



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property: 795 Massachusetts Avenue, Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below: (An additional page can be attached, if necessary).

The Project consists of the following exterior facade improvements -

1. Installation of masonry repairs at exterior brownstone and granite masonry.
2. Removal and replacement of paint and glazing putting at wood windows and installation of epoxy and dutchman repairs at wood windows.
3. Gilding of balcony text and tower clock hands and numerals.
4. Removal and replacement of exterior flagpole on the south elevation.
5. Removal and replacement of roofing at balcony on the south elevation.
6. Removal and replacement of bird protection on the north elevation and tower.
7. Cleaning of exterior masonry at north elevation.
8. Installation of lightning protection at the flagpole and building.
9. Relocation of the existing balcony signage on the south elevation that overlaps the gilding.
10. Replacement of the existing tower light fixtures for a more efficient fixture with lighting controls.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Owen O'Riordan, Deputy City Manager, City of Cambridge

Mailing Address: 795 Massachusetts Avenue, Cambridge, MA 02139

Telephone/Fax: 617 349 4000

E-mail: ooriordan@cambridgema.gov

Signature of Property Owner of Record: 

(Required field; application will not be considered complete without property owner's signature)

Name of proponent, if not record owner: Aoife Viglianti, Project Manager, DPW / City of Cambridge

Mailing Address: 147 Hampshire Street, Cambridge, MA 02139

Telephone/Fax: 617 312 1287

E-mail: aviglianti@cambridgema.gov

(for office use only):

Date Application Received: _____ Case Number: 4905 Hearing Date: 2/2/23

Type of Certificate Issued: _____ Date Issued: _____

Instructions for Completing this Application:

An application must be filed with the Cambridge Historical Commission (CHC) before work begins. Twelve (12) copies of the application should be attached to twelve (12) copies of supplementary material such as sketches, scale drawings, site plans, specifications, or photographs sufficient to enable the CHC to understand the details of the work proposed and to make a determination on the application. Plans no larger than 11" x 17" are preferred. Please submit reduced copies of plans if originals are of a larger dimension. Do not use spiral bindings, plastic covers, or heavy stock (these will be removed prior to mailing). Double sided copies are encouraged to save paper and postage. See our website or call for a list of meeting dates and deadlines.

The CHC staff welcomes advance inquiries for interpretations or advice. Please call 617/349-4683.

An application is considered incomplete without accompanying plans and drawings. The CHC reserves the right to determine an application incomplete at the time of hearing the application if it determines that the plans, drawings and other information submitted are not sufficient to enable it to determine whether to grant or deny a certificate.

Owners are urged to appear before the CHC in person or to designate an agent to act for them. The CHC will deem the agent to be authorized by the owner to make decisions regarding the extension or waiver of the period within which the CHC is otherwise required to make a determination on the application.

All meetings are open to the public.

Administration of Historic Districts, Landmarks, and Protected Properties:

The administration of historic districts and landmarks is guided by the provisions of Ch. 40C of the Mass. General Laws and by Ch. 2.78 of the Code of the City Of Cambridge. Other properties may also be subject to CHC jurisdiction including properties with conditional variances and properties governed by individual preservation restrictions.

Any new construction, alteration of exterior architectural features, or demolition within an historic district or on the premises of a protected property or a designated landmark must be reviewed by the CHC. No building permit for such work on a protected property, designated landmark, or property within a historic district may be issued by the Inspectional Services Department until a certificate has been issued. The CHC must approve the alteration or construction of all structures, including signs, fences, walls, terraces, walks, driveways, light fixtures and the like, which are "open to view from a public street, public way, public park or public body of water," whether or not a building permit is required, and must approve changes in exterior color for properties within a historic district or as otherwise agreed.

Prior to each hearing, the CHC staff will take slides or digital photographs of the subject property in daylight with ordinary camera equipment for the purpose of documenting the publicly visible conditions of buildings and exterior architectural features for the CHC and the public to view at the hearing. More information can be provided on request.

The CHC issues three types of certificates. A Certificate of Appropriateness will be issued when the CHC has determined that the construction or alteration will be appropriate for or compatible with the preservation or protection of the historic district, designated landmark, or other protected property. A Certificate of Nonapplicability may be issued when an application does not involve an exterior feature, or when the exterior feature is not then subject to CHC review. A Certificate of Hardship may be issued when failure to approve an otherwise inappropriate project would involve substantial hardship to the applicant and the CHC determines that the project can be accomplished without substantial detriment to the purposes of the district, preservation restriction, or landmark designation.

The CHC considers each application on its own merits, and does not apply specific architectural guidelines. Landscaping with plant materials is not subject to CHC review unless it is planned in conjunction with alterations or new construction. The CHC must approve projects that are not incongruous with the historic aspects or the architectural characteristics of the protected property, landmark, or historic district.

Print Form

Cambridge - City Hall Facade Restoration

City of Cambridge
795 Massachusetts Ave.
Cambridge, MA 02139



| Sheets - List | |
|-------------------------------|---|
| Sheet Number | Sheet Name |
| 1) General | |
| G000 | Cover Sheet |
| G001 | Vicinity Map, Symbols + Abbreviations |
| 2.1) Architectural Demolition | |
| AD100 | Demo Site Plan |
| AD200 | Demo Elevations |
| AD201 | Demo Elevations |
| AD202 | Demo Elevations |
| AD203 | Demo Elevations |
| AD204 | Demo Elevations |
| AD500 | Demo Details |
| 2.2) Architectural | |
| A100 | Site Plan |
| A101 | Site Logistics Plan |
| A200 | Exterior Elevations |
| A201 | Exterior Elevations |
| A202 | Exterior Elevations |
| A203 | Exterior Elevations |
| A204 | Exterior Elevations |
| A500 | Window Details |
| A501 | Ornamental Metal & Gilding Details |
| A502 | Roofing & Flagpole Details |
| A503 | Existing Window Types |
| 3.1) Envelope | |
| EN001 | General Notes |
| EN200 | South Elevation - Masonry Repairs |
| EN201 | East Elevation - Masonry Repairs |
| EN202 | North Elevation - Masonry Repairs |
| EN203 | West Elevation - Masonry Repairs |
| EN204 | Courtyard Elevations - Masonry Repairs |
| EN300 | Brownstone Masonry Repair Details |
| EN301 | Brownstone Masonry Repair Details |
| EN302 | Brownstone Masonry Repair Details |
| 3.2) Structural | |
| S001 | General Notes |
| S002 | Special Testing and Inspection Procedures |
| S100 | South Elevation |
| S110 | Sections and Details |

CONSULTANTS:

**Finegold
Alexander
Architects**

77 North Washington St
Boston, MA 02114
T 617.227 9272
F 617.227 5582
www.faainc.com

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

Project No.P0128.08
11/17/22
Construction Documents
50% PROGRESS SET

PROJECT TEAM:
 OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139
 Structural & Envelope
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451
 House Doctor
 Arup
 60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:
 Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
 ISSUE DATE: 11/17/22
 PROJECT STATUS: Construction Documents
 DRAWN BY:
 CHECKED BY:
 SHEET NAME:

Vicinity Map, Symbols +
 Abbreviations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

G001

Abbreviations

| | | |
|--|-------------------------------|-------------------------------------|
| A A/C Air Conditioning | HP High Point | Tel Telephone |
| Acous Acoustical | Horiz Horizontal | Temp Tempered |
| ACT Acoustical Ceiling Tile | HVAC Heat, Vent, A/C | Thk Thick |
| Add Addition | HW Hot Water | Thres Threshold |
| Adj Adjacent | I ID Inside Diameter | TP Toilet Partition |
| AFF Above Finished Floors | In Inch | TS Transition Strip |
| AHU Air Handling Unit | Incd Incandescent | Typ Typical |
| Alt Alternate | Incl Include(d)(ing) | TV Television |
| Al Aluminium | Insd Insulat(ed)(ion) | U UG Underground |
| Anch Anchor | Int Interior | UH Unit Heater |
| Ang Angle | Inv Invert | UNO Unless Noted Otherwise |
| Anod Anodized | J JB Junction Box | Unfn Unfinished |
| Approx Approximate | Jt Joint | UV Ultra Violet |
| Arch Architect | K K Kip (1,000 Pounds) | V VCT Vinyl Composition Tile |
| Assoc Associated | K-Ft Kip Feet | Vert Vertical |
| B Bot Bottom | L Lam Laminated | Vent Ventilator |
| B&B Balled and Bur Lapped | Lav Lavatory | VIF Verify in Field |
| B.O. Bottom of | Lb(s) Pound(s) | VWC Vinyl Wall Covering |
| Bd Board | LCC Lead Coated Copper | W W West |
| B& B& Biminous | LF Linear Feet | w/ with |
| BL Building Line | LH Left Hand | w/o without |
| Bldg Building | LL Live Load | WC Water Closet |
| Bkg Block(ing) | LLH Long Leg Horizontal | WD Wood |
| Bm Beam | LLV Long Leg Vertical | WH Water Heater |
| BM Bench Mark | LP Low Point | WP Waterproof |
| Brg Bearing | L(g) Light(ing) | WPT Work Point |
| Brk Brick | Lvt Lightweight | WR Water Resistant |
| Bsm Basement | M Mas Masonry | wsct Wainscot |
| BUR Built-up Roofing | Max Maximum | Wt Weight |
| C C Door Contact | MDP Main Distribution Panel | WV Water Valve |
| Ca Card Reader | Mech Mechanical | WWF Welded Wire Fabric |
| Cab Cabinet | Med Medium | Y Yd Yard |
| Cal Caliper | Memb Membrane | |
| CB Catch Basin | Mf Metal | |
| CD Ceiling Diffuser | Mfr Manufacturer | |
| Cem Cement | MH Manhole | |
| CFM Cubic Feet Per Minute | Min Minimum | |
| CG Corner Guard | Misc Miscellaneous | |
| CI Cast Iron | MO Masonry Opening | |
| CJ Control Joint | Mtd Mounted | |
| Clg Ceiling | N N North | |
| CMU Concrete Masonry Unit | NIC Not in Contract | |
| CO Clean Out | No. Number | |
| Col Column | Nom Nominal | |
| Conc Concrete | NTS Not to Scale | |
| Conn Connection | O OC On Center(s) | |
| Const Construction | OD Outside Diameter | |
| Cont Continuous | OI Open Item | |
| Contr Contract(or) | Opg Opening | |
| Cpt Carpet | Opp Opposite | |
| CR Ceiling Register | ORD Overflow Roof Drain | |
| CT Ceramic Tile | Oz Ounce | |
| Ctr Center | P PA Project Architect | |
| CU Condensing Unit | PCF Pounds Per Cubic Foot | |
| CUH Cabinet Unit Heater | Perf Perforated | |
| Cusp Cuspitor | PI Plate | |
| CW Cold Water | Plm Plastic Laminated | |
| D Dbl Double | Plas Plaster | |
| Det Detail | Pbg Plumbing | |
| DF Drinking Fountain | PLF Pounds Per Linear Foot | |
| Dia Diameter | plywd Plywood | |
| Dim Dimension | Pl Panel | |
| Disp Dispenser | pl Polish(ed) | |
| DL Dead Load | PP Power Panel | |
| DMH Drainage Manhole | Pr Pair | |
| Dn Down | Prj Project | |
| DP Distribution Panel | prt Partition | |
| Dr Door | PSF Pounds Per Square Foot | |
| DS Downspout | PSI Pounds Per Square Inch | |
| Dwg Drawing | Pt Point | |
| E E East | ptd Painted | |
| Ea Each | PV Plumbing Vent | |
| EF Epoxy Flooring | PVC Polyvinyl Chloride | |
| EIFS Exterior Insulation Finish System | Pvmt Pavement | |
| EJ Expansion Joint | Q QT Quarry Tile | |
| EI Elevation | Qty Quantity | |
| Elec Electrical | R R Radius | |
| Emerg Emergency | RB Rubber Base | |
| Encl Enclosure | RCP Reflected Ceiling Plan | |
| Engr Engineer | RD Roof Drain | |
| EP Electrical Panel | Ref Reference | |
| EPDM Ethylene Propylene Diene Monomer | Reinf Reinforce(d)(ing) | |
| EQ Equal | Req Required | |
| Equip Equipment | Resil Resilient | |
| EWC Electric Water Cooler | Rev Revisions, Revised | |
| EWH Electric Water Heater | Rfg Roofing | |
| Exh Exhaust | RH Right Hand | |
| Exist Existing | Rm Room | |
| Exp Expansion | RO Rough Opening | |
| Ext Exterior | ROW Right of Way | |
| F FA Fire Alarm | Rr Restroom | |
| FACP Fire Alarm Control Panel | RTU Roof Top Unit | |
| FD Floor Drain | RWL Rain Water Leader | |
| Fdn Foundation | RV Roof Vent | |
| FE Fire Extinguisher | S S South | |
| FEC Fire Extinguisher Cabinet | San Sanitary | |
| FF Finished Floor | SAT Suspend Acoustical Tile | |
| FG Finished Grade | SC Solid Core | |
| FHC Fire Hose Cabinet | Sched Schedule | |
| Fin Finish(ed) | SD Storm Drain | |
| Fixt Fixture | Sect Section | |
| FL Flow Line | Serv Service | |
| Flash Flashing | SF Square Feet | |
| Flr(g) Floor(ing) | Sht Sheet | |
| Fluor Fluorescent | Sim Similar | |
| FO Face Of | SMH Sanitary Manhole | |
| FP Fireproof | SOV Spray on Vinyl | |
| FPR Fire Proof | Spec Specifications | |
| FRP Fiber Reinforced Panel | Sq Square | |
| FS Floor Sink | SS Solid Surface | |
| FT Foot Feet | SSTL Stainless Steel | |
| Flg Footing | Std Standard | |
| Furn Furnish(ed) | Stl Steel | |
| Frr Furring | Stor Storage | |
| FWC Fabric Wall Covering | Struc Structural | |
| G Ga Gauge, Gage | Susp Suspended | |
| Galv Galvanized | Sym Symmetrical | |
| GC General Contractor | Syst System | |
| GFI Ground Fault Interrupter | T T Tread | |
| Gyp Gypsum | T.O. Top Of | |
| H HB Hose Bibb | T&G Tongue and Groove | |
| HC Hollow Core | | |
| Hdwd Hardwood | | |
| Hdwr Hardware | | |
| Hgt Height | | |
| HID High Intensity Discharge | | |
| HMI Hollow Metal | | |

Tags & Symbols

| | |
|--|----------------------------------|
| | Keynote Number |
| | Annotation Text |
| | Center Line |
| | Align Symbol |
| | Sealant Symbol |
| | Break Line |
| | Project North |
| | True North |
| | View Reference |
| | Revision Tag |
| | Specialty Equipment Tag Standard |
| | Door Tag |
| | Window Tag |
| | Storefront / Curtain Wall Tag |
| | Curtain Panel Wall Tag |
| | Wall Tag |
| | Ceiling Tag With Height |
| | Stair Tag |
| | Specialty Equipment Tag Boxed |
| | Case Work Tag Boxed |

Material Cut Patterns

| | |
|--|---------------------|
| | Concrete |
| | Earth Compacted |
| | Earth Undisturbed |
| | Gravel |
| | Gypsum Wall Board |
| | Insulation-rigid |
| | Masonry-brick |
| | Masonry-conc Block |
| | Masonry-stone |
| | Metal-Steel |
| | Wood-finish |
| | Veneer Core Plywood |

General

Sheet Number
A512

Sheet Number
 Category Number
 Discipline Letter

Discipline
 G GENERAL
 C CIVIL
 L LANDSCAPE
 S STRUCTURAL
 A ARCHITECTURAL
 AD DEMOLITION
 AF FINISHES
 F FIRE PROTECTION
 P PLUMBING
 M MECHANICAL
 E ELECTRICAL
 T TELECOMMUNICATION
 LTA AUDIO VISUAL

Category
 000 General
 100 Floor Plans
 200 Elevations
 300 Sections
 400 Large Scale Views
 500 Details
 600 Schedules & Diagrams
 700 User Defined (typical Details)
 800 User Defined
 900 3d Representations

Tags

Room Tag

Building Section

Wall Section

Detail Section

Elevation Tag

Spot Elevation

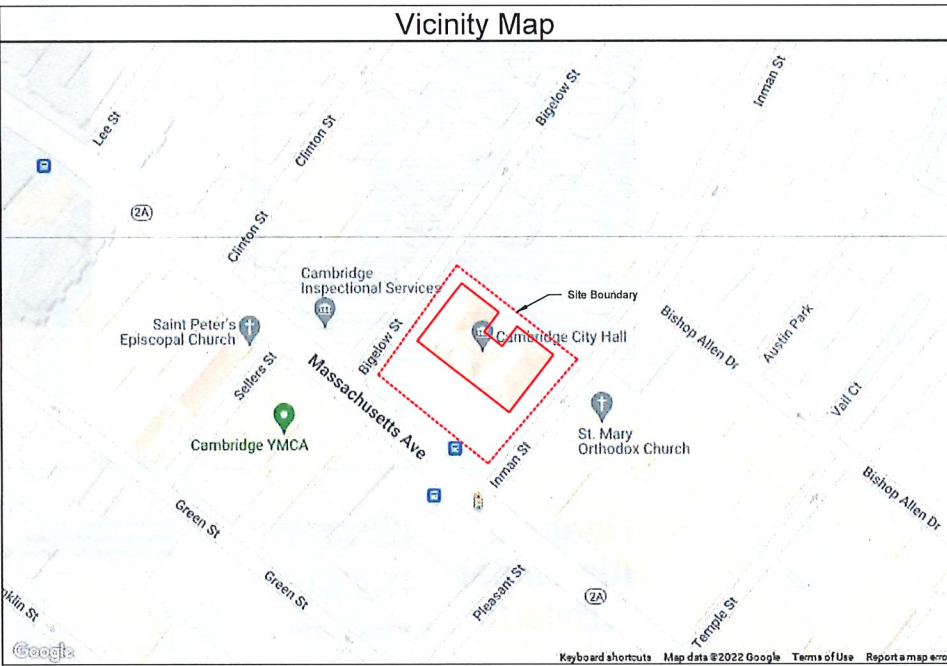
View Name

View Title

Interior Elevation Mark

Exterior Elevation Mark

Vicinity Map



PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker
SHEET NAME:

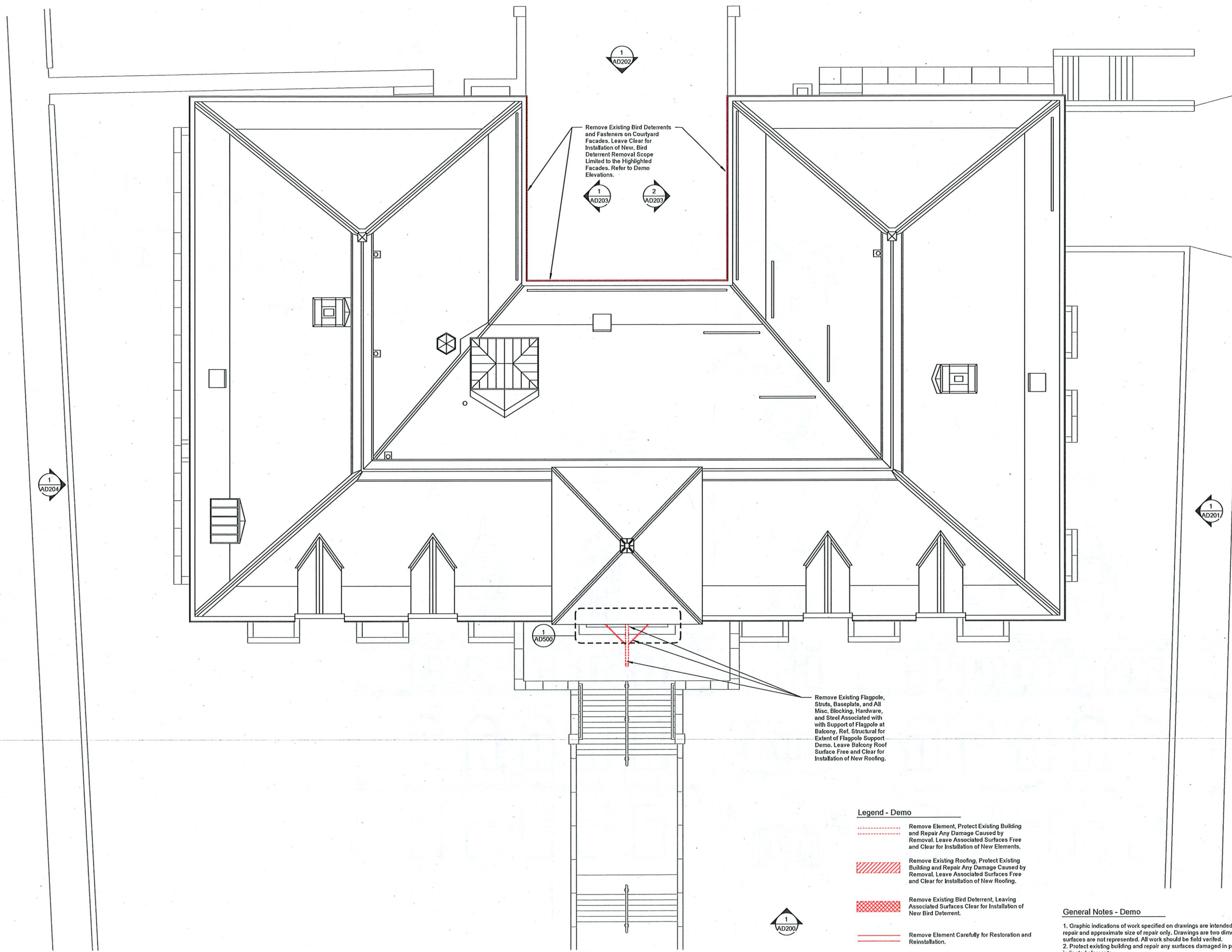
Demo Site Plan

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

AD100



Remove Existing Bird Deterrents and Fasteners on Courtyard Facades. Leave Clear for Installation of New, Bird Deterrent Removal Scope Limited to the Highlighted Facades. Refer to Demo Elevations.

Remove Existing Flagpole, Strut, Baseplate, and All Misc. Blocking, Hardware, and Steel Associated with Support of Flagpole at Balcony. Ref. Structural for Extent of Flagpole Support Demo. Leave Balcony Roof Surface Free and Clear for Installation of New Roofing.

Legend - Demo

- Remove Element, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
- Remove Existing Roofing, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
- Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
- Remove Element Carefully for Restoration and Reinstallation.
- Existing to Remain

General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.

