

ARCHITECTURAL DRAWING LIST - DEMOLITION REVIEW		
Sheet Number	Sheet Name	Sheet Issue Date
O-Cover		
A-000	COVER SHEET	08/11/23
I - Civil		
C-1	EXISTING PLOT PLAN	01/09/23
C-2	PROPOSED PLOT PLAN	08/11/23
3-Architectural		
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A-020	ARCHITECTURAL SITE PLAN	08/11/23
A-100	BASEMENT & FIRST FLOOR PLAN	08/11/23
A-101	SECOND & THIRD FLOOR PLAN	08/11/23
A-102	ROOF PLAN	08/11/23
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A-302	CONTEXT ELEVATIONS	08/11/23
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D-100	DEMO PLANS AND ELEVATIONS	07/20/23
EX-100	EXISTING CONDITIONS	01/19/23



# PROJECT: 19 COTTAGE PARK AVE.

**PROJECT ADDRESS:**  
19 COTTAGE PARK AVE  
CAMBRIDGE, MASSACHUSETTS 02140

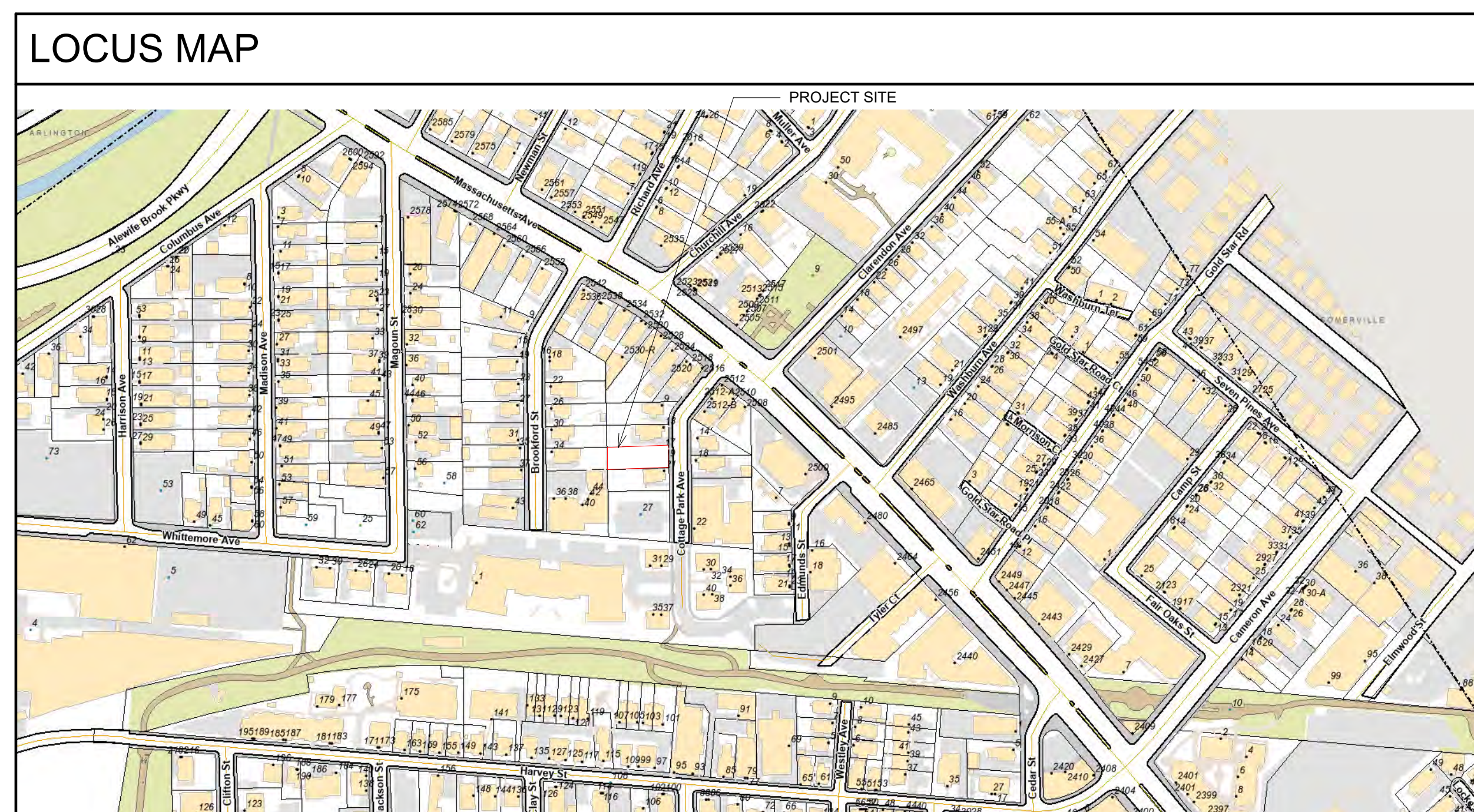
**ARCHITECT**  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

**OWNER**  
NEW AGE PROPERTIES  
ADDRESS:  
190R MAIN STREET UNIT 8,  
WILMINGTON, MA 01887

**STRUCTURAL ENGINEER**  
FOREST STRUCTURAL ENGINEERING  
ADDRESS:  
231 W. NEWTON ST #1  
BOSTON, MA 02116

**CIVIL**  
SALEM VILLAGE CONSULTING, LLC.  
ADDRESS:  
90 PINE ST  
DANVERS, MA 01923

## DEMOLITION REVIEW SET 08/11/2023



**PROJECT NAME**  
**19 COTTAGE PARK AVE.**

**PROJECT ADDRESS**  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

**CLIENT**  
**NEW AGE PROPERTIES**

**ARCHITECT**

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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Project number	22071
Date	08/11/2023
Drawn by	KC
Checked by	TC
Scale	12" = 1'-0"

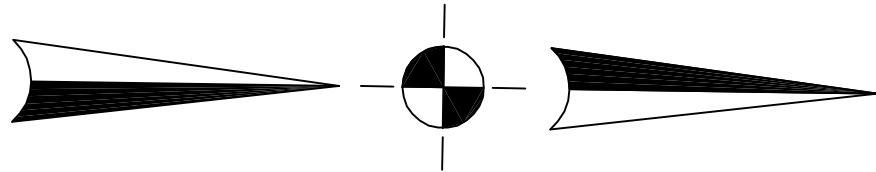
**REVISIONS**

No.	Description	Date

**COVER SHEET**

**A-000**  
19 COTTAGE PARK AVE.

PLAN NO. 753 OF 2013

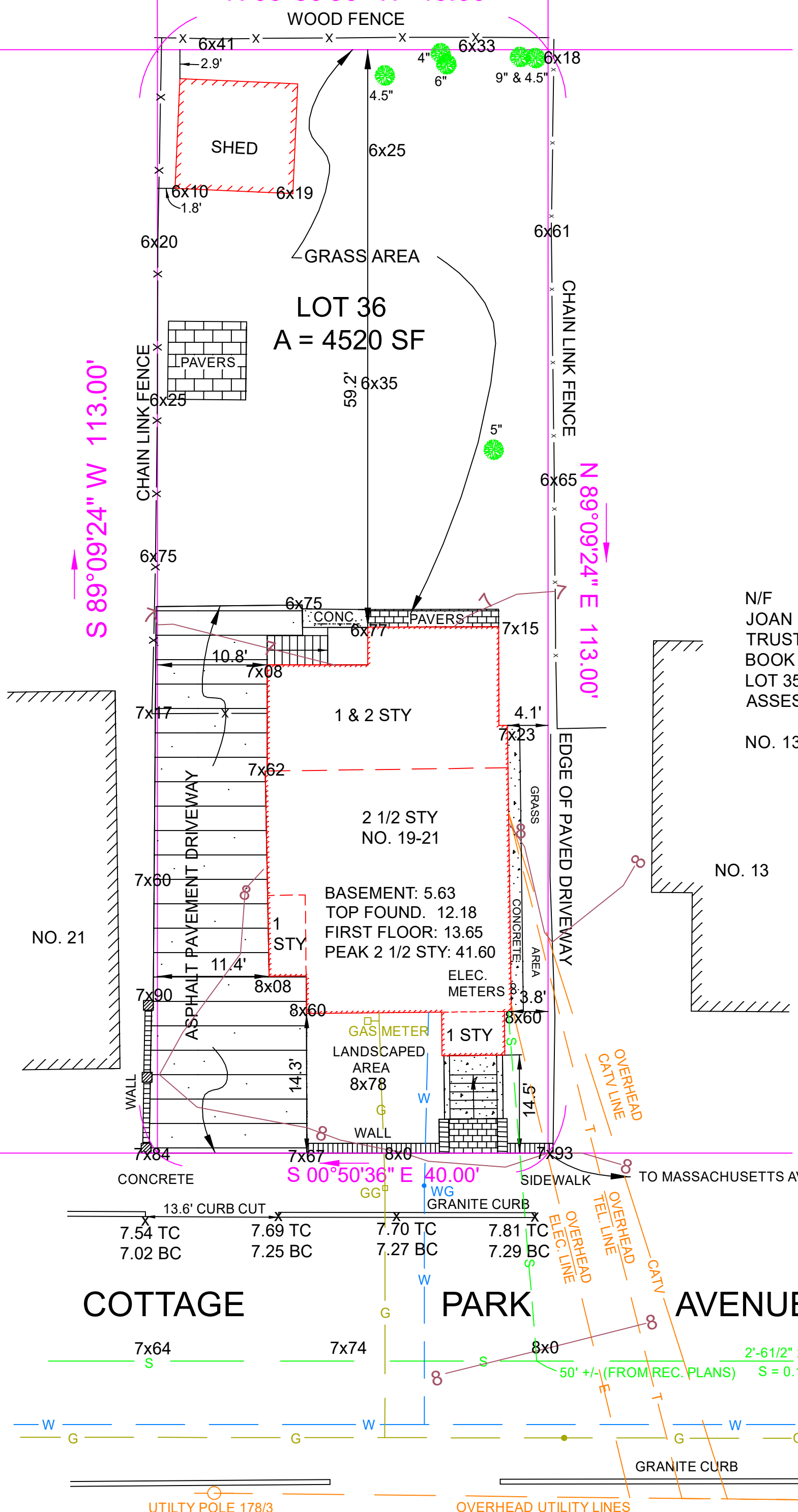


N/F  
 JOHN M. ANGIER II, TRUSTEE OF THE  
 JOHN M. ANGIER II 2013 TRUST &  
 LINDA S. ZAMVIL, TRUSTEE OF THE  
 LINDA S. ZAMVIL 2013 TRUST  
 BOOK 63307 PAGE 279  
 LOT 37 - PLAN BOOK 63 PLAN 9  
 ASSESSORS MAP 189 LOT 40  
 NO. 21 COTTAGE PARK AVENUE

N/F  
 THOMAS AND JENNIFER WOODFIN  
 BOOK 62276 PAGE 542  
 LOT 28 - PLAN BOOK 63 PLAN 9  
 ASSESSORS MAP 189 LOT 47

NO. 34 BROOKFORD STREET

N 00°50'36" W 40.00'



N/F  
 JOAN M. CYR AND CECILIA E. TALAMANTES,  
 TRUSTEES OF THE CYR/TALAMANTES REVOCABLE TRUST  
 BOOK 80958 PAGE 495  
 LOT 35 - PLAN BOOK 63 PLAN 9  
 ASSESSORS MAP 189 LOT 38  
 NO. 13 COTTAGE PARK AVENUE

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY
- 2.) RECORD OWNER: COTTAGE PARK AVE LLC
- 3.) DEED REFERENCE: BOOK 81129 PAGE 338
- 4.) PLAN REFERENCE: LOT 36 PLAN BOOK 63 PLAN 9
- 5.) ZONING DISTRICT: B
- 6.) 7x56 DENOTES SPOT GRADE SHOT
- 8.) UTILITIES SHOWN TAKEN FROM EXISTING RECORDS AND PLANS. THEY HAVE NOT BEEN FIELD VERIFIED. PRIOR TO THE COMMENCEMENT OF EXCAVATION DIGSAFE SHALL BE CALLED AND ALL UTILITIES FIELD VERIFIED.
- 9.) VERTICAL DATUM: NAVD 1988
- 10.) BENCHMARK USED: MONEL RIVET FOUND IN THE NORTHERLY SIDE OF THE MASSACHUSETTS AVENUE BRIDGE OVER THE ALEWIFE BROOK. ELEVATION: 10.48
- 11.) ALL TREES 4" OR GREATER IN DIAMETER ARE SHOWN ON THIS PLAN
- 12.) ALL OFFSET DISTANCES SHOWN TO PROPERTY LINES ARE TO THE ALUMINUM SIDING CORNERBOARD



EXISTING CONDITIONS PLAN  
 IN  
 CAMBRIDGE, MA  
 17-19 COTTAGE PARK AVENUE

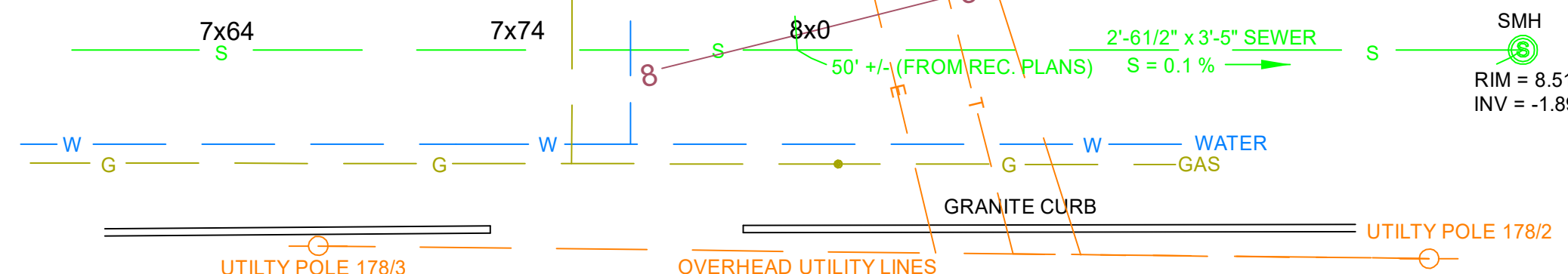


SCALE: 1" = 10'-0"  
 JANUARY 9, 2023  
 D & A SURVEY ASSOCIATES, INC.  
 P.O. BOX 621 MEDFORD, MA 02155  
 (781) 324 - 9566

COTTAGE

PARK

AVENUE (PUBLIC 40.00' WIDE)





## ZONING DIMENSIONAL TABLE

ZONE : RESIDENCE B	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
<b>LOT SIZE</b>				
LOT AREA, MIN. S.F.	5,000 SF ±	4520 SF ±	4520 SF ±	COMPLIES
LOT AREA, MIN. S.F. / DU	2,500 SF ± (1DU) = 2,500 SF	4520 SF ± (1 DU)	4520 SF ± (1 DU)	COMPLIES
LOT WIDTH, MIN.	50' - 0"	40' - 0"	40' - 0"	PRE-EXISTING, NO CHANGE
<b>BUILDING SETBACKS</b>				
MIN. FRONT YARD	15' - 0"	10' - 0"	10' - 0"	PRE-EXISTING NO CHANGE
MIN. SIDE YARDS	7' - 6" (SUM OF 20)	RIGHT: 3' - 10" LEFT: 10' - 10"	RIGHT: 3'-10" (EXISTING) LEFT: 10'-10" (EXISTING)	PRE-EXISTING NO CHANGE
MIN. REAR YARD (C)	25' + 3.25' = 28' - 3"	59.2'	44'	COMPLIES
<b>LOT DEVELOPMENT</b>				
MAX FAR	0.5 / 2,260 SF	0.42 / 1,917 SF	0.5 / 2,260 SF	COMPLIES
MAX HEIGHT	35' - 0"	33' - 1 1/4"	34' - 10 3/4"	COMPLIES
MIN. RATIO OF PRIVATE OPEN SPACE TO LOT AREA	40% / 1,808 SF PRIVATE OPEN SPACE MIN = 904 SF	61% / 2,797 SF 2,346 SF PRIVATE OPEN SPACE	40% 1,822 SF 980 SF PRIVATE OPEN SPACE	COMPLES

(c) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, and B districts, no building may be nearer the rear lot line than twenty-five (25) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line.

