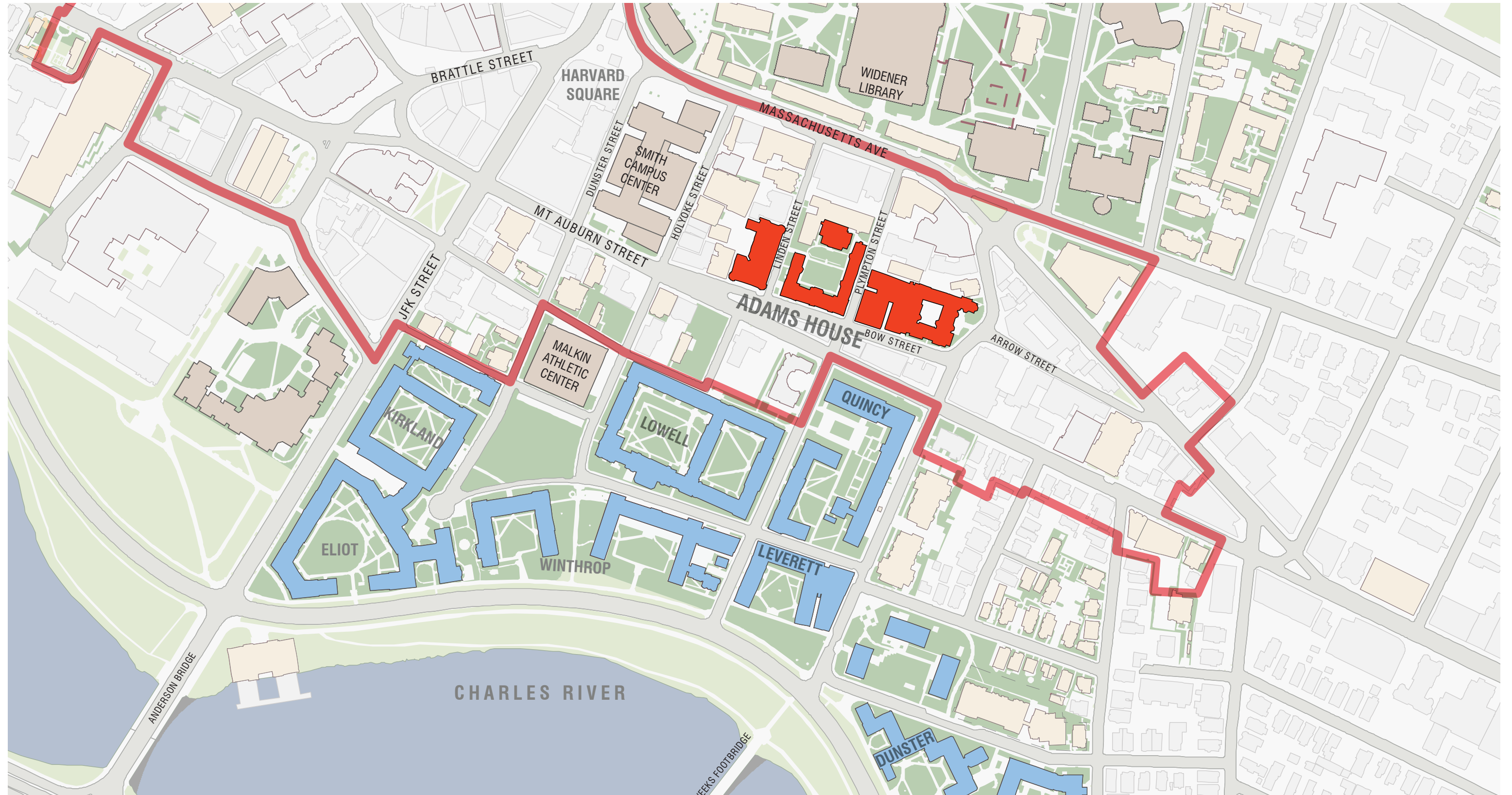


# Neighborhood Plan

Adams House Renewal

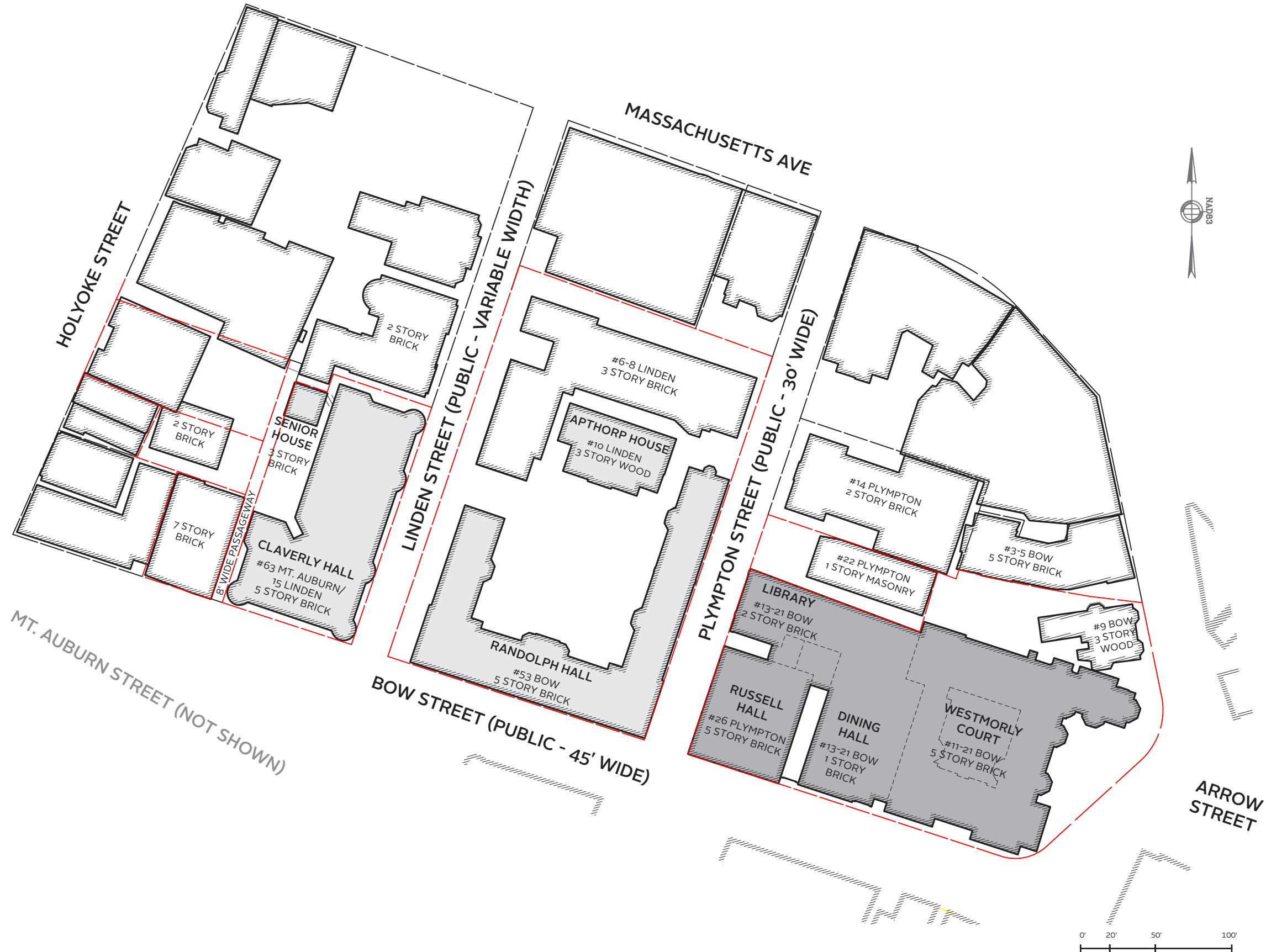


— HARVARD SQUARE NEIGHBORHOOD CONSERVATION DISTRICT



# Plot Plan

Adams House Renewal



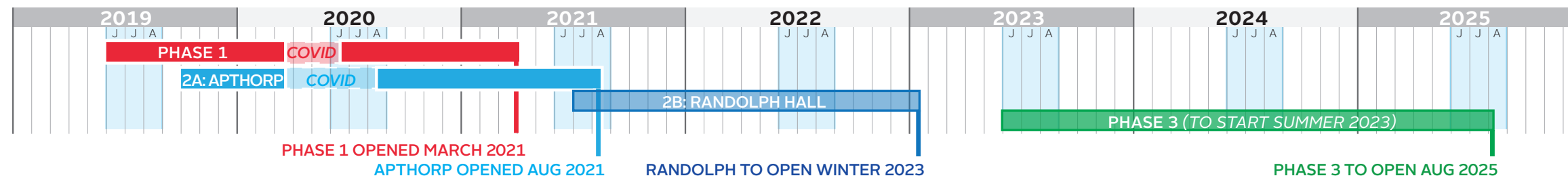
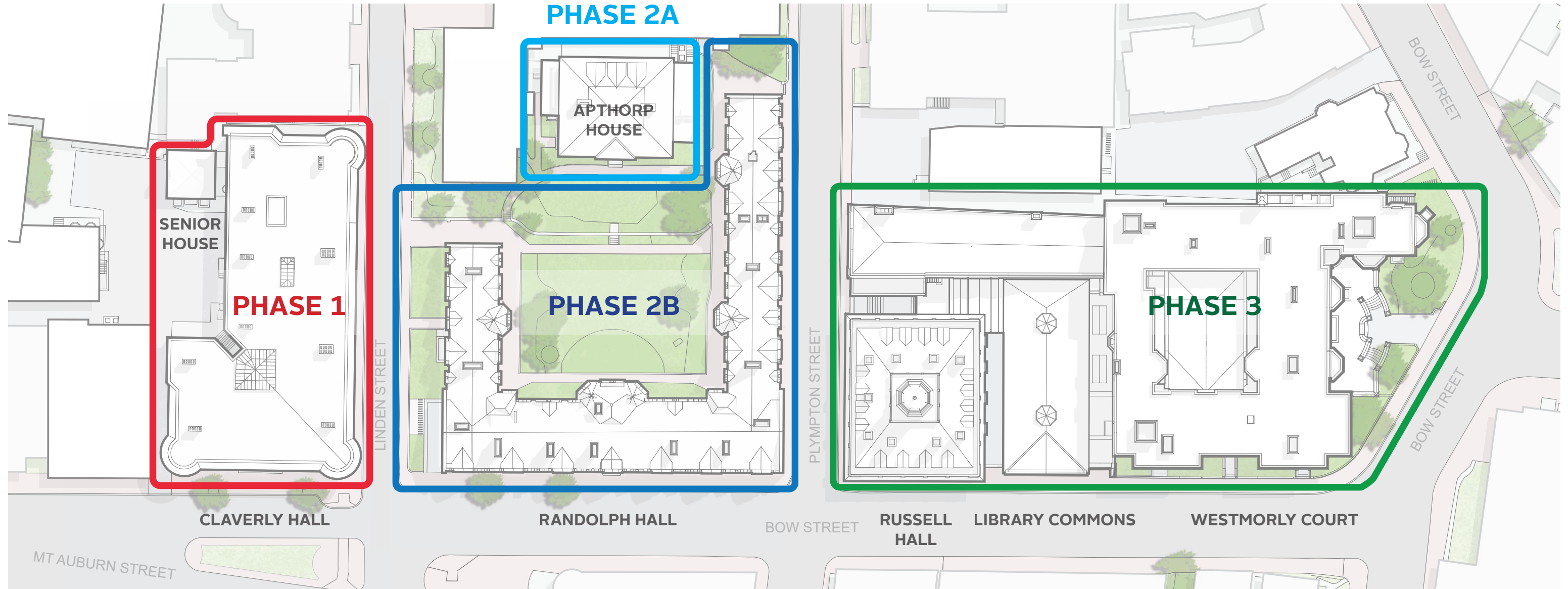
The buildings comprising Adams House are situated across three city blocks bounded by Bow Street to the south and east, Holyoke Street to the west, and Massachusetts Avenue to the north. All of Adams House falls within the boundaries of the Harvard Square Neighborhood Conservation District.

On the western block are Claverly Hall with Senior House. The middle block contains Randolph Hall and Apthorp House. These buildings are toned in light gray.

The eastern block, toned in dark gray, contains Russell Hall, the Library Commons Building (including the Dining Hall), and Westmorly Court. This application concerns renovations to this three-building complex. Relevant property lines from the civil survey are indicated in red. The President and Fellows of Harvard College also own the abutting properties at 22 Plympton and 9 Bow.

# Phasing Plan for Permitting and Construction

Adams House Renewal



The construction of Adams House Renewal is being sequenced over three phases, running west to east, with each phase corresponding to a single city block. These phases have been overlaid on the existing site plan as it existed prior to start of construction in 2019.

This application concerns Phase III, slated to begin construction Summer 2023.

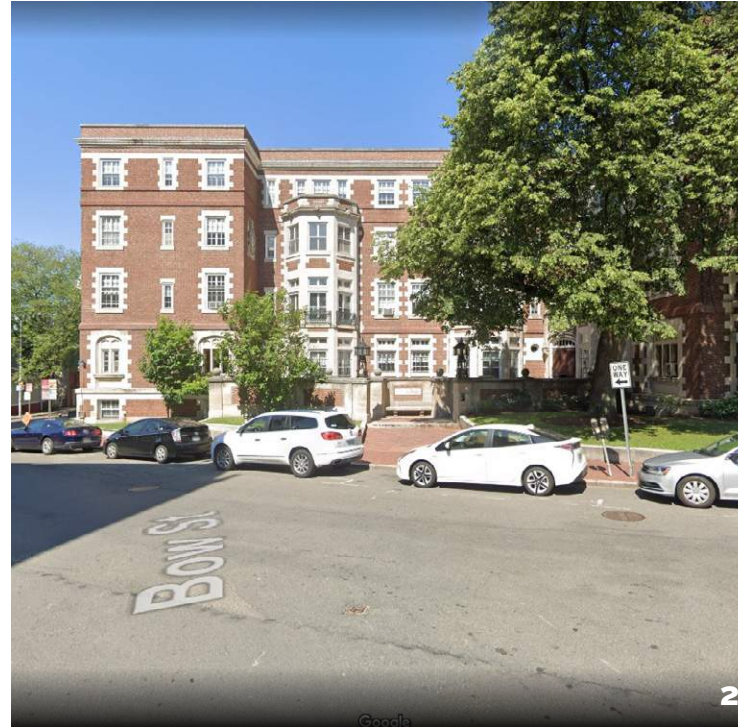


# Existing Views - 1

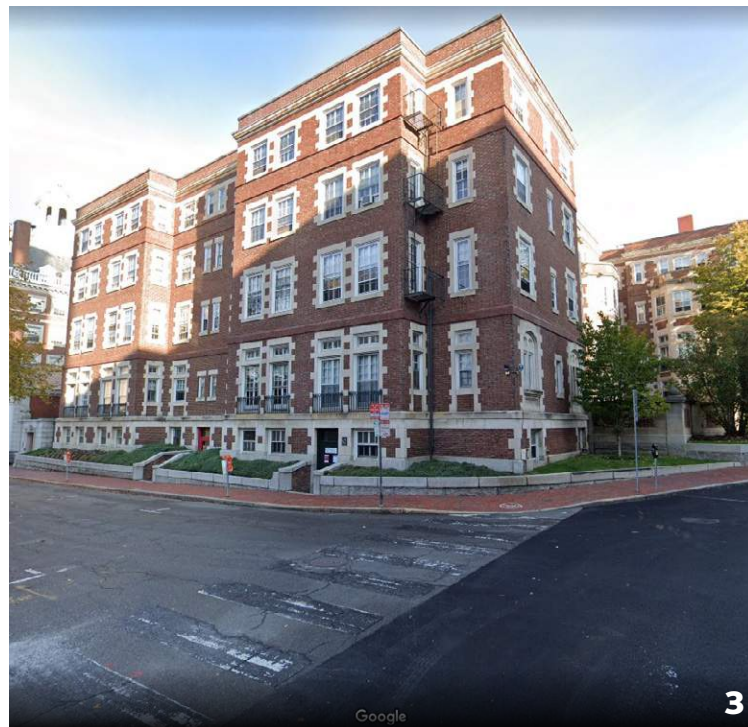
Adams Phase 3 Complex



WESTMORLY NE CORNER FROM BOW ST.



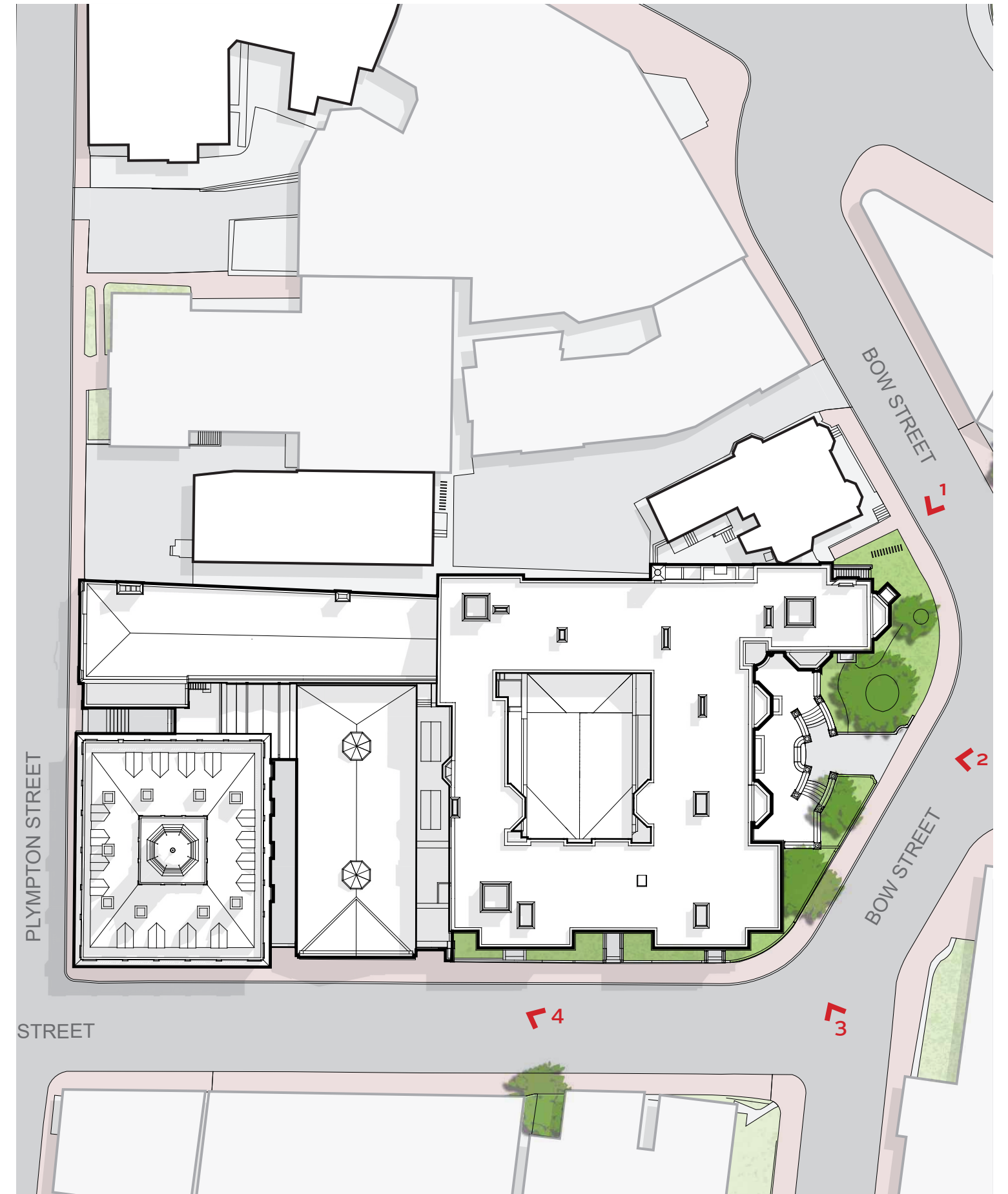
WESTMORLY EAST FACADE FROM ARROW ST.



WESTMORLY SE CORNER FROM BOW/DEWOLFE STS.



SOUTH FACADES OF 3 BUILDINGS FROM BOW ST.



# Existing Views - 2

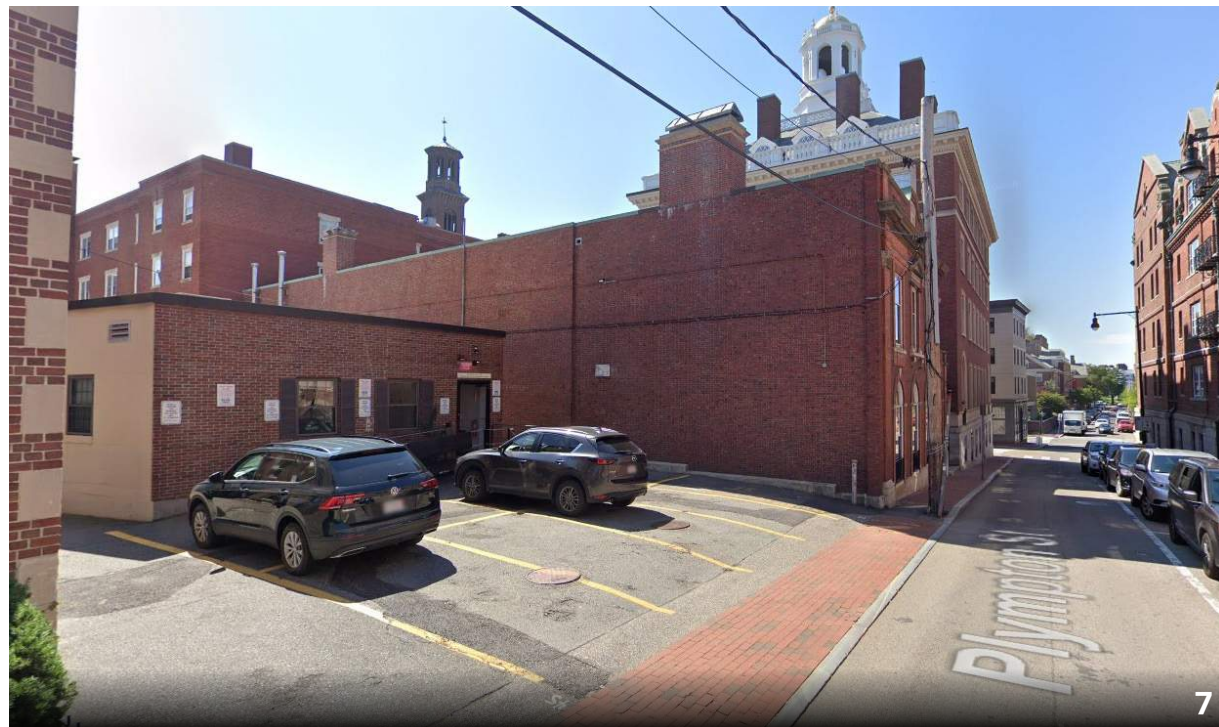
Adams Phase 3 Complex



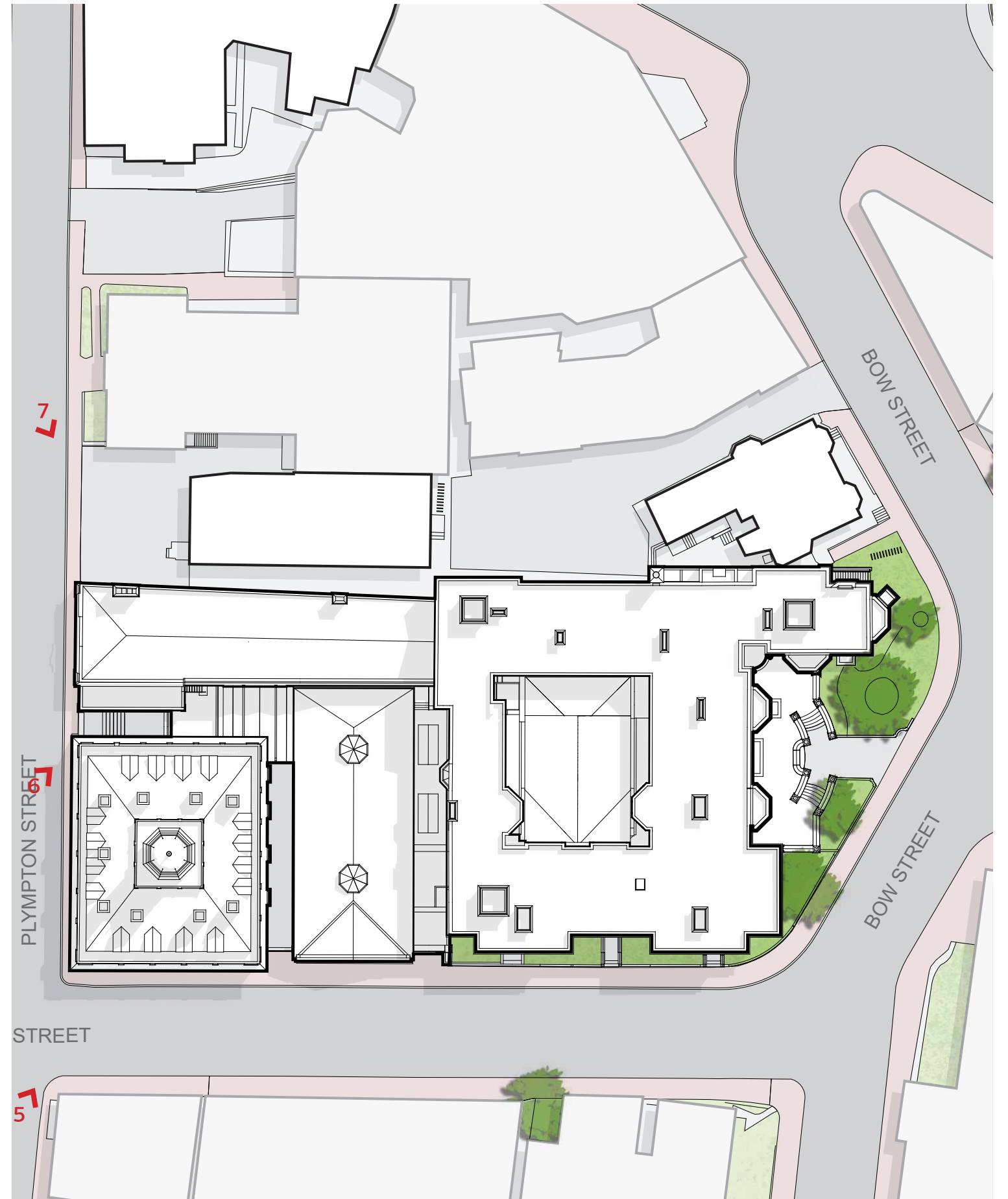
SW CORNER OF RUSSELL FROM MT. AUBURN ST.



LIBRARY COMMONS AND ENTRY GATE, PLYMPTON ST.

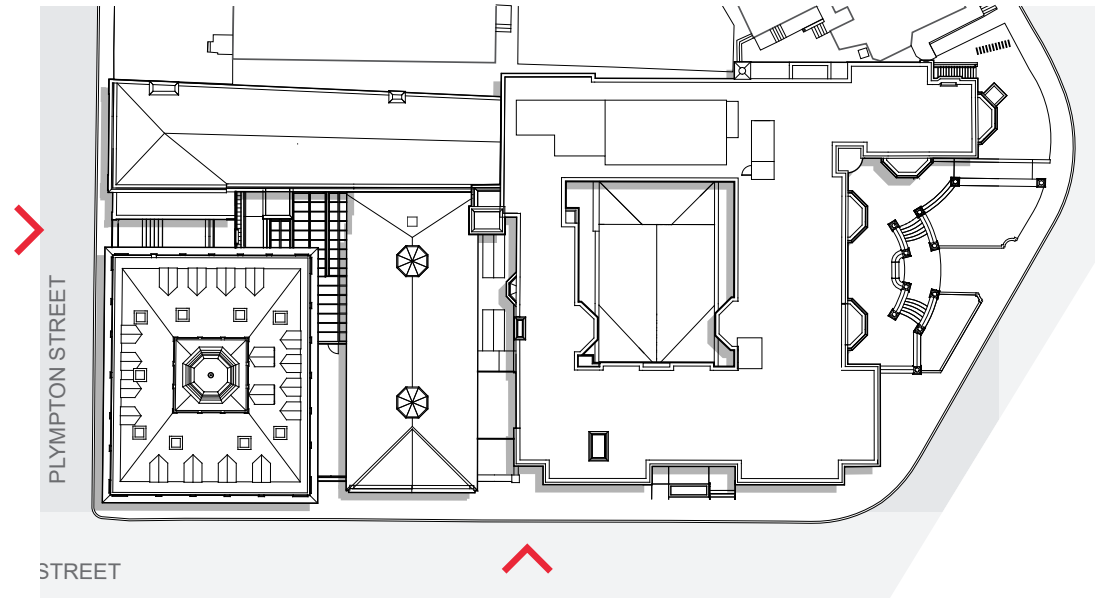


NORTH ELEVATIONS OF LIBRARY COMMONS AND WESTMORLY FROM PLYMPTON ST.

