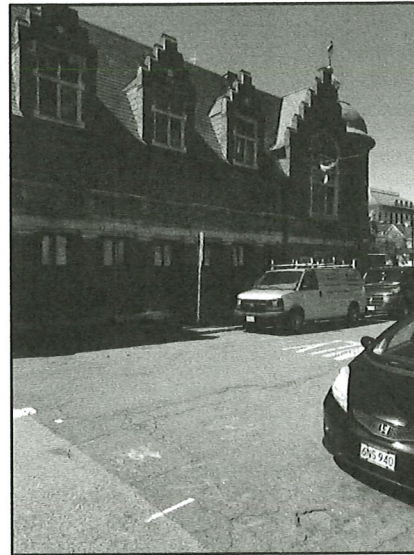


HARVARD LAMPOON

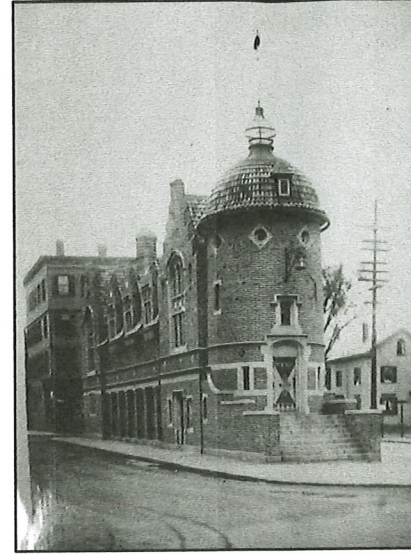
CAMBRIDGE, MASSACHUSETTS

EXTERIOR RESTORATION - PHASE 2 & 3

MT. AUBURN ST.-TURRET & BOW ST. REPAIRS



BOW STREET

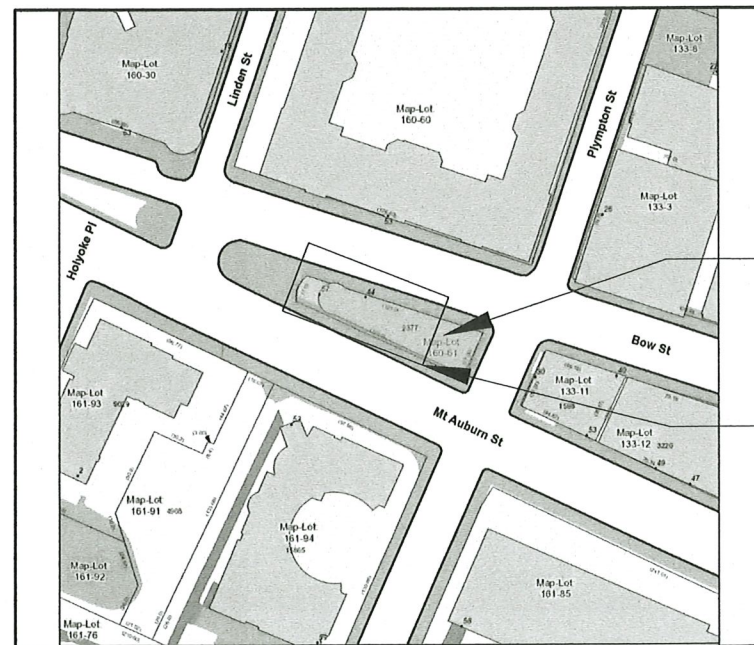


FRONT TURRET



MT. AUBURN STREET

PRESERVATION CONSULTANT:
 DR. JUDITH E. SELWYN
 PRESERVATION TECHNOLOGY
 ASSOCIATES, LLC
 617-598-2255
 PRESERVATIONTECHNOLOGY.NET



HARVARD
 LAMPOON
 BUILDING

PHASE 2 & 3
 RESTORATION
 SCOPE OF WORK



LOCATION MAP
 CAMBRIDGE, MA

BID SET

SHEET NO.	TITLE	ISSUE	ISSUE DATE
		BIDDING	7/09/2021
A0.0	COVER PAGE	X	
A2.4	ROOF PLAN & SCOPE OF WORK	X	
A3.0	EXTERIOR ELEVATIONS - PHASES	X	
A5.3	PROPOSED PARAPET DETAIL ELEVATIONS & DETAIL SECTIONS 3D	X	
	PHOTOS OF EXISTING CONDITIONS & REPORTS FROM PRESERVATION TECH.	X	2019
	PHOTOS OF EXISTING CONDITIONS & REPORTS FROM CENAXO	X	2016

OUTLINE SPECIFICATION

PHASE 1 -- THE SCOPE OF WORK FOR THE HARVARD LAMPOON EAST END EXTERIOR RESTORATION/REPAIRS TO REPAIR LEAKS IN THE ROOF AND OR MASONRY WALLS THAT ARE AFFECTING THE PLYMPTON STREET END OF THE BUILDING WITH WATER SHOWING UP AROUND THE LIMESTONE WINDOW SURROUNDS.

GENERAL NOTES:

1. THE EXTERIOR WALLS OF THE BUILDING ARE BUILT TO THE LOT LINE AND IT IS SURROUNDED BY SIDEWALKS AND ROADS ON ALL SIDES. PROVIDE PROTECTION FOR PEDESTRIANS TO PASS UNDER WORK AREA.
 2. PROVIDE AN ESTIMATED SCHEDULE FOR PROJECT START DATE AND COMPLETION.
 3. BUILDING WILL BE EMPTY THROUGH THE FALL WITH STUDENTS POSSIBLY RETURNING IN JANUARY, 2021.
 4. FUTURE WORK PHASE 2 & PHASE 3 ARE PROJECTS THAT COVER FUTURE EXTERIOR RESTORATION OF THE REST OF THE BUILDING TO BE ROUGH ESTIMATED FOR BUDGETING AND SCHEDULING.
- PHASE 2- CONSISTS OF THE REST OF THE MT. AUBURN STREET FAÇADE AND AROUND THE FRONT TURRET, INCLUDING THE STEPS, ROOF, STAINED GLASS WINDOWS, STONE AND BRICK REPAIRS, & ROOF REPLACEMENT.
- PHASE 3- CONSISTS OF THE RESTORATION OF THE REST OF THE BOW STREET FAÇADE, INCLUDING THE STONE AND BRICK REPAIRS, STAINED GLASS WINDOWS, ROOF REPLACEMENT, AND CLEANING OF THE INTERIOR BRICK & STONE WALLS OF THE GREAT HALL.

DIVISION 1 - GENERAL CONDITIONS:

1. BUILDING SECURITY
 - A. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MAINTAIN THE SECURITY OF THE BUILDING AND ITS CONTENTS DURING CONSTRUCTION. THE BUILDING SHALL BE KEPT SECURE AT ALL TIMES TO PROTECT AGAINST THEFT AND VANDALISM.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO THE BUILDING WITH THE LAMPOON BUILDING MANAGER-ERIC HERSUM.
 - C. COMPLIANCE WITH CONTRACT DOCUMENTS
 - D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT WORK PROGRESSES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL WORK AS REQUIRED BY THE CONTRACT DOCUMENTS UNLESS SPECIFIED OTHERWISE BY SUCH CONTRACT DOCUMENTS.
2. BUILDING PROTECTION
 - A. PROVIDE POLYETHYLENE COVERS UNDER 3/4" PLYWOOD FULL PROTECTION OVER THE WINDOWS WITHIN THE WORK ZONE.
3. PROGRESS REPAIRS TO PROJECT
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTICING ANY STRUCTURAL DEFORMATION, DECAY, OR INADEQUACY AS WORK PROGRESSES AND SHALL NOTIFY ARCHITECT IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO WORK DONE BY THE CONTRACTOR DEEMED NECESSARY BY THE INSPECTING BUILDING OFFICIALS AND THE ARCHITECT.
4. FIRE PREVENTION
 - A. THE WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PREVENT FIRE. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST FIRES STARTING AND SPREADING ON THE SITE AND WITHIN THE BUILDING AND TEMPORARY STRUCTURES. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF EXTINGUISHING FIRES, (DRY CHEMICAL FIRE EXTINGUISHERS RATED FOR A, B, AND C FIRES) DURING ALL PHASES OF THE WORK. THERE WILL BE NO SMOKING INSIDE THE BUILDING AT ANY TIME. NO FIRES MAY BE BUILT ON THE PREMISES.
 - B. GASOLINE AND OTHER FLAMMABLE LIQUIDS SHALL NOT BE STORED WITHIN THE BUILDING. THEY SHALL BE STORED IN AND DISPENSED FROM U.L. LISTED SAFETY CONTAINERS. TARPULINS USED ON THE SITE SHALL BE MADE OF FIRE-RESISTANT MATERIAL AND BE U.L. LISTED.
5. FIELD MEASUREMENTS
 - A. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