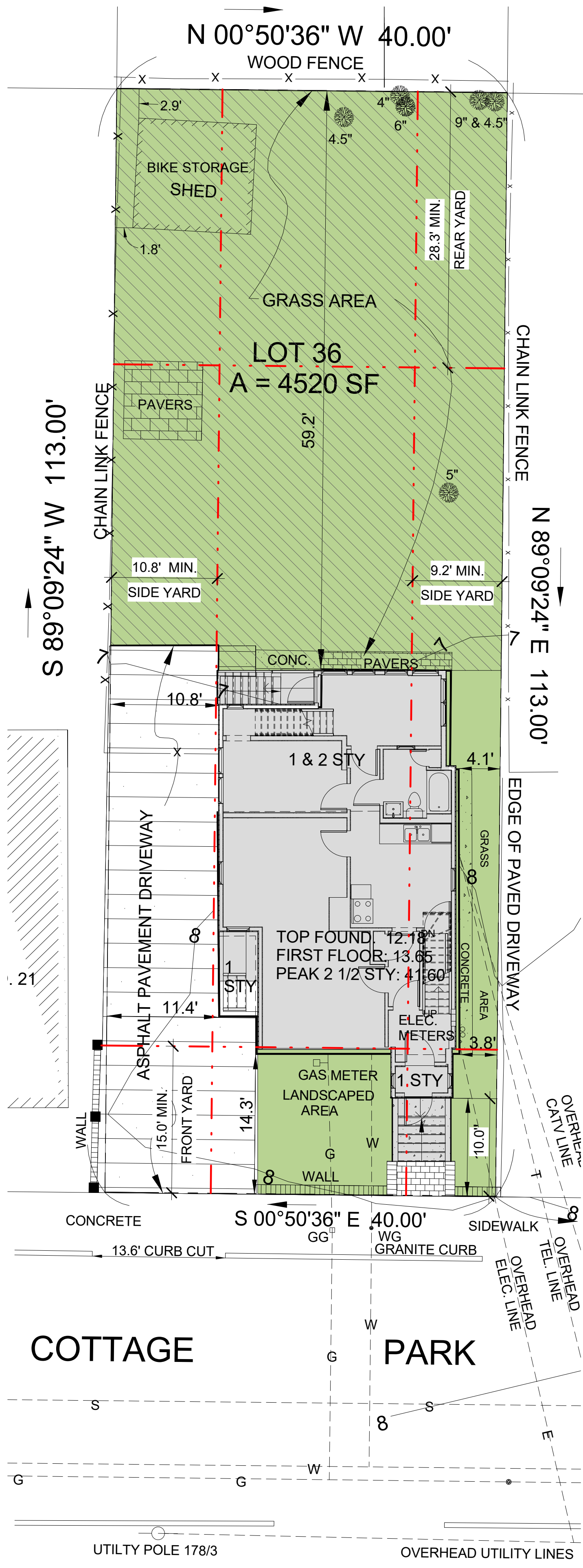
- 8.20 - NONCONFORMANCE
- 8.21 Any nonconforming structure or use which existed at the time of the first notice of public hearing by the Planning Board of the applicable provisions of this or any prior Ordinance or any amendment thereto may be continued or changed to be conforming, but when so changed to be conforming it shall not be made nonconforming again.
- 8.22 As provided in Section 6, Chapter 40A, G.L., permits for the change, extension, or alteration of a pre-existing nonconforming structure or use may be granted as permitted in Subsections 8.22.1 and 8.22.2 below. Such a permit, either a building permit in the case of the construction authorized in Section 8.22.1 or a special permit in the case of construction authorized in Section 8.22.2, may be granted only if the permit granting authority specified below finds that such change, extension, or alteration will not be substantially more detrimental to the neighborhood than the existing nonconforming structure or use.
- 8.22.1 The following alterations, reconstructions, extensions, and/or enlargements of nonconforming structures, which do not result in a use for a substantially different purpose or for the same purpose in a substantially different manner or to a substantially greater extent than the existing use, or which are undertaken to accommodate a new conforming use, shall be permitted after the issuance of a building permit by the Superintendent of Buildings. Any change, extension or alteration of a nonconforming use shall be subject to the provisions of Subsection 8.22.2.
- Conforming construction to a structure located on a lot that is nonconforming due to its lot size or lot width and where only that lot width and/or lot size is nonconforming, but which structure meets the requirements of Section 5.21.1.
  - Conforming construction where only the requirements of Article 6.000 are nonconforming and where no change to those elements regulated by Article 6.000 are required or proposed.
  - Construction occurring entirely within a structure, including structural changes, provided there is no increase in an existing or creation of a new violation of the requirements of Article 5.000.
  - Relocation, enlargement, or addition of windows, doors, skylights, or similar openings to the exterior of a building provided that the facade of the building upon which such relocation, enlargement, or addition is occurring (1) conforms to the yard requirements of Article 5.000, or (2) faces a street.
  - Demolition of a structure or portions of a structure that (1) reduces the extent of an existing nonconformity, or that (2) does not increase or otherwise affect any existing nonconformity, and that (3) does not create a new zoning violation.
  - Conforming additions, under Article 5.000, to a structure not conforming to the requirements of Article 5.000 provided that no nonconforming element or aspect of the nonconforming structure is extended or increased and further provided that the nonconforming structure is not thereby increased in area or volume by more than ten (10) percent since the structure first became nonconforming.
  - Repair, reconstruction, or replacement of any lawfully established nonconforming portions of a building including but not limited to porches, decks, balconies, bay windows and building additions, provided that the repair, reconstruction or replacement does not exceed the original in footprint, volume, or area, and further provided that the area and/or volume of said portions of the building do not exceed twenty-five (25) percent of the area or volume of the entire building.
  - Construction of a dormer or an addition to a nonconforming one or two family dwelling which will further violate the yard and height requirements of Article 5.000, but no other requirements of Article 5.000 including FAR, in the following cases:
    - A dormer or addition to the second story that does not extend horizontally beyond the vertical walls of the existing first story of the structure.
    - A dormer on the third story no longer than fifteen (15) feet that does not extend horizontally beyond the vertical walls of the existing second story nor above the existing ridge line provided that the total linear length of all dormers on the third story of the building, after the issuance of the permit authorized by this Subparagraph h 2, does not exceed fifteen (15) feet.
  - Any construction, alteration, reconstruction, extension or enlargement otherwise permitted in paragraphs (a) through (h) above where the lot is also nonconforming due to the presence of more than one structure containing a principal residential use as prohibited in Section 5.53; or any conforming construction where only the requirements of 5.53 are nonconforming.

**SITE PLAN LEGEND**

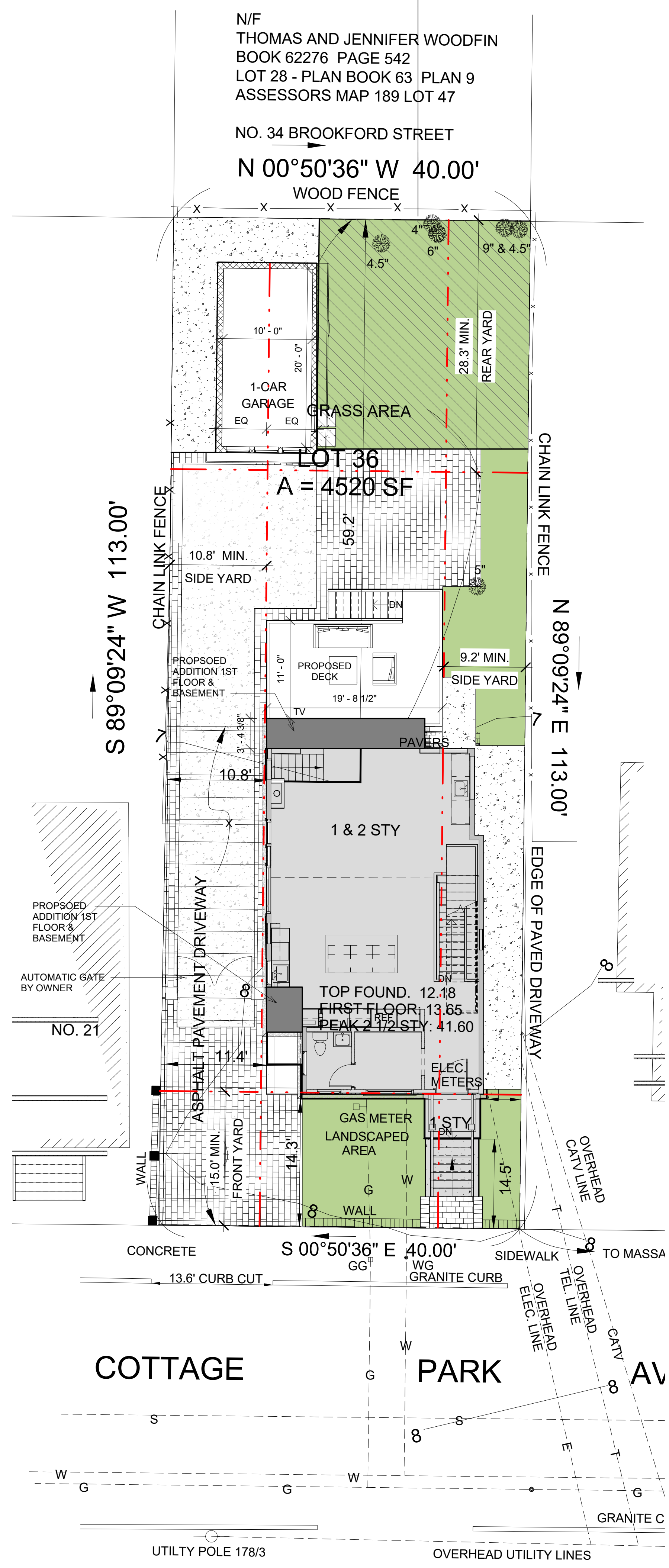
- EXISTING FOOTPRINT
- PROPOSED ADDITION
- LANDSCAPE
- REQUIRED SETBACKS

**NOTE:**

THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.



3 SITE PLAN- EXISTING  
1/8" = 1'-0"



1 SITE PLAN- PROPOSED  
1/8" = 1'-0"

**PROJECT NAME**  
19 COTTAGE PARK AVE.

**PROJECT ADDRESS**  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

**CLIENT**  
NEW AGE PROPERTIES

**ARCHITECT**

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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**REGISTRATION**

Project number	22071
Date	08/11/2023
Drawn by	KC
Checked by	TC
Scale	As indicated

**REVISIONS**

No.	Description	Date

**ARCHITECTURAL SITE PLAN**

A-020

19 COTTAGE PARK AVE.



FRONT VIEW



FRONT RIGHT VIEW



FRONT LEFT VIEW



REAR VIEW



AERIAL VIEW

**PROJECT NAME**  
**19 COTTAGE PARK AVE.**

**PROJECT ADDRESS**  
 19 COTTAGE PARK AVE.  
 CAMBRIDGE, MA 02140

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**NEW AGE PROPERTIES**

**ARCHITECT**



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Project number 22071  
 Date 08/11/2023  
 Drawn by Author  
 Checked by Checker  
 Scale

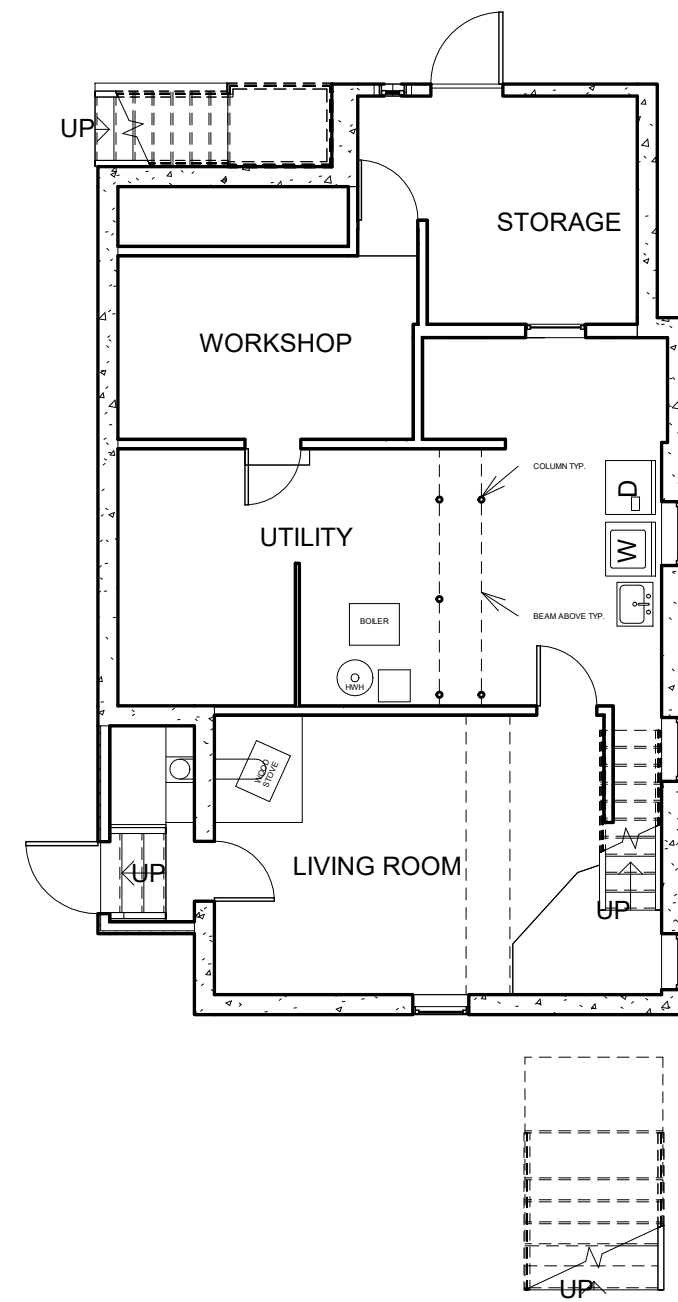
**REVISIONS**

No.	Description	Date

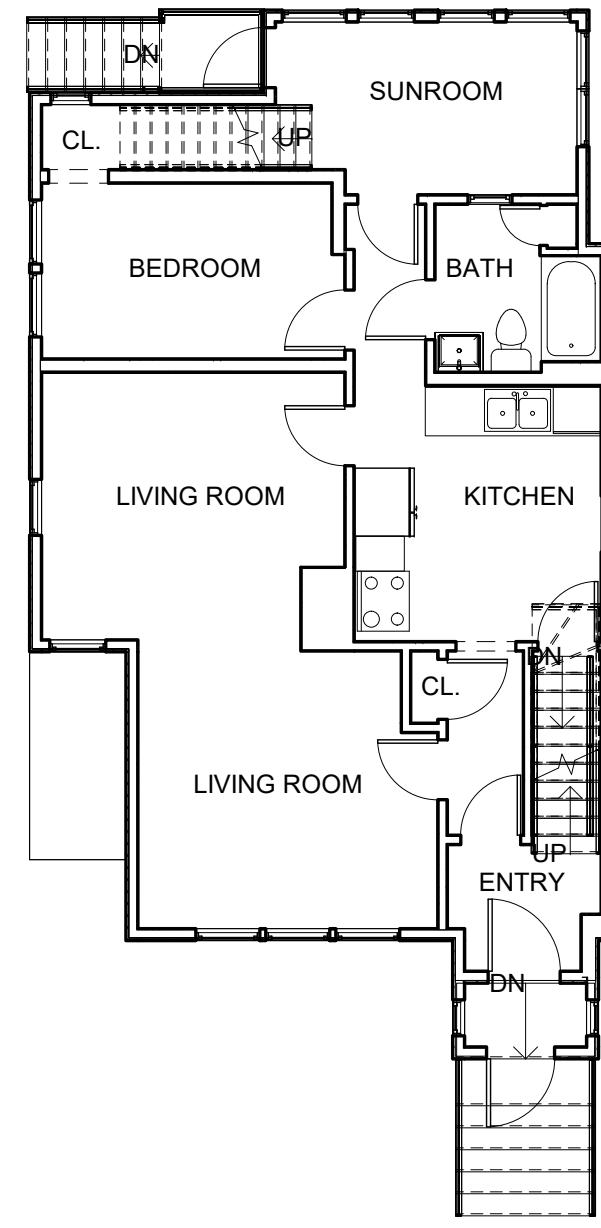
**EXISTING PHOTOS**

**AV-1**

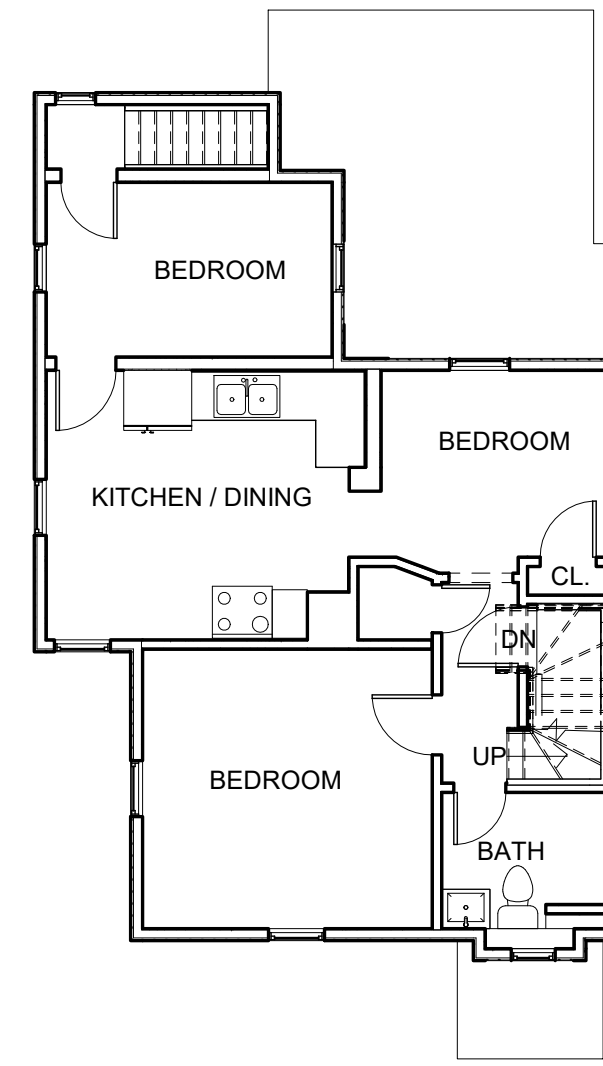
19 COTTAGE PARK AVE.



