

The Hathaway Bakery Building

15-33 RICHDALe AVENUE, CAMBRIDGE, MA 02140



DRAWING LIST

A000 COVER SHEET

CIVIL :

C 1.0 EXISTING CONDITIONS
C 1.1 SEDIMENT AND EROSION CONTROL PLAN
C 2.0 SITE & UTILITY PLAN
C 3.0 DETAILS
C 3.1 DETAILS

ARCHITECTURAL :

AS100 SITE CONTEXT PLAN
X001 EXISTING BUILDING PHOTOS
X002 EXISTING BUILDING PHOTOS
X003 EXISTING BUILDING PHOTOS
X004 EXISTING NEIGHBORHOOD PHOTOS
X101 EXISTING BASEMENT, MEZZANINE, AND FIRST FLOOR PLAN
X102 EXISTING SECOND, MEZZANINE, AND THIRD FLOOR PLAN
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A401 PERSPECTIVE VIEW
A402 PERSPECTIVE VIEW
A450 SHADOW STUDIES

Special Permit Submission, March 17, 2014

ARCHITECT

bh+a

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PROJECT NAME

**The Hathaway
Bakery Building**

15-33 Richdale Avenue
Cambridge, MA 02140

CLIENT

**Hathaway
Partners LLC.**

30 Brattle Street, 4th Floor
Cambridge, MA 02138

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Landscape Architecture Inc.
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ENGINEERS**

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REVISIONS

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Cover

DRAWING INFORMATION

March 17, 2014

DATE OF ISSUE

Submission Set

DESCRIPTION

bh+a

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DRAWING TITLE

EXISTING CONDITIONS

DRAWING INFORMATION

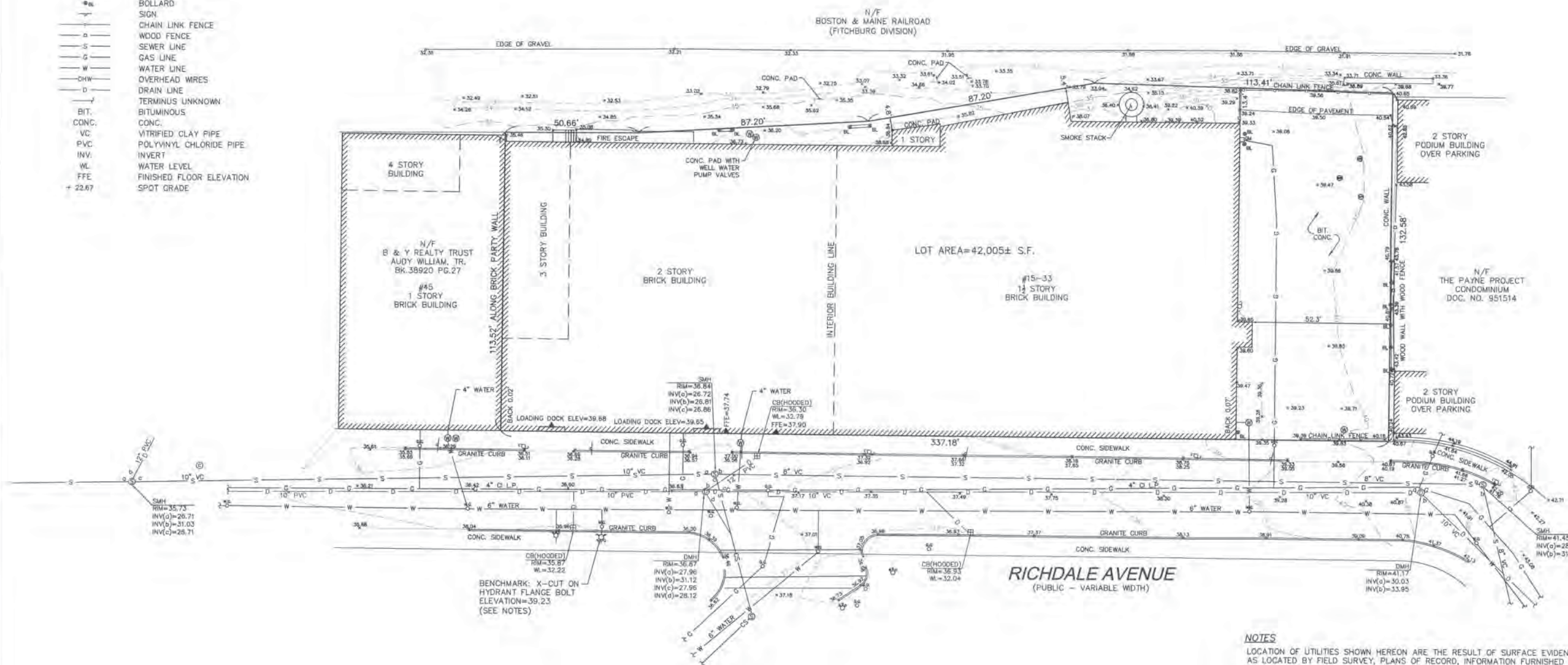
DATE	July 15, 2013
DATE OF SCALE	
PROJECT	15-33 Richdale Ave
DRAWN BY	RLB
CHECKED BY	RLB
PROJECT #	15-33 Richdale Ave
FILE NAME	

