



# TEN ESSEX STREET

Perkins Eastman

30 FRANKLIN ST SUITE 200 BOSTON, MA 02110  
 T: 617 465 4000 www.perkinseastman.com

**BOYES-WATSON**  
 ARCHITECTS  
 THIRTY BOW STREET COVINGTOWN, MA 01410  
 T: 617 426 8200

OWNER:  
 3MJ ASSOCIATES LLC  
 585 MASSACHUSETTS  
 AVE. SECOND FLOOR  
 CAMBRIDGE, MA 02139

COVER SHEET

TEN ESSEX STREET

PROJECT ADDRESS:  
 CAMBRIDGE,  
 MASSACHUSETTS

CITY FILE #  
 PROJECT #:  
 53731.00

PROJECT ISSUE DATE:  
 09.04.2013

DRAWING HISTORY:

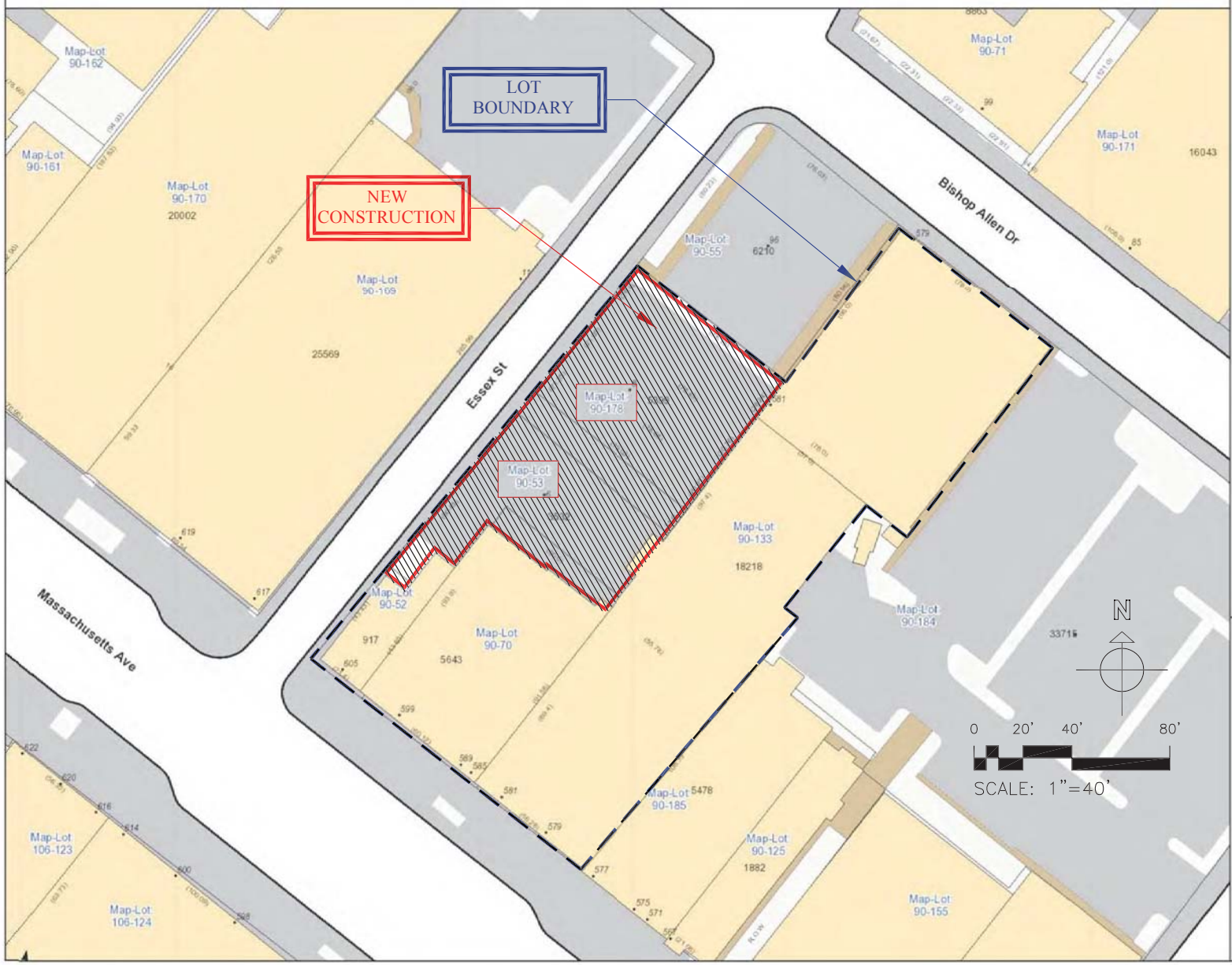
NO.	

SCALE:

SHEET #:  
**A000.**

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**Perkins Eastman**

**BOYES-WATSON**  
ARCHITECTS  
THIRTY BOW STREET BOSTONVILLE, MA 02459  
T 617 449 8200 FAX 617 449 8201 WWW.BWARCHITECTS.COM

OWNER:  
3MJ ASSOCIATES LLC  
585 MASS AVE. =  
SECOND FLOOR  
CAMBRIDGE, MA 02139

ASSESSORS MAP =  
TEN ESSEX STREET

PROJECT ADDRESS:  
CAMBRIDGE, MA =

CITY FILE #:  
PROJECT #:  
53731.00

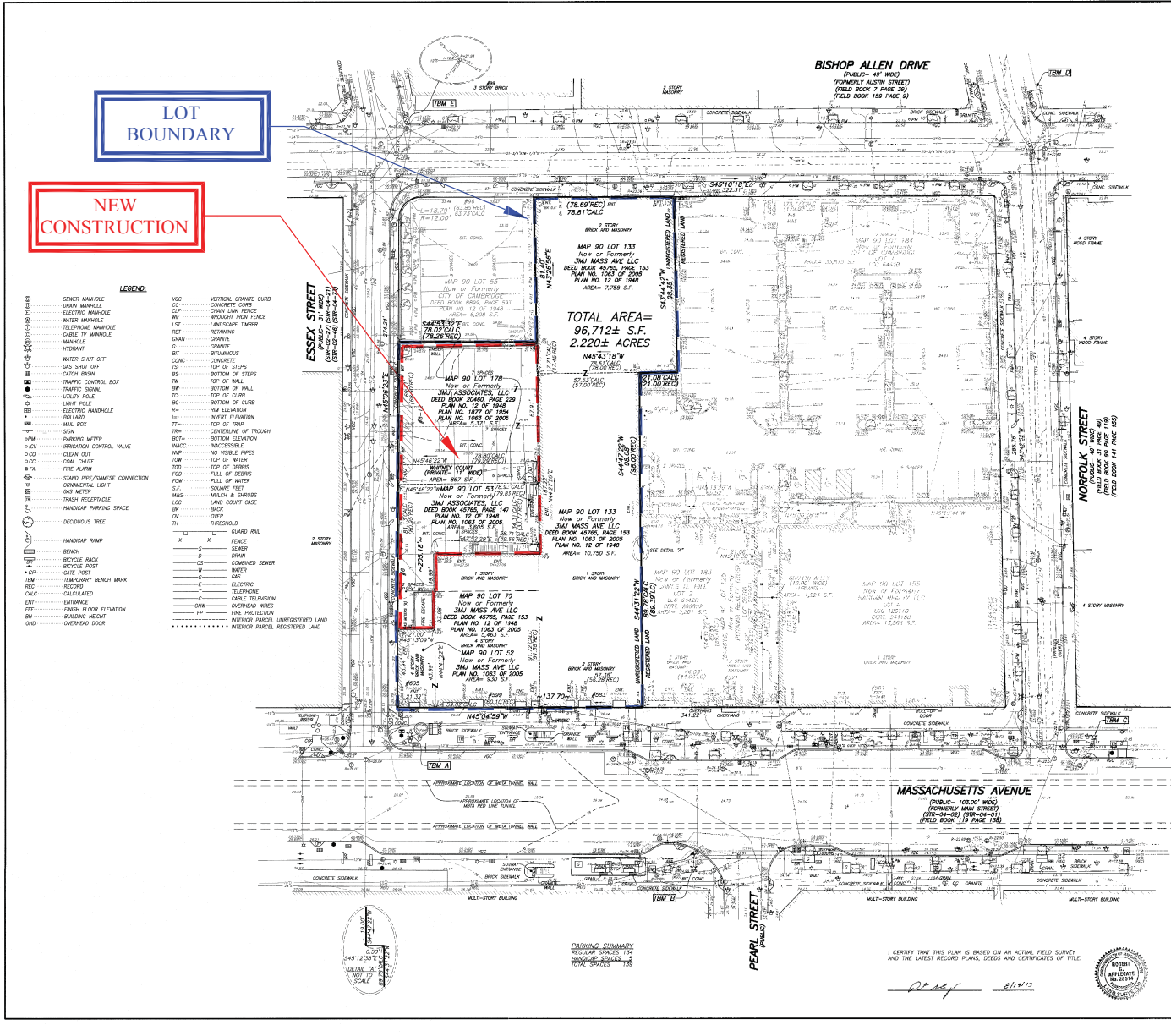
PROJECT ISSUE DATE:  
09.04.2013

DRAWING HISTORY:

NO.	DATE	DESCRIPTION

SCALE:  
1"=40'