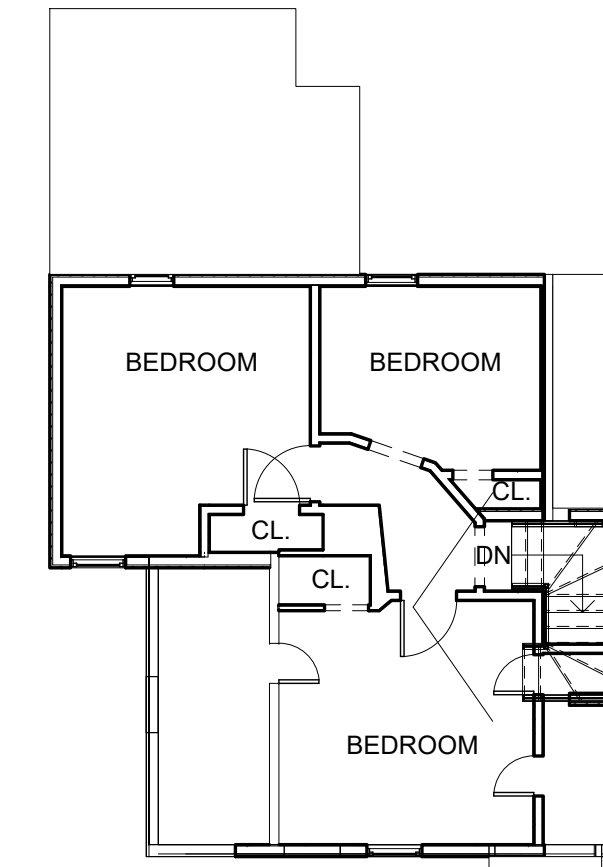
1 EXISTING - BASEMENT  
1/8" = 1'-0"



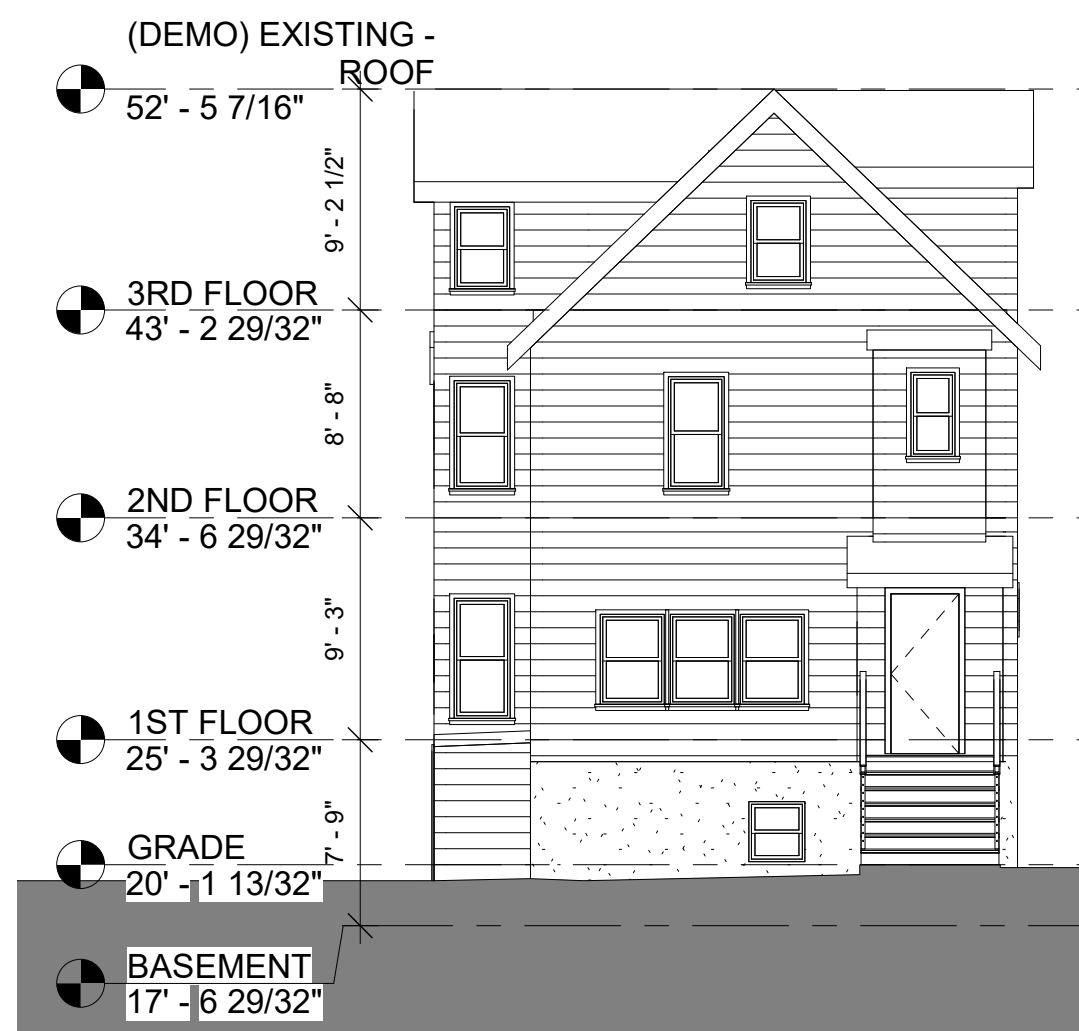
2 EXISTING - 1ST FLOOR  
1/8" = 1'-0"



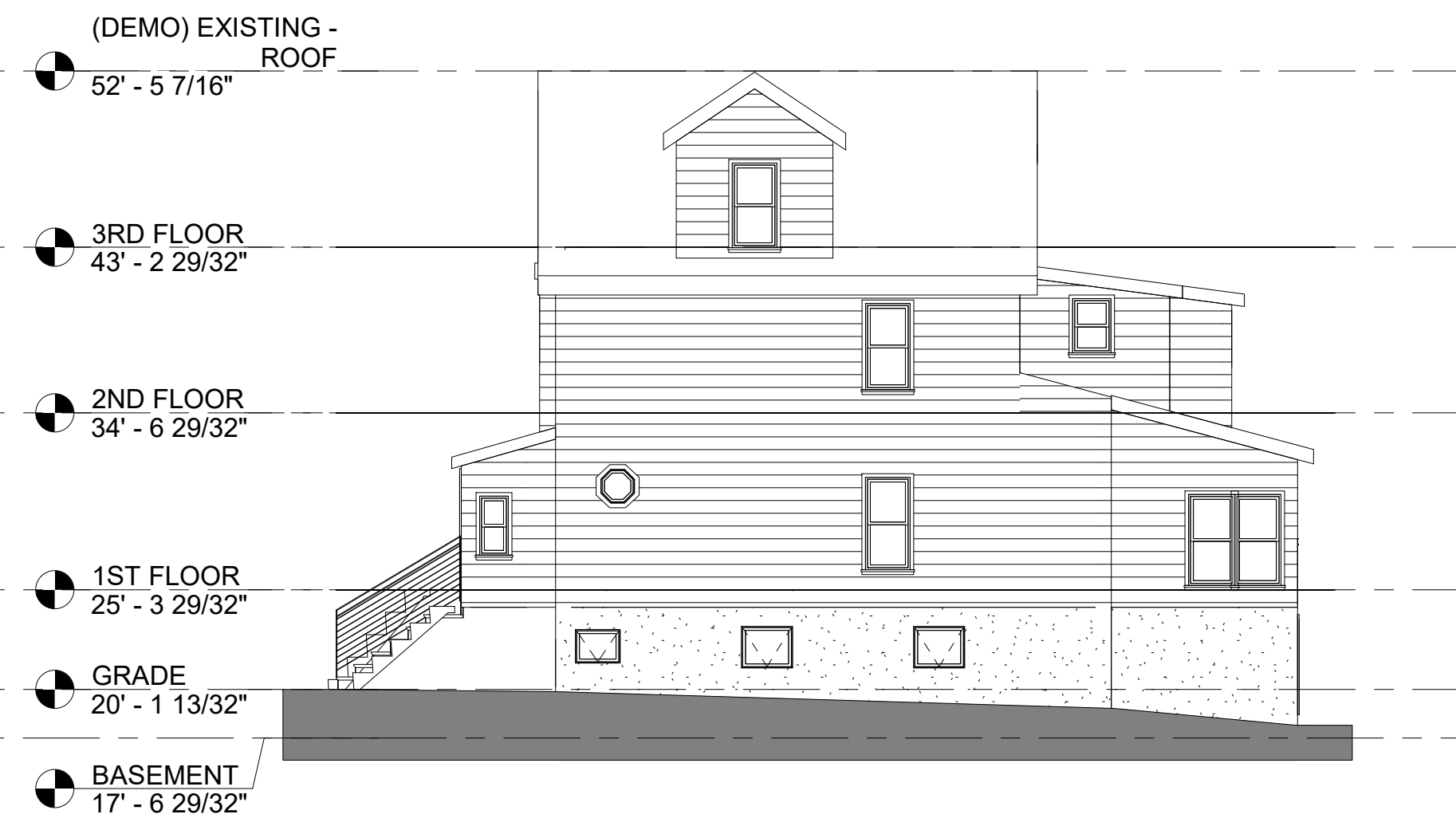
3 EXISTING - 2ND FLOOR  
1/8" = 1'-0"



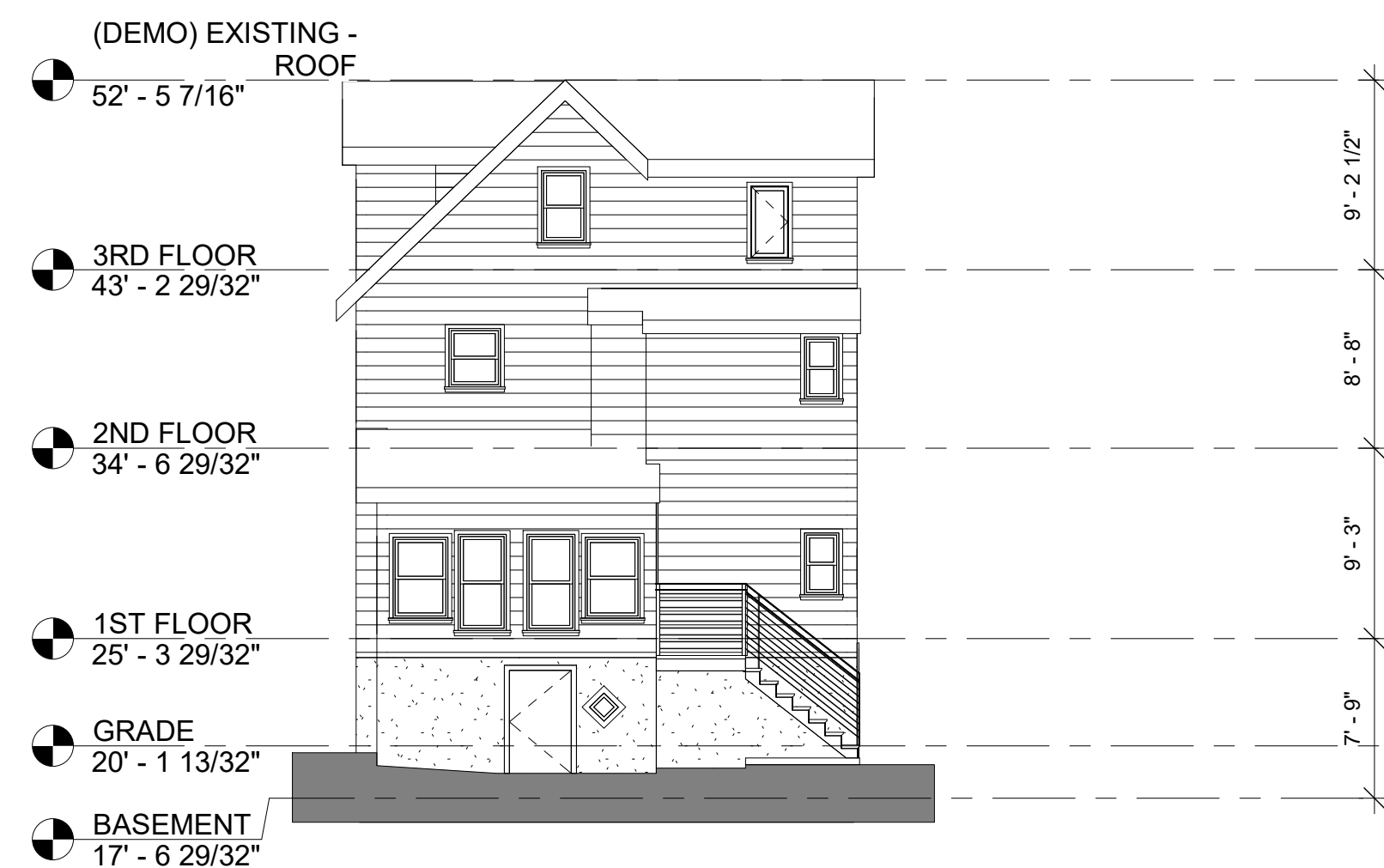
4 EXISTING - 3RD FLOOR  
1/8" = 1'-0"



5 EXISTING - FRONT ELEVATION  
1/8" = 1'-0"



6 EXISTING - RIGHT ELEVATION  
1/8" = 1'-0"



7 EXISTING - REAR ELEVATION  
1/8" = 1'-0"



8 EXISTING - LEFT ELEVATION  
1/8" = 1'-0"

**PROJECT NAME**  
**19 COTTAGE PARK AVE.**

**PROJECT ADDRESS**  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

**CLIENT**  
**NEW AGE PROPERTIES**

**ARCHITECT**



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SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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**REGISTRATION**

Project number	22071
Date	08/11/2023
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

**REVISIONS**

No.	Description	Date

**EXISTING CONDITIONS**

**EX-100**

19 COTTAGE PARK AVE.

I:\gserver\Draw\2222071\_New Age Properties\_19 Cottage Park Ave Cambridge\_03 Drawings\00\_ARCH\_SD\_DD\Archives\22071\_New Age Properties\_19 Cottage Park Ave Cambridge - Existing Conditions.rvt 8/11/2023 10:01:17 AM

PROJECT NAME

**19 COTTAGE PARK  
AVE.**

PROJECT ADDRESS  
19 COTTAGE  
PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

