

CAMBRIDGE HISTORICAL COMMITTEE
 APPLICATION FOR
621-629 CAMBRIDGE ST
 CAMBRIDGE, MA 02141

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
 PH 617-354-3989



CAMBRIDGE ST ELEVATION

LIST OF DRAWINGS		CHC SET 13 JULY 2021
GENERAL		
T1	TITLE SHEET	X
	EXISTING PLOT PLAN	X
EC-1	EXISTING FIRST FLOOR PLAN	X
EC-2	EXISTING SECOND FLOOR PLAN	X
EC-3	EXISTING EXTERIOR CONDITION PHOTOS	X
EC-4	EXISTING INTERIOR CONDITION PHOTOS	X
3D-1	CAMBRIDGE ST RENDERING	X
A-1	PROPOSED FIRST FLOOR PLAN	X
A-2	PROPOSED SECOND FLOOR PLAN	X
A-3	EXISTING & PROPOSED CAMBRIDGE ELEVATION	X
A-4	EXISTING & PROPOSED RIGHT ELEVATION	X
A-5	EXISTING & PROPOSED REAR ELEVATION	X
A-6	EXISTING & PROPOSED LEFT ELEVATION	X

SEAL

CONSULTANT

PROJECT
 REDEVELOPMENT OF
 621-629 CAMBRIDGE ST

629 CAMBRIDGE ST
 CAMBRIDGE, MA 02141

PREPARED FOR
 RIVERSIDE PROPERTIES, Inc.

27 MICA LANE, SUITE 201
 WELLESLEY, MA 02481

DRAWING TITLE
 COVER SHEET

SCALE AS NOTED

REVISION	DATE

CHC SET	13 JULY 2021
DRAWN BY EC	REVIEWED BY PQ

SHEET

T-1

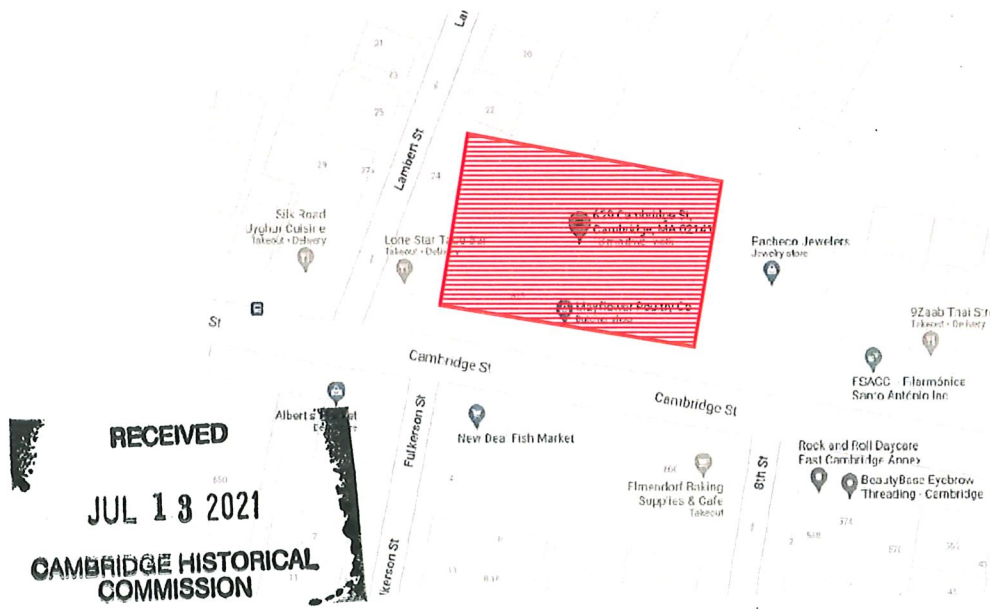
PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC
 259 ELM ST, STE 301
 SOMERVILLE, MA 02144
 PH (617) 354 3989

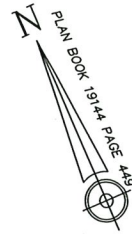
SURVEYOR

R.E. CAMERON & ASSOCIATES, INC
 681 WASHINGTON STREET
 NORWOOD, MA 02062
 PH (781) 769 8644



RECEIVED
 JUL 13 2021
 CAMBRIDGE HISTORICAL COMMISSION

LOCUS PLAN ↑

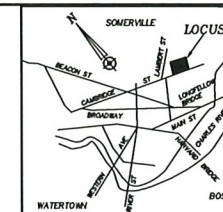


The property shown lies within ZONE X UNSHADED (area outside 0.2% annual chance floodplain) as shown on FLOOD INSURANCE RATE MAP for the CITY OF CAMBRIDGE. FEMA MAP 2501C0577E COMMUNITY 250186 PANEL NUMBER 577E WITH EFFECTIVE DATE OF JUNE 4, 2010

ZONE CLASSIFICATION ~ BA ~ BUSINESS A
 MAXIMUM FLOOR AREA RATIO = 1.0/1.75
 MINIMUM LOT AREA = NONE
 MINIMUM LOT WIDTH = NONE
 MINIMUM OPEN SPACE = NONE
 MAXIMUM BUILDING HEIGHT = 35'/45'
 MINIMUM FRONT YARD SETBACK = NONE
 MINIMUM SIDE YARD SETBACK = NONE
 MINIMUM REAR YARD SETBACK = H+L/5 WITH MINIMUM OF 20'

LEGEND

- AREA DRAIN
- BIKE RACK
- BOLLARD
- CATCH BASIN
- CHAIN LINK FENCE
- CONCRETE LIGHT POLE
- DRAIN MANHOLE
- ELECTRIC HANDHOLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- FLAGPOLE
- GAS GATE
- GAS METER
- HYDRANT
- METAL LIGHT POLE
- OVERHEAD WIRES
- PARKING METERS
- PEDESTRIAN LIGHT POLE
- ROOF DRAIN
- SEWER MANHOLE
- SIGNS
- STOCKADE FENCE
- STONE WALL
- TELEPHONE MANHOLE
- TRAFFIC LIGHT POLE
- TRAFFIC CONTROL BOX
- TRASH RECEPTACLE
- UNDERGROUND UTILITIES
- DRAIN
- ELECTRIC
- GAS
- SEWER
- TELEPHONE
- WATER
- TELEVISION
- COMMUNICATION
- WATER CONTROL VALVE
- WATER GATE
- WOOD UTILITY POLE
- WOOD UTILITY POLE W/LIGHT
- x—x—x— WROUGHT IRON FENCE