SHEET #:  
**A002**



**LOT BOUNDARY**

**NEW CONSTRUCTION**

**LEGEND:**

○	SEWER MANHOLE	○	VERTICAL CURVE CURB
○	SEWER MANHOLE	○	CONCRETE CURB
○	ELECTRIC MANHOLE	○	CHAIN LINK FENCE
○	WATER MANHOLE	○	WINDSHIELD BUSH FENCE
○	WATER MANHOLE	○	LIST
○	TELEPHONE MANHOLE	○	LANDSCAPE TREES
○	CAST IRON MANHOLE	○	RE-PAVING
○	MANHOLE	○	GRANITE
○	HYDRANT	○	CRAN
○	WATER SHUT OFF	○	BT/STAIRWELL
○	GAS SHUT OFF	○	CONCRETE
○	CATCH BASIN	○	TOP OF STEPS
○	TRAFFIC CONTROL BOX	○	SYSTEM OF STEPS
○	TRAFFIC SIGNAL	○	TOP OF WALL
○	UTILITY POLE	○	BOTTOM OF WALL
○	LIGHT POLE	○	TOP OF CURB
○	ELECTRIC HANDHOLE	○	BOTTOM OF CURB
○	DELLANEY	○	INVERT ELEVATION
○	MAIL BOX	○	RM ELEVATION
○	SKIN	○	INVERT ELEVATION
○	PARKING METER	○	TOP OF TRAMP
○	IRRIGATION CONTROL VALVE	○	CONTINUED UP THROUGH
○	CLEAN OUT	○	BOTTOM ELEVATION
○	GREASE TRAP	○	INACCESSIBLE
○	TOP OF WATER	○	NO VISIBLE PIPES
○	TOP OF SEWER	○	TOP OF WATER
○	FOOT	○	TOP OF SEWER
○	STAMP PUMP/JAMMED CONNECTION	○	FULL OF SEWERS
○	UNDERGROUND LIGHT	○	WATER
○	GAS METER	○	SQUARE FEET
○	TRUCK RECEPTION	○	MATCH & SHOWS
○	HANDICAP PARKING SPACE	○	LAND COURT CASE
○	DEBRIS/US TREE	○	SMOKE
○	HANDICAP RAMP	○	OVER
○	SEWER	○	THRESHOLD
○	BICYCLE RACK	○	GUARD RAIL
○	BICYCLE POST	○	FENCE
○	TRANSITORY BENCH MARK	○	BRICK
○	RECORD	○	COMBINED SEWER
○	DAUGHTER	○	WATER
○	ENTRANCE	○	GAS
○	BUILDING HEIGHT	○	ELECTRIC
○	OVERHEAD DOOR	○	TELEPHONE
○		○	CABLE TELEVISION
○		○	UNDERGROUND WIRE
○		○	FIRE PROTECTION
○		○	INTERIOR PANEL UNREGISTERED LAND
○		○	INTERIOR PANEL REGISTERED LAND

- NOTES:**
- BENCHMARK INFORMATION:**  
 BENCHMARK USED:  
 CONCEALED SQUARE ON STONE BOUND WITH DRILL HOLE LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF GREEN STREET AND WESTERN AVENUE. ELEVATION: 27.59'  
 TAKEN FROM A PLAN ENTITLED "SITE PLAN 348-357 GREEN STREET CORRIDOR, MAP DATED WINTER 1, 2001 PREPARED BY MORSE-EAST SURVEY. PLAN IS ON FILE WITH CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS.  
 TEMPORARY BENCHMARKS SET:  
 TM 8-4 - 2" CUT ON RIGHT FROM 80% OF HYDRANT LOCATED AT THE CORNER OF PEARL STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION: 27.27'  
 TM 8-4 - 2" CUT ON RIGHT FROM 80% OF HYDRANT LOCATED AT THE CORNER OF PEARL STREET AND MASSACHUSETTS AVENUE, AS SHOWN ON PLAN. ELEVATION: 27.27'  
 TM 8-4 - 2" CUT ON RIGHT FROM 80% OF HYDRANT LOCATED AT NO. 48 NORFOLK STREET, AS SHOWN ON PLAN. ELEVATION: 25.11'  
 TM 8-4 - 2" CUT ON CORNER OF LOWEST STONE STEP LOCATED AT NO. 99 BISHOP ALLEN DRIVE, AS SHOWN ON PLAN. ELEVATION: 23.48'
  - ELEVATIONS REFER TO CITY OF CAMBRIDGE DATUM.
  - CONTOUR INTERVAL, EQUALS ONE (1) FOOT.
  - UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND UTILITY AND CONCRETE HAVE BEEN DETERMINED FROM THE APPROPRIATELY RECORDED PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR CHANGES RESULTING AS A RESULT OF UTILITIES THAT ARE OMITTED OR INCORRECTLY SHOWN ON SAID RECORD PLANS. SINCE OUR SURVEY UTILITIES CANNOT BE VISIBLY KNOWN, BEFORE PLANNING FUTURE CONSTRUCTION, THE PROPERTY SURVEY ENGINEER/SEMPERMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUCH UTILITIES SHOULD BE DETERMINED FROM THE FIELD. CALL, TOLL FREE, THE ONE SAFE CALL CENTER AT 1-800-344-2233 SEVEN DAYS A WEEK PRIOR TO EXCAVATION. THE GABLE TELEPHONE PLANS PROVIDED ARE SCHEMATIC AND MAY NOT BE COMPLETE OR ACCURATE.
  - THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF HARRY R. FELDMAN, INC. SOLE TO OUR CLIENT FOR PURPOSES RELIED UPON. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND EXCLUSIVELY TO THE CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY. INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY HARRY R. FELDMAN, INC.
  - LOCATION OF UNDERGROUND METAL TUNNEL WELLS ARE SHOWN FROM HANCOCK SURVEY PLANS. THERE ARE ALSO ADDITIONAL WELLS AND HOLE PITS MADE BY THE BIA WITHIN MASSACHUSETTS AVENUE. THE SURVEY AND SURVEY INFRASTRUCTURE TO THE RD LINK. LOCATIONS SHOWN SHOULD BE CONFIRMED APPROPRIATE AND FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - WATERS OF SEWER AND DRAIN NOT OBTAINED ON THE PAV SIDE OF MASSACHUSETTS AVENUE FROM 12:00-00.
  - TO DATE HARRY R. FELDMAN, INC. HAS NOT RECEIVED PLANS SHOWING UNDERGROUND TELEPHONE LINES FROM WYOMING.
  - REMARKS INDICATE SHOWN ARE FROM THE BOOK OF RECORD TO THE TOP OF PARAPET OR ROOF, WHICHEVER CAN BE SEEN FROM THE STAKE.

8/16/2013 REVISION  
**EXISTING CONDITIONS PLAN OF LAND**  
 NO. 541-605 MASSACHUSETTS AVENUE  
 NO. 84 NORFOLK STREET  
 NO. 99 BISHOP ALLEN DRIVE  
**CAMBRIDGE, MASS.**  
 SCALE: 1"=20' APRIL 9, 2012  
 HARRY R. FELDMAN, INC. LAND SURVEYORS  
 112 SHAWMUT AVENUE PHONE: (617) 357-9740  
 BOSTON, MASS. 02118 www.harryfeldman.com

**FELDMAN**  
 REGISTERED PROFESSIONAL SURVEYOR  
 NO. 11411

REVISION: FIELD CHECK BY: PROJ. WORK DONE: APPROVED: FIELD SHEET NO. 1 OF 1  
 CALC. BY: DDD BJA PLSJ CHECKER: CHD FILE 13411 JOB NO. 13411  
 FILENAME: S:\PROJECTS\13411\13411-003-11.dwg

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORDED PLANS, DEEDS AND CERTIFICATES OF TITLE.

*H. Feldman* 8/16/13



OWNER:  
**3MJ ASSOCIATES LLC**  
 585 MASSACHUSETTS  
 AVE. SECOND FLOOR  
 CAMBRIDGE, MA 02139

EXISTING SITE PHOTOS

TEN ESSEX STREET

DRAWING INFORMATION

PROJECT INFORMATION

PROJECT ADDRESS  
**CAMBRIDGE  
 MASSACHUSETTS**

CITY FILE #  
**53731.00**

PROJECT #  
**53731.00**

PROJECT ISSUE DATE  
**09.04.2013**

DRAWING HISTORY:

NO.	