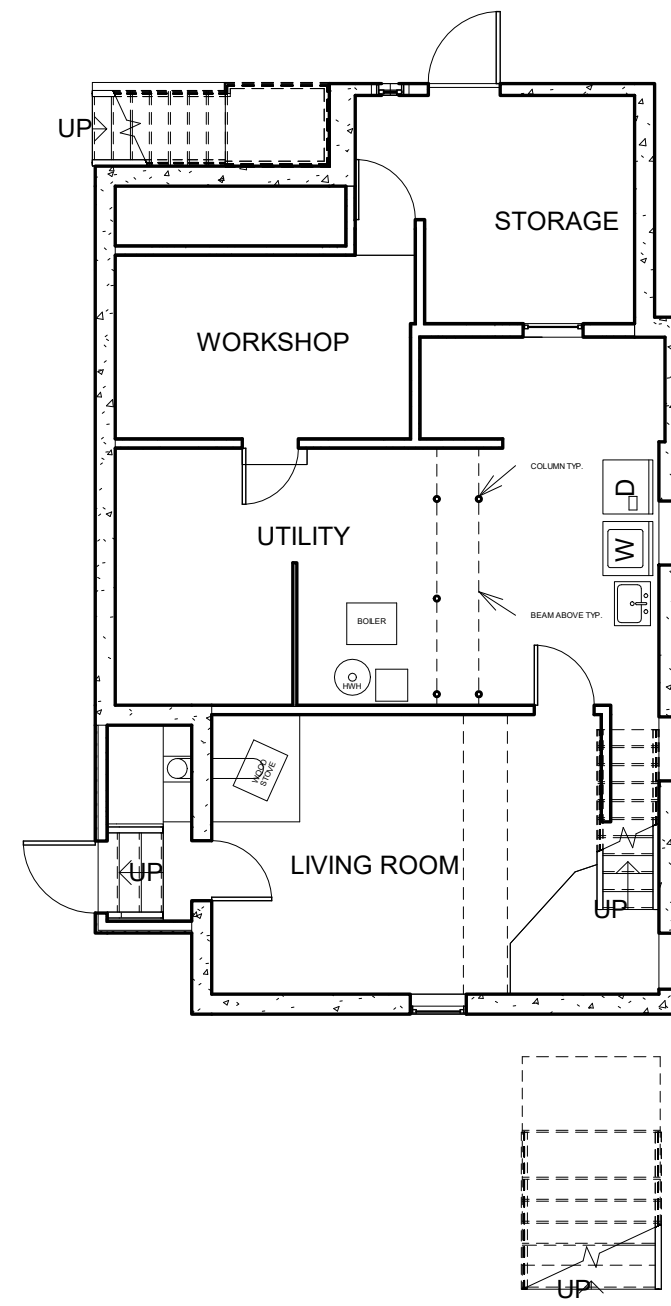
**NEW AGE  
PROPERTIES**

ARCHITECT

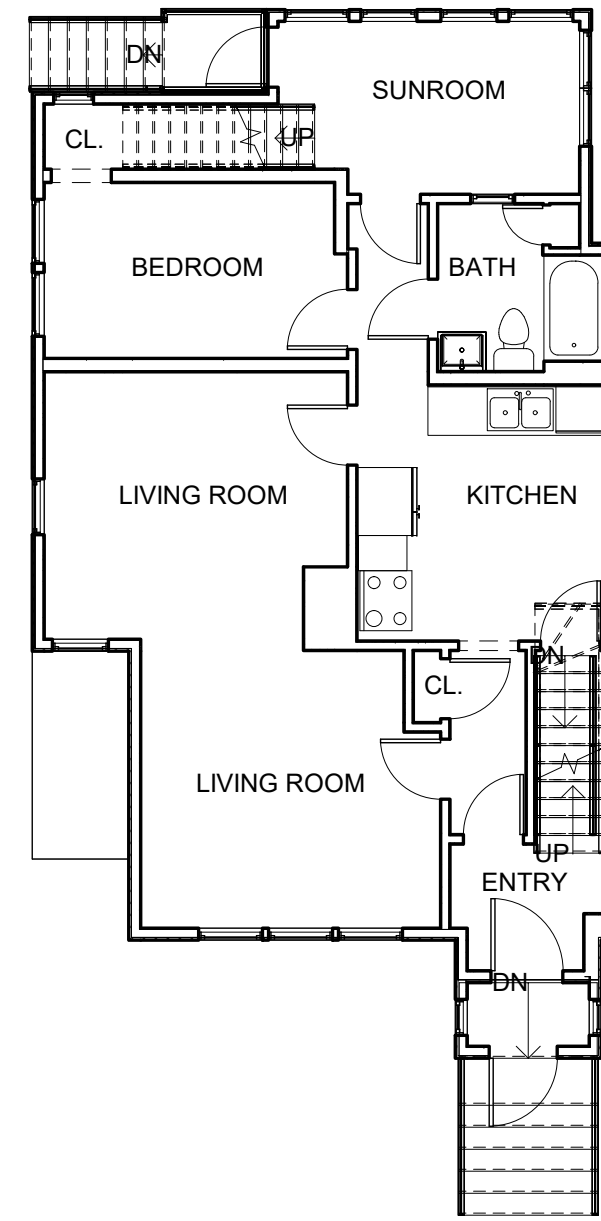


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SOMERVILLE, MA 02143  
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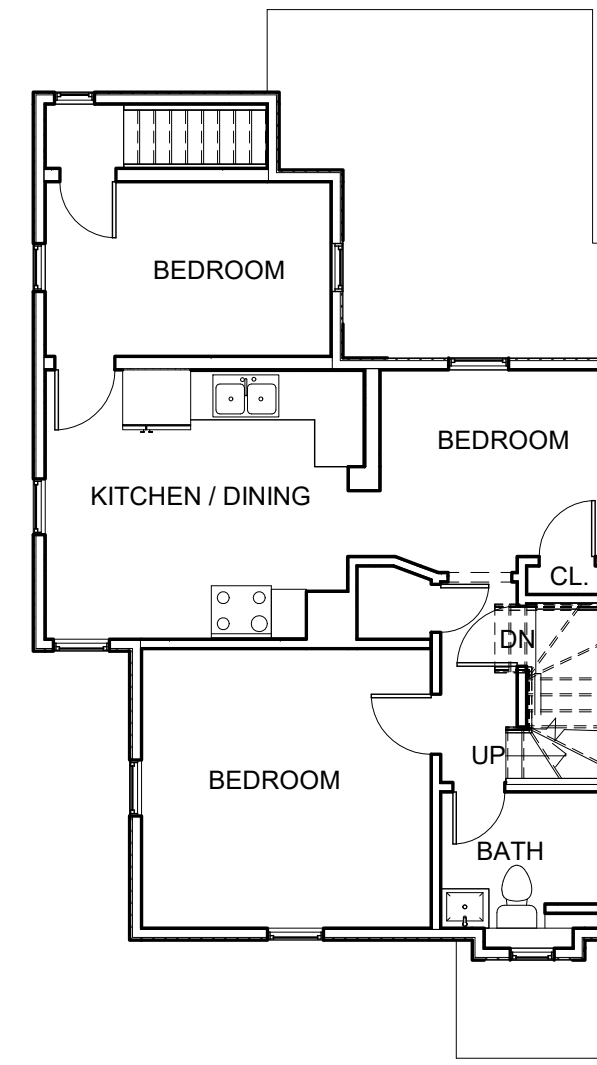
CONSULTANTS:



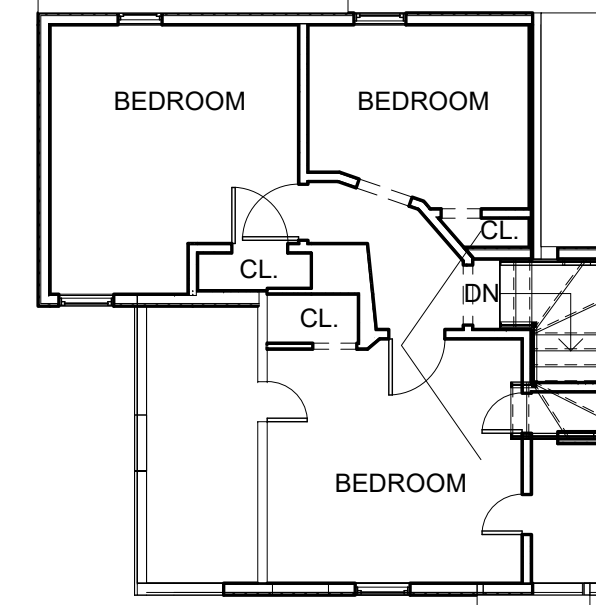
① (DEMO) EXISTING - BASEMENT  
1/8" = 1'-0"



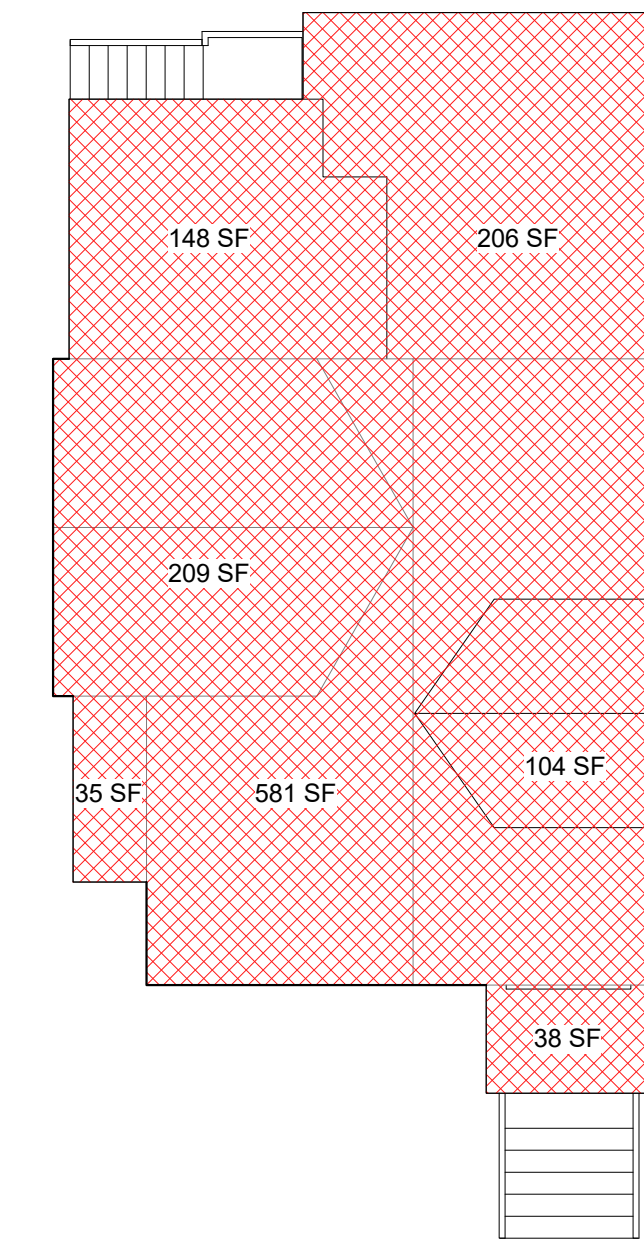
② (DEMO) EXISTING - 1ST FLOOR  
1/8" = 1'-0"



③ (DEMO) EXISTING - 2ND FLOOR  
1/8" = 1'-0"



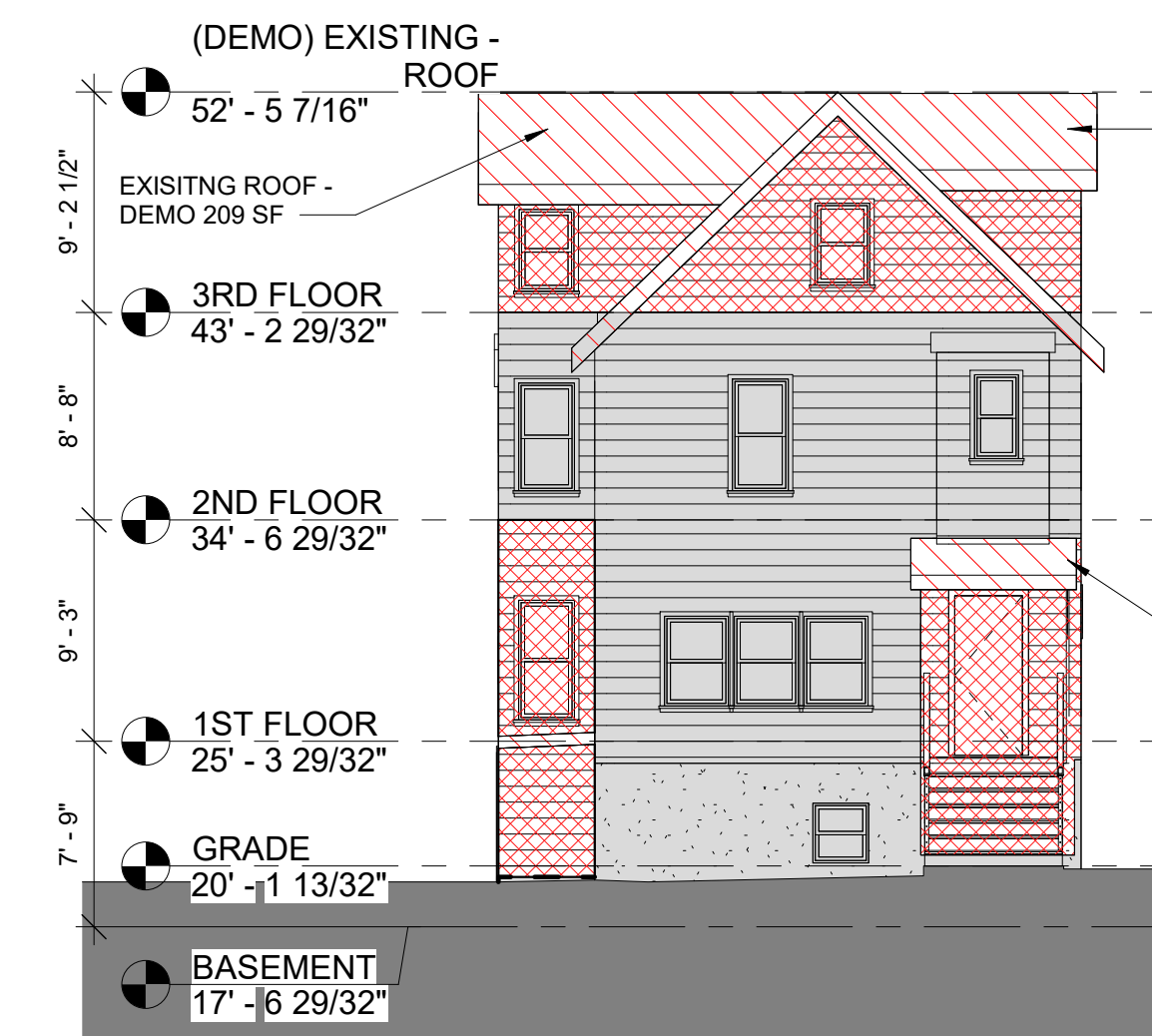
④ (DEMO) EXISTING - 3RD FLOOR  
1/8" = 1'-0"



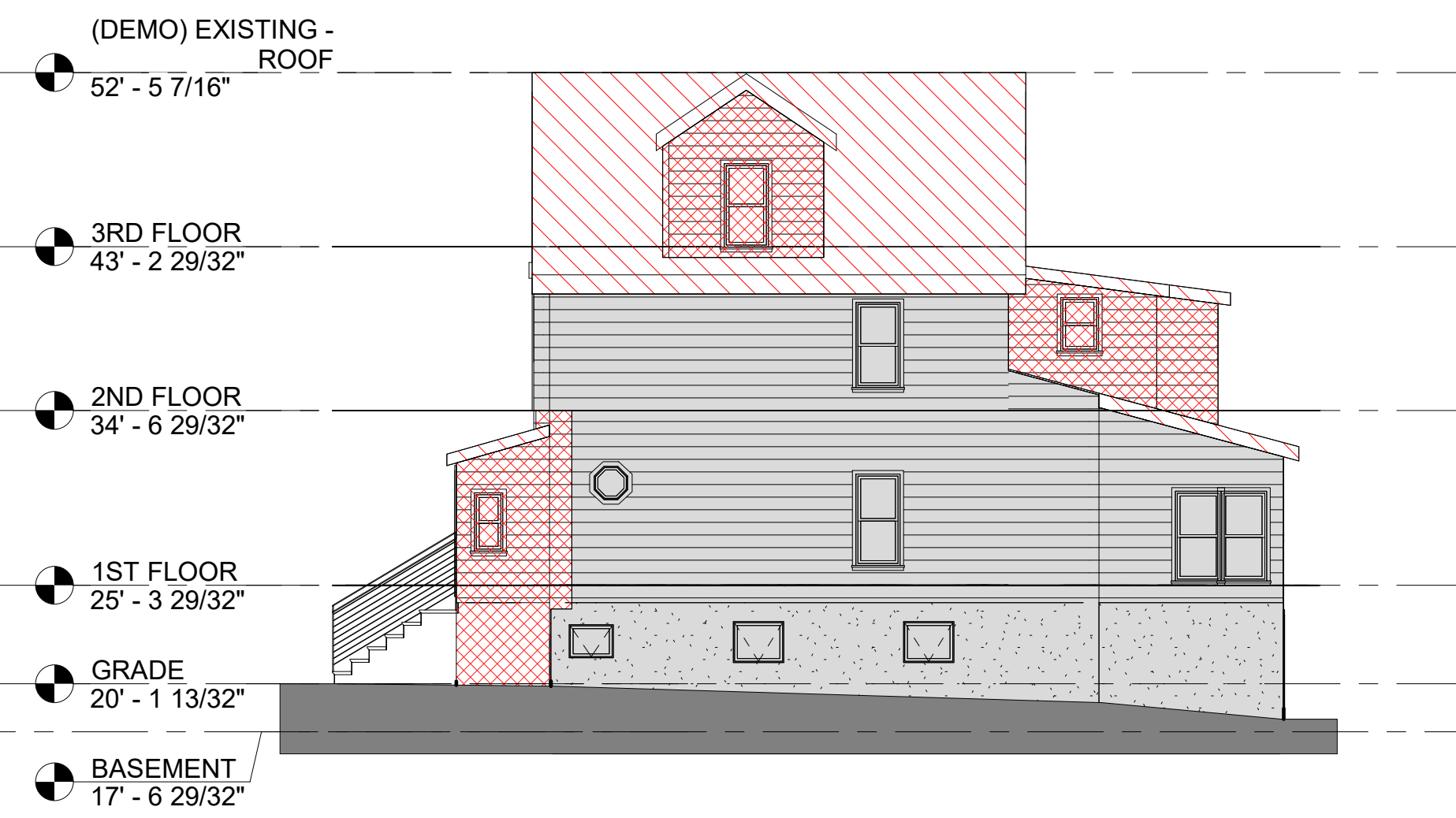
⑤ (DEMO) EXISTING - ROOF  
1/8" = 1'-0"

	SURFACE AREA DEMOLITION %		
	EXISTING S.F.	DEMO S.F.	REMAINING S.F.
FRONT ELEVATION	858 S.F.	249 S.F.	609 S.F.
REAR ELEVATION	856 S.F.	506 S.F.	350 S.F.
RIGHT ELEVATION	1,271 S.F.	212 S.F.	1,059 S.F.
LEFT ELEVATION	1,264 S.F.	108 S.F.	1,156 S.F.
ROOF	1,321 S.F.	1,321 S.F.	-
TOTAL	5,570 S.F.	2,396 S.F.	3,174 S.F.