6. WORKMAN'S COMPENSATION
- E. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION, AND ALL OTHER INSURANCES AS REQUIRED BY THE OWNER, TO PROTECT THE OWNER FOR ANY AND ALL CLAIMS DURING THE COURSE OF CONSTRUCTION. ADDITIONALLY THE OWNER SHALL MAINTAIN GENERAL FIRE, THEFT, AND VANDALISM INSURANCE AND LIABILITY INSURANCE.
- F. SCHEDULE OF VALUES:
- G. PROVIDE A SCHEDULE OF VALUES FOR EACH TRADE AND CONSTRUCTION SYSTEM.
- H. SAMPLES:

PROVIDE ARCHITECT/OWNER A SAMPLE OF THE FOLLOWING ITEMS BEFORE INSTALLATION FOR APPROVAL:

 - SLATE ROOF SHINGLES
 - BRICK & MORTAR
 - WOOD STAIN
 - MOCK-UP EACH OF THE ROOF DETAILS
 - MOCK-UP WEEP HOLES
7. CLEAN UP
 - A. UPON COMPLETION OF EACH PHASE OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE PROJECT LEAVING IT FREE FROM ALL DEBRIS AND WASTE. IN A BROOM CLEAN CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF RUBBISH AND DEBRIS, AND IN A NEAT, ORDERLY CONDITION AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE TRASH BARRELS FOR USE BY WORKMEN.
 - B. WASH ALL WINDOWS IN THE SCOPE OF WORK AREAS AT THE END OF THE PROJECT.

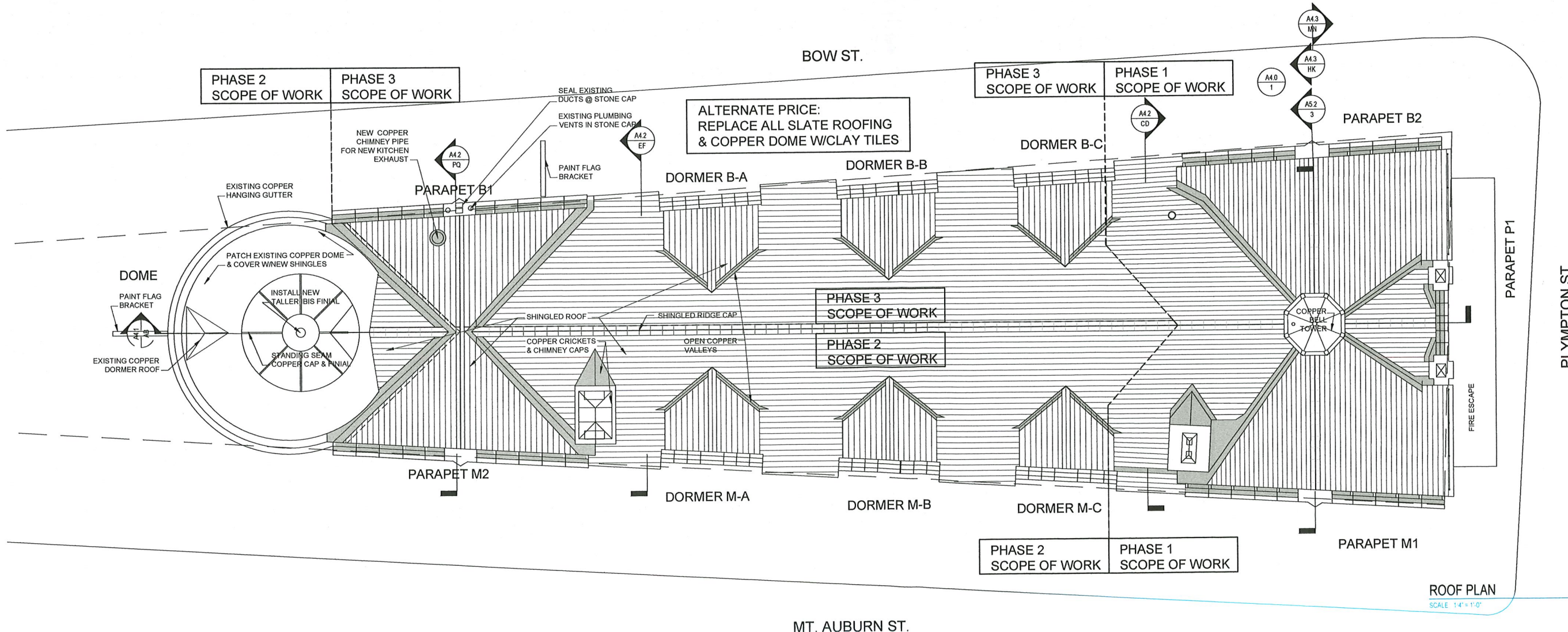
DIVISION 4 - MASONRY

- 04500-1 GROUTING SMALL VOIDS IN EXTERIOR WALL SURROUNDING SECOND FLOOR WINDOWS**
1. CONTRACTOR TO INSPECT IDENTIFY AND MARK ALL CRACKS, DEFECTS AND VOIDS IN MORTAR JOINTS WITHIN THE WORK AREA. ARCHITECT SHALL REVIEW AND APPROVE THE SCOPE OF WORK MARKED. BASE BID SHALL BE BASED ON 15 AREAS EACH ONE JOINT WIDTH BY NOT MORE THAN 15' LONG. NOTE: ALL DEFECTS IN JOINTS ARE MINOR.
 2. USE FINE HAND TOOLS TO REMOVE DEFECTIVE AREAS OF MORTAR. POWER TOOLS SHALL NOT BE USED.
 3. USING A SYRINGE, INJECT THE FULL LENGTH AND DEPTH OF THE CRACK WITH VOIDSPAN PHL70 INJECTION GROUT ACCORDING TO MANUFACTURER'S MIXING AND INSTALLATION REQUIREMENTS, PROTECT SURROUNDING MASONRY WITH TAPE.
 4. WIPE CLEAN SURFACE EXCESS OF GROUT. AFTER PRELIMINARY SET, REMOVE TAPE AND PROVIDE SUCH ADDITIONAL WATER AND BRUSH CLEANING OF BRICK SURFACE TO REMOVE ALL RESIDUES.
- 04500-2 REPAIRING DEFECTING JOINTS AND BRICKS AT SIDES AND BACKS OF PARAPETS STEPS**
1. REMOVE BROKEN BRICKS AND REPLACE WITH LIKE SIZE/COLOR WATERSTRUCK RED BRICK, SALVAGE MAY BE USED.
 2. CUT OUR DEFECTIVE JOINTS, END TO END, WITHOUT DAMAGING SURROUNDING UNITS.
 3. SET BRICKS IN FULL MORTAR BED, REPOINT JOINTS IN LAYERS NOT TO EXCEED 1/2".
 4. PROVIDE TYPE O (1:2:8, CEMENT:LIME:SAND) MORTAR MATCHED TO COLOR OF SURROUNDING JOINTS.
 5. COMPACT JOINTS AND PROVIDE FINISH PROFILE TO MATCH SURROUNDING SOUND JOINTS.
- 04500-3**
1. REMOVE PARAPET CAPSTONES OF THE EAST MOST GABLES OF THE NORTH AND SOUTH ELEVATION USING WIDE SLINGS TO PREVENT DAMAGE TO STONE.
 2. INSTALL 20 OZ. RED COPPER FLASHINGS WITH DRIP EDGE ON ALL SIDES.
 3. PROVIDE 2 STAINLESS STEEL EPOXY SET 3/8" DIA. RODS, 8" LONG, 6" EMBEDMENT INTO BRICK BELOW AND 2" INTO LIMESTONE CAP. PROVIDE COPPER THIMBLE OVER ROD, SOLDERED TO THE FLASHING.
 4. RESET LIMESTONE CAP OVER "DABS" OF SEALANT.