C:\Users\mms\Documents\Cambridge City Hall Facade (Central)_ARC2022_admin\ms35567.rvt
10/21/2022 4:58:37 PM

1 Demo Site Plan
1/8" = 1'-0"






PROJECT TEAM:

OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451

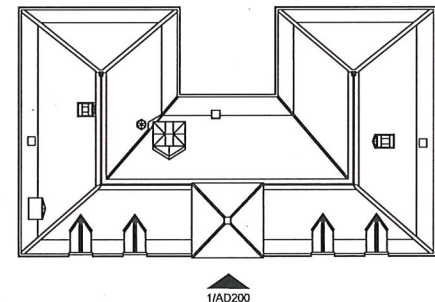
House Doctor
 Arup
 60 State St, Boston, MA 02109

Legend - Demo

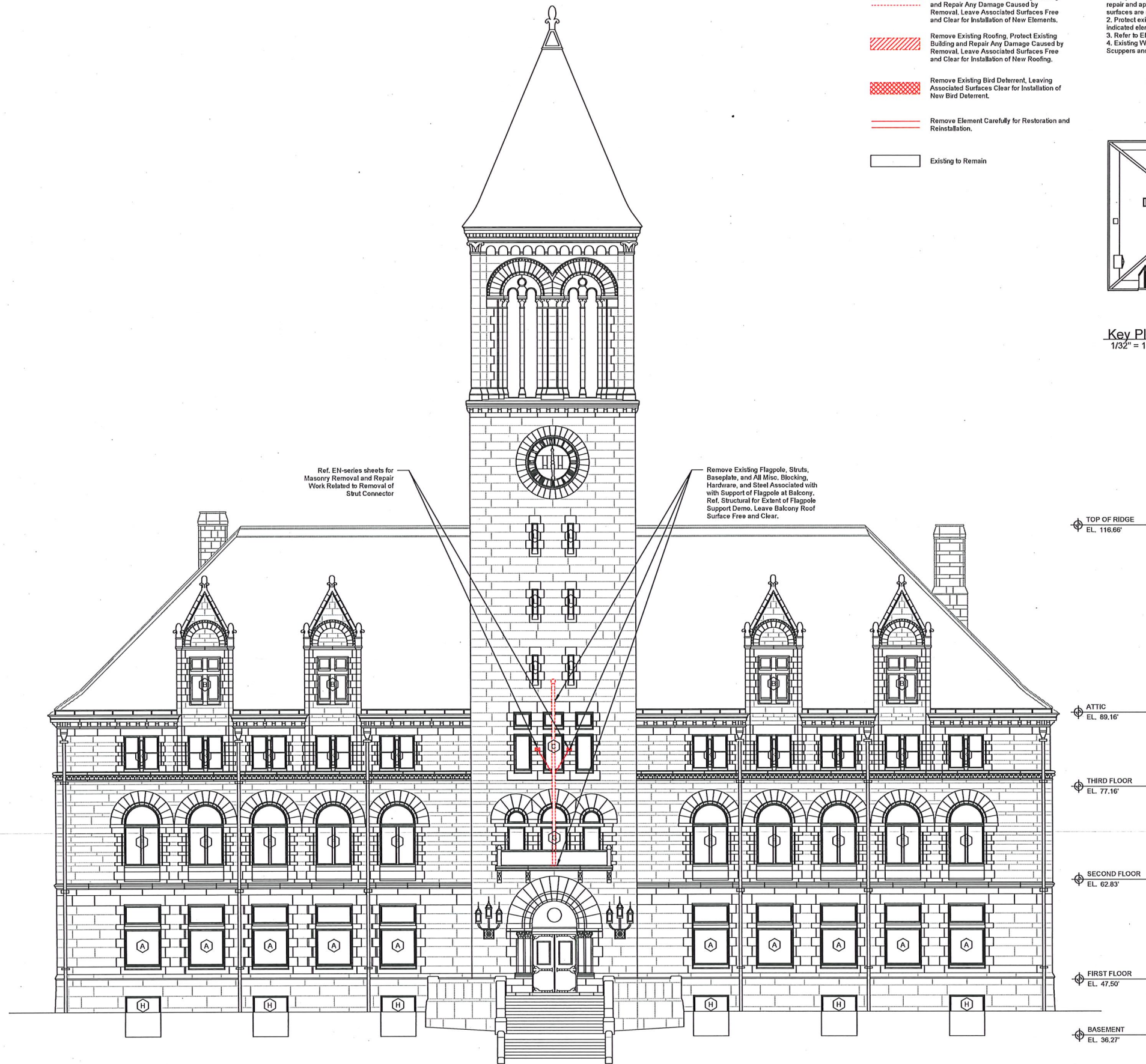
-  Remove Element. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
-  Remove Existing Roofing. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
-  Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
-  Remove Element Carefully for Restoration and Reinstallation.
-  Existing to Remain

General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



Key Plan
 1/32" = 1'-0"



KEY PLAN:

SEAL:

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave. Cambridge, MA 02139

PROJECT #: P0128.08
 ISSUE DATE: 11/17/22
 PROJECT STATUS: Construction Documents
 DRAWN BY:
 CHECKED BY:
 SHEET NAME:

Demo Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

AD200

1 South Demo Elevation - Massachusetts Ave.
 1/8" = 1'-0"






PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope:
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

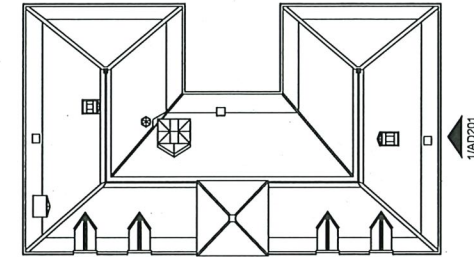
House Doctor:
Arup
60 State St, Boston, MA 02109

Legend - Demo

-  Remove Element, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
-  Remove Existing Roofing, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
-  Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
-  Remove Element Carefully for Restoration and Reinstallation.
-  Existing to Remain

General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



Key Plan

1/32" = 1'-0"

Remove Existing Flagpole, Struts, Baseplate, and All Misc. Blocking, Hardware, and Steel Associated with Support of Flagpole at Balcony. Ref. Structural for Extent of Flagpole Support Demo. Leave Balcony Roof Surface Free and Clear.

TOP OF RIDGE
EL. 116.66'

ATTIC
EL. 89.16'

THIRD FLOOR
EL. 77.16'

SECOND FLOOR
EL. 62.83'

FIRST FLOOR
EL. 47.5'

BASEMENT
EL. 36.27'

KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:

SHEET NAME:
Demo Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:
AD201

1 East Demo Elevation - Inman St.
1/8" = 1'-0"

C:\Users\mms\Documents\Cambridge City Hall Facade (Comm)_R122022_Imms\AD201.rvt
10/21/2022 4:05:31 PM






PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

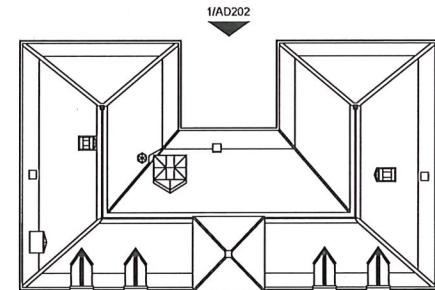
House Doctor
Arup
60 State St, Boston, MA 02109

Legend - Demo

-  Remove Element, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
-  Remove Existing Roofing, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
-  Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
-  Remove Element Carefully for Restoration and Reinstallation.
-  Existing to Remain

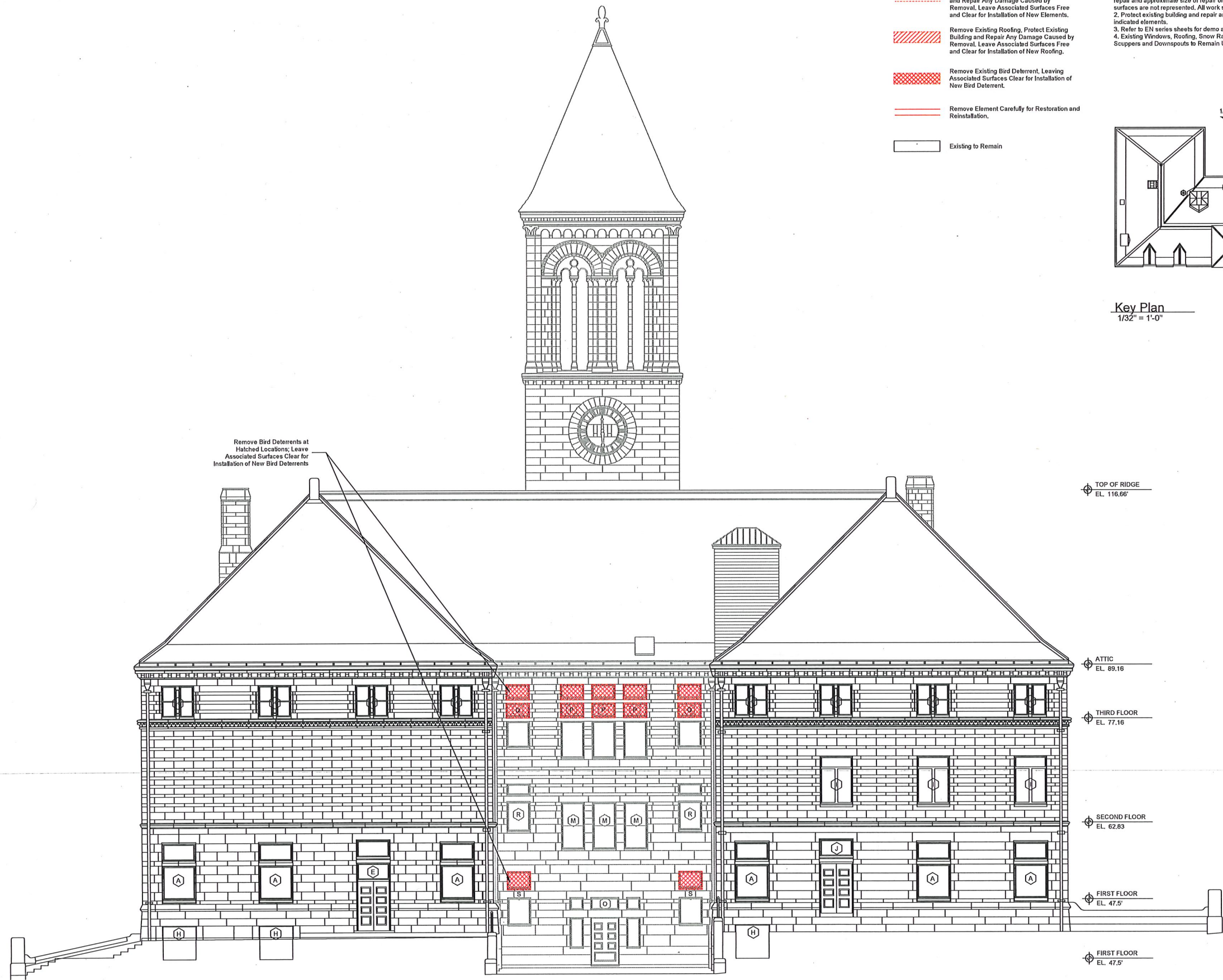
General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



Key Plan
1/32" = 1'-0"

Remove Bird Deterrents at Hatched Locations, Leave Associated Surfaces Clear for Installation of New Bird Deterrents



KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:

Demo Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

AD202

1 North Demo Elevation - Rear
1/8" = 1'-0"






PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

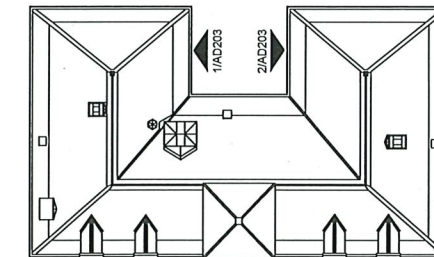
House Doctor
Arup
60 State St, Boston, MA 02109

Legend - Demo

-  Remove Element, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
-  Remove Existing Roofing, Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
-  Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
-  Remove Element Carefully for Restoration and Reinstallation.
-  Existing to Remain

General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EM series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



Key Plan
1/32" = 1'-0"

KEY PLAN

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

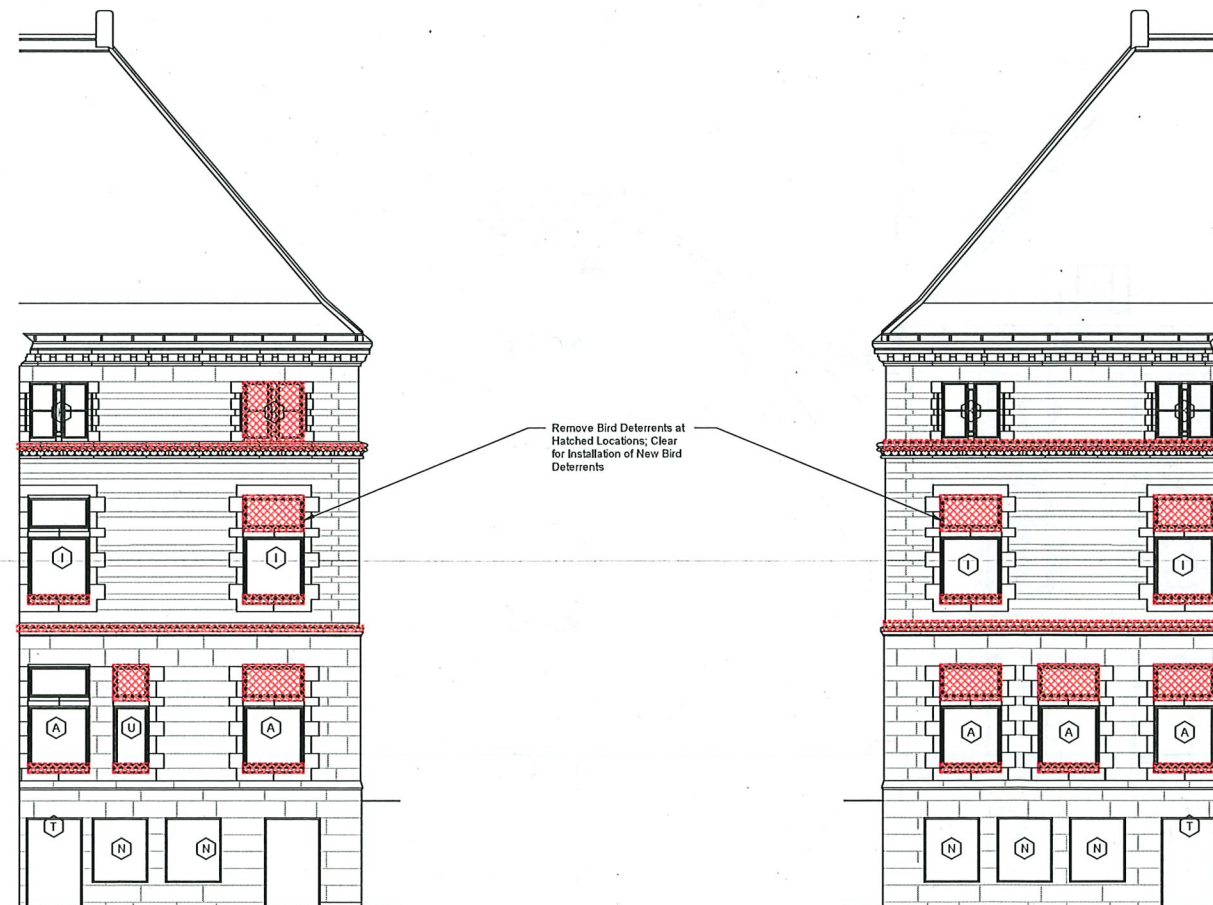
SHEET NAME:
Demo Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:






AD203



1 East Demo Elevation - Rear Court
1/8" = 1'-0"

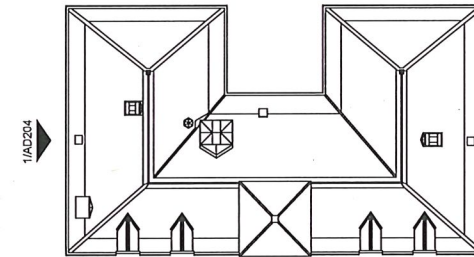
2 West Demo Elevation - Rear Court
1/8" = 1'-0"

Legend - Demo

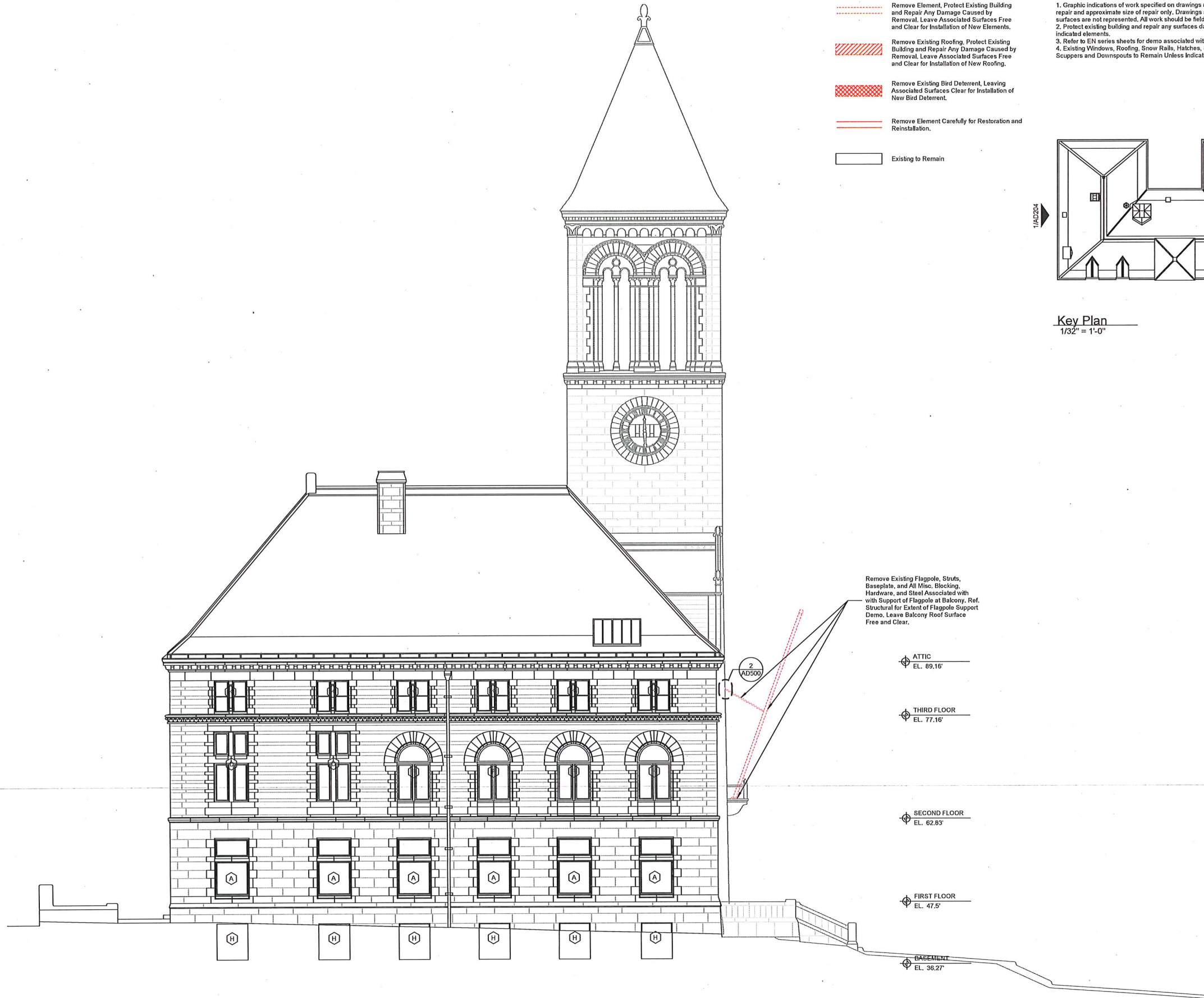
-  Remove Element. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
-  Remove Existing Roofing. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
-  Remove Existing Bird Deterrent, Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
-  Remove Element Carefully for Restoration and Reinstallation.
-  Existing to Remain

General Notes - Demo

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



Key Plan
1/32" = 1'-0"



Finegold Alexander Architects

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:



PROJECT INFORMATION:
Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave. Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:
SHEET NAME:
Demo Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:
AD204

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:
Demo Details

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

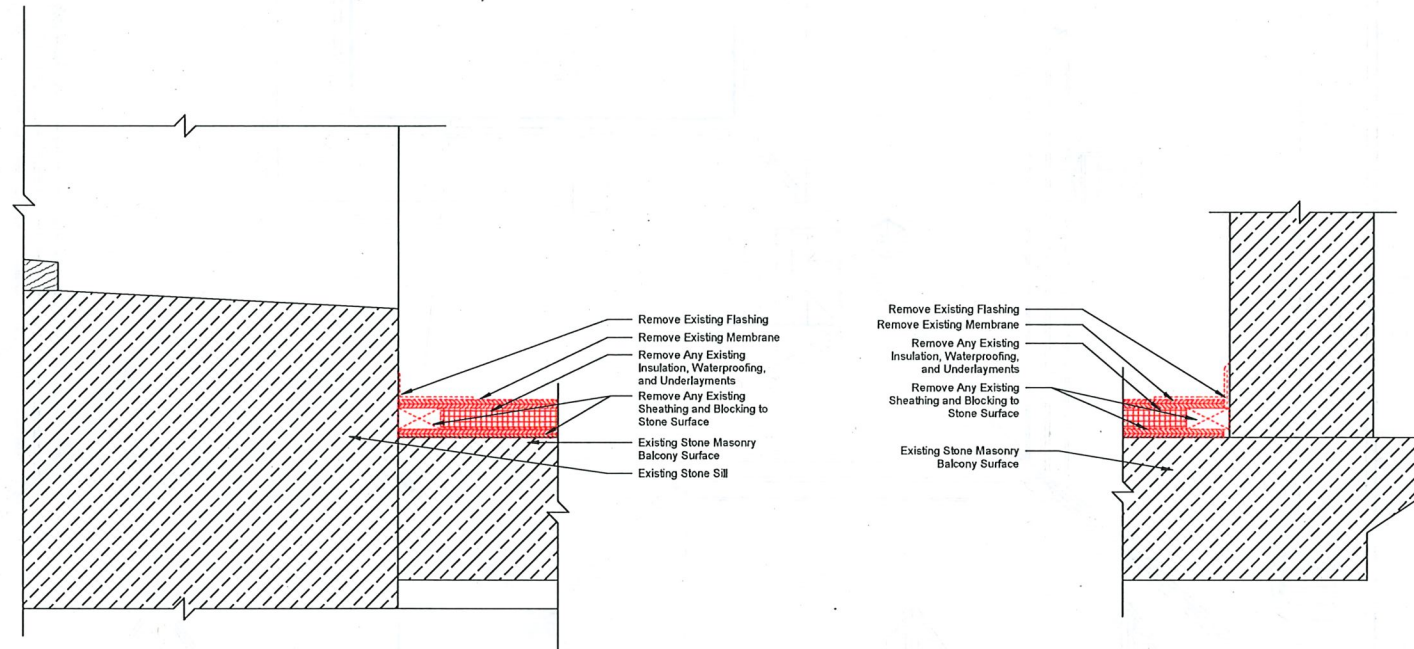
AD500

Legend - Demo

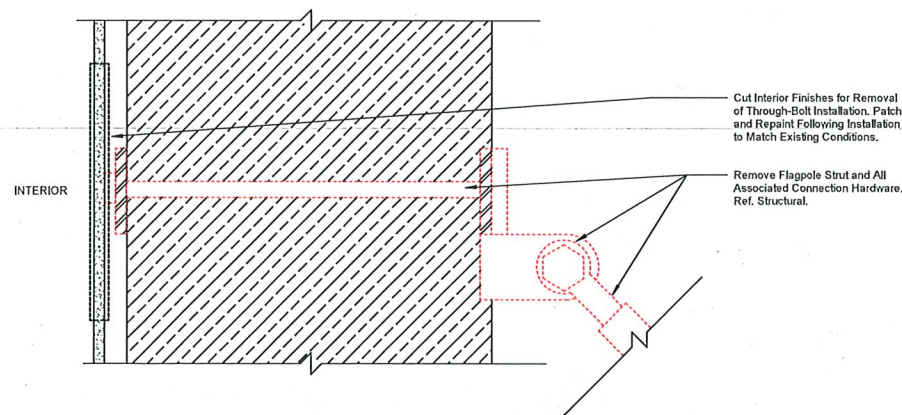
- Remove Element. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Elements.
- Remove Existing Roofing. Protect Existing Building and Repair Any Damage Caused by Removal. Leave Associated Surfaces Free and Clear for Installation of New Roofing.
- Remove Existing Bird Deterrent. Leaving Associated Surfaces Clear for Installation of New Bird Deterrent.
- Remove Element Carefully for Restoration and Reinstallation.
- Existing to Remain

General Notes - Demo

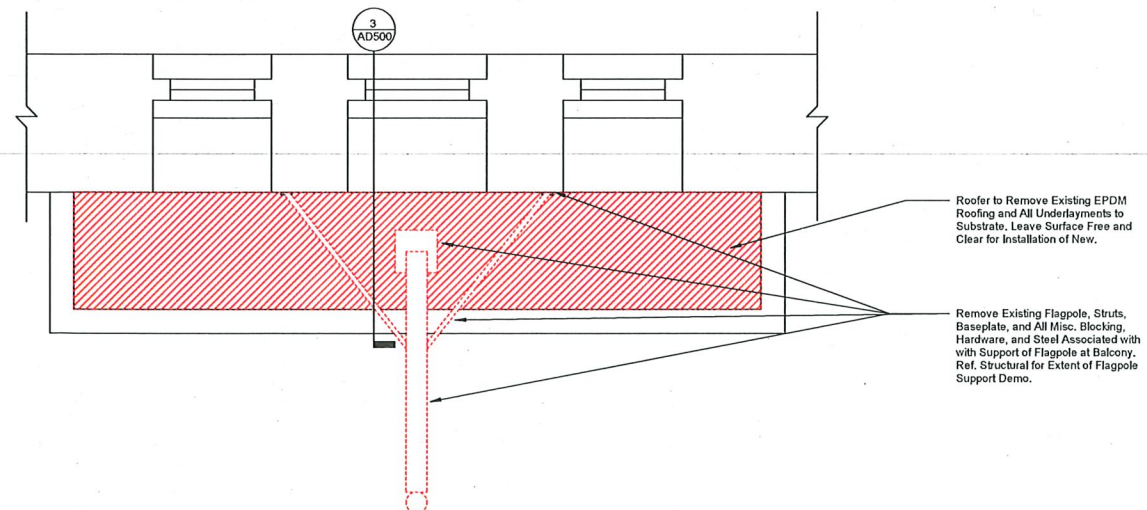
1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Protect existing building and repair any surfaces damaged in process of removal of indicated elements.
3. Refer to EN series sheets for demo associated with masonry repair scope.
4. Existing Windows, Roofing, Snow Rails, Hatches, Stone and Metal Detailing, Scuppers and Downspouts to Remain Unless Indicated.