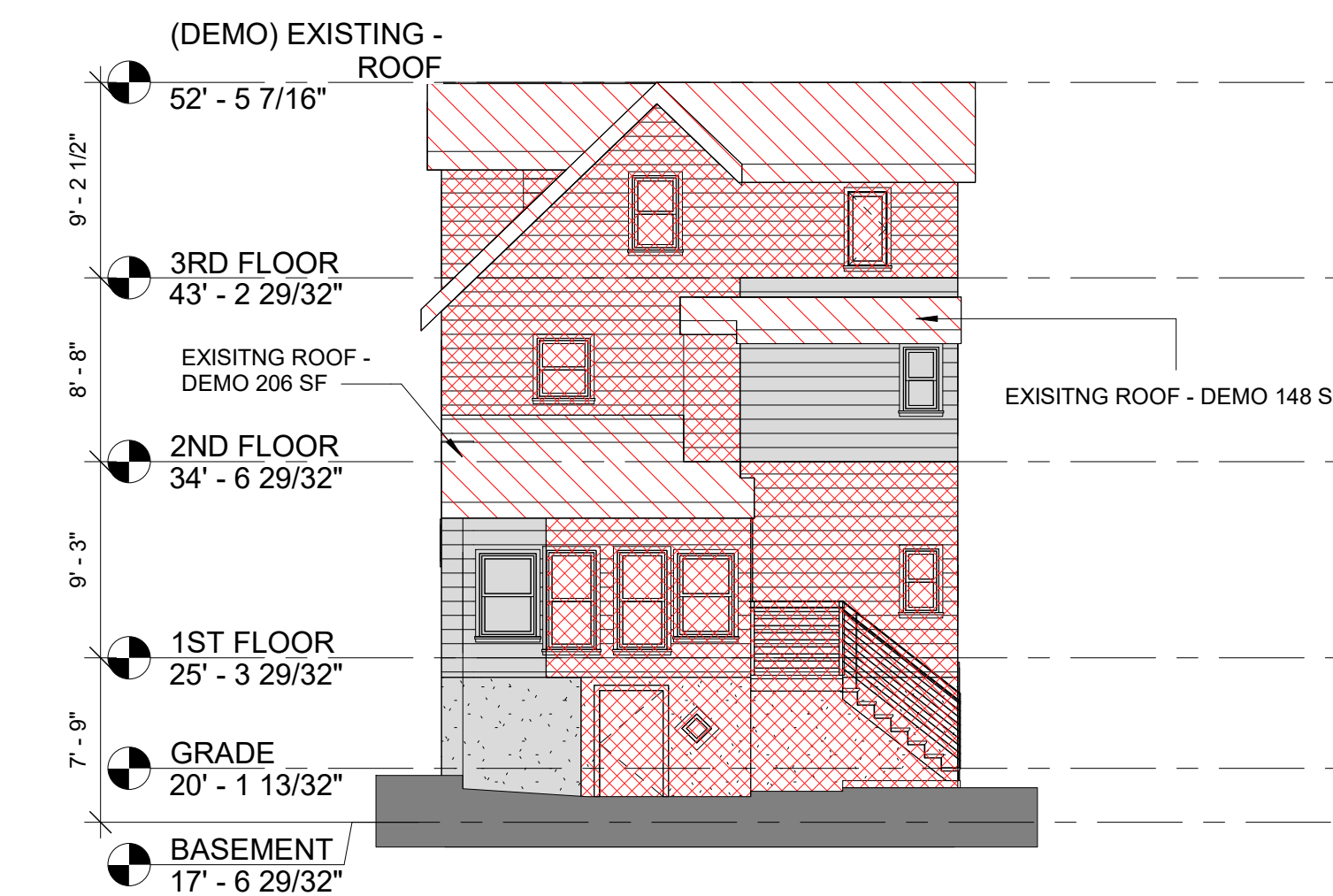
PROPOSED DEMOLITION IS 43% OF EXISTING SURFACE AREA  
REMAINING AREA IS 57% OF EXISTING SURFACE AREA



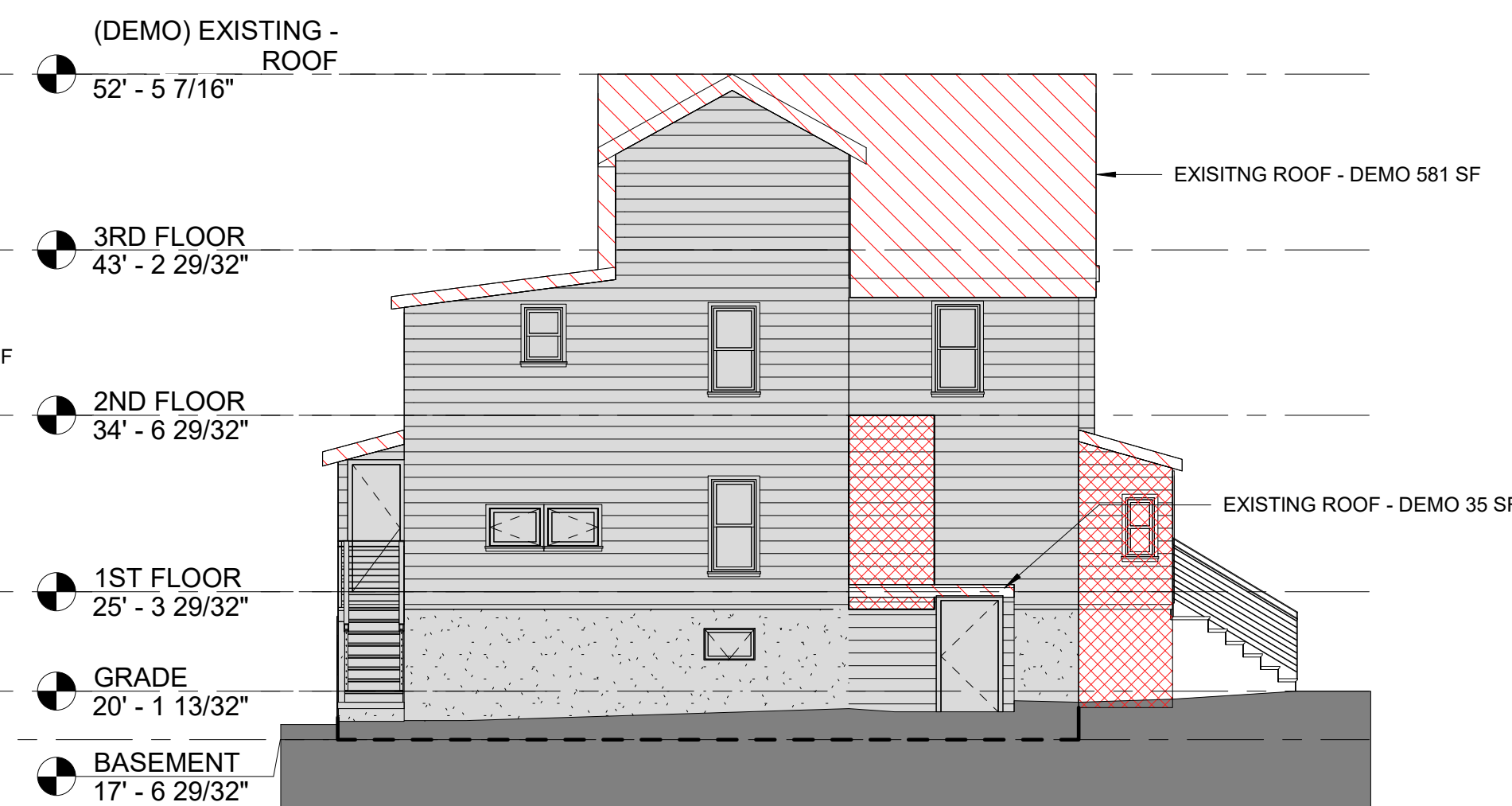
⑥ (DEMO) EXISTING - FRONT ELEVATION  
1/8" = 1'-0"



⑦ (DEMO) EXISTING - RIGHT ELEVATION  
1/8" = 1'-0"



⑧ (DEMO) EXISTING - REAR ELEVATION  
1/8" = 1'-0"



⑨ (DEMO) EXISTING - LEFT ELEVATION  
1/8" = 1'-0"

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Project number 22071  
Date 08/11/2023  
Drawn by KC  
Checked by TC  
Scale As indicated

REVISIONS

No.	Description	Date

**DEMO PLANS  
AND  
ELEVATIONS**

**D-100**

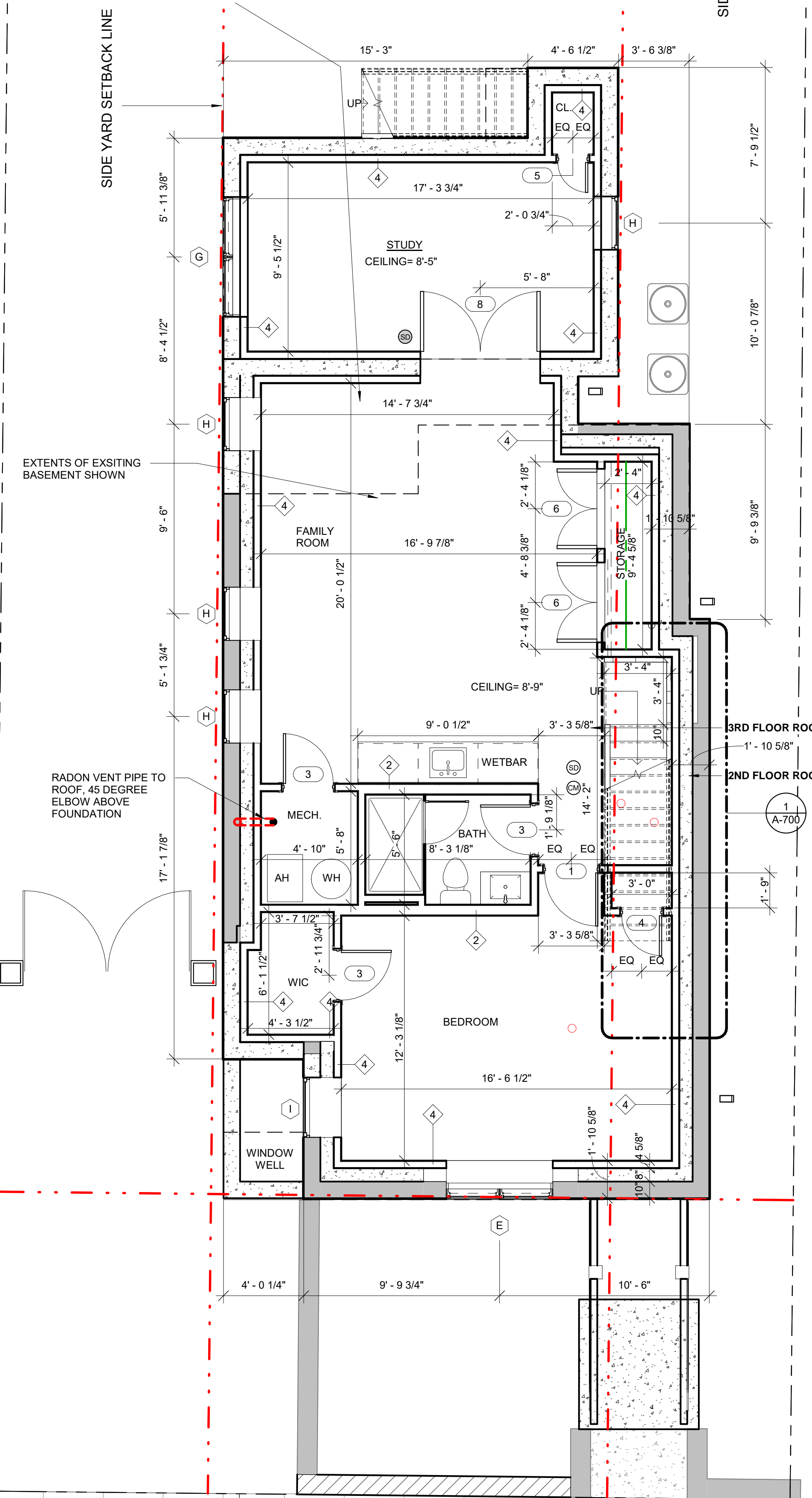
19 COTTAGE PARK AVE.

I:\gserver\Data\22071\_19 Cottage Park Ave Cambridge\03 Drawings\00\_ARCH\_SD\_DD\22071\_19 Cottage Park Ave Cambridge - Existing Conditions.rvt 8/11/2023 10:01:10 AM

Cambridge Zoning Ordinance Section: 8.22.1

f. Conforming additions, under Article 5.000, to a structure not conforming to the requirements of Article 5.000 provided that no nonconforming element or aspect of the nonconforming structure is extended or increased and further provided that the nonconforming structure is not thereby increased in area or volume by more than ten (10) percent since the structure first became nonconforming.

93 SF ADDITION PROPOSED @ 1ST FLOOR

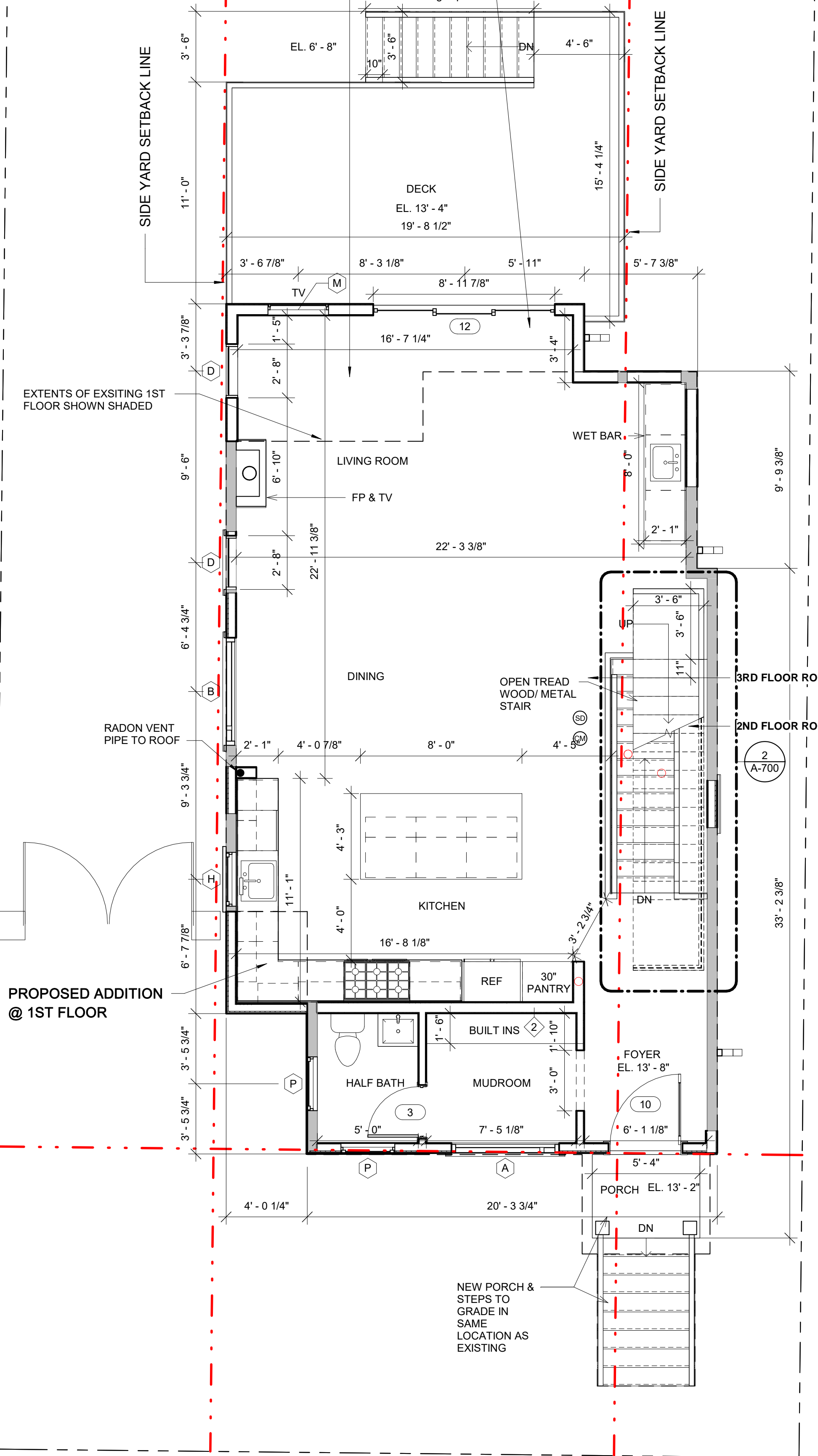


1 BASEMENT  
1/4" = 1'-0"

Cambridge Zoning Ordinance Section: 8.22.1

f. Conforming additions, under Article 5.000, to a structure not conforming to the requirements of Article 5.000 provided that no nonconforming element or aspect of the nonconforming structure is extended or increased and further provided that the nonconforming structure is not thereby increased in area or volume by more than ten (10) percent since the structure first became nonconforming.

