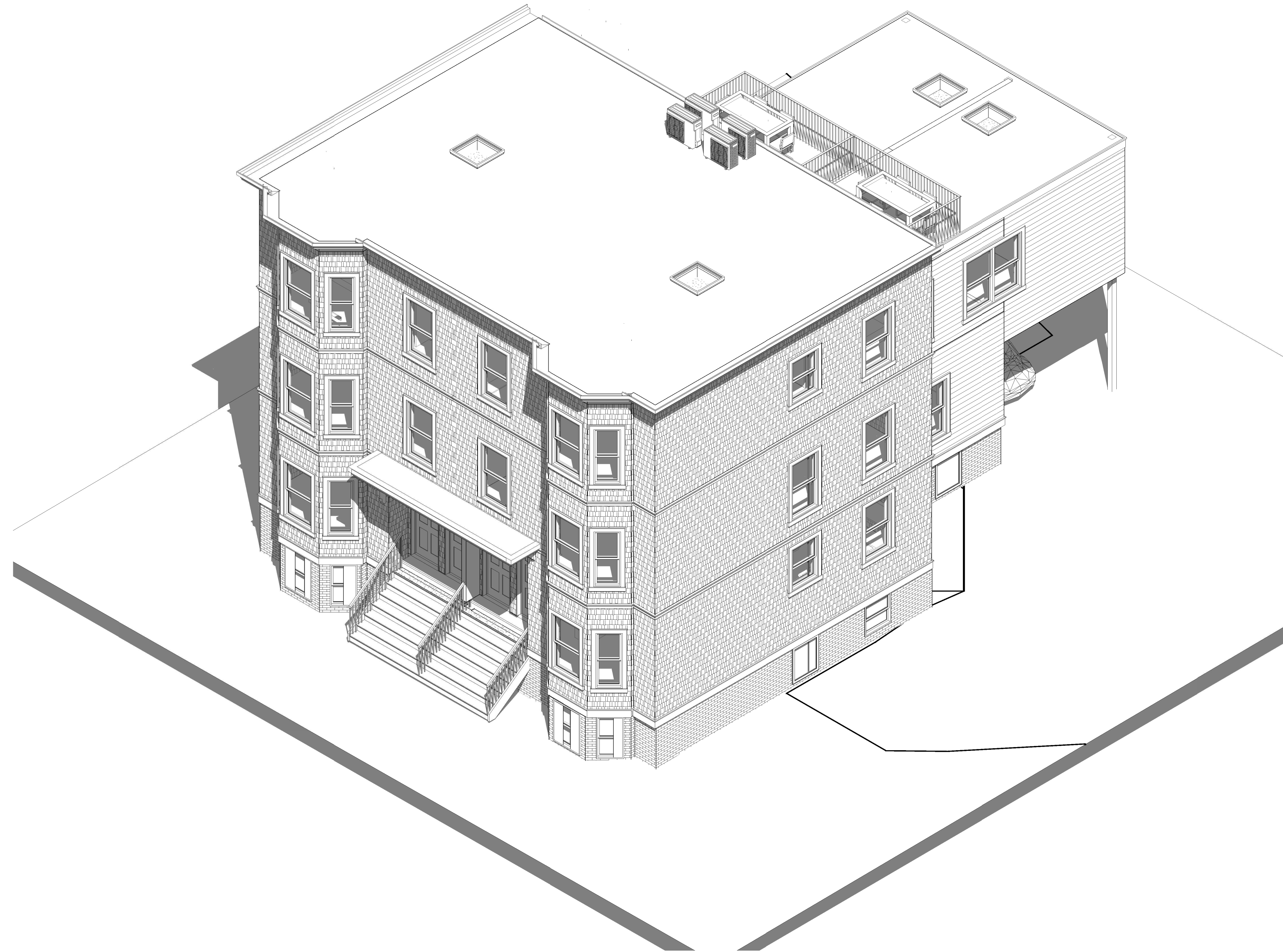


**BALANCE ARCHITECTS**  
617.991.0269 | www.balance-architects.com  
197 8th Street, Suite 2000, Boston, MA 02129

PROJECT NAME:  
**194 GREEN ST**

CLIENT:  
KINVARRA CAPITAL  
PROJECT ADDRESS:  
194 GREEN STREET, CAMBRIDGE MA 02139

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### DRAWING LIST

Sheet Number	Sheet Name	Issued
		5.2.2022
<b>GENERAL</b>		
A-0.0	COVER	
<b>DEMOLITION</b>		
D-1.0	DEMOLITION FLOOR PLAN	
<b>ARCHITECTURAL</b>		
A-0.2	ZONING ANALYSIS	
A-0.3	FAR PLANS	
A-1.0	BASEMENT FLOOR PLAN	1
A-1.2	SECOND FLOOR PLAN	
A-1.3	THIRD FLOOR PLAN	
A-1.4	ROOF PLAN	
A-1.5	REFLECTED CEILING PLAN	
A-1.6	REFLECTED CEILING PLAN	
A-2.0	EXTERIOR ELEVATIONS	1
A-3.0	BUILDING SECTION & AXONS	
A-4.0	WALL SECTION & DETAILS	