3 Balcony Demo Section at Existing Roof
3" = 1'-0"



2 Flagpole Strut Through-Bolt Connection Demo Detail
3" = 1'-0"



1 Balcony Demo Plan
1/2" = 1'-0"

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

PROJECT INFORMATION:

Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:
SHEET NAME:

Site Plan

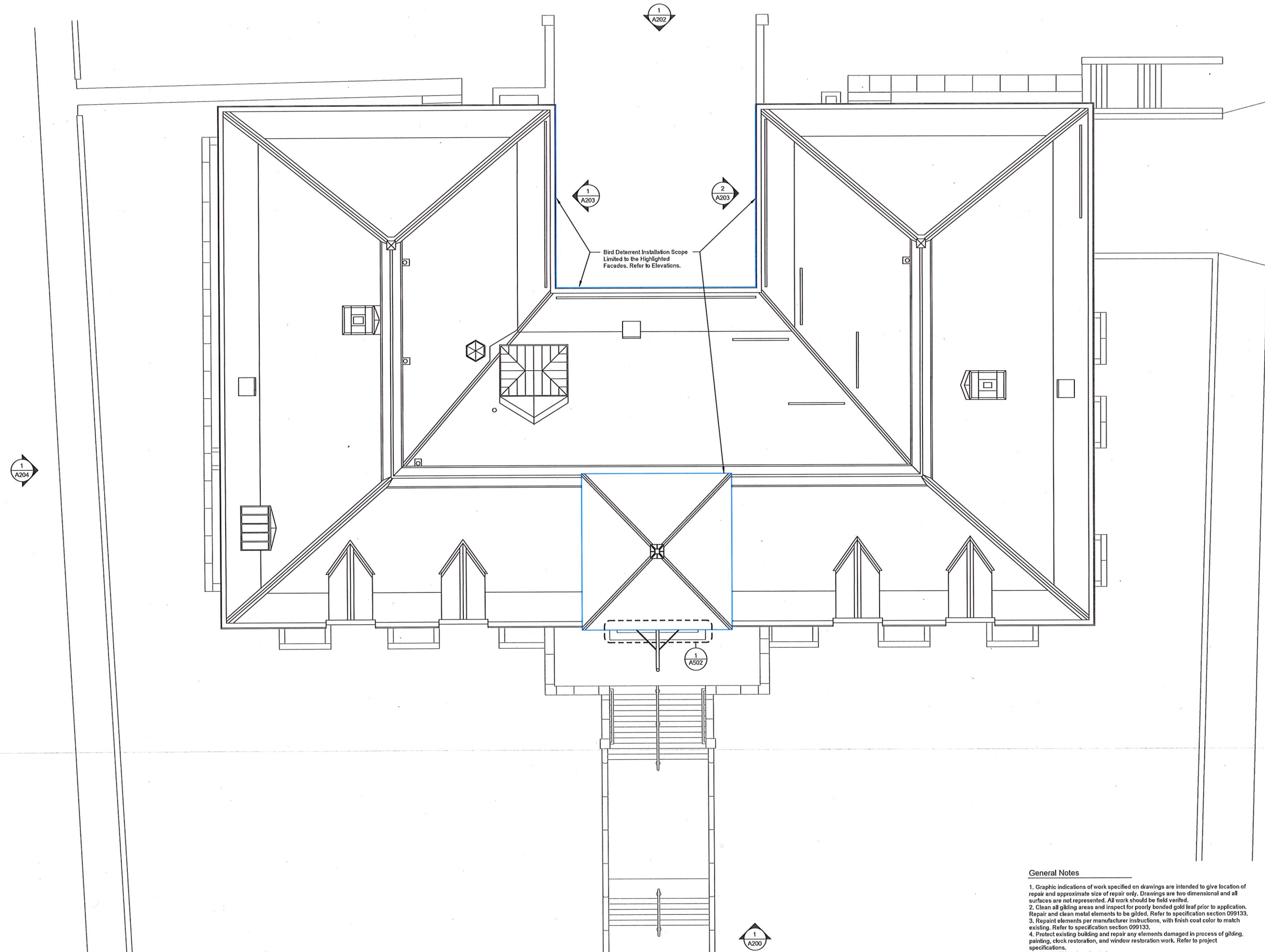
DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A100

**PRELIMINARY
NOT FOR
CONSTRUCTION**



General Notes

- Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
- Clean all glazing areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
- Repair elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
- Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
- Refer to EN-series sheets for masonry scope.
- 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.

PROJECT TEAM:

OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope
 Simpson Gumpertz & Heger
 460 Totten Pond Rd, Waltham, MA 02451

House Doctor
 Arup
 60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
 ISSUE DATE: 11/17/22
 PROJECT STATUS: Construction Documents
 DRAWN BY: Author
 CHECKED BY: Checker
 SHEET NAME:
 Site Logistics Plan

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A101



C:\Users\mfrank\Documents\Cambridge City Hall Facade (Comm)_AR022022_11mfrank52517.rvt
 10/27/2022 4:55:26 PM






PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

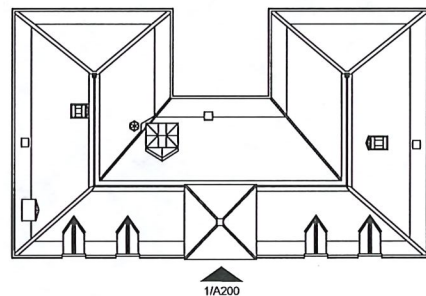
Legend - Bird Deterrents

- BD1  Install New Net Bird Deterrent
- BD2  Install New Mesh Bird Deterrent
- BD3  Install New Springuard Bird Deterrent

Refer to EN-series sheets for bird deterrent fastening to masonry.

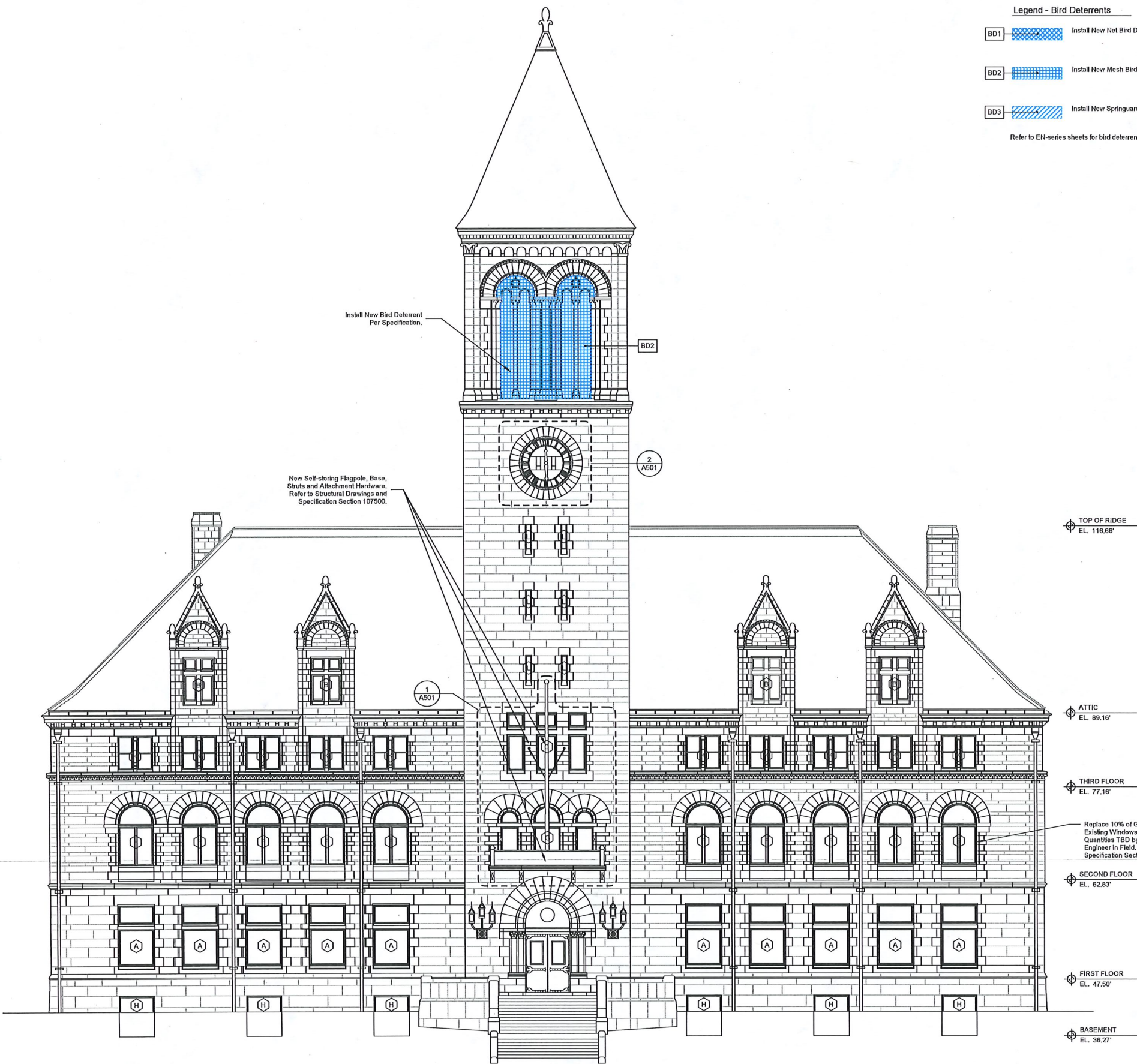
General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 059133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 059133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



Key Plan

1/32" = 1'-0"



KEY PLAN:

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents

DRAWN BY:
CHECKED BY:
SHEET NAME:
Exterior Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A200

1 South Elevation - Massachusetts Ave.

1/8" = 1'-0"




PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

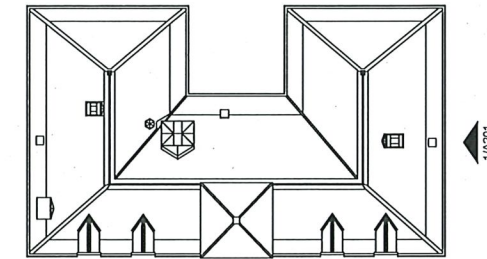
Legend - Bird Deterrents

- BD1  Install New Net Bird Deterrent
- BD2  Install New Mesh Bird Deterrent
- BD3  Install New Springuard Bird Deterrent

Refer to EN-series sheets for bird deterrent fastening to masonry.

General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 059133.
3. Repaint elements per manufacturer's instructions, with finish coat color to match existing. Refer to specification section 059133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



Key Plan
1/32" = 1'-0"

KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:
SHEET NAME:

Exterior Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A201

C:\Users\kenneth\Documents\Cambridge City Hall Facade (Central)_AR02002_11mm1925357.rvt
10/21/2022 4:58:27 PM

1 East Elevation - Inman St.
1/8" = 1'-0"

New Self-storing Flaggpole, Base, Struts and Attachment Hardware. Refer to Structural Drawings and Specification Section 107500.

Replace 10% of Glazing Putty at Existing Windows. Final Quantities TBD by Architect and Engineer in Field. Refer to Specification Section 064400.

Install New Bird Deterrent Per Specification.

TOP OF RIDGE
EL. 116.66'

ATTIC
EL. 89.16'

THIRD FLOOR
EL. 77.16'

SECOND FLOOR
EL. 62.83'

FIRST FLOOR
EL. 47.5'

BASEMENT
EL. 36.27'

2
A501

BD2

A

A

A

A

A

A

H

H

H

H




PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

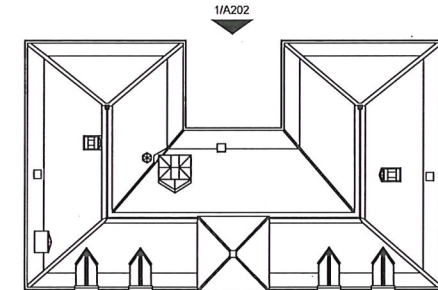
Legend - Bird Deterrents

- BD1  Install New Net Bird Deterrent
- BD2  Install New Mesh Bird Deterrent
- BD3  Install New Springuard Bird Deterrent

Refer to EN-series sheets for bird deterrent fastening to masonry.

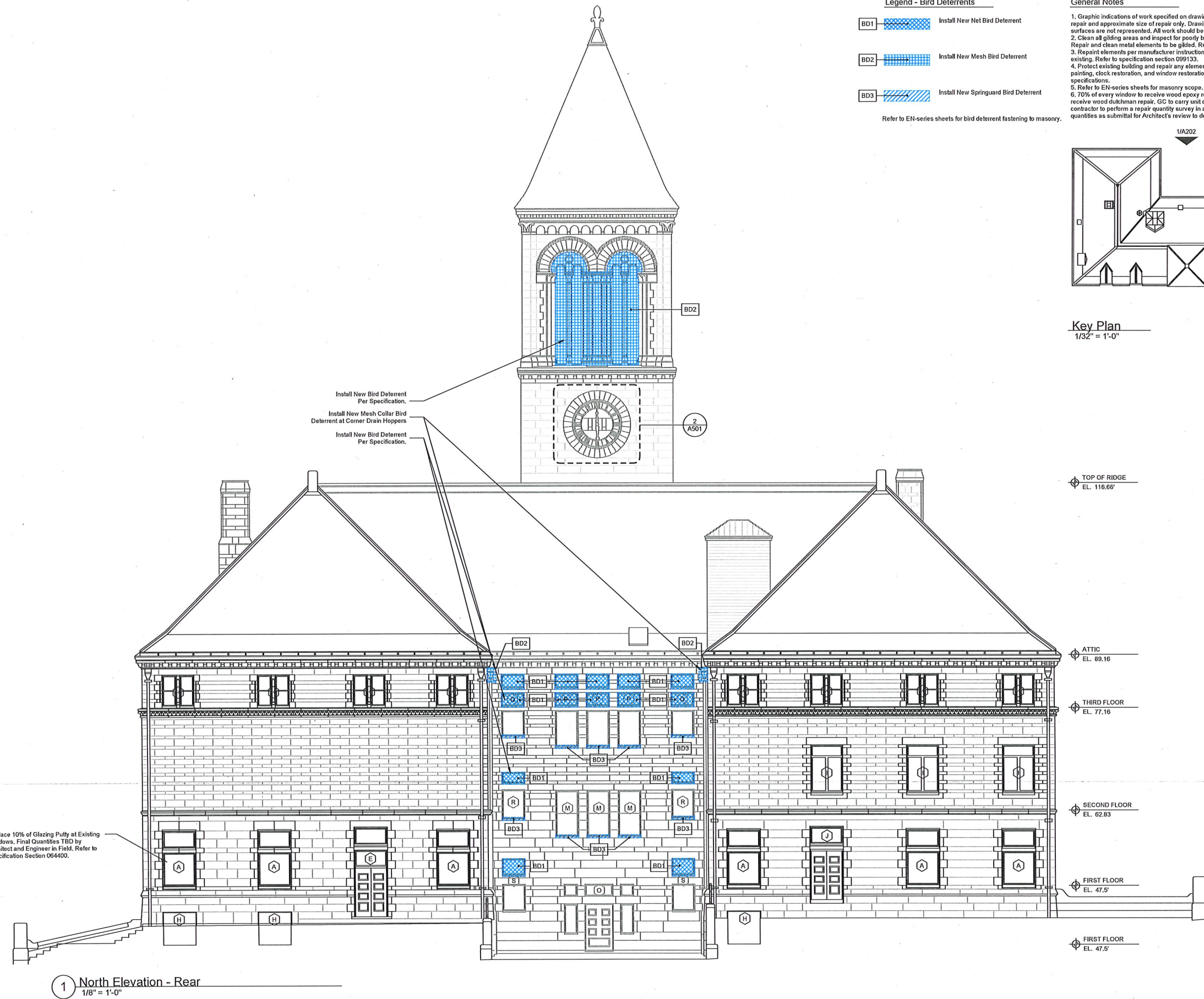
General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 059133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 059133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



Key Plan

1/32" = 1'-0"



1 North Elevation - Rear
1/8" = 1'-0"

KEY PLAN:

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:

SHEET NAME:
Exterior Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A202




PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

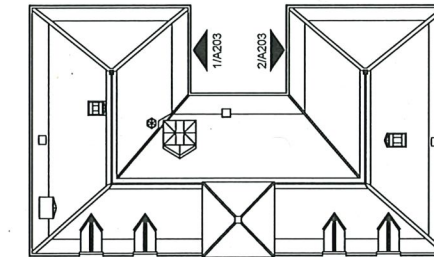
Legend - Bird Deterrents

- BD1  Install New Net Bird Deterrent
- BD2  Install New Mesh Bird Deterrent
- BD3  Install New Springuard Bird Deterrent

Refer to EN-series sheets for bird deterrent fastening to masonry.

General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



Key Plan
1/32" = 1'-0"

KEY PLAN:

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY:
CHECKED BY:
SHEET NAME:

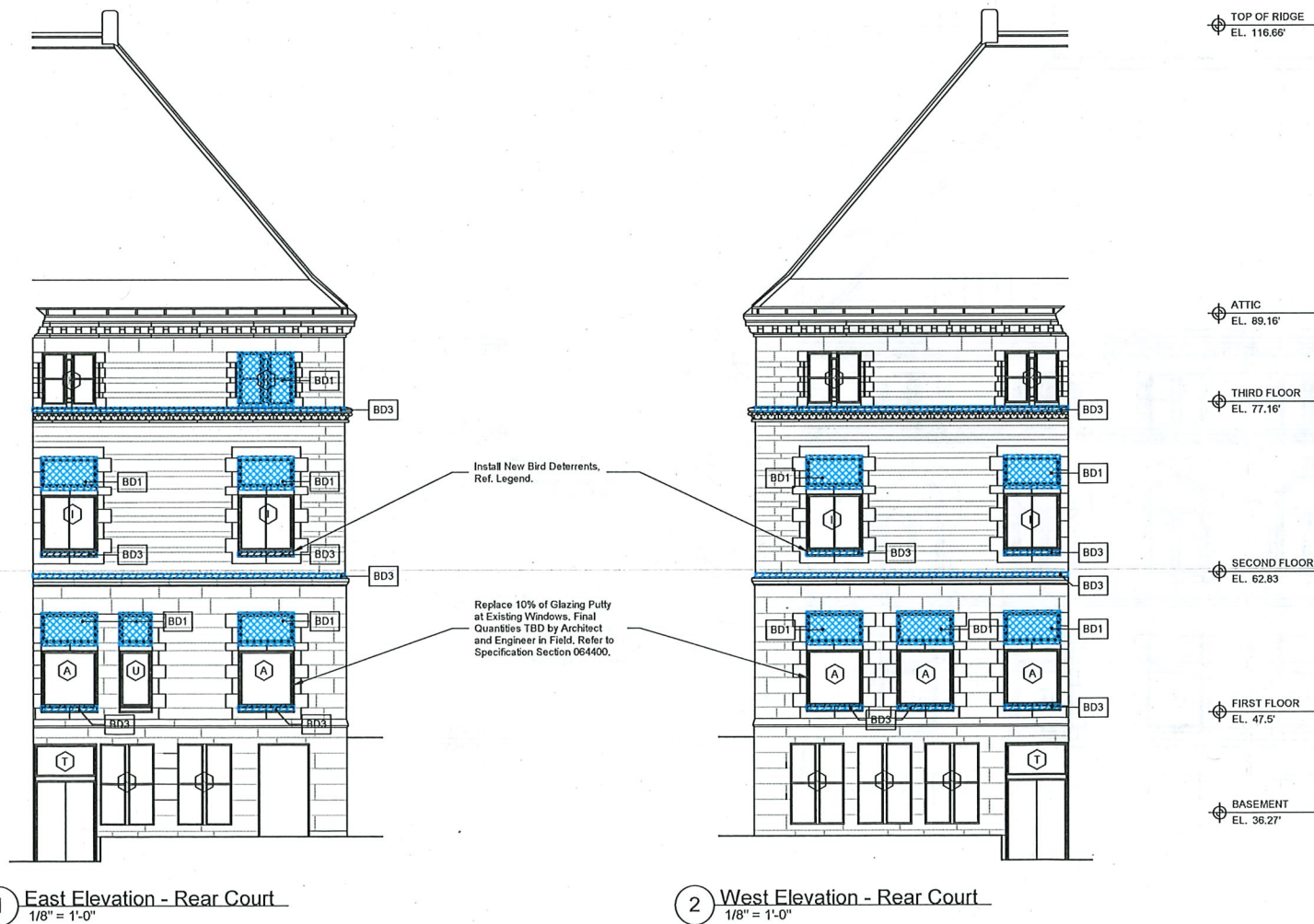
Exterior Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A203



1 East Elevation - Rear Court
1/8" = 1'-0"

2 West Elevation - Rear Court
1/8" = 1'-0"

PROJECT TEAM:

OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451

House Doctor
 Arup
 60 State St, Boston, MA 02109

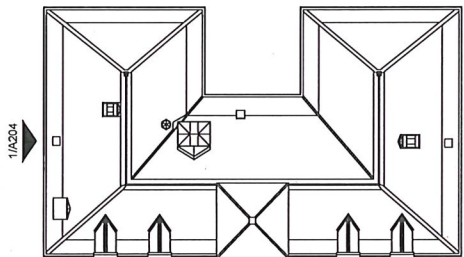
Legend - Bird Deterrents

- BD1 Install New Net Bird Deterrent
- BD2 Install New Mesh Bird Deterrent
- BD3 Install New Springuard Bird Deterrent

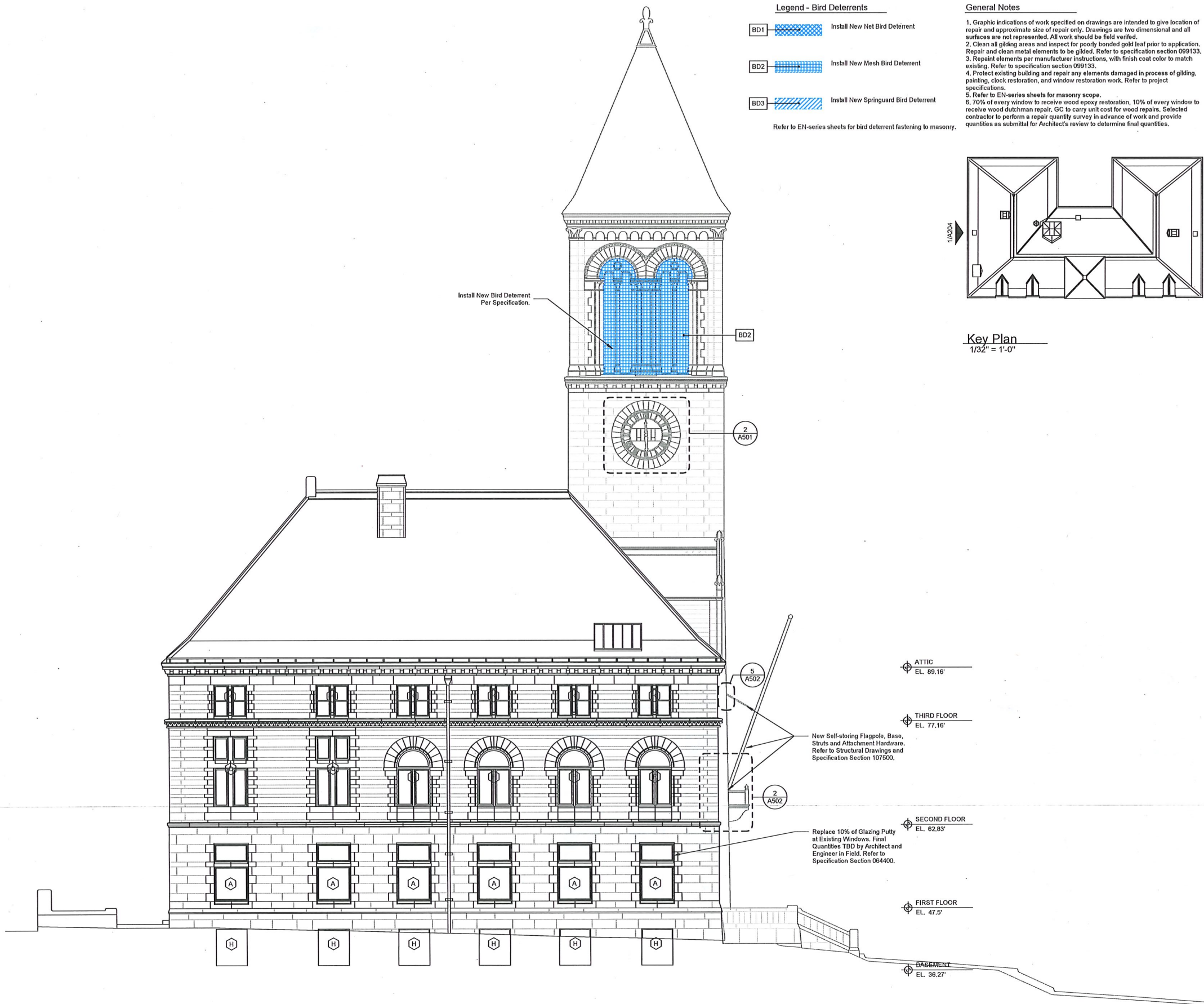
Refer to EN-series sheets for bird deterrent fastening to masonry.

General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair, GO to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



Key Plan
 1/32" = 1'-0"



KEY PLAN:

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
 ISSUE DATE: 11/17/22
 PROJECT STATUS: Construction Documents
 DRAWN BY:
 CHECKED BY:

SHEET NAME:

Exterior Elevations

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

A204

1 West Elevation - Bigelow St.
 1/8" = 1'-0"

General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.

Finegold Alexander Architects

PROJECT TEAM

OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope:
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451

House Doctor:
 Arup
 60 State St, Boston, MA 02109

KEY PLAN

SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

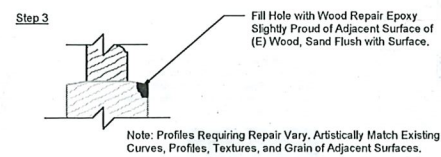
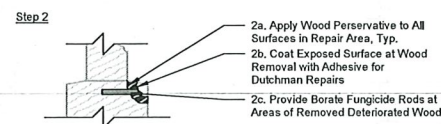
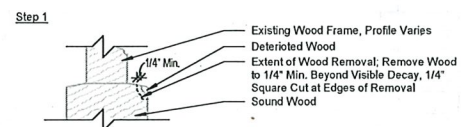
PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:
 Window Details

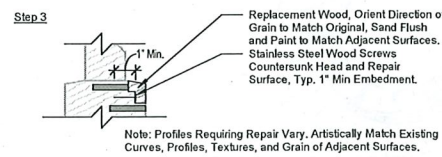
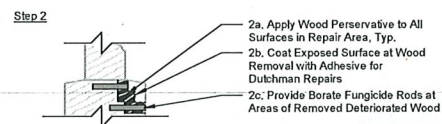
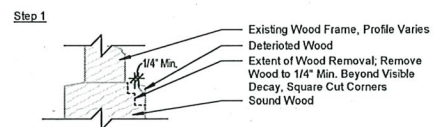
DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

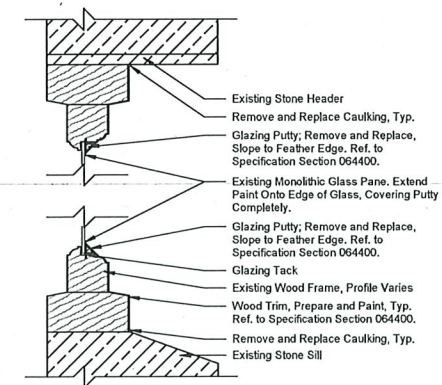
SHEET #:
A500



3 Section Detail - Typ. Wood Epoxy Repair
 3" = 1'-0"



2 Section Detail - Typ. Wood Dutchman Repair
 3" = 1'-0"



1 Section Detail - Typ. Glazing Putty Replacement
 3" = 1'-0"

General Notes

1. Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
2. Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
3. Repaint elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
4. Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
5. Refer to EN-series sheets for masonry scope.
6. 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair, GO to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.

Finegold Alexander Architects

PROJECT TEAM:

OWNER:
 City of Cambridge
 755 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451

House Doctor
 Arup
 60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT INFORMATION:

Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

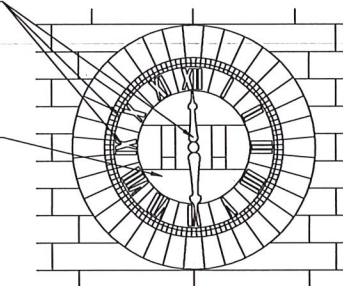
SHEET NAME:
 Ornamental Metal & Gilding Details

DRAWING HISTORY:

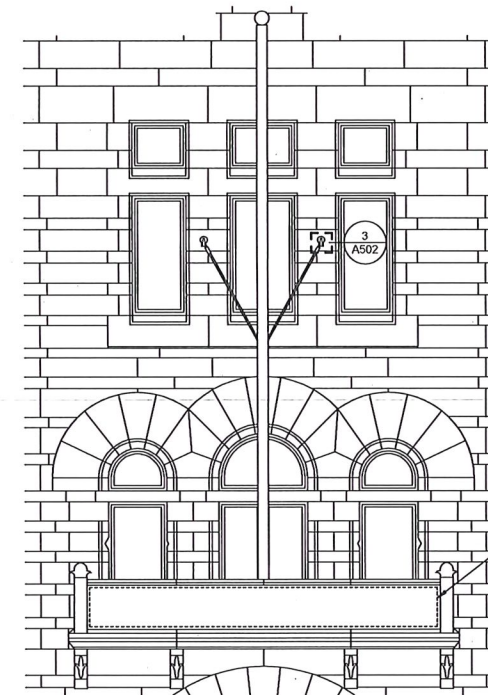
| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:
A501

Specialty Clock Technician to Carefully Remove All Clock Hands, Clock Numbers, Second Markers, and Mounting Hardware. Clock Technician to Hand Over Clock Hands, Clock Numbers, Second Markers, and Hardware to Specialty Gilding Contractor Retained by the Painting Contractor for Restoration of Ornamental Metal and Gilding. Once Gilding is Complete, Gilding Contractor to Hand Over the Clock Hands, Clock Numbers, Second Markers, and Hardware for Re-installation by Specialty Clock Technician.
 Painter to Touch Up Paint, Repair Damage, and Restore Finish at Clock Face, Typ.



2 Typical Clock Elevation
 1/4" = 1'-0"



Gild Engraved Lettering in Field Per Manufacturer's Instructions to Match Existing. Gilding by Specialty Gilding Contractor Retained by the Painting Contractor. Refer to Specification Section 099133.



1 Balcony Elevation - Front
 1/4" = 1'-0"

PROJECT TEAM:

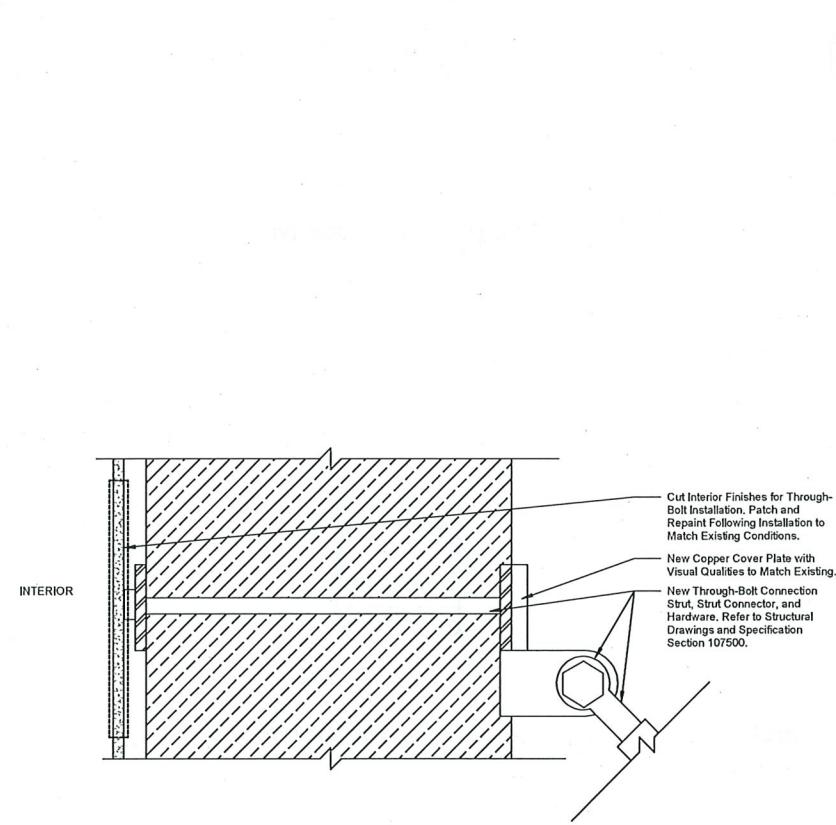
OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

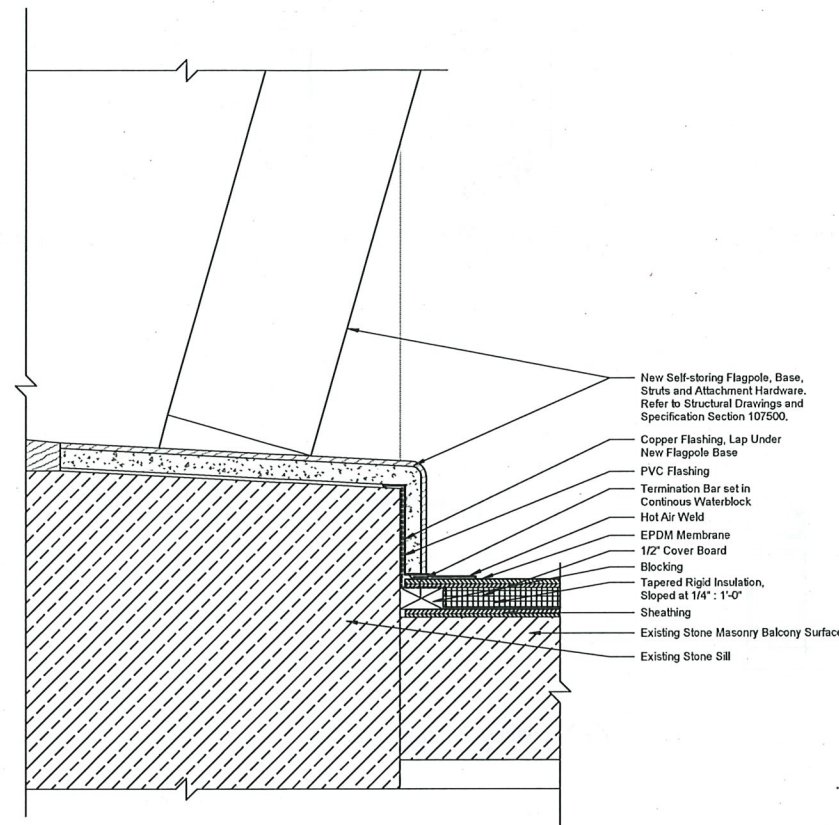
House Doctor
Arup
60 State St, Boston, MA 02109

General Notes

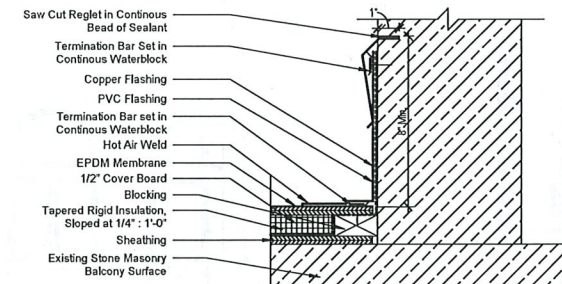
- Graphic indications of work specified on drawings are intended to give location of repair and approximate size of repair only. Drawings are two dimensional and all surfaces are not represented. All work should be field verified.
- Clean all gilding areas and inspect for poorly bonded gold leaf prior to application. Repair and clean metal elements to be gilded. Refer to specification section 099133.
- Repair elements per manufacturer instructions, with finish coat color to match existing. Refer to specification section 099133.
- Protect existing building and repair any elements damaged in process of gilding, painting, clock restoration, and window restoration work. Refer to project specifications.
- Refer to EN-series sheets for masonry scope.
- 70% of every window to receive wood epoxy restoration, 10% of every window to receive wood dutchman repair. GC to carry unit cost for wood repairs. Selected contractor to perform a repair quantity survey in advance of work and provide quantities as submittal for Architect's review to determine final quantities.



5 Flagpole Strut Through-Bolt Connection Repair Detail
3" = 1'-0"



4 Balcony Section at New EPDM Roof
3" = 1'-0"



KEY PLAN:

SEAL:



PROJECT INFORMATION:

Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
ISSUE DATE: 11/17/22
PROJECT STATUS: Construction Documents
DRAWN BY: Author
CHECKED BY: Checker

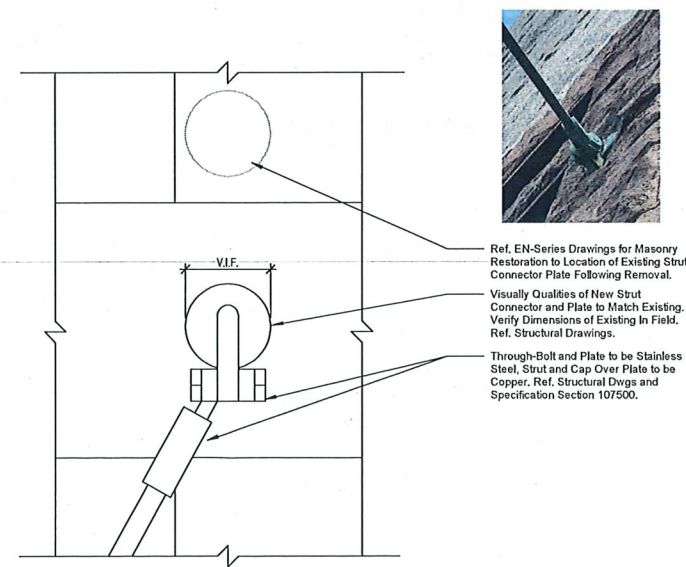
SHEET NAME:
Roofing & Flagpole Details

DRAWING HISTORY:

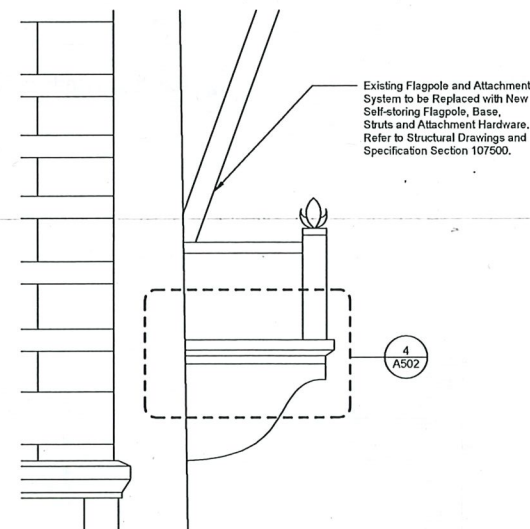
| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

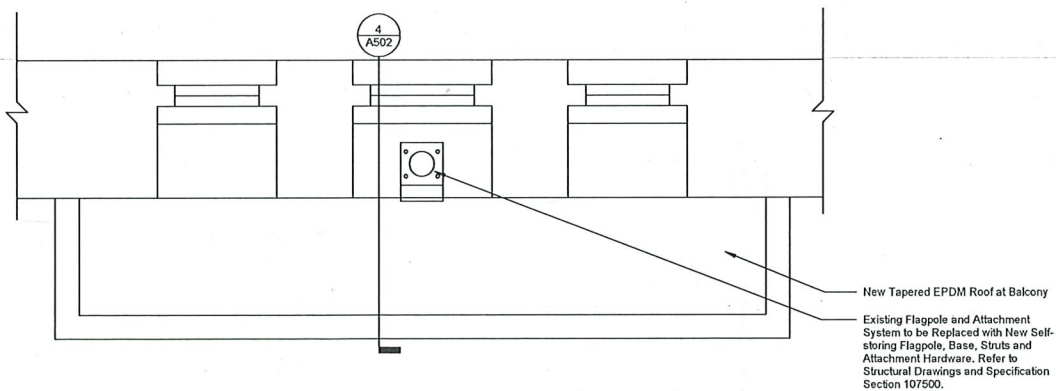
A502



3 Flagpole Strut Connector Plate
3" = 1'-0"



2 Balcony Elevation - Side
1/2" = 1'-0"



1 Balcony Plan
1/2" = 1'-0"

PROJECT TEAM:

OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139

Structural & Envelope
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451

House Doctor
 Arup
 60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT INFORMATION:
 Cambridge - City Hall Facade
 Restoration
 795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: P0128.08
 ISSUE DATE: 11/17/22
 PROJECT STATUS: Construction Documents
 DRAWN BY:
 CHECKED BY:

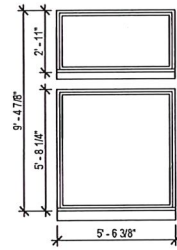
SHEET NAME:
 Existing Window Types

DRAWING HISTORY:

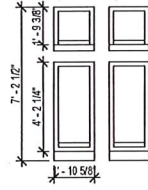
| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 8/12/22 | Design Development |
| 2 | 11/17/22 | Issued for Bid |

SHEET #:

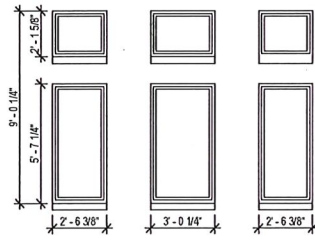
A600



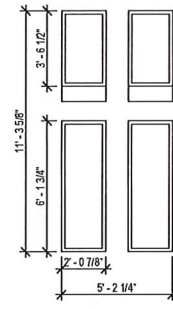
1 Existing Window Type A
 1/4" = 1'-0"



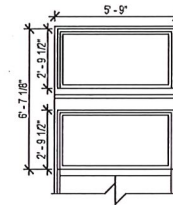
2 Existing Window Type B
 1/4" = 1'-0"



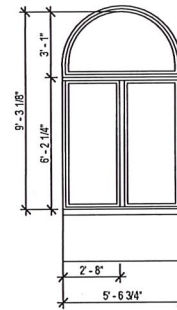
3 Existing Window Type C
 1/4" = 1'-0"



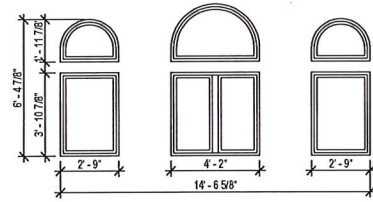
4 Existing Window Type D
 1/4" = 1'-0"



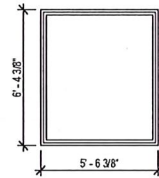
5 Existing Window Type E
 1/4" = 1'-0"



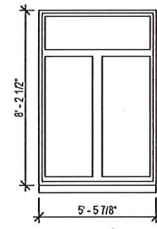
6 Existing Window Type F
 1/4" = 1'-0"



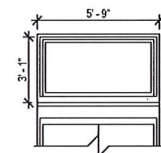
7 Existing Window Type G
 1/4" = 1'-0"



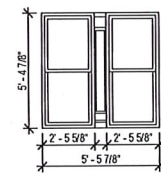
8 Existing Window Type H
 1/4" = 1'-0"



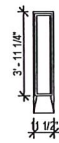
9 Existing Window Type I
 1/4" = 1'-0"



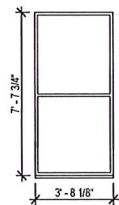
10 Existing Window Type J
 1/4" = 1'-0"



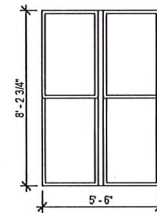
11 Existing Window Type K
 1/4" = 1'-0"



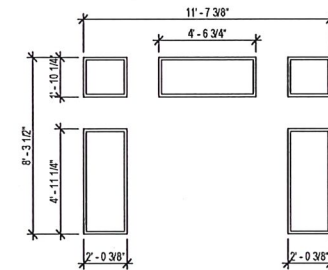
12 Existing Window Type L
 1/4" = 1'-0"



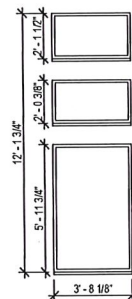
13 Existing Window Type M
 1/4" = 1'-0"