PROPOSED ADDITION @ 1ST FLOOR



2 1ST FLOOR  
1/4" = 1'-0"

**LEGEND**

	NEW WALL		CARBON MONOXIDE DETECTOR
	EXISTING TO REMAIN		SMOKE DETECTOR
	WALL TYPE		

**GENERAL FLOOR PLAN NOTES**

- ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
- FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
- ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
- UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
- UNLESS OTHERWISE NOTED ALL EXTERIOR NEW WALLS SHALL BE TYPE "5"
- SEE A-910 FOR PARTITION TYPES.
- MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
- ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
- ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
- ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
- SEE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION & CIVIL PLAN FOR ADDITIONAL INFORMATION
- UNLESS OTHERWISE NOTED CENTER CLOSET DOOR ON CLOSET.

PROJECT NAME

**19 COTTAGE PARK AVE.**

PROJECT ADDRESS  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

**NEW AGE PROPERTIES**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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REGISTRATION



Project number	22071
Date	08/11/2023
Drawn by	KC
Checked by	TC
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

**BASEMENT & FIRST FLOOR PLAN**

**A-100**

19 COTTAGE PARK AVE.



PROJECT NAME

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Date 08/11/2023  
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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

SECOND & THIRD FLOOR PLAN

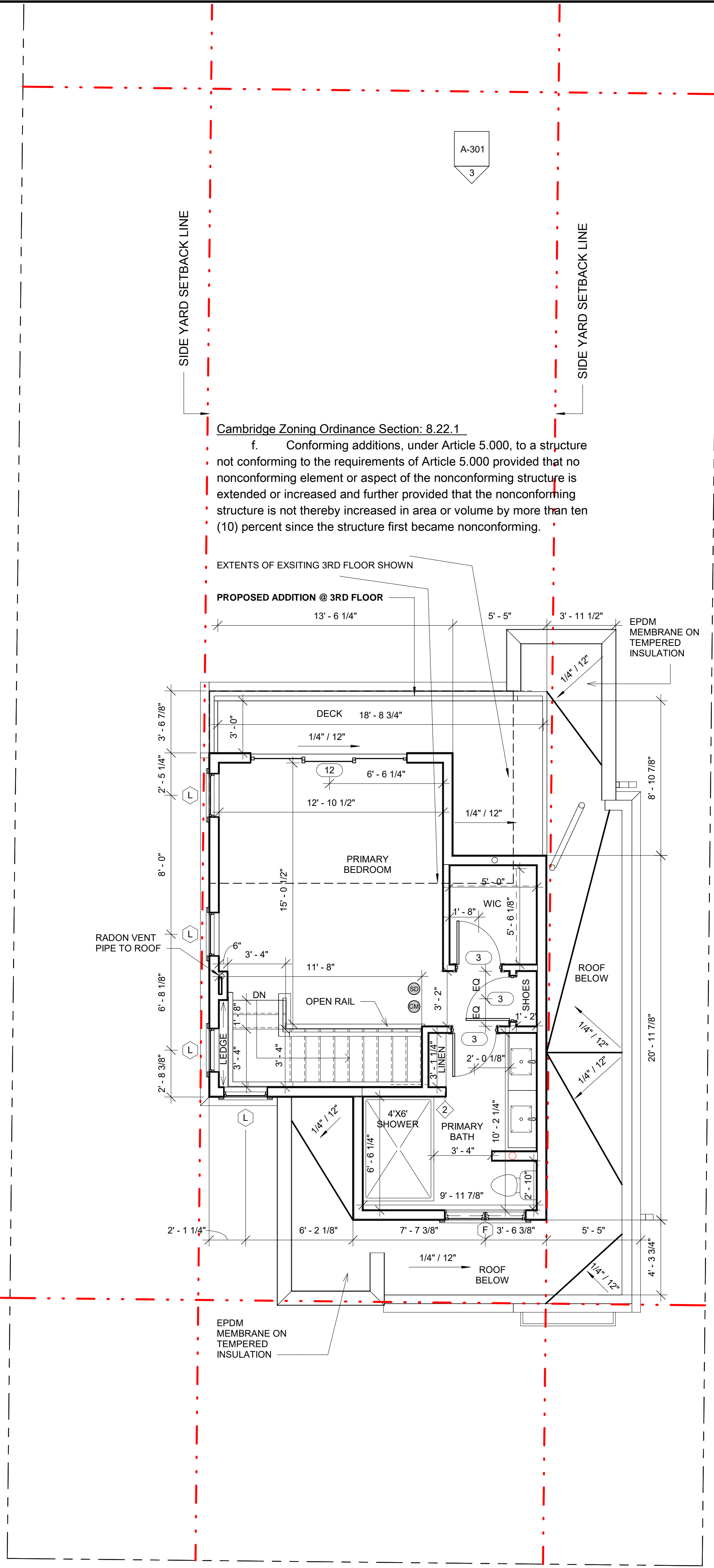
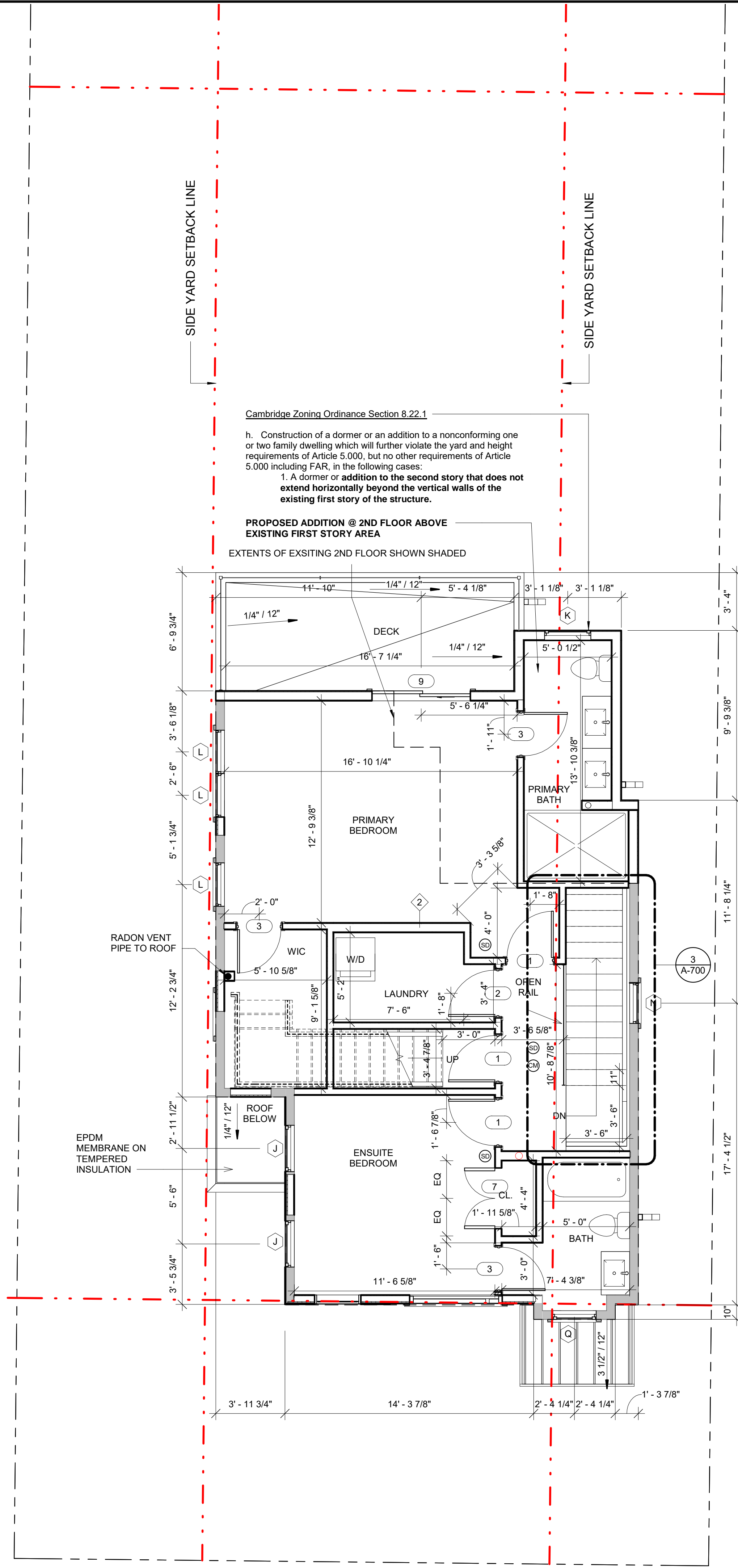
A-101

19 COTTAGE PARK AVE.

**LEGEND**

	NEW WALL		CARBON MONOXIDE DETECTOR
	EXISTING TO REMAIN		SMOKE DETECTOR
	WALL TYPE		

- GENERAL FLOOR PLAN NOTES**
- ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
  - FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
  - ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
  - UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
  - UNLESS OTHERWISE NOTED ALL EXTERIOR NEW WALLS SHALL BE TYPE "5"
  - SEE A-910 FOR PARTITION TYPES.
  - MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
  - SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
  - ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
  - ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
  - ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
  - CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
  - SEE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION & CIVIL PLAN FOR ADDITIONAL INFORMATION
  - UNLESS OTHERWISE NOTED CENTER CLOSET DOOR ON CLOSET.



1 2ND FLOOR  
1/4" = 1'-0"

2 3RD FLOOR  
1/4" = 1'-0"

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PROJECT NAME

**19 COTTAGE PARK  
AVE.**

PROJECT ADDRESS  
19 COTTAGE  
PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

**NEW AGE  
PROPERTIES**

ARCHITECT



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Date 08/11/2023  
Drawn by KC  
Checked by TC  
Scale 1/4" = 1'-0"

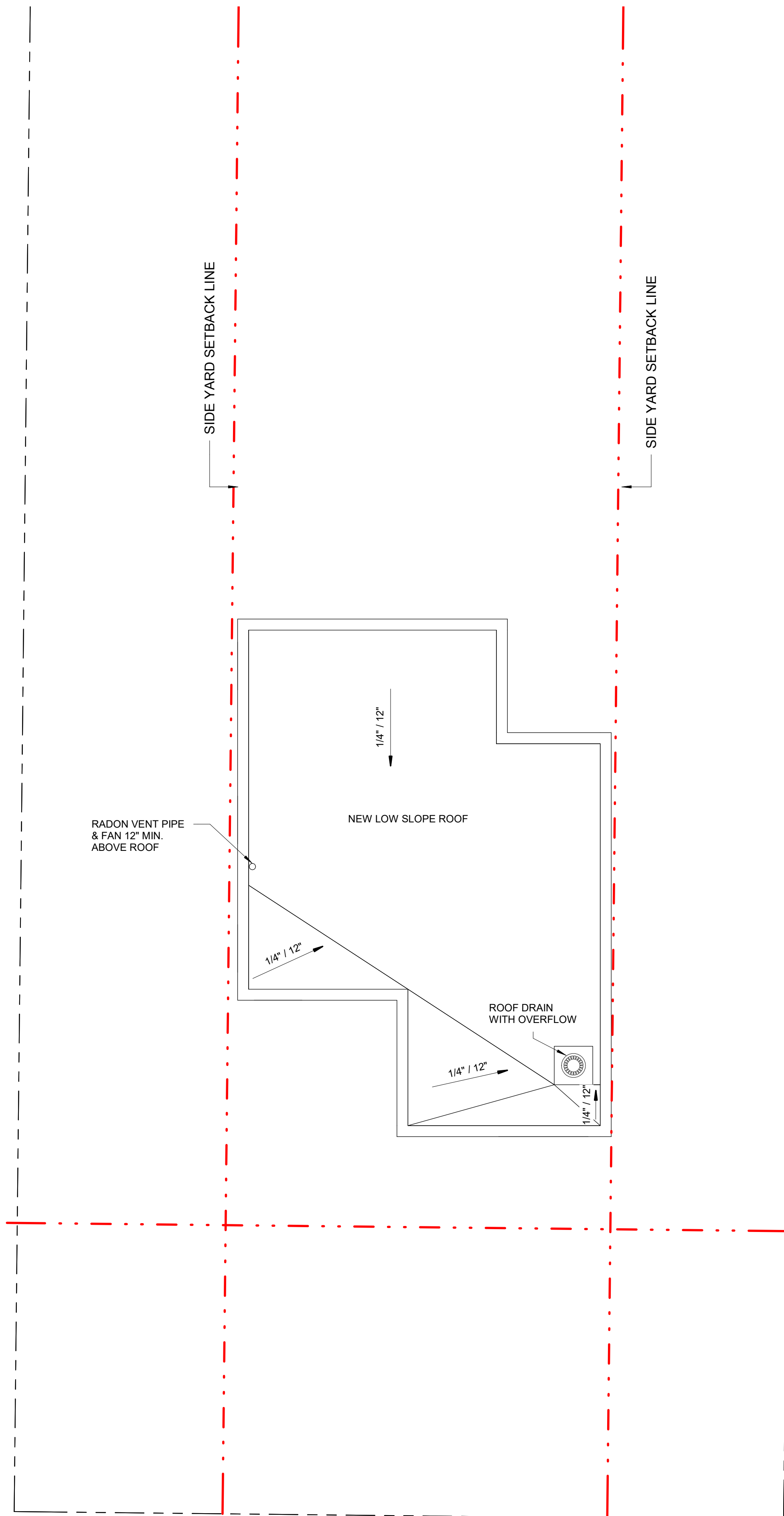
REVISIONS

No.	Description	Date

ROOF PLAN

**A-102**

19 COTTAGE PARK AVE.



1 T.O. ROOF- NEW  
1/4" = 1'-0"

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1 FRONT ELEVATION  
1/4" = 1'-0"