- 04500-4 PROVIDE WEEP HOLES OVER THREE WINDOWS INTO CAVITY IN BRICK WALL. REFER TO ELEVATIONS FOR LOCATIONS.**
1. PROVIDE 3/8" WIDE X 8" DEEP X 2" HIGH UPWARD FACING TO INTERIOR WEEP DRILL HOLES ABOVE EAST, NORTH AND SOUTH WINDOWS.
 2. PROVIDE COPPER WOOL PLUG FOR FACE OF HOLE.
- DIVISION 6 - WOOD AND PLASTICS**
1. BUILD NEW CHIMNEY CRICKETS PER DRAWINGS. PRESSURE TREATED 2X FRAMING WITH 3/4" CDX PLYWOOD SHEATHING.
 2. INSPECT AND REPAIR ANY SHEATHING ROT WITH SOLID WOOD BOARDS TO MATCH EXISTING DIMENSIONS. ALLOW 25 SQ. FEET. STAIN INTERIOR FACE TO MATCH SURROUNDING AGED/STAIN WOOD FINISH
 3. INSPECT AND REPAIR ANY DAMAGED ROOF EAVE & RAKE WOOD TRIM. PROVIDE EPOXY CONSOLIDATION AND FILL AS REQUIRED USING ABATRON, WEST SYSTEM OR ACCEPTABLE EQUAL. ALLOW 5 SQ FEET (TOTAL) IN NOT MORE THAN 3 LOCATIONS. SAND AND RE-STAIN WOOD... REFER AREAS REQUIRING REPLACEMENT TO ARCHITECT, REPLACEMENT MATERIALS SHALL BE TRUE MAHOGANY

DIVISION 7 - THERMAL AND MOISTURE PROTECTIONS

- 07500-1 GENERAL**
1. REMOVE AND REPLACE ALL SLATE SHINGLE ROOFING DOWN TO ROOF DECK FROM THE SCOPE OF WORK LINE TO THE PLYMPTON STREET FAÇADE OVER SPECIFIED UNDERLAYMENTS. PROVIDE COPPER CANT AND STARTER COURSE PER DETAILS. PROVIDE COPPER DRIP EDGE AT RAKES.
 2. REMOVE AND REPLACE ALL STEP-FLASHING AT THE PLYMPTON STREET CHIMNEYS. MOUNT AUBURN STREET CHIMNEYS. PROVIDE NEW COUNTERFLASHING FULLY COVERING REAR BRICK WALL AT EAST END PARAPETS ON THE MT. AUBURN STREET (SOUTH) AND BOW STREET (NORTH). PROVIDE FLASHING UNDER CAPSTONES ON MT. AUBURN AND BOW STREETS.
 3. REMOVE/MODIFY AND REINSTALL EXISTING COUNTERFLASHING ON PLYMPTON STREET PARAPET, MODIFY FOR NEW CHIMNEY CRICKETS AS NECESSARY
 4. REMOVE/MODIFY AND REINSTALL COPPER BELL TOWER SKIRT WALLS TO ALLOW REMOVAL AND REPLACEMENT OF STEP-FLASHING AROUND THE BELL TOWER
 5. REMOVE AND REPLACE ALL COPPER OPEN VALLEYS
 6. REMOVE AND REPLACE EXISTING CHIMNEY CAPS (2) AT PLYMPTON STREET AND (1) AT MT. AUBURN STREET CHIMNEYS.
 7. REMOVE EXISTING AND PROVIDE NEW SNOW RAIL AT PLYMPTON STREET
 8. PROVIDE NEW STEP FLASHING BETWEEN ROOF AND VERTICAL DORMER WALLS, 2 LOCATIONS. (DORMER NUMBERS - B-C & M-C)
 9. PROVIDE BOSTON RIDGE DETAIL WITH WOVEN COPPER FLASHING.
 10. RETAIN EXISTING GUTTERS, COLLECTION BOXES, AND GUTTER HANGERS. RETAIN EXISTING VERTICAL COPPER CLADDING AT BELL TOWER
- 07500-2 MATERIALS**
1. PROVIDE FULL COVERAGE ICE AND WATER SHIELD, RUN UP THE BACKS AND CAPS OF PARAPET S, AND MINIMUM 6" UP CHIMNEYS. PROVIDE HIGH TEMPERATURE ICE AND WATER SHIELD AT SOLDERED AREAS, INC. CRICKETS.
 2. PROVIDE 15 LB. FELT OVER 18W; PROVIDE ROSIN PAPER OVER FELT AT VALLEYS AND CRICKETS.
 3. COPPER SHALL BE RED 200Z. (RED) COPPER AT ALL VALLEYS, CRICKETS, FLASHING, CAPS
 4. PROVIDE NORTH COUNTRY BLACK SLATE, GRADE S1, MATCH EXISTING LAYOUT AND COURSING.
 5. BRASS SNOW RAIL -ALPINE SNOW GUARDS:
-3-TUBE RAIL BRASS MOUNTING PLATE - PP325
 6. PROVIDE BARBED COPPER ROOFING NAILS OF SUFFICIENT LENGTH TO PROVIDE PROPER DECK PENETRATION.
- DIVISION 9 PAINT AND COATINGS**
1. PREPARE AND RECOAT AND ALL EXPOSED WOOD TRIM IN SCOPE OF WORK AREA, EAVES AND RAKE TRIM ON THE EAST END, AND EAST SIDE OF THE EAST END DORMER.
 2. BENJAMIN MOORE, CABOT OR SHERWIN WILLIAMS FIRST LINE EXTERIOR GRADE OIL BASED OPAQUE STAIN TO MATCH EXISTING COLOR. SAND, PRIME, AND PROVIDE 2 FINISH COATS.



OUTLINE SPECIFICATION

PHASE 1 - THE SCOPE OF WORK FOR THE HARVARD LAMPOON EAST END EXTERIOR RESTORATION/REPAIRS TO REPAIR LEAKS IN THE ROOF AND OR MASONRY WALLS THAT ARE AFFECTING THE PLYMPTON STREET END OF THE BUILDING WITH WATER SHOWING UP AROUND THE LIMESTONE WINDOW SURROUNDS.

GENERAL NOTES:

- THE EXTERIOR WALLS OF THE BUILDING ARE BUILT TO THE LOT LINE AND IT IS SURROUNDED BY SIDEWALKS AND ROADS ON ALL SIDES. PROVIDE PROTECTION FOR PEDESTRIANS TO PASS UNDER WORK AREA.
- PROVIDE AN ESTIMATED SCHEDULE FOR PROJECT START DATE AND COMPLETION.
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- FUTURE WORK. PHASE 2 & PHASE 3 ARE PROJECTS THAT COVER FUTURE EXTERIOR RESTORATION OF THE REST OF THE BUILDING TO BE ROUGH ESTIMATED FOR BUDGETING AND SCHEDULING.