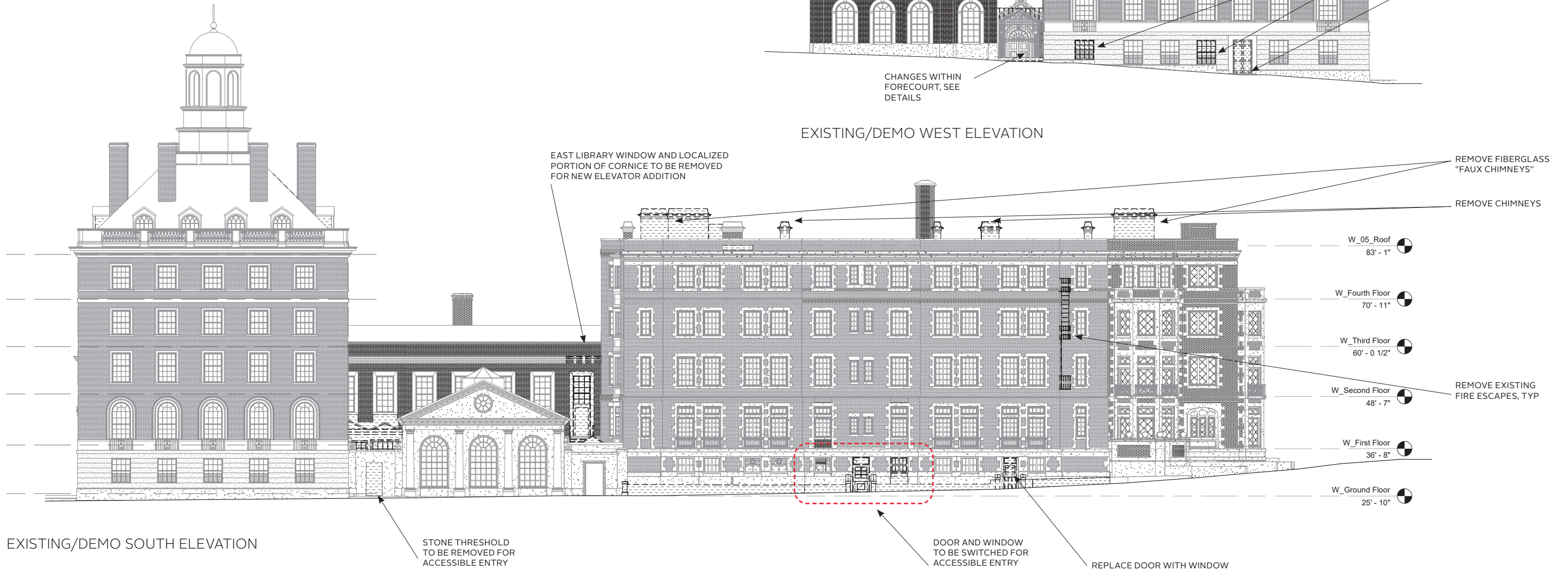


# Demo Elevations - West and South

Adams Phase 3 Complex



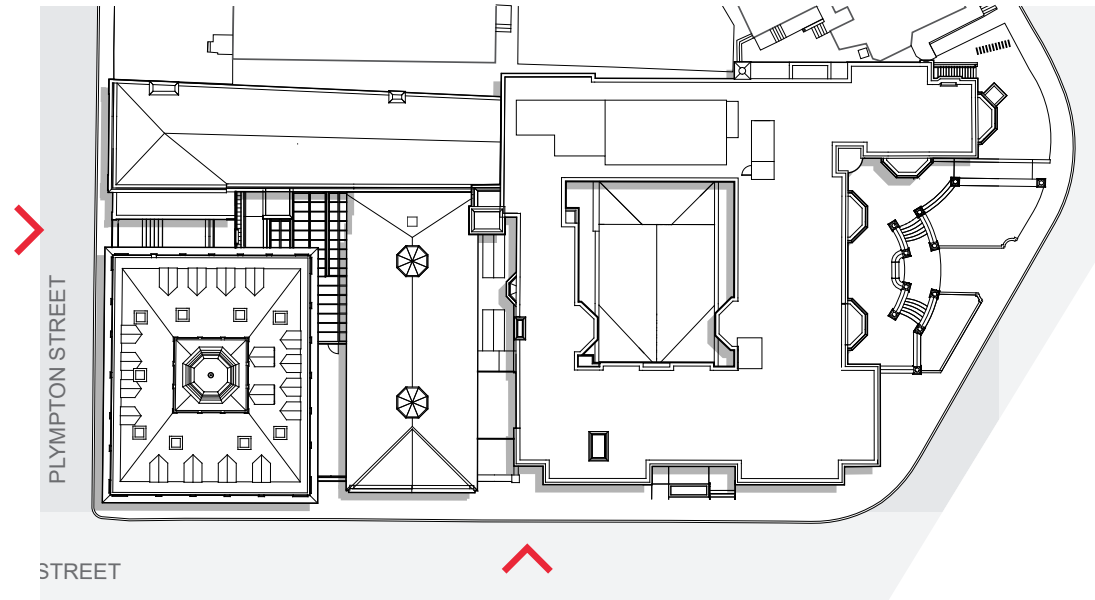
EXISTING/DEMO WEST ELEVATION



EXISTING/DEMO SOUTH ELEVATION

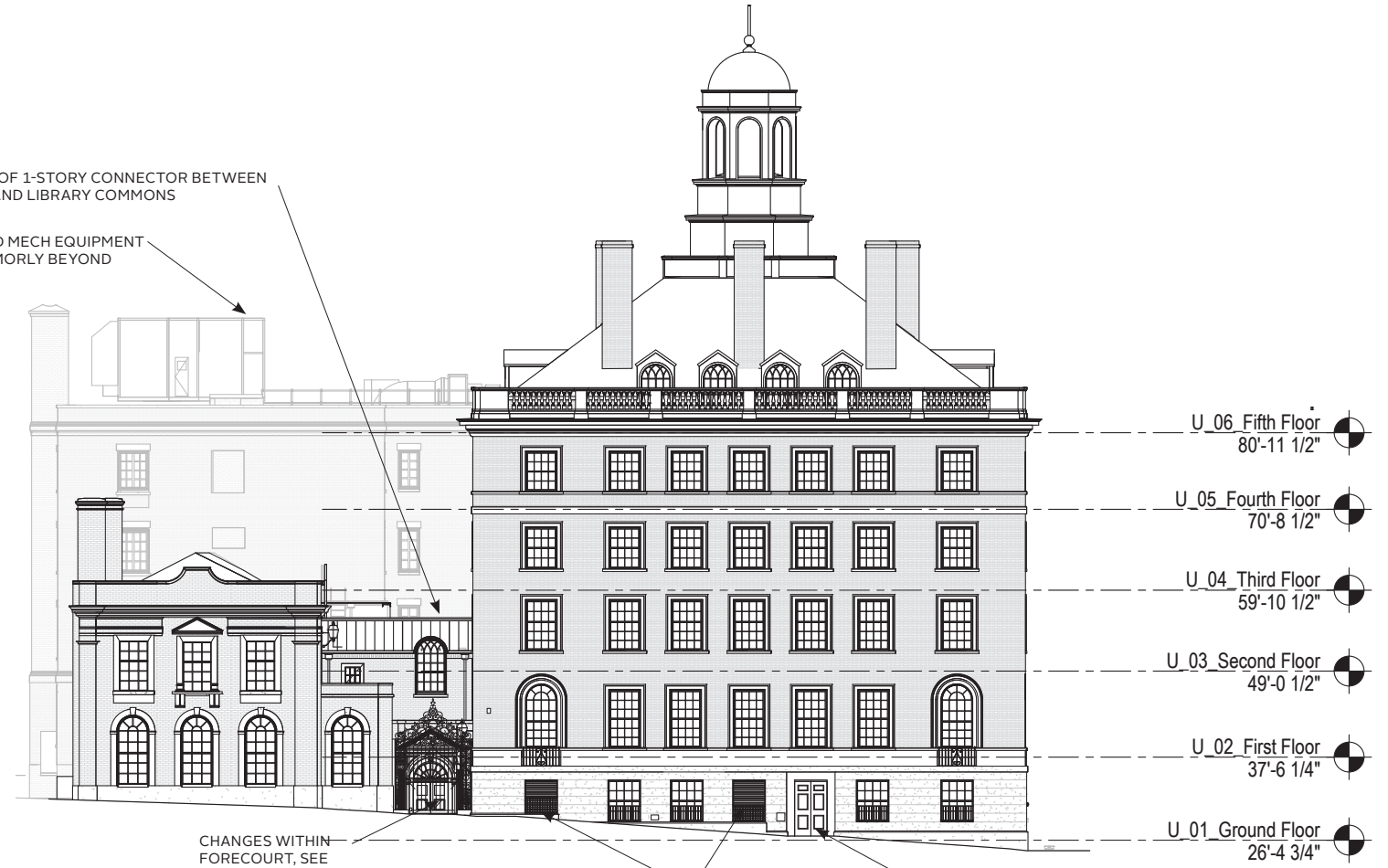
# Proposed Elevations - West and South

Adams Phase 3 Complex



ADDITION OF 1-STORY CONNECTOR BETWEEN RUSSELL AND LIBRARY COMMONS

PROPOSED MECH EQUIPMENT ON WESTMORLY BEYOND



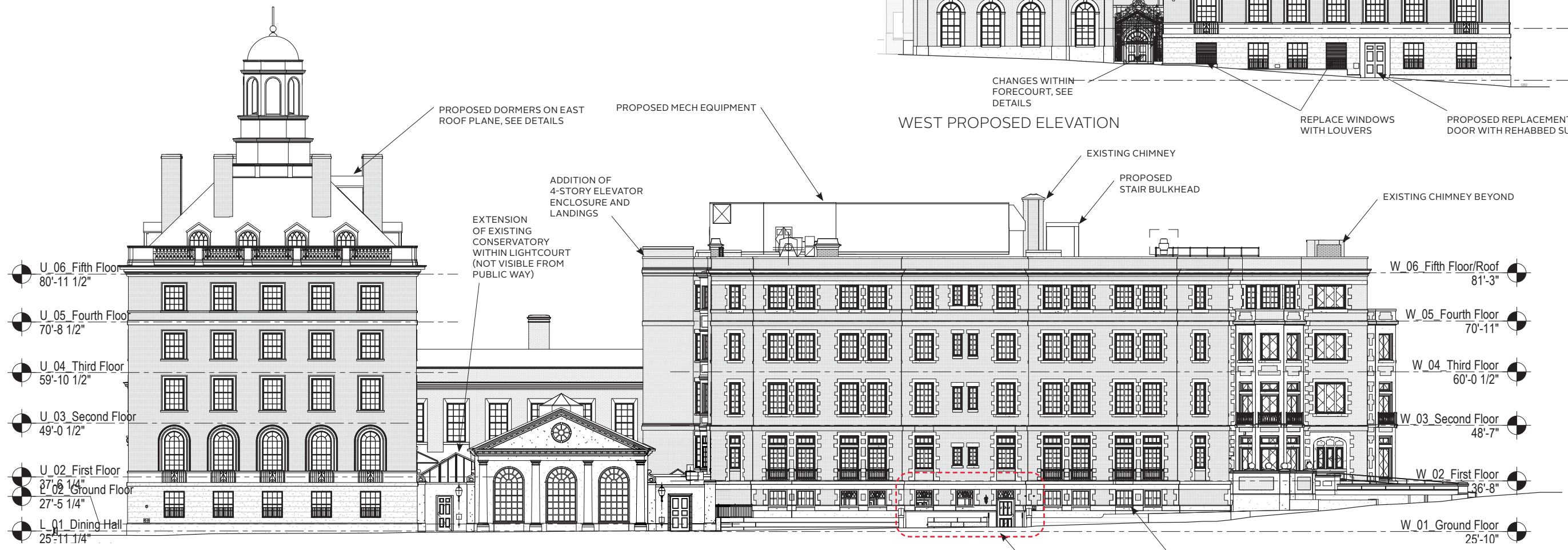
- U\_06 Fifth Floor 80'-11 1/2"
- U\_05 Fourth Floor 70'-8 1/2"
- U\_04 Third Floor 59'-10 1/2"
- U\_03 Second Floor 49'-0 1/2"
- U\_02 First Floor 37'-6 1/4"
- U\_01 Ground Floor 26'-4 3/4"

WEST PROPOSED ELEVATION

CHANGES WITHIN FORECOURT, SEE DETAILS

REPLACE WINDOWS WITH LOUVERS

PROPOSED REPLACEMENT DOUBLE DOOR WITH REHABBED SURROUND



PROPOSED DORMERS ON EAST ROOF PLANE, SEE DETAILS

PROPOSED MECH EQUIPMENT

ADDITION OF 4-STORY ELEVATOR ENCLOSURE AND LANDINGS

EXTENSION OF EXISTING CONSERVATORY WITHIN LIGHTCOURT (NOT VISIBLE FROM PUBLIC WAY)

EXISTING CHIMNEY

PROPOSED STAIR BULKHEAD

EXISTING CHIMNEY BEYOND

- U\_06 Fifth Floor 80'-11 1/2"
- U\_05 Fourth Floor 70'-8 1/2"
- U\_04 Third Floor 59'-10 1/2"
- U\_03 Second Floor 49'-0 1/2"
- U\_02 First Floor 37'-6 1/4"
- U\_01 Dining Hall 25'-11 1/4"

- W\_06 Fifth Floor/Roof 81'-3"
- W\_05 Fourth Floor 70'-11"
- W\_04 Third Floor 60'-0 1/2"
- W\_03 Second Floor 48'-7"
- W\_02 First Floor 36'-8"
- W\_01 Ground Floor 25'-10"

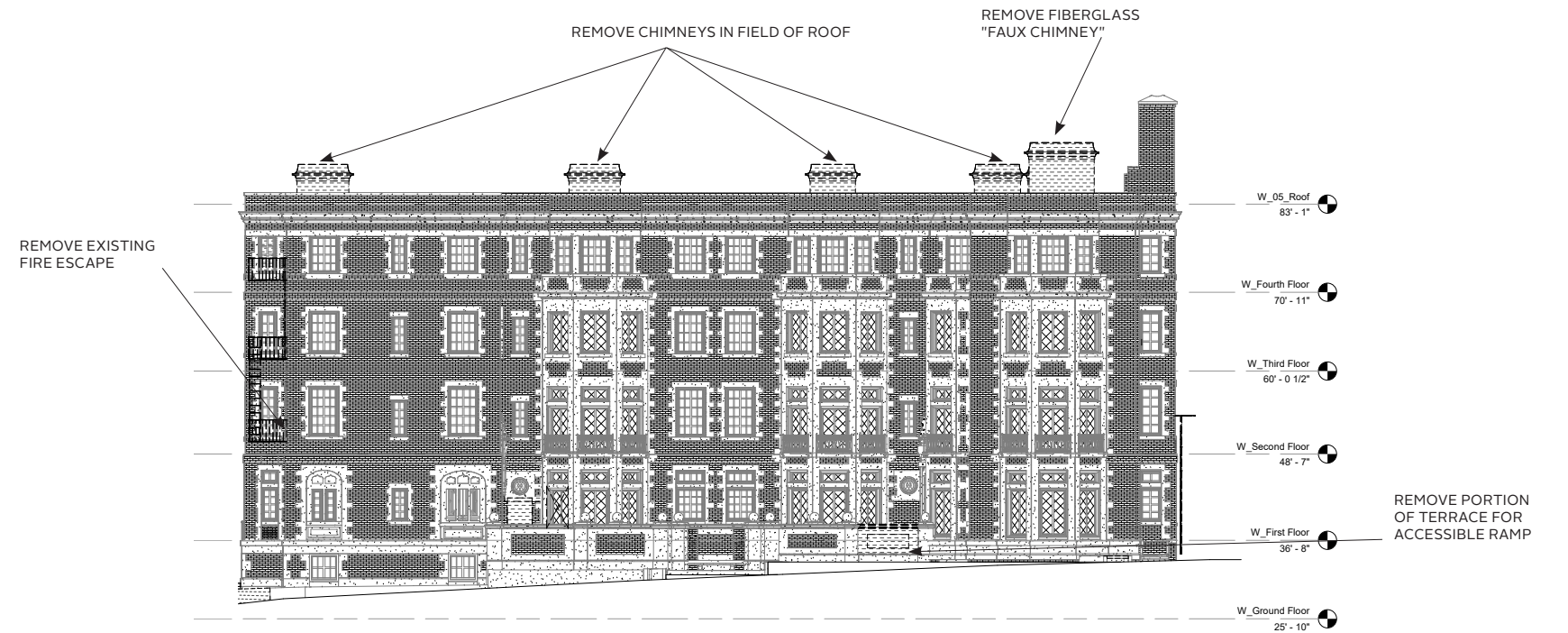
SOUTH PROPOSED ELEVATION

PROPOSED ENTRY AND LANDSCAPE CHANGES

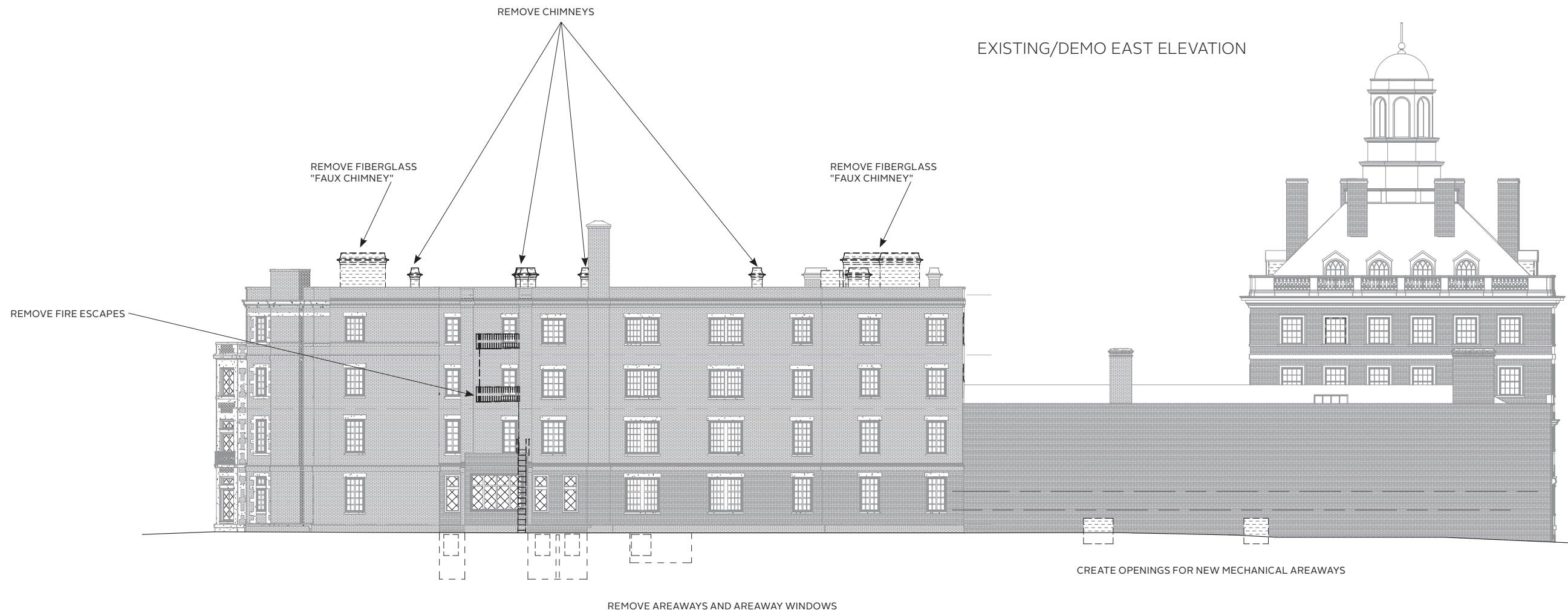
PROPOSED WINDOW REPLACES DOOR

# Demo Elevations - East and North

Adams Phase 3 Complex



EXISTING/DEMO EAST ELEVATION

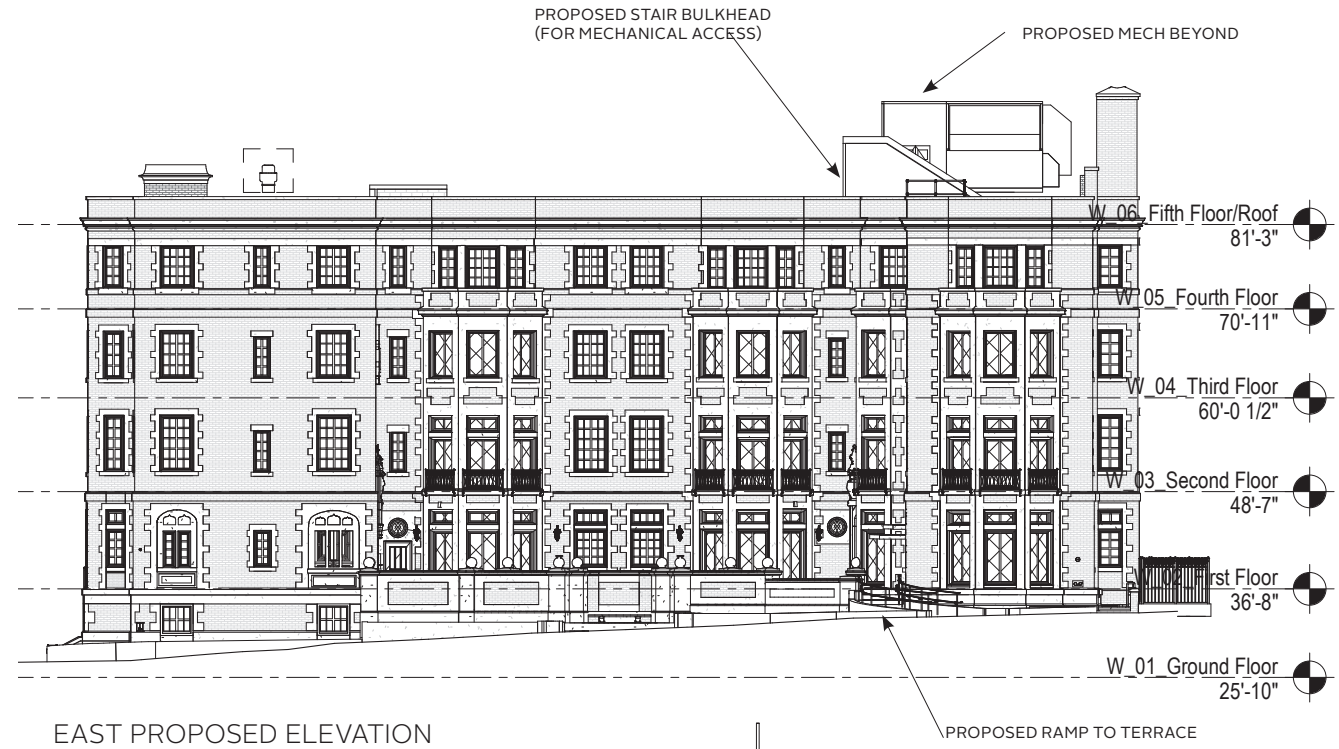
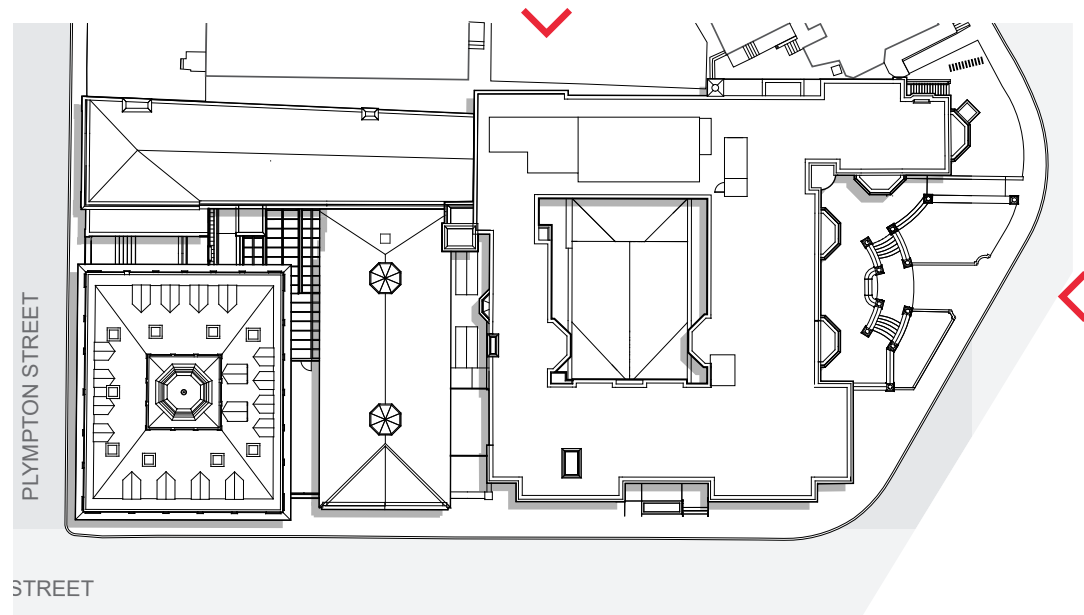


EXISTING/DEMO NORTH ELEVATION

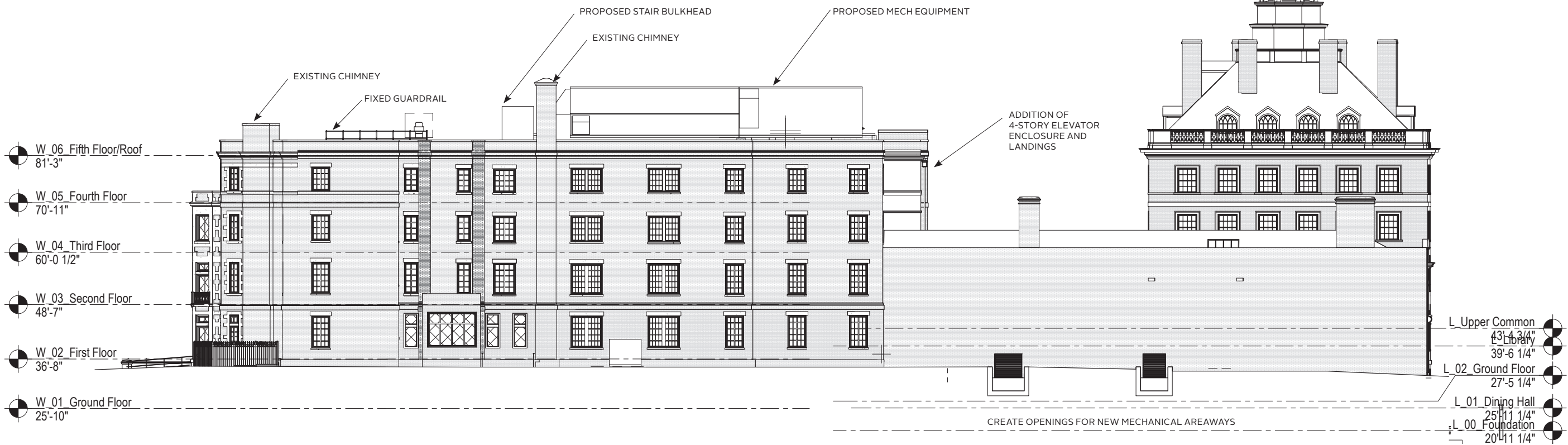


# Proposed Elevations - East and North

Adams Phase 3 Complex



EAST PROPOSED ELEVATION



NORTH PROPOSED ELEVATION

# Ornamental Metalwork

Adams Phase 3 Complex

- Restore original appearance of metalwork
- New appropriate security grilles for residential spaces at Westmorly Terrace
- Repair and restore copper downspouts, skylights, cornices, Westmorly copper bay



RUSSELL HALL, PAINTED COPPER CORNICE TO BE RESTORED



WESTMORLY, PAINTED COPPER WINDOW BAY TO BE RESTORED



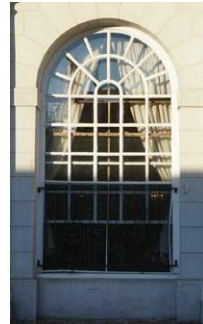
DINING HALL, PAINTED COPPER CORNICE WITH INTEGRATED GUTTER TO BE RESTORED



12 Grille Type B6 Ext. Ornamental Mtl (Russell)  
A4.13/ 18" x 1'-0"



11 Grille Type B5 Ext. Ornamental Mtl (Russell)  
A4.13/ 18" x 1'-0"



REMOVE, RESTORE & REINSTALL EXG FIXED ORNAMENTAL MTL WINDOW GRILLE; SEE FR DWGS



REMOVE, RESTORE & REINSTALL EXG FIXED ORNAMENTAL MTL WINDOW GRILLE; SEE FR DWGS



9 Grille Type B4 Ext. Ornamental Mtl (Dining)  
A4.13/ 18" x 1'-0"



8 Grille Type B3 Ext. Ornamental Mtl (LCR)  
A4.13/ 18" x 1'-0"



7 Grille Type B2 Ext. Ornamental Mtl (Westmorly)  
A4.13/ 18" x 1'-0"

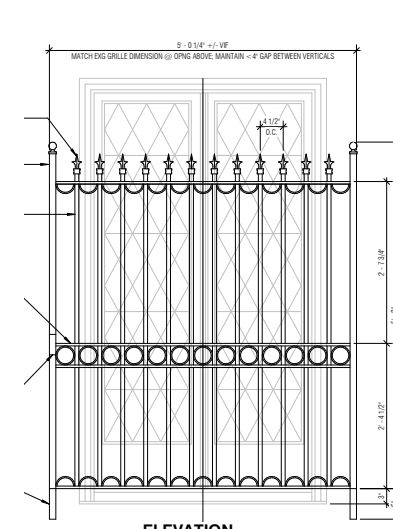


6 Grille Type B1 Ext. Ornamental Mtl (Westmorly)  
A4.13/ 18" x 1'-0"

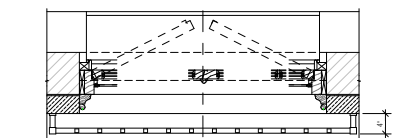
EXISTING WINDOW GRILLES, ALL BUILDINGS, TO BE RESTORED



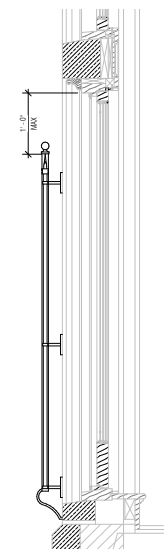
WESTMORLY COURT, 1902 PHOTOGRAPH



ELEVATION



PLAN



SECTION

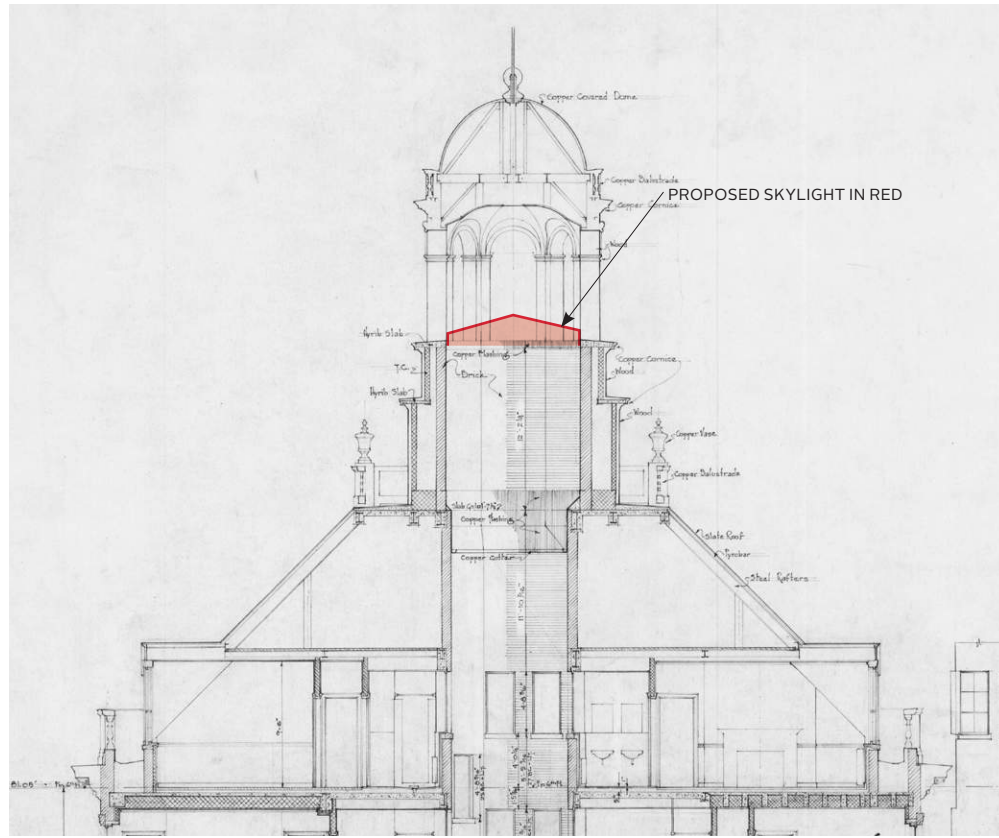


1 Grille Type B7 Ext. Exg to be Replaced (Westmorly)  
A4.14

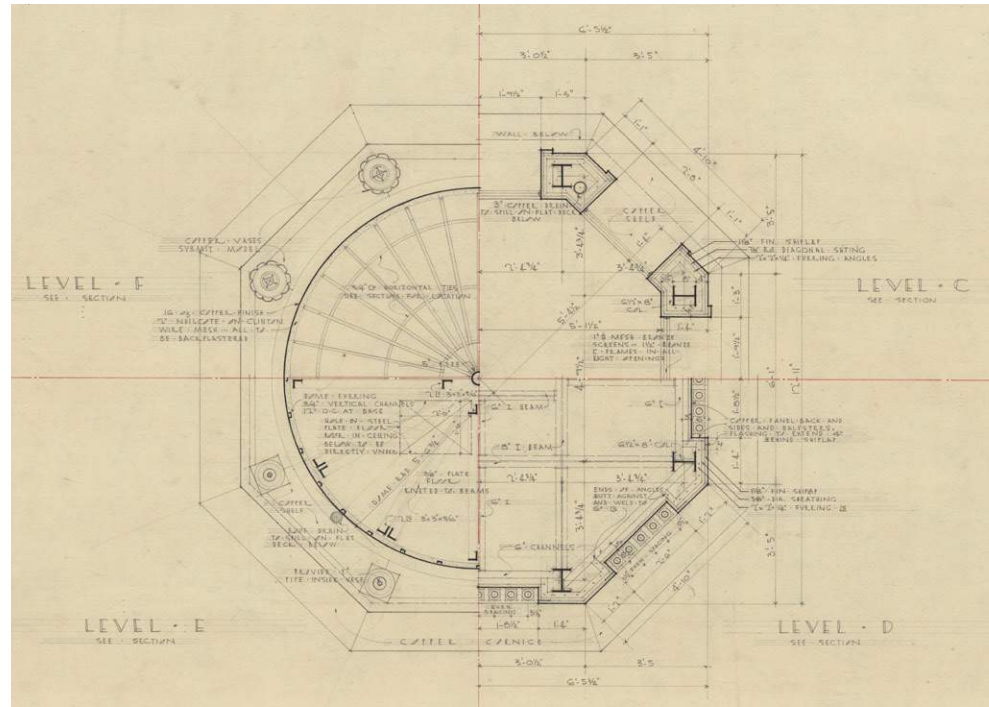
NEW WESTMORLY FIRST FLOOR WINDOW GRILLES AT TERRACE, SIM DTL 7 (CTR LEFT)

# Russell Tower & Cupola

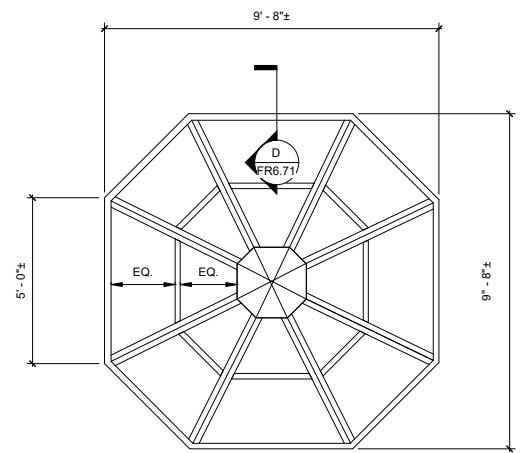
Adams Phase 3 Complex



1931 PROPOSED SECTION (DWG 15)  
(COOLIDGE, SHEPLEY, BULFINCH & ABBOT)

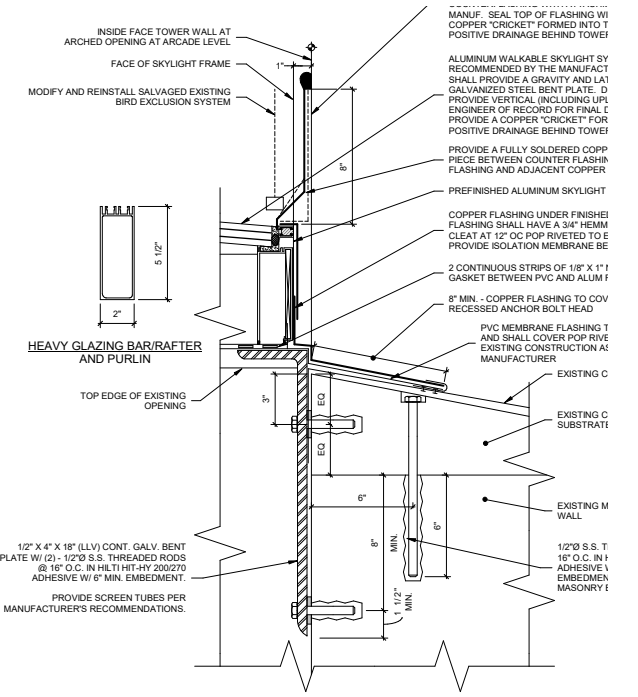


1931 PROPOSED QUARTER PLANS OF UPPER TOWER (DWG 22)  
(COOLIDGE, SHEPLEY, BULFINCH & ABBOT)



PLAN OF NEW SKYLIGHT

A SKY-R1



D SECTION - WALKABLE SKYLIGHT CURB - SKY-R1  
1 1/2" x 1'-0"