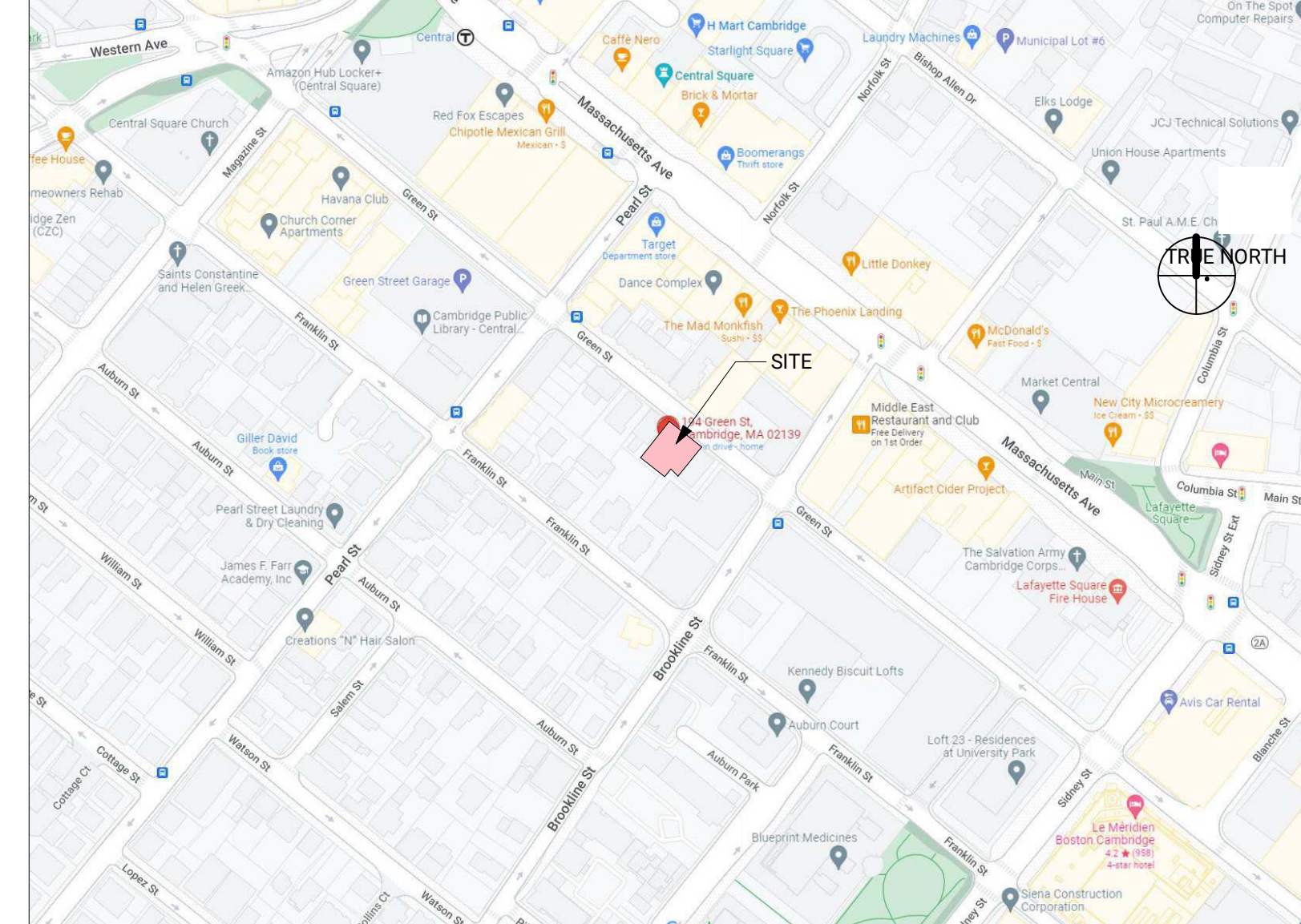
### GENERAL NOTES

- IF DRAWINGS ARE LESS THAN 24" x 36" IT IS A REDUCED DRAWING. NUMERIC SCALE MUST BE REDUCED ACCORDINGLY.
- THE WORK DELINEATED IN THESE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS SHALL CONFORM TO ALL CODES, STANDARDS, & REGULATIONS THAT HAVE JURISDICTION IN THE STATE OF MASSACHUSETTS AND THE CITY OF CAMBRIDGE.
- ALL REQUIREMENTS & REGULATIONS PERTAINING TO THE HANDICAPPED & OSHA REGULATIONS MUST BE INCORPORATED IN THE WORK EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY & SEPARATELY IN EITHER THE DRAWINGS OR THE SPECIFICATIONS. CONTRACTOR SHALL NOTE ANY SUCH DEFICIENCIES & INCORPORATE SAME IN THE ORIGINAL SUBMISSION AND BID.
- THE FOLLOWING GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED & SPECIFIED.
- PRIOR TO INSPECTION OF THE EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.
- VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO SUBMISSION OF BIDS OR PRICES. COMPARE ARCHITECTURAL DRAWINGS WITH MECHANICAL AND ELECTRICAL CONDITIONS. ANY VARIATIONS OR DISCREPANCIES ARE TO BE REPORTED TO THE CONSTRUCTION MANAGER AND/OR BALANCE ARCHITECTS. SUBMIT ALL NECESSARY SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY BALANCE ARCHITECTS.
- DO NOT SCALE FROM THESE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS OR NOTES AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING FOR CLARIFICATION BEFORE COMMENCEMENT OR CONTINUATION OF WORK.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY. REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT & STRUCTURAL ENGINEER SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
- WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND & SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY & COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY, & FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECTS OR ENGINEERS JOB SITE REVIEWS ARE NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES.
- FIRE RATING REQUIREMENTS ARE TO COMPLY WITH THE GOVERNING CODES.
- CONSTRUCTION OPERATIONS ARE NOT TO BLOCK ANY MEANS OF EGRESS.
- ALL OF THE WORK SHOWN ON THE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED.
- THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION & SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY CONTRACTOR OR SUBCONTRACTORS TO THE SATISFACTION OF THE OWNER & ARCHITECT.

### SYMBOL LEGEND

	DOOR TO BE REMOVED		DOOR TAG
	WALL TO BE REMOVED		ROOM TAG
	EXISTING WALL		WINDOW TAG
	NEW WALL		ELEVATION SHEET REFERENCE
	EXISTING DOOR		ELEVATION VIEW REFERENCE
	NEW DOOR		OVERALL SECTION - NUMBER/SHEET
	DOOR TAG		DETAIL SECTION - NUMBER/SHEET
			DETAIL VIEW - NUMBER/SHEET

### LOCUS MAP



### BUILDING CODE SUMMARY

**PROJECT ADDRESS**  
194 GREEN STREET CAMBRIDGE, MA 02139

**ZONING:**  
SEE PAGE A-0.6

**PROJECT DESCRIPTION**  
RENOVATION OF EXISTING 3 STORY MULTI FAMILY BUILDING. REPLACEMENT OF EXISTING WINDOWS AND EXTERIOR SIDING AND INSTALLATION OF NEW WINDOWS. CONDOMINIUM BUILDING WITH 4 UNITS TOTAL. 2 UNITS ON THE BASEMENT AND GROUND FLOOR. 2 UNITS ON THE SECOND AND THIRD FLOOR. ENCLOSE EXISTING COVERED PORCH FOR LIVING AREA, NEW ROOF DECK ON 2ND FLOOR.

**APPLICABLE BUILDING CODE**  
780 CMR MASSACHUSETTS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 2015  
105 CMR 410.00 MINIMUM STANDARDS OF FITNESS FOR HUMAN HABITATION  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (STRETCH COMPLIANCE)  
248 CMR - INTERNATIONAL PLUMBING CODE  
527 CMR - INTERNATIONAL FIRE CODE

**OCCUPANCY**  
R-2

**# OF UNITS**  
4 RESIDENTIAL UNITS

**CONSTRUCTION TYPE**  
5A

**SPRINKLERED**  
BUILDING TO BE FULLY SPRINKLERED. AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 804.2.1 THROUGH 804.2.5. INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

STAMP:

### CONSTRUCTION DOCUMENTS

Project number	22.009
Date	6/7/2022
Drawn by	EK
Checked by	PS
Scale	1/4" = 1'-0"

COVER

**A-0.0**

**CONSTRUCTION NOTES**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR TO ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITY AT THE PROPER TIME DURING PROGRESS OF THE WORK.

2. THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS AS OUTLINED IN THE SCHEDULE OF DRAWINGS. THE OWNERS CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER, OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INACCURACIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.

3. IT IS THE RESPONSIBILITY OF THE OWNERS CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE VISITS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDINGS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR ORDERING MATERIAL (SUCH AS WINDOWS, DOORS, AND TRUSSES) AND SHALL ADVISE ARCHITECT OF ANY DISCREPANCIES.

4. THE OWNERS CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION. THE OWNERS CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED, WITH A COPY PROVIDED TO THE ARCHITECT.

5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE OWNERS CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITTEN FORM IMMEDIATELY.

6. OWNERS CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES BY OTHERS, AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY OWNER. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFE KEEPING OF ALL PRODUCTS STORED ON SITE.

7. CONTRACTOR TO COORDINATE WORK SCHEDULES, DELIVERIES, AND UTILITY SERVICE DISCONNECTS WITH OWNER.

8. OWNERS CONTRACTOR IS TO PROVIDE ALL NECESSARY BARRICADES, PLASTIC FOR DUST PROTECTION, AND OTHER FORMS OF PROTECTION FOR PORTIONS OF THE HOUSE NOT TO BE DAMAGED.

9. THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE ARCHITECT.

10. GENERAL CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS CONCERNING THE DEMOLITION AND DISPOSAL OF HAZARDOUS MATERIALS, INCLUDING LEAD, ASBESTOS, OIL, AND ALL OTHER MATERIALS DEEMED HAZARDOUS BY THE EPA.

11. OWNERS CONTRACTOR TO WARRANT TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FREE FROM FAILS AND DEFECTS, FOR A PERIOD OF ONE YEAR (UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS). BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK NOT FOUND TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.

12. CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL LIGHT FIXTURES, CEILING DIFFUSERS, BATHROOM FIXTURES, RAILINGS, ETC.

13. CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS, AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKSMANSHIP.

14. CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.

15. CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE DESIGNER OF ANY EXISTING CONDITIONS NOT LEVEL, PLUMB, AND SMOOTH OR WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.

16. CONTRACTOR TO THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT 24 HOURS PRIOR TO OCCUPANCY OF FINISHED WORK. CONTRACTOR TO VACUUM OR MOP (AS APPROPRIATE) ALL FLOORS, AND CLEAN WINDOWS AND GLAZING.

17. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. AT END OF JOB, CONTRACTORS SHALL LEAVE THE JOB SITE IN AN ORDERLY AND NEAT FASHION CAPABLE OF BEING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR ONE YEAR AGAINST ANY DEFECTS OR DEFICIENCIES, UNLESS OTHERWISE STATED WITHIN THE CONTRACT DOCUMENTS. IT IS EXPRESSLY UNDERSTOOD THAT ONE CONDITION FOR FINAL PAYMENT TO THE CONTRACTOR UNDER THIS AGREEMENT IS COMPLETENESS OF ALL WORK. CONTRACTOR TO PROVIDE ALL KEYS, EQUIPMENT, OPERATING INSTRUCTIONS, RECORD DRAWINGS, ETC., TO THE OWNER AT THE COMPLETION OF THE PROJECT.

18. THESE DRAWINGS ARE NOT TO BE SCALED.

20. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE DESIGNER AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.

21. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS IN CONNECTION WITH OTHER PORTIONS OF THE PROJECT. GENERAL CONTRACTOR IS TO COORDINATE HIS WORK WITH THE WORK OF OTHERS.

22. WEATHER PROTECTION THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS AND FIXTURES FROM INJURY OR DAMAGE.

23. EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND CHOPPING FOR HIS OWN TRADE, UNLESS OTHERWISE NOTED.

24. ALL NEW MATERIALS TO MATCH MATERIALS IN QUALITY, COLOR, AND TEXTURE, WHERE NEW MATERIALS ARE CONTIGUOUS WITH EXISTING.

25. ALL INTERIOR TRIM SHALL BE CLEAR POPLAR, UNLESS OTHERWISE NOTED.

26. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND VENTING ALL APPLIANCES PER THE MANUFACTURERS SPECIFICATIONS.

27. THE CONTRACTOR SHALL ENSURE ALL SMOKE, CARBON MONOXIDE AND HEAT DETECTORS TO BE IN ACCORDANCE WITH MASS STATE FIRE CODE AND APPROVED BY LOCAL FIRE INSPECTOR PRIOR TO INSTALLATION.