PHASE 2- CONSISTS OF THE REST OF THE MT. AUBURN STREET FAÇADE AND AROUND THE FRONT TURRET, INCLUDING THE STEPS, ROOF, STAINED GLASS WINDOWS, STONE AND BRICK REPAIRS, & ROOF REPLACEMENT.

PHASE 3- CONSISTS OF THE RESTORATION OF THE REST OF THE BOW STREET FAÇADE, INCLUDING THE STONE AND BRICK REPAIRS, STAINED GLASS WINDOWS, ROOF REPLACEMENT, AND CLEANING OF THE INTERIOR BRICK & STONE WALLS OF THE GREAT HALL.

DIVISION 1 - GENERAL CONDITIONS:

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 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO THE BUILDING WITH THE LAMPOON BUILDING MANAGER-ERIC HERSUM.
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 - PROVIDE POLYETHYLENE COVERS UNDER 3/4" PLYWOOD FULL PROTECTION OVER THE WINDOWS WITHIN THE WORK ZONE.
- PROGRESS REPAIRS TO PROJECT**
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTICING ANY STRUCTURAL DEFORMATION, DECAY, OR INADEQUACY AS WORK PROGRESSES AND SHALL NOTIFY ARCHITECT IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO WORK DONE BY THE CONTRACTOR DEEMED NECESSARY BY THE INSPECTING BUILDING OFFICIALS AND THE ARCHITECT.
- FIRE PREVENTION**
 - THE WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PREVENT FIRE. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST FIRES STARTING AND SPREADING ON THE SITE AND WITHIN THE BUILDING AND TEMPORARY STRUCTURES. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF EXTINGUISHING FIRES, (DRY CHEMICAL FIRE EXTINGUISHERS RATED FOR A, B, AND C FIRES) DURING ALL PHASES OF THE WORK. THERE WILL BE NO SMOKING INSIDE THE BUILDING AT ANY TIME. NO FIRES MAY BE BUILT ON THE PREMISES.
 - GASOLINE AND OTHER FLAMMABLE LIQUIDS SHALL NOT BE STORED WITHIN THE BUILDING. THEY SHALL BE STORED IN AND DISPENSED FROM U.L. LISTED SAFETY CONTAINERS. TARPULINS USED ON THE SITE SHALL BE MADE OF FIRE-RESISTANT MATERIAL AND BE U.L. LISTED.
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- WORKMAN'S COMPENSATION
- THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION, AND ALL OTHER INSURANCES AS REQUIRED BY THE OWNER, TO PROTECT THE OWNER FOR ANY AND ALL CLAIMS DURING THE COURSE OF CONSTRUCTION. ADDITIONALLY THE OWNER SHALL MAINTAIN GENERAL FIRE, THEFT, AND VANDALISM INSURANCE AND LIABILITY INSURANCE.
- SCHEDULE OF VALUES:
- PROVIDE A SCHEDULE OF VALUES FOR EACH TRADE AND CONSTRUCTION SYSTEM.
- SAMPLES:
PROVIDE ARCHITECT/OWNER A SAMPLE OF THE FOLLOWING ITEMS BEFORE INSTALLATION FOR APPROVAL:
-SLATE ROOF SHINGLES
-BRICK & MORTAR
-WOOD STAIN
-MOCK-UP EACH OF THE ROOF DETAILS
-MOCK-UP WEEP HOLES
- CLEAN UP
 - UPON COMPLETION OF EACH PHASE OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE PROJECT LEAVING IT FREE FROM ALL DEBRIS AND WASTE, IN A BROOM CLEAN CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF RUBBISH AND DEBRIS, AND IN A NEAT, ORDERLY CONDITION AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE TRASH BARRELS FOR USE BY WORKMEN.
 - WASH ALL WINDOWS IN THE SCOPE OF WORK AREAS AT THE END OF THE PROJECT.

DIVISION 4 - MASONRY

- 04500-1 GROUTING SMALL VOIDS IN EXTERIOR WALL SURROUNDING SECOND FLOOR WINDOWS**
- CONTRACTOR TO INSPECT IDENTIFY AND MARK ALL CRACKS, DEFECTS AND VOIDS IN MORTAR JOINTS WITHIN THE WORK AREA. ARCHITECT SHALL REVIEW AND APPROVE THE SCOPE OF WORK MARKED. BASE BID SHALL BE BASED ON 15 AREAS EACH ONE JOINT WIDTH BY NOT MORE THAN 15" LONG. NOTE: ALL DEFECTS IN JOINTS ARE MINOR.
 - USE FINE HAND TOOLS TO REMOVE DEFECTIVE AREAS OF MORTAR. POWER TOOLS SHALL NOT BE USED.
 - USING A SYRINGE, INJECT THE FULL LENGTH AND DEPTH OF THE CRACK WITH VOIDSPAN PHL70 INJECTION GROUT ACCORDING TO MANUFACTURER'S MIXING AND INSTALLATION REQUIREMENTS, PROTECT SURROUNDING MASONRY WITH TAPE.
 - WIPE CLEAN SURFACE EXCESS OF GROUT. AFTER PRELIMINARY SET, REMOVE TAPE AND PROVIDE SUCH ADDITIONAL WATER AND BRUSH CLEANING OF BRICK SURFACE TO REMOVE ALL RESIDUES.
- 04500-2 REPAIRING DEFECTING JOINTS AND BRICKS AT SIDES AND BACKS OF PARAPETS STEPS**
- REMOVE BROKEN BRICKS AND REPLACE WITH LIKE SIZE/COLOR WATERSTRUCK RED BRICK, SALVAGE MAY BE USED.
 - CUT OUR DEFECTIVE JOINTS, END TO END, WITHOUT DAMAGING SURROUNDING UNITS.
 - SET BRICKS IN FULL MORTAR BED, REPOINT JOINTS IN LAYERS NOT TO EXCEED 1/2".
 - PROVIDE TYPE O (1:2:8, CEMENT:LIME:SAND) MORTAR MATCHED TO COLOR OF SURROUNDING JOINTS.
 - COMPACT JOINTS AND PROVIDE FINISH PROFILE TO MATCH SURROUNDING SOUND JOINTS.
- 04500-3**
- REMOVE PARAPET CAPSTONES OF THE EAST MOST GABLES OF THE NORTH AND SOUTH ELEVATION USING WIDE SLINGS TO PREVENT DAMAGE TO STONE.
 - INSTALL 20 OZ. RED COPPER FLASHINGS WITH DRIP EDGE ON ALL SIDES.
 - PROVIDE 2 STAINLESS STEEL EPOXY SET 3/8" DIA. RODS, 8" LONG, 6" EMBEDMENT INTO BRICK BELOW AND 2" INTO LIMESTONE CAP. PROVIDE COPPER THIMBLE OVER ROD, SOLDERED TO THE FLASHING.
 - RESET LIMESTONE CAP OVER "DABS" OF SEALANT.

- 04500-4 PROVIDE WEEP HOLES OVER THREE WINDOWS INTO CAVITY IN BRICK WALL. REFER TO ELEVATIONS FOR LOCATIONS.**
- PROVIDE 3/8" WIDE X 8" DEEP X 2" HIGH UPWARD FACING TO INTERIOR WEEP DRILL HOLES ABOVE EAST, NORTH AND SOUTH WINDOWS.
 - PROVIDE COPPER WOOL PLUG FOR FACE OF HOLE.