**MATERIAL LIST**

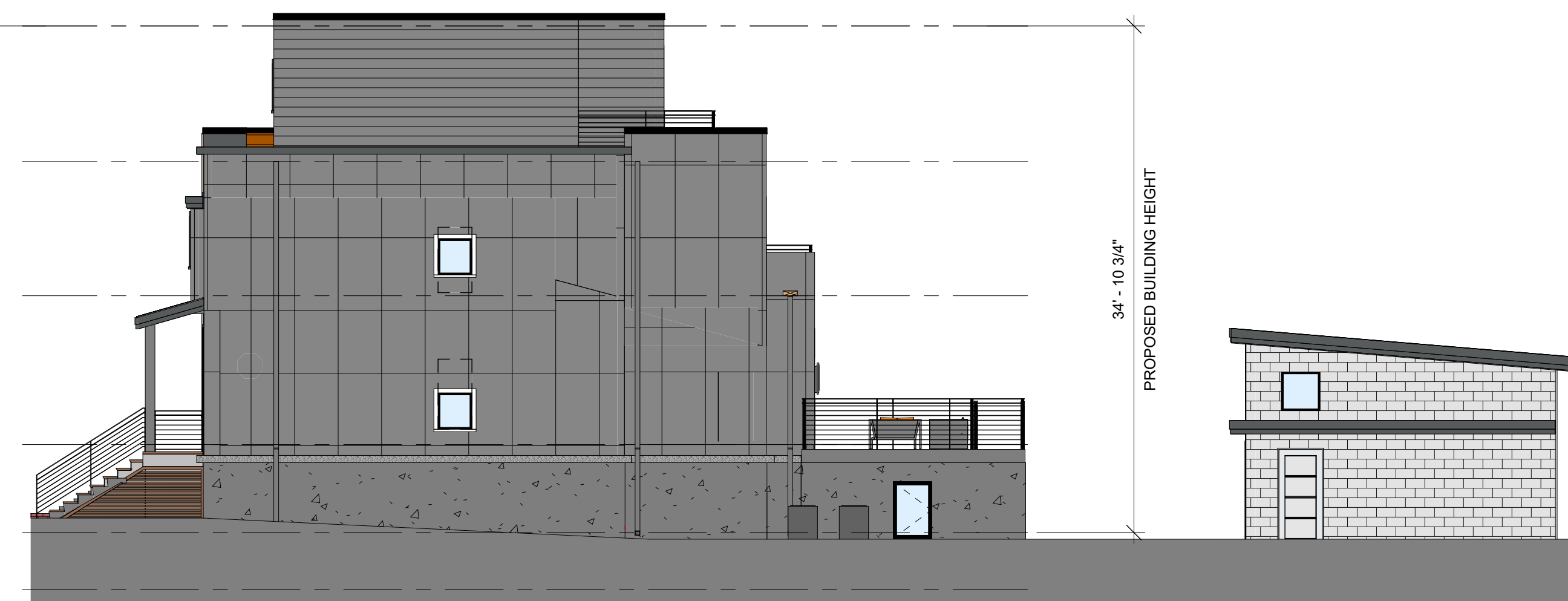
- 8" HARDIE LAPSIDING  
COLOR: NIGHT GRAY
- HARDIE VERTICAL PANEL  
COLOR: NIGHT GRAY
- CEDAR CLAPBOARD
- STONE VEENER  
COLOR: TBD

**Proposed Average Grade Calculation**

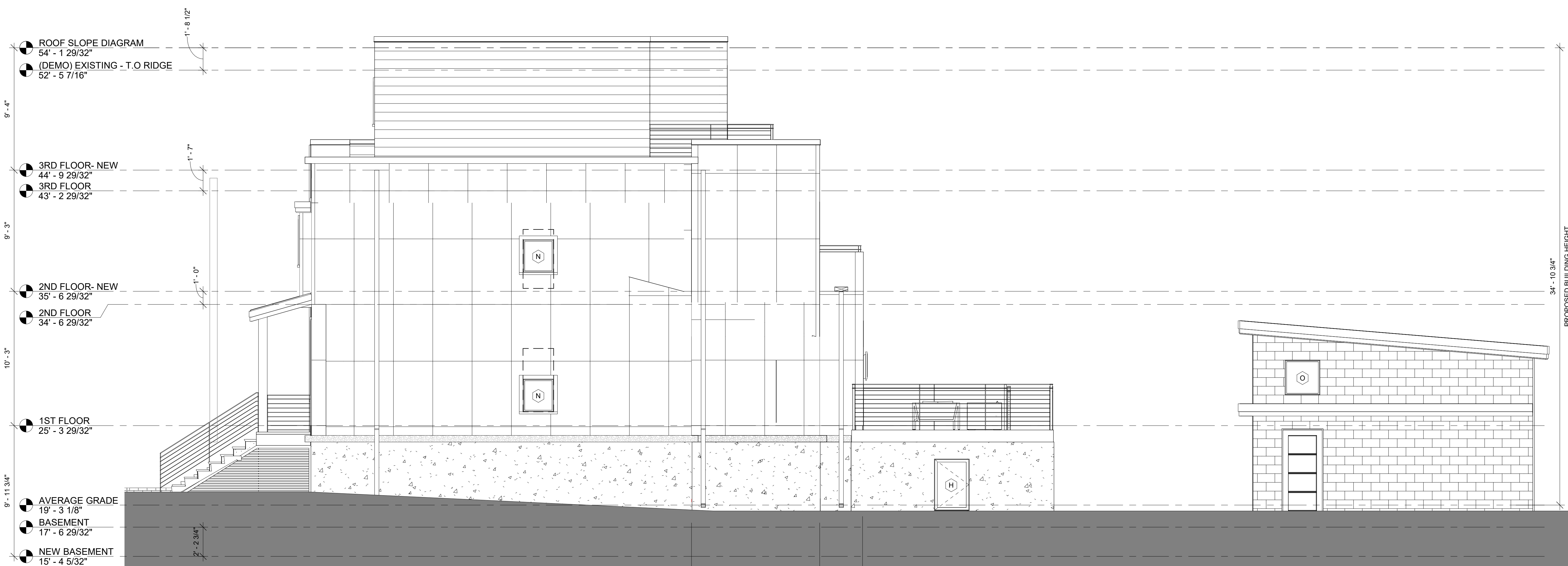
Reference Number	Length (ft)	Grade (ft)	Length X Grade
1	24.3	8	194.4
2	34	7.9	268.6
3	9.7	7.2	69.8
3B	3.3	7.2	23.8
4	1	7.2	7.2
5	23.3	7.2	167.8
7A	3.3	7.1	23.4
7	31.7	7.5	237.8
7B	7.1	6.4	45.4
8	4.9	8	39.2
Total	142.6		1077.4
Average Grade			7.6 Feet



3 MATERIAL KEY - FRONT ELEVATION  
1/8" = 1'-0"



4 MATERIAL KEY - RIGHT ELEVATION  
1/8" = 1'-0"



2 RIGHT ELEVATION  
1/4" = 1'-0"

PROJECT NAME

**19 COTTAGE PARK AVE.**

PROJECT ADDRESS  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT  
**NEW AGE PROPERTIES**

ARCHITECT

**KHALSA**

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**REGISTRATION**

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Date	08/11/2023
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Checked by	TC
Scale	As indicated

**REVISIONS**

No.	Description	Date

**FRONT & RIGHT ELEVATION**

**A-300**  
19 COTTAGE PARK AVE.

PROJECT NAME

19 COTTAGE PARK  
AVE.

PROJECT ADDRESS  
19 COTTAGE  
PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

NEW AGE  
PROPERTIES

ARCHITECT



KHALSA

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SOMERVILLE, MA 02143  
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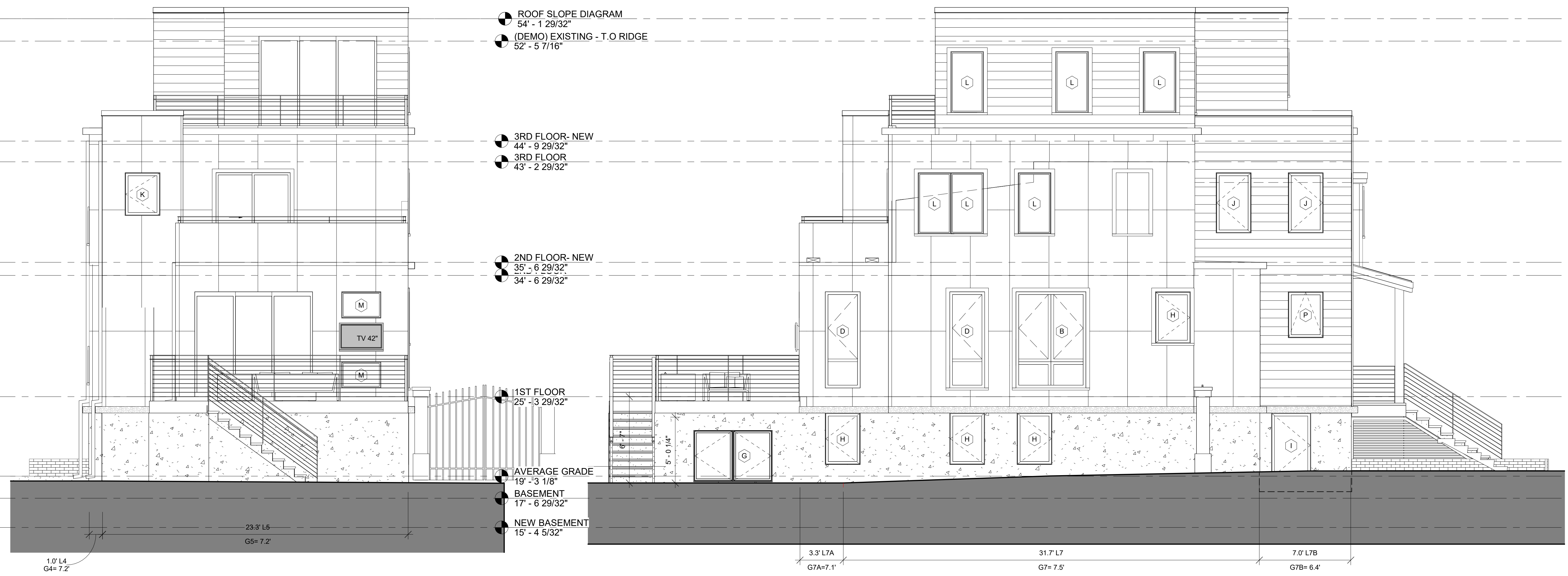
REVISIONS