28. PROVIDE TEMPERED GLASS IN ALL AREAS AS REQUIRED BY MA BUILDING CODE.

29. ALL SWITCHES TO BE DIMMABLE, U.O.N. OR WHERE NOT PERMISSABLE PER CODE.

**04200\_UNIT MASONRY**

- A. WORK INCLUDED, BUT NOT LIMITED TO ETC.
1. CONCRETE MASONRY UNIT PARTITION WORK
2. CONCRETE MASONRY UNIT INFILL AND REPAIR WORK AS INDICATED
3. MASONRY REINFORCING, ANCHORS AND TIES
4. INSTALLATION FOR ACCESS DOORS FURNISHED ELSEWHERE
5. ALL OTHER UNIT MASONRY WORK SHOWN ON DRAWINGS OR REASONABLY REQUIRED TO MAKE WORK OF THIS SECTION COMPLETED IN ALL RESPECTS
B. SUBMITTALS: SUBMIT 4 SAMPLES FOR EACH MATERIAL AS FOLLOWS:
1. CONCRETE MASONRY UNIT: ONE FOR EACH TYPE, SIZE AND COLOR
2. EXPANSION AND CONTROL JOINT MATERIAL: 6" IN LENGTH
3. REINFORCING ANCHORS AND TIES: SUBMIT EACH TYPE SIZE, THICKNESS AND FINISH
4. PRODUCT DATA: SUBMIT MANUFACTURERS PRODUCT DATA
5. MATERIAL CERTIFICATES SIGNED BY MANUFACTURER AND CONTRACTOR CERTIFYING THAT EACH MATERIAL COMPLIES WITH REQUIREMENTS
6. CEMENT PRODUCT, MATERIAL AND GRADE OF REINFORCING BARS, TYPE AND SIZE OF JOINT REINFORCEMENT AND TYPE AND SIZE OF ANCHORS, TIES AND METAL ACCESSORIES
C. QUALITY ASSURANCE
1. COMPLY WITH COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE AND ACI 530 AND ACI 530.1
2. PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO THOSE OF ASSEMBLIES AND FIRE RESISTANCE RATINGS DETERMINED BY ASTM
D. STORAGE: ALL MATERIALS TO BE DELIVERED, STORED AND HANDLED FULLY PROTECTED FROM DAMAGE.
E. PRODUCTS
1. PROVIDE CONCRETE MASONRY UNITS TO MATCH EXISTING TYPE, SIZE AND FINISH.
2. CHIPPED OR OTHERWISE DAMAGED FACES WILL NOT BE PERMITTED IN EXPOSED WORK
3. PROVIDE MORTAR, REINFORCING TIES AND ANCHORS TO MATCH EXISTING
4. PROVIDE NEOPRENE COMPRESSIBLE FILLER COMPLYING WITH ASTM D 1056, TYPE 2, CLASS A, GRADE 1, CLASS B
5. STYRENE-BUTADIENE RUBBER COMPOUND: ASTM D 2000, PRE-FORMED CONTROL-JOINT GASKET.
6. SOLID RUBBER CONTROL JOINTS FOR CMJ AND BOND BREAKER STRIPS
7. PROVIDE PORTLAND CEMENT MORTAR PER ASTM C 270. PROVIDE TYPE N MORTAR FOR INTERIOR WORK AND TYPE M MORTAR FOR REINFORCED AND LOAD BEARING MASONRY.
8. PROVIDE GROUT PER ASTM C 476 TO COMPLETELY FILL SPACES AND INTENDED TO RECEIVE GROUT.
F. EXECUTION
1. MASONRY WORK SHALL BE BY SKILLED MASONS
2. COMPLETELY COORDINATE WORK OF OTHER TRADES TO PROVIDE CHASES, SLOTS, AND RECESSES AS REQUIRED. SET ANCHORS, BOLTS, FRAMES AND WORK OF OTHERS. NO CUTTING OR PATCHING OF COMPLETED WORK WILL BE PERMITTED.
3. GROUT FRAMES SOLIDLY INTO MASONRY OPENINGS
4. PROVIDE VERTICAL CONTROL JOINTS AS INDICATED, OR IF NOT SHOWN AT 30' O.C. OMIT MORTAR AND PROVIDE COMPRESSIBLE SEMI-RIGID JOINT FILLER, READY TO RECEIVE JOINT BACKING AND SEALANT
5. PROVIDE CONTROL JOINTS AT ENDS OF INTERIOR CONCRETE MASONRY UNIT WALLS AT STEEL COLUMNS. PROVIDE COMPRESSIBLE JOINT FILLER
6. PROVIDE CONTROL JOINTS AT TOP OF EACH INTERIOR NON-BEARING WALL AND PARTITION AND CEILING OR FRAMING MEMBERS ABOVE. CONTROL JOINTS SHALL BE AS INDICATED OR 1-1/2" AT STEEL FRAMING AND 1" AT STEEL DECK
7. SOON AFTER WORK IS COMPLETE, LIGHTLY STONE DOWN EXPOSED SURFACES TO REMOVE EXCESS MORTAR AND AGGREGATE PROJECTIONS. VACUUM CLEAN WITH BRUSH TYPE HEAD TO REMOVE LOOSE GRANULES AND BUILDING DUST FROM PORES OR UNITS PRIOR TO FINISHING
8. RAKE OUT IMPERFECT MORTAR JOINTS AND RE-POINT TO MATCH SURROUNDING WORK. LEAVE ENTIRE WORK FREE OF DEFECTS.

**06200\_FINISH CARPENTRY**

- A. QUALITY STANDARD FOR FABRICATION AND PRODUCTS: ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARDS, PREMIUM GRADE UNLESS NOTED OTHERWISE
B. INTERIOR FINISH CARPENTRY:
1. INTERIOR STANDING AND RUNNING TRIM, INCLUDING WINDOW TRIM, BASEBOARD AND SILLS
2. ALL OTHER FINISH CARPENTRY WORK INDICATED
C. SUBMITTALS: SUBMIT (4) SAMPLES FOR EACH MATERIAL AS FOLLOWS:
1. PRODUCT DATA, INSTALLATION INSTRUCTIONS, MANUFACTURER'S RECOMMENDATIONS + CERTIFICATIONS
2. LARGE SCALE SHOP DRAWINGS FOR FABRICATION, INSTALLATION AND ERECTION. PROVIDE PLANS, ELEVATIONS AND DETAILS OF ANCHORAGE, CONNECTIONS AND ACCESSORY ITEMS PROVIDED
3. PROVIDE FIELD MEASUREMENTS FOR ALL SHOP DRAWINGS
4. FINISH: GRADE: A. NOMINAL MIN. WIDTH OF FACE COMPONENTS: ROTARY 4"
5. MIN VENEER THICKNESS: 1/42"
D. QUALITY ASSURANCE
1. PANEL PRODUCTS: PROVIDE MINIMUM 45 LB. PER CUBIC FOOT MEDIUM DENSITY PARTICLEBOARD CONFORMING TO ANSI A308.1 OR ANSI A208.2. DO NOT USE HARDBOARD.
2. FIRE PERFORMANCE: ALL CONCEALED WORK TO BE UL LABELED FIRE-RETARDANT TREATED AND HAVE A FLAME SPREAD OF LESS THAN 200 PER ASTM E 84
E. VENEERS AND LUMBER: AWI LUMBER GRADE 1 AND AWI AA VENEER, QUARTER SAWN MINIMUM 6 IN. FACE VENEER WIDTH
F. CASEWORK: U.O.N.
1. WOOD WITH TRANSPARENT WATER-BASED FINISH: AWI PREMIUM GRADE
2. WOOD FOR PAINTED FINISH: AWI CUSTOM GRADE
3. PLASTIC LAMINATE FINISH: AWI PREMIUM GRADE
G. PAINTED WORK: SOLID STOCK HARDWOOD - NATURAL BIRCH OR WHITE PINE
H. BACK PRIME WORK AND INSTALL PLUM, LEVEL AND STRAIGHT WITH TIGHT JOINTS. SCRIBE WORK TO FIT. TERMINATE TRIM WITH SELF EDGED RETURN MITERS. ALL JOINTS SHALL BE BACKED AND SPLINED AS REQ. BY THE AWI STANDARDS AND SHALL BE VISIBLY ENDEARGABLE. UNACCEPTABLE.
I. ALL FASTENERS SHALL BE HIDDEN OR SET
J. PLYWOOD PANEL JOINTS SHALL OCCUR UNDER TRIM BOARDS, WHERE PRACTICAL
K. COMPLY WITH MANUFACTURERS' REQ. FOR CUTTING, HANDLING, FASTENING AND WORKING TREATED MATERIALS.
L. WOOD TREATMENT: FIRE-RETARDANT TREATMENT: ASTM E 84, CLASS A, WHERE REQ.

**09500\_METAL FABRICATIONS**

- A. PROVIDE MISCELLANEOUS ANGLES, PLATES, BRACKETS, FASTENERS, ETC. AS REQUIRED BY STANDARD CONSTRUCTION PRACTICES AND/OR AS INDICATED IN THE CONTRACT DOCUMENTS. STEEL SHAPES SHALL COMPLY WITH ASTM A36, A500, A501, A586, A570, OR A611.
B. WORK SHALL BE ENGINEERED TO COMPLY WITH LOCAL BUILDING CODES.
C. PROVIDE FINAL INSTALLATION DRAWINGS DESIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER HAVING REGISTRATION IN GOOD STANDING IN THE JURISDICTION OF THE PROJECT.
D. CLEAN FABRICATED METAL TO COMPLY WITH THE SSPC SP-6. SHOP PRIME WITH 1.0 MIL OF RUST INHIBITING PRIMER COMPATIBLE WITH FINISH COATINGS SPECIFIED ELSEWHERE.
E. WHERE POSSIBLE, ALL WORK SHALL BE SHOP FABRICATED AND WELDED BY CERTIFIED WELDERS. COMPLY WITH AMERICAN WELDING SOCIETY CODE.
F. INSTALL WORK IN COMPLIANCE WITH AISC MANUAL.
G. ALL STEEL METAL FRAMING TO BE SHOP PRIMED. FINISH AS SPECIFIED.
H. GALVANIZED SURFACES: CLEAN WELDS, CONNECTIONS AND APPROVED AREAS AND APPLY GALVANIZING REPAIR PAINT PER ASTM A 780
I. PROVIDE STEEL SUPPORTS FOR COUNTERS AS INDICATED TO SUPPORT 500 LBS. CONCENTRATED LOAD AT GREATEST STRESS. BRACKETS TO BE INCONSPICUOUS FROM NORMAL VIEWING. DRILL BRACKETS FOR ANCHOR BOLTS AND FASTENERS.
J. PROVIDE FLOOR MOUNTED TOILET PARTITIONS AS INDICATED
K. WELD SEAMS CONTINUOUSLY. SPOT WELDING AT TEMPORARY LOCATIONS ONLY.