DIVISION 6 - WOOD AND PLASTICS

- BUILD NEW CHIMNEY CRICKETS PER DRAWINGS. PRESSURE TREATED 2X FRAMING WITH 3/4" CDX PLYWOOD SHEATHING.
- INSPECT AND REPAIR ANY SHEATHING ROT WITH SOLID WOOD BOARDS TO MATCH EXISTING DIMENSIONS. ALLOW 25 SQ. FEET. STAIN INTERIOR FACE TO MATCH SURROUNDING AGED/STAIN WOOD FINISH
- INSPECT AND REPAIR ANY DAMAGED ROOF EAVE & RAKE WOOD TRIM. PROVIDE EPOXY CONSOLIDATION AND FILL AS REQUIRED USING ABATRON, WEST SYSTEM OR ACCEPTABLE EQUAL. ALLOW 5 SQ FEET (TOTAL) IN NOT MORE THAN 3 LOCATIONS. SAND AND RE-STAIN WOOD... REFER AREAS REQUIRING REPLACEMENT TO ARCHITECT, REPLACEMENT MATERIALS SHALL BE TRUE MAHOGANY

DIVISION 7 - THERMAL AND MOISTURE PROTECTIONS

07500-1 GENERAL

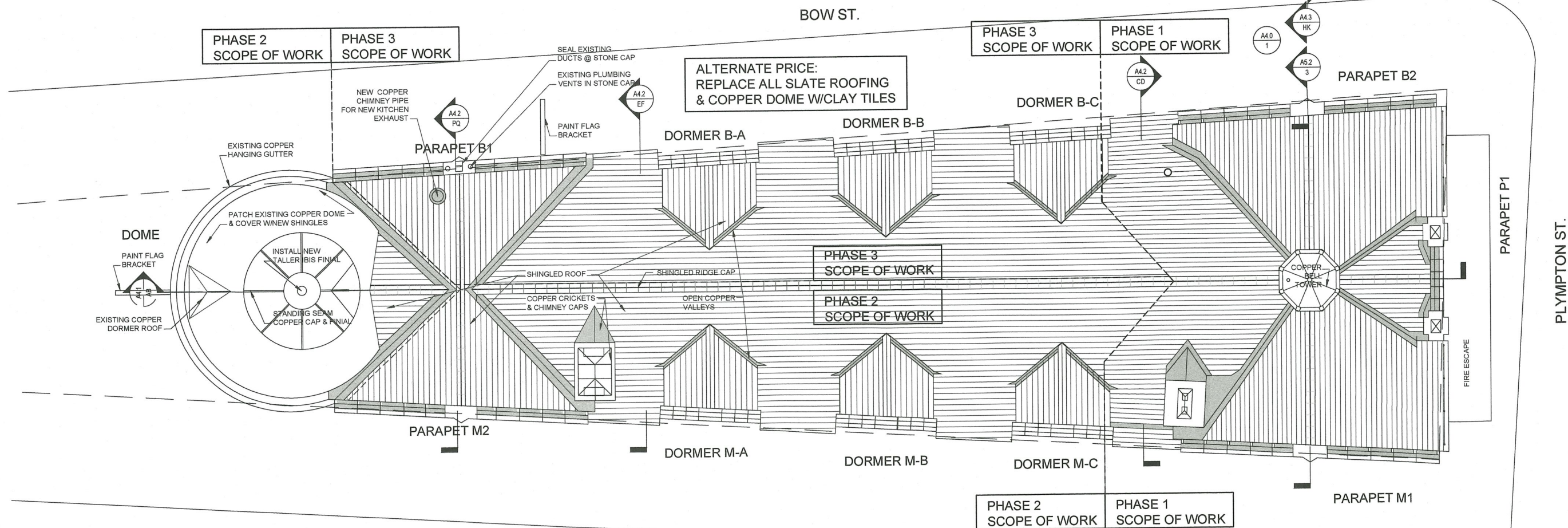
- REMOVE AND REPLACE ALL SLATE SHINGLE ROOFING DOWN TO ROOF DECK FROM THE SCOPE OF WORK LINE TO THE PLYMPTON STREET FAÇADE OVER SPECIFIED UNDERLAYMENTS. PROVIDE COPPER CANT AND STARTER COURSE PER DETAILS. PROVIDE COPPER DRIP EDGE AT RAKES.
- REMOVE AND REPLACE ALL STEP-FLASHING AT THE PLYMPTON STREET CHIMNEYS. MOUNT AUBURN STREET CHIMNEYS. PROVIDE NEW COUNTERFLASHING FULLY COVERING REAR BRICK WALL AT, EAST END PARAPETS ON THE MT. AUBURN STREET (SOUTH) AND BOW STREET (NORTH). PROVIDE FLASHING UNDER CAPSTONES ON MT. AUBURN AND BOW STREETS.
- REMOVE/MODIFY AND REINSTALL EXISTING COUNTERFLASHING ON PLYMPTON STREET PARAPET, MODIFY FOR NEW CHIMNEY CRICKETS AS NECESSARY
- REMOVE/MODIFY AND REINSTALL COPPER BELL TOWER SKIRT WALLSTO ALLOW REMOVAL AND REPLACEMENT OF STEP-FLASHING AROUND THE BELL TOWER
- REMOVE AND REPLACE ALL COPPER OPEN VALLEYS
- REMOVE AND REPLACE EXISTING CHIMNEY CAPS (2) AT PLYMPTON STREET AND (1) AT MT. AUBURN STREET CHIMNEYS.
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- PROVIDE BOSTON RIDGE DETAIL WITH WOVEN COPPER FLASHING.
- RETAIN EXISTING GUTTERS, COLLECTION BOXES, AND GUTTER HANGERS. RETAIN EXISTING VERTICAL COPPER CLADDING AT BELL TOWER

07500-2 MATERIALS

- PROVIDE FULL COVERAGE ICE AND WATER SHIELD, RUN UP THE BACKS AND CAPS OF PARAPET S, AND MINIMUM 6" UP CHIMNEYS. PROVIDE HIGH TEMPERATURE ICE AND WATER SHIELD AT SOLDERED AREAS, INC. CRICKETS.
- PROVIDE 15 LB. FELT OVER I&W; PROVIDE ROSIN PAPER OVER FELT AT VALLEYS AND CRICKETS..
- COPPER SHALL BE RED 200Z. (RED) COPPER AT ALL VALLEYS, CRICKETS, FLASHING, CAPS
- PROVIDE NORTH COUNTRY BLACK SLATE, GRADE S1, MATCH EXISTING LAYOUT AND COURSING.
- BRASS SNOW RAIL -ALPINE SNOW GUARDS:
-3-TUBE RAIL BRASS MOUNTING PLATE - PP325
- PROVIDE BARBED COPPER ROOFING NAILS OF SUFFICIENT LENGTH TO PROVIDE PROPER DECK PENETRATION.

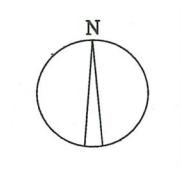
DIVISION 9 PAINT AND COATINGS

- PREPARE AND RECOAT AND ALL EXPOSED WOOD TRIM IN SCOPE OF WORK AREA, EAVES AND RAKE TRIM ON THE EAST END, AND EAST SIDE OF THE EAST END DORMER.
- BENJAMIN MOORE, CABOT OR SHERWIN WILLIAMS FIRST LINE EXTERIOR GRADE OIL BASED OPAQUE STAIN TO MATCH EXISTING COLOR. SAND , PRIME, AND PROVIDE 2 FINISH COATS.