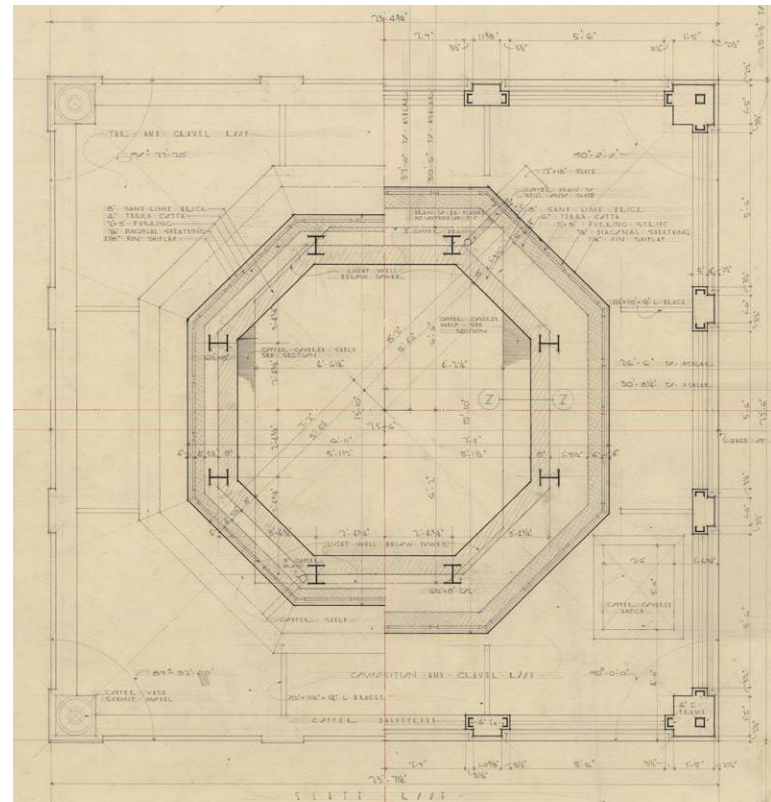
CURB DETAIL AT NEW PROPOSED SKYLIGHT



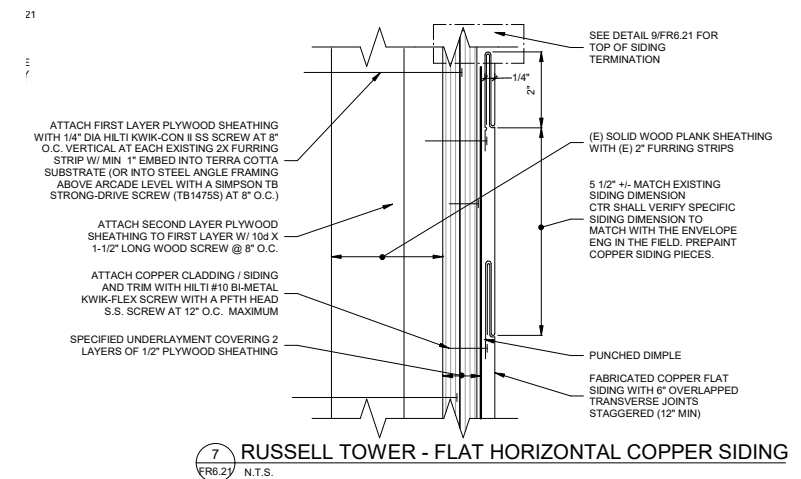
WOOD SIDING AT LOWER TOWER SECTIONS IN POOR CONDITION



GOLD DOME TO UNDERGO MINOR REPAIR AND RESTORATION



1931 PROPOSED HALF PLANS OF LOWER TOWER (DWG 21)  
(COOLIDGE, SHEPLEY, BULFINCH & ABBOT)



7 RUSSELL TOWER - FLAT HORIZONTAL COPPER SIDING  
N.T.S.  
NOTE: SIDING/CLADDING TO BE INSTALLED FROM THE TOP DOWN

LOWER TOWER: COPPER FLAT SIDING WITH JOINTS (REPLACES WOOD SIDING)

# Windows - Existing Types

Adams Phase 3 Complex

## RUSSELL HALL



## LIBRARY COMMONS BUILDING



## WESTMORLY COURT



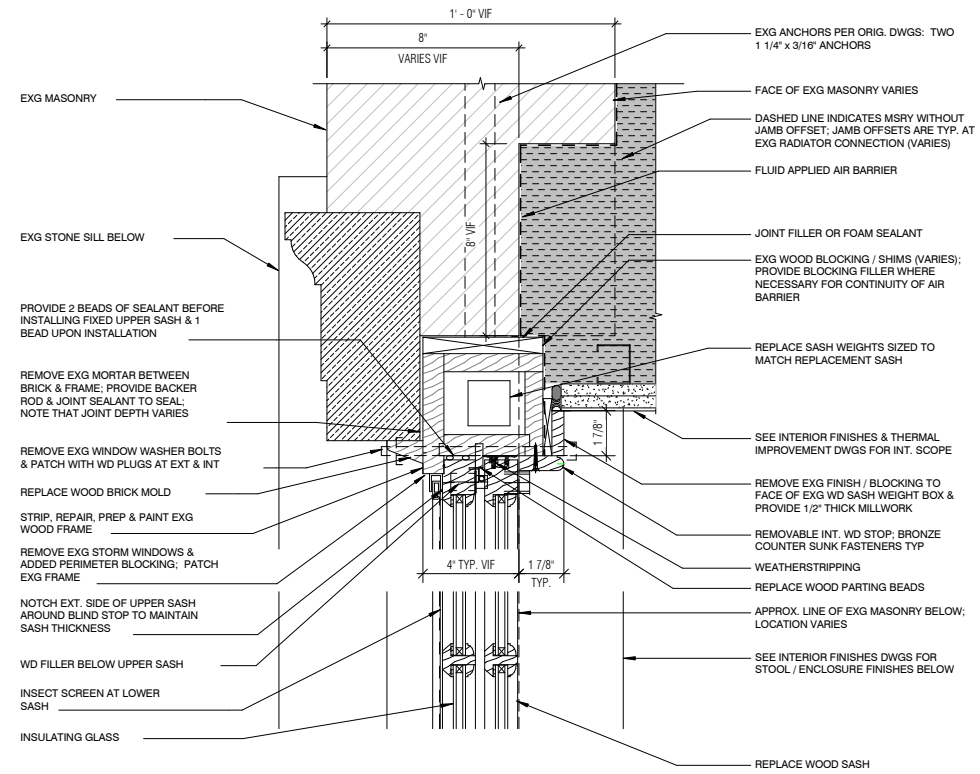
The existing windows in Phase 3 are largely divided between the House Renewal-typical double-hung windows found at Russell Hall and Library Commons, versus a larger range of types at Westmorly Court. Several Westmorly window types can be found both with and without leaded (came) glass. Those without utilize wood muntins.

Specialty windows at Russell and Library Commons include monumentals and different arch head types. Westmorly typical windows are double-hung, oversized casement, or fixed. There is a small number of metal casements.

# Windows - Typical Proposed Details

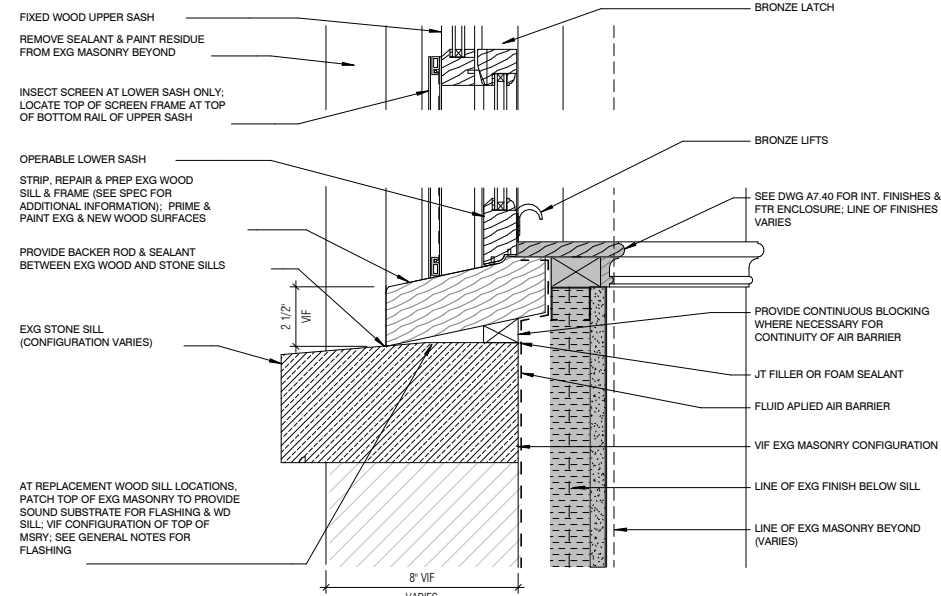
Adams Phase 3 Complex

## RUSSELL HALL & LIBRARY COMMONS - TYPICAL HUNG SASH



2 U Frame Repair - Jamb at Typ. Double Hung Unit

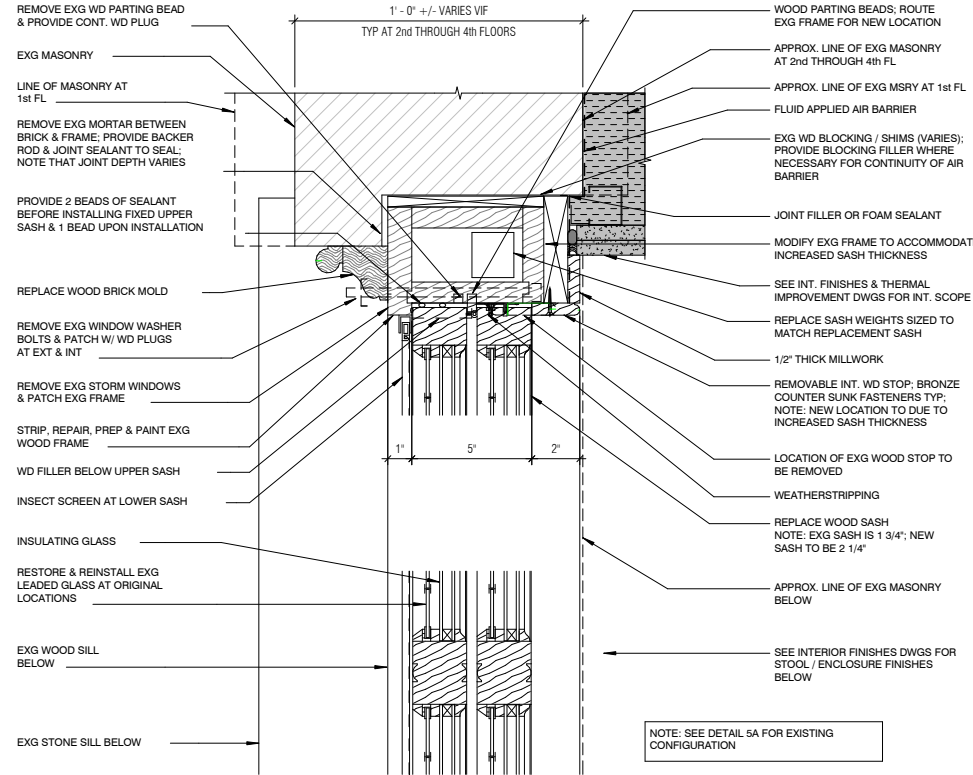
A4.22 3\"/>



1 U Frame Repair - Sill at Typ. Double Hung Unit

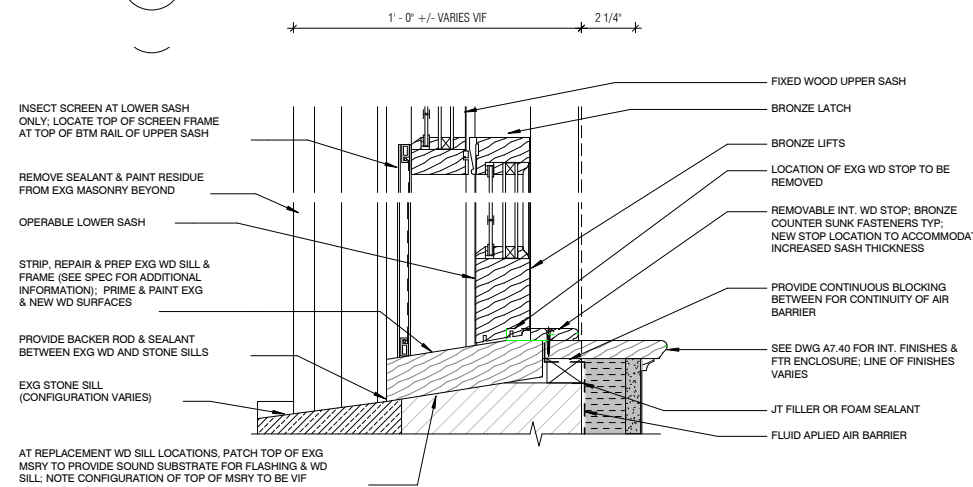
A4.22 3\"/>

## WESTMORLY - HUNG SASH W/LEADED GLASS



5 W Frame Repair - Jamb at Double Hung Leaded Glass Unit

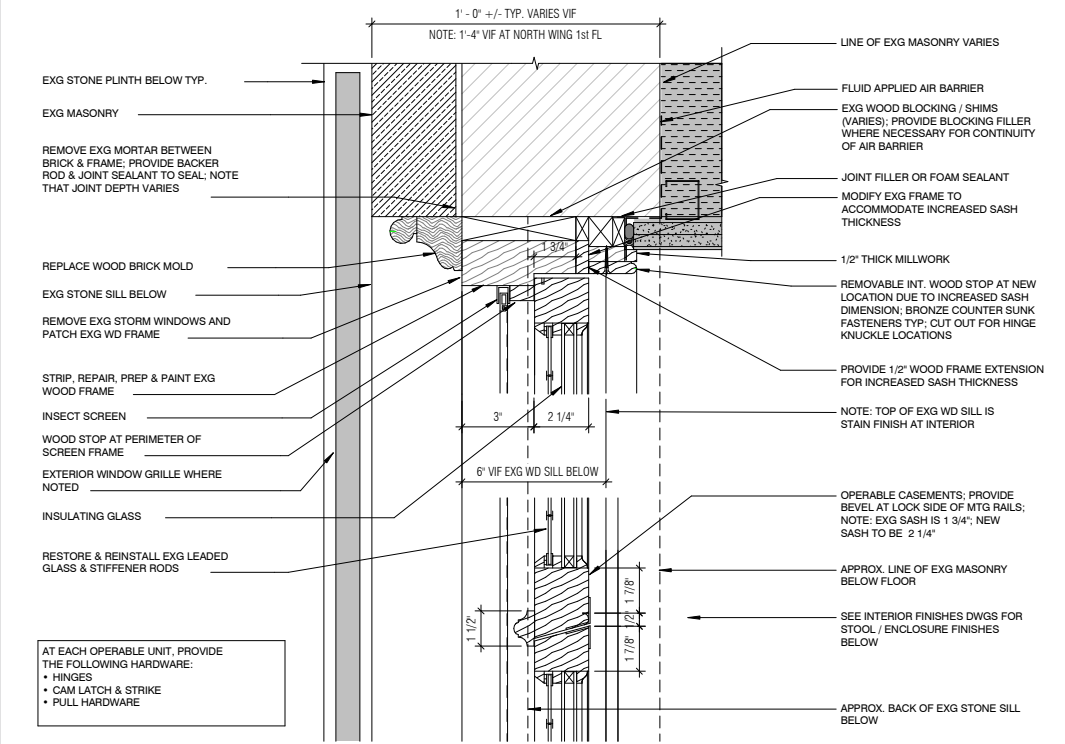
A4.25 3\"/>



4 W Frame Repair - Sill at Double Hung Leaded Glass Unit

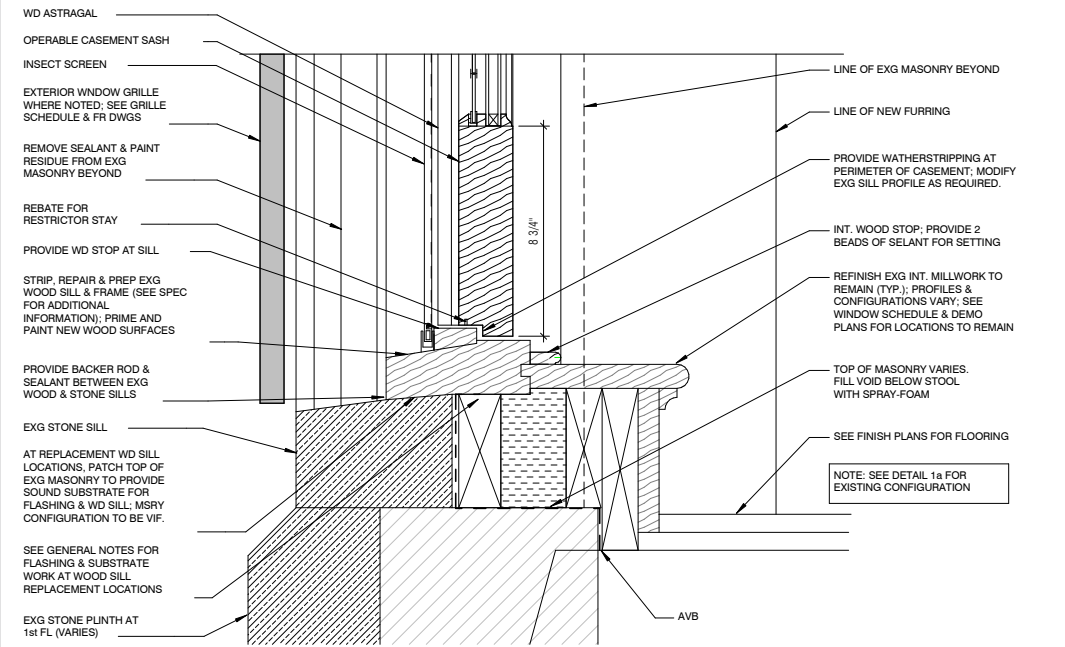
A4.25 3\"/>

## WESTMORLY - CASEMENT SASH W/LEADED GLASS



5 W Frame Repair - Jamb at Oversize Casement Leaded Glass Unit

A4.26 3\"/>



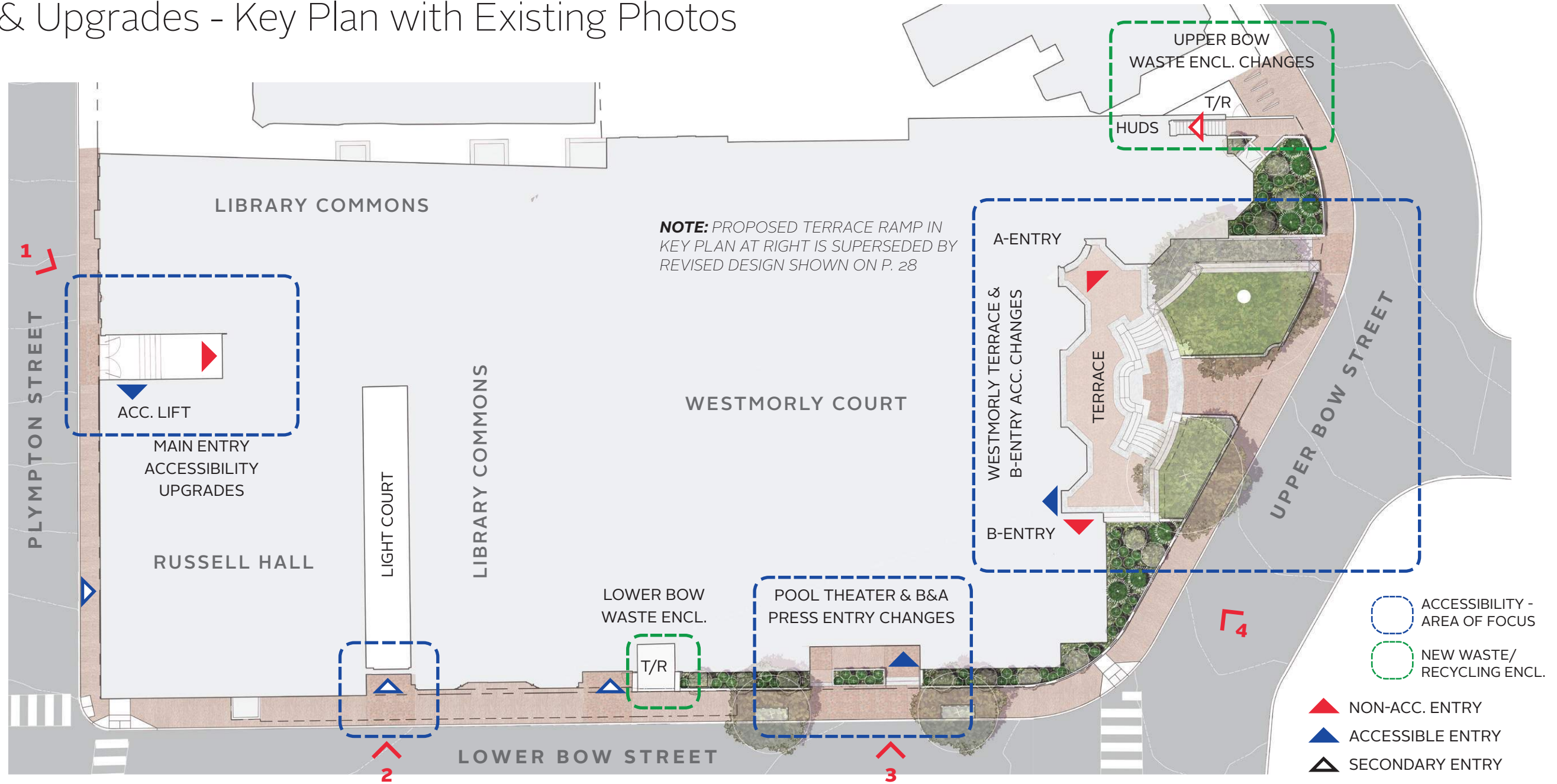
4 W Frame Repair - Sill at Oversize Casement Leaded Glass Unit

A4.26 3\"/>

Typical window scope is frame restoration combined with sash replacement. Sashes to contain true divided light IGUs and custom profiles matching existing. Above and at right, note the approach to leaded glass: salvage and reuse in new sash.

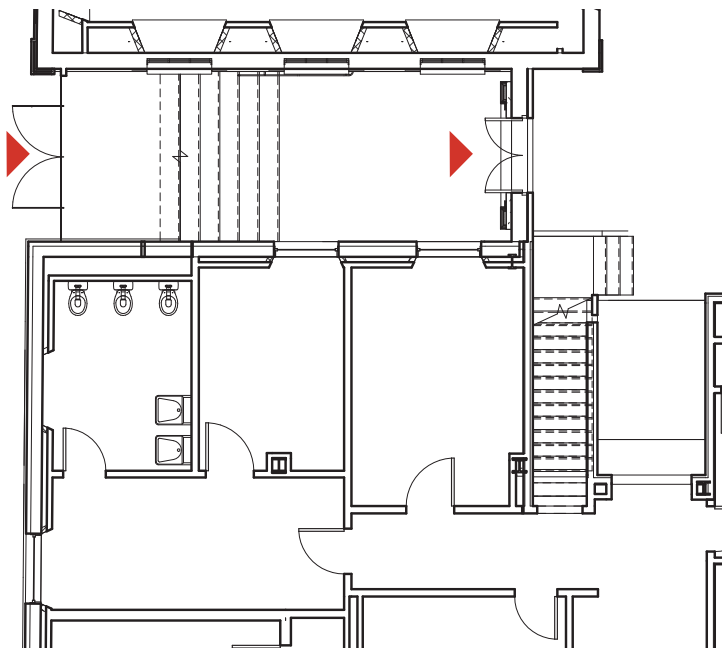
# Site Accessibility & Upgrades - Key Plan with Existing Photos

Adams Phase 3 Complex

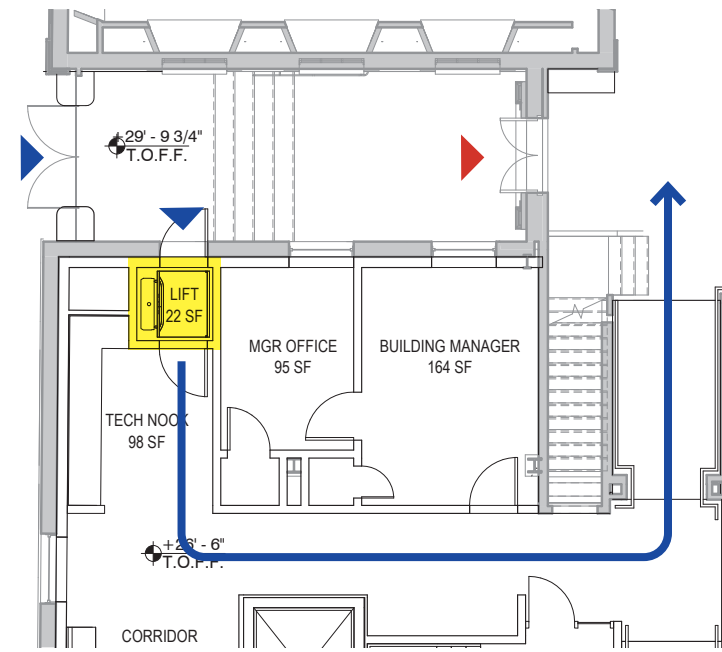


# Plympton St. - Main Entry Accessibility Upgrades

Adams Phase 3 Complex



EXISTING ENTRY DIAGRAM & EXISTING PHOTO OF GATE

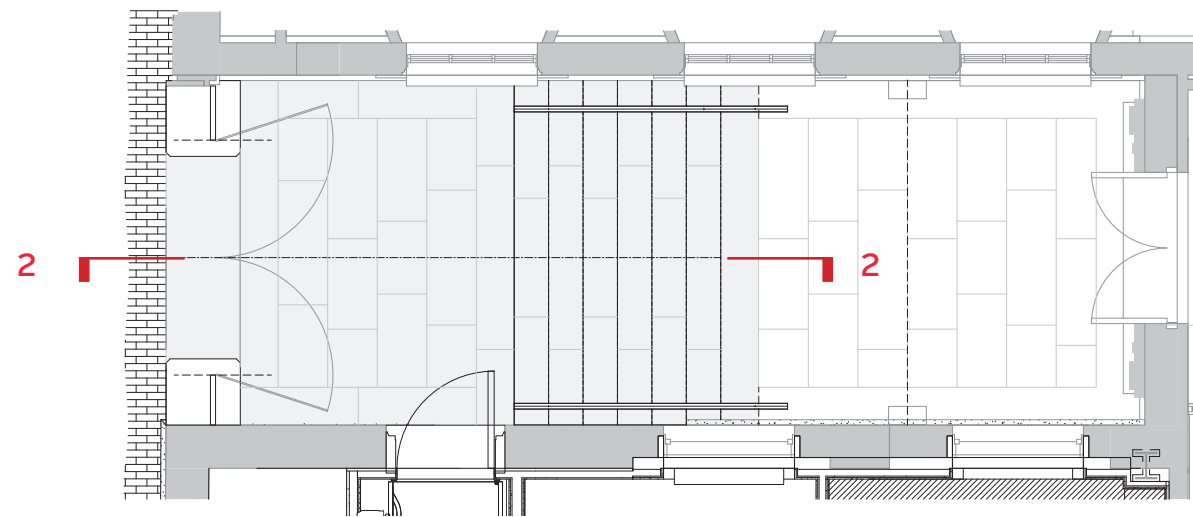


PROPOSED ENTRY DIAGRAM & CONCEPT MONTAGE INDICATING TREATMENT AT GATE AND NEW DOOR (NOTE, DOOR PANELING AND GLAZING SUPERSEDED BY UPDATED ELEVATION BELOW FOR LIFT SAFETY)



EXISTING ENTRY PHOTO

Today, the upper landing of the forecourt is a single step above the sidewalk. The sidewalk will be regraded and the step is proposed to be removed, leaving stone plinths below the gate supports. Stair to be fully rebuilt for new elevations. Door to interior lift proposed in Russell, directly below window.