**07270\_FIRESTOPPING**

- A. PROVIDE FIRESTOP SYSTEMS CONSISTING OF A MATERIAL INSTALL TO RETAIN THE INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE OR GASES THROUGH OPENINGS IN FIRE-RATED BARRIERS. A 2 HR RATING MUST BE PROVIDED AT FLOORS AND ALL STRUCTURAL MEMBERS.
B. FIRESTOP SYSTEMS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
1. PENETRATIONS FOR DUCT, CABLE, CONDUITS, SERVICE SHAFTS, ETC.
2. CONSTRUCTION JOINTS BETWEEN FLOOR SLAB EDGES AND WALL PANEL MEMBERS.
3. CONSTRUCTIONS JOINTS BETWEEN STRUCTURALLY SEPARATE SECTIONS OF WALLS OR FLOORS
4. BETWEEN STORES, UNLESS WITHIN A FIRE-RATED SHAFT.
5. ABOVE WALLS OR PARTITIONS EXTENDING TO UNDERSIDE OF CEILING OR ROOF ASSEMBLIES ABOVE
6. CONCEALED FURRING SPACES BEHIND FINISHES
7. WHERE PIPES, CONDUITS, DUCTS AND OTHER ITEMS PASS THRU FIRE-RATED ASSEMBLIES
8. OPENING FOR ITEMS MOUNTED ON OR WITHIN FIRE-RATED ASSEMBLY
9. ALL OTHER LOCATIONS REQUIRED BY CMR 780
C. PERFORMANCE REQUIREMENTS:
1. GENERAL: PROVIDE FIRESTOPPING SYSTEMS THAT ARE PRODUCED AND INSTALLED TO RESIST THE SPREAD OF FIRE, AND THE PASSAGE OF SMOKE AND OTHER GASES.
2. F-RATED THROUGH-PENETRATION FIRESTOP SYSTEMS: PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS WITH F RATING PER ASTM E 814, BUT NOT LESS THAN FIRE-RATING OF CONSTRUCTION PENETRATED.
D. PRODUCTS:
1. SPRAY FIREPROOFING: CAFCO 400 FOR EXPOSED AREAS, W.R. GRACE RETROGUARD FOR CONCEALED AREAS
2. FIRE SAFING: THERMAFIBER 4 P.C.F MINERAL WOOL SAFING. FIRESHIELD BIOSTOP 750 AT FLOOR TO FACADE PERIMETER. UL FWH-D-1023
3. PIPE PENETRATIONS: FIRESHIELD BIOSTOP 500 FOR METAL OR PVC PIPES UNDER 2" NOMINAL DIA. BIOSTOP WRAP STRIP AND/OR BIOSTOP RATED PIPE COLLAR (IN CONJUNCTION WITH BIOSTOP 500 FOR METAL DECK PENETRATIONS)
5. MG POWDER BY DELTA PACIFIC TECHNOLOGIES: TO BE ADDED TO CLEAR COAT FINISH FOR ALL EXPOSED WOOD FOR CLASS A FIRE

**RATING**

**08110\_STEEL DOORS AND FRAMES**

- A. PROVIDE KNOCK-DOWN TYPE, AND SHOP PRIMED STEEL DOOR FRAMES WITH MITERED CORNERS AS SCHEDULED.
1. INTERIOR FLUSH STEEL DOORS AND FRAMES
2. PROVIDE THREE JAMB ANCHORS FOR EACH JAMB
3. REINFORCEMENT: TREATED. PROVIDE PRESSURE PRESERVATIVE TREATMENT AS NOTED IN DRAWINGS.
B. FIRE-RETARDANT TREATMENT (FRT): PRESSURE IMPREGNATED, TO COMPLY WITH ASTM E 84, CLASS A AND WITH NFPA C20 AND C27. PROVIDE WHERE INDICATED AND REQUIRED BY CODE AND LOCAL JURISDICTION SUBMITTALS: SUBMIT (4) SAMPLES FOR EACH MATERIAL AS FOLLOWS:
1. PRODUCT DATA, INSTALLATION INSTRUCTIONS, MANUFACTURER'S RECOMMENDATIONS + CERTIFICATIONS
2. LARGE SCALE SHOP DRAWINGS: FOR FABRICATION, INSTALLATION, REINFORCEMENT
3. PROVIDE PLANS, ELEVATIONS AND DETAILS OF ANCHORAGE, CONNECTIONS AND ACCESSORY ITEMS. PROVIDE TEMPLATES FOR WORK BY OTHERS.
4. PROVIDE FIELD MEASUREMENTS FOR ALL SHOP DRAWINGS
D. PROVIDE NAILERS, BLOCKING AND GROUNDS WHERE REQUIRED BY THIS AND OTHER TRADES
E. SECURELY FASTEN ALL WORK TO SUPPORT APPLIED LOADS. COUNTERSINK OR FLUSH SET ALL FASTENERS. INSTALL ALL WORK TRUE. PLUMB, LEVEL, SQUARE AND ACCURATELY CUT. COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR SETTING, HANDLING, FASTENING, ETC. FIRE RETARDANT TREATED MATERIALS
F. PROVIDE ALL ROUGH HARDWARE REQUIRED TO COMPLETE THIS WORK IN A SECURE AND RIGID MANNER INCLUDING ALL INSERTS, ANCHORS, BOLTS, SCREWS, WASHERS, NUTS, NAILS AND OTHER ROUGH HARDWARE
G. BUILDING FIRE RATING SHALL BE 15 LB. ASPHALT FELT
H. KRAFT PAPER FOR PROTECTIVE PURPOSES SHALL BE "SEKURE" BY FORIFIBER CORPORATION.

**08210\_WOOD DOORS**

- A. WORK INCLUDED:
1. SOLID CORE FLUSH WOOD DOORS WITH VENEER FACES.
2. PRE-FITTING AND PRE MACHINING OF WOOD DOORS
3. FACTORY SEALING OF WOOD DOORS TO BE FIELD PAINTED.
B. COMPLY WITH NWMA I.S.-1 AND AWI QUALITY STANDARD. PRE-FIT DOORS TO FRAMES. PRE-MACHINE DOORS FOR HARDWARE LISTED ON SCHEDULES.
C. VENEERS TO BE PREMIUM GRADE QUARTER SAWN SELECT.
D. SHOP FINISH: SAND AND PROVIDE FINISH SYSTEM SPECIFIED IN FINISH LEGEND. WRAP AND PROTECT ALL DOORS FACES, JAMBS, TOP AND BOTTOM EDGES PRIOR TO SHIPMENT.
E. INSTALL DOORS WITH NOT MORE THAN 1/8" CLEARANCE AT TOP AND SIDES, 1/4" AT BOTTOM, UNLESS NOTED OTHERWISE
F. PRODUCT: SOLID CORE DOORS: W/WOOD VENEER
1. SPECIES: BIRCH, BOOK MATCHED.
2. CUT: ROTARY
3. GRADE: A. NOMINAL MIN. WIDTH OF FACE COMPONENTS: ROTARY 4"
5. MIN VENEER THICKNESS: 1/42"
G. ALL SEALANTS TO BE WATER-BASED. COORDINATE WITH REQUIRED PERFORMANCE STANDARDS

**08305\_ACCESS DOORS**

- A. PROVIDE SIZE AND QUANTITY OF ACCESS DOORS REQUIRED BY THE VARIOUS TRADES AND CODES TO INSPECT AND MAINTAIN THE VARIOUS SYSTEMS. COORDINATE LOCATION IN THE FIELD WITH ARCHITECT.
B. DOORS: 14 GAUGE FIRE-RATED UNITS; 20 GAUGE FOR NON-FIRE RATED UNITS; RECESSED STEEL PANEL DOORS TO ACCEPT FIELD FINISH OF DRYWALL AND WOOD TRIM AS DETAILED.
C. FRAMES: 16 GAUGE WITH CONCEALED FLANGES FOR DRYWALL. FINISH: PRIMED FOR FIELD FINISH TO MATCH ADJACENT SURFACES. FIELD PAINTED BY GC. SEE ROOM FINISH SCHEDULE FOR MORE INFO.

**08710\_DOOR HARDWARE**

- A. HARDWARE SCHEDULE
1. SUBMIT 5 COPIES OF SCHEDULE TO ARCHITECT FOR APPROVAL WITHIN 14 DAYS OF AWARD OF CONTRACT TO SUPPLIER. NO MATERIALS SHALL BE PLACED ON ORDER OR TEMPLATES ISSUED UNTIL APPROVAL.
2. GUARANTY: ALL COMPONENTS OTHER THAN CLOSERS SHALL BE GUARANTEED FOR ONE YEAR
3. ALL DOOR CLOSERS SHALL BE GUARANTEED FOR FIVE YEARS.
4. CYLINDERS SHALL BE GRAND MASTER KEYS AS DIRECTED BY THE OWNER.
5. FURNISH THREE MASTERKEYS EACH SET, TWO CHANGE KEYS FOR EACH CYLINDER.
6. SEE ATTACHED SPECIFICATIONS FOR INFO.