ROOF PLAN
SCALE: 1/4" = 1'-0"

ART Albert - Richter - Tittmann
ARCHITECTS
262 Washington Street 2nd Floor - Boston, MA 02108
617-451-5740 ARTarchitects.com

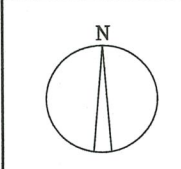


Harvard Lampoon
Exterior Restoration
44 Bow St. Cambridge

JBT	
EUR	
PHASE 2&3	
7/09/2021	

EXISTING CONDITIONS ROOF PLAN
WITH NOTES PER PTA
2127
1/4" = 1'-0"

A2.4

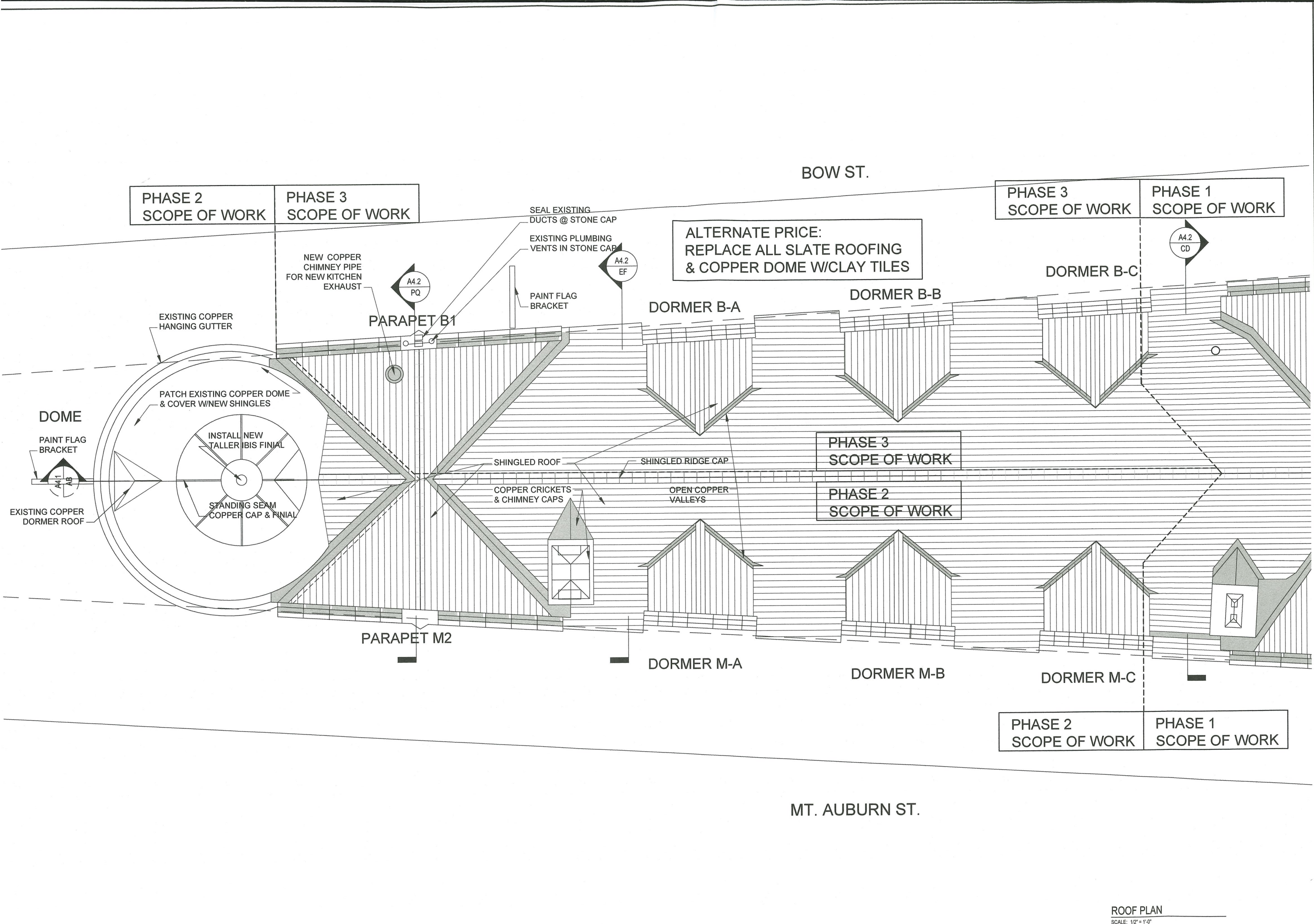


Harvard Lampoon
Exterior Restoration
44 Bow St. Cambridge

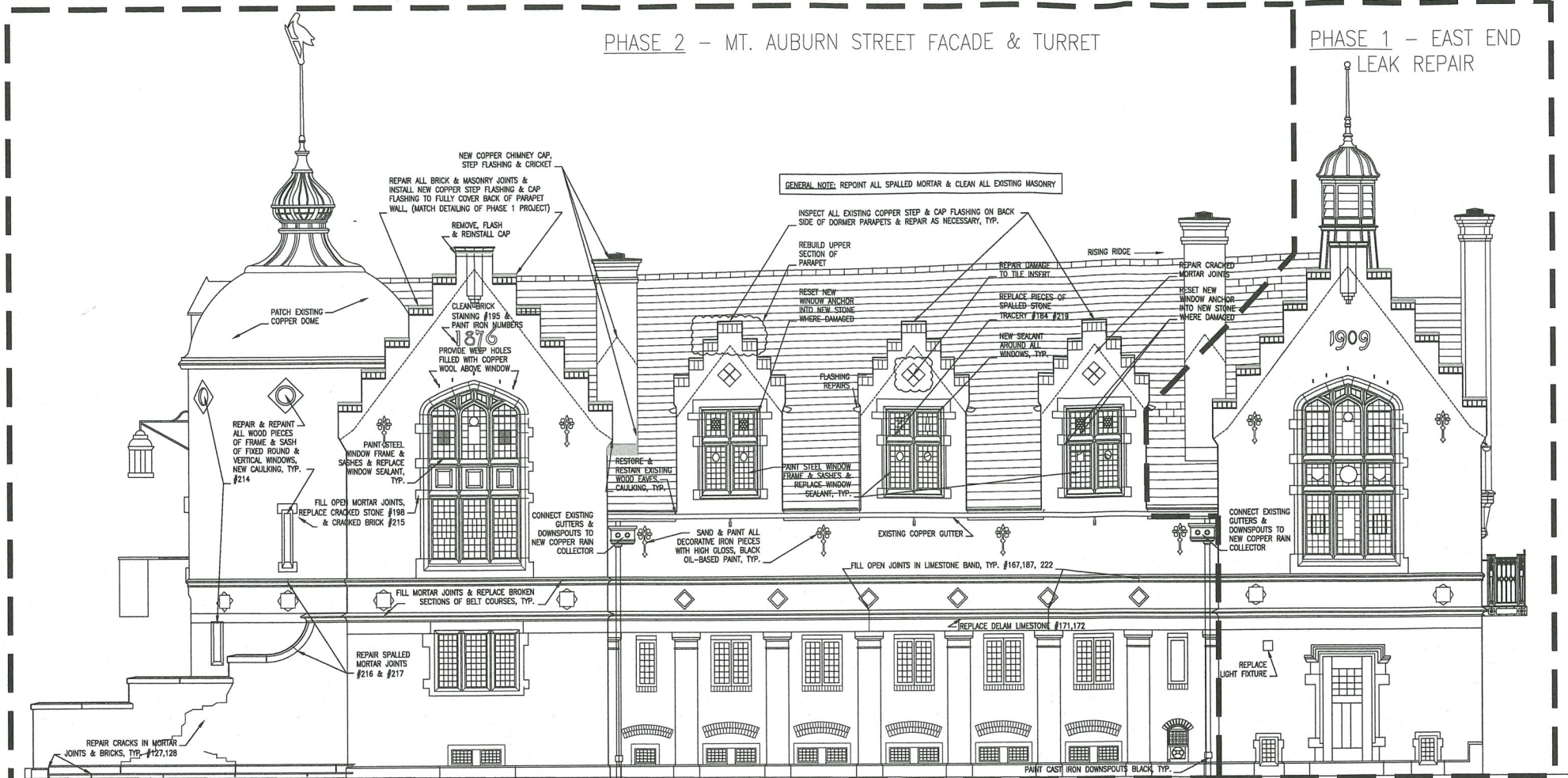
7/09/2021	PHASE 2&3	EUR	JBT
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ENLARGED ROOF PLAN
2127
3/8" = 1'-0"