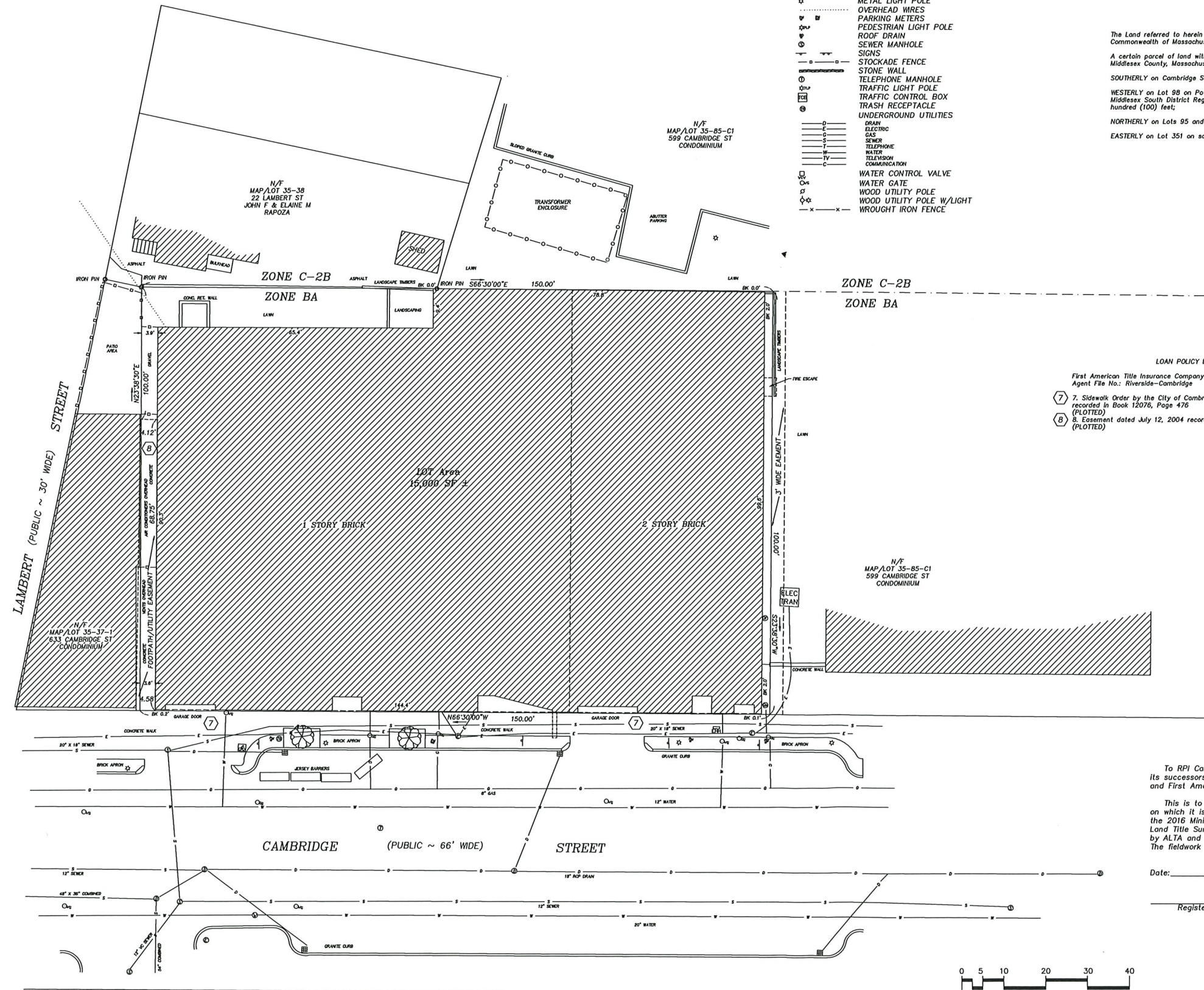
VICINITY MAP ~ NTS

R.E. Cameron & Associates, Inc.
 LAND SURVEYORS - CIVIL ENGINEERS
 681 WASHINGTON STREET
 NORWOOD, MA 02062
 (781) 769-1777 Fax (781) 769-8644



EXHIBIT A
 The Land referred to herein below is situated in the County of Middlesex, Commonwealth of Massachusetts, and is described as follows:
 A certain parcel of land with the buildings thereon situated in Cambridge, Middlesex County, Massachusetts, bounded and described as follows:
 SOUTHERLY on Cambridge Street, one hundred fifty (150) feet;
 WESTERLY on Lot 98 on Peter Tufts' plan of Lechmere Point, recorded with Middlesex South District Registry of Deeds in Book 243, Page 544, one hundred (100) feet;
 NORTHERLY on Lots 95 and 96 on said plan one hundred fifty (150) feet;
 EASTERLY on Lot 351 on said plan one hundred (100) feet.

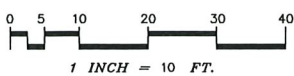
- LOAN POLICY EXCEPTIONS**
- First American Title Insurance Company
 Agent File No.: Riverside-Cambridge
 - 7. Sidewalk Order by the City of Cambridge, dated September 13, 1971 and recorded in Book 12076, Page 476 (PLOTTED)
 - 8. Easement dated July 12, 2004 recorded in Book 43346, Page 596 (PLOTTED)



To RPI Cambridge Street LLC, Institution for Savings, its successors and/or assigns, as their interests may appear, and First American Title Insurance Company.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The fieldwork was completed on January 21, 2021.