SCALE  
**12" = 1'-0"**

SHEET #

**A004.**



PHOTO 1: VIEW FROM MASSACHUSETTS AVENUE



PHOTO 2: VIEW FROM CORNER OR  
 ESSEX STREET AND MASSACHUSETTS AVENUE



SITE PHOTO KEY PLAN



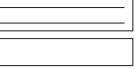
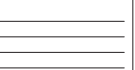
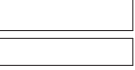
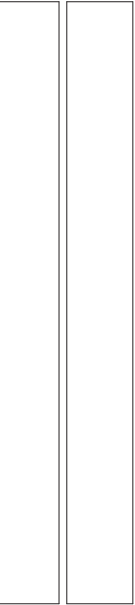
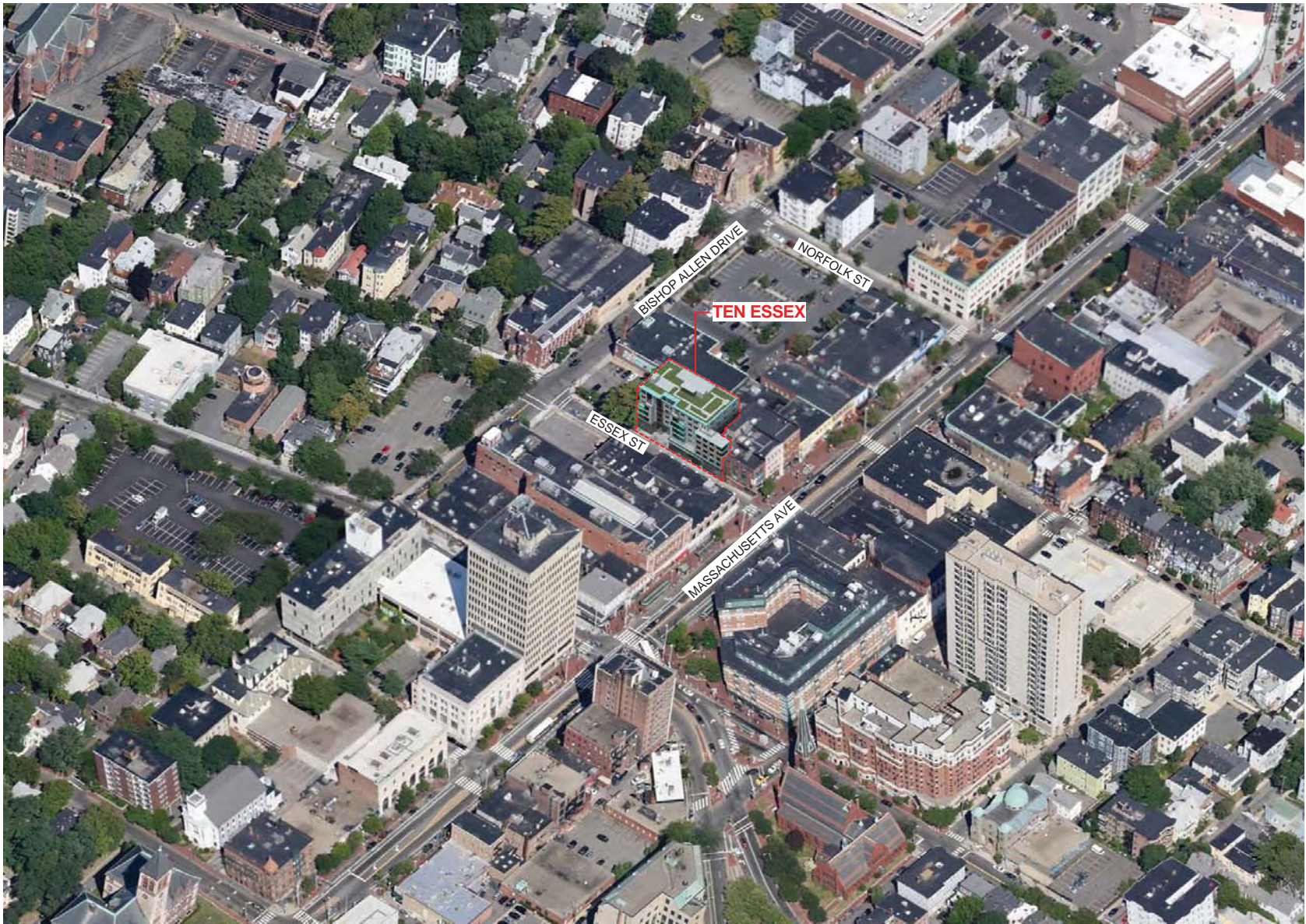
PHOTO 3: VIEW FROM ESSEX STREET