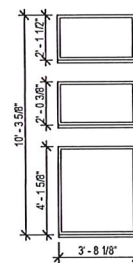
14 Existing Window Type N
 1/4" = 1'-0"



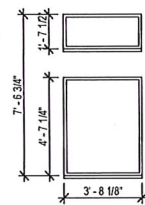
15 Existing Window Type O
 1/4" = 1'-0"



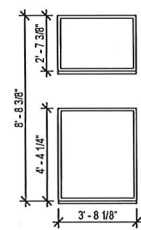
16 Existing Window Type P
 1/4" = 1'-0"



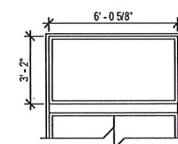
17 Existing Window Type Q
 1/4" = 1'-0"



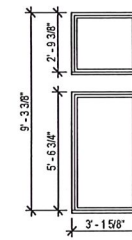
18 Existing Window Type R
 1/4" = 1'-0"



19 Existing Window Type S
 1/4" = 1'-0"



20 Existing Window Type T
 1/4" = 1'-0"



21 Existing Window Type U
 1/4" = 1'-0"

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

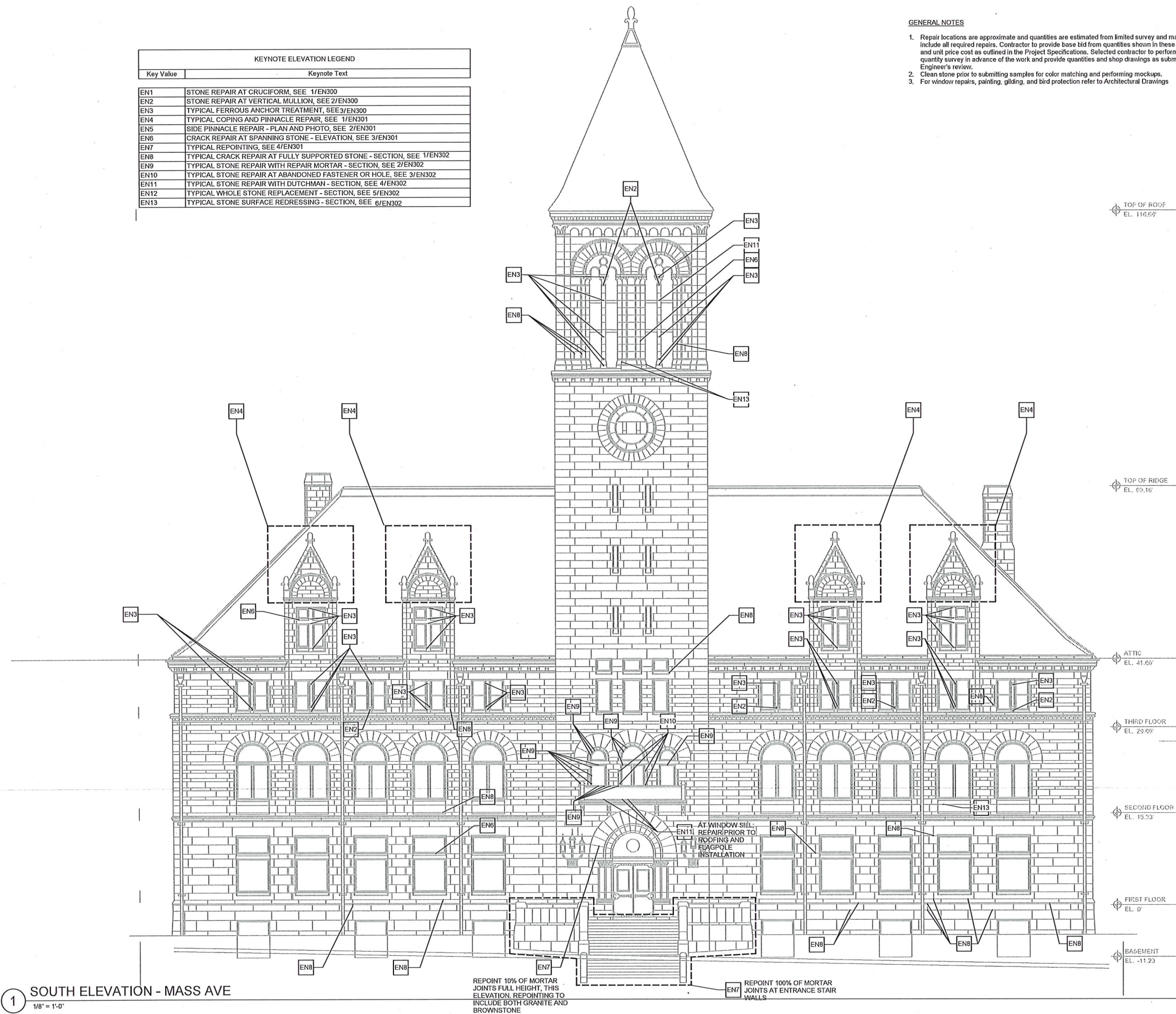
Structural & Envelope:
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor:
Arup
60 State St, Boston, MA 02109

GENERAL NOTES

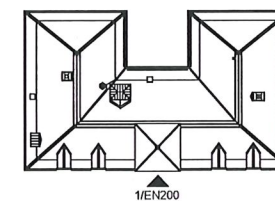
1. Repair locations are approximate and quantities are estimated from limited survey and may not include all required repairs. Contractor to provide base bid from quantities shown in these drawings and unit price cost as outlined in the Project Specifications. Selected contractor to perform a repair quantity survey in advance of the work and provide quantities and shop drawings as submittal for Engineer's review.
2. Clean stone prior to submitting samples for color matching and performing mockups.
3. For window repairs, painting, glazing, and bird protection refer to Architectural Drawings

| KEYNOTE ELEVATION LEGEND | |
|--------------------------|--|
| Key Value | Keynote Text |
| EN1 | STONE REPAIR AT CRUCIFORM, SEE 1/EN300 |
| EN2 | STONE REPAIR AT VERTICAL MULLION, SEE 2/EN300 |
| EN3 | TYPICAL FERROUS ANCHOR TREATMENT, SEE 3/EN300 |
| EN4 | TYPICAL COPING AND PINNACLE REPAIR, SEE 1/EN301 |
| EN5 | SIDE PINNACLE REPAIR - PLAN AND PHOTO, SEE 2/EN301 |
| EN6 | CRACK REPAIR AT SPANNING STONE - ELEVATION, SEE 3/EN301 |
| EN7 | TYPICAL REPOINTING, SEE 4/EN301 |
| EN8 | TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION, SEE 1/EN302 |
| EN9 | TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION, SEE 2/EN302 |
| EN10 | TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE, SEE 3/EN302 |
| EN11 | TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION, SEE 4/EN302 |
| EN12 | TYPICAL WHOLE STONE REPLACEMENT - SECTION, SEE 5/EN302 |
| EN13 | TYPICAL STONE SURFACE REDRESSING - SECTION, SEE 6/EN302 |



1 SOUTH ELEVATION - MASS AVE
1/8" = 1'-0"

KEY PLAN:



SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MBB
SHEET NAME:
SOUTH ELEVATION - MASONRY
REPAIRS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
EN200

C:\Users\jennifer\Documents\211204_Cambridge_City_Hall_P251_P252_P253_P254_P255_P256_P257_P258_P259_P260_P261_P262_P263_P264_P265_P266_P267_P268_P269_P270_P271_P272_P273_P274_P275_P276_P277_P278_P279_P280_P281_P282_P283_P284_P285_P286_P287_P288_P289_P290_P291_P292_P293_P294_P295_P296_P297_P298_P299_P300_P301_P302_P303_P304_P305_P306_P307_P308_P309_P310_P311_P312_P313_P314_P315_P316_P317_P318_P319_P320_P321_P322_P323_P324_P325_P326_P327_P328_P329_P330_P331_P332_P333_P334_P335_P336_P337_P338_P339_P340_P341_P342_P343_P344_P345_P346_P347_P348_P349_P350_P351_P352_P353_P354_P355_P356_P357_P358_P359_P360_P361_P362_P363_P364_P365_P366_P367_P368_P369_P370_P371_P372_P373_P374_P375_P376_P377_P378_P379_P380_P381_P382_P383_P384_P385_P386_P387_P388_P389_P390_P391_P392_P393_P394_P395_P396_P397_P398_P399_P400_P401_P402_P403_P404_P405_P406_P407_P408_P409_P410_P411_P412_P413_P414_P415_P416_P417_P418_P419_P420_P421_P422_P423_P424_P425_P426_P427_P428_P429_P430_P431_P432_P433_P434_P435_P436_P437_P438_P439_P440_P441_P442_P443_P444_P445_P446_P447_P448_P449_P450_P451_P452_P453_P454_P455_P456_P457_P458_P459_P460_P461_P462_P463_P464_P465_P466_P467_P468_P469_P470_P471_P472_P473_P474_P475_P476_P477_P478_P479_P480_P481_P482_P483_P484_P485_P486_P487_P488_P489_P490_P491_P492_P493_P494_P495_P496_P497_P498_P499_P500_P501_P502_P503_P504_P505_P506_P507_P508_P509_P510_P511_P512_P513_P514_P515_P516_P517_P518_P519_P520_P521_P522_P523_P524_P525_P526_P527_P528_P529_P530_P531_P532_P533_P534_P535_P536_P537_P538_P539_P540_P541_P542_P543_P544_P545_P546_P547_P548_P549_P550_P551_P552_P553_P554_P555_P556_P557_P558_P559_P560_P561_P562_P563_P564_P565_P566_P567_P568_P569_P570_P571_P572_P573_P574_P575_P576_P577_P578_P579_P580_P581_P582_P583_P584_P585_P586_P587_P588_P589_P590_P591_P592_P593_P594_P595_P596_P597_P598_P599_P600_P601_P602_P603_P604_P605_P606_P607_P608_P609_P610_P611_P612_P613_P614_P615_P616_P617_P618_P619_P620_P621_P622_P623_P624_P625_P626_P627_P628_P629_P630_P631_P632_P633_P634_P635_P636_P637_P638_P639_P640_P641_P642_P643_P644_P645_P646_P647_P648_P649_P650_P651_P652_P653_P654_P655_P656_P657_P658_P659_P660_P661_P662_P663_P664_P665_P666_P667_P668_P669_P670_P671_P672_P673_P674_P675_P676_P677_P678_P679_P680_P681_P682_P683_P684_P685_P686_P687_P688_P689_P690_P691_P692_P693_P694_P695_P696_P697_P698_P699_P700_P701_P702_P703_P704_P705_P706_P707_P708_P709_P710_P711_P712_P713_P714_P715_P716_P717_P718_P719_P720_P721_P722_P723_P724_P725_P726_P727_P728_P729_P730_P731_P732_P733_P734_P735_P736_P737_P738_P739_P740_P741_P742_P743_P744_P745_P746_P747_P748_P749_P750_P751_P752_P753_P754_P755_P756_P757_P758_P759_P760_P761_P762_P763_P764_P765_P766_P767_P768_P769_P770_P771_P772_P773_P774_P775_P776_P777_P778_P779_P780_P781_P782_P783_P784_P785_P786_P787_P788_P789_P790_P791_P792_P793_P794_P795_P796_P797_P798_P799_P800_P801_P802_P803_P804_P805_P806_P807_P808_P809_P810_P811_P812_P813_P814_P815_P816_P817_P818_P819_P820_P821_P822_P823_P824_P825_P826_P827_P828_P829_P830_P831_P832_P833_P834_P835_P836_P837_P838_P839_P840_P841_P842_P843_P844_P845_P846_P847_P848_P849_P850_P851_P852_P853_P854_P855_P856_P857_P858_P859_P860_P861_P862_P863_P864_P865_P866_P867_P868_P869_P870_P871_P872_P873_P874_P875_P876_P877_P878_P879_P880_P881_P882_P883_P884_P885_P886_P887_P888_P889_P890_P891_P892_P893_P894_P895_P896_P897_P898_P899_P900_P901_P902_P903_P904_P905_P906_P907_P908_P909_P910_P911_P912_P913_P914_P915_P916_P917_P918_P919_P920_P921_P922_P923_P924_P925_P926_P927_P928_P929_P930_P931_P932_P933_P934_P935_P936_P937_P938_P939_P940_P941_P942_P943_P944_P945_P946_P947_P948_P949_P950_P951_P952_P953_P954_P955_P956_P957_P958_P959_P960_P961_P962_P963_P964_P965_P966_P967_P968_P969_P970_P971_P972_P973_P974_P975_P976_P977_P978_P979_P980_P981_P982_P983_P984_P985_P986_P987_P988_P989_P990_P991_P992_P993_P994_P995_P996_P997_P998_P999_1000

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

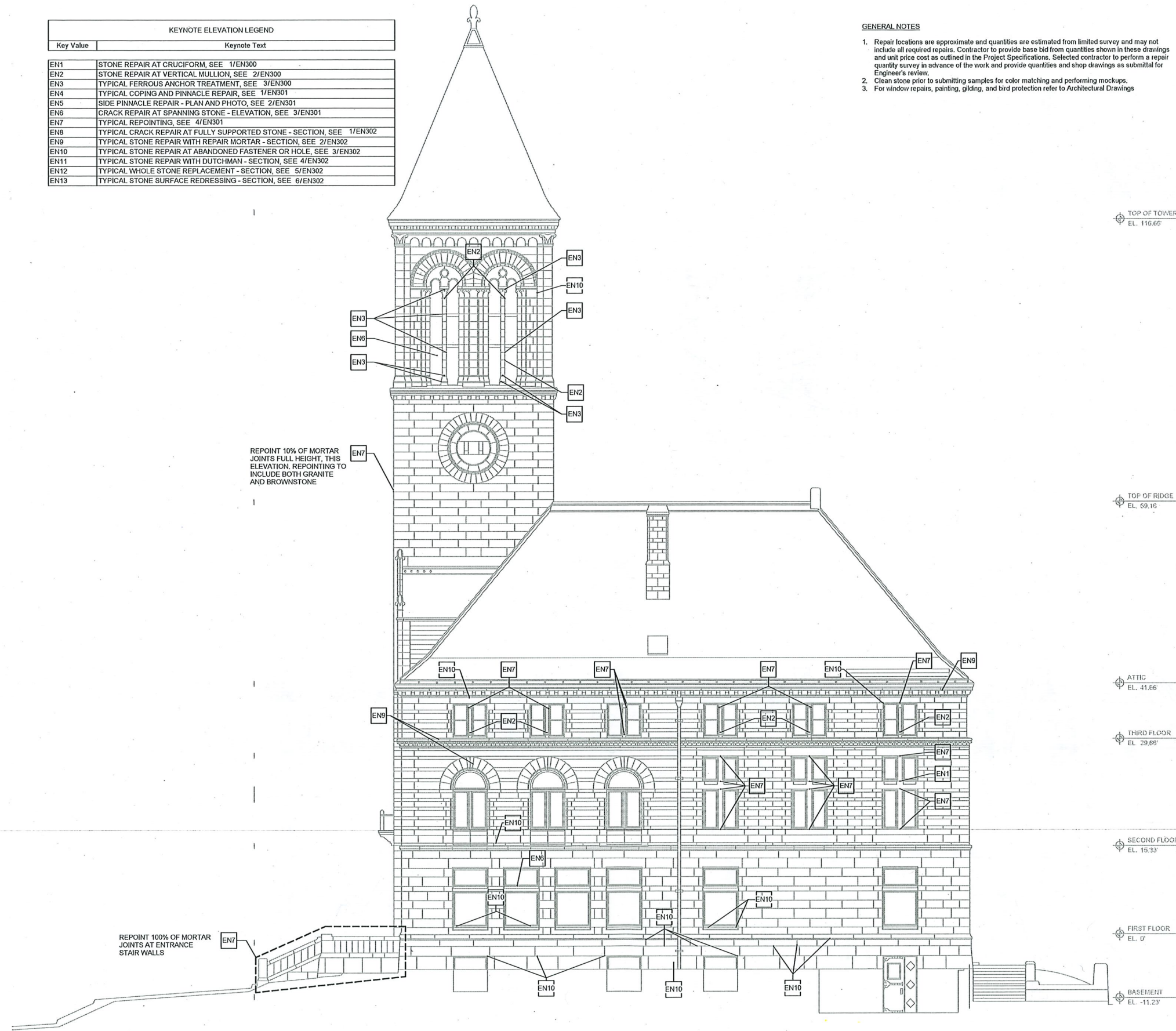
Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

| KEYNOTE ELEVATION LEGEND | |
|--------------------------|--|
| Key Value | Keynote Text |
| EN1 | STONE REPAIR AT CRUCIFORM, SEE 1/EN300 |
| EN2 | STONE REPAIR AT VERTICAL MULLION, SEE 2/EN300 |
| EN3 | TYPICAL FERROUS ANCHOR TREATMENT, SEE 3/EN300 |
| EN4 | TYPICAL COPING AND PINNACLE REPAIR, SEE 1/EN301 |
| EN5 | SIDE PINNACLE REPAIR - PLAN AND PHOTO, SEE 2/EN301 |
| EN6 | CRACK REPAIR AT SPANNING STONE - ELEVATION, SEE 3/EN301 |
| EN7 | TYPICAL REPOINTING, SEE 4/EN301 |
| EN8 | TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION, SEE 1/EN302 |
| EN9 | TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION, SEE 2/EN302 |
| EN10 | TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE, SEE 3/EN302 |
| EN11 | TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION, SEE 4/EN302 |
| EN12 | TYPICAL WHOLE STONE REPLACEMENT - SECTION, SEE 5/EN302 |
| EN13 | TYPICAL STONE SURFACE REDRESSING - SECTION, SEE 6/EN302 |

GENERAL NOTES

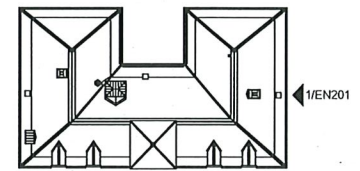
1. Repair locations are approximate and quantities are estimated from limited survey and may not include all required repairs. Contractor to provide base bid from quantities shown in these drawings and unit price cost as outlined in the Project Specifications. Selected contractor to perform a repair quantity survey in advance of the work and provide quantities and shop drawings as submittal for Engineer's review.
2. Clean stone prior to submitting samples for color matching and performing mockups.
3. For window repairs, painting, glazing, and bird protection refer to Architectural Drawings.



REPOINT 10% OF MORTAR JOINTS FULL HEIGHT, THIS ELEVATION. REPOINTING TO INCLUDE BOTH GRANITE AND BROWNSTONE

REPOINT 100% OF MORTAR JOINTS AT ENTRANCE STAIR WALLS

KEY PLAN:



SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:

CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MBB
SHEET NAME:
EAST ELEVATION - MASONRY REPAIRS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #

EN201

1 EAST ELEVATION - INMAN ST
1/8" = 1'-0"

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

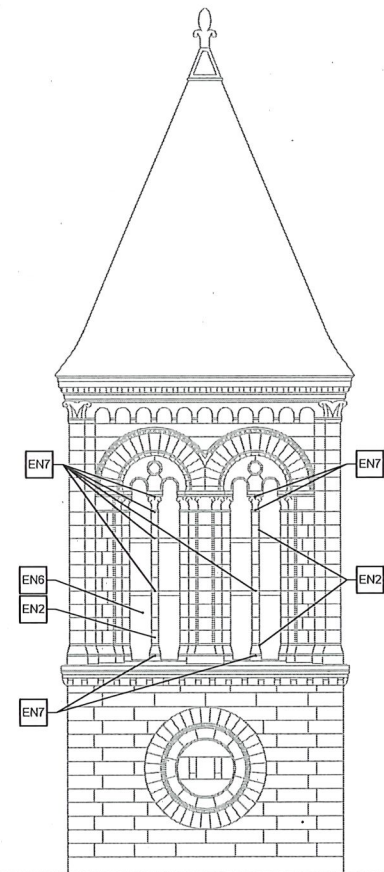
Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

| KEYNOTE ELEVATION LEGEND | |
|--------------------------|--|
| Key Value | Keynote Text |
| EN1 | STONE REPAIR AT CRUCIFORM, SEE 1/EN300 |
| EN2 | STONE REPAIR AT VERTICAL MULLION, SEE 2/EN300 |
| EN3 | TYPICAL FERROUS ANCHOR TREATMENT, SEE 3/EN300 |
| EN4 | TYPICAL COPING AND PINNACLE REPAIR, SEE 1/EN301 |
| EN5 | SIDE PINNACLE REPAIR - PLAN AND PHOTO, SEE 2/EN301 |
| EN6 | CRACK REPAIR AT SPANNING STONE - ELEVATION, SEE 3/EN301 |
| EN7 | TYPICAL REPOINTING, SEE 4/EN301 |
| EN8 | TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION, SEE 1/EN302 |
| EN9 | TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION, SEE 2/EN302 |
| EN10 | TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE, SEE 3/EN302 |
| EN11 | TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION, SEE 4/EN302 |
| EN12 | TYPICAL WHOLE STONE REPLACEMENT - SECTION, SEE 5/EN302 |
| EN13 | TYPICAL STONE SURFACE REDRESSING - SECTION, SEE 6/EN302 |

GENERAL NOTES

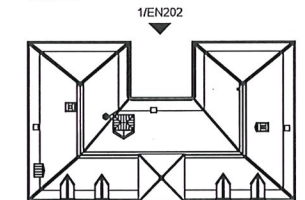
1. Repair locations are approximate and quantities are estimated from limited survey and may not include all required repairs. Contractor to provide base bid from quantities shown in these drawings and unit price cost as outlined in the Project Specifications. Selected contractor to perform a repair quantity survey in advance of the work and provide quantities and shop drawings as submittal for Engineer's review.
2. Clean stone prior to submitting samples for color matching and performing mockups.
3. For window repairs, painting, glazing, and bird protection refer to Architectural Drawings



TOP OF ROOF
EL. 116.00



KEY PLAN:



SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:
CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MBB
SHEET NAME:
NORTH ELEVATION - MASONRY
REPAIRS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
EN202

1 NORTH ELEVATION - REAR
1/8" = 1'-0"

C:\Users\jward\Documents\211204_Cambridge City Hall_P252_B1_Envelope.dwg
10/21/2022 4:35:38 PM