**08800\_GLASS AND GLAZING**

- A. MIRRORS
1. 1/4" FLOAT GLASS NO. 1 QUALITY
2. FULL SILVER AND COPPER COATING W/ PROTECTIVE ORGANIC COATING
3. EDGES TO BE GROUND AND POLISHED.
4. PAINT INSIDE OF TRIM BLACK. NOT CHROME TRIM.
5. PROVIDE CLEAR SEALANT BEAD TO FULL PERIMETER
6. ADHERE TO WALL WITH GUNTER MIRROR MASTICS "PREMIUM PLUS" OR SIMILAR WITH A LOW VOC RATING OF LESS THAN 10 G/L. ADHERE PLUM AND LEVEL. TO SEAL GAP.
B. GLASS TYPES:
1. TYPE 1: 3/8" CLEAR TEMPERED GLASS
2. TYPE 2: 1/2" CLEAR TEMPERED GLASS
3. TYPE 3: 3/8" CLEAR LAMINATED W/PVB INTERLAYER
4. TYPE 4: 1/2" CLEAR LAMINATED W/PVB INTERLAYER
5. TYPE 5: 1/2" OPAL WHITE LAMINATED W/PVB INTERLAYER
6. TYPE 6: 1/4" DICHRIC LAMINATED GLASS (BENJAMIN STTR 506)
C. ALL SAFETY TAGS TO BE LOCATED AT BOTTOM RIGHT CORNER GLASS.

**09260\_GYPSUM DRYWALL PARTITION SYSTEMS**

- A. GYPSUM WALLBOARD (GWB):
1. INTERIOR USE: ASTM C 36, 5/8", 1/2" AND 1/4" THICK REGULAR, WATER RESISTANT, FIRE RESISTANT (FC), AND FOIL BACKED TYPES: US, GYPSUM OR APPROVED EQUAL.
2. JOINT REINFORCEMENT: ASTM C 587 PAPER TAPE AND READY MIXED VINYL COMPOUND.
B. FRAMING:
1. STEEL STUDS: 3-5/8" AND 2-1/2" 25 GAUGE SCREW TYPE STEEL STUDS, ASTM C 645, 16 INCHES OC, UNLESS OTHERWISE NOTED.
2. CEILING SUSPENSION AND FURRING MATERIALS: STEEL RUNNERS, FURRING CHANNELS AND GALVANIZED HANGER WIRE.
C. ACCESSORIES:
1. GALVANIZED STEEL CORNER BEADS, CASING BEADS, CONTROL JOINTS. J BEADS WILL NOT BE ACCEPTED.
2. REVEAL CHANNELS
3. INSTALL IN ACCORDANCE WITH ASTM C840 GA 216: U.O.N., EXTEND FIRE-RATED PARTITIONS TO UNDERSIDE OF DECK ABOVE CEILING AND EXTEND OTHER TALL DOOR PARTITIONS AT LEAST 6" ABOVE CEILING.
4. INSTALL FRAMING SYSTEM AT 16" O.C. INCLUDE BLOCKING FOR WALL SUPPORTED ITEMS, AND ACCESSORIES.
5. PROVIDE FIRE RATED SYSTEMS WHERE INDICATED AND WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
6. USE LONEST AVAILABLE BOARDS AND INSTALL VERTICALLY. DO NOT ALLOW BUTT-TO-BUTT JOINTS AND JOINTS THAT DO NOT FALL OVER FRAMING MEMBERS.
7. INSTALL TRIM AND JOINT TREATMENT IN STRICT COMPLIANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. SAND AND LEAVE READY FOR FINISHING PAINT.

**09510\_ACOUSTICAL CEILING PANEL SYSTEMS**

- A. ACOUSTICAL CEILING PANELS
1. TYPE 1 - ARMSTRONG: OPTIMA OPEN PLAN #3251
a. PANEL SIZE: 24" X 24" X 1"
b. PANEL EDGE: 9/16" SQUARE REGULAR, FINE TEXTURE
c. ALIGN PATTERN IN SAME DIRECTION
d. COLOR: WHITE
e. FLAME SPREAD 0-25 PER ASTM C423.
f. USE SUSPENSION TYPE 1
2. TYPE 2 - ARMSTRONG: ULTIMA LAY-IN AND REGULAR #9192
a. PANEL SIZE: 24" X 24" X 3/4"
b. PANEL EDGE: 9/16" SQUARE REGULAR, FINE TEXTURE
c. ALIGN PATTERN IN SAME DIRECTION
d. COLOR: WHITE
e. FLAME SPREAD 0-25 PER ASTM C423.
f. USE SUSPENSION TYPE 1
3. CEILING SUSPENSION SYSTEM
a. TYPE 1 - SILHOUETTE XL 9/16" #7600
b. TYPE 2 - USG DXLX 15/16" FACE FIRE RATED WITH ALUMINUM CAP (DXLX24 AND DXLX424).
4. CEILING EDGE MOLDING SYSTEM
a. ARMSTRONG MOLDING 4" FASCIA MOLDING # 7814 - TBD
5. MEASURE AND LAYOUT CEILING TO AVOID LESS THAN 1/2" PANELS.
6. INSTALL SUSPENSION SYSTEM AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ASTM C635 AND ASTM C636
7. INSTALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED SUBMITTALS. COORDINATE WITH WORK OF ALL TRADES PRIOR TO SHIPMENT.
8. PROVIDE WRAPPED AND LABELLED MAINTENANCE STOCK OF NEW MATERIAL, EQUAL TO 2% OF CEILING PANELS AND SUSPENSION INSTALLED.

**09650\_RESILIENT SHEET FLOORING**

- A. RESILIENT SHEET FLOORING (RSF)
1. FURNISH AND INSTALL RSF AND RELATED ITEMS TO COMPLETE WORK AS SHOWN ON DRAWINGS AND/OR SPECIFIED HEREIN AND INCLUDES BUT IS NOT LIMITED TO:
a. PREPARATION OF CONCRETE FLOOR SLABS AND FILLS, EXCEPT LEVELING AND REPAIR OF FAULTY SURFACES AND THOSE NOT CONSTRUCTED TO STATED TOLERANCES.
2. SUBMITTALS AND SAMPLES
a. SUBMIT 4 COPIES OF 12" X 12" SAMPLES OF REQUESTED COLOR AND TYPE
b. SUBMIT 4 COPIES OF PRODUCT DATA CONSISTING OF COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS, LABORATORY TESTING REPORTS, COMPLETE DESCRIPTION AND SPECIFICATIONS OF ACCESSORIES AND INSTALLATION MATERIAL, PREPARATION AND INSTALLATION INSTRUCTIONS, SAFETY PRECAUTIONS, MAINTENANCE INSTRUCTIONS, AND OTHER TECHNICAL DATA.
3. STANDARDS AND CERTIFICATION
a. RSF MATERIALS SHALL MEET OR EXCEED THE FIRE HAZARD REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND ADA REF.
1. CONTRACTOR TO PROVIDE FLAME CERTIFICATE.
b. RSF AND MATERIALS WHEN INSTALLED SHALL CONFORM TO U.L. CLASS A FIRE HAZARD CLASSIFICATION (FLAME SPREAD LESS THAN 25) PER ASTM E 84. RSF SHALL BE TESTED IN ACCORDANCE WITH ASTM E 648 FOR CRITICAL RADIANT FLUX AND SHALL MEET OR EXCEED REQUIREMENTS PROPOSED BY THE NATIONAL BUREAU OF STANDARDS FOR HEALTH CARE AND COMMERCIAL OCCUPANCIES. IN ADDITION SHALL PASS:
1. DOC-FF-170 METHANAMINE PILL TEST: PASSES.
2. FLOORING RADIANT PANEL: MEETS NFPA CLASS 1 WHEN TESTED UNDER ASTM E 648, GLUE DOWN.
3. NBS SMOKE CHAMBER, NFPA 258: LESS THAN 450 FLAMING MODE.
4. CRI GREEN LABEL AND ADA COMPLIANT.
D. CONTRACTOR TO PROVIDE SEAMING DIAGRAM FOR APPROVAL BEFORE INSTALLATION.
E. STANDARDS AND CERTIFICATION. APPROVED PRODUCT: SEE FINISH LEGEND
F. ALL MASTICS TO BE WATER-BASED. COORDINATE WITH REQUIRED PERFORMANCE STANDARDS.
G. CONTRACTOR TO ADHERE TO ALL ASTM F710-11 GUIDELINES FOR PREPARING CONCRETE FLOOR TO RECEIVE RESILIENT FLOORING.