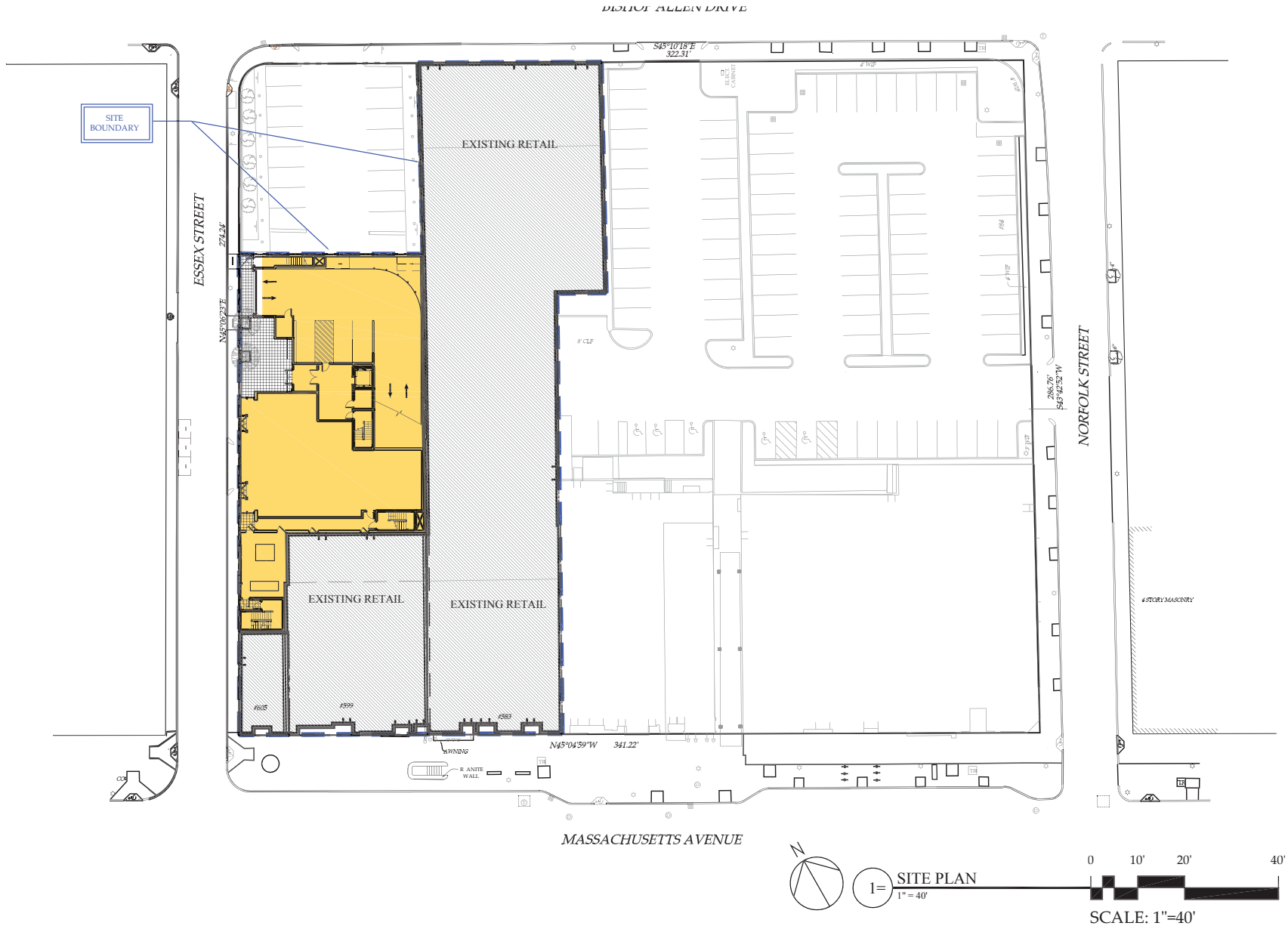
PHOTO 4: VIEW FROM BISHOP ALLEN DRIVE



SITE PHOTO KEY PLAN



SITE AXONOMETRIC



SITE BOUNDARY

ESSEX STREET

ALLEN DRIVE

EXISTING RETAIL

EXISTING RETAIL

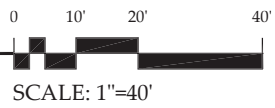
EXISTING RETAIL

MASSACHUSETTS AVENUE

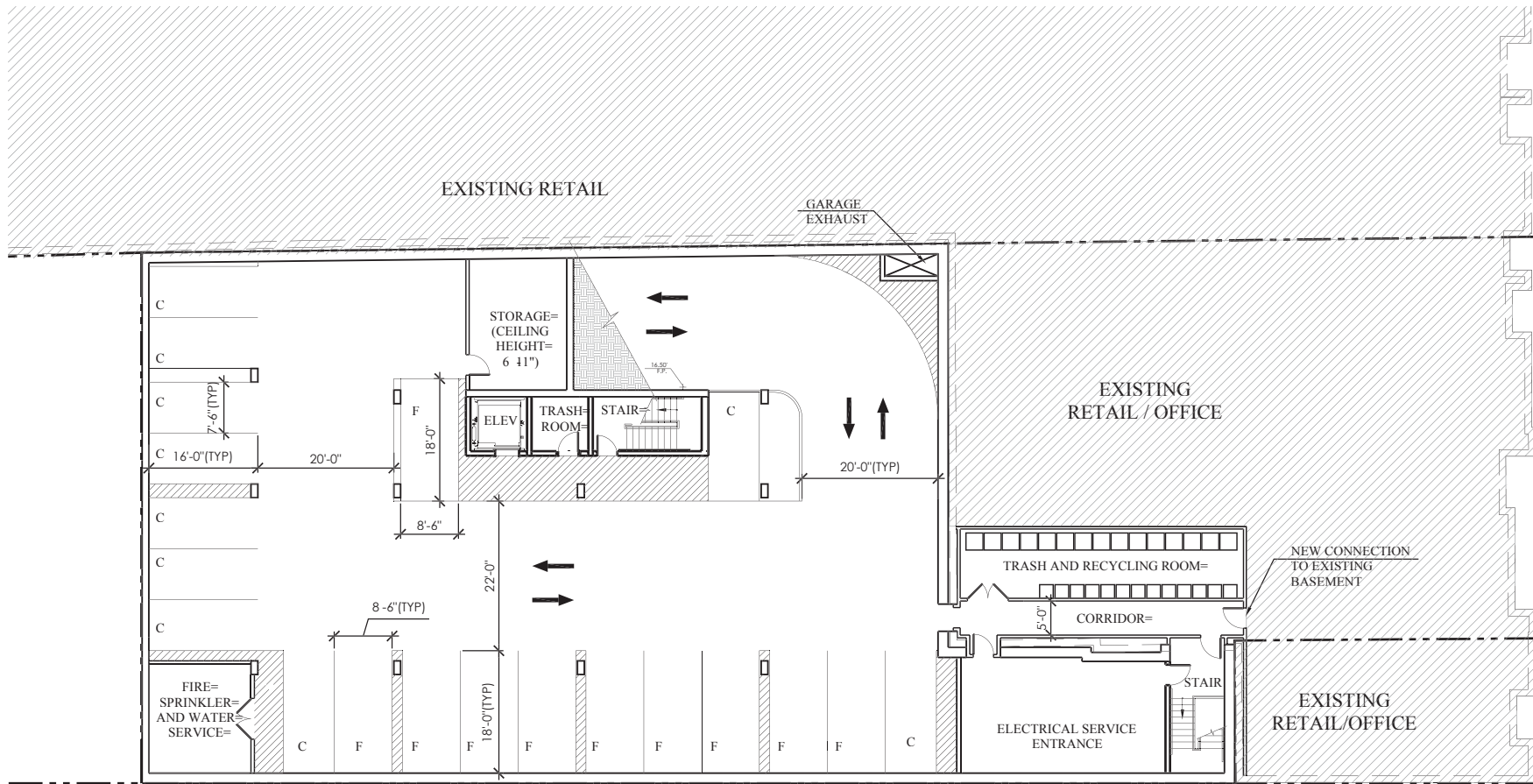
NORFOLK STREET



1" = 40' SITE PLAN







ESSEX STREET=

Parking Data=	Total 'm Parking Spaces=			
	Garage Level=	Full Size=	Compact=	Handicap=
Garage Level=	20=	10=	10	
First Floor=	3=	1=		2
Total=	23=	11=	10=	2



1

PROPOSED FLOOR PLAN - LEVEL PG

1/16"=1'-0"=

0 8= 6' 32'

SCALE: 1/16" = 1'-0"=

Perkins Eastman

BOYES-WATSON ARCHITECTS  
THIRTY BOW STREET SOMERVILLE, MA 01906  
T 978 449 8202 FAX 978 449 8200 WWW.BWARCHITECTS.COM

CLIENT:  
3MJ ASSOCIATES LLC  
585 MASS AVE =  
SECOND FLOOR  
CAMBRIDGE, MA 02139

PROPOSED FLOOR PLAN - LEVEL PG

TEN ESSEX STREET

PROJECT ADDRESS:  
CAMBRIDGE, MA=

CITY FILE #  
53731.00

PROJECT ISSUE DATE:  
09.04.2013

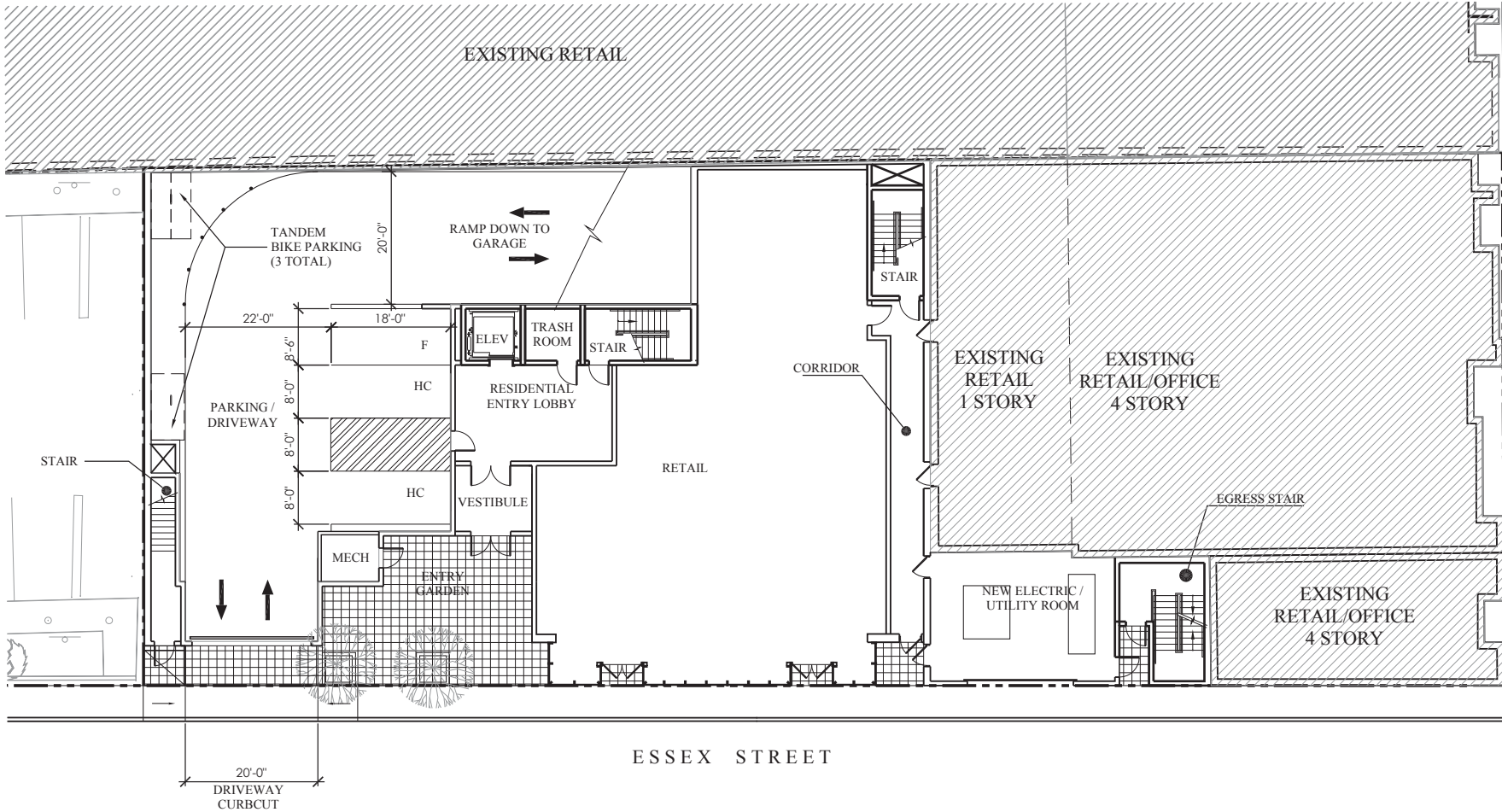
DRAWING HISTORY:

NO.

SCALE:  
1/16"=1'-0"