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

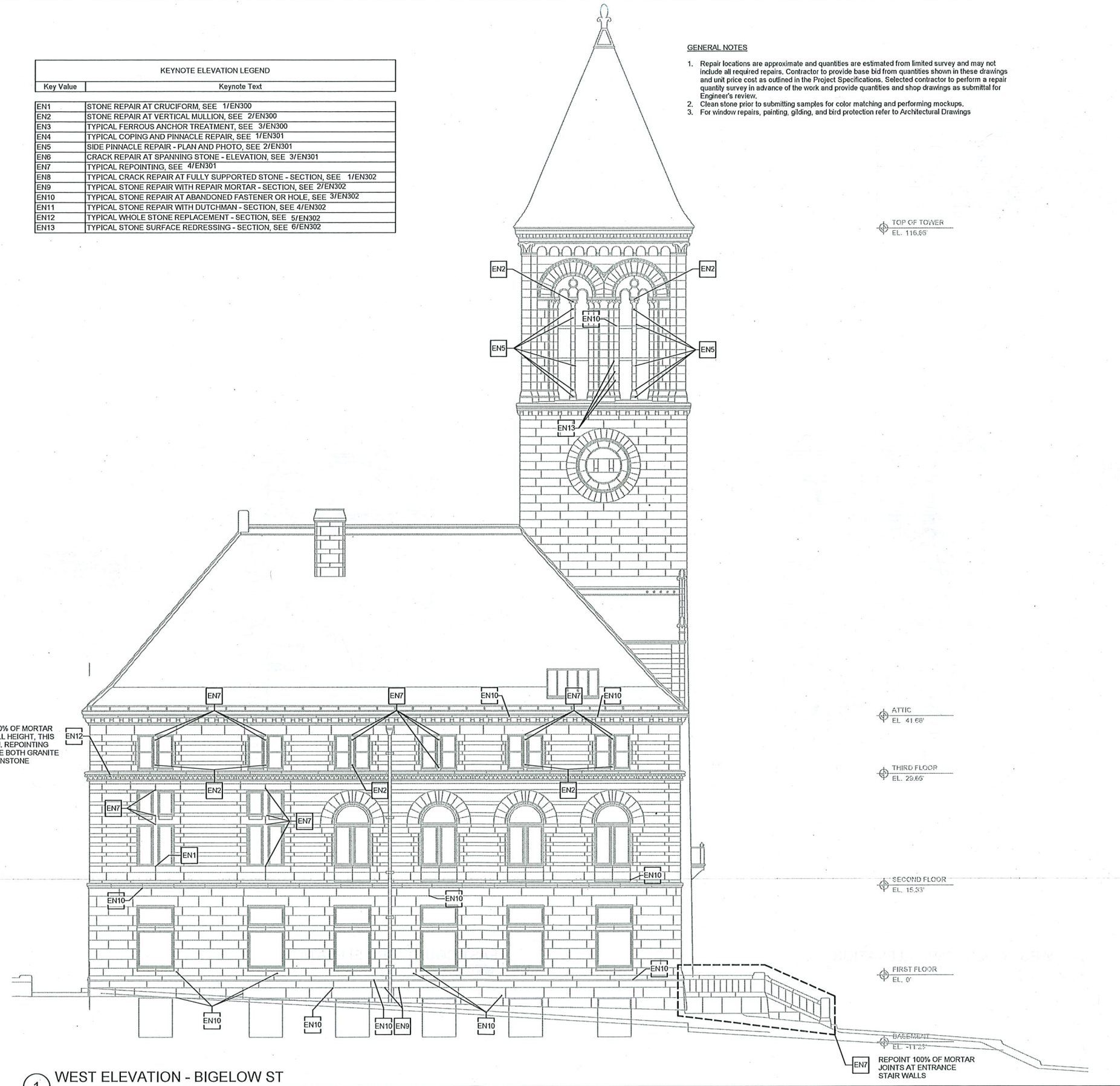
Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

| KEYNOTE ELEVATION LEGEND | |
|--------------------------|--|
| Key Value | Keynote Text |
| EN1 | STONE REPAIR AT CRUCIFORM, SEE 1/EN300 |
| EN2 | STONE REPAIR AT VERTICAL MULLION, SEE 2/EN300 |
| EN3 | TYPICAL FERROUS ANCHOR TREATMENT, SEE 3/EN300 |
| EN4 | TYPICAL COPING AND PINNACLE REPAIR, SEE 1/EN301 |
| EN5 | SIDE PINNACLE REPAIR - PLAN AND PHOTO, SEE 2/EN301 |
| EN6 | CRACK REPAIR AT SPANNING STONE - ELEVATION, SEE 3/EN301 |
| EN7 | TYPICAL REPOINTING, SEE 4/EN301 |
| EN8 | TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION, SEE 1/EN302 |
| EN9 | TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION, SEE 2/EN302 |
| EN10 | TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE, SEE 3/EN302 |
| EN11 | TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION, SEE 4/EN302 |
| EN12 | TYPICAL WHOLE STONE REPLACEMENT - SECTION, SEE 5/EN302 |
| EN13 | TYPICAL STONE SURFACE REDRESSING - SECTION, SEE 6/EN302 |

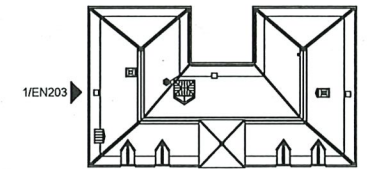
GENERAL NOTES

1. Repair locations are approximate and quantities are estimated from limited survey and may not include all required repairs. Contractor to provide base bid from quantities shown in these drawings and unit price cost as outlined in the Project Specifications. Selected contractor to perform a repair quantity survey in advance of the work and provide quantities and shop drawings as submittal for Engineer's review.
2. Clean stone prior to submitting samples for color matching and performing mockups.
3. For window repairs, painting, glazing, and bird protection refer to Architectural Drawings



1 WEST ELEVATION - BIGELOW ST
1/8" = 1'-0"

KEY PLAN:



SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT INFORMATION:
CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MIBB
SHEET NAME:
WEST ELEVATION - MASONRY
REPAIRS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #
EN203

| KEYNOTE ELEVATION LEGEND | |
|--------------------------|--|
| Key Value | Keynote Text |
| EN1 | STONE REPAIR AT CRUCIFORM, SEE 1/EN300 |
| EN2 | STONE REPAIR AT VERTICAL MULLION, SEE 2/EN300 |
| EN3 | TYPICAL FERROUS ANCHOR TREATMENT, SEE 3/EN300 |
| EN4 | TYPICAL COPING AND PINNACLE REPAIR, SEE 1/EN301 |
| EN5 | SIDE PINNACLE REPAIR - PLAN AND PHOTO, SEE 2/EN301 |
| EN6 | CRACK REPAIR AT SPANNING STONE - ELEVATION, SEE 3/EN301 |
| EN7 | TYPICAL REPOINTING, SEE 4/EN301 |
| EN8 | TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION, SEE 1/EN302 |
| EN9 | TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION, SEE 2/EN302 |
| EN10 | TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE, SEE 3/EN302 |
| EN11 | TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION, SEE 4/EN302 |
| EN12 | TYPICAL WHOLE STONE REPLACEMENT - SECTION, SEE 5/EN302 |
| EN13 | TYPICAL STONE SURFACE REDRESSING - SECTION, SEE 6/EN302 |

GENERAL NOTES

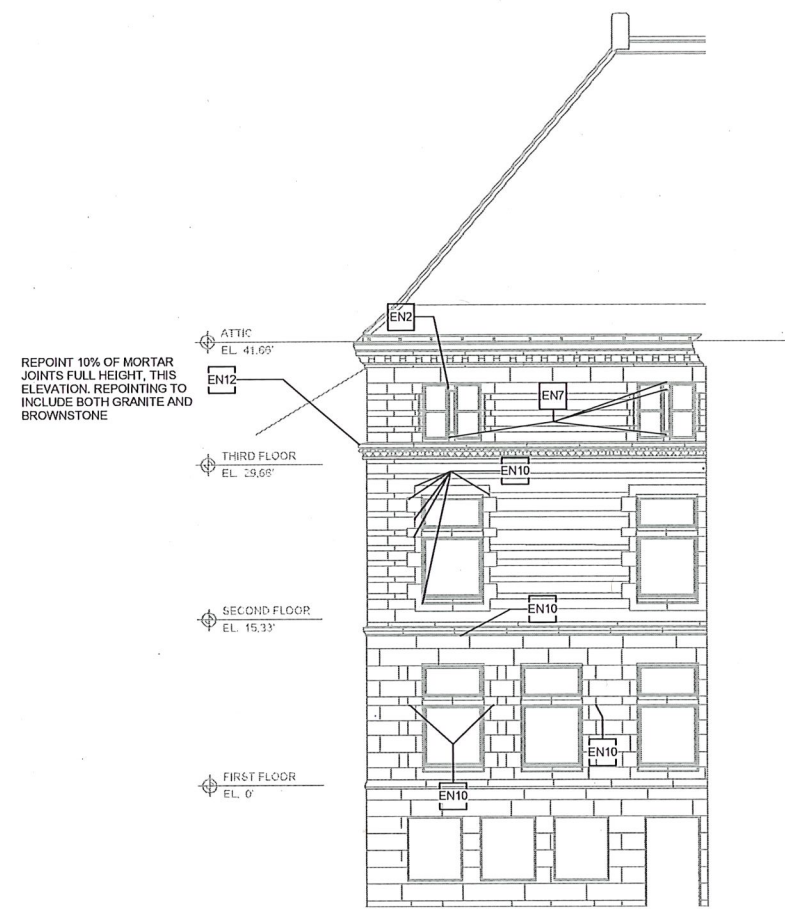
1. Repair locations are approximate and quantities are estimated from limited survey and may not include all required repairs. Contractor to provide base bid from quantities shown in these drawings and unit price cost as outlined in the Project Specifications. Selected contractor to perform a repair quantity survey in advance of the work and provide quantities and shop drawings as submittal for Engineer's review.
2. Clean stone prior to submitting samples for color matching and performing mockups.
3. For window repairs, painting, glazing, and bird protection refer to Architectural Drawings

PROJECT TEAM:

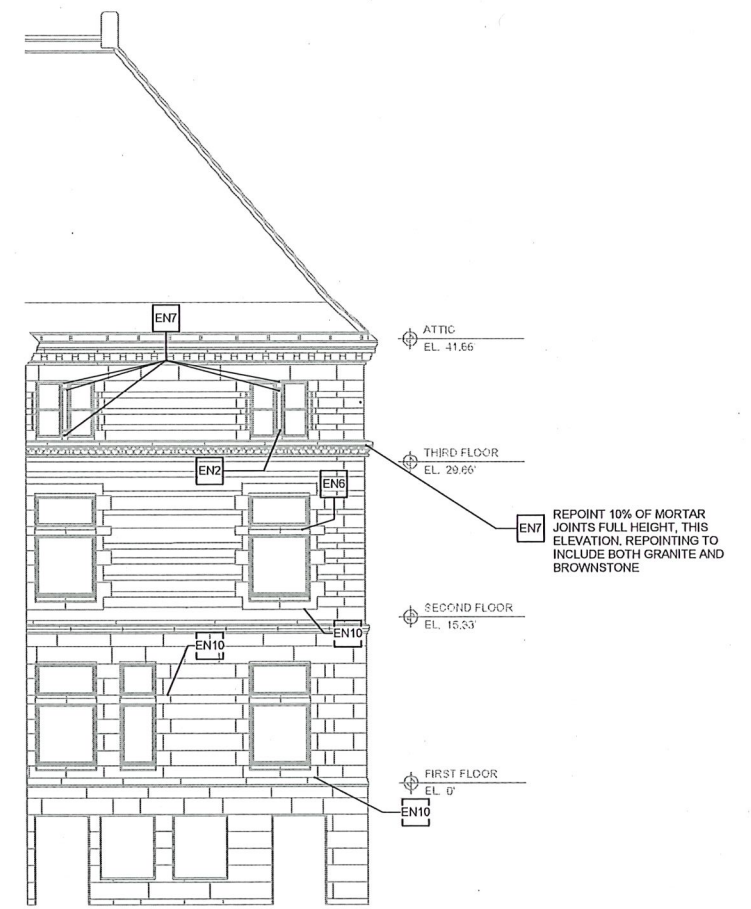
OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

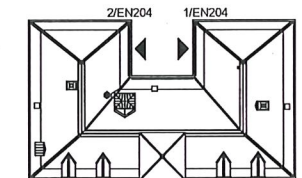


1 WEST COURTYARD ELEVATION
1/8" = 1'-0"



2 EAST COURTYARD ELEVATION
1/8" = 1'-0"

KEY PLAN:



SEAL:



PROJECT INFORMATION:

CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/JMBB

SHEET NAME:

COURTYARD ELEVATIONS -
MASONRY REPAIRS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:

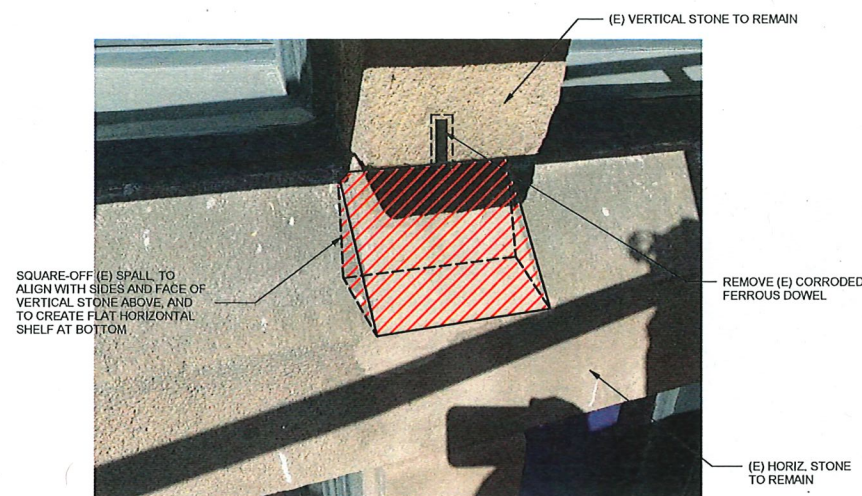
EN204

PROJECT TEAM:

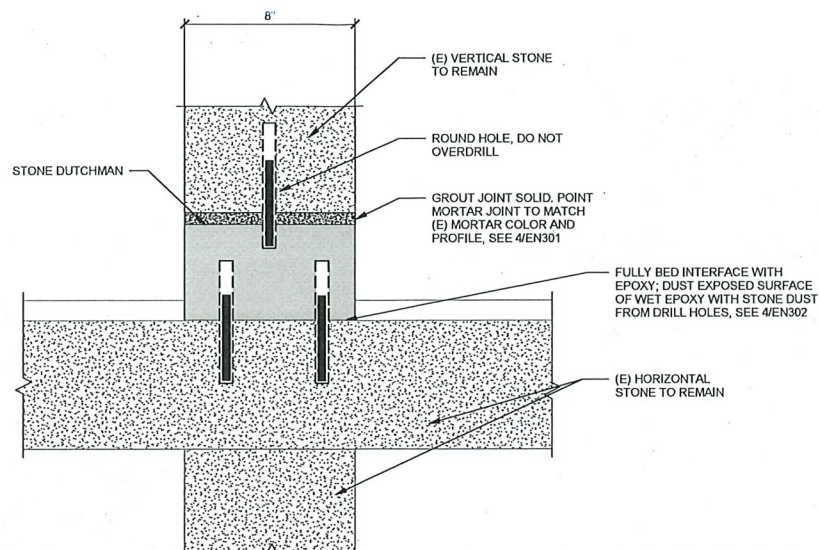
OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

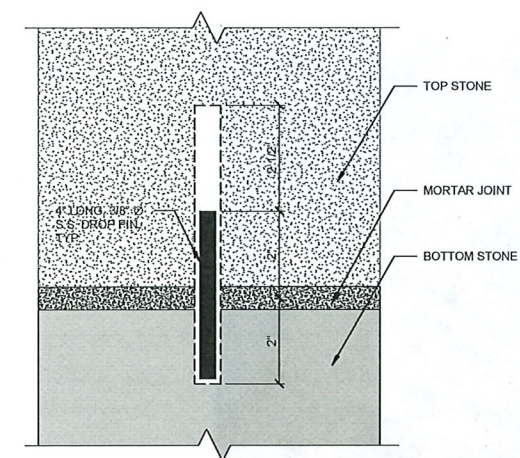


1A - DEMOLITION



NOTE:
1. DUTCHMAN DIMENSIONS VARY BASED ON EXISTING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD.
2. DRILL HOLES AND LOCATE SPRING PINS WHERE INDICATED
3. USE SHEET METAL TOOL TO COMPRESS SPRING PINS, DRY FIT DUTCHMAN FLUSH WITH ADJACENT (E) BROWNSTONE. MARK LOCATIONS ON SIDE FOR DRILLING SPRING PIN HOLES PRIOR TO INSTALLATION.

1B - DUTCHMAN INSTALLATION



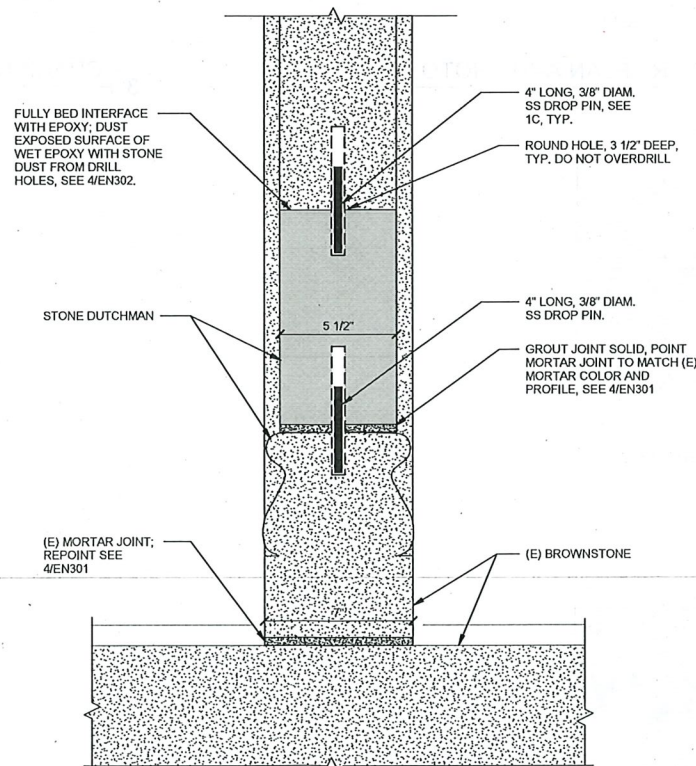
1C - DROP PIN

1 STONE REPAIR AT CRUCIFORM
3" = 1'-0"

KEY PLAN:

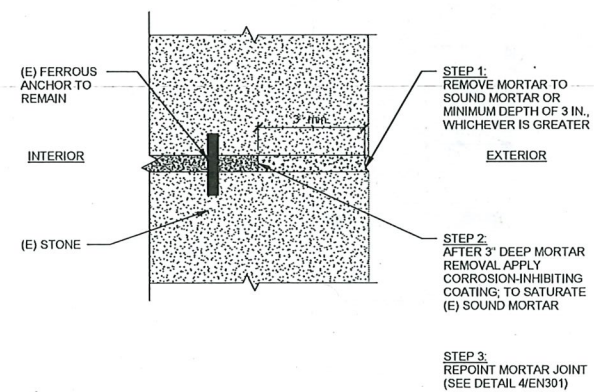


2A - PREP



NOTE:
1. DUTCHMAN DIMENSIONS VARY BASED ON EXISTING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD.
2. DRILL HOLES, LOCATE DROP PINS WHERE INDICATED
3. USE SHEET METAL TOOL TO LIFT DROP PINS, DRY FIT DUTCHMAN FLUSH WITH ADJACENT (E) BROWNSTONE. MARK LOCATIONS ON SIDE FOR DRILLING DROP PIN HOLES PRIOR TO INSTALLATION

2B - DUTCHMAN INSTALLATION



3 TYPICAL FERROUS ANCHOR TREATMENT
3" = 1'-0"

SEAL:

PROJECT INFORMATION:

CAMBRIDGE - CITY HALL FACADE

PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MBB
SHEET NAME:

BROWNSTONE MASONRY REPAIR DETAILS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:

EN300

PROJECT TEAM:

OWNER:
City of Cambridge
705 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham, MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

PROJECT INFORMATION:
CAMBRIDGE - CITY HALL FACADE

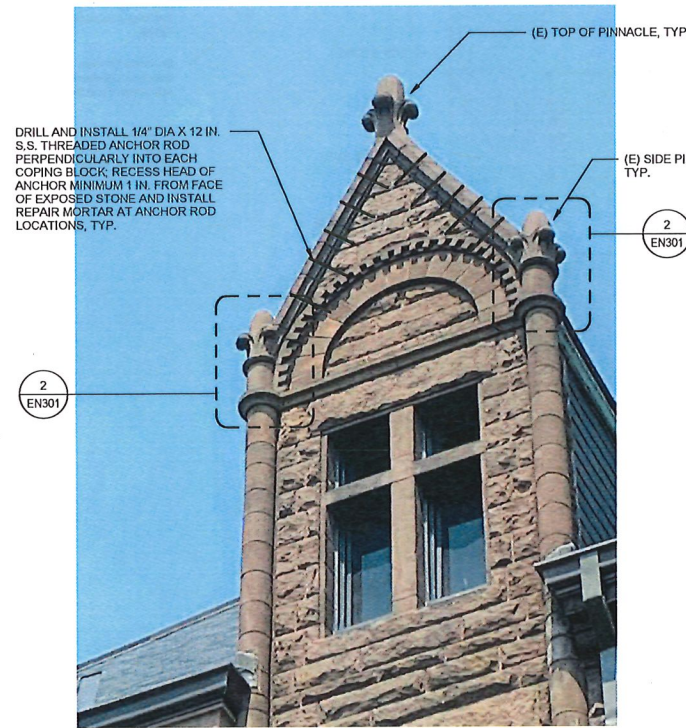
PROJECT #: 211204
ISSUE DATE: 11/17/2022
PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
DRAWN BY: SKW/ESV
CHECKED BY: EML/MBB
SHEET NAME:
MASONRY REPAIR DETAILS

DRAWING HISTORY:

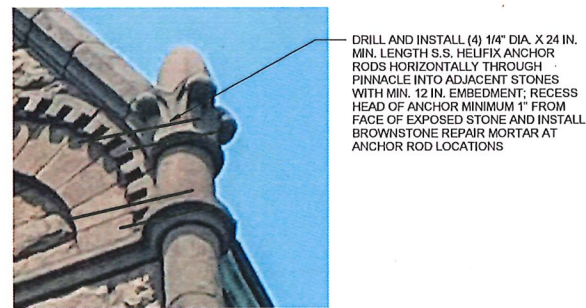
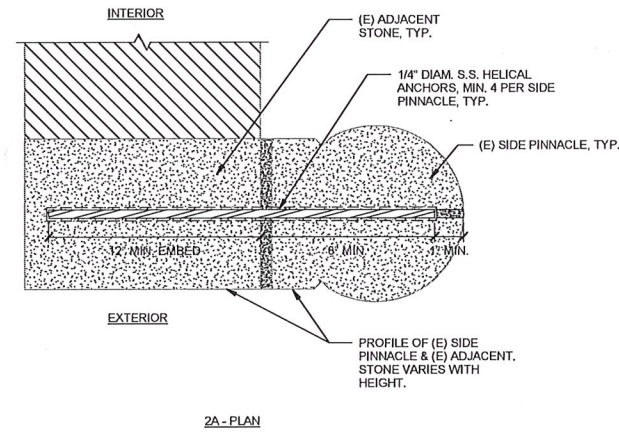
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
EN301

**PRELIMINARY
NOT FOR
CONSTRUCTION**

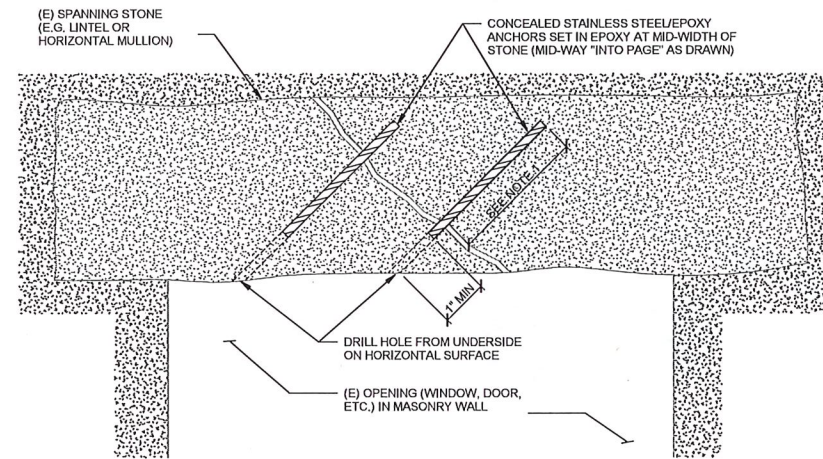


1 TYPICAL COPING AND PINNACLE REPAIR
3" = 1'-0"



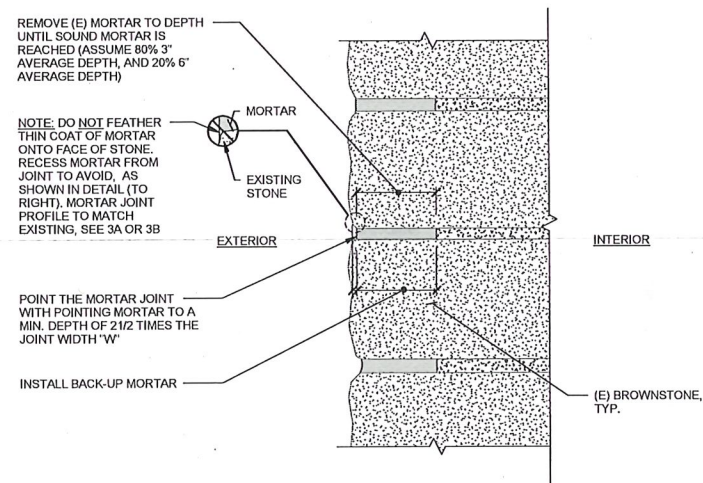
2B - PHOTO

2 SIDE PINNACLE REPAIR - PLAN AND PHOTO
3" = 1'-0"

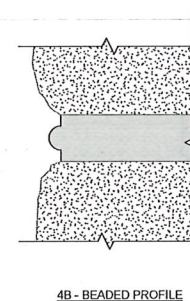
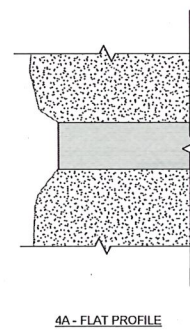


- NOTES:
1. PRIOR TO STARTING REPAIR, PROVIDE ENGINEER WITH ANNOTATED PHOTOS SHOWING DIMENSIONS OF STONE, SO ENGINEER CAN SPECIFY MINIMUM EMBEDMENT LENGTH, MINIMUM DOWEL DIAMETER, NUMBER OF RODS REQUIRED, AND ANGLE OF ROD.
 2. INSTALL STAINLESS STEEL ROD ANCHORS SET IN EPOXY, INSTALLED PERPENDICULAR TO CRACK AT MID-WIDTH OF STONE, TWO MINIMUM PER MEMBER. RECESS HEAD OF ANCHOR MIN 1" FROM EXPOSED STONE.
 3. CLEAN CRACK WITH COMPRESSED AIR. INJECT CRACK WITH NON-STAINING EPOXY TINTED TO MATCH COLOR OF STONE. APPLY STONE DUST FROM DRILL HOLE TO SURFACE OF EPOXY WHEN WET.
 4. PATCH EXPOSED HOLE AT DRILL POINT WITH REPAIR MORTAR.