Date: _____
 Registered Professional Land Surveyor
 Scott D. Cameron



SCALE: 1"=10' DATE: 1/21/21
 DRAWN BY: SLS MATH: SLS32/28
 JOB NUMBER: 4454 CHECKED BY:
 COUNTY: MIDDLESEX
 TITLE:

**ALTA/NSPS
 LAND TITLE SURVEY
 613-629 CAMBRIDGE STREET
 CAMBRIDGE, MASSACHUSETTS**

4454		
Revisions		
No.	Date	Description

SHEET NUMBER: 4454

SEAL

CONSULTANT

PROJECT
**REDEVELOPMENT OF
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 ST**

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 CAMBRIDGE, MA 02141

PREPARED FOR
**RIVERSIDE
 PROPERTIES, Inc.**

27 MICA LANE, SUITE 201
 WELLESLEY, MA 02481

DRAWING TITLE

**EXISTING
 FIRST FLOOR
 PLAN**

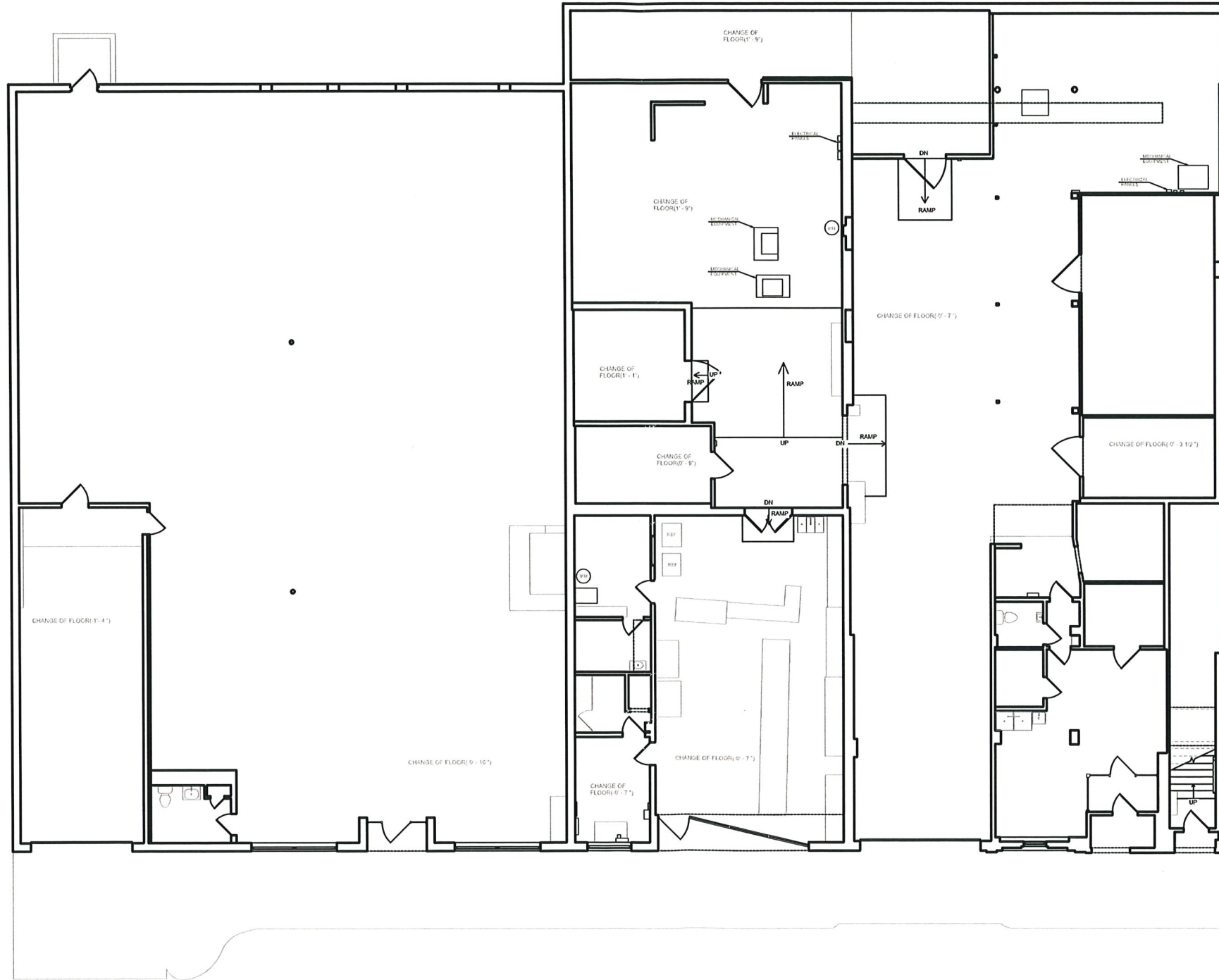
SCALE AS NOTED

REVISION	DATE

CHC SET	13 JULY 2021
DRAWN BY EC	REVIEWED BY PQ

SHEET

EC-1



1 **EXISTING FIRST FLOOR PLAN**
 SCALE: 1/16" = 1'-0"