PROPOSED FORECOURT PLAN - REBUILT COMPLIANT STAIR & HANDRAILS (GRAY TONE IS ZONE OF ALTERATION)

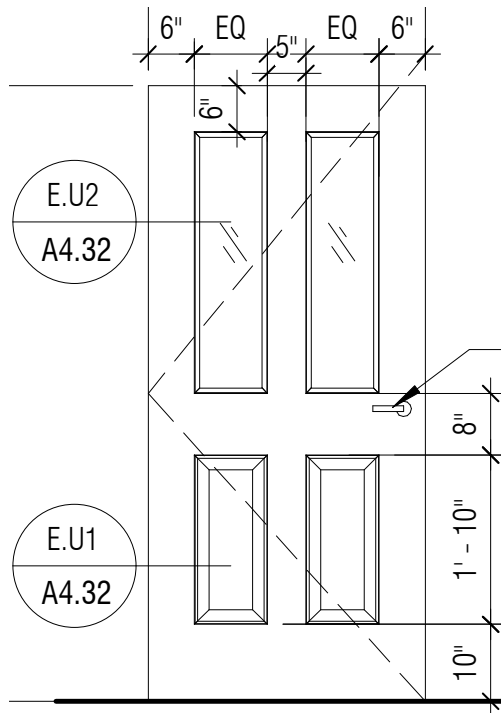


2-2: PROPOSED FORECOURT SECTION/ELEVATION (LOOKING S)

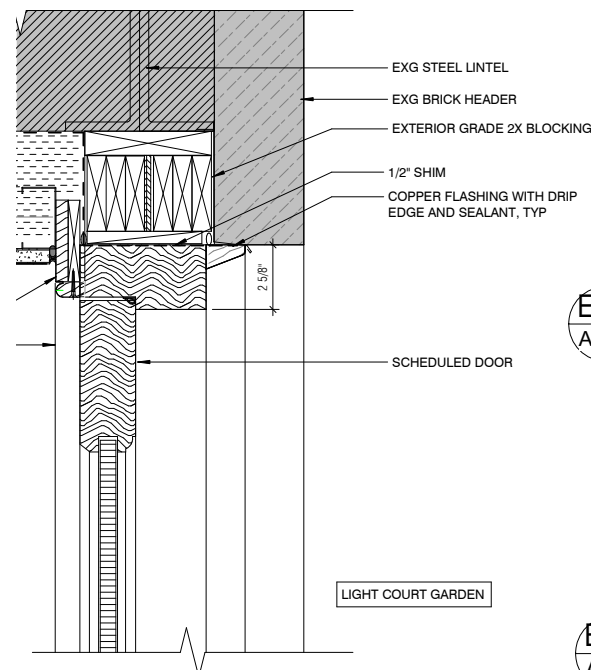
- ▲ NON-ACC. ENTRY
- ▲ ACCESSIBLE ENTRY
- ▲ SECONDARY ENTRY

# Main Entry Accessibility - Door, Stair, and Handrail Details

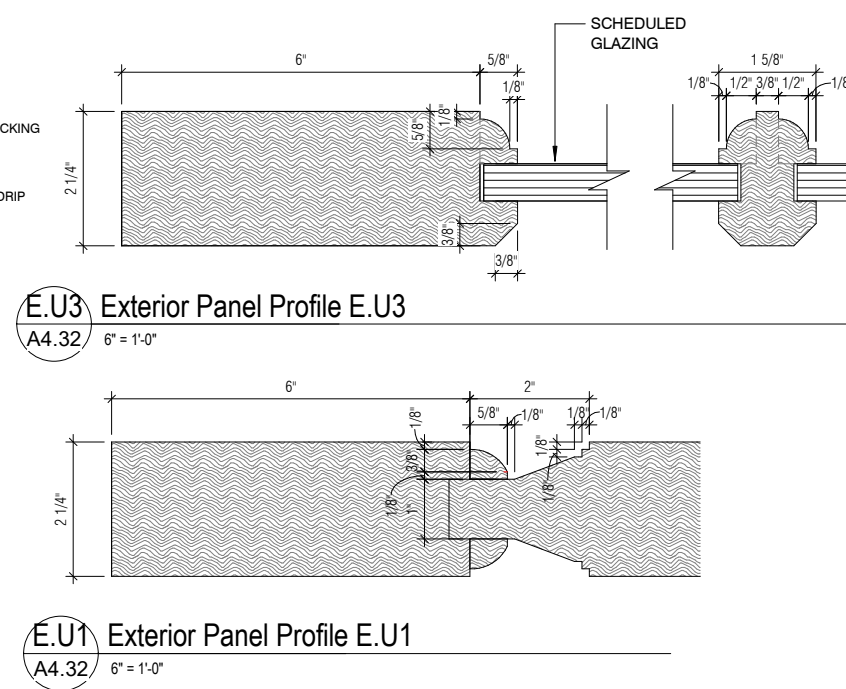
Adams Phase 3 Complex



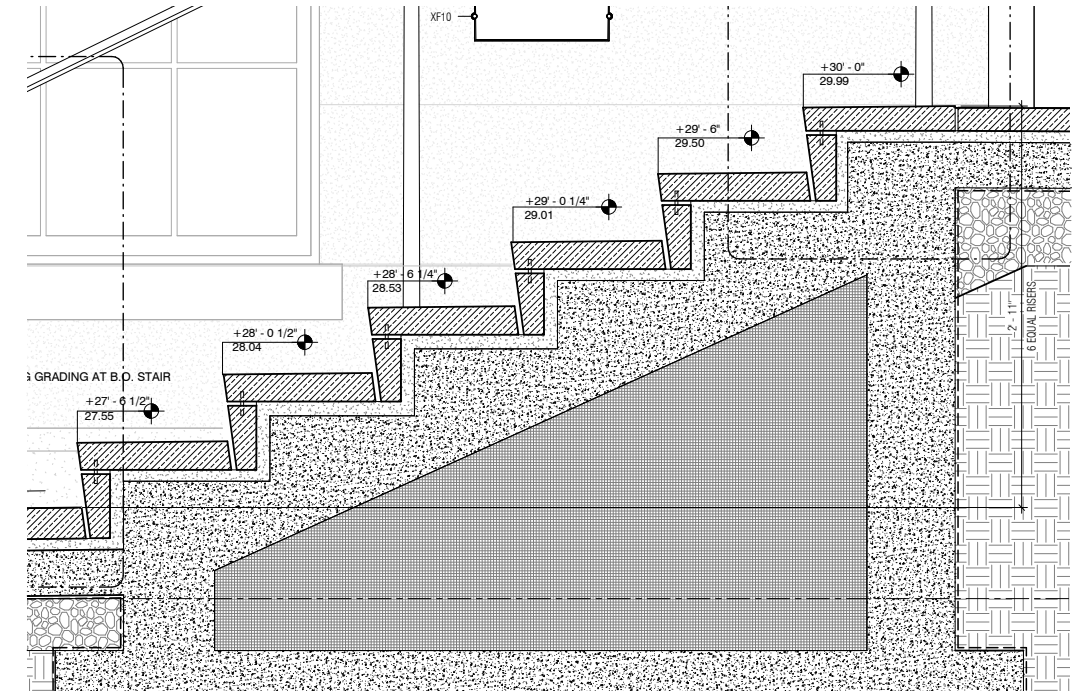
PROPOSED DOOR ELEVATION



PROPOSED DOOR HEAD DETAIL

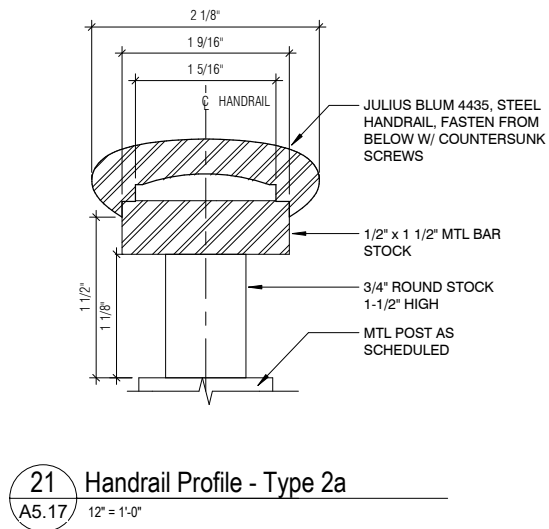


PROPOSED DOOR PROFILES

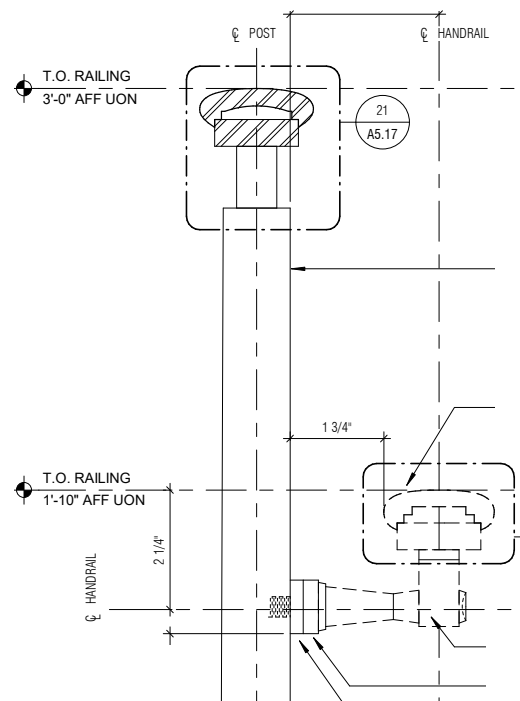


PROPOSED STAIR DETAIL

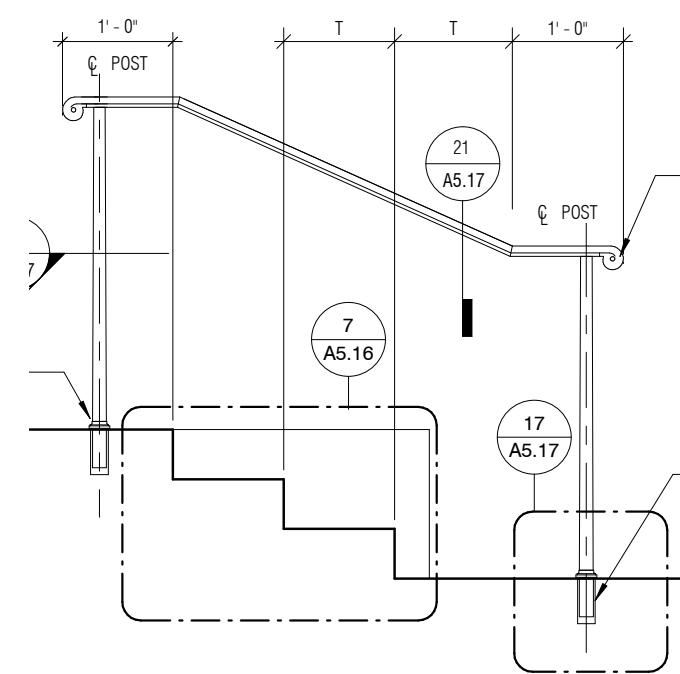
Details have been included here for the proposed lift entry door, rebuilt exterior stair, and handrails. Design is compliant with 521 CMR while relating to the historic context through geometry and materiality.



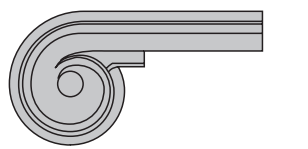
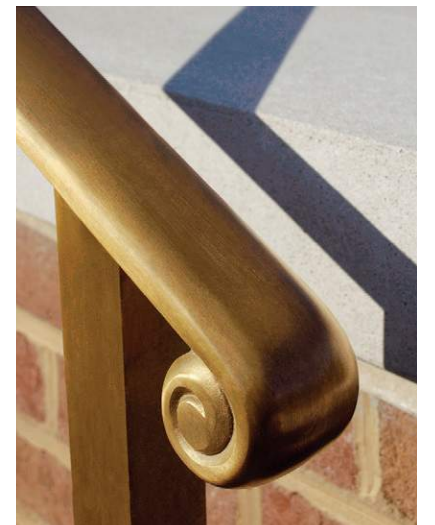
PROPOSED EXTERIOR HANDRAIL PROFILE



PROPOSED RAMP HANDRAIL SECTION



PROPOSED STAIR HANDRAIL ELEVATION



Volute

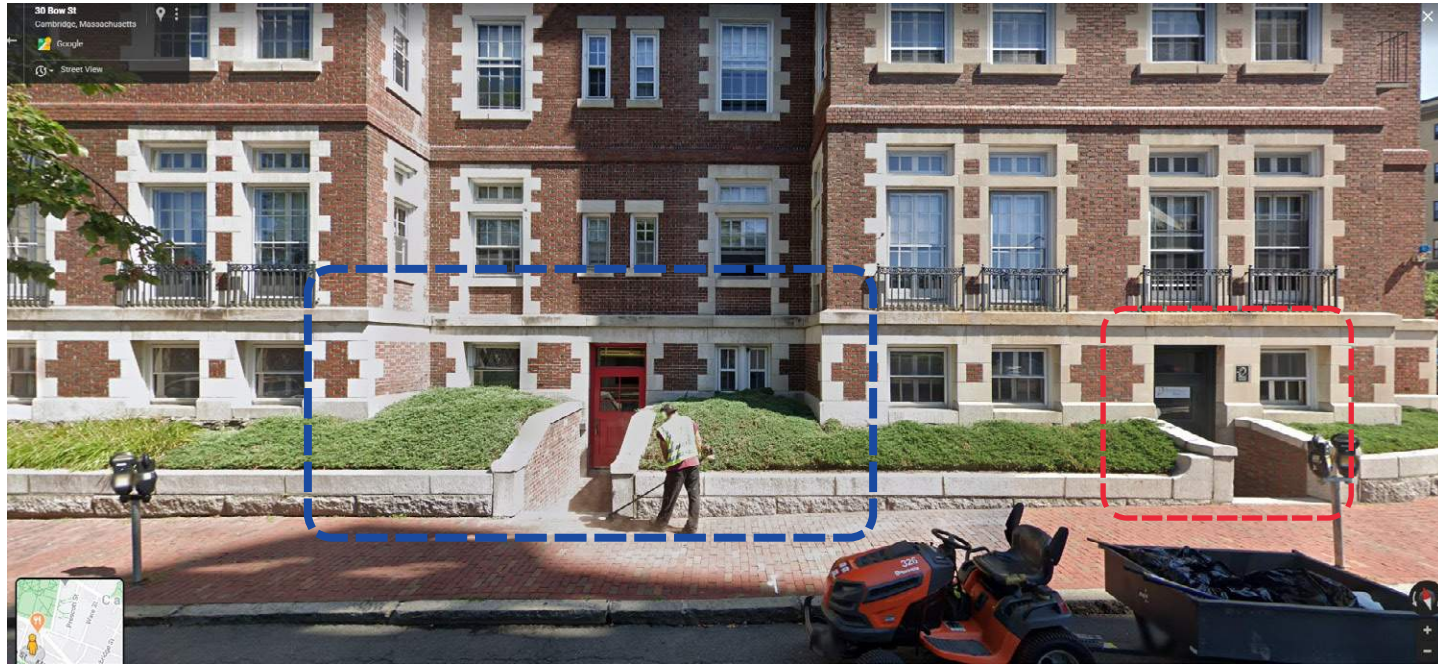
PROPOSED TERMINATION (NOTE: MATERIAL IS TO BE PAINTED METAL)



# Lower Bow Street Accessibility

Adams Phase 3 Complex

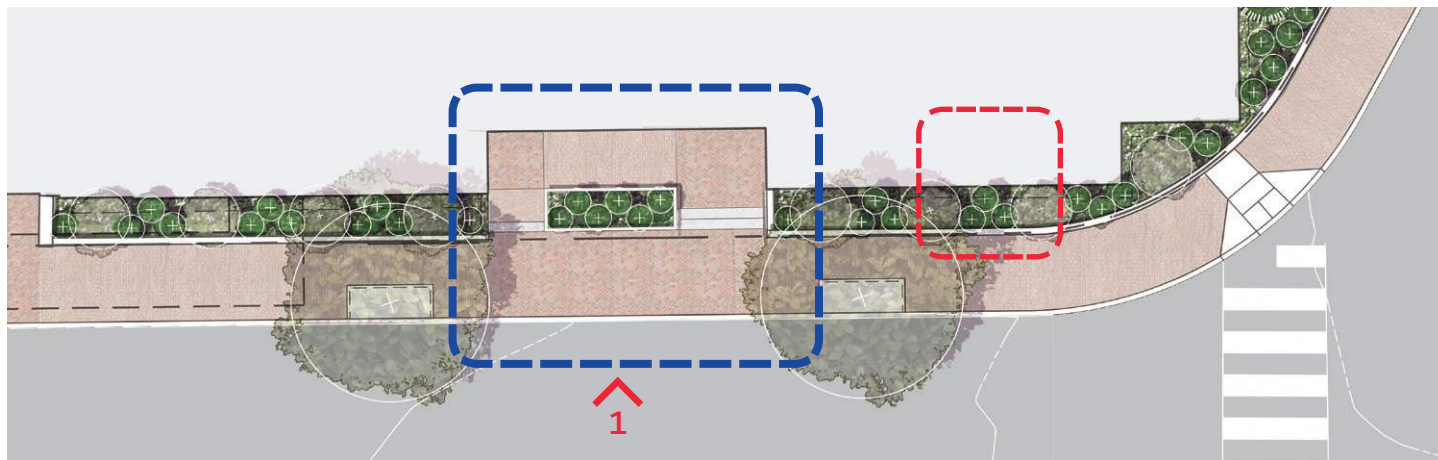
↔ ACCESSIBLE ROUTE  
↔ STAIRS/NON-ACC.



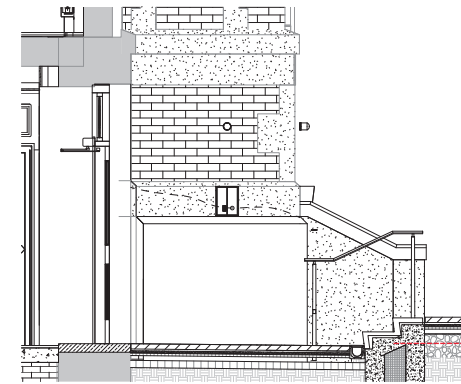
1. EXISTING CONDITIONS (STREET VIEW)



PROPOSED SOUTH ELEVATION



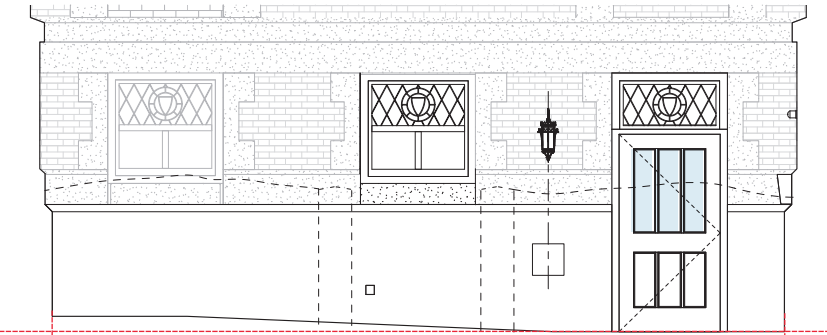
PROPOSED SITE/LANDSCAPE PLAN



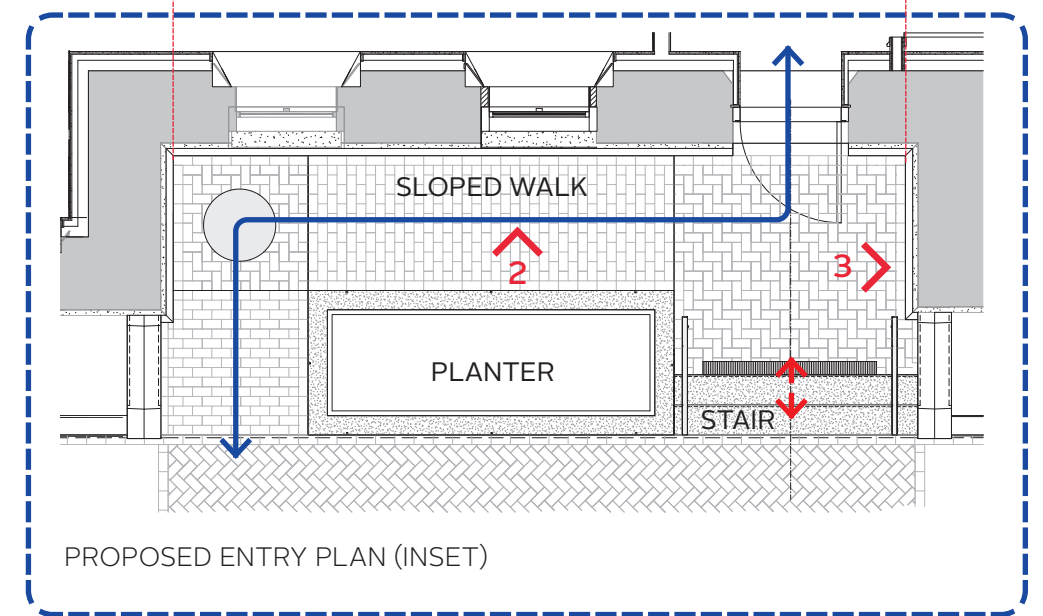
3. PROPOSED SECTION

Two existing doors on the south elevation reflect the secondary, partially below-grade aspect of the ground floor story. The east door is not shown in the original design drawings. Both doors are not accessible due to steps down from the sidewalk. Two existing uses serving visitors, the Adams Pool Theater and the Bow & Arrow Press, are within.

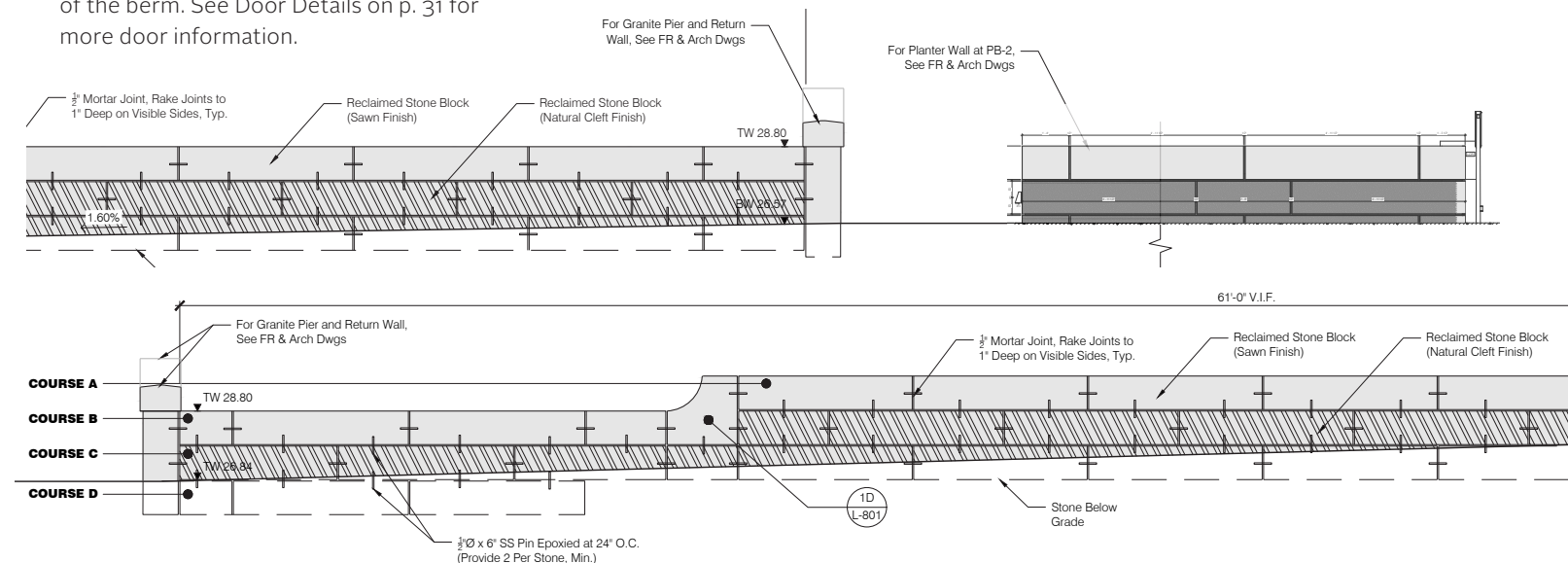
As illustrated here in the proposed drawings, the west door will swap with the window immediately right, and the landscape will be reworked to include new stairs and a sloped path wrapping a central planter. The east door will become a window. The planter and modified site walls will retain the historic treatments of corners, terminations, and rusticated base courses. Granite cladding will cover areas of rubble foundation exposed by the removal of the berm. See Door Details on p. 31 for more door information.



2. PROPOSED ELEVATION WITH NEW DOOR



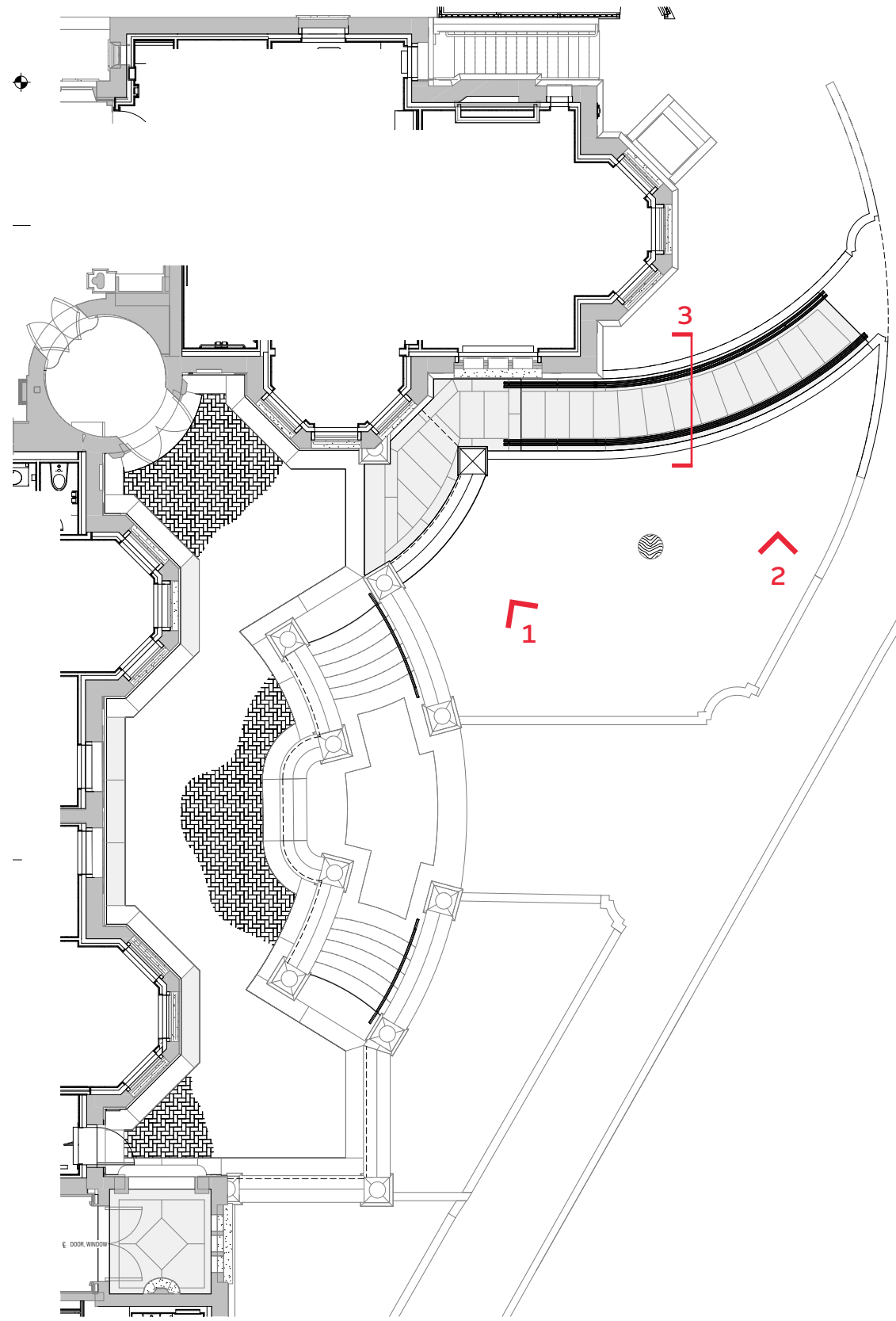
PROPOSED ENTRY PLAN (INSET)



PROPOSED RETAINING WALL AND PLANTER ELEVATIONS

# Upper Bow Street Accessibility - 1

Adams Phase 3 Complex



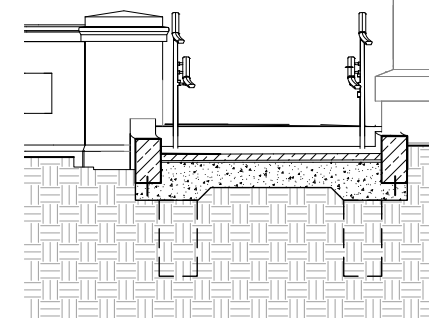
PROPOSED PLAN



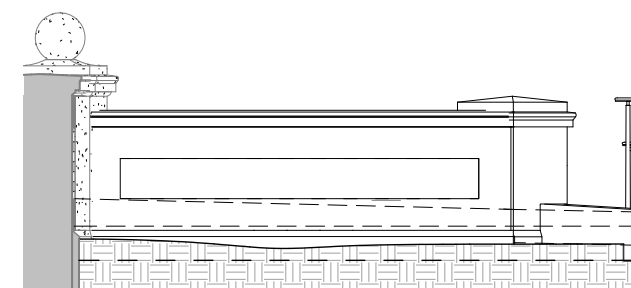
PROPOSED AXONOMETRIC



EXISTING PHOTO OF LINDEN TREE



3. RAMP SECTION

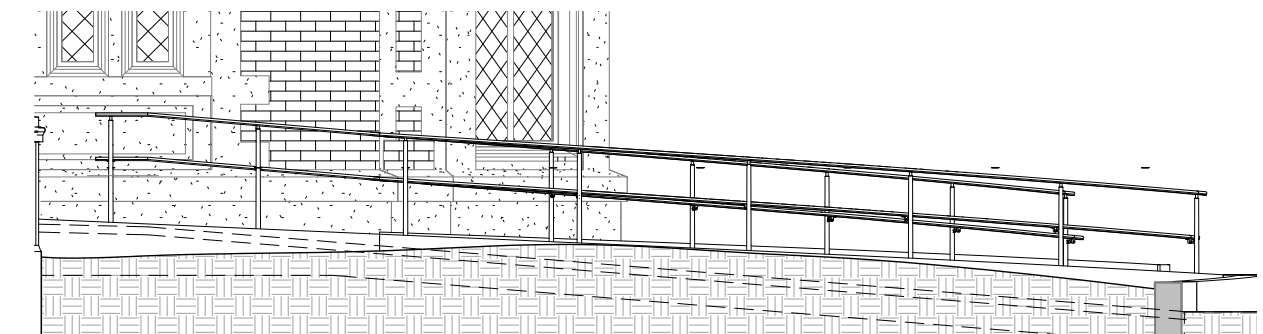


1. WALL A - ELEVATION (CURVED)

### Lessening the Impact on the Linden Tree

Several design parameters and constraints inform the design of this proposed ramp providing universal access to the Westmorly Terrace and the B-entry. The first is the potential impact to the existing Linden Tree adjacent. There is also the language of the existing terrace site walls, a need to separate this route from the kitchen service route located to the north, and lastly the Bow Street topography rising toward Mass Ave.

The proposed ramp, rather than set on fill with continuous shallow wall footings, will comprise a structured slab, grade beam, supported by helical anchors. The upper landing is conceived as a transitional moment between the existing terrace and the ramp proper. The grades were studied closely and confirmed that the ramp will be >5%, requiring handrails. The handrails will use the same simple historic profile seen at the Plympton entry. A handrail will also be added at the east side of each existing terrace stair.



2. RAMP + CURB WALLS - ELEVATION

# Upper Bow Street Accessibility - 2

Adams Phase 3 Complex



PHOTO - EXISTING CONDITIONS



RENDERING - APPROACH FROM SOUTH



RENDERING - APPROACH FROM NORTH



RENDERING - VIEW MIDWAY UP RAMP

# Upper Bow Street Accessibility - 3

Adams Phase 3 Complex

## Maintaining the 3 Round Windows

Westmorly's exterior design includes three ocular windows of leaded glass on the east elevation. One is set adjacent to the B-Entry, while the other two flank the A-Entry. Because the finish floor is two steps above the terrace level, making either entry door accessible was determined to be infeasible. Instead, a masonry opening will be created and new door added below the B-Entry ocular window.

See the following page for a selection of door details.



1. PHOTO - EXISTING CONDITIONS



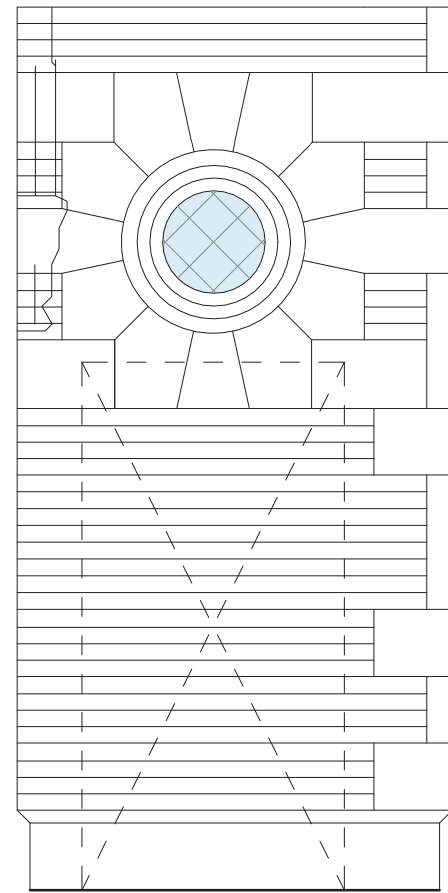
EXISTING B-ENTRY LOGGIA



EXISTING B-ENTRY DOOR



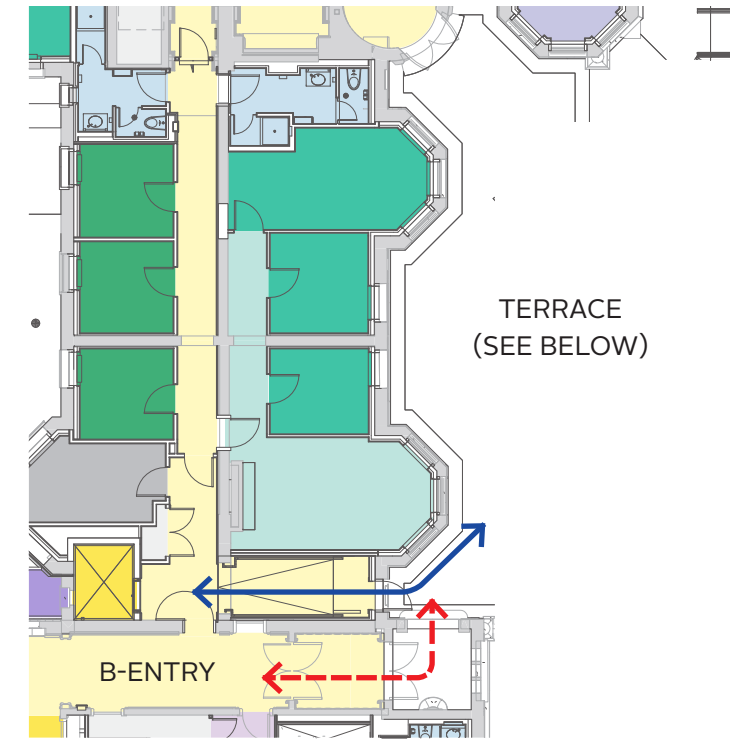
EXISTING A-ENTRY DOOR



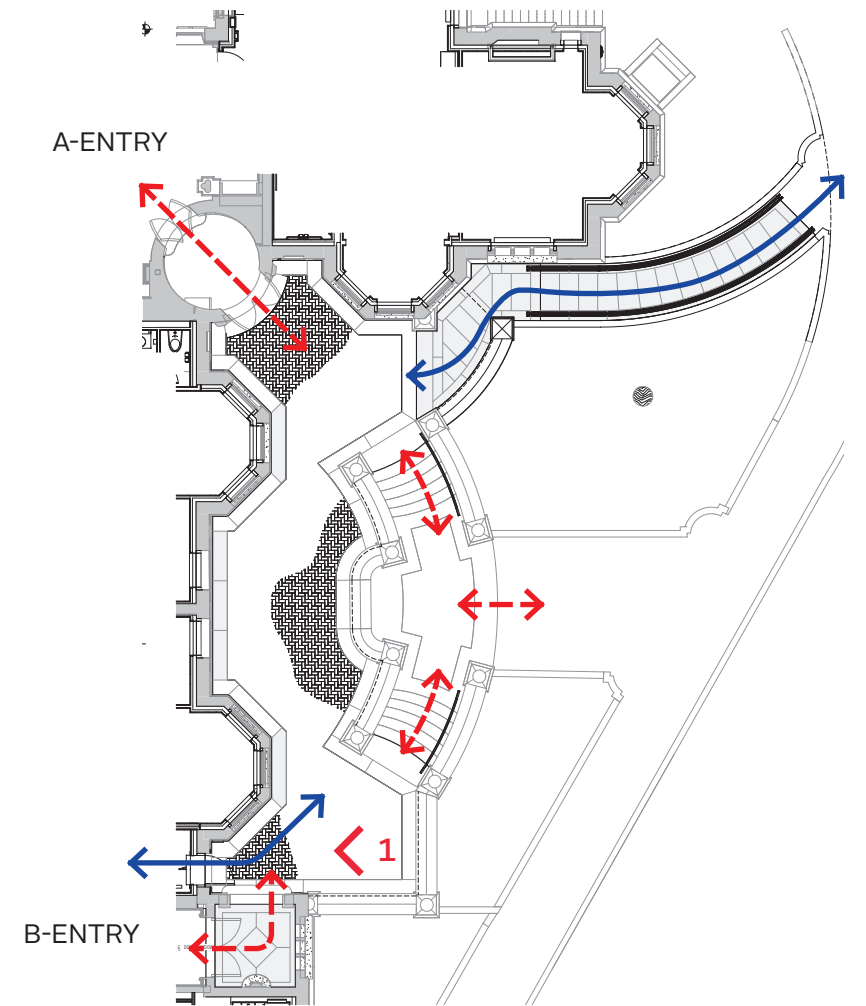
1. EXISTING ELEVATION WITH PROPOSED MASONRY OPENING DASHED IN



1. PROPOSED ELEVATION WITH NEW DOOR



PROPOSED COLOR FLOOR PLAN

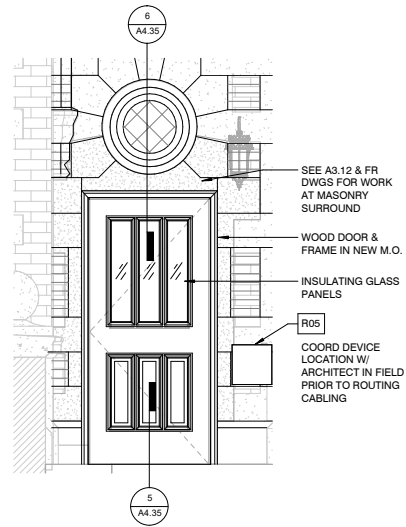


PROPOSED TERRACE PLAN

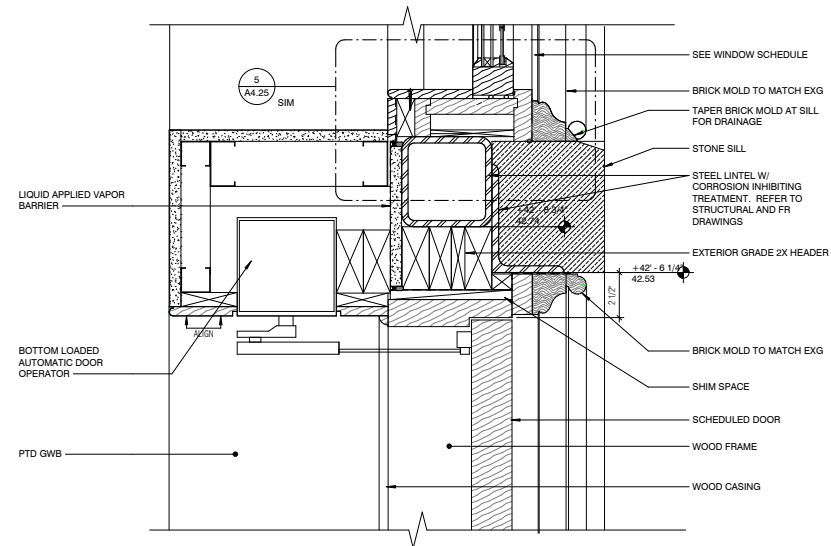
↔ ACCESSIBLE ROUTE  
↔ STAIRS/NON-ACC.