3 CRACK REPAIR AT SPANNING STONE - ELEVATION
3" = 1'-0"



4 TYPICAL REPOINTING
3" = 1'-0"



AT DECORATIVE BROWNSTONE ARCHES AT MAIN ENTRANCE ON SOUTH ELEVATION

PROJECT TEAM:
 OWNER:
 City of Cambridge
 795 Massachusetts Ave, Cambridge, MA
 02139
 Structural & Envelope:
 Simpson Gumpertz & Heger
 480 Totten Pond Rd, Waltham, MA 02451
 Home Doctor:
 Arup
 60 State St, Boston, MA 02109

KEY PLAN:

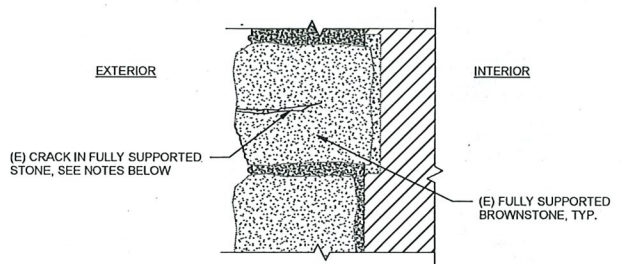
SEAL:

PROJECT INFORMATION:
 CAMBRIDGE - CITY HALL FACADE
 PROJECT #: 211204
 ISSUE DATE: 11/17/2022
 PROJECT STATUS: 100% CONSTRUCTION DRAWINGS
 DRAWN BY: SKW/ESV
 CHECKED BY: EML/MBB
 SHEET NAME:
 BROWNSTONE MASONRY REPAIR
 DETAILS

DRAWING HISTORY:

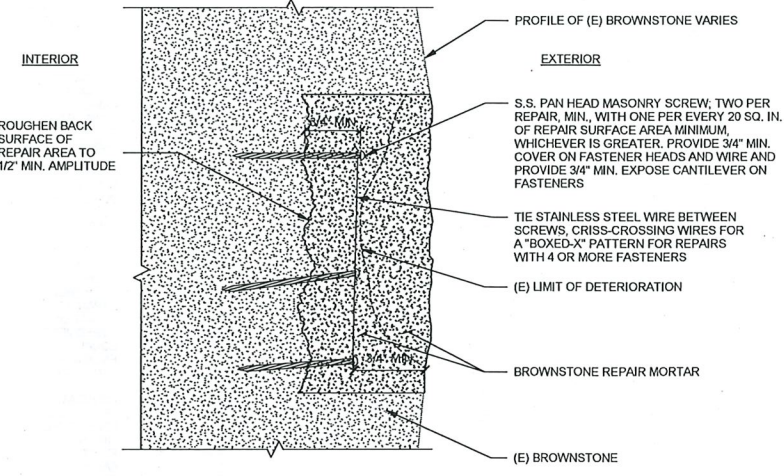
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
EN302

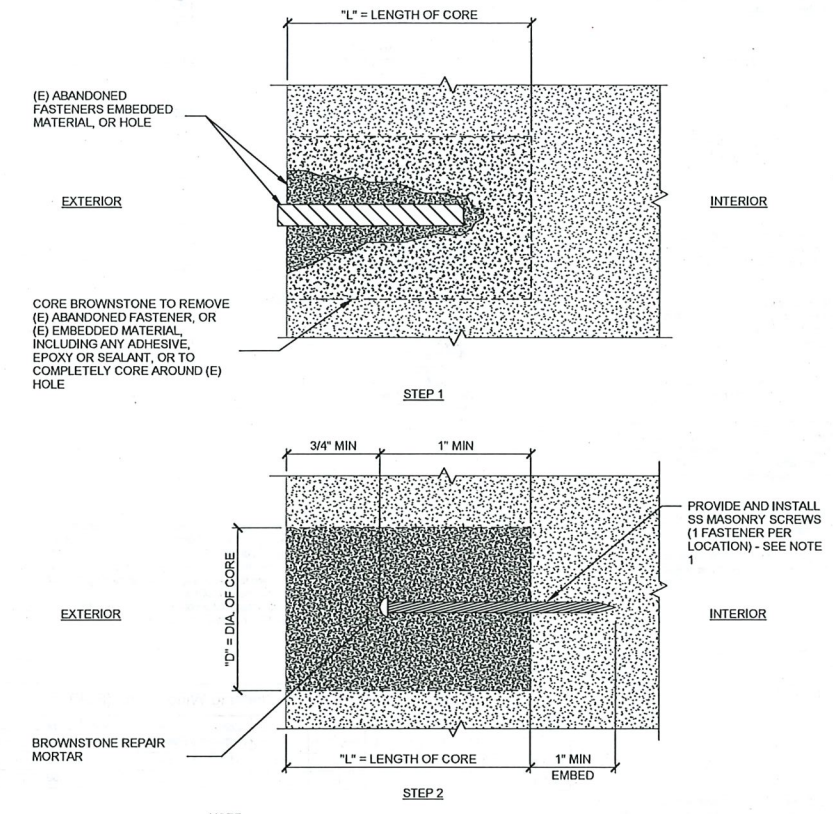


- NOTES:
- ONLY REPAIR CRACK IF > 1/16" WIDE.
 - CLEAN CRACK WITH COMPRESSED AIR AND TEST TUBE BRUSH.
 - POINT CRACK WITH BROWNSTONE REPAIR MORTAR TO MINIMUM DEPTH OF 2 1/2 x CRACK WIDTH.
 - TOOL TO MATCH PROFILE AND TEXTURE OF SURROUNDING BROWNSTONE.
 - TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE. SEE 2/EN301 FOR CRACKS IN SPANNING STONES, SUCH AS LINTELS, CORBELS, OR ARCH STONES.

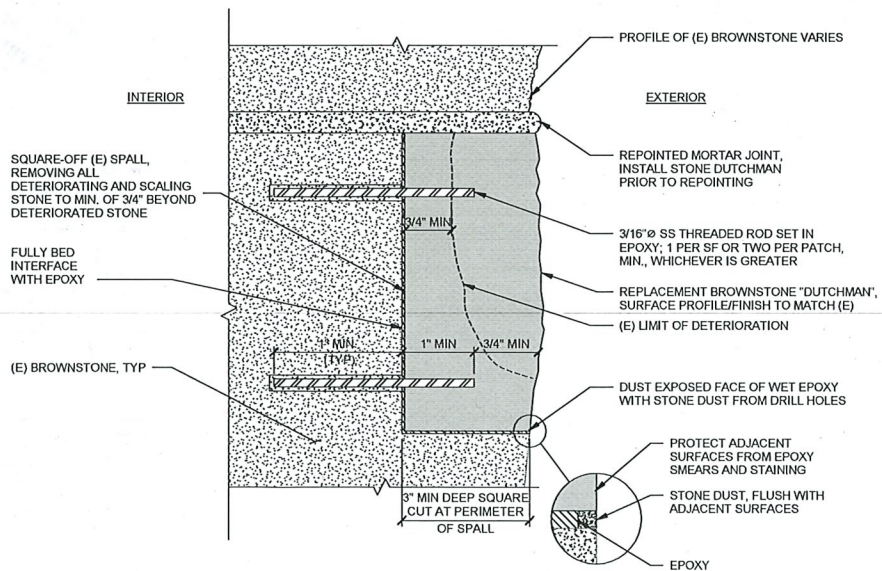
1 TYPICAL CRACK REPAIR AT FULLY SUPPORTED STONE - SECTION
 3" = 1'-0"



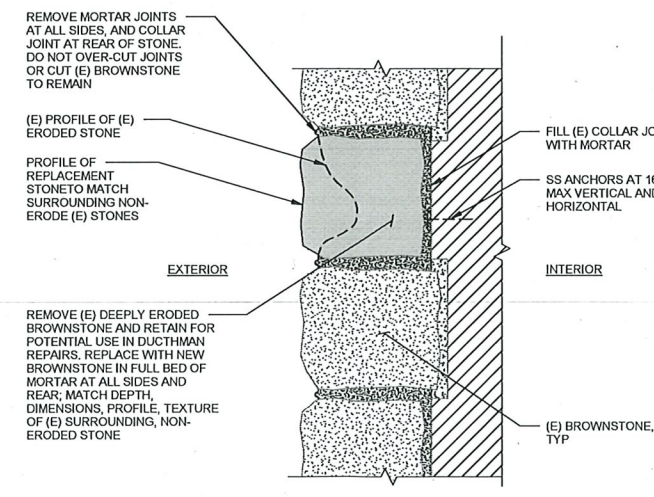
2 TYPICAL STONE REPAIR WITH REPAIR MORTAR - SECTION
 6" = 1'-0"



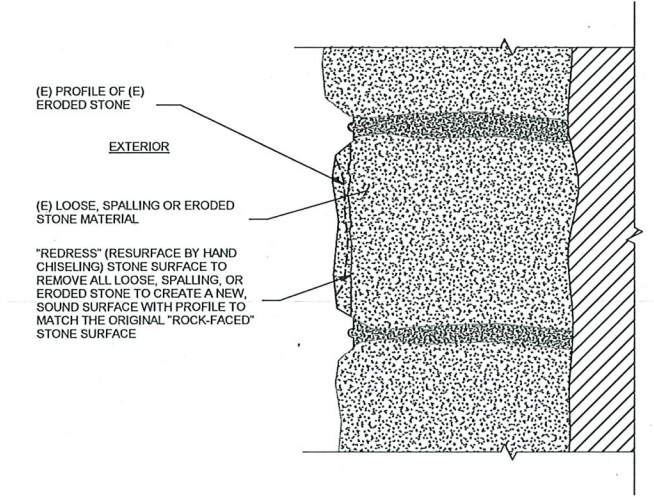
3 TYPICAL STONE REPAIR AT ABANDONED FASTENER OR HOLE
 12" = 1'-0"



4 TYPICAL STONE REPAIR WITH DUTCHMAN - SECTION
 6" = 1'-0"



5 TYPICAL WHOLE STONE REPLACEMENT - SECTION
 3" = 1'-0"



6 TYPICAL STONE SURFACE REDRESSING - SECTION
 3" = 1'-0"

C:\Users\awar\Documents\1204_Cambridge City Hall_R22_B7_Rev.mxd, v1
 10/21/2022 4:35:41 PM

GENERAL

- 1. The intent of the structural drawings is to show the main structural features and design for the completed project. Architectural details and other components that may be necessary to construct the project are shown incidentally only, and not completely, therefore the contractor must use all contract drawings and specifications in conjunction with the structural drawings during all phases of construction. Discrepancies between structural drawings and architectural drawings, if not clarified in the addenda at the request of the Contractor, shall be brought to the attention of the Architect/Engineer of Record (EOR) during construction for clarifications. The Contractor shall take this into consideration in their bid.
2. Unless otherwise noted, details, sections and notes contained in the structural contract documents are typical for all similar conditions even if not explicitly referenced.
3. Contractor shall not scale drawings to obtain any missing information or to interpret any information not specifically dimensioned for exact detailing or construction purposes.
4. Deficient work and/or work not in conformance with the contract documents shall be repaired at the contractor's expense. The contractor shall compensate the client for services arising from deficient work, review of modifications/contractor substitution, or expediting of submittals.
5. Cost of investigation and/or redesign incurred by the EOR due to contractor errors will be at the contractor's expense.
6. The contractor shall submit a single dimensioned and coordinated drawing for each area of work incorporating work of a multiple subcontractors as required for review by the EOR. If work is not coordinated on the shop drawings, this will be a reason for the EOR to reject the submittal.
7. Loads imposed on the base building structure and temporary conditions intended to accommodate construction means and methods are not explicitly considered in this design. The contractor shall advise the EOR regarding construction loads and temporary conditions imposed on the building structure and shall compensate the EOR for reviewing these conditions.
8. All work shall be continuously monitored and inspected by an independent testing agency, retained by the Owner. Submit all inspection reports to Architect/EOR for review.
9. Contractor shall carefully check stability of all elements of the building before doing any work on existing structures. Brace or strengthen all portions of structure which may be weakened by removal of existing construction until new construction is in place. Contractor shall be responsible for the design of temporary bracing, shoring, and strengthening. Submit design and supporting calculations sealed by a Massachusetts Professional Engineer for review.
10. Structural scope comprises the new structural components and details in the specific area of the existing building as designated in the structural drawings. The existing structure outside of the scope of work shown is not part of this project.
11. The contractor shall be completely responsible for the safety of adjacent structures, property, their workers, and the public, as affected by the construction of this project.

SPECIFICATIONS

- 1. The work of these drawings addresses structural information only. The structural documents include these S-series Drawings and General Notes.
2. Refer to project specifications for detailed requirements for material and workmanship.

ELEVATIONS AND DIMENSIONS

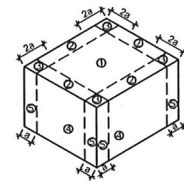
- 1. All elevations and dimensions shown for new construction are for information only. Dimensions for construction are to be taken from the Architectural Drawings. Field verify all elevations and dimensions before proceeding with construction.
2. Existing Dimensions: Existing dimensions are taken from the reference plans and are to be verified in the field by the contractor, as appropriate, prior to fabrication of members. The contractor shall report any discrepancies to the Architect/Engineer prior to proceeding with work.

BUILDING CODE

- 1. International Building Code 2015 with Massachusetts Amendments (9th Edition).
2. International Existing Building Code 2015 with Massachusetts Amendments (9th Edition).
3. ASCE/SEI 7-10, Minimum Design Loads for Buildings and Other Structures
4. Additional codes for materials are in the appropriate sections that follow. See those sections for the applicable codes.

DESIGN LOADS

- 1. Dead Loads
A. All permanent stationary construction
2. Ice Load Parameters
A. Design Ice Thickness, Li 2 inches
B. Nominal Ice Thickness, I 0.75 inches
C. Height Factor, Ie 1.03
D. Ice Load Importance Factor, Ii 1.25
E. Topographic Factor, Ks 1.00
3. Wind on Ice-Covered Structures
A. Basic Wind Speed (3 second gust), V 50 mph
B. Design Temperature 15°F
C. Wind Importance Factor, Iw 1.00
D. Design Wind Pressure (Flagpole) 3.87 psf
E. Design Wind Pressure (Flag) 9.96 psf
4. Seismic Load Parameters
A. Risk Category III
B. Seismic Importance Factor, Ie 1.25
C. Spectral Response Acceleration, Sa 0.216
D. Spectral Response Acceleration, S1 0.069
E. Site Class D (assumed)
F. Spectral Response Coefficient, Sps 0.230
G. Spectral Response Coefficient, Sps1 0.110
H. Seismic Design Category B
I. Seismic Response Coefficient, Cs 0.189
J. Response Modification Factor, R 1.50
K. Seismic Force Resisting System
a. Ordinary Plain Masonry Shear Walls
5. Wind Load Parameters
A. Basic Wind Speed (3 second gust), V 139 mph
B. Wind Importance Factor, Iw 1.00
C. Wind Exposure C
D. Design Wind Pressure (Flagpole) 56 psf
E. Design Wind Pressure (Flag) 33.2 *Area of Flag
F. Design Wind Pressure (Components & Cladding) See Table



- Notes:
1. The "a" distance is equal to the minimum of 10% of the least horizontal distance or 0.4'h, but not less than 3 ft or 4% of the least horizontal dimension.
2. Positive indicates pressure to the building surface, negative indicates suction to the building surface.
3. h is the mean roof height.
4. Linear interpolation of table is not permitted see ASCE 7 for more information.

Table with 11 columns: Area (SF), Zone 1 Positive, Zone 1 Negative, Zone 2 Positive, Zone 2 Negative, Zone 3 Positive, Zone 3 Negative, Zone 4 Positive, Zone 4 Negative, Zone 5 Positive, Zone 5 Negative. Values range from 33 to -96.

MASONRY

- 1. ADHESIVE ANCHORS
A. HiTi HIT HY-270. Install per HiTi installation recommendations. Unless otherwise noted embed dowels 10 bar diameters.
2. EXPANSION ANCHORS
A. HiTi HLC Sleeve Anchors. Install per HiTi installation recommendations. Unless otherwise noted embed bolts 10 bolt diameters.

ABBREVIATION WORD OR PHRASE

- & AND
@ AT
ACI AMERICAN CONCRETE INSTITUTE
ADDL ADDITIONAL
AESS ARCHITECTURAL EXPOSED
AISG STRUCTURAL STEEL
AISG AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT ALTERNATE
APPROX APPROXIMATE
ARCH ARCHITECT
ASD ALLOWABLE STRENGTH DESIGN
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS AMERICAN WELDING SOCIETY
BLK'G BLOCKING
BM BEAM
BOT BOTTOM
BRG BEARING
BTW BETWEEN
CC CENTER TO CENTER
CJ CONTROL JOINT
CIP CAST-IN-PLACE
CL CENTER LINE
CLR CLEAR
CMU CONCRETE MASONRY UNIT
COL COLUMN
CONC CONCRETE
CONN CONNECTION
CONT CONTINUOUS
CJP COMPLETE JOINT PENETRATION
DIA Ø DIAMETER
DIAG DIAGONAL
DL DEAD LOAD
DN DOWN
DO DITTO
DWG(S) DRAWING(S)
(E) EXISTING
EA EACH
EF EACH FACE
EJ EXPANSION JOINT
EL ELEVATION
EMBED EMBEDMENT
EQ EQUAL
ES EACH SIDE
EW EACH WAY
FDN FOUNDATION
FF FINISH FLOOR
FG FINISH GRADE
FIN FINISH
FLR FLOOR
FS FAR SIDE
FT OR ' FOOT, FEET
FTG FOOTING
GA GAUGE
GALV GALVANIZED
GL GRID LINE
GR GRADE
HDG HOT-DIP GALVANIZED
HGR HANGER
HORZ HORIZONTAL
HSB HIGH STRENGTH BOLT
HSS HOLLOW STRUCTURAL SECTION
IBC INTERNATIONAL BUILDING CODE
ICC INTERNATIONAL CODE COUNCIL
IN OR " INCH, INCHES

ABBREVIATION WORD OR PHRASE

- K KIPS
KSI KIPS PER SQUARE INCH
LBS POUNDS
LL LIVE LOAD
LLH LONG LEG HORIZONTAL
LLV LONG LEG VERTICAL
LLV LONGITUDINAL
MAX MAXIMUM
MECH MECHANICAL
MIN MINIMUM
MISC MISCELLANEOUS
MBC MASSACHUSETTS BUILDING CODE
MCR MASSACHUSETTS CODE OF REGULATIONS
(N) NEW
NO # NUMBER
NS NEAR SIDE
NTS NOT TO SCALE
NW NORMAL WEIGHT
OC ON CENTER
OD OUTSIDE DIAMETER
OH OPPOSITE HAND
OPNG OPENING
PART PARTIAL
PCF POUNDS PER CUBIC FOOT
PL PLATE
PLY PLYWOOD
PJP PARTIAL JOINT PENETRATION
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
RAD RADIUS
RD ROOF DRAIN
REINF REINFORCING
REQ'D REQUIRED
SCHED SCHEDULE
SIM SIMILAR
SOG SLAB ON GRADE
SS STAINLESS STEEL
STD STANDARD
STIFF STIFFENER
STL STEEL
STRUCT STRUCTURAL
T&B TOP AND BOTTOM
TOC TOP OF CONCRETE
TOS TOP OF STEEL
TOW TOP OF WALL
TYP TYPICAL
UON UNLESS OTHERWISE NOTED
VERT VERTICAL
VIF VERIFY IN FIELD
W WITH
W/O WITHOUT
WP WORK POINT
WWR WELDED WIRE REINFORCING

Finegold Alexander Architects

PROJECT TEAM:

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA 02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:



PROJECT INFORMATION:
Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: 211204
ISSUE DATE: 10/20/2022
PROJECT STATUS: Coordination Set
DRAWN BY: EJC
CHECKED BY: RES

SHEET NAME:

GENERAL NOTES

DRAWING HISTORY:

Table with 3 columns: NO., DATE, DESCRIPTION

SHEET #:

S001

STATEMENT OF SPECIAL INSPECTIONS

| | |
|-------------------------------|--|
| LOCATION | 795 Massachusetts Avenue, Cambridge MA |
| OWNER | City of Cambridge |
| DESIGN PROFESSIONAL IN CHARGE | Erik W. Farrington |

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Massachusetts State Building Code, 9th Edition (MSBC). It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This Statement of Special Inspections encompasses the following disciplines: STRUCTURAL. The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge (RDP). The Special Inspection Coordinator will compile and distribute all inspection reports directly to the RDP, the contractor, the owner, the building official, and any other parties designated by the owner. Discovered discrepancies shall be brought to the immediate attention of the contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the RDP. The Special Inspection program does not relieve the contractor of his or her responsibilities for quality control (QC).