SHEET #

A100

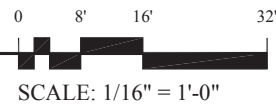


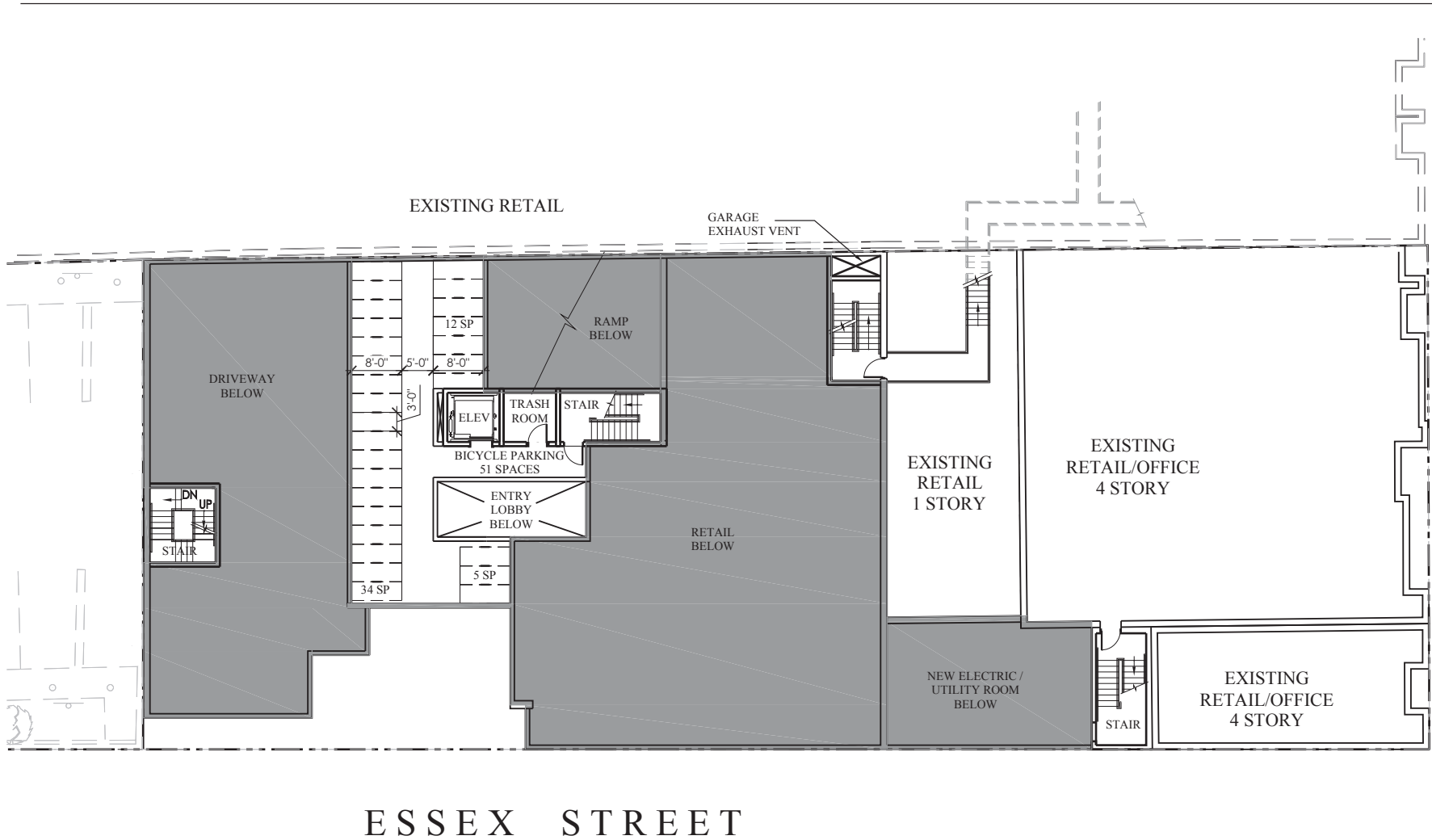
Parking Data	Total Parking Spaces			
	Full Size	Compact	Handicap	
Garage Level	20	10	10	
First Floor	3	1	2	
<b>Total</b>	<b>23</b>	<b>11</b>	<b>10</b>	<b>2</b>



1

**PROPOSED FLOOR PLANS - LEVEL 1**  
 1/16"=1'-0"



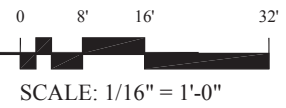


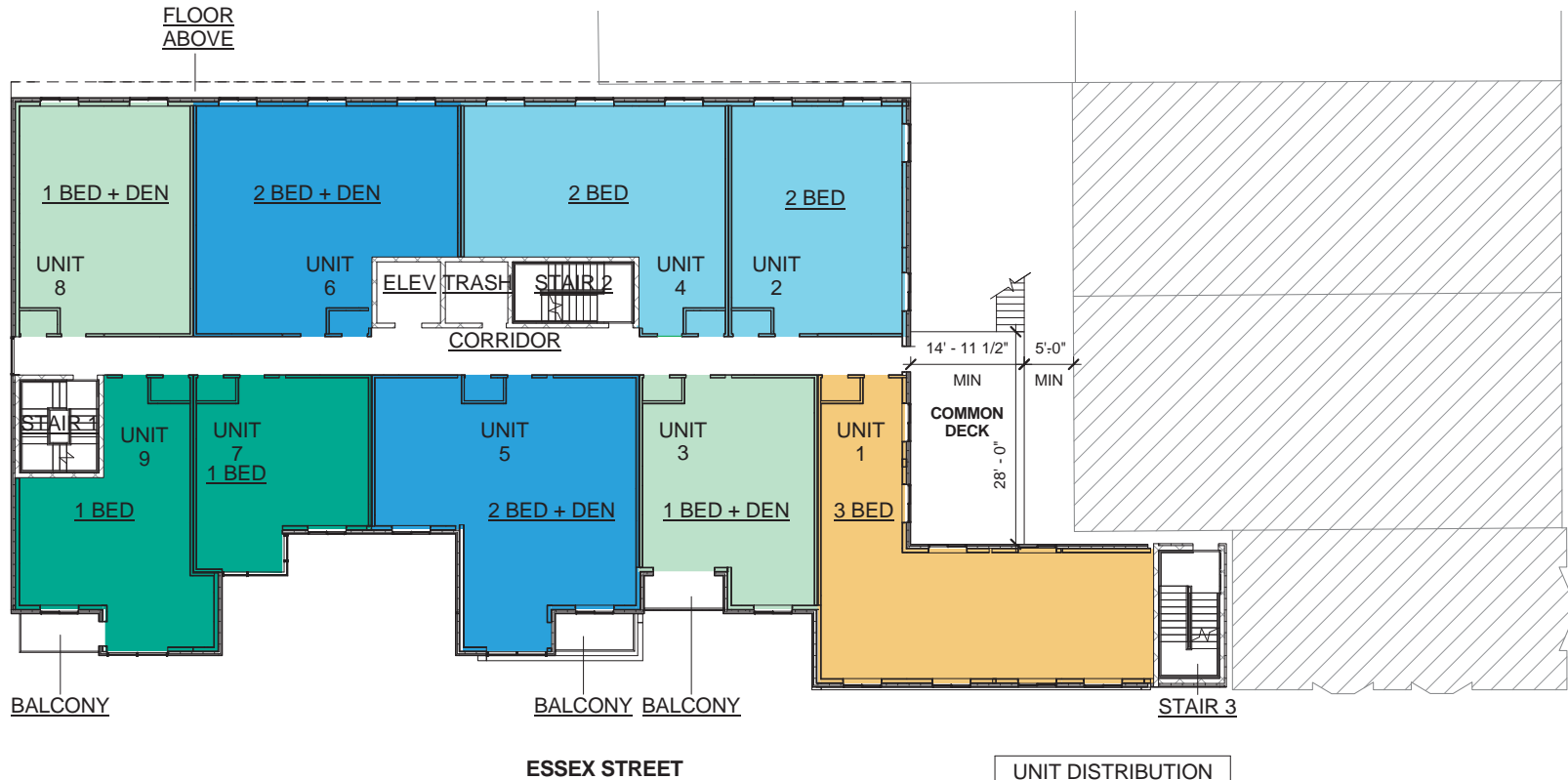
ESSEX STREET



1

PROPOSED FLOOR PLANS - LEVEL 1.5  
 1/16"=1'-0"

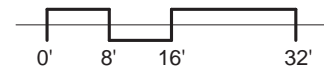




ESSEX STREET

UNIT DISTRIBUTION	
TYPE	#

STUDIO	3
1 BED	10
1 BED + DEN	8
2 BED	11
2 BED + DEN	10
3 BED	3
<b>TOTAL</b>	<b>46</b>



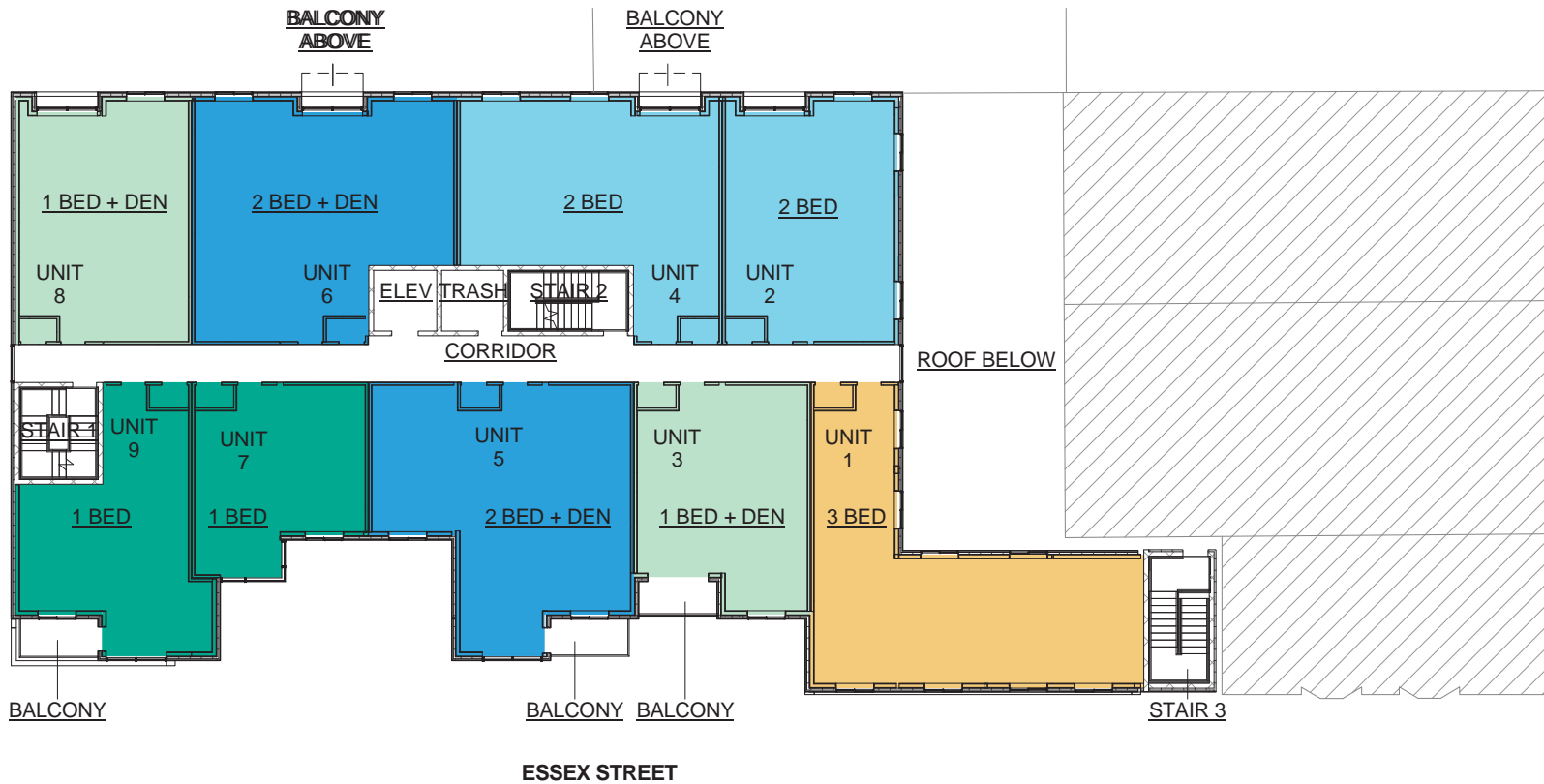
**PROPOSED FLOOR PLAN -  
 LEVEL 2**

1/16" = 1'-0"