DRAWING NUMBER

C1.0

LEGEND

UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
WATER SHUT OFF	WATER SHUT OFF
WATER GATE	WATER GATE
WATER MANHOLE	WATER MANHOLE
MONITORING WELL	MONITORING WELL
CATCH BASIN (CB)	CATCH BASIN (CB)
DRAIN MANHOLE (DMH)	DRAIN MANHOLE (DMH)
SEWER MANHOLE (SMH)	SEWER MANHOLE (SMH)
UNKNOWN MANHOLE	UNKNOWN MANHOLE
GAS GATE	GAS GATE
GAS METER	GAS METER
BOLLARD	BOLLARD
SIGN	SIGN
CHAIN LINK FENCE	CHAIN LINK FENCE
WOOD FENCE	WOOD FENCE
SEWER LINE	SEWER LINE
GAS LINE	GAS LINE
WATER LINE	WATER LINE
OVERHEAD WIRES	OVERHEAD WIRES
DRAIN LINE	DRAIN LINE
TERMINUS UNKNOWN	TERMINUS UNKNOWN
BIT.	BITUMINOUS
CONC.	CONC.
VC	VITRIFIED CLAY PIPE
PVC	POLYVINYL CHLORIDE PIPE
INV.	INVERT
WL	WATER LEVEL
FFE	FINISHED FLOOR ELEVATION
+ 22.67	SPOT GRADE

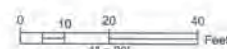


PLAN REFERENCES

- L.C. PLAN NO. 10925A
- L.C. PLAN NO. 2930
- PL. 104 OF 1972

LOCUS TITLE INFORMATION

15-33 RICHDALE AVENUE
 OWNER: HATHWAY PARTNERS, LLC
 DEED REFERENCE: BK. 61730 PG. 177
 PLAN REFERENCE: PL. 104 OF 1972
 ASSESSORS: PARCEL ID 178-122



NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE BASE DATUM.
 ABUTTERS INFORMATION WAS TAKEN CITY OF CAMBRIDGE ASSESSORS RECORDS ON JULY 1, 2013.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN JUNE 21 & JULY 9, 2013, BY DESIGN CONSULTANTS, INC.

P.L.S. *Everett J. Chandler*
 EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE *7/15/13*



PROJECT NAME AND LOCATION
 THE HATHAWAY BAKERY BUILDING
 15-33 RICHDALE AVENUE, CAMBRIDGE, MA

DESCRIPTION
 THE APPLICANT PROPOSES TO RENOVATE THE EXISTING BUILDING TO CONSTRUCT 46 RESIDENTIAL UNITS.

SOIL CHARACTERISTICS

THE EXISTING SITE IS PRESENTLY PREDOMINANTLY DEVELOPED. THE NRCS WEB SOIL SURVEY IDENTIFY THE EXISTING SITE SOILS AS BEING URBAN LAND.