Interim reports shall be submitted to the Building Official and the RDP. Interim reports shall be submitted monthly.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing, and correction of any discrepancies noted in the inspections shall be submitted by the Special Inspection Coordinator prior to issuance of a Certificate of Use and Occupancy. The intention of the following tables is to identify the quality assurance (QA) inspection tasks as required by the 2015 International Building Code (IBC). In accordance with IBC Section 1704.2, the owner or the owner's authorized agent shall employ one or more approved testing agencies to provide special inspections. The Special Inspection Coordinator and approved agencies shall not be retained by the contractor or subcontractor whose work is to be inspected or tested. Any conflicts of interest shall be disclosed to the Authority Having Jurisdiction (AHJ) prior to commencing the work.

Job site safety and means and methods of construction are solely the responsibility of the contractor.

SCHEDULE OF INSPECTION AND TESTING AGENCIES

| SPECIAL INSPECTION AGENCIES | FIRM | ADDRESS | TELEPHONE # |
|--------------------------------|------|---------|-------------|
| Special Inspection Coordinator | TBD | TBD | TBD |
| Inspector | TBD | TBD | TBD |

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent in accordance with Section 1704.1 the 2015 International Building Code (IBC 2015), as referenced in MSBC and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work.

STATEMENT OF CONTRACTOR'S RESPONSIBILITY

In accordance with IBC 2015 Section 1704.4, as referenced in MSBC, each contractor responsible for the construction or fabrication of a main wind-force resisting system or a seismic-force-resisting system or a wind- or seismic-resisting component listed in the statement of special inspections above must submit a Statement of Responsibility to the Structural Engineer of Record, the building official and the owner prior to commencement of work on the system. The contractor's statement of responsibility shall contain acknowledgement of awareness of the special requirements contained in the statement of special inspections.

QUALIFICATIONS OF INSPECTORS AND TESTING TECHNICIANS

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided.

Key for Minimum Qualifications of Inspection Agents:
When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the Agency Number on the Schedule.

| | |
|--|---|
| PE/SE | Structural Engineer – a licensed PE specializing in the design of building structures |
| EIT | Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination |
| AMERICAN WELDING SOCIETY (AWS) CERTIFICATION | |
| AWS-CWI | Certified Welding Inspector |
| ICC-SMSI | Structural Masonry Special Inspector |
| ICC-SWSI | Structural Steel and Welding Special Inspector |

DEFINITIONS

| | |
|------------------------|--|
| AHJ | Authority Having Jurisdiction is the organization, political subdivision, office, or individual charged with the responsibility of administering and enforcing provisions of the applicable building code. Also referred to as the building official. |
| Continuous | Where "inspection frequency" is noted as continuous, the special inspector must be present when and where the work to be inspected is being performed. Work on the items to be inspected may not proceed unless the inspector is on the site. |
| Document | Document means that the QC or QA inspector shall prepare reports or other appropriate written documentation indicating that the work has or has not been performed in accordance with the construction documents. |
| Periodic | Where "inspection frequency" is noted as periodic, the special inspector may be intermittently present where the work to be inspected has been or is being performed. Work may proceed and need not be delayed while the inspector is not on the site. |
| Quality Assurance (QA) | Quality Assurance procedures and inspections are established by this Statement of Special Inspections and are implemented by the Special Inspection Coordinator and approved testing agencies to provide the owner, the registered design professional, and the Authority Having Jurisdiction with independent, objective confirmation that the work is performed in accordance with the construction documents. |
| Quality Control (QC) | Quality Control procedures and inspections are established by the contractor to ensure that their work is performed in accordance with the construction documents. |

REFERENCES

| CODE/STANDARD | TITLE |
|-----------------------------|---|
| ACI 530.1/ASCE 6/TMS 602-13 | Specifications for Masonry Structures |
| AISC 360-10 | Specification for Structural Steel Buildings |
| AISC 341-10 | Seismic Provisions for Structural Steel Buildings |
| ASTM A6-11 | Specification for General Requirements for Rolled Steel Plates, Shapes, Sheet Piling, and Bars for Structural Use |
| ASTM C1314-16 | Standard Test Method for Constructing and Testing Masonry Prisms |
| AWS D1.1-2015 | Structural Welding Code – Steel |
| APPLICABLE BUILDING CODE | International Building Code 2015 with Massachusetts Amendments, Ninth Edition |
| RCSC-2009 | Specification for Structural Joints Using High-Strength Bolts |

POST-INSTALLED ADHESIVE ANCHORS-ACI 318 CHAPTER 17

| ITEM | AGENCY | INSPECTION FREQUENCY | SCOPE |
|-------------------------------|-------------------|--|---|
| ANCHOR INSTALLATION | ACI/CRSI | PERIODIC | Review installers qualifications. Installation of adhesive anchors installed horizontally or upwardly inclined to support sustained tension loads shall be performed by personnel certified by an applicable certification program. Certification shall include written and performance test in accordance with ACI/CRSI Adhesive Anchor Installer Certification Program or equivalent. |
| | | CONTINUOUS | Verify that existing reinforcing steel is not cut when drilling holes for anchors. |
| | | PERIODIC | |
| | | CONTINUOUS FOR ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT (BY CERTIFIED INSPECTOR) | Verify drilled holes are the proper diameter and depth in accordance with manufacturer's printed installation instructions (MPII) |
| | | PERIODIC | |
| | | CONTINUOUS FOR ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT (BY CERTIFIED INSPECTOR) | Verify drilled holes are cleaned in accordance with MPII and that the holes are protected from contamination until adhesive is installed. A drilled anchor hole shall be re-cleaned assuming the hole was just drilled, if in the opinion of the RDP, Special Inspector, or Owner's Representative the hole has become contaminated after initial cleaning. |
| | | PERIODIC | |
| | | CONTINUOUS FOR ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT (BY CERTIFIED INSPECTOR) | Verify that adhesive material is in accordance with the Contract Documents. Verify that the material is stored, mixed, and injected in accordance with the manufacturer's instructions. |
| | | PERIODIC | |
| | | CONTINUOUS FOR ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT (BY CERTIFIED INSPECTOR) | Verify anchors to be installed are clean, oil-free, and free of loose rust, paint, or other coatings. |
| ADHESIVE ANCHOR PROOF TESTING | ACI-CCSI/ICC-RCSI | PERIODIC | Verify that installed adhesive anchors are securely fixed in place to prevent displacement while the adhesive cures. Unless otherwise shown on the contract drawings, anchors should be installed perpendicular to the concrete surface. Anchors displaced before full adhesive cure shall be considered damaged and replaced at the Contractor's expense. Installed reinforcing bars/threaded bars shall not be bent after being adhesively embedded in hardened, sound concrete, unless permitted by the RDP. |
| | | CONTINUOUS | Verify that the anchor materials, lengths, diameters, embedments, and finishes are in accordance with the Contract Documents. |
| | | CONTINUOUS FOR ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED TO SUPPORT (BY CERTIFIED INSPECTOR) | Verify that installed adhesive anchors are securely fixed in place to prevent displacement while the adhesive cures. Unless otherwise shown on the contract drawings, anchors should be installed perpendicular to the concrete surface. Anchors displaced before full adhesive cure shall be considered damaged and replaced at the Contractor's expense. Installed reinforcing bars/threaded bars shall not be bent after being adhesively embedded in hardened, sound concrete, unless permitted by the RDP. |
| | | CONTINUOUS | Adhesive anchors shall be proof-tested as required in the contract documents. A minimum of 5% of each type and size of an adhesive anchor assembly shall be proof tested in tension by an independent testing laboratory. Tension testing shall be performed in accordance with ASTM E488. The independent testing laboratory shall submit an anchorage testing plan to the RDP to ensure the testing requirements are fulfilled. |
| | | CONTINUOUS | The adhesive anchors shall be tension proof loaded to loads indicated in the contract documents for a specific anchor type. Proof loading shall be performed after a minimum curing period specified by the manufacturer. Anchors shall have no visible indications of displacement or damage during or after proof load application. Concrete cracking in the vicinity of the anchor after loading shall be considered a failure. |
| | | CONTINUOUS | If any of the tested adhesive anchors fail to achieve the specified proof load within the limits defined on the contract documents, 25% of the anchors of the same diameter and type as the failed anchor shall be proof tested, unless otherwise direct by the RDP. |
| | | CONTINUOUS | |
| | | CONTINUOUS | |
| | | CONTINUOUS | |
| | | CONTINUOUS | |

MASONRY-IBC 2015 SECTION 1705.4

| ITEM | AGENCY | INSPECTION FREQUENCY | SCOPE |
|--------------------------------|----------|----------------------|---|
| MATERIAL CERTIFICATION | ICC-SMSI | PERIODIC | Review certificates of all masonry material, reinforcement, and accessories for compliance with ACI-530.1 Sections 2.1, 2.2, 2.3, 2.4, and 2.5 and with the Contract Documents. |
| MIXING OF MORTAR AND GROUT | ICC-SMSI | PERIODIC | Inspect all mortar and grout mixes, mixing operations, and re-tempering for compliance with ACI 530.1 Section 2.6 and with the Contract Documents. |
| INSTALLATION OF MASONRY | ICC-SMSI | PERIODIC | Inspect size, layout, bonding, and placement of masonry units. Inspect installation of masonry units for compliance with ACI 530.1 Section 3.2 and 3.3, and with the Contract Documents. |
| MORTAR JOINTS | ICC-SMSI | PERIODIC | Inspect construction of mortar joints, including tooling and filling of head joints. |
| REINFORCEMENT INSTALLATION | ICC-SMSI | PERIODIC | Inspect installation of reinforcement prior to grout placement for compliance with ACI 530 Chapter 8, ACI 530.1 Section 3.4 and 3.6 and with the Contract Documents. Verify grade, size, type, and position of reinforcement. |
| GROUTING OPERATIONS | ICC-SMSI | CONTINUOUS | Verify that grout space is clean and cleanouts are provided (for high-lift grouting) prior to grouting. |
| | | CONTINUOUS | Inspect grout placement operations for compliance with ACI 530.1 Section 3.5 and with the Contract Documents. |
| WEATHER PROTECTION | ICC-SMSI | PERIODIC | Inspect that hot- and cold-weather-protection procedures comply with ACI 530.1 Section 1.8 and with the Contract Documents. Verify that wall cavities are protected against precipitation. |
| | | PERIODIC | Determine compressive strength of masonry per ACI 530.1 Section 1.4 and 1.6. |
| | | PERIODIC | Observe preparation of mortar and grout cubes. Observe preparation of masonry prisms. |
| EVALUATION OF MASONRY STRENGTH | ICC-SMSI | PERIODIC | Test compressive strength of mortar and grout cube samples (ASTM C780). |
| | | PERIODIC | Test compressive strength of masonry prisms (ASTM C1314). |
| | | PERIODIC | Test three prisms prior to the start of construction and one prism for every 5,000 sq ft thereafter for each type of unit used. |
| ANCHORS AND TIES | ICC-SMSI | CONTINUOUS | Inspect all anchorage to masonry (including masonry veneers) for compliance with ACI 530 Sections 4.2 and 5.14 and with Contract Documents. |
| EXPANSION ANCHORS | ICC-RCSI | CONTINUOUS | Verify that existing reinforcing steel is not cut when drilling holes for anchors. |
| | | CONTINUOUS | Inspect installation. Verify manufacturer, type, diameter, material, markings, sealing of washer, embedment and torque of anchors are in accordance with the Contract Documents. |

Finegold Alexander Architects

PROJECT TEAM
OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA 02139
Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham MA 02451
House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:



PROJECT INFORMATION:
Cambridge - City Hall Facade Restoration
795 Massachusetts Ave, Cambridge, MA 02139

PROJECT #: 211204
ISSUE DATE: 10/20/2022
PROJECT STATUS: Coordination Set
DRAWN BY: EJC
CHECKED BY: RES
SHEET NAME:

SPECIAL TESTING AND INSPECTION PROCEDURES

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
S002

I:\BCDP\Projects\2021\1104-05-SPALL DRAWING\Working_Series\Revit\LOCAL_USERS\Farrington\11204_Cambridge_City_Hall_R22_Spec_REV.rvt 10/20/2022 9:26:07 AM

PROJECT TEAM:

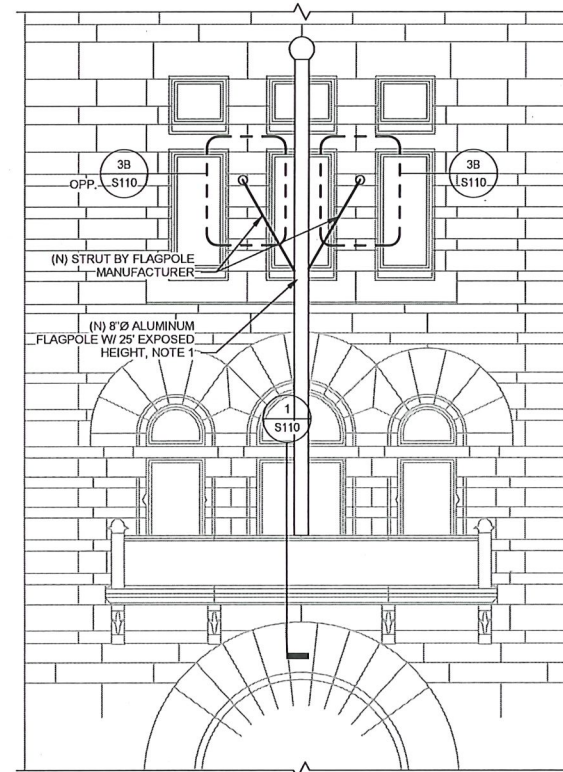
OWNER:
City of Cambridge
755 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham MA 02451

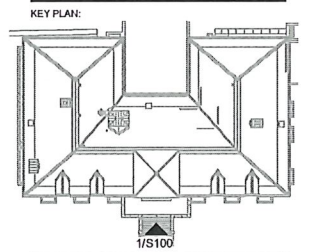
House Doctor
Arup
60 State St, Boston, MA 02109

NOTES:

- GC TO VIF (E) FLAGPOLE HEIGHT PRIOR TO FABRICATION.



2 ENLARGED SOUTH ELEVATION - BALCONY
1/4" = 1'-0"



SEAL:



PROJECT INFORMATION:
Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

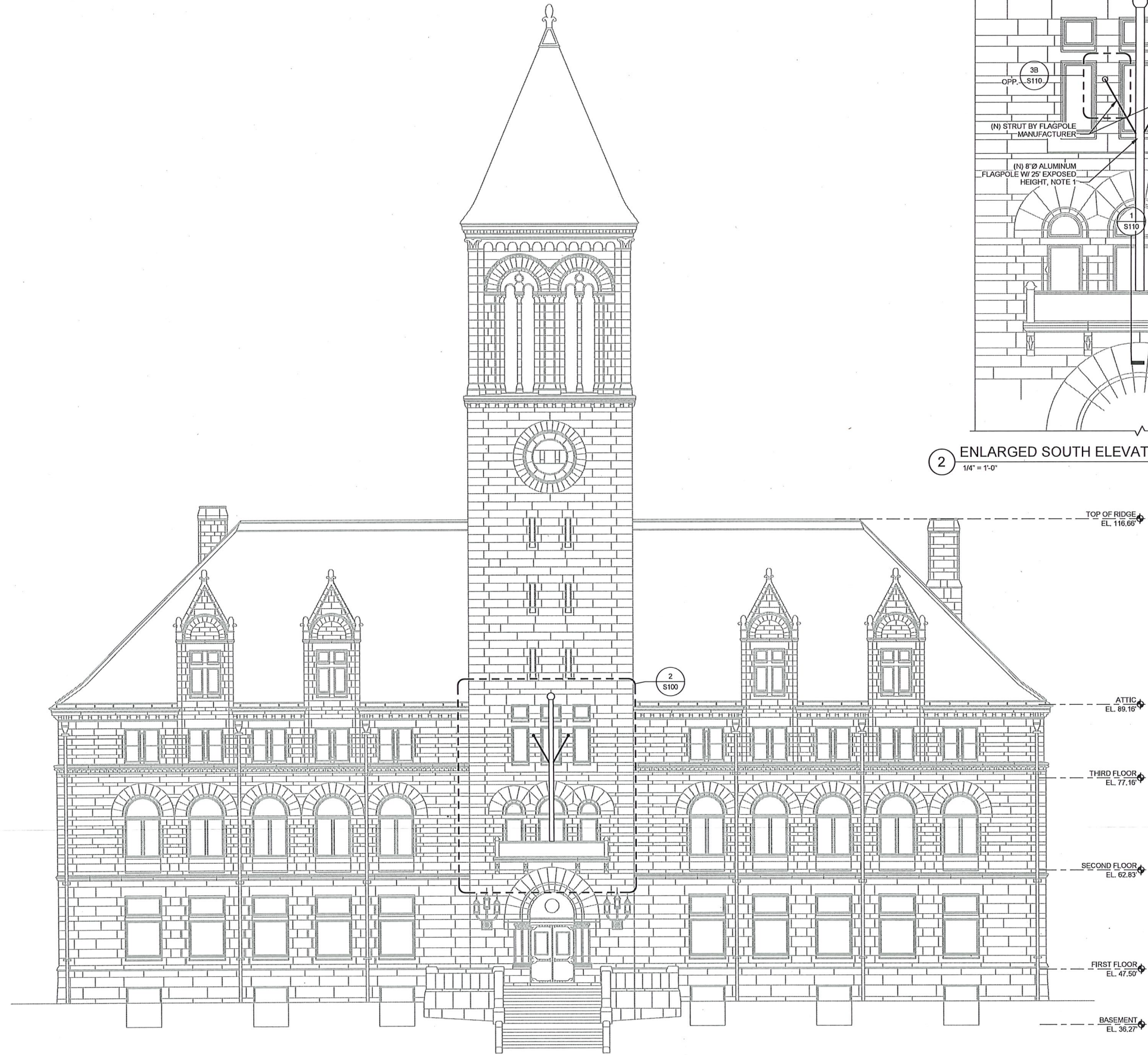
PROJECT #: 211204
ISSUE DATE: 10/20/2022
PROJECT STATUS: Coordination Set
DRAWN BY: EJC
CHECKED BY: RES

SHEET NAME:
SOUTH ELEVATION

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
S100



1 SOUTH ELEVATION
1/8" = 1'-0"

I:\0259\Projects\2022\1011204_Cambridge City Hall_R02_South_Res.rvt
 10/20/2022 2:28:58 AM

PROJECT TEAM

OWNER:
City of Cambridge
795 Massachusetts Ave, Cambridge, MA
02139

Structural & Envelope
Simpson Gumpertz & Heger
480 Totten Pond Rd, Waltham MA 02451

House Doctor
Arup
60 State St, Boston, MA 02109

KEY PLAN:

SEAL:

PROJECT INFORMATION:
Cambridge - City Hall Facade
Restoration
795 Massachusetts Ave, Cambridge, MA 02139

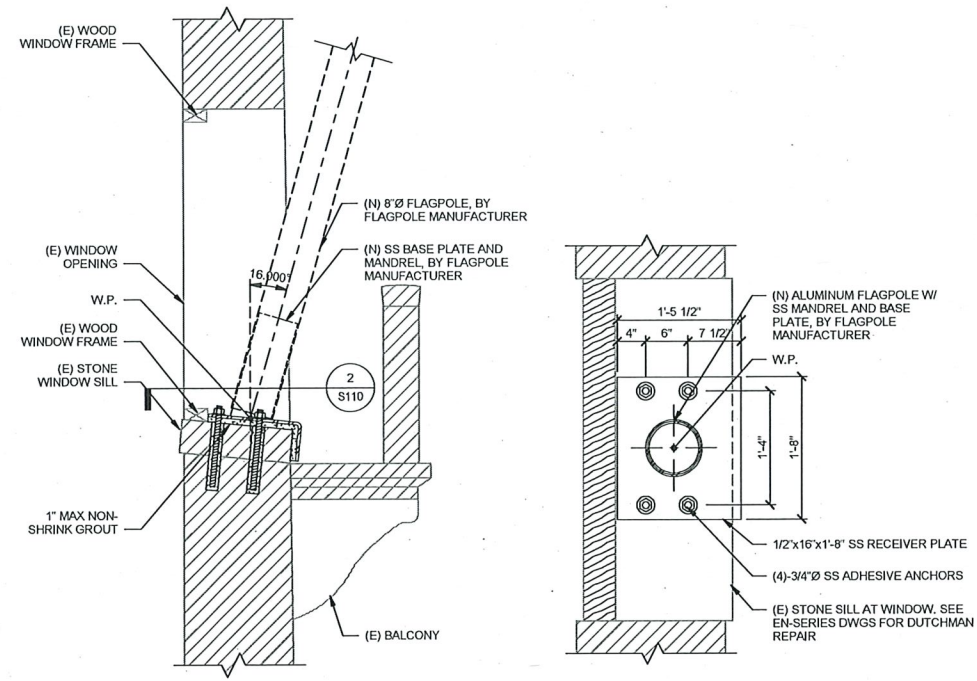
PROJECT #: 211204
ISSUE DATE: 10/20/2022
PROJECT STATUS: Coordination Set
DRAWN BY: EJC
CHECKED BY: RES

SHEET NAME:
SECTIONS AND DETAILS

DRAWING HISTORY:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET #:
S110

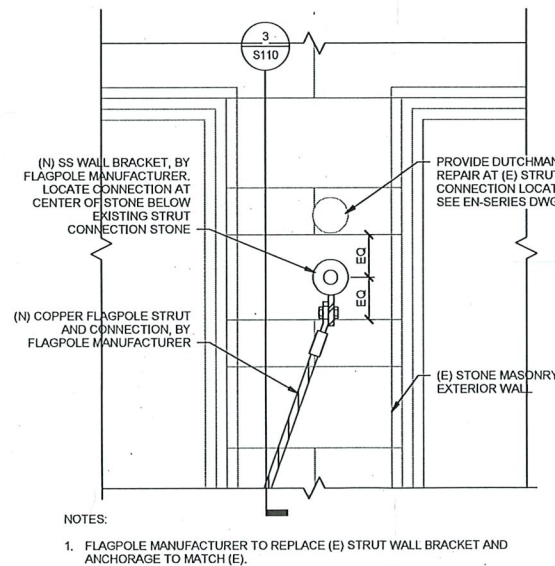


1 SECTION AT FLAGPOLE
3/4" = 1'-0"

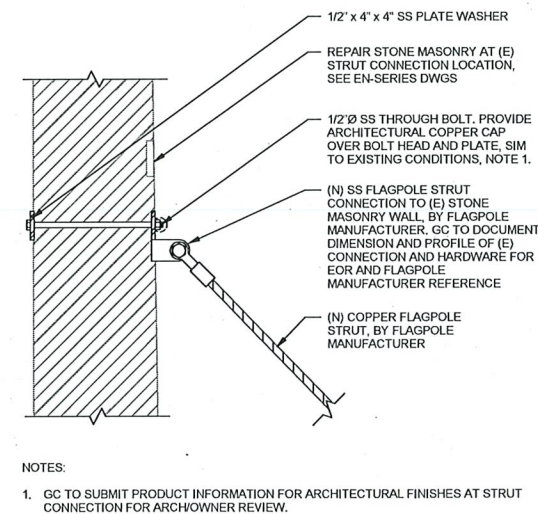
2 FLAGPOLE BASE PLATE DETAIL
1" = 1'-0"



3A (E) STRUT ATTACHMENT
1" = 1'-0"



3B (N) STRUT ATTACHMENT
1" = 1'-0"



3 SECTION AT STRUT ATTACHMENT
1" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