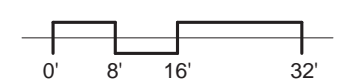
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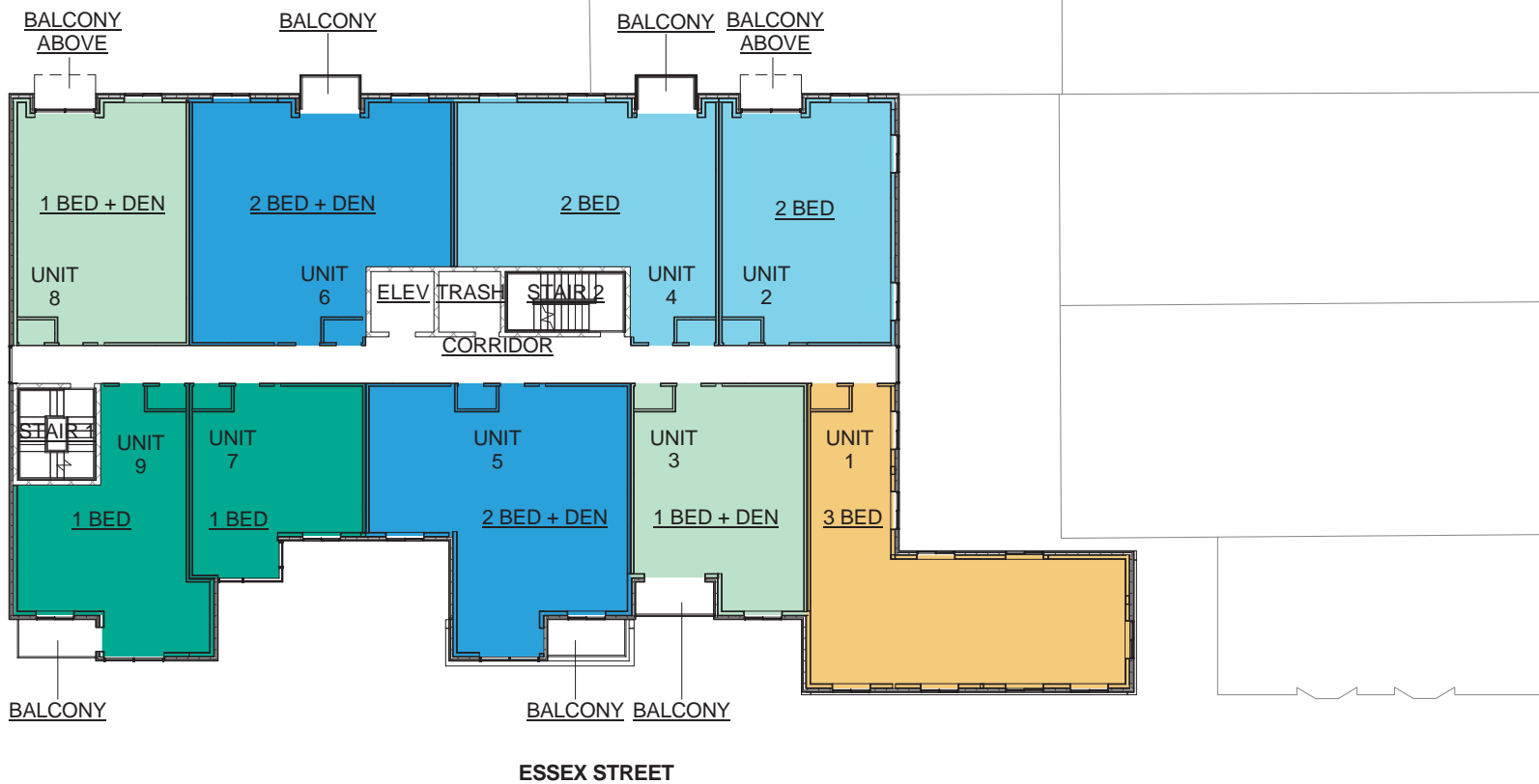
NO.	DESCRIPTION



**PROPOSED FLOOR PLAN -  
 LEVEL 3**

1  
 1/16" = 1'-0"

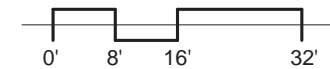


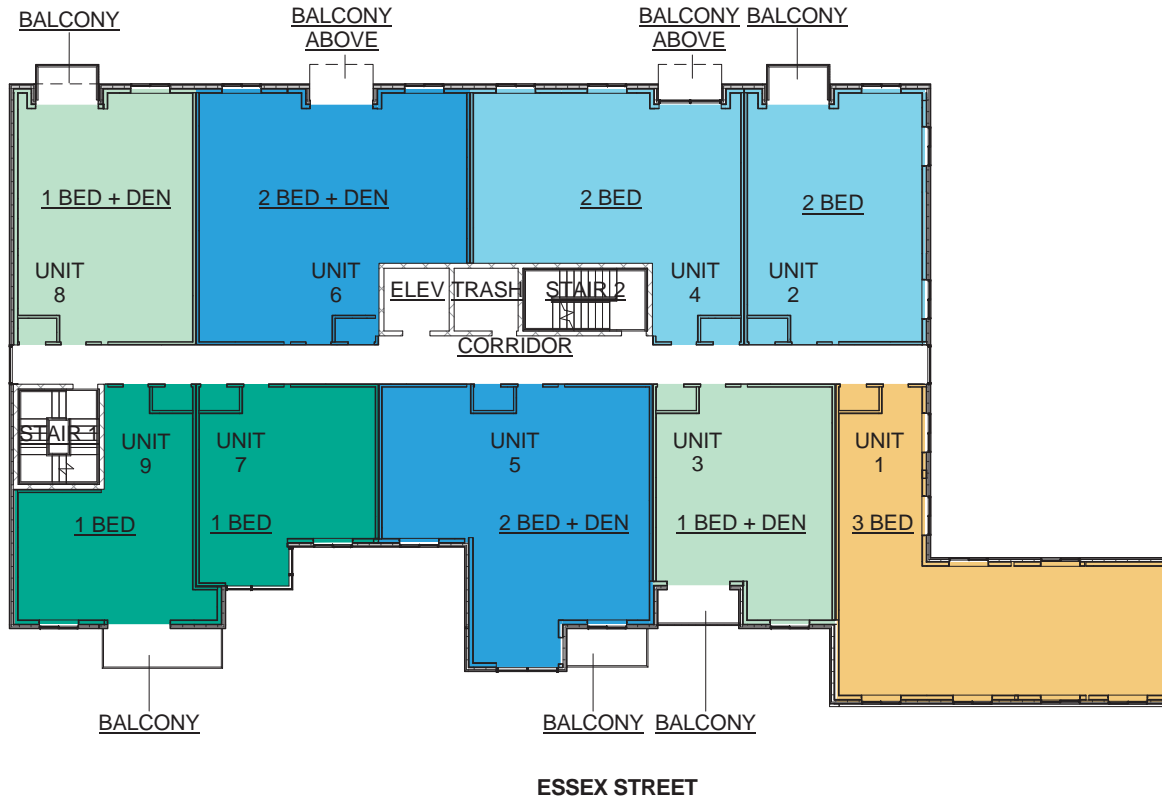


**PROPOSED FLOOR PLAN -  
 LEVEL 4**

1

1/16" = 1'-0"

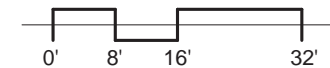




1

**PROPOSED FLOOR PLAN -  
 LEVEL 5**

1/16" = 1'-0"