# Westmorly - Details for New Exterior Doors

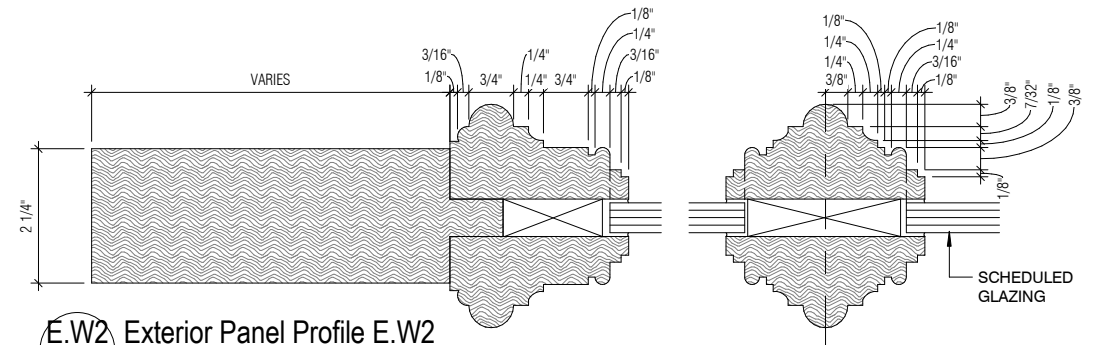
Adams Phase 3 Complex



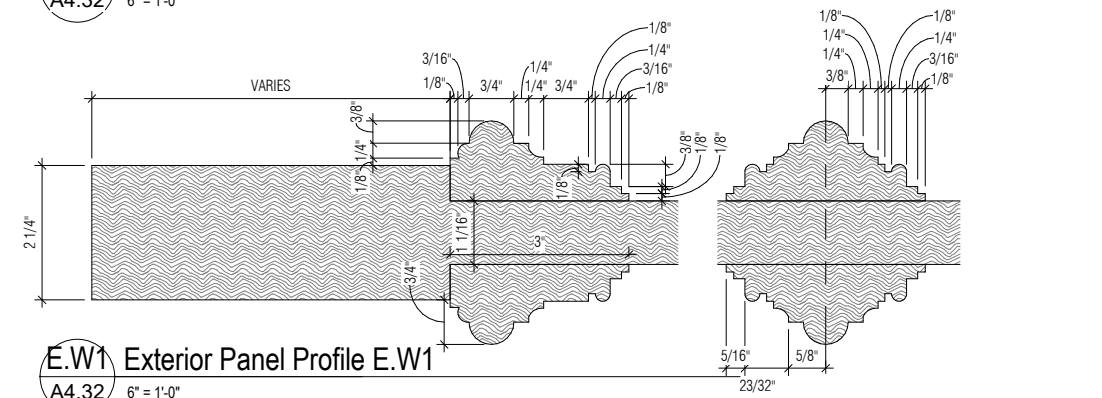
EXG CONDITION AT E.W100L



6 Door E.W100M Head Detail  
A4.35 3" = 1'-0"



E.W2 Exterior Panel Profile E.W2  
A4.32 6" = 1'-0"



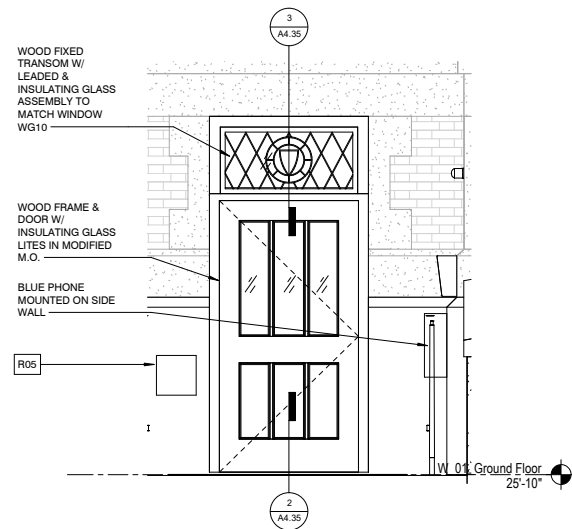
E.W1 Exterior Panel Profile E.W1  
A4.32 6" = 1'-0"

2 Ext Door - W (Terrace Acc. Entry) E.W100L  
A4.31 1/2" = 1'-0"

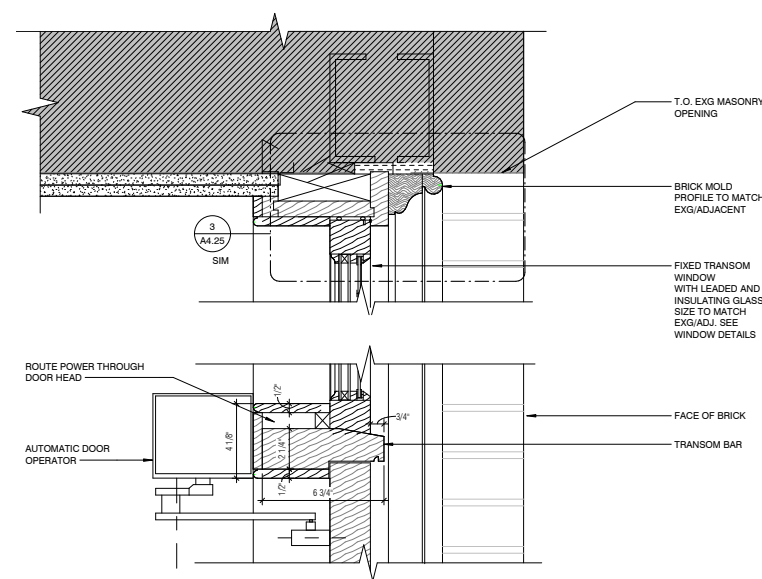
B-ENTRY ACCESSIBLE DOOR FROM TERRACE - PROPOSED DOOR ELEVATION

PROPOSED DOOR HEAD DETAIL

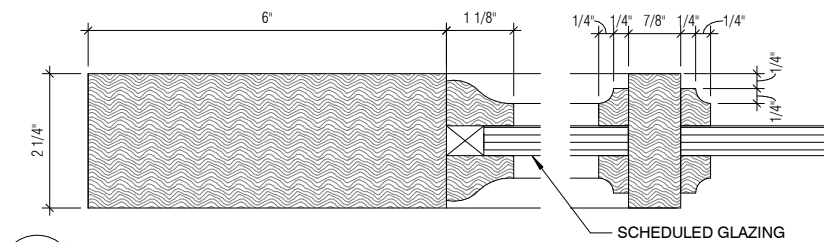
PROPOSED DOOR PROFILES (MATCHES EXG)



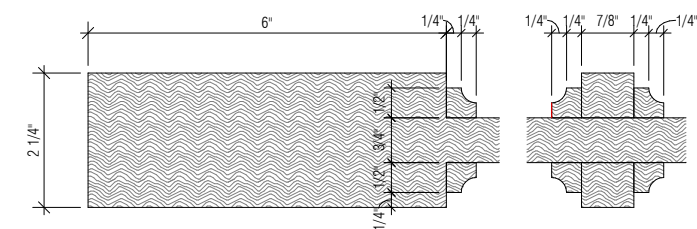
EXG CONDITION AT E.WG00C



3 Door E.WG00C Head Detail  
A4.35 3" = 1'-0"



E.W4 Exterior Panel Profile E.W4  
A4.32 6" = 1'-0"



E.W3 Exterior Panel Profile E.W3  
A4.32 6" = 1'-0"

1 Ext Door - W (Bow Street) E.WG00C  
A4.31 1/2" = 1'-0"

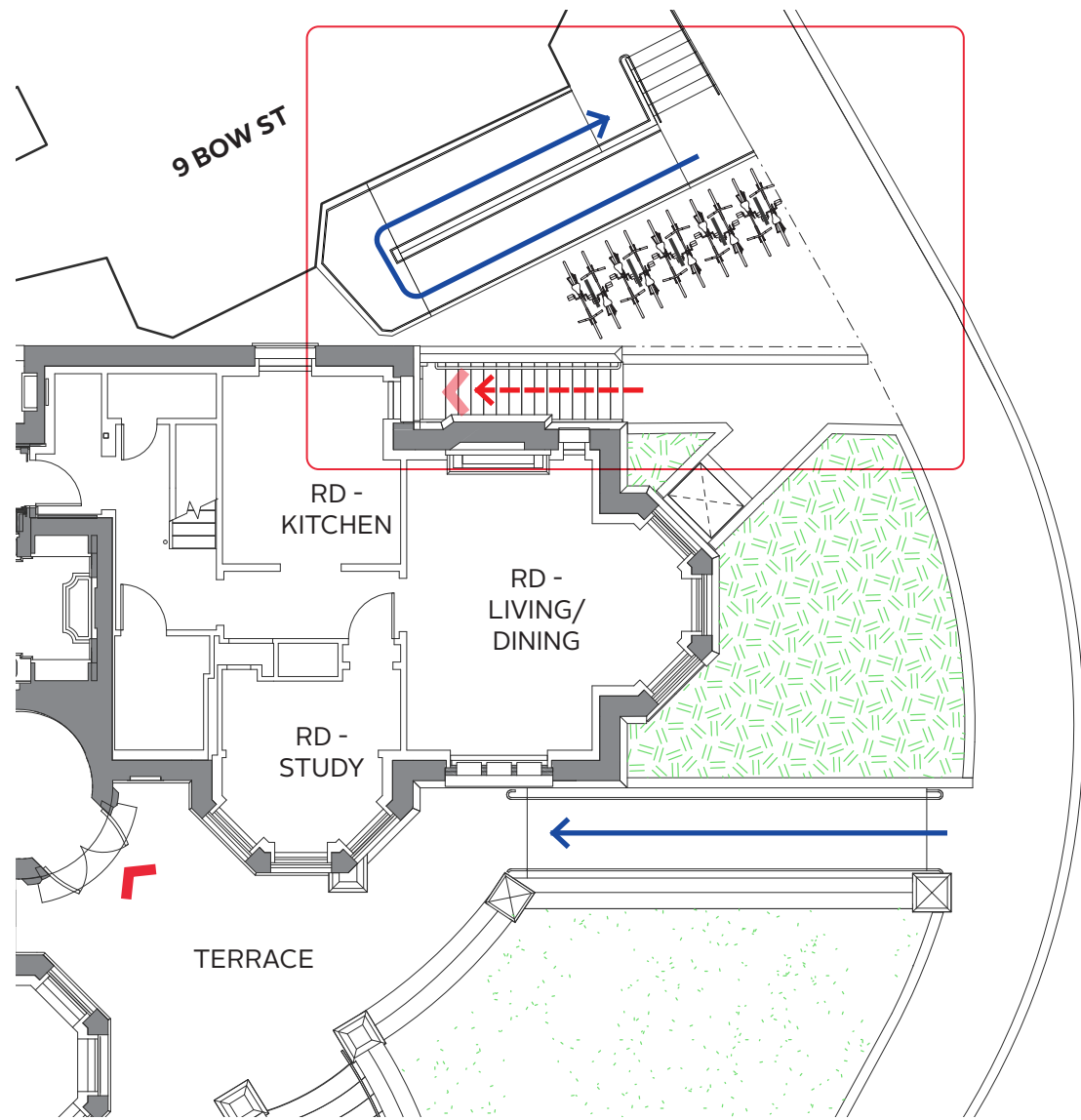
LOWER BOW STREET (POOL THEATER) ENTRY - PROPOSED DOOR ELEVATION

PROPOSED DOOR HEAD DETAIL

PROPOSED DOOR PROFILES (INSPIRED BY FIRST FLOOR PROFILES; EXISTING DOOR IN THIS GENERAL LOCATION IS NOT HISTORIC)

# Upper Bow Street Waste/Recycling Enclosure

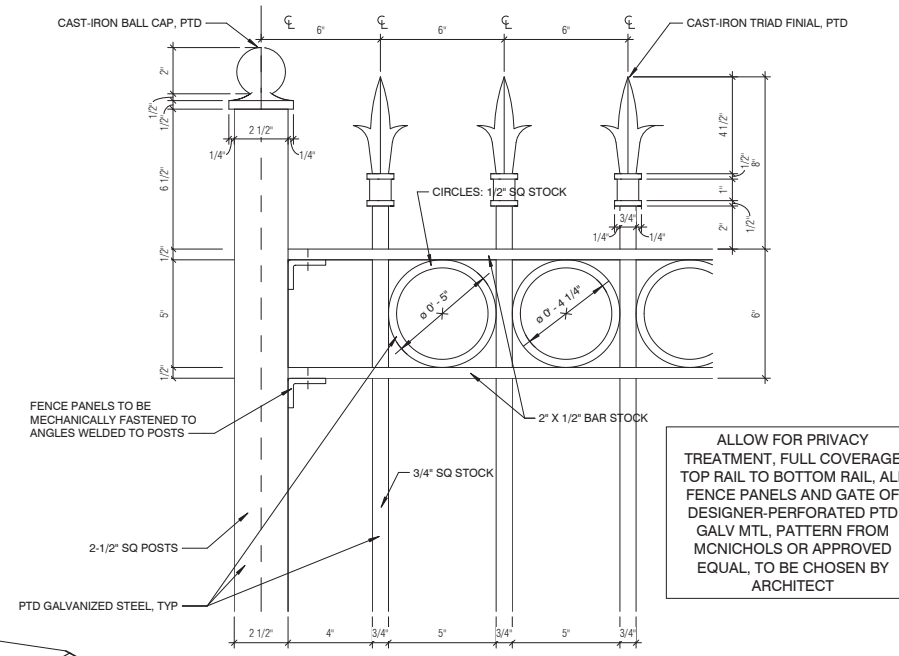
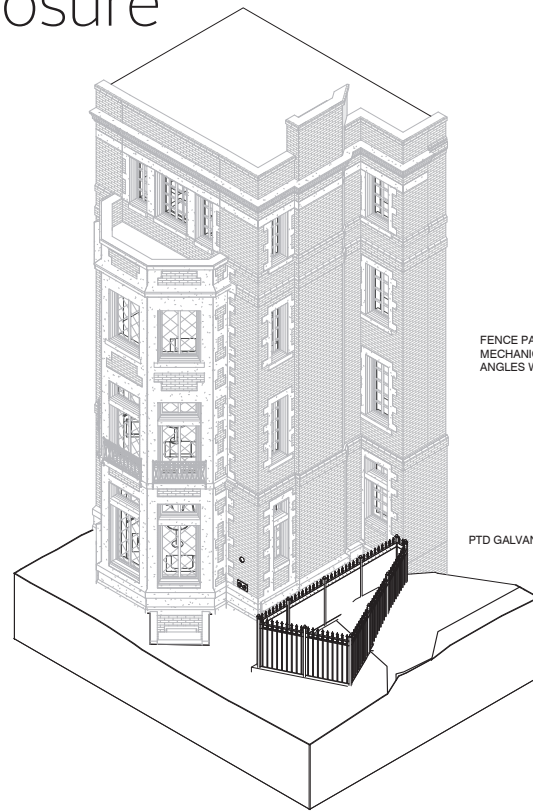
Adams Phase 3 Complex



EXISTING CONDITIONS/RENEWAL BASE DESIGN



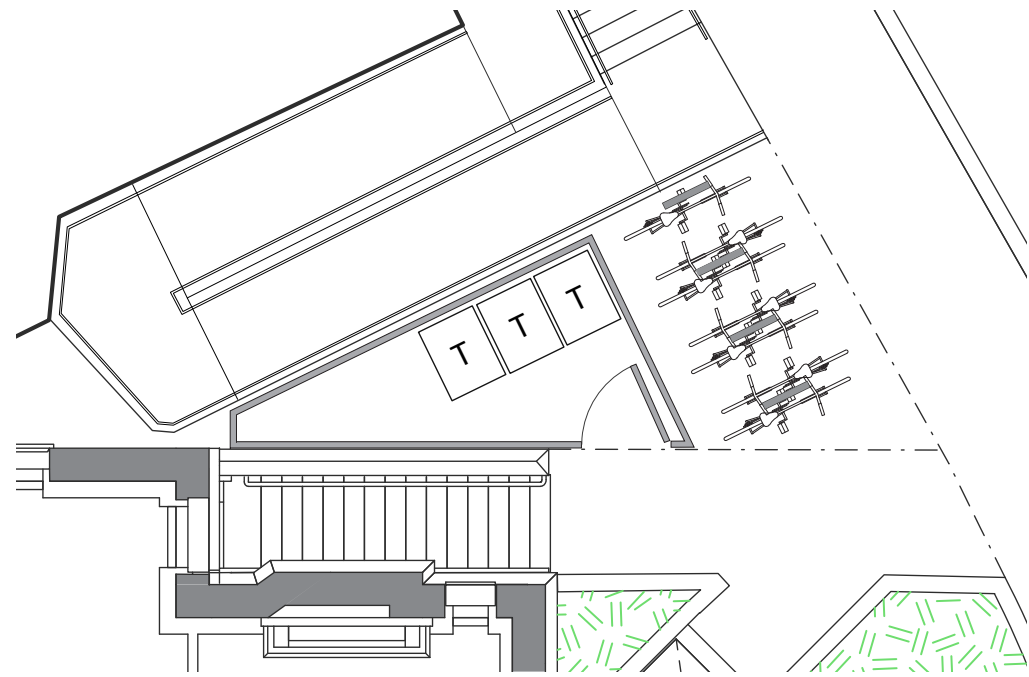
EXISTING CONDITIONS



5 Upper Bow W/R Enclosure Detail  
A4.64 3\"/>



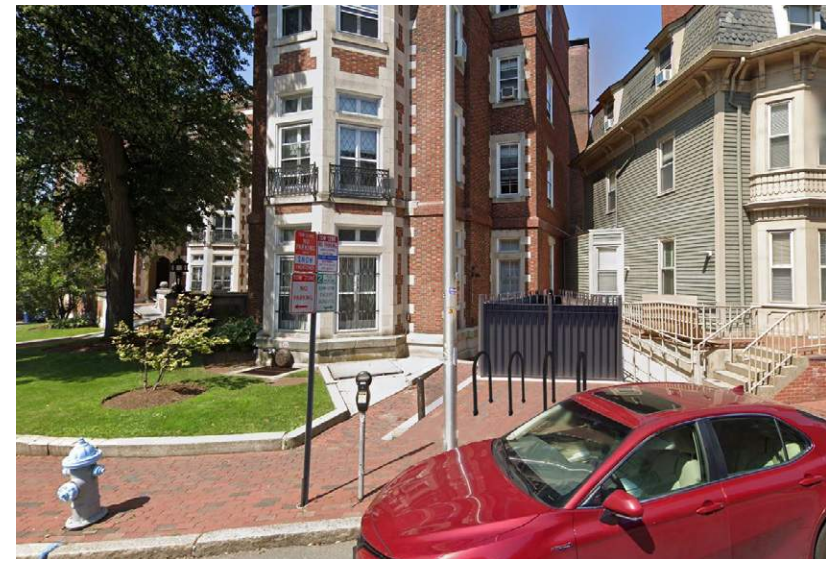
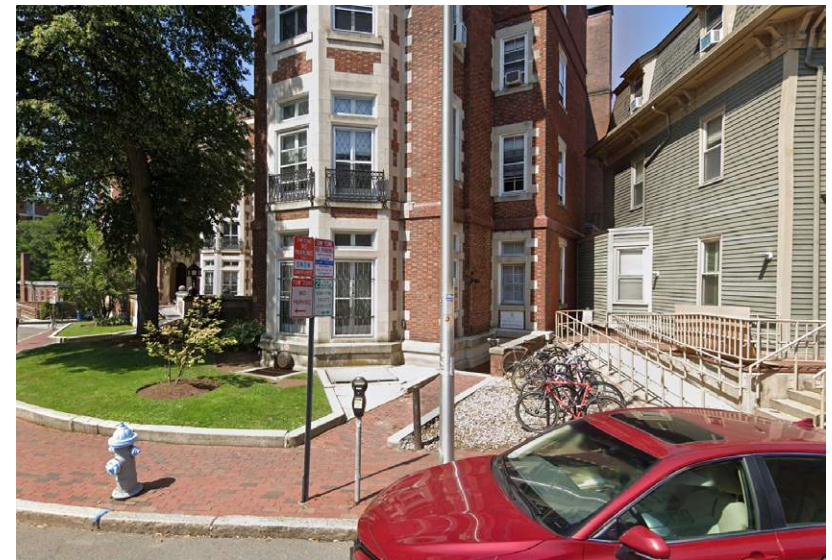
ADJACENT ORIGINAL 1902 METALWORK



PROPOSED HUDS TRASH/RECYCLING SCHEME - ENLARGED PLAN

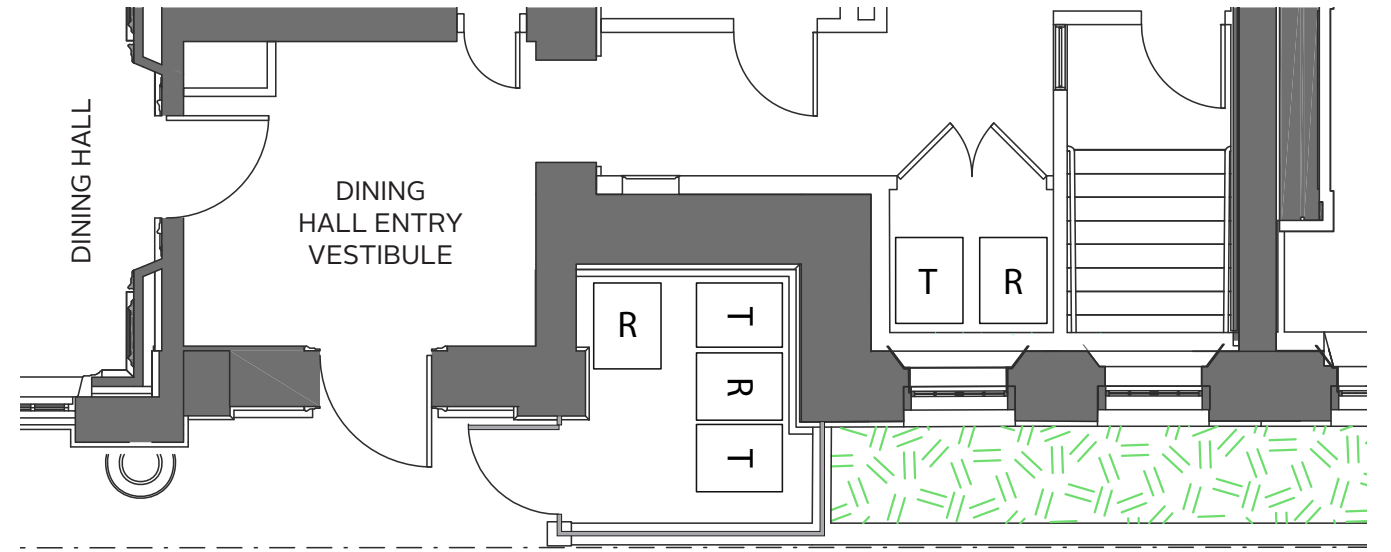
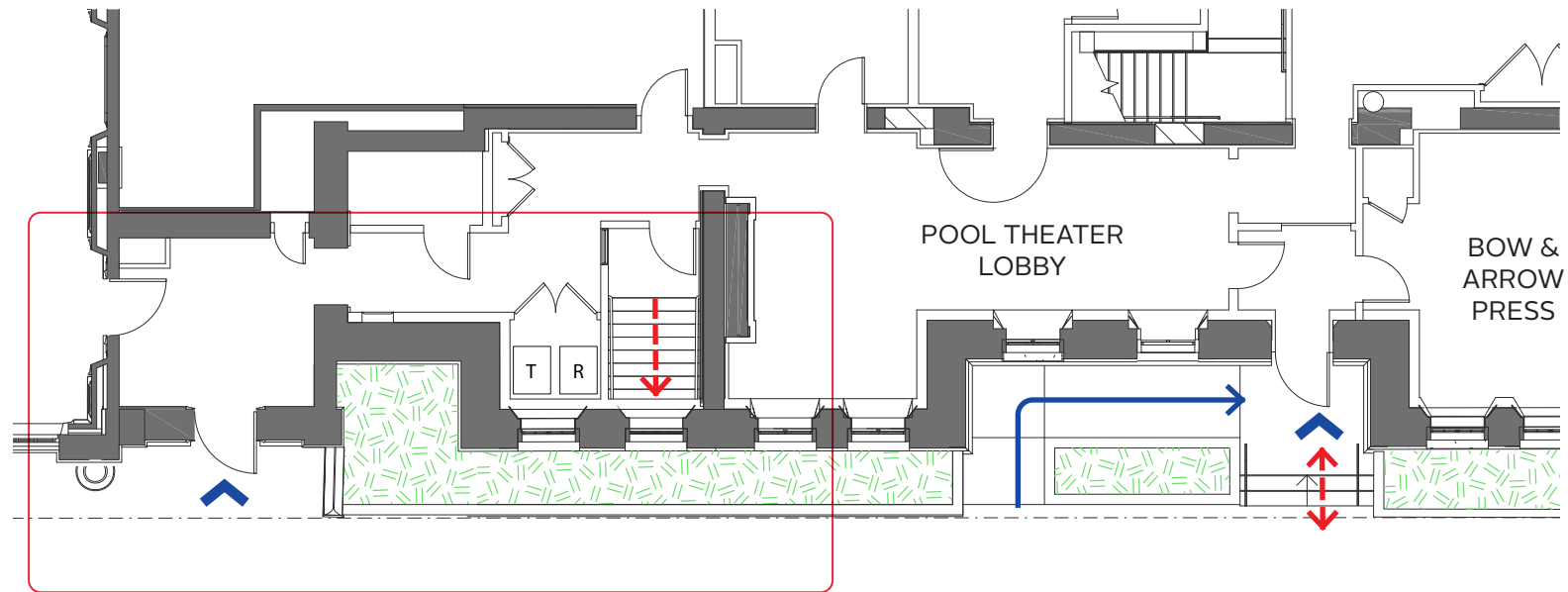
### A Waste/Recycling Enclosure for Dining Services

The service entrance for the Adams kitchen is located within an areaway adjacent to 9 Bow Street. An existing sidewalk materials lift is also used to transport goods to the kitchen level. The pathways, gravel triangle and bike racks are to be reconfigured to allow for a small waste enclosure of black painted metal. The decorative ornament refers to the adjacent historic window grilles.



# Lower Bow Street Waste/Recycling Enclosure

Adams Phase 3 Complex



PROPOSED ENCLOSURE PLAN

## EXISTING CONDITIONS/RENEWAL BASE DESIGN



EXISTING CONDITIONS PHOTO

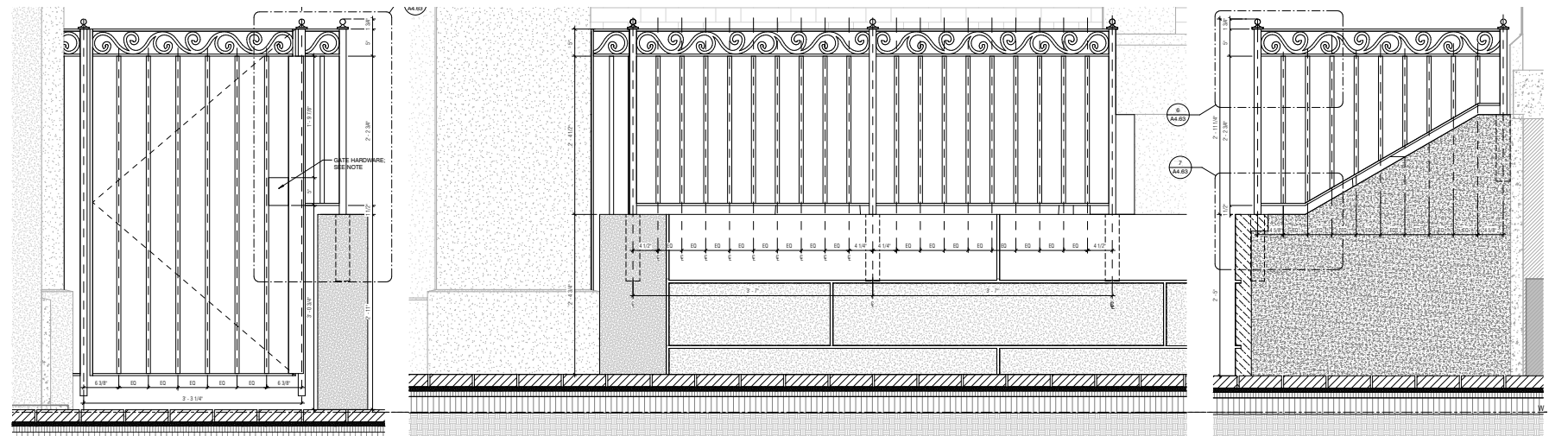
PROPOSED PHOTOMONTAGE

### A Waste/Recycling Enclosure for Dining Services

On Lower Bow Street, a small waste enclosure is also proposed at the indent of Westmorly where it meets Library Commons. This area of raised soil would be excavated. A granite water table and cladding will protect the exposed rubble foundation uncovered by the excavation. The proposed decorative motifs in the metalwork are distinct from the north enclosure and relate to the specific metalwork forms at the adjacent window grilles on B-Entry.