SEQUENCE OF MAJOR ACTIVITIES

- THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.964± ACRES.
1. INSTALL EROSION CONTROLS, CLEAR AND GRUB SITE.
 2. STRIP AND STOCKPILE TOPSOILS.
 3. CLEAR & GRUB, REMOVE PAVEMENT, FENCES, ETC.
 4. CONSTRUCT BUILDING AND UTILITIES.
 5. CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
 6. CONSTRUCT LANDSCAPING.
 7. REMOVE EROSION CONTROLS.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

1. A MINIMUM OF 65% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

1. TEMPORARY SEEDING.
2. MULCHING.
3. STONE RIP RAP.
4. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

OFF-SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE AND SILT FENCES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS
 - A. AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
 - D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
 - E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.
2. MAINTENANCE
 - A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

1. WASTE MATERIALS
 - A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

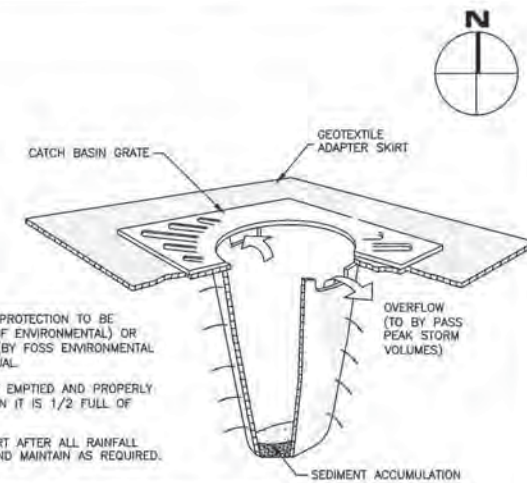
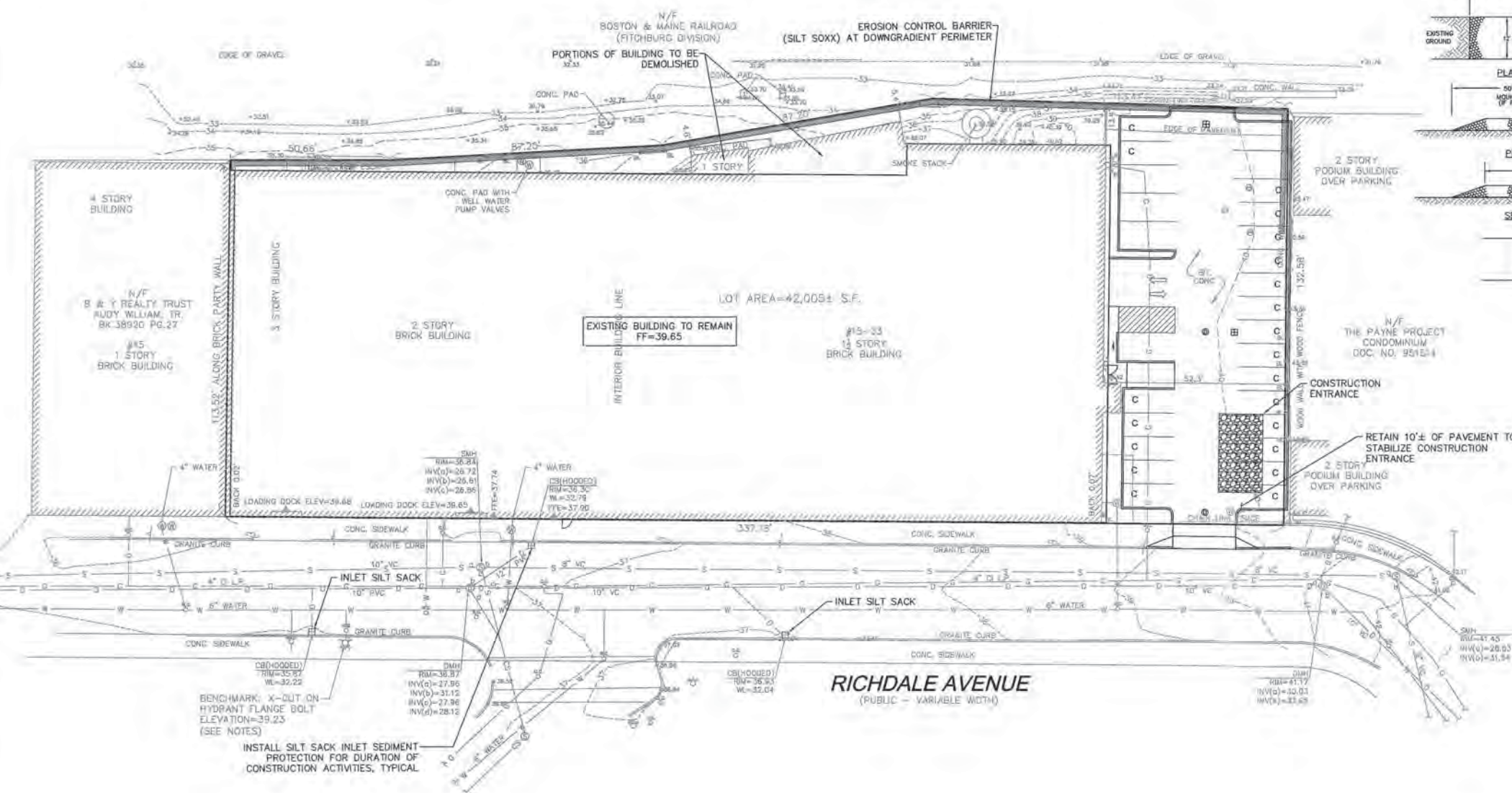
1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 65% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