No.	Description	Date

REAR & LEFT  
ELEVATIONS

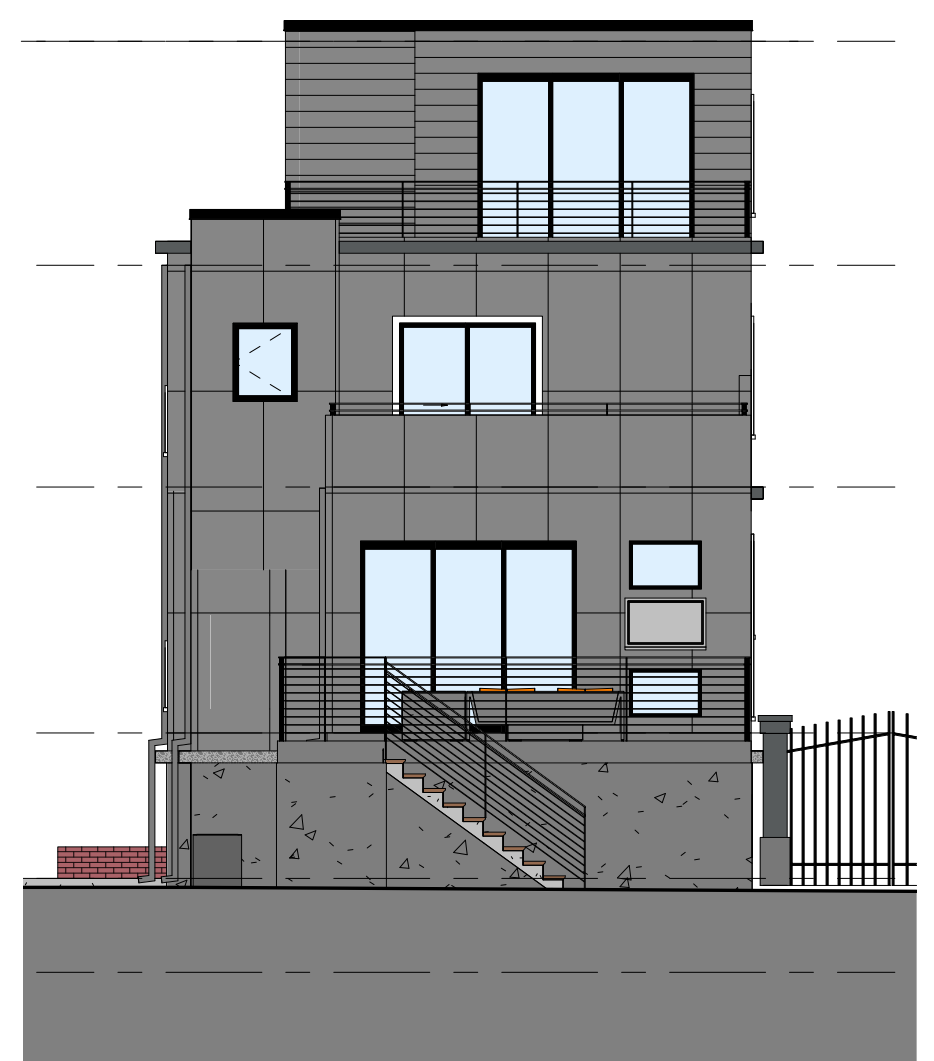
A-301

19 COTTAGE PARK AVE.



1 REAR ELEVATION  
1/4" = 1'-0"

2 LEFT ELEVATION  
1/4" = 1'-0"



3 MATERIAL KEY - REAR ELEVATION  
1/8" = 1'-0"

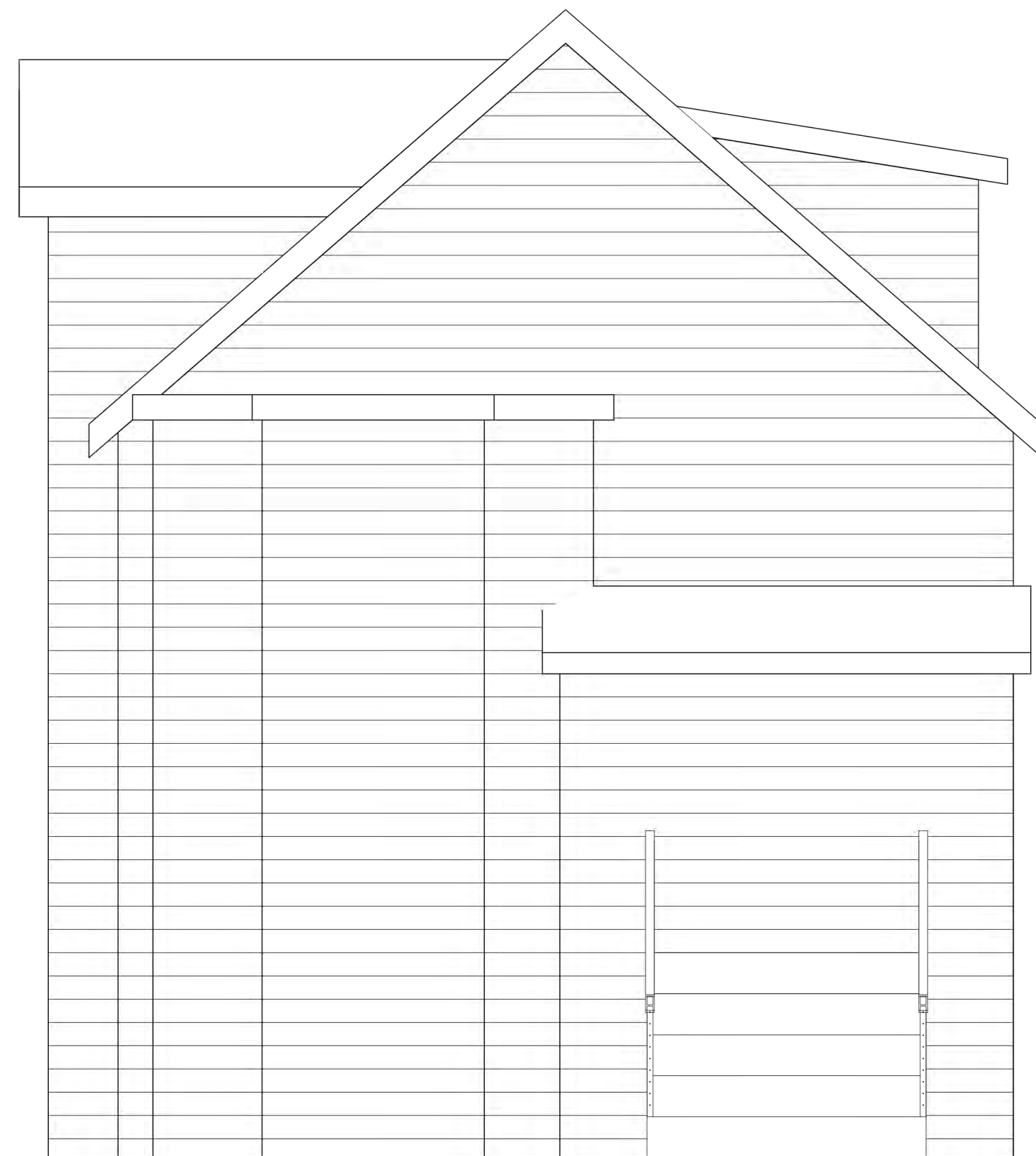


4 MATERIAL KEY - LEFT ELEVATION  
1/8" = 1'-0"

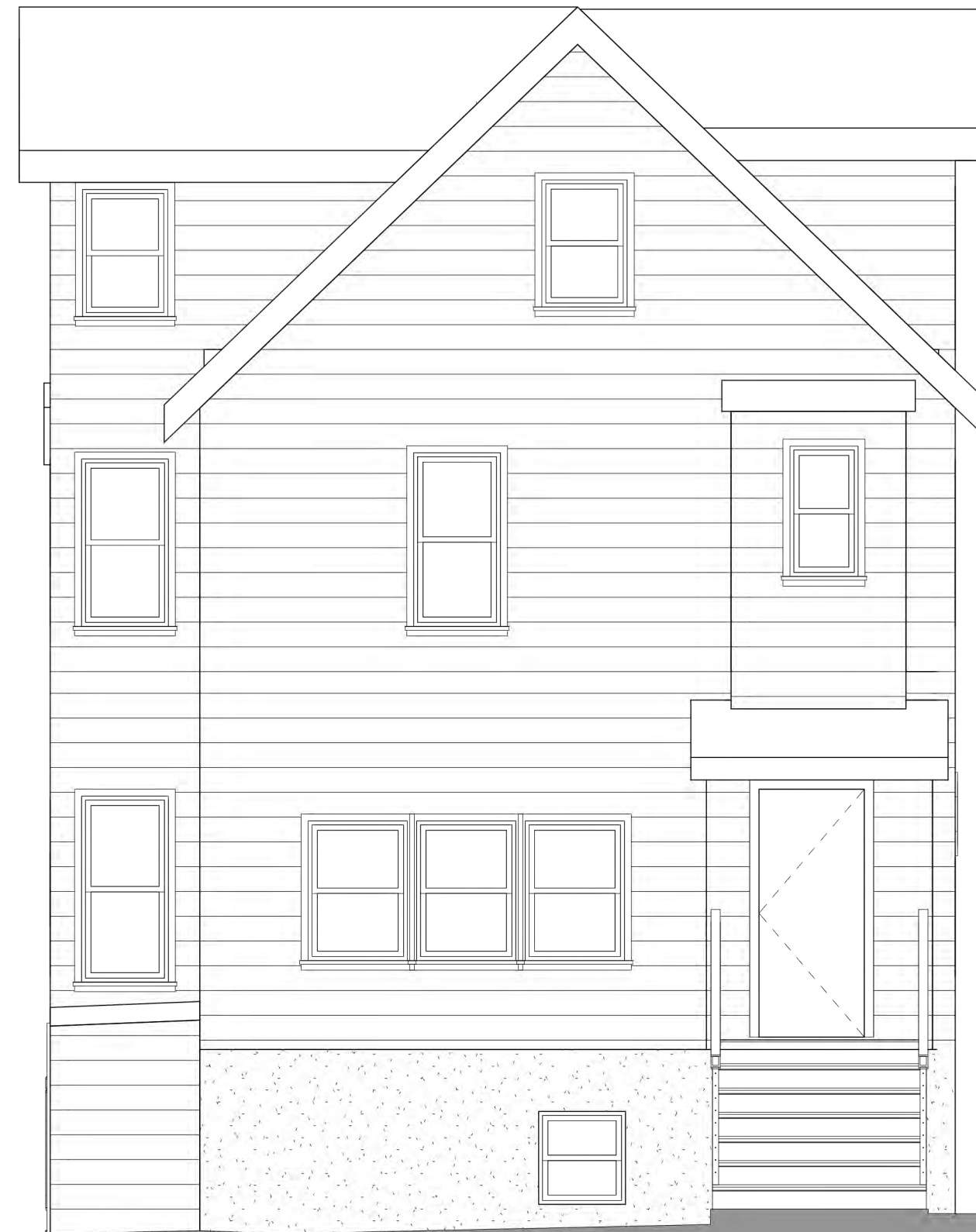
**MATERIAL LIST**

	8" HARDIE LAPSING COLOR: NIGHT GRAY
	HARDIE VERTICAL PANEL COLOR: NIGHT GRAY
	CEDAR CLAPBOARD
	STONE VEENER COLOR: TBD

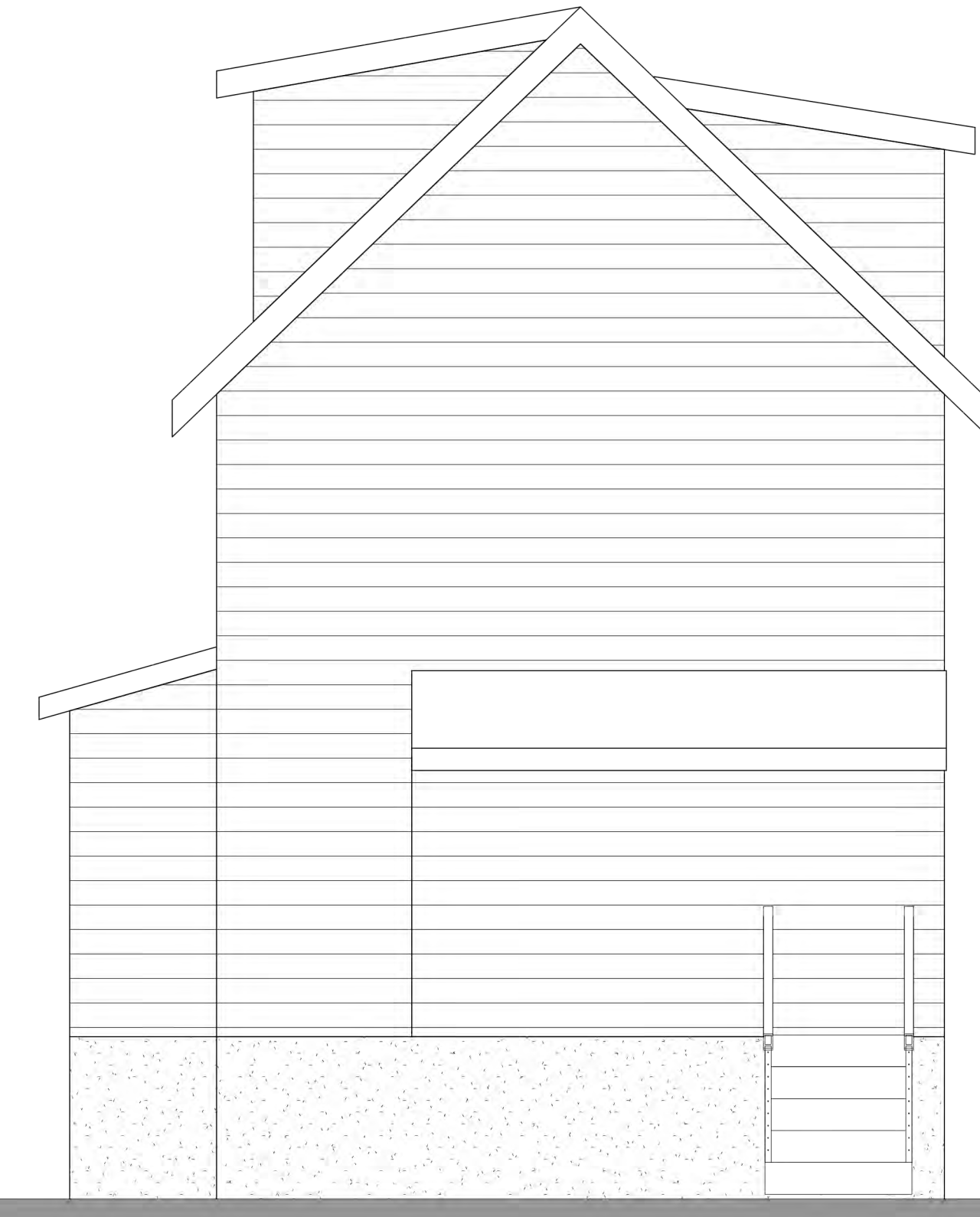
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21 COTTAGE PARK AVE.

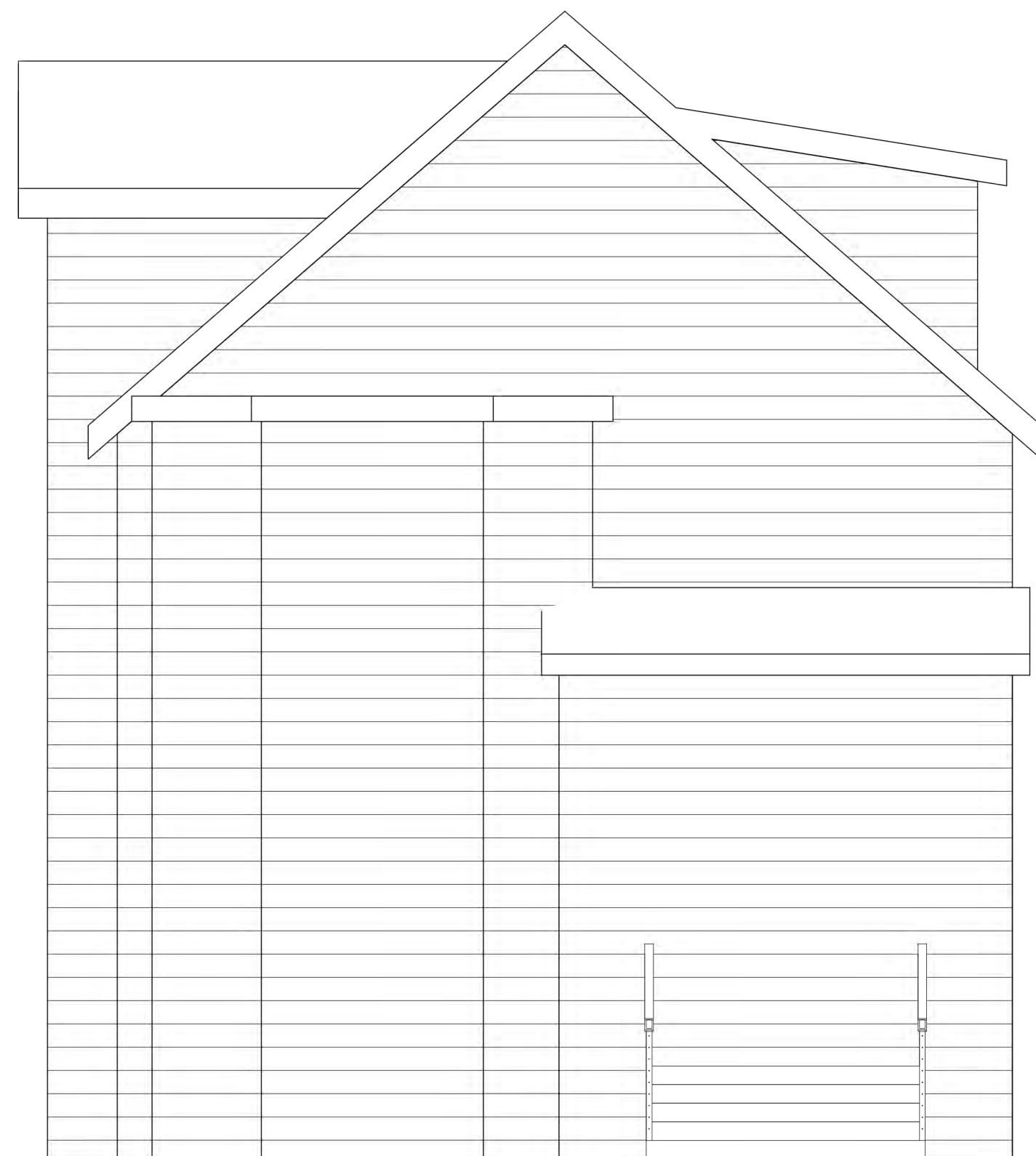


EXISTING  
19 COTTAGE PARK AVE.



13 COTTAGE PARK AVE.

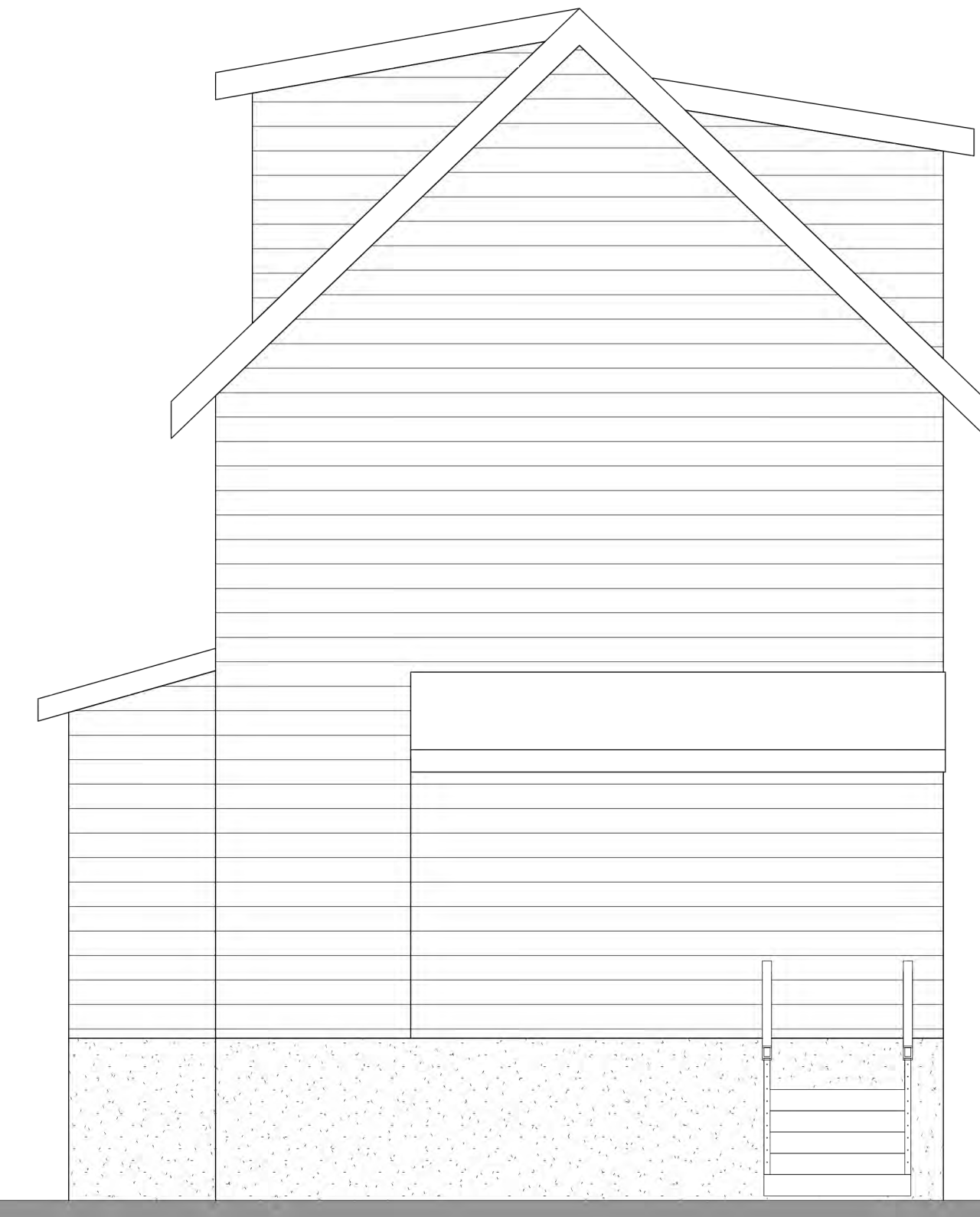
1 EXISTING - COTTAGE PARK AVE.  
(FRONT) CONTEXT ELEVATION  
1/4" = 1'-0"



21 COTTAGE PARK AVE.



PROPOSED  
19 COTTAGE PARK AVE.



13 COTTAGE PARK AVE.

1 PROPOSED - COTTAGE PARK AVE.  
(FRONT) CONTEXT ELEVATION  
1/4" = 1'-0"

PROJECT NAME

19 COTTAGE PARK AVE.

PROJECT ADDRESS  
19 COTTAGE PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

NEW AGE PROPERTIES

ARCHITECT



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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

CONTEXT ELEVATIONS

A-302

19 COTTAGE PARK AVE.



**PROJECT NAME**

**19 COTTAGE PARK  
AVE.**

**PROJECT ADDRESS**  
19 COTTAGE  
PARK AVE.  
CAMBRIDGE, MA 02140

**CLIENT**

**NEW AGE  
PROPERTIES**

**ARCHITECT**



**KHALSA**

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Date 08/11/2023  
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Scale

**REVISIONS**

No.	Description	Date

**STREET  
CONTEXT  
RENDER**

**AV-2**

19 COTTAGE PARK AVE.



FRONT VIEW



FRONT RIGHT VIEW



BACK RIGHT VIEW



BACK LEFT VIEW

PROJECT NAME

**19 COTTAGE PARK  
AVE.**

PROJECT ADDRESS  
19 COTTAGE  
PARK AVE.  
CAMBRIDGE, MA 02140

CLIENT

**NEW AGE  
PROPERTIES**

ARCHITECT



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REVISIONS

No.	Description	Date

RENDERS

**AV-3**  
19 COTTAGE PARK AVE.