PROJECT ADDRESS:  
 CAMBRIDGE  
 MASSACHUSETTS

CITY FILE #:  
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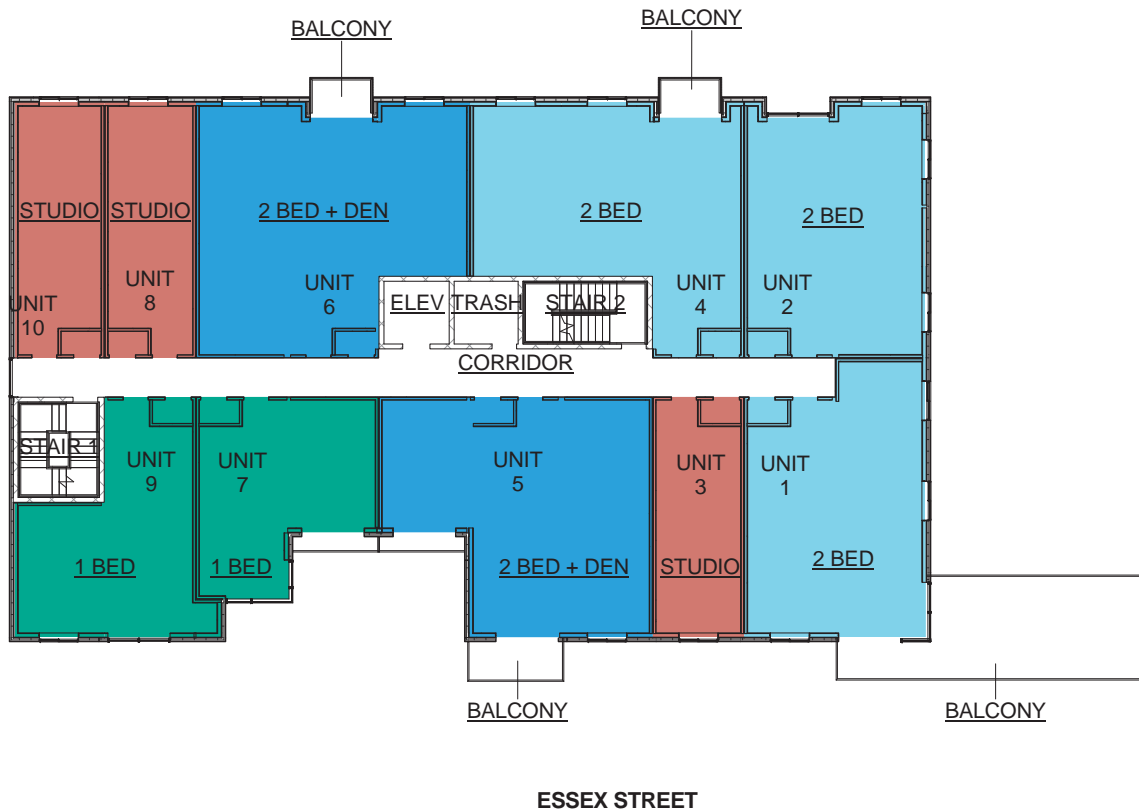
DRAWING HISTORY:

NO.	

SCALE:  
 1/16" = 1'-0"

SHEET #:

**A105.**

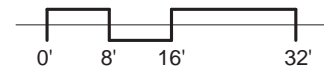


**PROPOSED FLOOR PLAN -  
 LEVEL 6**

1/16" = 1'-0"



1



PROJECT ADDRESS:  
 CAMBRIDGE,  
 MASSACHUSETTS

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 PROJECT #  
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PROJECT ISSUE DATE:  
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DRAWING HISTORY:

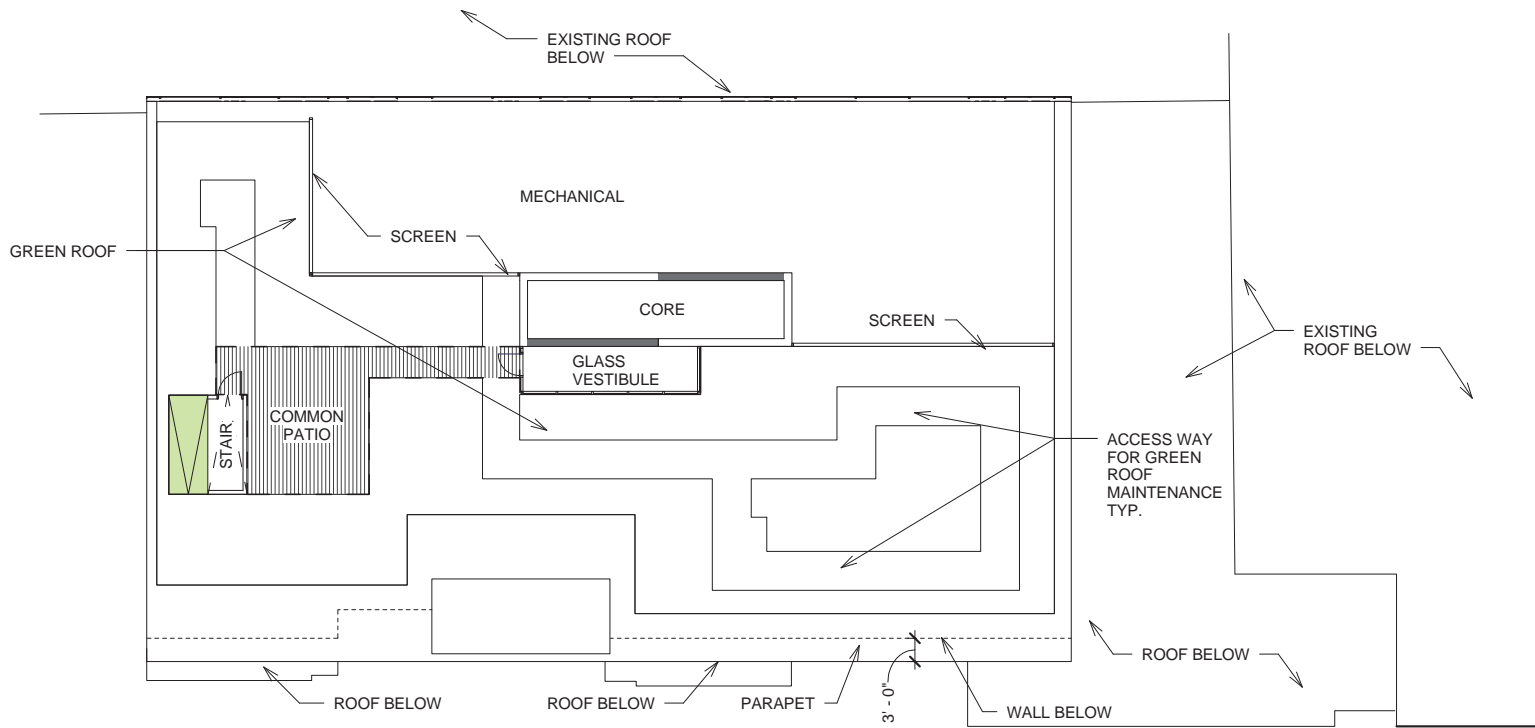
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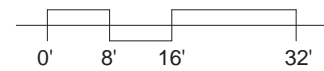
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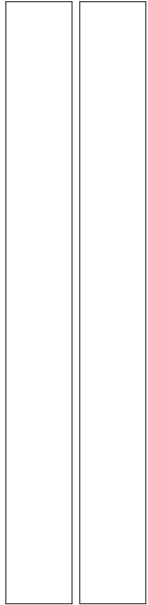
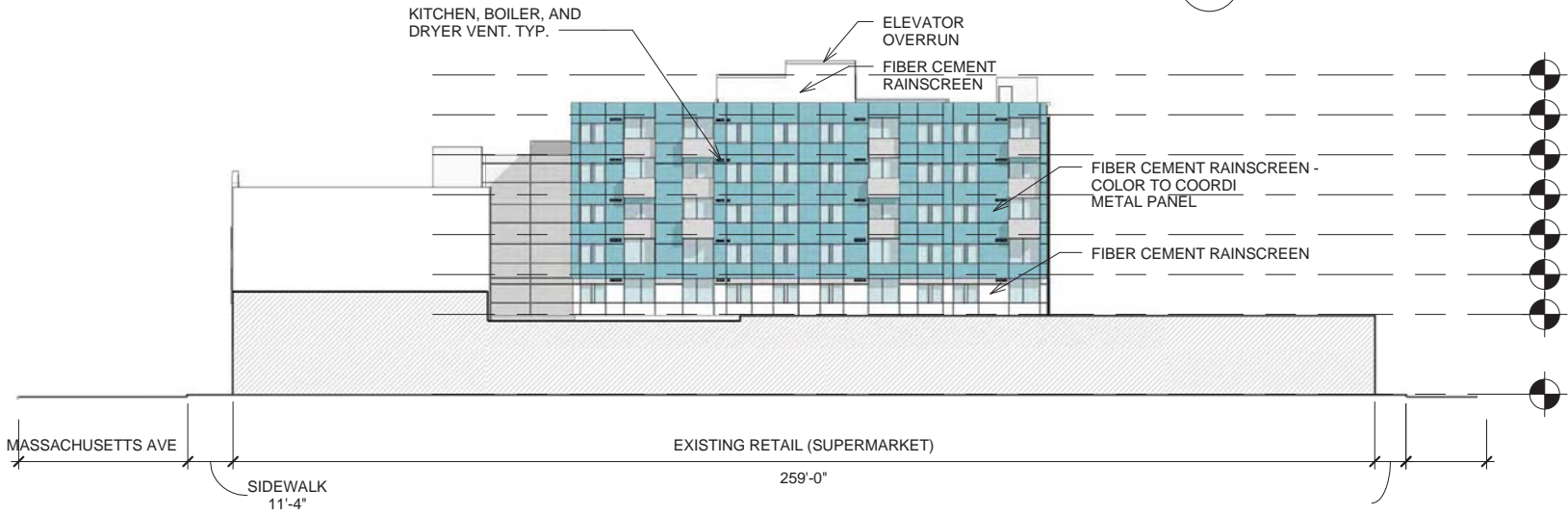
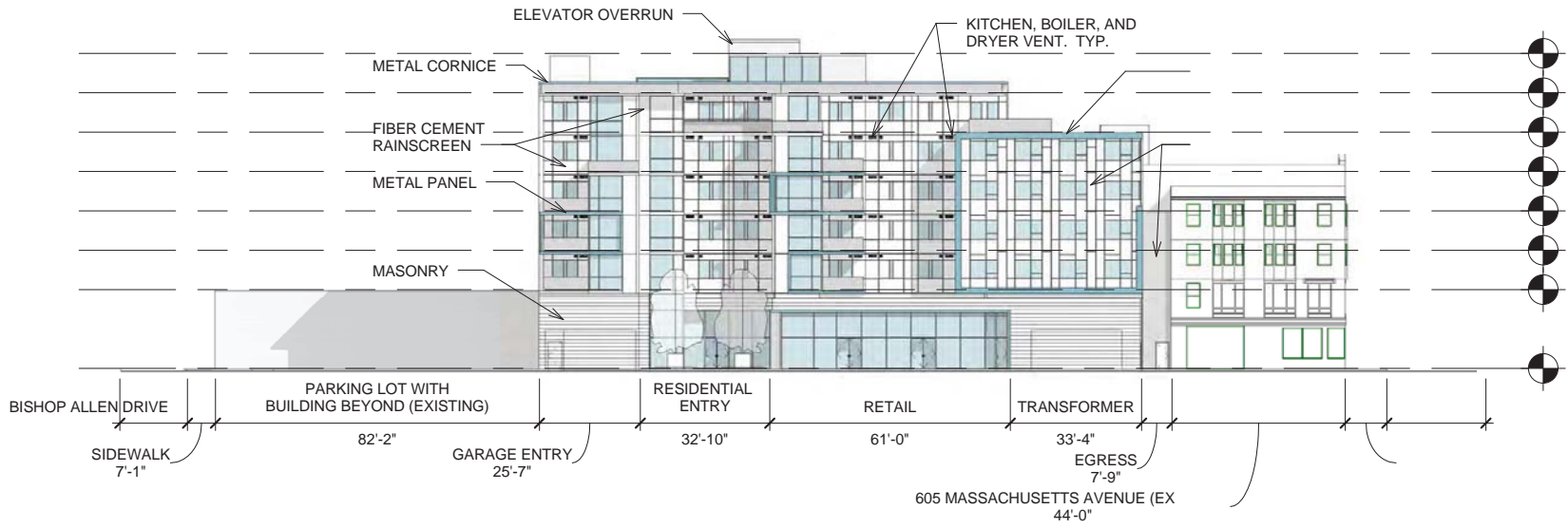
**A106.**