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DRAWING TITLE

EXISTING
 SECOND
 FLOOR PLAN

SCALE AS NOTED

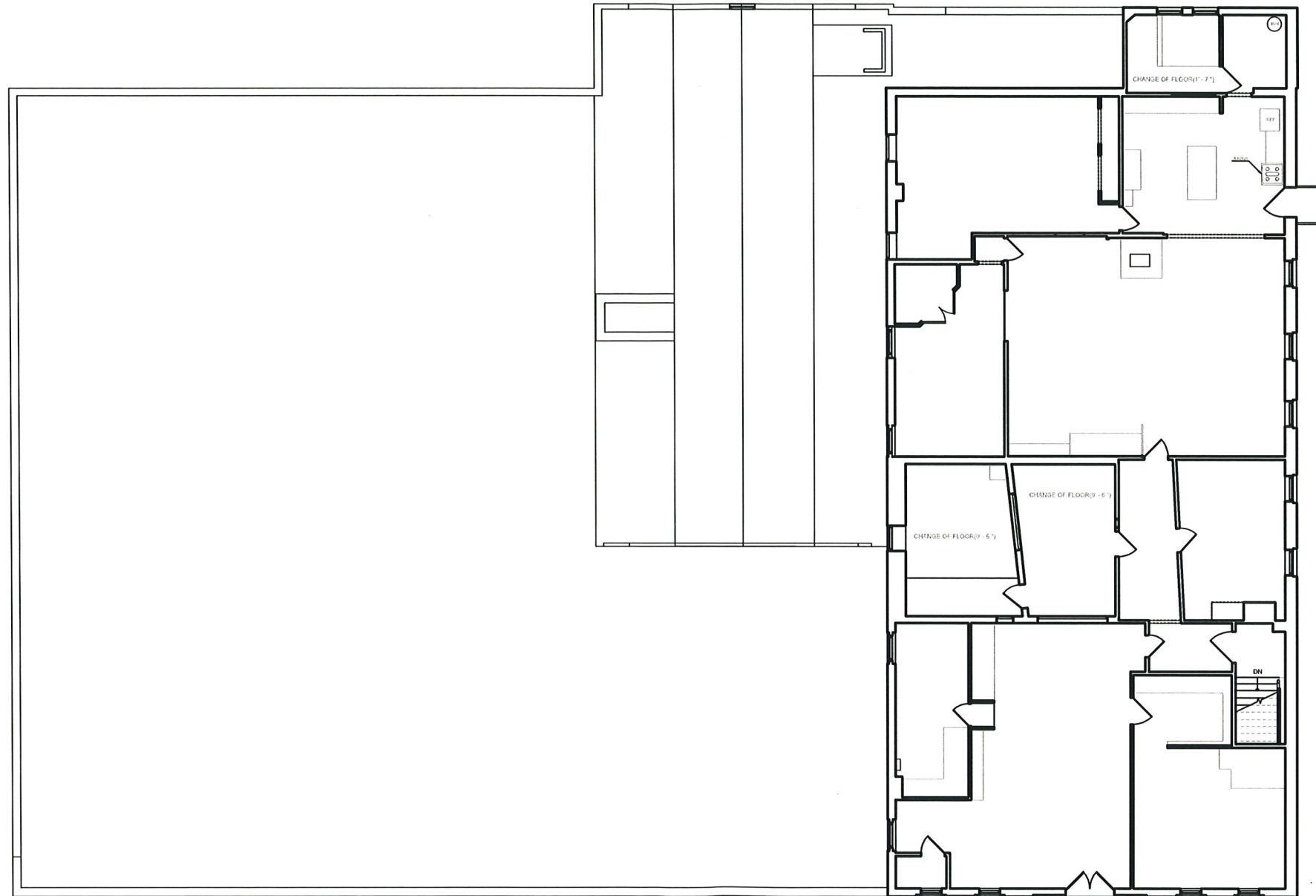
REVISION	DATE

CHC SET	13 JULY 2021
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DRAWN BY EC	REVIEWED BY PQ
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SHEET

EC-2



1 EXISTING SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



FRONT-CAMBRIDGE ST VIEW



FRONT-CAMBRIDGE ST VIEW- FIRST BUILDING



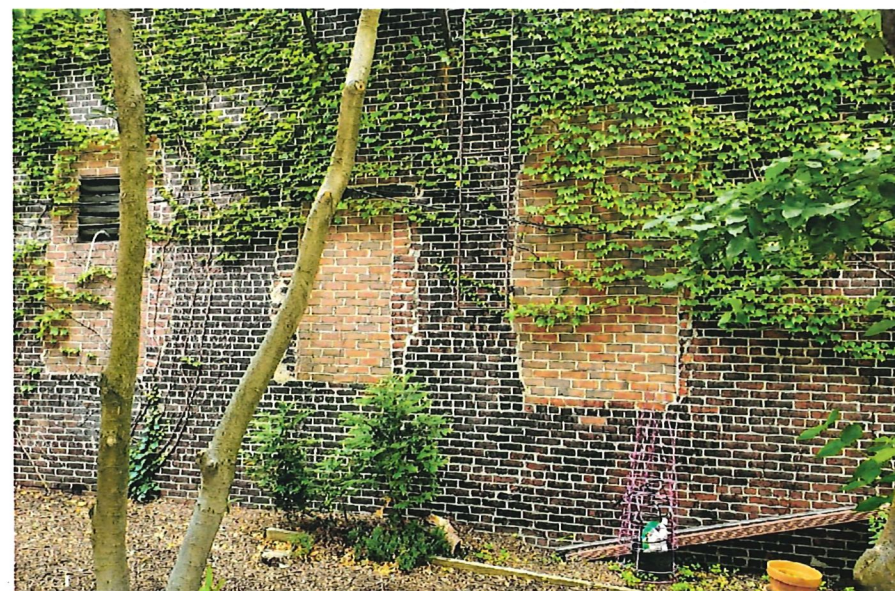
RIGHT - EXISTING FIRE ESCAPE AND EXISTING WINDOW FILLINGS



REAR ELEVATION EXISTING CONDITIONS- BARN AND MIDDLE BUILDING



REAR ELEVATION EXISTING CONDITIONS- THIRD BUILDING



RIGHT - EXISTING WINDOW FILLINGS TO BE REOPENED



BARN LEFT SIDE - WINDOWS TO BE REPLACED

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
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EXISTING
EXTERIOR
CONDITIONS
PHOTOS