**09685\_CARPET**

- A. CARPET
1. FURNISH AND INSTALL CARPETING AND RELATED ITEMS TO COMPLETE WORK AS SHOWN ON DRAWINGS AND/OR SPECIFIED HEREIN AND INCLUDES BUT IS NOT LIMITED TO:
a. PREPARATION OF CONCRETE FLOOR SLABS AND FILLS, EXCEPT LEVELING AND REPAIR OF FAULTY SURFACES AND THOSE NOT CONSTRUCTED TO STATED TOLERANCES.
b. FURNISHING AND INSTALLATION OF CARPETING AT FLOORS
2. SUBMITTALS AND SAMPLES
a. SUBMIT 4 COPIES OF 12" X 12" SAMPLES OF REQUESTED COLOR AND TYPE
b. SUBMIT 4 COPIES OF PRODUCT DATA CONSISTING OF COMPLETE PRODUCT DESCRIPTION AND SPECIFICATIONS, LABORATORY TESTING REPORTS, COMPLETE DESCRIPTION AND SPECIFICATIONS OF ACCESSORIES AND INSTALLATION MATERIAL, PREPARATION AND INSTALLATION INSTRUCTIONS, SAFETY PRECAUTIONS, MAINTENANCE INSTRUCTIONS, AND OTHER TECHNICAL DATA.
B. CARPET MATERIALS SHALL MEET OR EXCEED THE FIRE HAZARD REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND ADA REF. 1. CONTRACTOR TO PROVIDE FLAME CERTIFICATE
C. CARPET AND MATERIALS WHEN INSTALLED SHALL CONFORM TO U.L. CLASS A FIRE HAZARD CLASSIFICATION (FLAME SPREAD LESS THAN 25) PER ASTM E 84. CARPET SHALL BE TESTED IN ACCORDANCE WITH ASTM E 648 FOR CRITICAL RADIANT FLUX AND SHALL MEET OR EXCEED REQUIREMENTS PROPOSED BY THE NATIONAL BUREAU OF STANDARDS FOR HEALTH CARE AND COMMERCIAL OCCUPANCIES. IN ADDITION SHALL PASS:
1. DOC-FF-170 METHANAMINE PILL TEST: PASSES.
2. FLOORING RADIANT PANEL: MEETS NFPA CLASS 1 WHEN TESTED UNDER ASTM E 648, GLUE DOWN.
3. NBS SMOKE CHAMBER, NFPA 258: LESS THAN 450 FLAMING MODE.
4. CRI GREEN LABEL AND ADA COMPLIANT.
D. CONTRACTOR TO PROVIDE SEAMING DIAGRAM FOR APPROVAL BEFORE INSTALLATION.
E. WEARABILITY AND EDGE RAVEL + DELAMINATION LIFETIME WEAR WARRANTY.
F. ALL MASTICS TO BE WATER-BASED. COORDINATE WITH REQUIRED PERFORMANCE STANDARDS.

**09310\_CERAMIC/PORCELAIN TILE**

- A. SEE FINISH LEGEND FOR TYPE, SIZE, COLOR, ETC.
B. AS PER DRAWINGS THE TILES SHALL BE SET TO PITCH AND WARP IN SUCH A WAY SO AS TO PRODUCE NO LIFTED EDGES OR OTHER NON-SMOOTH TRANSITIONS.
C. SUBMIT TILE SAMPLES (FOUR TILES TO SHOW COLOR VARIATIONS) FOR ARCHITECTS REVIEW.
D. PROVIDE AND INSTALL FLOOR AND WALL WATER-BASED SEALER AS RECOMMENDED BY TILE DISTRIBUTOR.

**09650\_RESILIENT WALL BASE**

- A. RESILIENT COMPOSITION BASE, MATTE FINISH
1. RESILIENT BASE AS SPECIFIED IN FINISH LEGEND.
2. SEE FINISH LEGEND FOR TYPE, COLOR, SIZE, ETC. FROM CONTINUOUS 100' ROLLED LENGTHS.
3. WATER-BASED ADHESIVE, WATER-PROOF, AS RECOMMENDED BY MANUFACTURER FOR SPECIFIC SUB-FLOORING MATERIALS.
3. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
4. PREPARE SURFACES BY CLEANING, LEVELING AND PRIMING. LEVEL TO 1/8" TOLERANCE.
5. PROVIDE PREMOLDED CORNER UNITS AND MATCHING END STOPS.
6. INSTALL BASE AND TRIM ACCESSORIES TO MINIMIZE JOINTS.

**09900\_PAINTING**

- A. THE FOLLOWING SHALL BE PAINT SYSTEMS BY BENJAMIN MOORE (BM):
1. INTERIOR GYPSUM WALLBOARD WALLS - PAINTED.
a. AURA INTERIOR PAINT: MATTE FINISH
b. FIRST COAT: AURA MATTE PAINT
c. SECOND COAT: AURA MATTE PAINT
2. INTERIOR GYPSUM WALLBOARD CEILINGS - PAINTED
a. AURA INTERIOR PAINT: MATTE FINISH
b. FIRST COAT: AURA MATTE PAINT
c. SECOND COAT: AURA MATTE PAINT
3. INTERIOR HOLLOW METAL DOORS:
a. APPROVED PRIMER, IRONCLAD LATEX LOW LUSTRE METAL ENAMEL (963/353)
b. FINISH COAT: AURA SATIN PAINT
c. SECOND COAT: AURA SATIN PAINT
4. EXPOSED DECKS, DUCTS, PIPES, ETC. - PAINTED.
a. SHERWIN WILLIAMS DRY FALL PAINT.
b. PRO INDUSTRIAL MULTI SURFACE ACRYLIC
5. DRY ERASE PAINT - SEE FINISH LEGEND.
a. PRIMER: PRIMER PER MANUFACTURERS SPECIFICATIONS
b. FINISH COAT: SEE FINISH LEGEND
c. SURFACE PREP: PER MANUFACTURERS REQUIREMENTS FOR SMOOTH WRITING SURFACE.
B. SEE FINISH SCHEDULE IN DRAWINGS FOR PAINT COLORS.
C. PAINT OVER EXPOSED CONDUIT AND WIRE MOLD COLOR SELECTED BY ARCHITECT.

**10810\_TOILET ACCESSORIES**

- A. FURNISH AND INSTALL ALL TOILET ACCESSORIES AS REQUIRED TO COMPLETE THE WORK, AS INDICATED ON THE DRAWINGS AND AS SPECIFIED.
B. SUBMITTALS: SUBMIT (4) SAMPLES FOR EACH MATERIAL AS FOLLOWS:
1. PRODUCT DATA, INSTALLATION INSTRUCTIONS, MANUFACTURER'S RECOMMENDATIONS + CERTIFICATIONS.
2. SHOP DRAWINGS: PERTINANT DETAIL OF CONSTRUCTION AND INSTALLATION. INCLUDE DETAILS OF METHODS OF ATTACHMENT.
C. PRODUCTS: TOILET ACCESSORIES SHALL BE MANUFACTURED BY: BOBIRCK, U.O.N. OR EQUAL PERFORMANCE AND MATERIALS AND NOT TO LIMIT COMPETITION.
1. MIRRORS: ASTM C 1036, 1/4", QUALITY Q2, CLEAR FLOATING GLASS WITH SILVER, COPPER AND ORGANIC COATING, UNIFORMLY GROUND AND POLISHED.
2. STAINLESS STEEL: AISI TYPE 302 OR AISI TYPE 304, NO. 4 POLISHED FINISH.
3. CHROMIUM PLATED BRASS OR STEEL: ASTM B 456, TYPE SC 2.
D. SEE PLUMBING LEGEND

END OF SPECIFICATIONS



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**194 GREEN ST**

CLIENT:  
KINVARRA CAPITAL  
PROJECT ADDRESS:  
194 GREEN STREET, CAMBRIDGE MA 02139

11. OWNERS CONTRACTOR TO WARRANT TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FREE FROM FAILS AND DEFECTS, FOR A PERIOD OF ONE YEAR (UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS). BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK NOT FOUND TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.

12. CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL LIGHT FIXTURES, CEILING DIFFUSERS, BATHROOM FIXTURES, RAILINGS, ETC.

13. CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS, AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKSMANSHIP.

14. CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.

15. CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE DESIGNER OF ANY EXISTING CONDITIONS NOT LEVEL, PLUMB, AND SMOOTH OR WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.

16. CONTRACTOR TO THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT 24 HOURS PRIOR TO OCCUPANCY OF FINISHED WORK. CONTRACTOR TO VACUUM OR MOP (AS APPROPRIATE) ALL FLOORS, AND CLEAN WINDOWS AND GLAZING.

17. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. AT END OF JOB, CONTRACTORS SHALL LEAVE THE JOB SITE IN AN ORDERLY AND NEAT FASHION CAPABLE OF BEING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR ONE YEAR AGAINST ANY DEFECTS OR DEFICIENCIES, UNLESS OTHERWISE STATED WITHIN THE CONTRACT DOCUMENTS. IT IS EXPRESSLY UNDERSTOOD THAT ONE CONDITION FOR FINAL PAYMENT TO THE CONTRACTOR UNDER THIS