A2.5

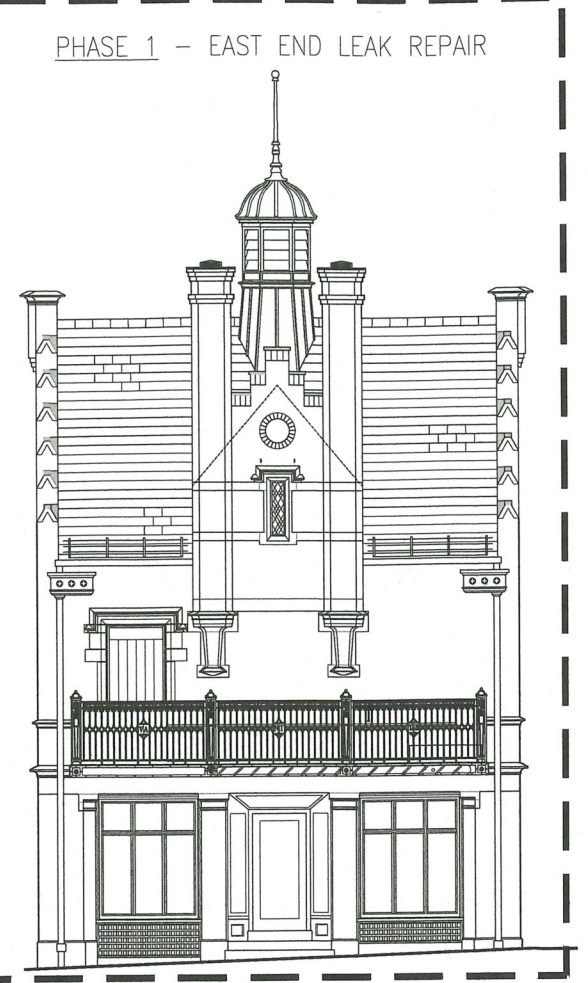


ROOF PLAN
SCALE: 1/2" = 1'-0"

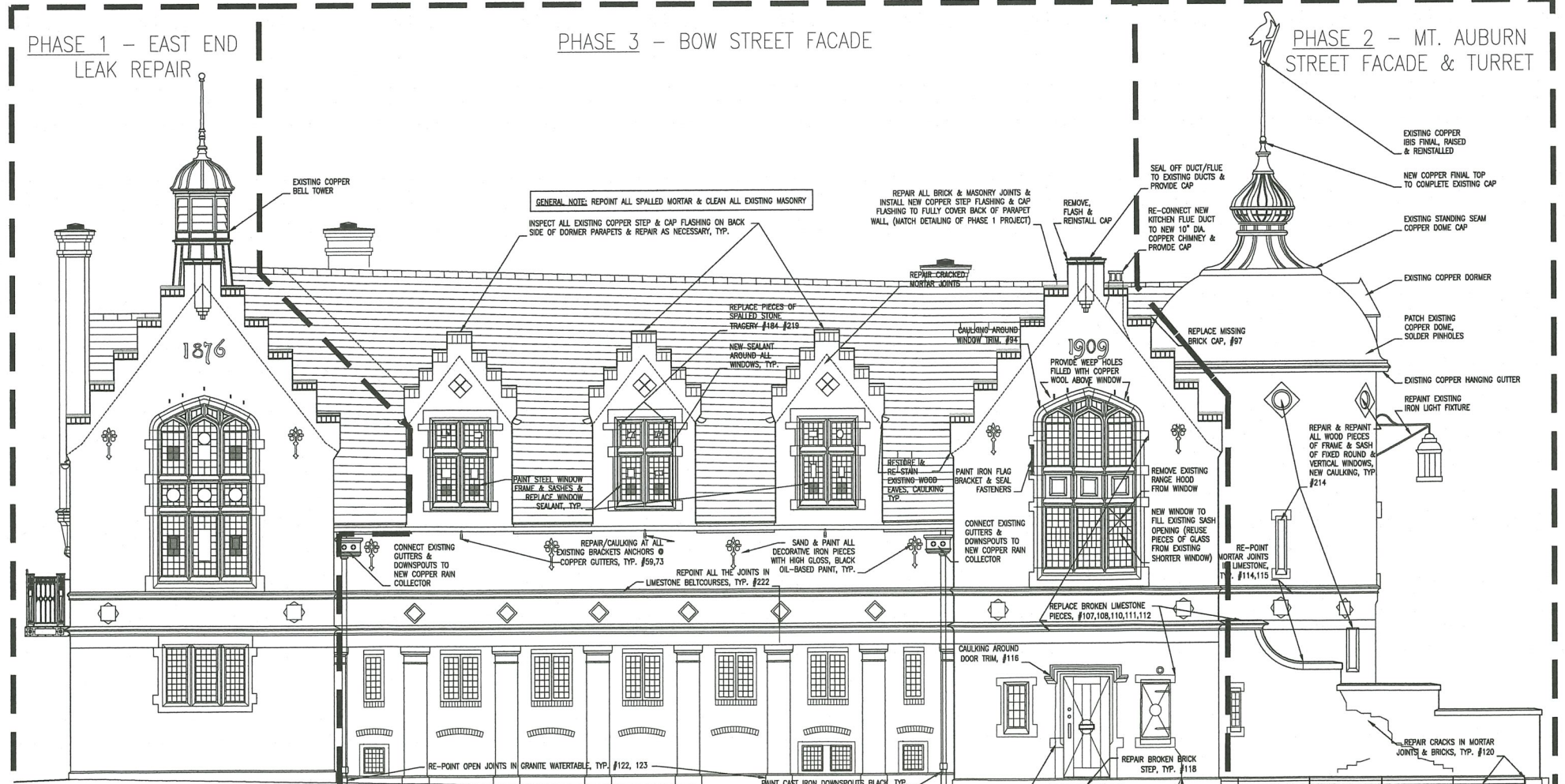


A MOUNT AUBURN STREET ELEVATION
SCALE: 3/16" = 1'-0"

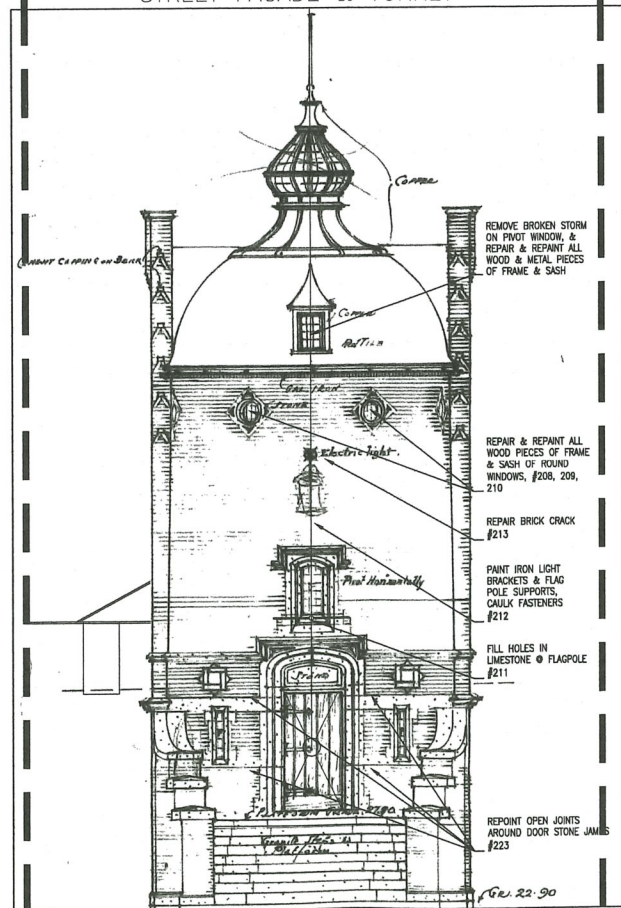
PHASE 1 - EAST END LEAK REPAIR



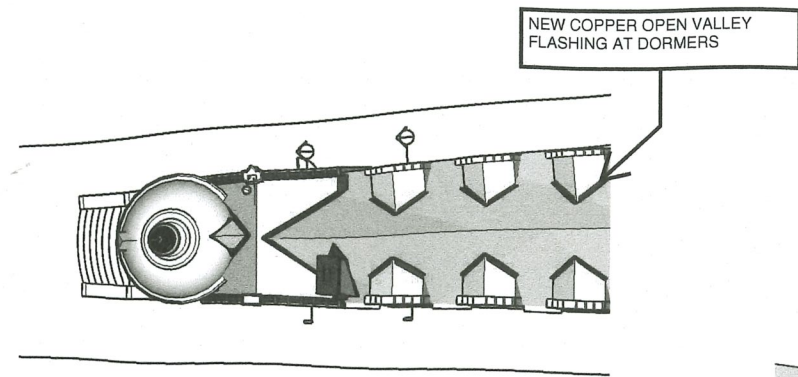
C PLYMPTON STREET ELEVATION
SCALE: 3/16" = 1'-0"