ADJACENT ORIGINAL 1898 METALWORK



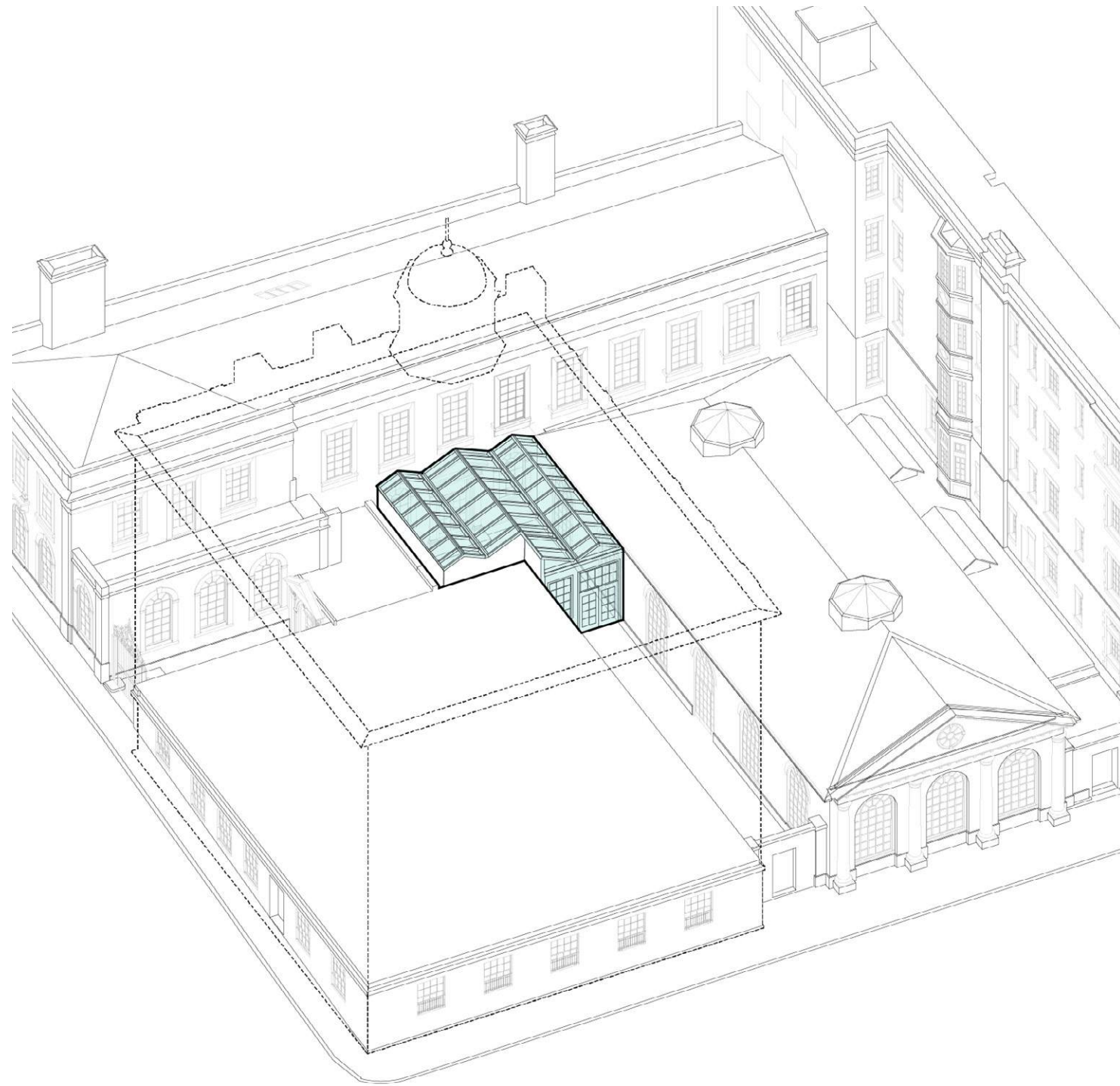
PROPOSED ELEVATIONS - WEST

SOUTH

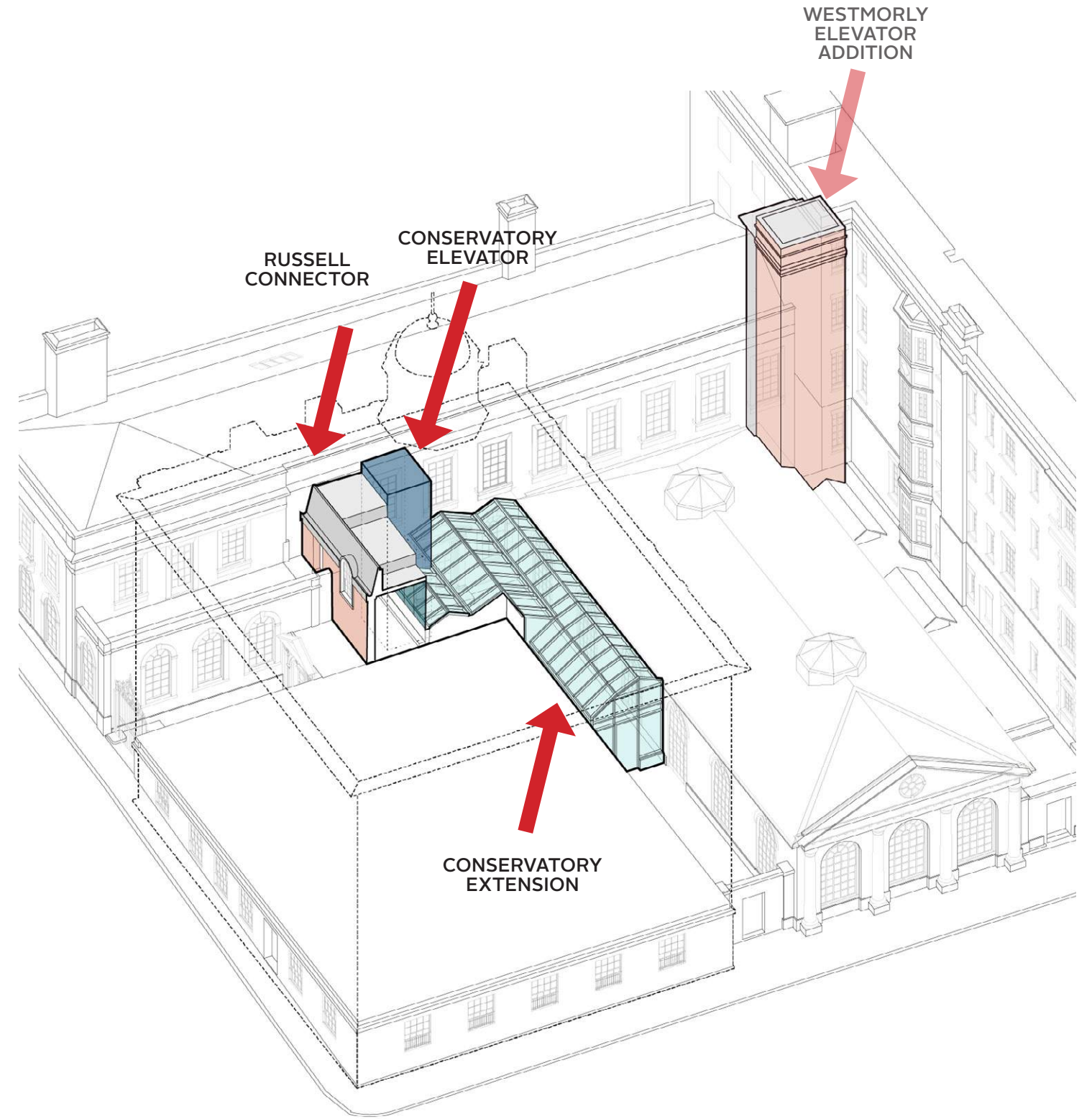
EAST

# Library Commons Additions - Conservatory Extension & Elevator, Russell Connector

Adams Phase 3 Complex



**EXISTING CONDITIONS** - NOTE RUSSELL HALL HIDDEN FOR CLARITY

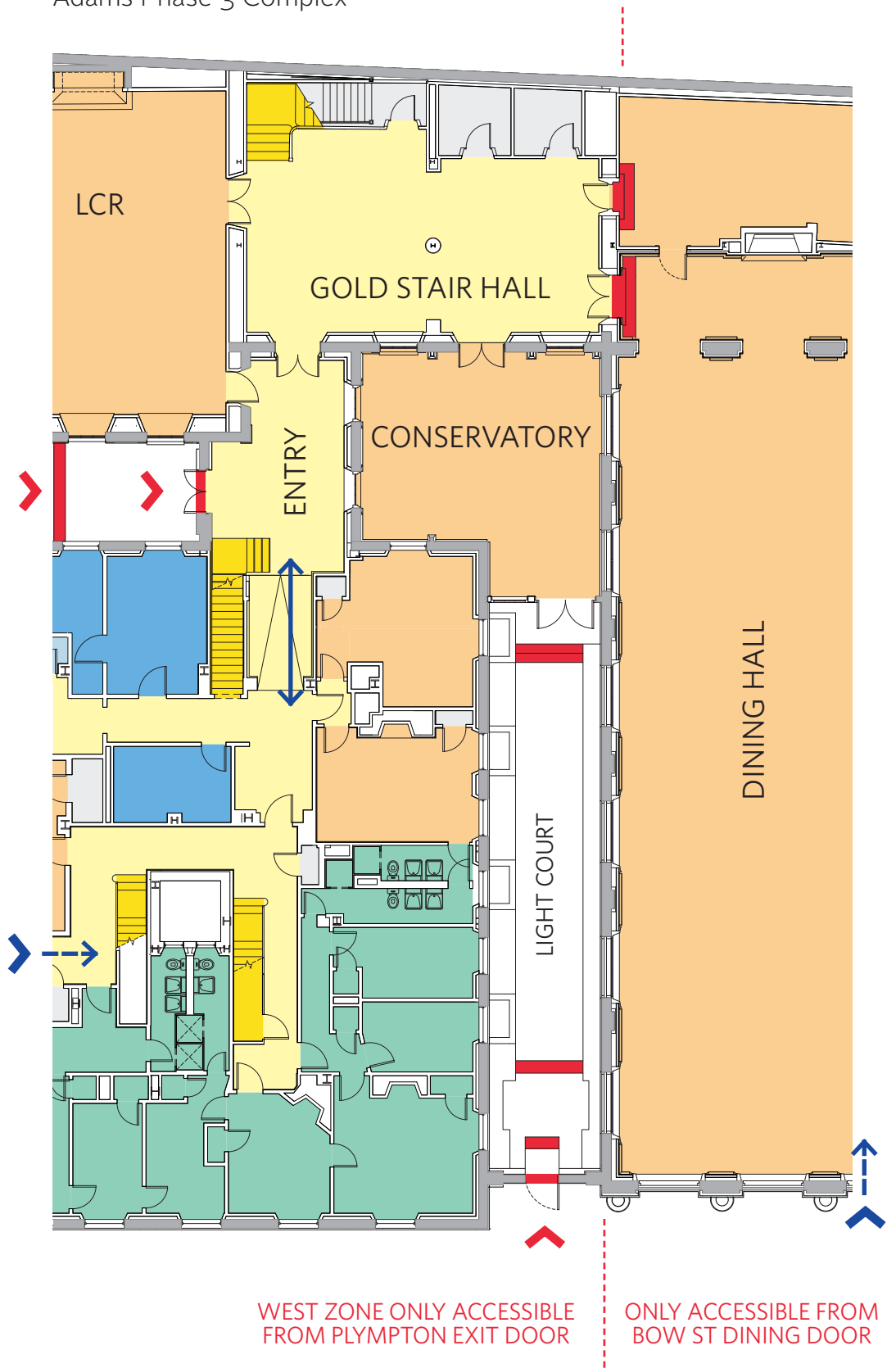


**PROPOSED**



# Library Commons Additions - Ground Floor Planning

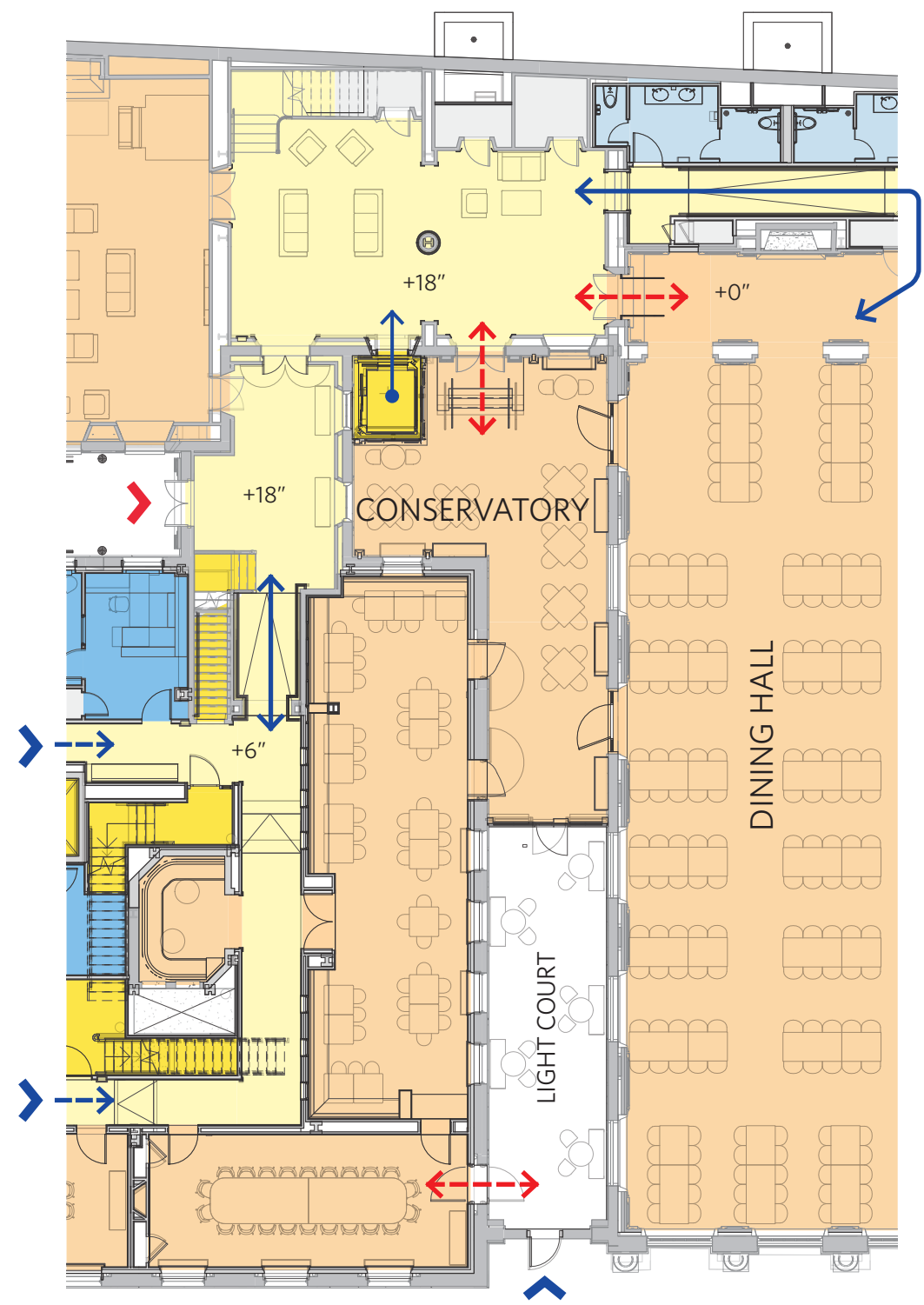
Adams Phase 3 Complex



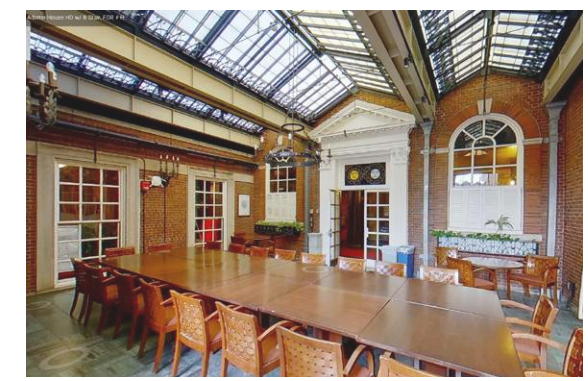
WEST ZONE ONLY ACCESSIBLE FROM PLYMPTON EXIT DOOR

ONLY ACCESSIBLE FROM BOW ST DINING DOOR

EXISTING CONDITIONS - FIRST FLOOR



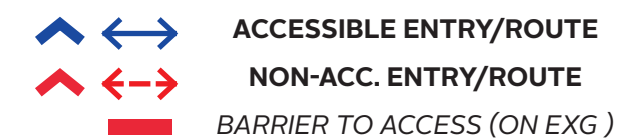
PROPOSED - ELEVATOR & CONSERVATORY EXTENSION



EXISTING CONDITIONS - PHOTOS

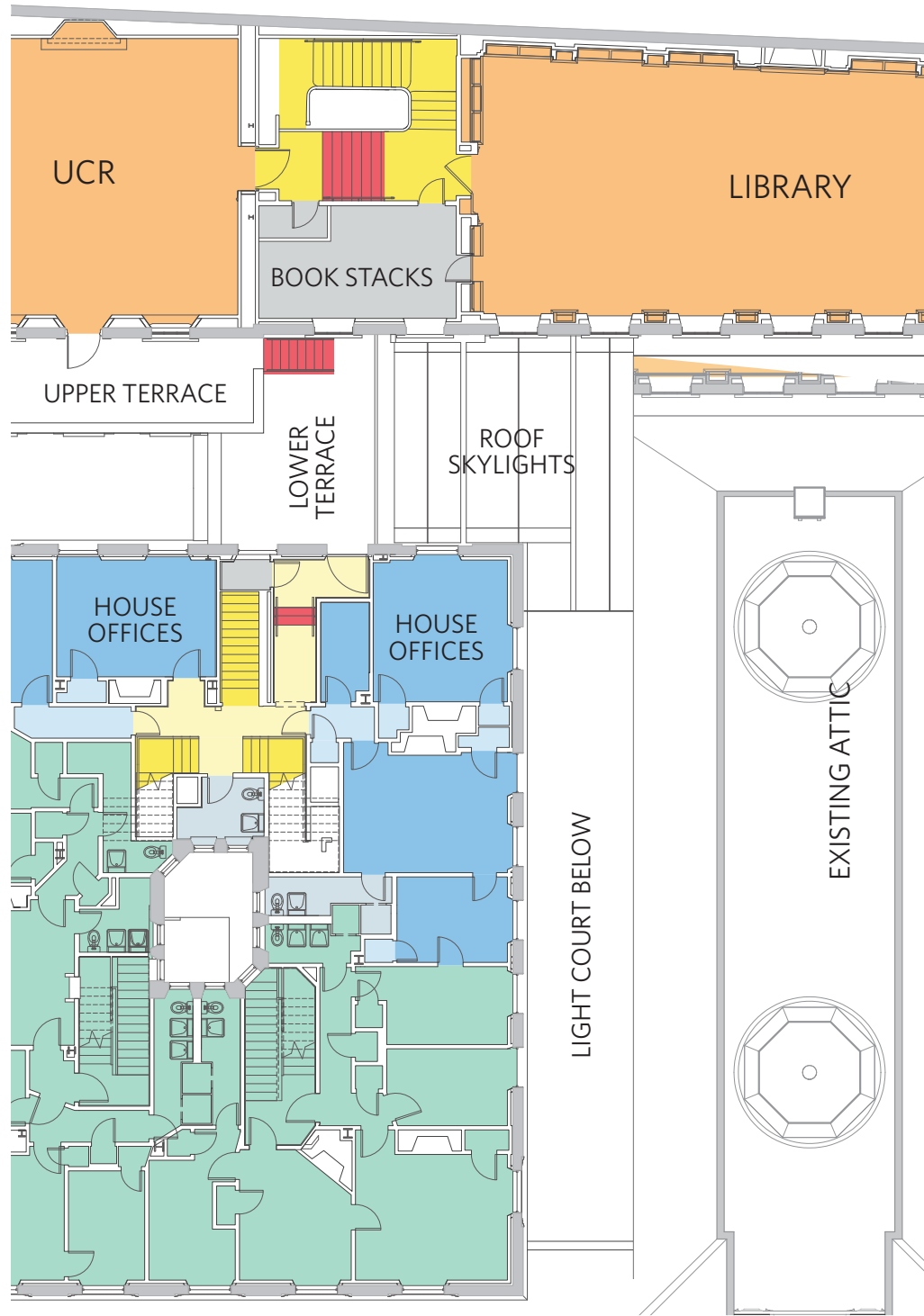
Today, the ground floor of Library Commons is fragmented into two zones for universal access, and the first floor above is not accessible at all. In addition, the existing residential use in Russell along Bow Street creates privacy and safety issues.

In the proposed plan, residential is relocated, and the ground floor of Russell becomes a series of dining and gathering rooms. The Conservatory is lowered to the Dining Hall level and expanded to connect all these spaces, while the new Conservatory elevator links to the First Floor spaces.

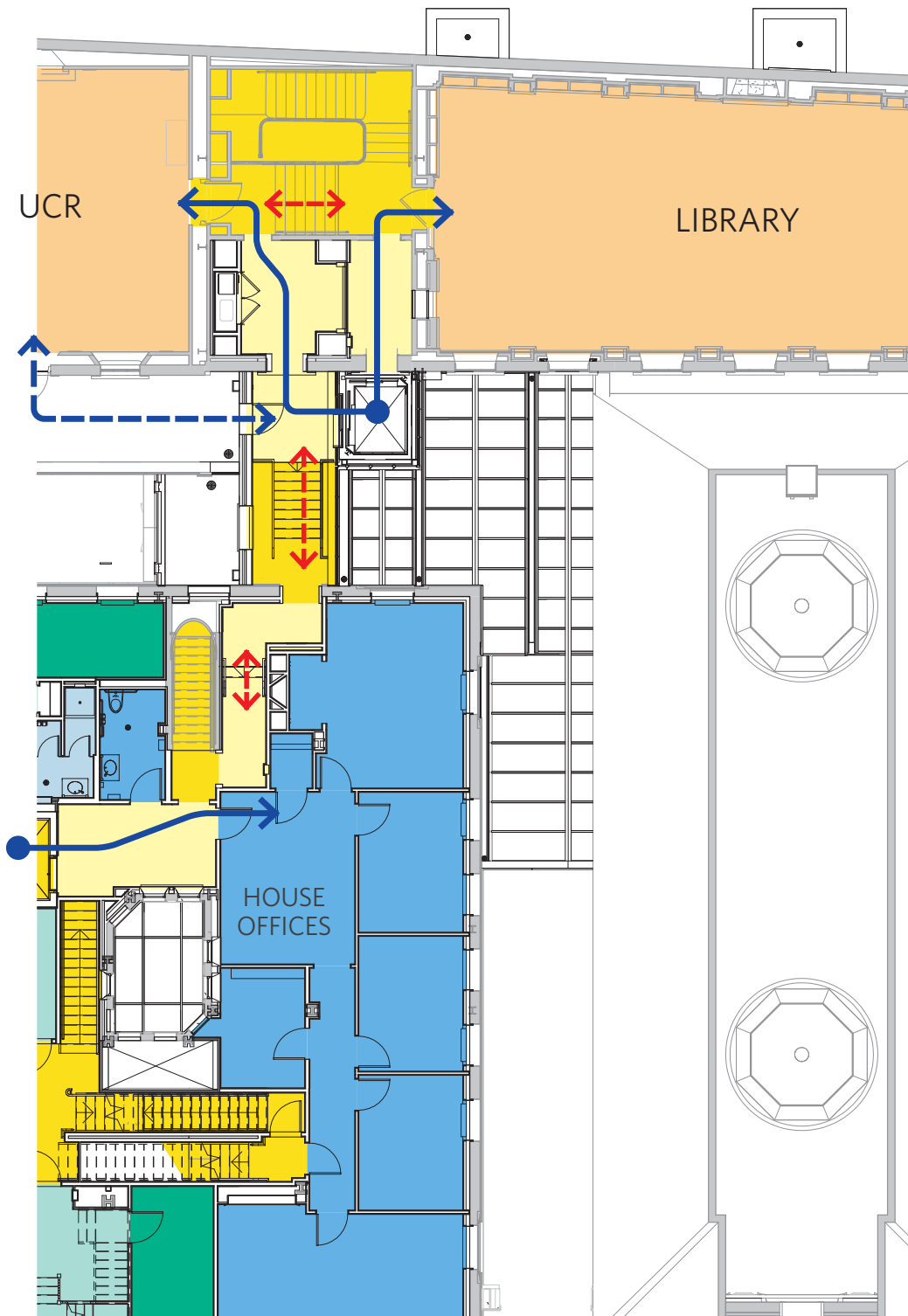


# West Additions - First Floor Planning

Adams Phase 3 Complex



**EXISTING CONDITIONS - FIRST FLOOR**



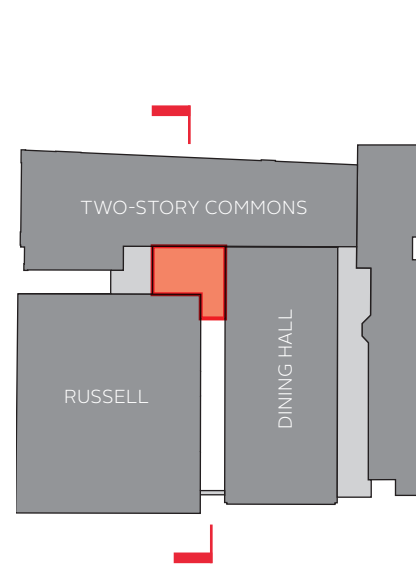
**ALTERNATE SCOPE PLAN - FIRST FLOOR LINK**

On the First Floor, the small existing book stack room serving the library is renovated to create accessible circulation routes at two levels from the front/side-opening Conservatory elevator. An enclosed connection between the two buildings, the Russell Connector, contains one of the elevator landings. It also serves as the second means of egress for the UCR (Upper Common Room) via the terrace.

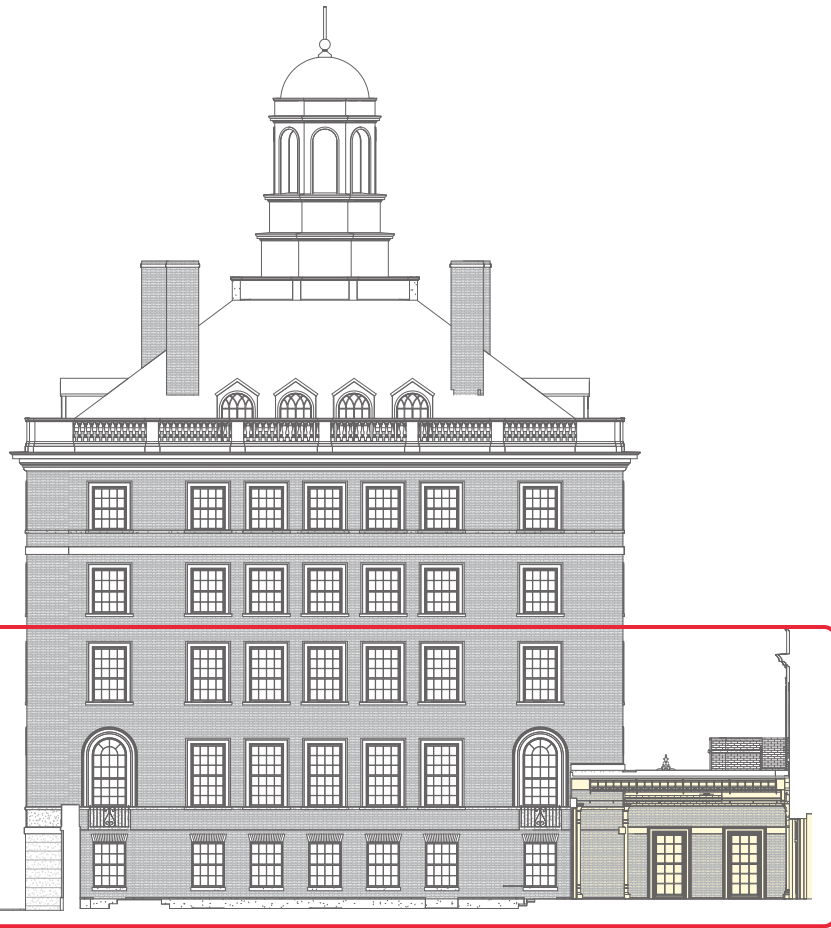


# West Additions - Conservatory Sections - 1

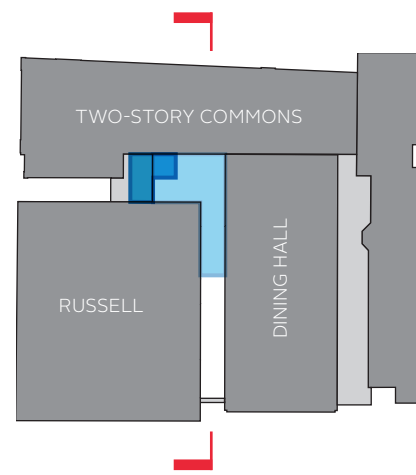
Adams Phase 3 Complex



**EXISTING - DIAGRAM**

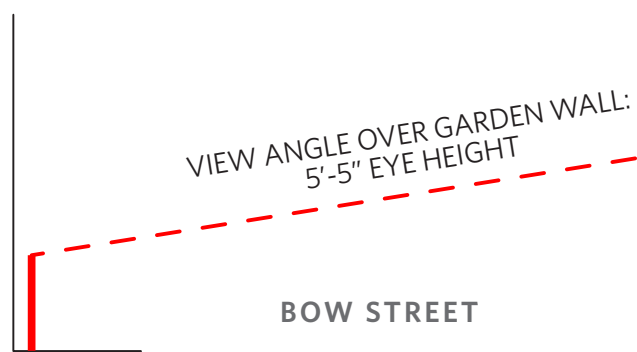


**EXISTING - OVERALL RUSSELL EAST ELEVATION**

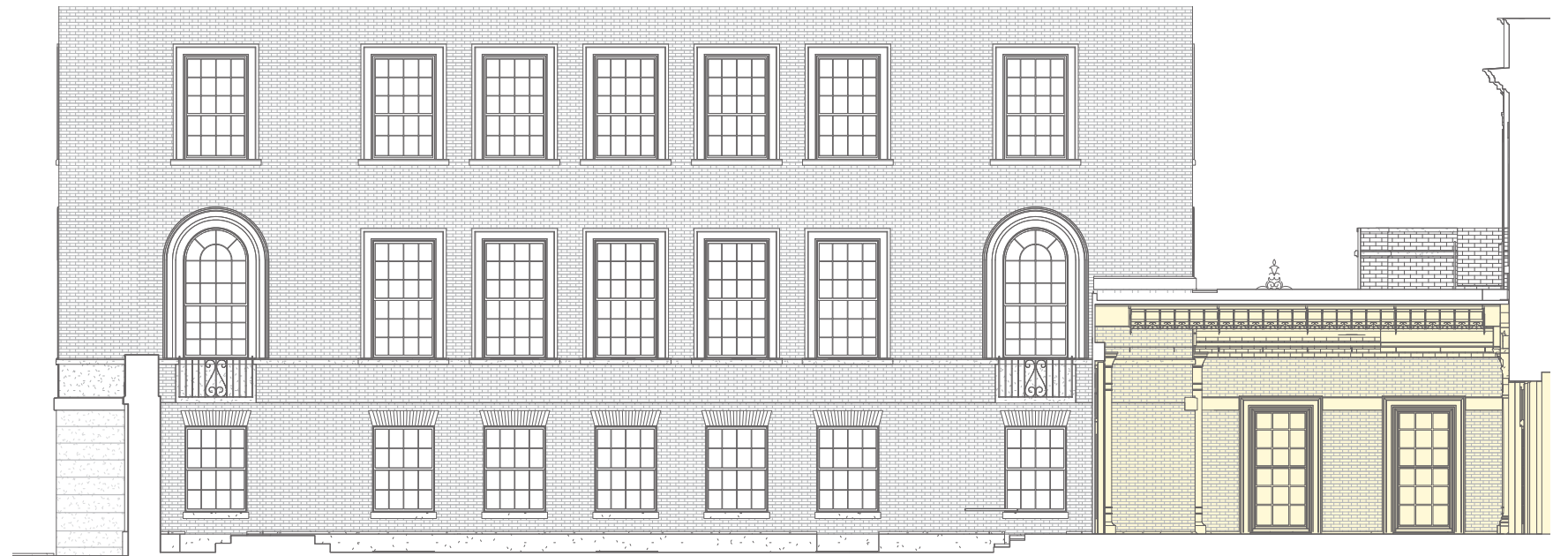


**PROPOSED - DIAGRAM**

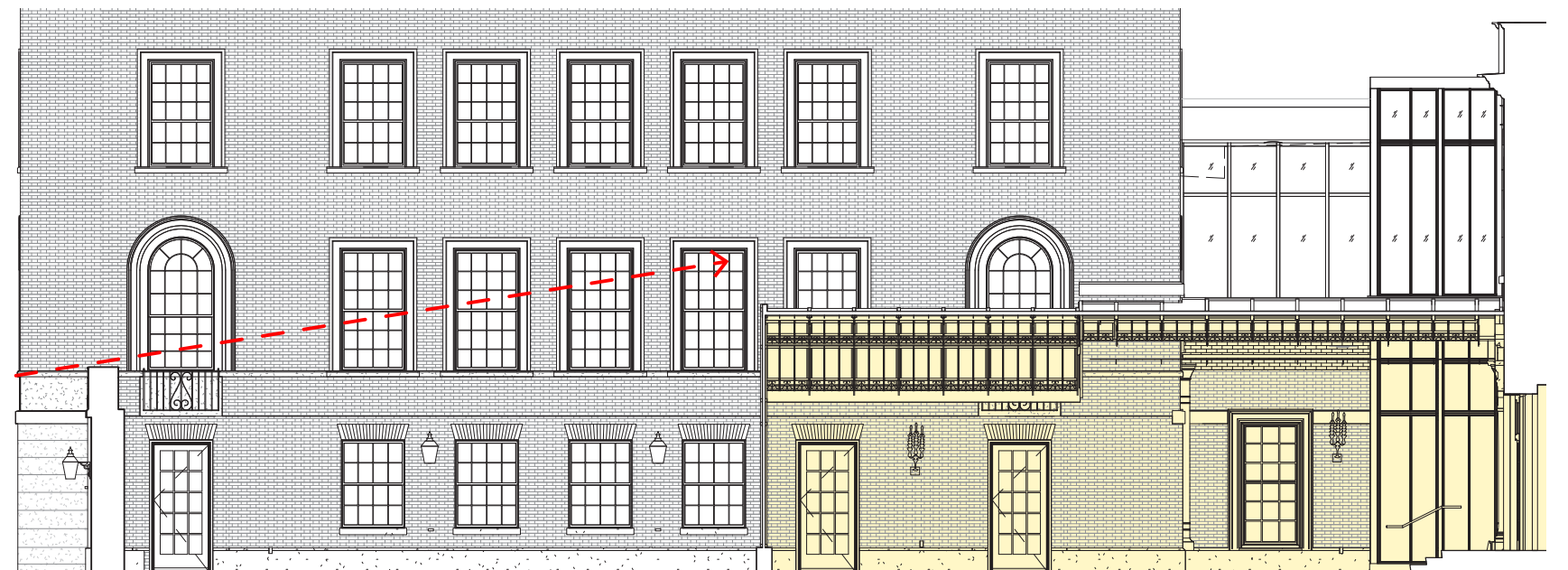
As the diagrams above and to the right illustrate, the conservatory elevator addition and expansion will not be visible from the public right of way, due to the narrow width of Bow Street and the one-story garden wall separating the light court from the sidewalk.