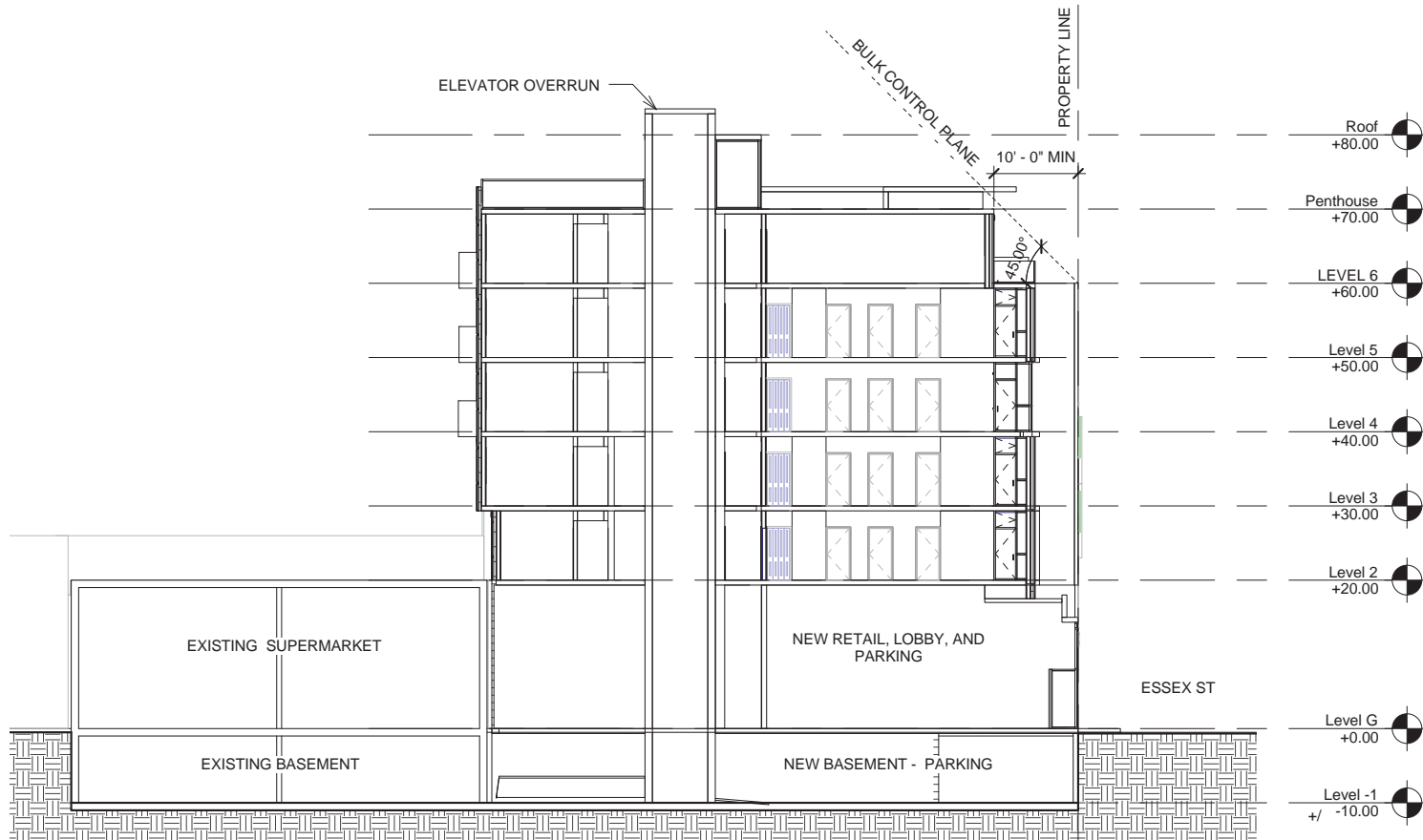


**1 PENTHOUSE LEVEL**  
 1/16" = 1'-0"









**2** SECTION THROUGH UNITS,  
 CORE, AND LOBBY  
 1/16" = 1'-0"

PROJECT ADDRESS CAMBRIDGE, MA
CITY FILE # PROJECT # 53731.00
PROJECT ISSUE DATE 08.29.2013
DRAWING HISTORY NO. _____ _____ _____
SCALE 1/16" = 1'-0"
SHEET # <b>A301.</b>



VIEW FROM MASSACHUSETTS AVE

Perkins Eastman

**Perkins Eastman**  
 300 WASHINGTON STREET, 20TH FLOOR, NEW YORK, NY 10038  
 212.512.2000 www.perkinseastman.com

**BOYES WATSON ARCHITECTS**  
 100 NORTH STREET, SUITE 200, BOSTON, MA 02109  
 617.452.8800 www.boyeswatson.com

OWNER:  
**3MJ ASSOCIATES LLC**  
 585 MASSACHUSETTS AVE, SECOND FLOOR  
 CAMBRIDGE, MA 02139

VIEW FROM MASSACHUSETTS AVE  
 TEN ESSEX STREET

PROJECT ADDRESS:  
**CAMBRIDGE, MASSACHUSETTS**

CITY PLAN #  
**53731.00**

PROJECT START DATE:  
**08.23.2013**

CONTRACT NUMBER:  
 NO. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SCALE:  
 \_\_\_\_\_

SHEET #  
**A901.**



Perkins Eastman

BOYES-WATSON  
ARCHITECTS

3MJ ASSOCIATES LLC  
585 MASSACHUSETTS  
AVE. SECOND FLOOR  
CAMBRIDGE, MA 02139

VIEW FROM BISHOP ALLEN DRIVE

TEN ESSEX STREET

PROJECT ADDRESS:  
CAMBRIDGE  
MASSACHUSETTS

CITY FILE #  
PROJECT #  
53731.00

PROJECT ISSUE DATE:  
08.23.2013

ISSUING HISTORY:  
NO.  
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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
SCALE

SHEET #  
A902.

Perkins Eastman

VIEW FROM BISHOP ALLEN DRIVE



ENTRY AT ESSEX ST

Perkins Eastman

ARCHITECTS  
BOYES-WATSON  
ARCHITECTS  
1000 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139

OWNER  
3MJ ASSOCIATES LLC  
585 MASSACHUSETTS  
AVE. SECOND FLOOR  
CAMBRIDGE, MA 02139

ENTRY AT ESSEX ST

TEN ESSEX STREET

PROJECT ADDRESS  
CAMBRIDGE  
MASSACHUSETTS

CITY FILE #  
PROJECT #  
53731.00

PROJECT ISSUE DATE  
08.23.2013

ISSUING OFFICE  
NO.  
SCALE

SCALE

SHEET #

A903.