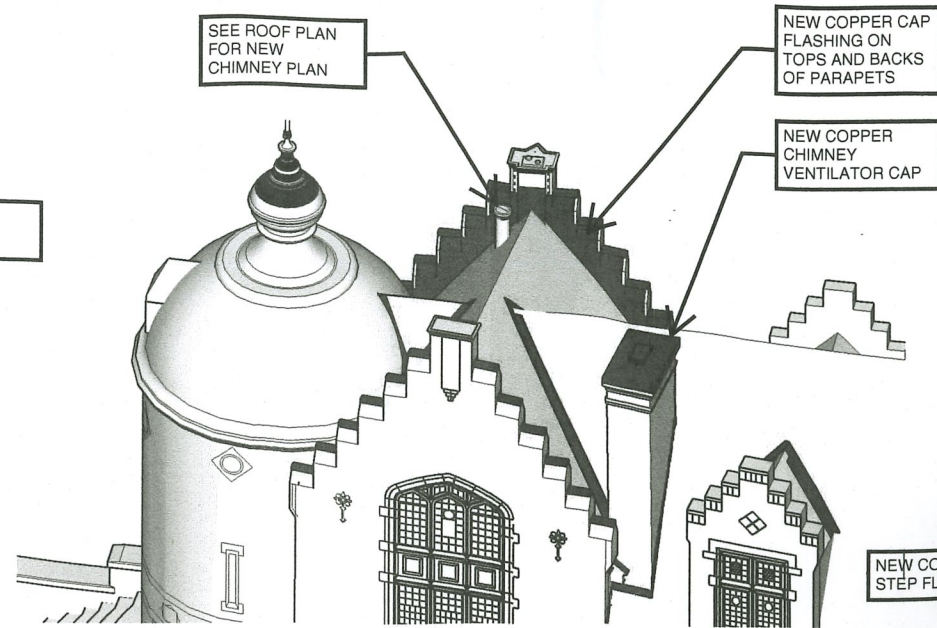
PHASE 2 - MT. AUBURN STREET FACADE & TURRET



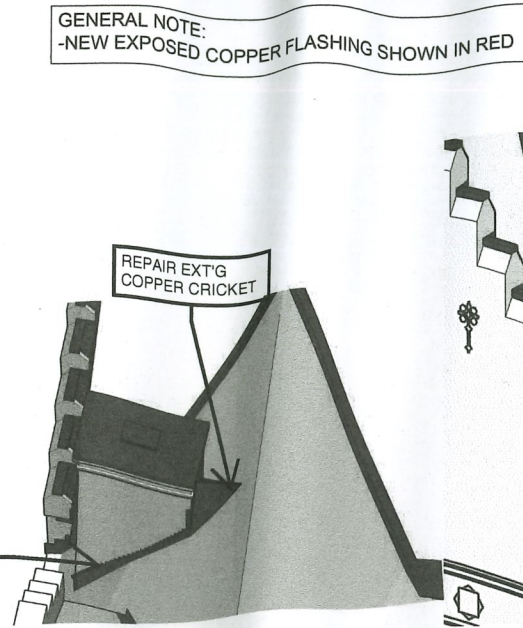
TITLE	DATE	ISSUE	DRAWN	CHECKED
EXISTING ELEVATIONS PROJECT PHASES	7/09/2021	BIDDING-PHASE 2&3	ER	JBT
JOB NUMBER	2127			
SCALE	3/16" = 1'-0"			



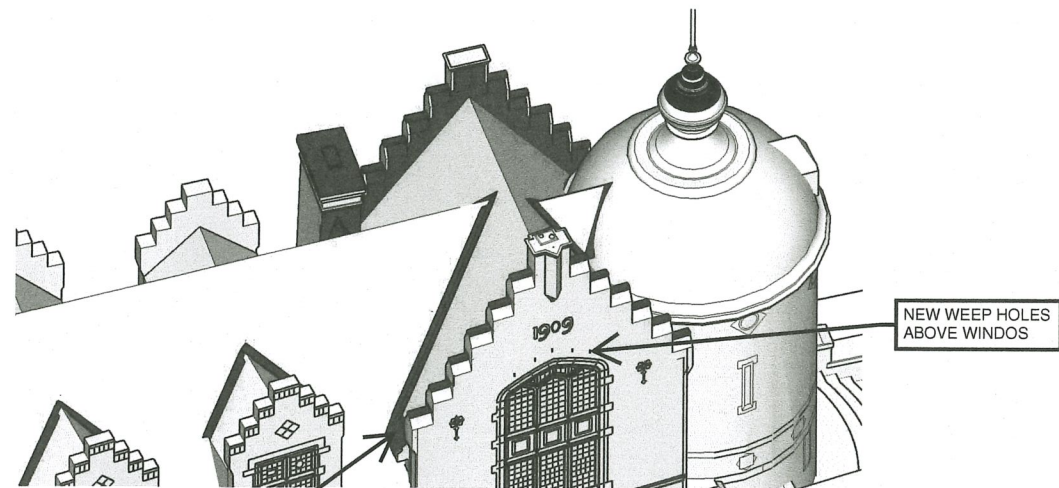
1 WEST END - 3D ROOF VIEW
SCALE: NTS



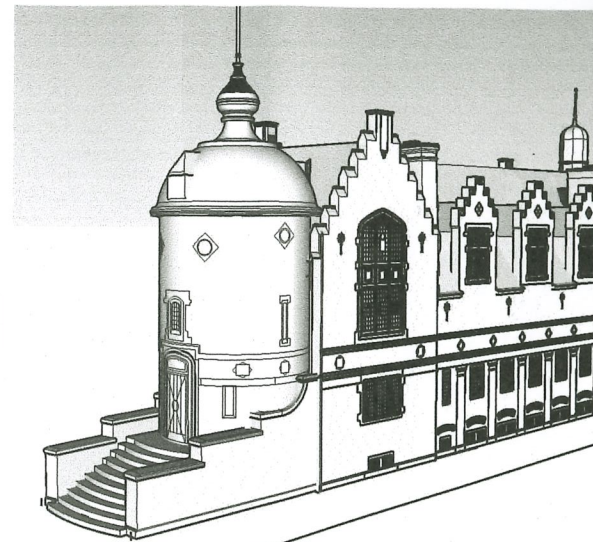
2 3D VIEW- MT. AUBURN STREET
SCALE: NTS



3 MT. AUBURN ST. CHIMNEY-SIDE
SCALE: NTS



4 3D VIEW - BOW STREET
SCALE: NTS



5 3D VIEW- TURRETT
SCALE: NTS

7/09/2021	BIDDING	GFL	EUR

PROPOSED PARAPET DETAIL ELEVATIONS & DETAIL SECTIONS	NOT TO SCALE
2127	