**BOW STREET**



**EXISTING CONDITIONS - EXISTING CONSERVATORY (GOLD HALL LEVEL) & LIGHT COURT**



**PROPOSED - EXPANDED CONSERVATORY, CONNECTOR BEYOND**

# West Additions - Conservatory Sections - 2

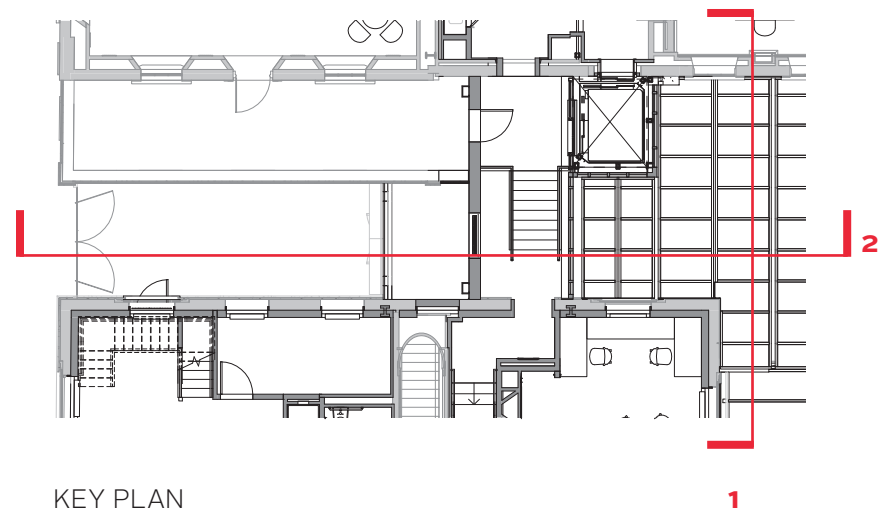
Adams Phase 3 Complex



1. SECTION THROUGH CONSERVATORY LOOKING WEST



2. SECTION THROUGH CONSERVATORY LOOKING NORTH



KEY PLAN

The east-facing elevations of the connector are clad with a glazing system and dark metal to maintain continuity with the replacement skylight system over the conservatory.



2A. EXISTING SECTIONAL CONDITION (SEE ALSO NEXT PAGE)



RENDERING OF PROPOSED DESIGN (WITHOUT MATERIALS)

# West Additions - Russell Connector Facade - 1

Adams Phase 3 Complex

On Plympton Street, the Russell Connector presents a different face, responding to the context and establishing a relationship with the existing main Adams entry portico below. A steep-slope zinc-copper roof and arch-headed zinc-copper barrel "wall" dormer complete the composition, creating visual interest and strengthening the visual link between Library Commons and Russell Hall. The addition is set back from the plane of the existing portico wall. Note that the Upper Common Room terrace is extended by a couple of feet to make contact with the addition. More views on the following page.



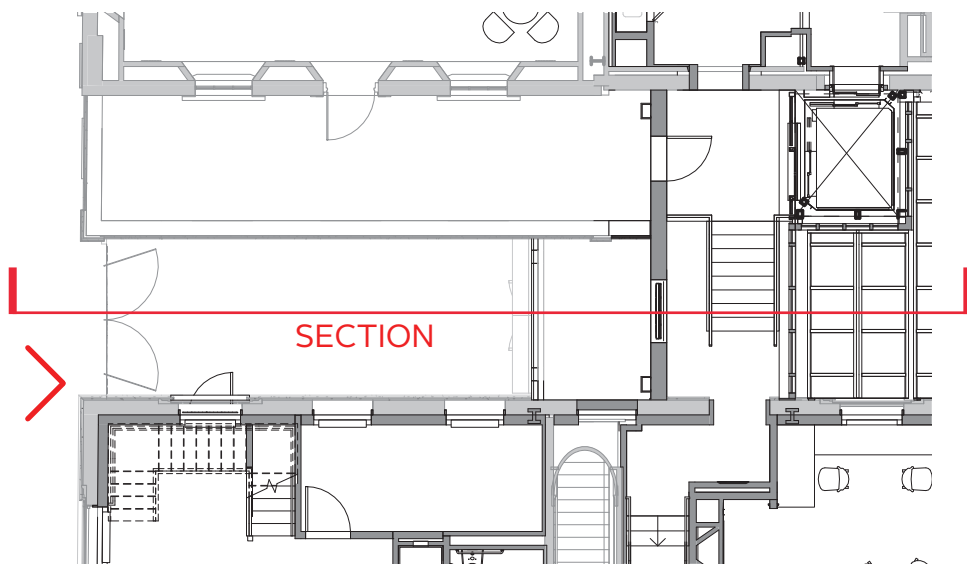
EXISTING CONDITIONS AND CONCEPTUAL PHOTO-MONTAGE



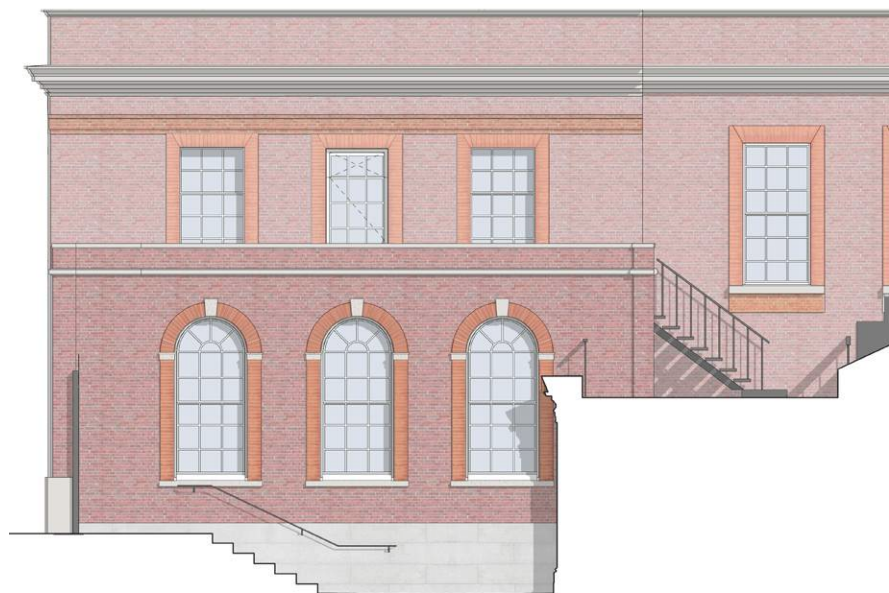
EXISTING CONDITIONS - PLYMPTON FACADE/MAIN ENTRY



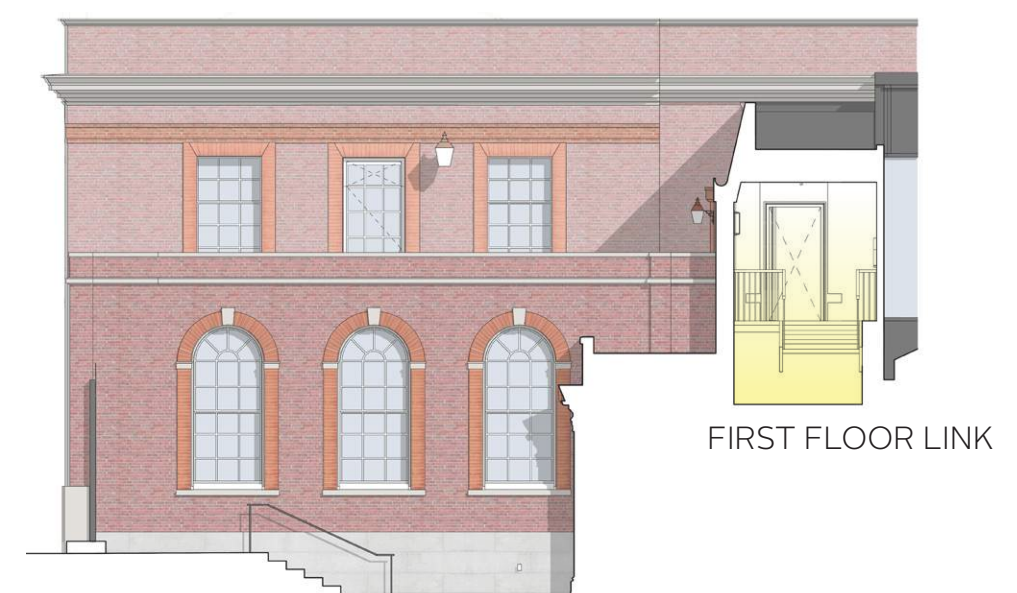
PROPOSED MASSING - LCB/RUSSELL LINK



FIRST FLOOR - PROPOSED PART PLAN



EXISTING SECTION



PROPOSED SECTION

# West Additions - Russell Connector Facade - 2

Adams Phase 3 Complex

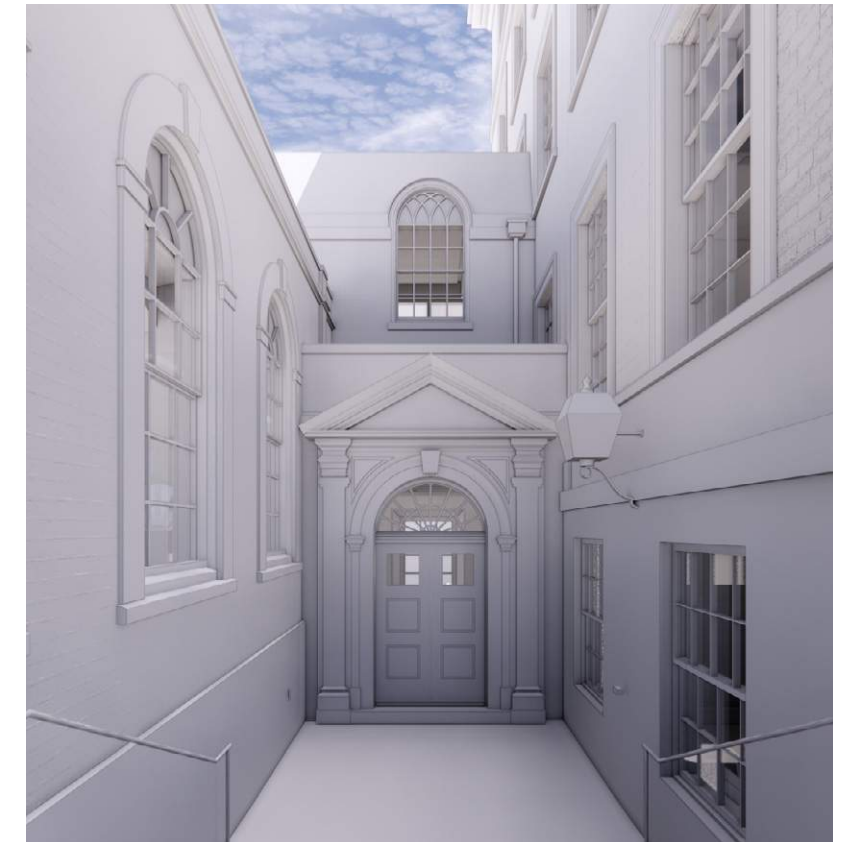


ELEVATION OF EXISTING FACADE WITH PROPOSED ADDITION

The Russell Connector has been designed with attention to the pedestrian views from Plympton Street and the forecourt. The visual primacy of the ornamental gate and entry portico are maintained.



VIEW ACROSS PLYMPTON STREET (FROM WEST SIDEWALK)



VIEW FROM TOP OF STAIRS



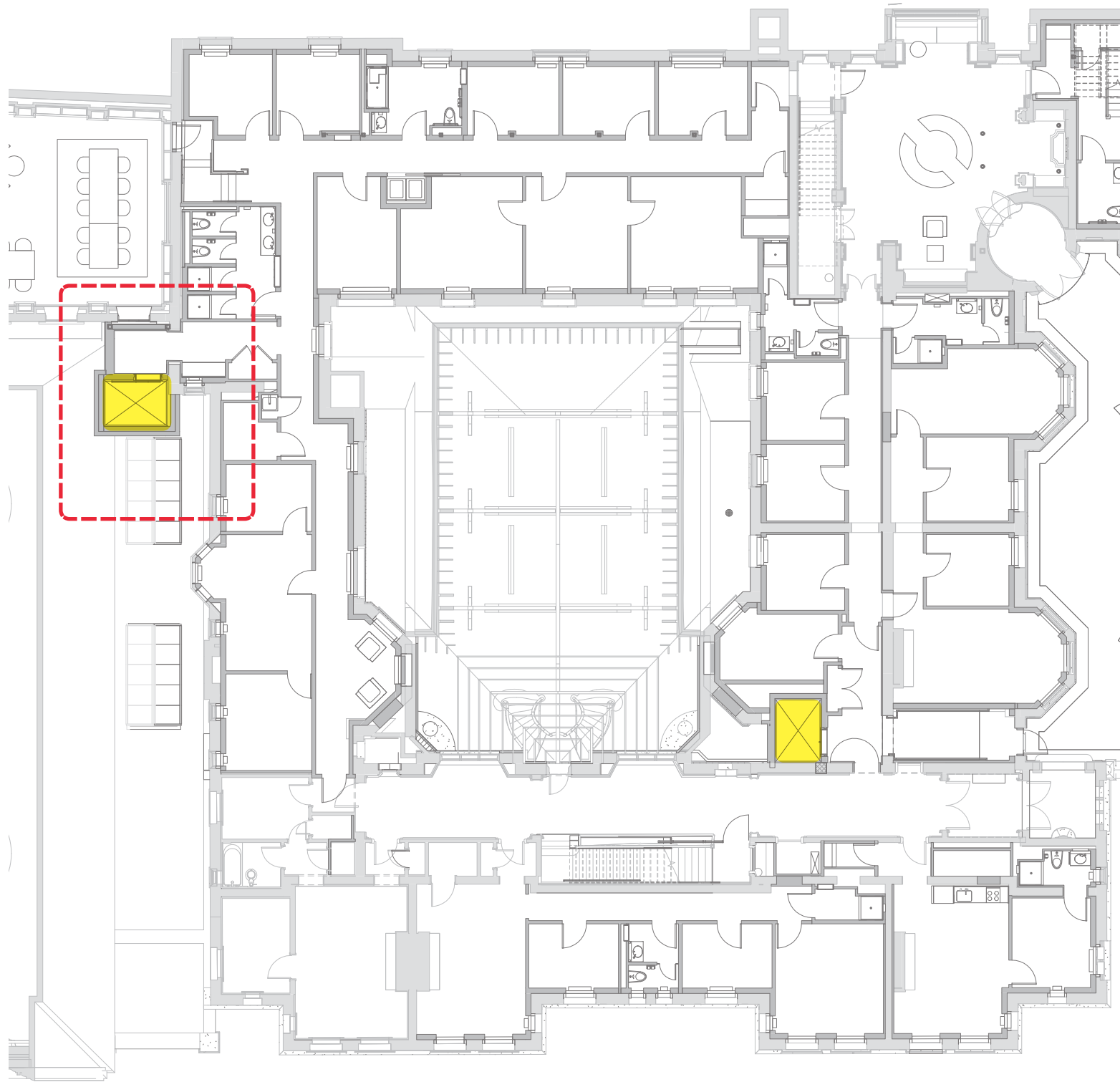
EXISTING CONDITIONS



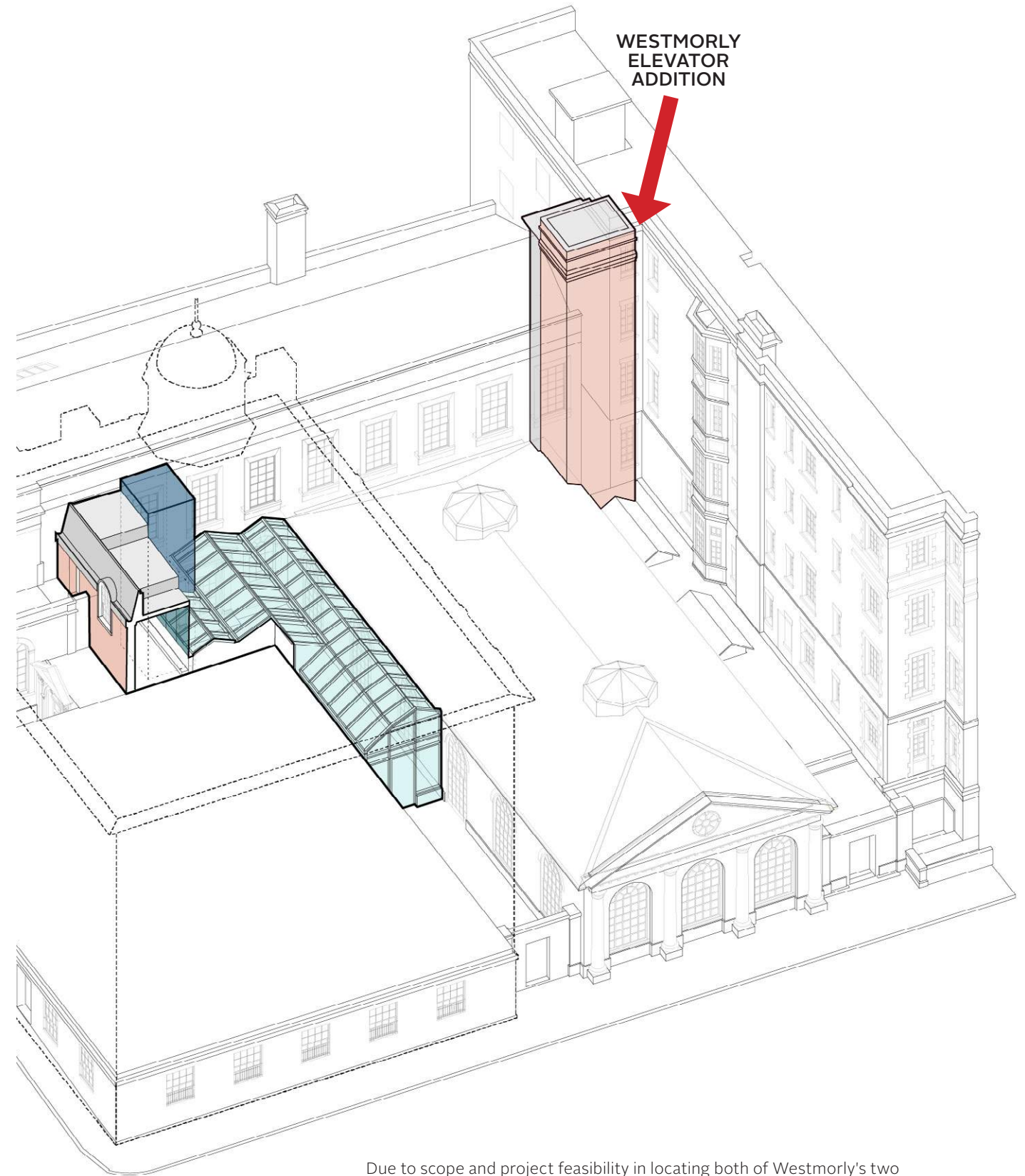
EXISTING CONDITIONS

# Westmorly Elevator Addition - 1

Adams Phase 3 Complex



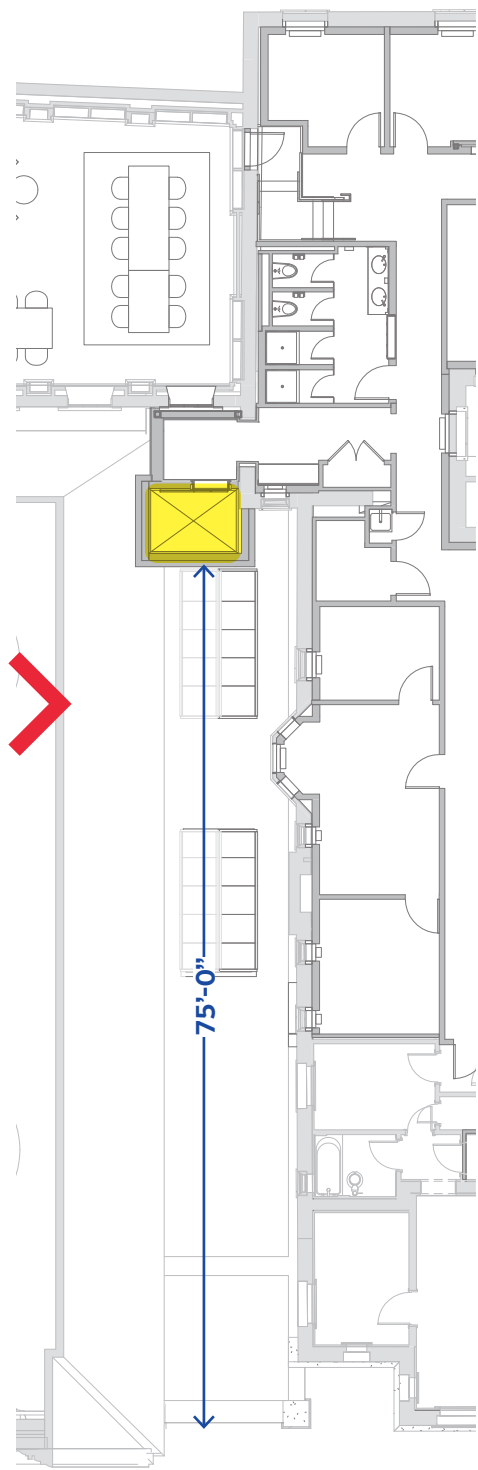
**PROPOSED** - FIRST FLOOR PLAN AND NEW ELEVATOR ENCLOSURE



Due to scope and project feasibility in locating both of Westmorly's two elevators within the building while also providing connectivity to the dining hall, the west elevator hoistway and its landings will be contained within a four-story addition, making use of an existing lightwell between Westmorly and Library Commons. One window of the library will be obscured by the addition.

# Westmorly Elevator Addition - 2

Adams Phase 3 Complex



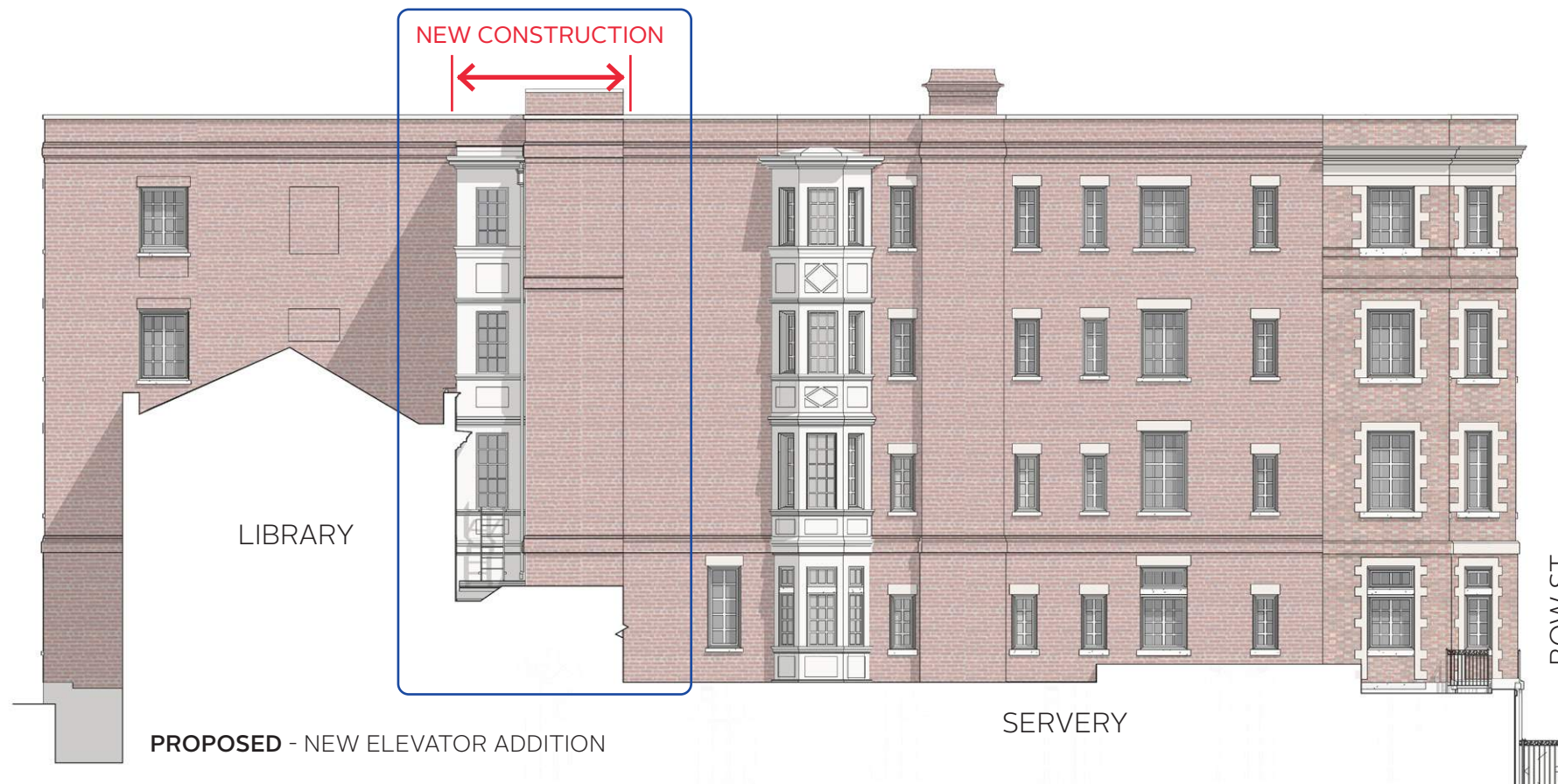
PROPOSED - FIRST FLOOR PLAN



EXISTING CONDITIONS - WEST ELEVATION



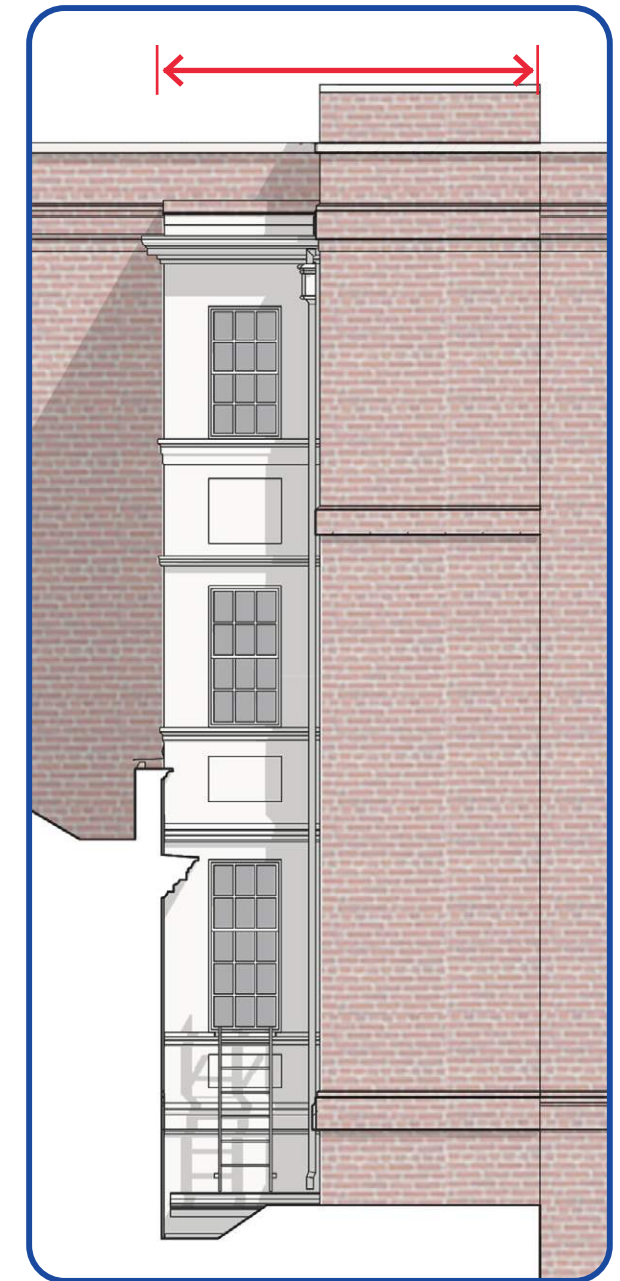
PROPOSED - PHOTO-MONTAGE



PROPOSED - NEW ELEVATOR ADDITION

SERVERY

BOW ST



PROPOSED - ENLARGED ELEVATION INSET

The addition has been designed to articulate two elements through massing, material, and details: the hoistway is to be brick matching the existing color and format, and the landings are to be expressed in a secondary massing of painted metal. The approach to the landings massing establishes a dialog and rhythm with the existing four-story painted copper window bay just to the south, and the profiles are to match. Horizontal elements on both parts of the addition break down the scale.

Note that the elevator addition is set back 75'-0" from the south facade of Library Commons on Lower Bow Street.