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SHEET

EC-3



INTERIOR- BARN BUILDING SECOND FLOOR



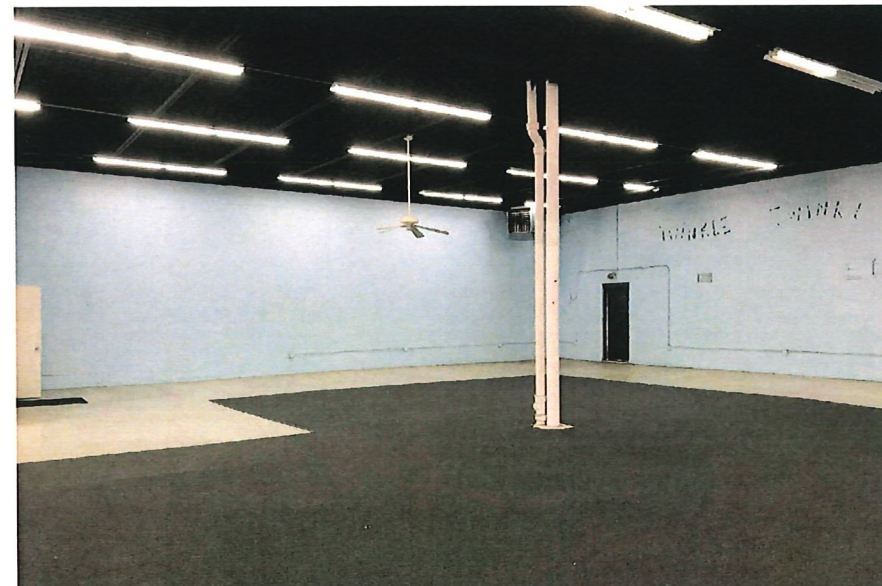
INTERIOR- BARN BUILDING FIRST FLOOR



MIDDLE BUILDING EXISTING DETERIORATED ROOF STRUCTURE



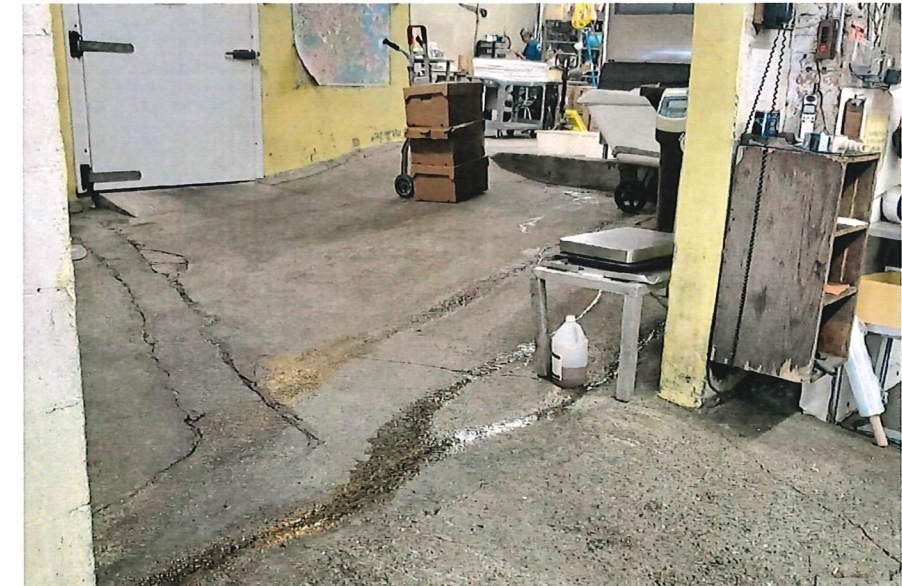
MIDDLE BUILDING EXISTING DETERIORATED ROOF STRUCTURE



INTERIOR-FORMER MATTRESS STORE



MIDDLE BUILDING EXISTING FLOOR SLABS



MIDDLE BUILDING EXISTING FLOOR SLABS

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DRAWING TITLE

EXISTING
INTERIOR
CONDITIONS
PHOTOS

SCALE AS NOTED

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SHEET

EC-4

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DRAWING TITLE

**CAMBRIDGE ST
 RENDERING**

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SHEET

3D-1



PROPOSED VIEW EAST ON CAMBRIDGE STREET



EXISTING VIEW EAST ON CAMBRIDGE STREET

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DRAWING TITLE
 EXISTING &
 PROPOSED
 FRONT
 ELEVATION

SCALE AS NOTED

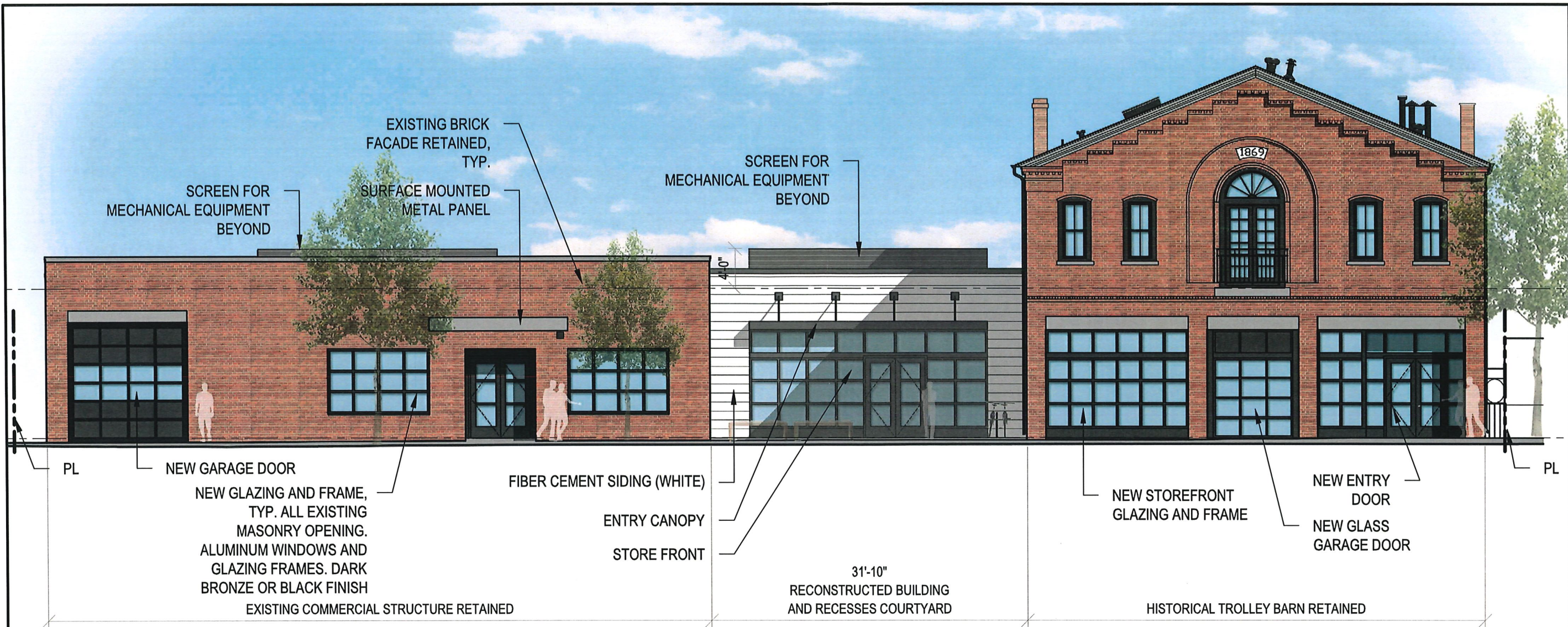
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SHEET