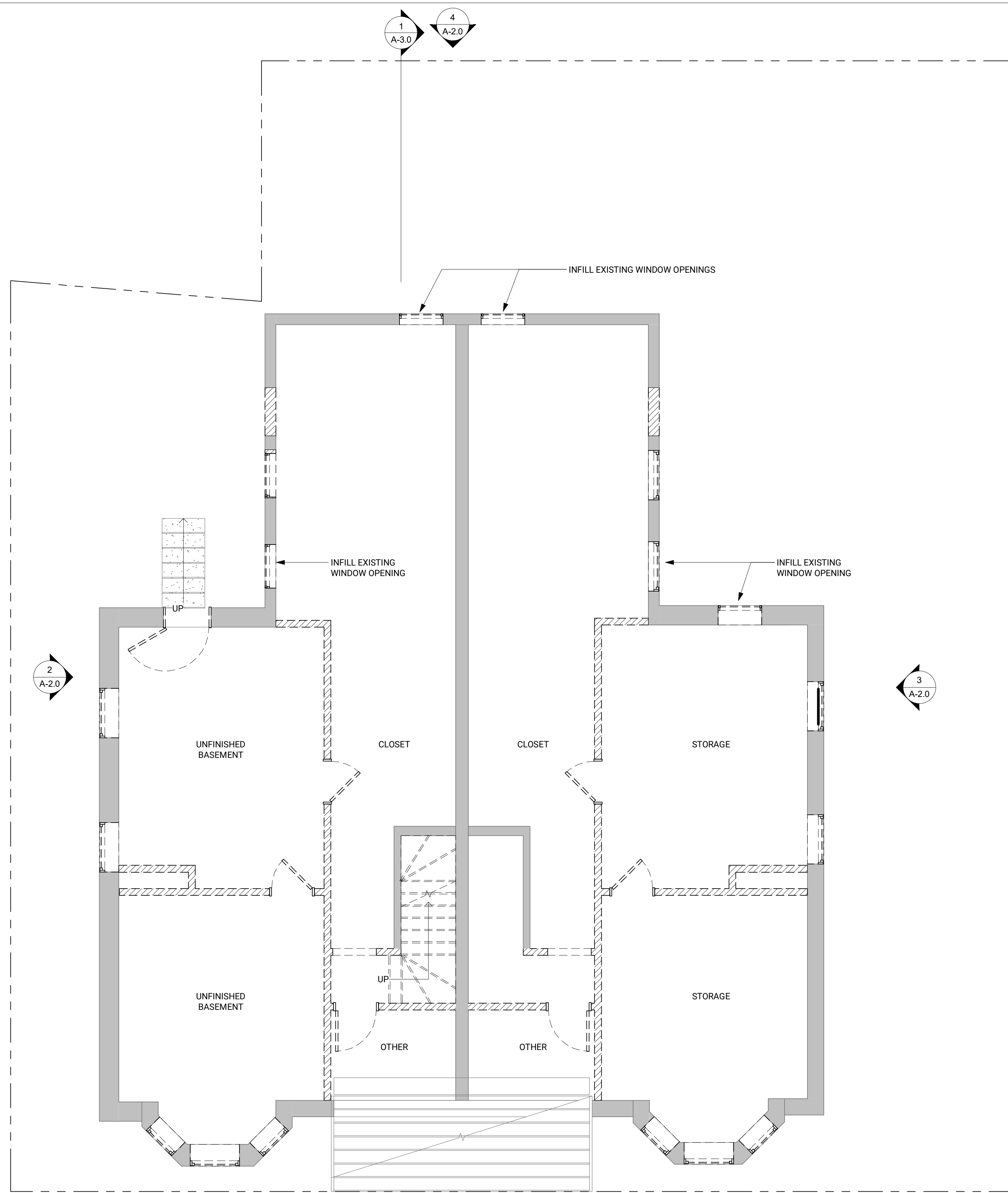
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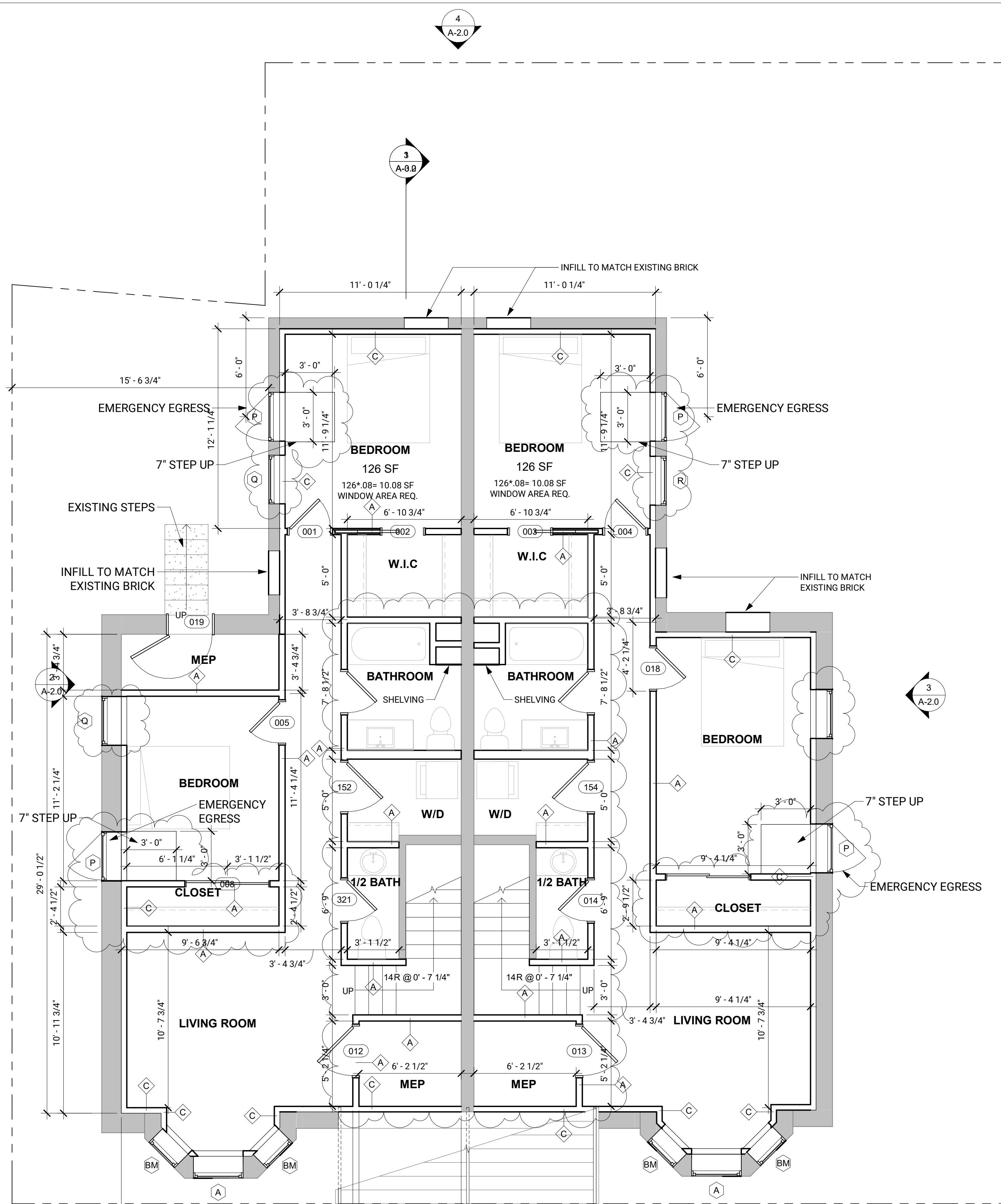
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No.	Description	Date
1	Bulletin 1 - Basement Updates	9/9/2022



**2** 00 BASEMENT FLOOR - DEMOLITION PLAN  
1/4" = 1'-0"

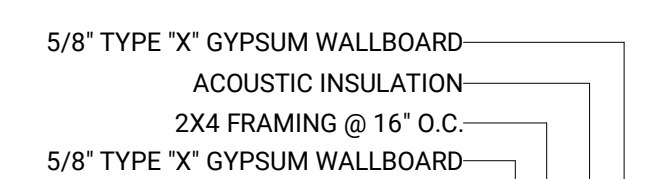


**1** 00 BASEMENT FLOOR - PROPOSED PLAN  
1/4" = 1'-0"

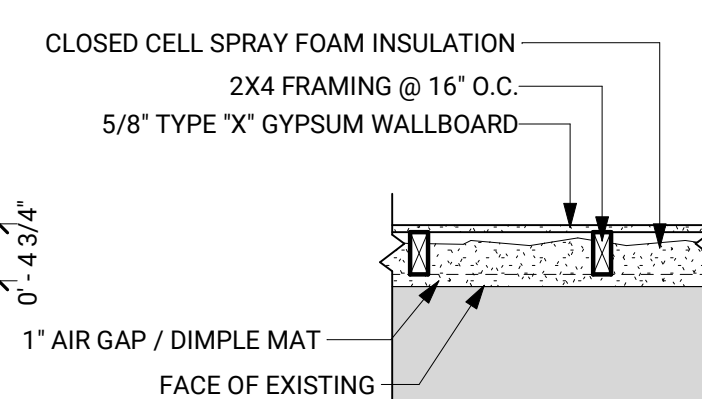
Door Schedule Basement Level			
Mark	Width	Height	Comments

00 BASEMENT FLOOR RCP			
Mark	Width	Height	Comments
001	2'-6"	6'-8"	
002	2'-6"	6'-8"	
003	2'-6"	6'-8"	
004	2'-6"	6'-8"	
005	2'-6"	6'-8"	
008	5'-0"	7'-0"	
012	3'-0"	7'-0"	
013	3'-0"	7'-0"	
014	2'-6"	6'-8"	
018	2'-6"	6'-8"	
019	2'-8"	6'-8"	
151	2'-6"	6'-8"	
152	3'-0"	7'-0"	
153	2'-6"	6'-8"	
154	3'-0"	7'-0"	
155	5'-0"	7'-0"	
321	2'-6"	6'-8"	