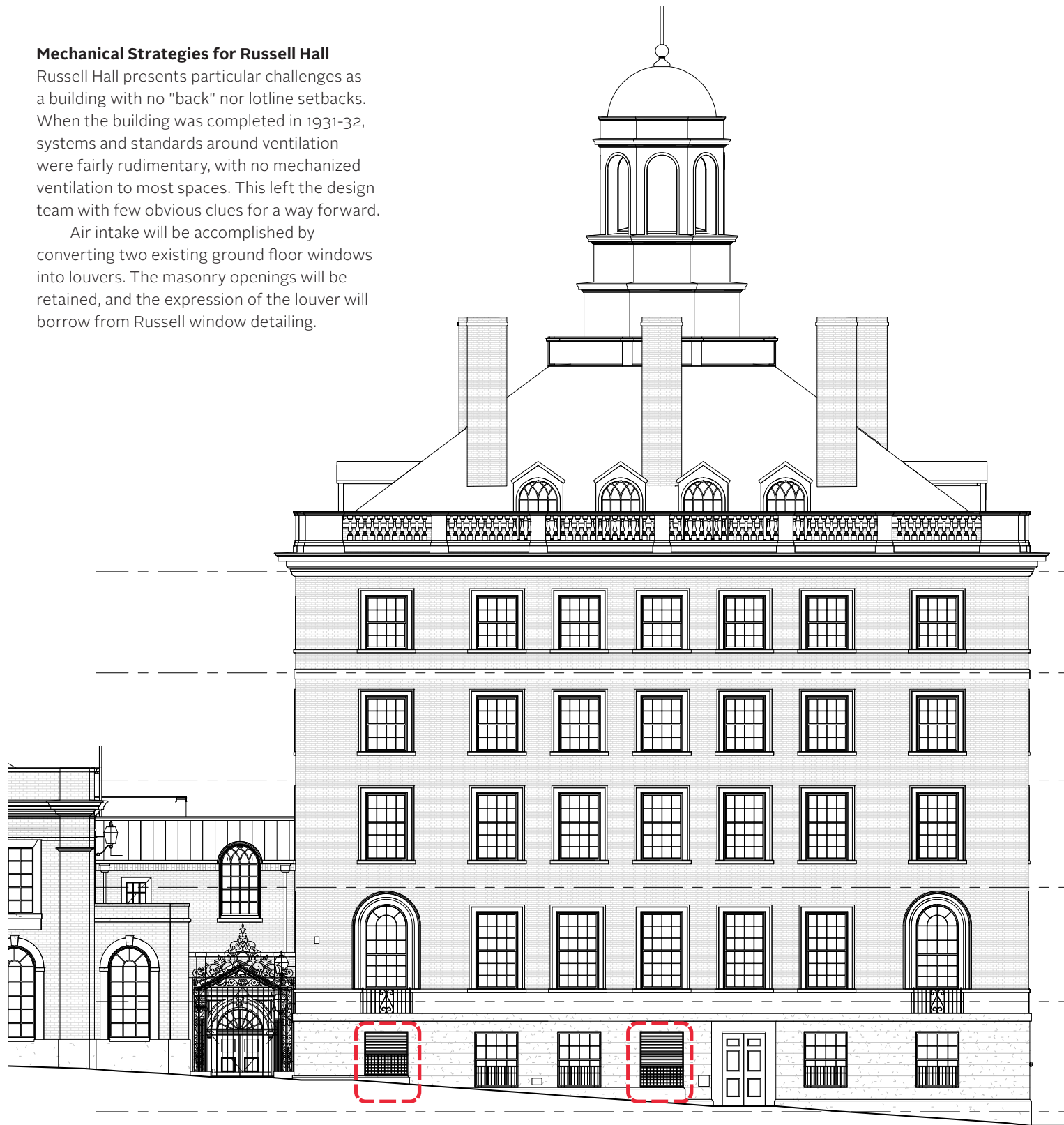
# Russell Mechanical - Intake Louvers at Ground Floor West

Adams Phase 3 Complex

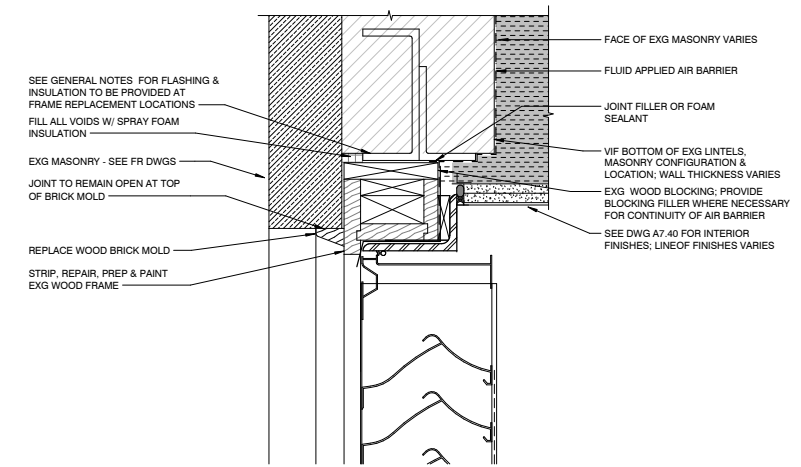
## Mechanical Strategies for Russell Hall

Russell Hall presents particular challenges as a building with no "back" nor lotline setbacks. When the building was completed in 1931-32, systems and standards around ventilation were fairly rudimentary, with no mechanized ventilation to most spaces. This left the design team with few obvious clues for a way forward.

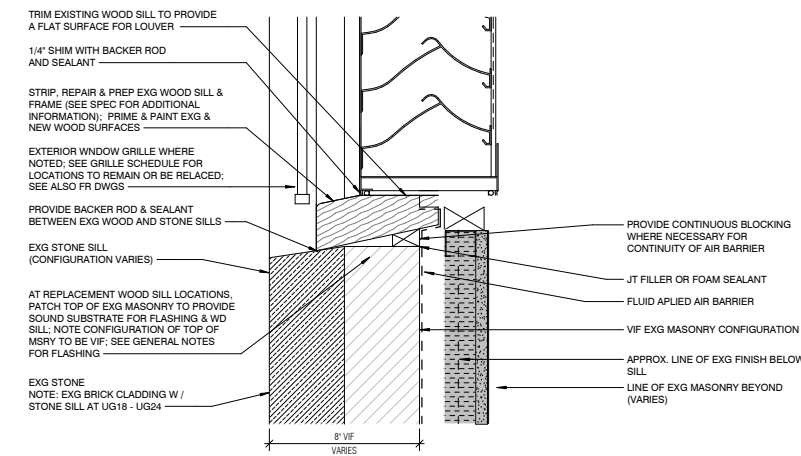
Air intake will be accomplished by converting two existing ground floor windows into louvers. The masonry openings will be retained, and the expression of the louver will borrow from Russell window detailing.



PROPOSED RUSSELL WEST ELEVATION - LOUVERS IN (2) EXISTING M.O.



6 U Frame Modification - Head at Ground FI Unit w/Louver  
A4.23 3" = 1'-0"



4 U Frame Modification- Sill at Ground FI Unit w/Louver  
A4.23 3" = 1'-0"

## PROPOSED LOUVER DETAILS (WOOD SILL & BRICK MOLD)



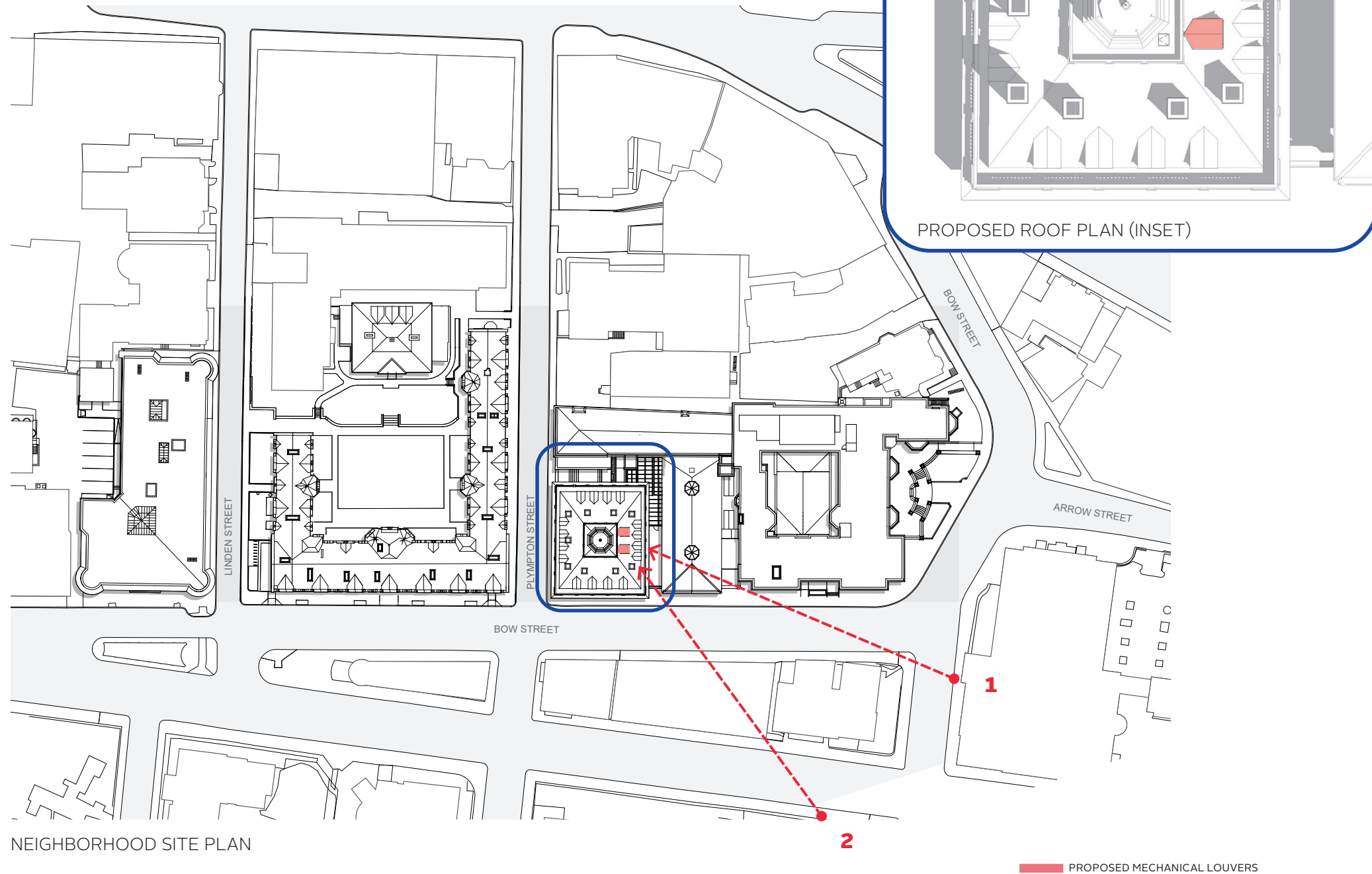
EXISTING CONDITIONS, PLYMPTON STREET

# Russell Mechanical - Louvered Dormers, Visibility Analysis

Adams Phase 3 Complex

## Mechanical Exhaust Dormers

The team studied several options for dealing with exhaust air, settling on the creation of two additional dormers on the east side of the main roof. These dormers are nestled between two chimneys and set above the existing dormers, minimizing their visibility as much as possible.



1. VIEW FROM DEWOLFE & BOW STREETS (DORMERS WILL BE VISIBLE)



2. VIEW FROM MT. AUBURN (VERY LIMITED VISIBILITY)

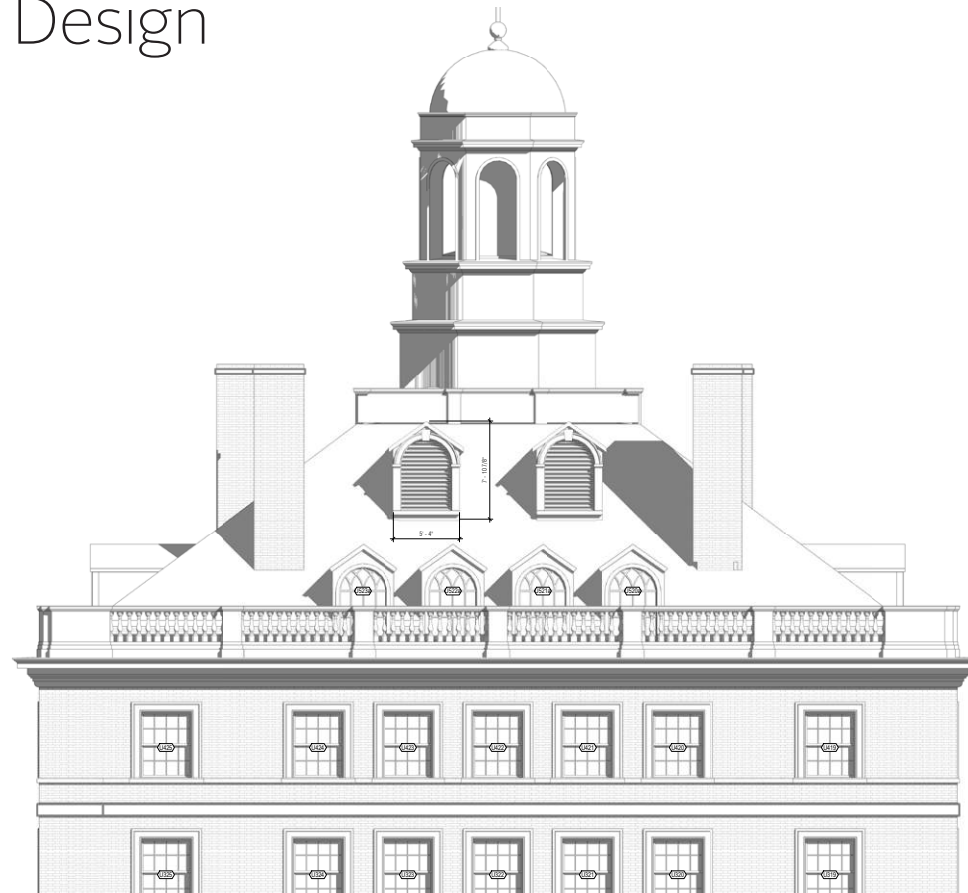
# Russell Mechanical - Louvered Dormers, Design

Adams Phase 3 Complex

## Dormer Design

The design for these mechanical dormers references the existing residential bedroom dormers below. Other geometries were studied but it was determined that this scheme draws the least attention by using the same materiality, proportion, and detail.

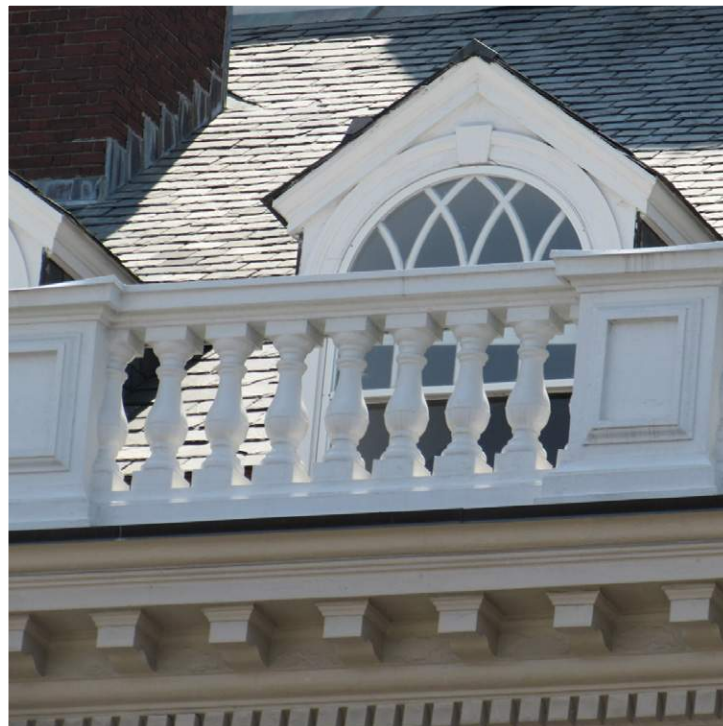
For reference, some historic dormers at Winthrop House were converted into louvers for mechanical reasons; the treatment of the louver in the photo below is a precedent for the proposed design.



PROPOSED EAST ELEVATION DRAWING



EXISTING CONDITIONS



HISTORIC RUSSELL DORMERS



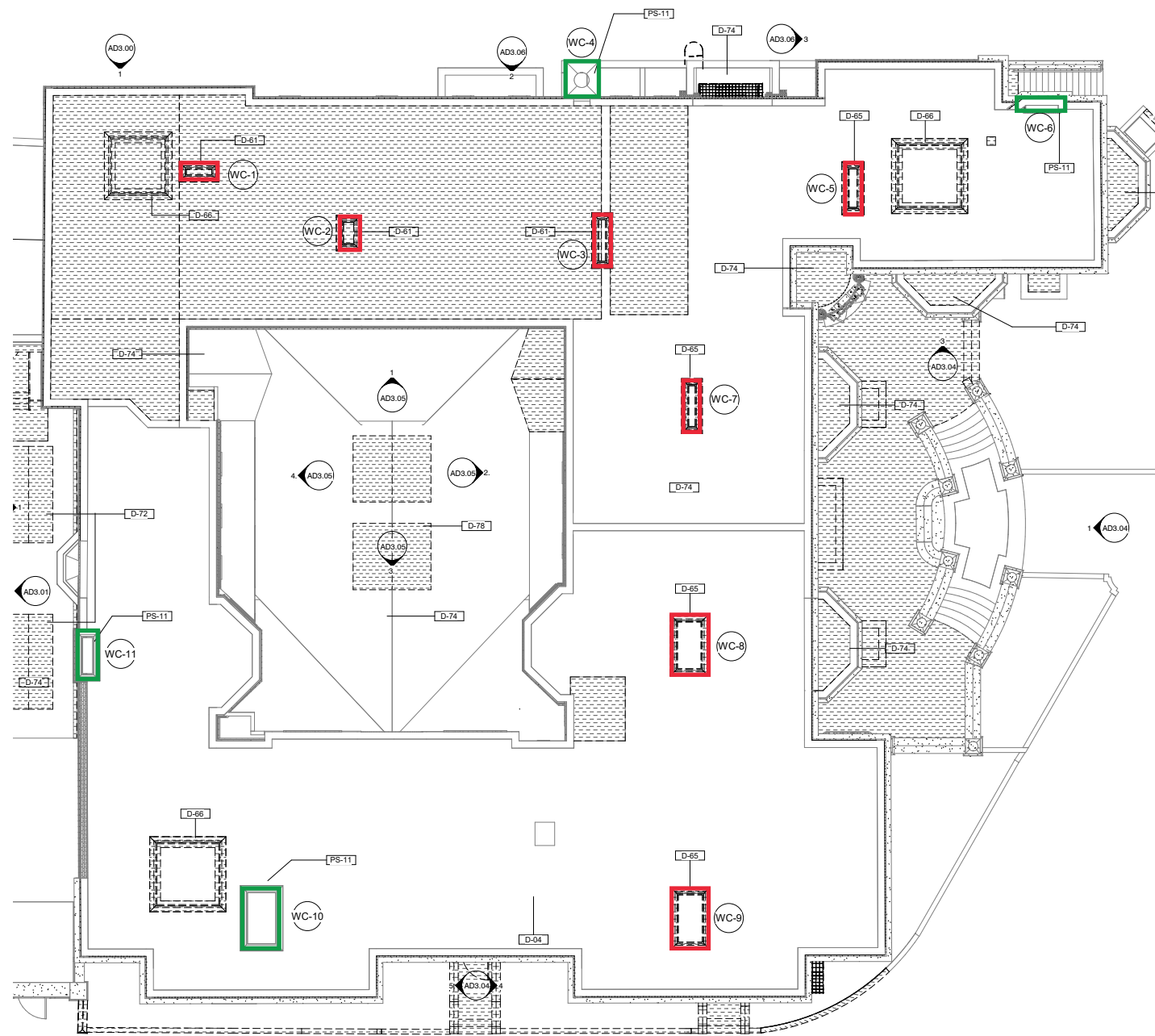
HISTORIC DORMERS AT WINTHROP HOUSE  
(SOME BECAME LOUVERED IN RENEWAL)



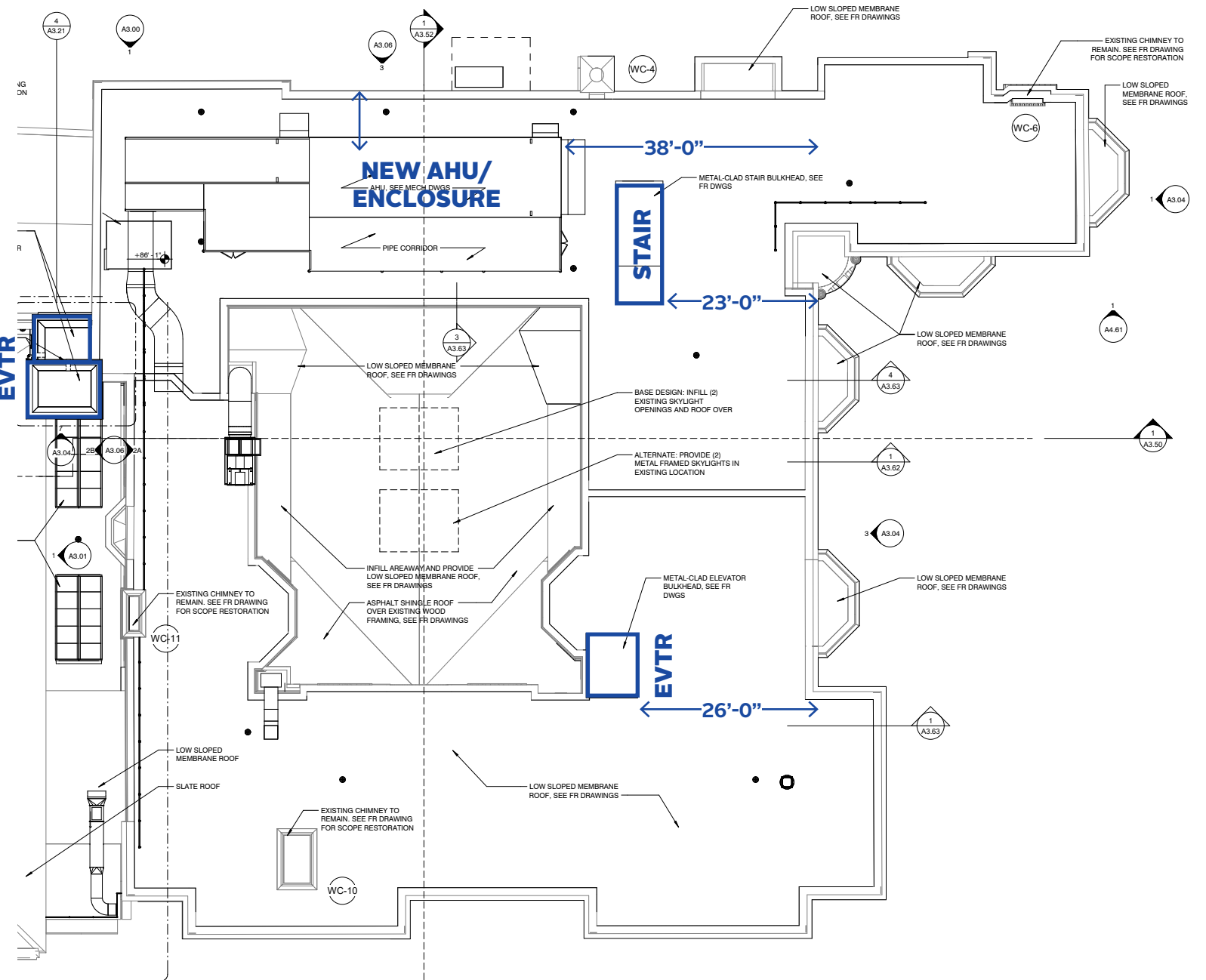
PHOTO-MONTAGE OF PROPOSED DORMERS

# Westmorly Mechanical - Rooftop Mechanical Equipment

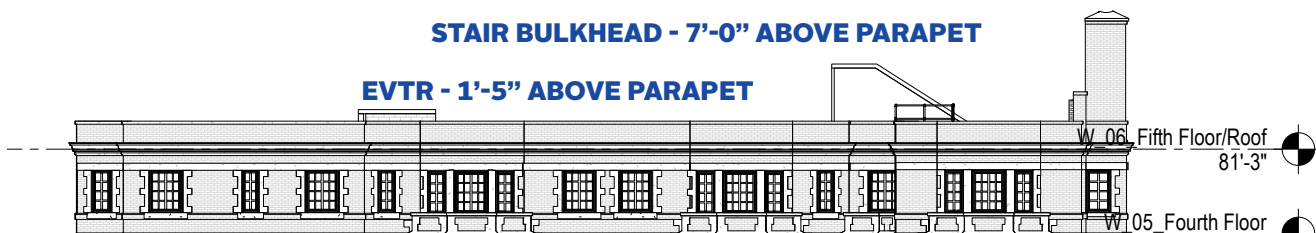
Adams Phase 3 Complex



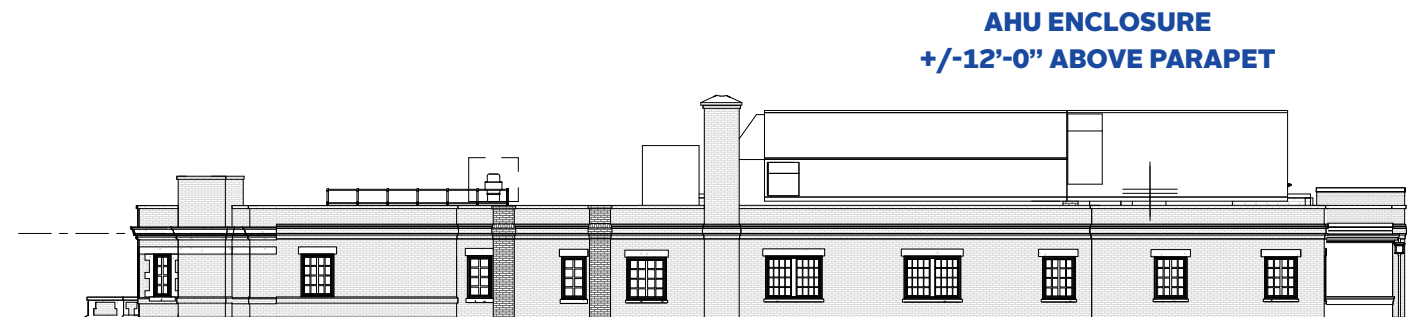
**EXISTING/DEMO ROOF PLAN**, ORIGINAL CHIMNEYS TO BE REMOVED SHOWN IN RED, CHIMNEYS TO REMAIN IN GREEN



**PROPOSED ROOF PLAN**, ADDITIONS INDICATED IN BLUE



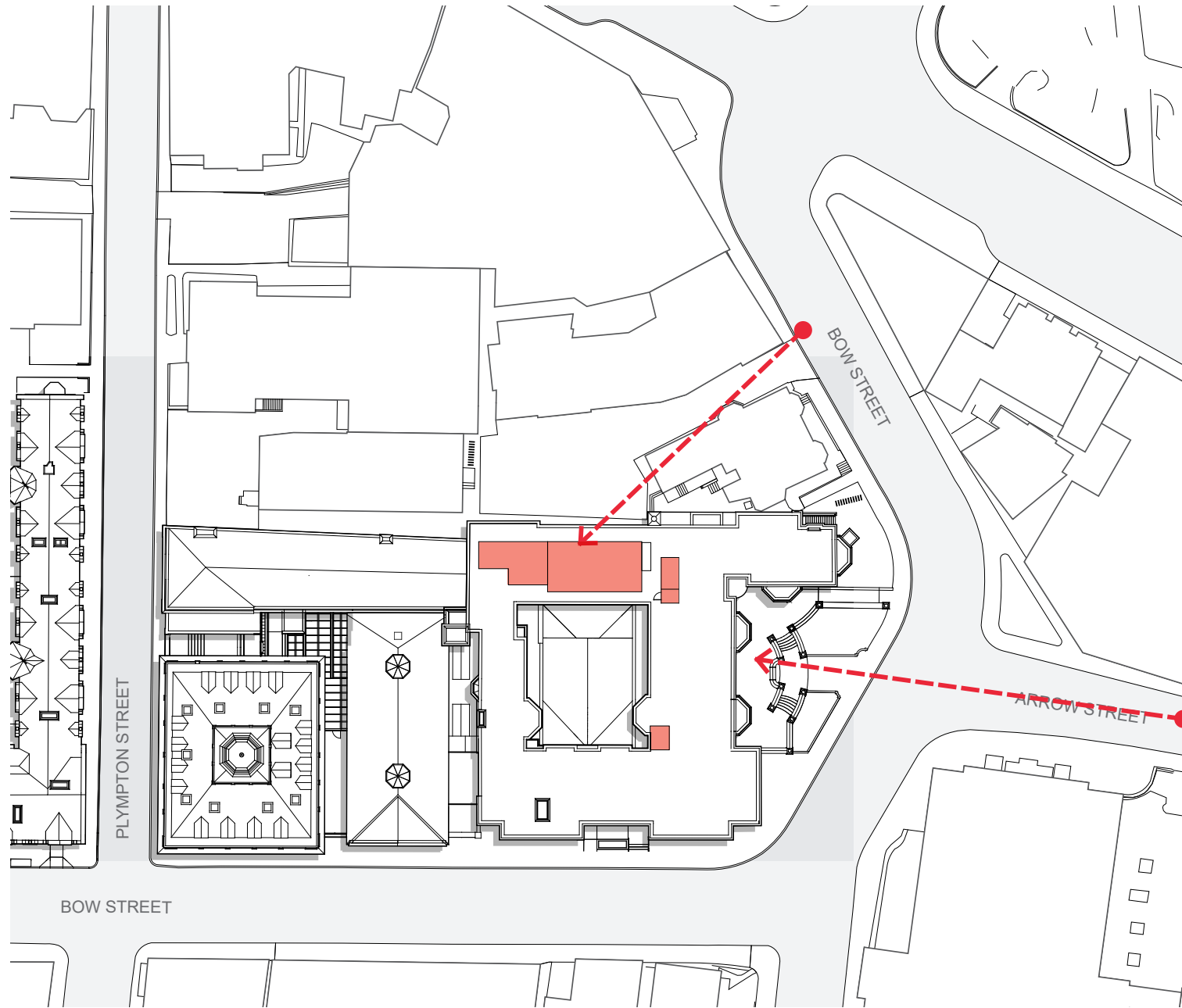
**PROPOSED EAST ELEVATION - ROOF LEVEL**



**PROPOSED NORTH ELEVATION - ROOF LEVEL**

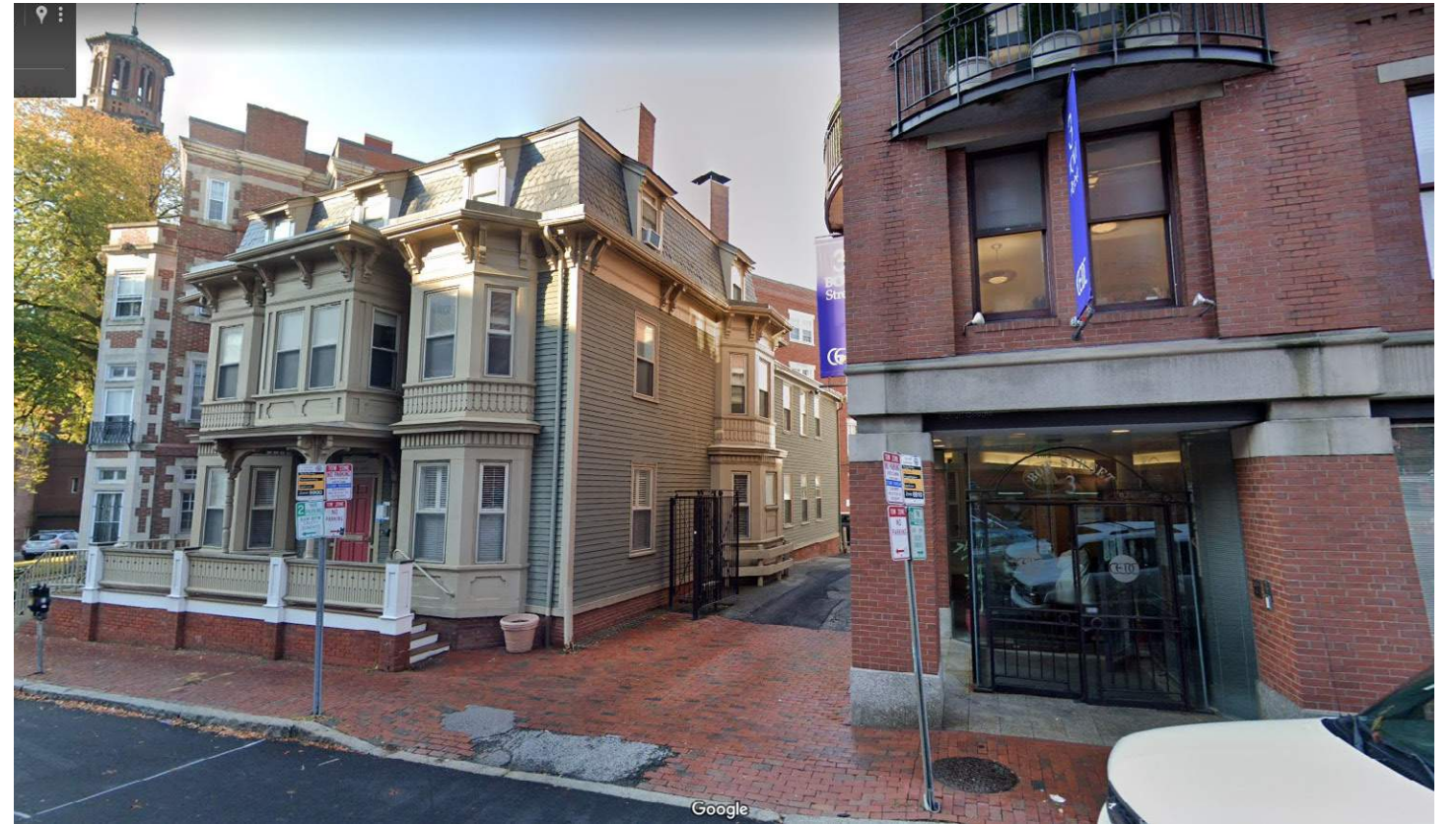
# Westmorly Mechanical - Rooftop Visibility

Adams Phase 3 Complex



NEIGHBORHOOD PLAN

PROPOSED ADDITIONS



EXISTING VIEW THROUGH ALLEY NORTH OF 9 BOW STREET (AHU WILL BE VISIBLE THROUGH ALLEY)



EXISTING VIEW DOWN ARROW STREET (MECH EQUIPMENT WILL BE MINIMALLY VISIBLE IN WINTER)