A-3



1 PROPOSED FRONT ELEVATION
 SCALE: 3/32" = 1'-0"



2 EXISTING FRONT ELEVATION
 SCALE: 1/16" = 1'-0"

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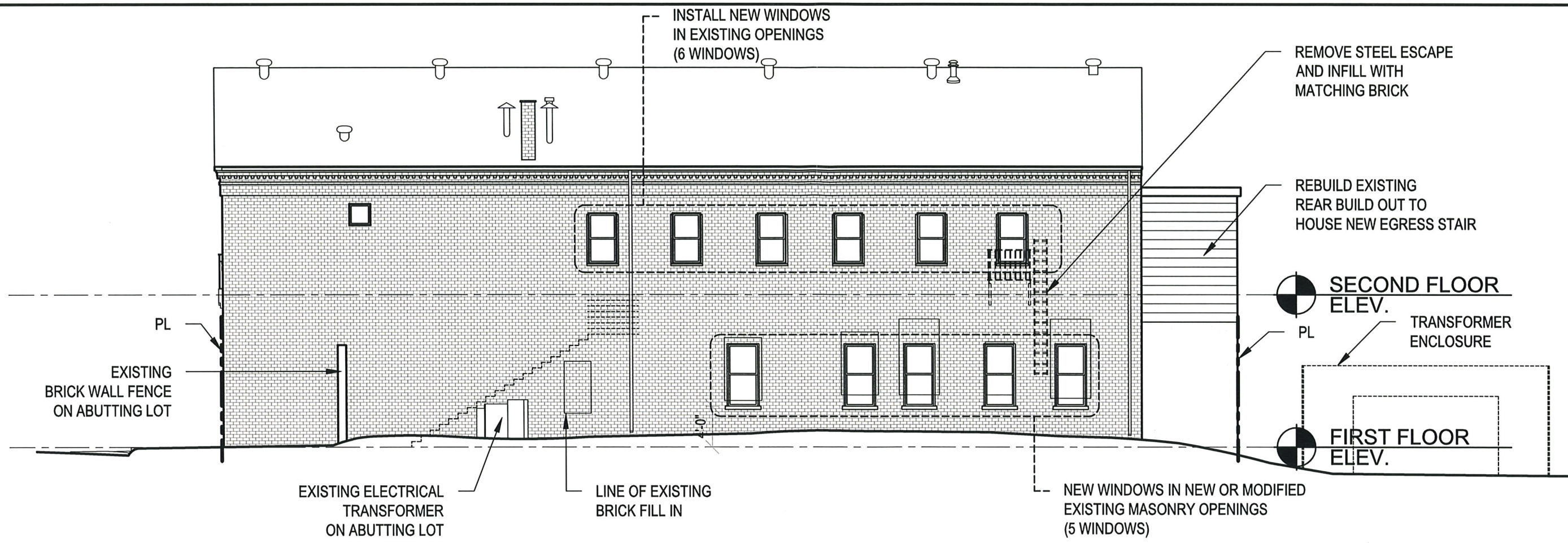
DRAWING TITLE
 EXISTING &
 PROPOSED
 RIGHT
 ELEVATION