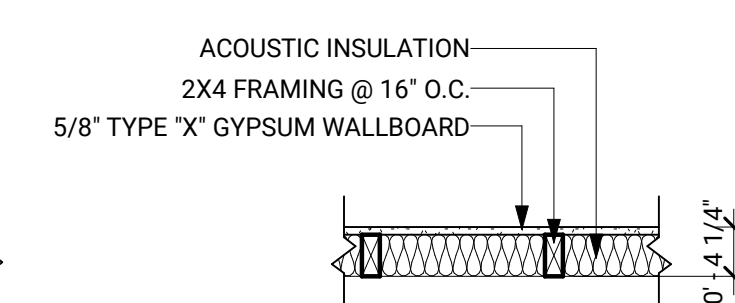
**WALL TYPE A**  
1HR. RATED UL# U-305



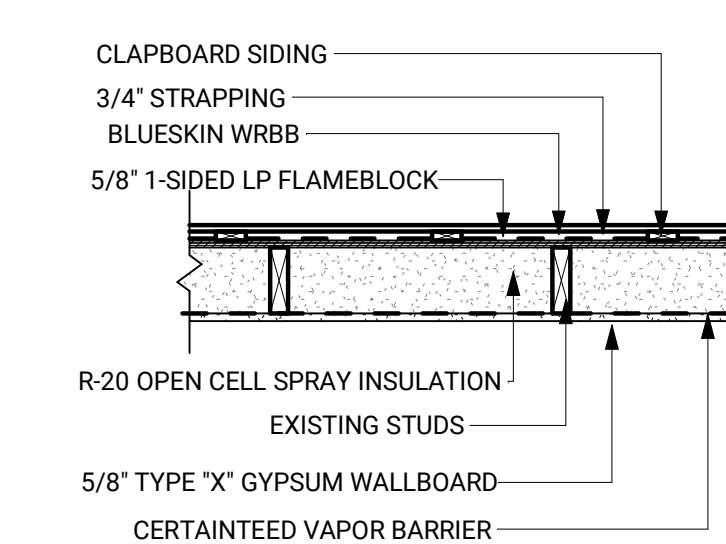
**WALL TYPE B**  
@ INTERIOR OF FOUNDATION WALLS



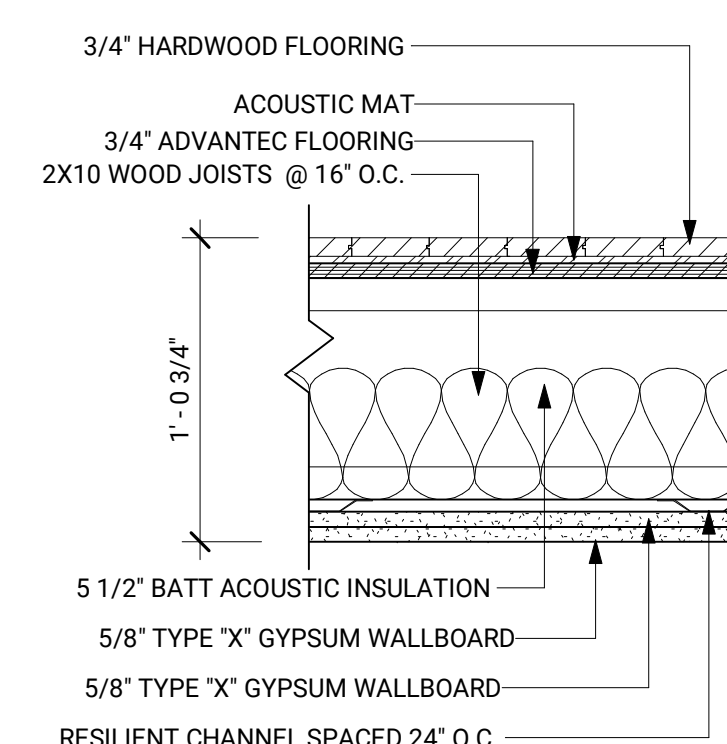
**WALL TYPE C**  
1HR. RATED UL# U-305



**WALL TYPE D**  
1HR. RATED BOTH SIDES UL# U418 R-22 CAVITY  
SEE ELEVATIONS FOR EXTERIOR CLADDING TYPE



**FLOOR TYPE 1 - F1**  
1HR. RATED UL# L570, TYPICAL RESIDENTIAL UNIT FLOORS



DOOR TO BE REMOVED



WALL TO BE REMOVED

**DEMO LEGEND**  
1/4" = 1'-0"

**DEMOLITION NOTES**  
1/8" = 1'-0"

- SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN THE FIELD. SUBCONTRACTORS ARE TO REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION.
- PROTECT ALL ADJACENT STRUCTURES, FINISHES AND MATERIALS NOT INDICATED OR SCHEDULED FOR REMOVAL.
- ALL PENETRATIONS IN ANY EXISTING FIRE-RATED ENCLOSURE TO BE CAPPED AND FILLED TO MEET EXISTING FIRE RATINGS.
- DEMO ALL FLOOR FINISHES AND CEILINGS AS INDICATED. PATCH AND REPAIR ANY REMAINING FINISHES AND CEILINGS WHERE REQUIRED.
- EXISTING PLUMBING SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY PLUMBING SUBCONTRACTOR.
- EXISTING ELECTRICAL SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY ELECTRICAL SUBCONTRACTOR.
- EXISTING MECHANICAL SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY MECHANICAL SUBCONTRACTOR.
- EXISTING SPRINKLERS TO REMAIN & BE REVIEWED BY ENGINEERS FOR POSSIBLE RELOCATION & MODIFICATIONS ONCE CLEARLY VISIBLE.
- IF NECESSARY, INSTALL TEMPORARY LIGHTING UPON COMPLETION OF DEMOLITION.
- EXISTING WALLS NOT TO BE DEMOLISHED ARE TO RECEIVE PLASTER & PATCH AS NECESSARY TO RECEIVE PAINT. EXISTING DOORS AND FRAMES NOT TO BE DEMOLISHED ARE TO BE PREPARED AND PAINTED PER FIT-OUT STANDARD WALL COLOR. U.O.N.

STAMP:

**CONSTRUCTION DOCUMENTS**

Project number: 22.009  
Date: 6/7/2022  
Drawn by: EK  
Checked by: PS  
Scale: As indicated

BASEMENT FLOOR PLAN

**A-1.0**























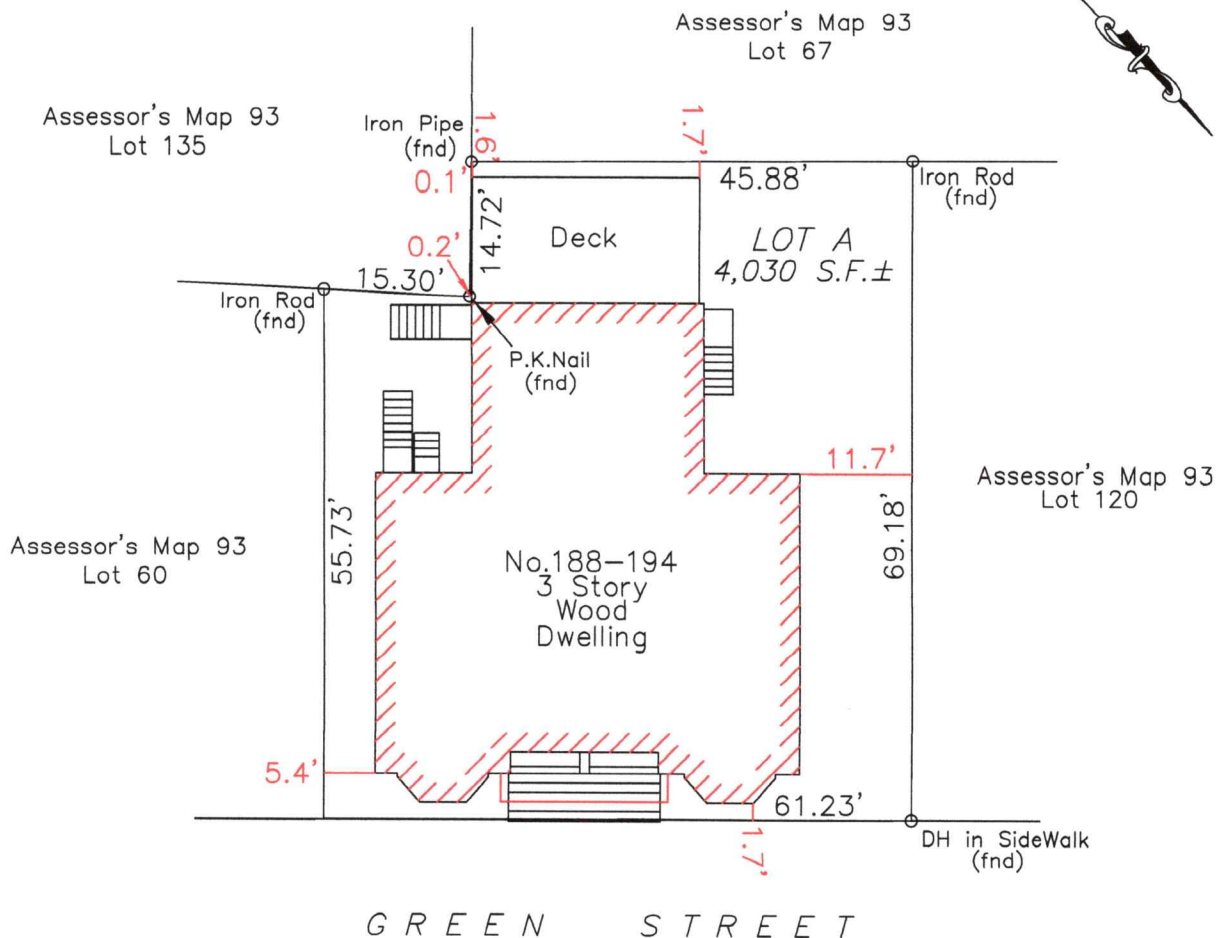












# PLOT PLAN OF LAND CAMBRIDGE, MA.

PREPARED FOR:

194 GREEN STREET, LLC  
188-194 GREEN STREET

SCALE: 1"=20' DATE: OCTOBER 5, 2021

DAVID P. TERENZONI, P.L.S.  
4 ALLEN ROAD, PEABODY, MA. 01960

Zoning District: C-1  
Deed Reference: Book 78466, Page 296  
Assessor's Map 93, Lot 121  
Existing Lot Coverage = 55.5% ±