SCALE AS NOTED

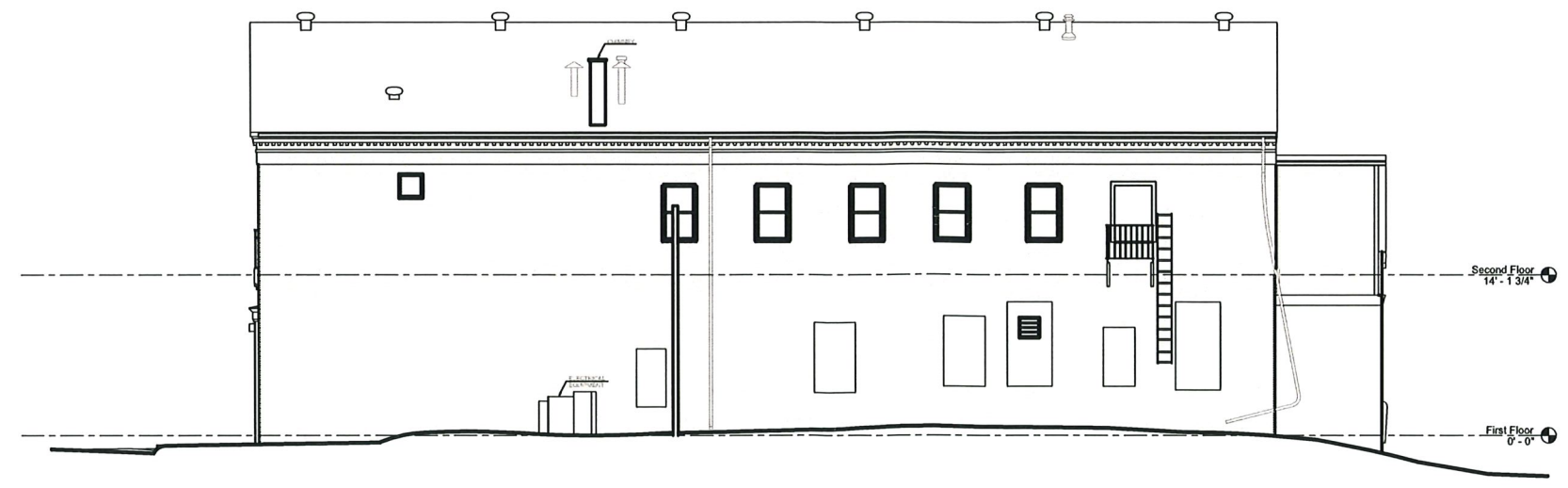
REVISION	DATE
CHC SET	13 JULY 2021
DRAWN BY EC	REVIEWED BY PQ

SHEET

A-4



1 PROPOSED RIGHT ELEVATION
 SCALE: 1/16" = 1'-0"



2 EXISTING RIGHT ELEVATION
 SCALE: 1/16" = 1'-0"

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DRAWING TITLE
EXISTING &
PROPOSED
REAR
ELEVATION

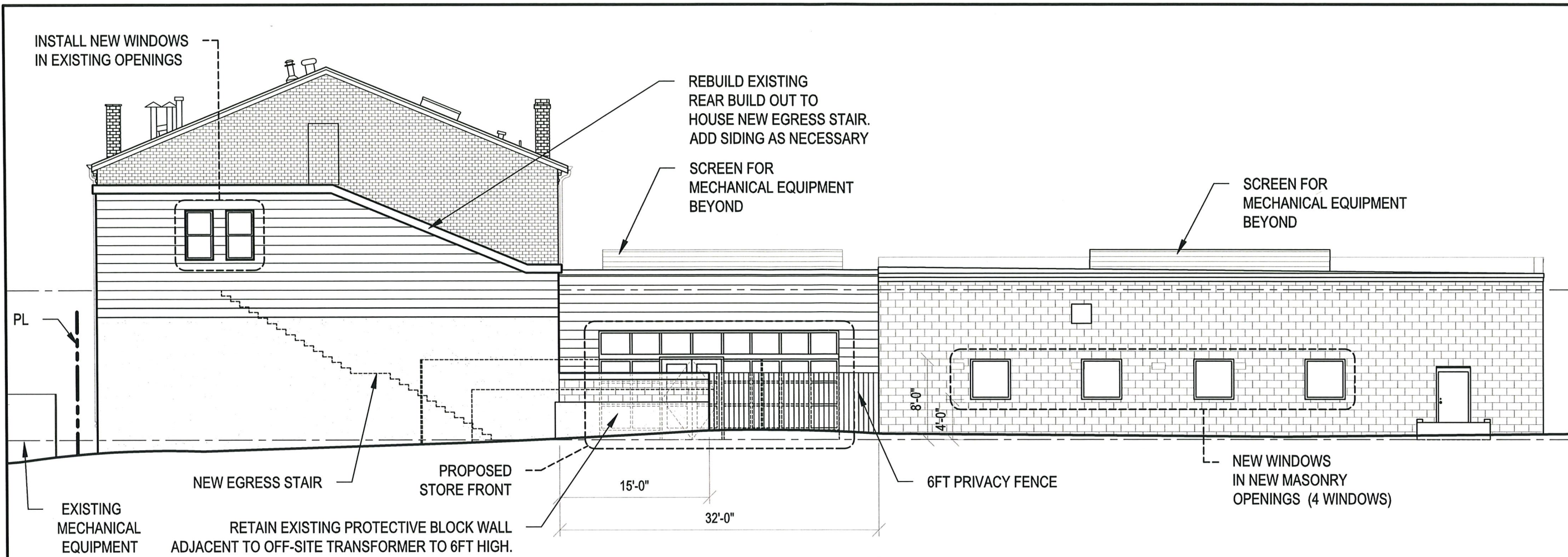
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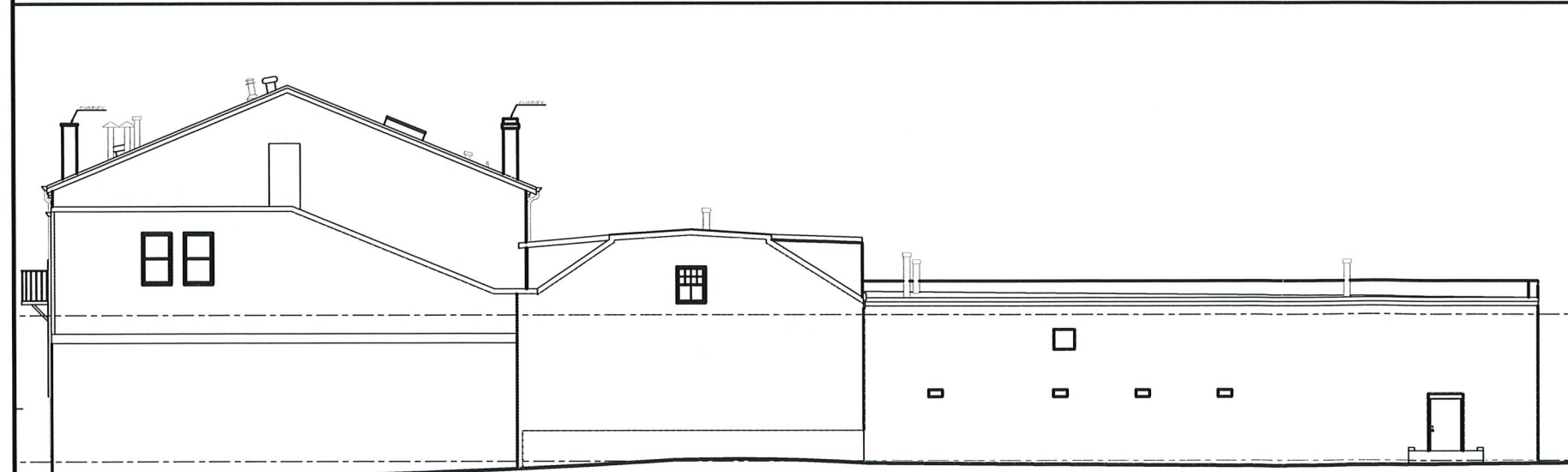
CHC SET 13 JULY 2021

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SHEET



1 PROPOSED REAR ELEVATION
SCALE: 1/16" = 1'-0"



2 EXISTING REAR ELEVATION
SCALE: 1/16" = 1'-0"



3 PROPOSED REAR ELEV. WINDOWS
SCALE: 1/32" = 1'-0"

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DRAWING TITLE
 EXISTING &
 PROPOSED
 LEFT
 ELEVATION

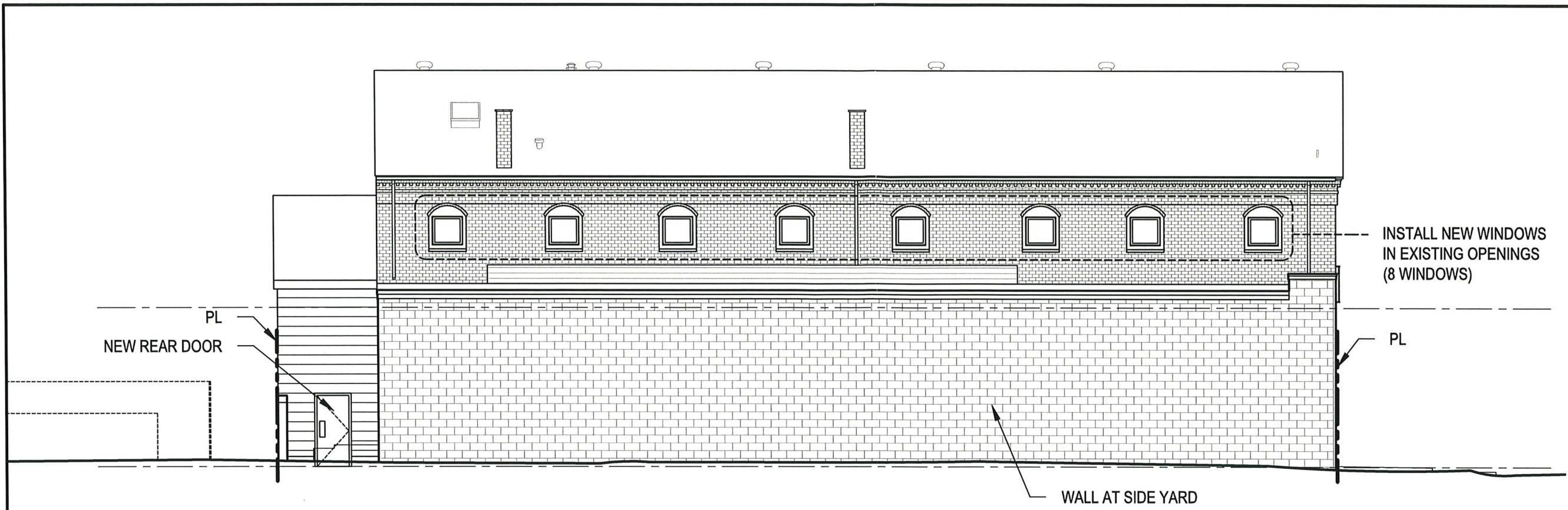
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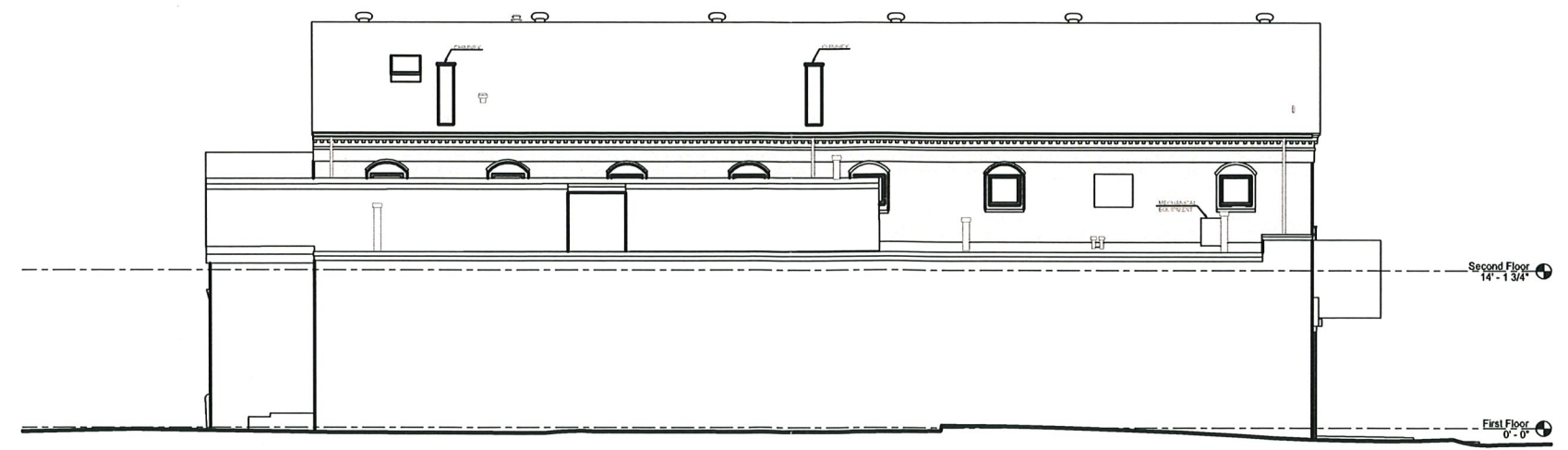
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SHEET

A-6



1 PROPOSED LEFT ELEVATION
 SCALE: 1/16" = 1'-0"



2 EXISTING LEFT ELEVATION
 SCALE: 1/16" = 1'-0"