DUST CONTROL

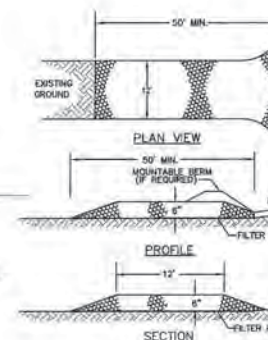
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

ADDITIONAL NOTES FOR DRAINAGE INFILTRATION SYSTEMS

1. THE CONTRACTOR SHALL INSURE NO SEDIMENT ENTERS THE INFILTRATION BASINS DURING CONSTRUCTION. ADDITIONALLY NO SEDIMENT SHALL BE ALLOWED INTO THE DRAINAGE SYSTEM UPON COMPLETION OF THE SYSTEM. ALL SILTATION BARRIERS SHALL BE INSPECTED DAILY AND CLEANED AND MAINTAINED. SILTSACKS SHOULD BE REPLACED BI-WEEKLY OF AFTER ANY STORM EVENT IN EXCESS OF 0.5 INCHES. WATER QUALITY UNITS SHALL BE INSPECTED DAILY AND UNITS SHALL BE CLEANED IF ANY EVIDENCE OF SEDIMENT.



- NOTES**
1. CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
 2. INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
 3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.



CONSTRUCTION SPECIFICATIONS

STONE SIZE - SEE GRADATION TABLE
 LENGTH - 50 FOOT MINIMUM
 THICKNESS - SIX (6) INCHES (MINIMUM)
 WIDTH - 12' MINIMUM
 FILTER FABRIC - MIRAFT 600K OR APPROVED EQUAL

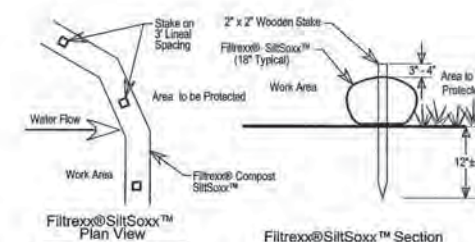
INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBSTRUCTIONAL MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY NEARLIES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CRUSHED STONE GRADATION TABLE	SEIVE SIZE	BY WEIGHT
1/2" inches	100	
3/4" inches	90-100	
1" inches	25-55	
3/8" inches	0-15	
3/8" inches	0-5	

CONSTRUCTION ENTRANCE

NOT TO SCALE



- Notes:**
1. All material to meet Filtrix specifications.
 2. Filtrix compost/soil/rock/seed fill to meet application requirements.
 3. Compost material to be dispersed on site, as determined by

EROSION CONTROL BARRIER

NOT TO SCALE

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REVISIONS

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DRAWING TITLE
SEDIMENT AND EROSION CONTROL PLAN (DRAFT)

DRAWING INFORMATION

March 6, 2014
 DATE OF ISSUE

Progress Drawings
 Description

SCALE: 1"=20'
 DRAWN BY: 3143
 PROJECT: 15-33 Richdale Avenue
 FILENAME:

DRAWING NUMBER
C1.1

GENERAL NOTES:

- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET R.O.W. OR ON ADJUTING LOTS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE LOCATION OF EACH PROPOSED UTILITY CONNECTION.
- THE CITY OF CAMBRIDGE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) MAY NOT BE PART OF DIG-SAFE. THE CONTRACTOR SHALL CONTACT THE CITY OF CAMBRIDGE FOR THE MARKING OF CAMBRIDGE MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO PERFORM ALL WET AND/OR DRY TAPS AS PART OF THIS CONTRACT.
- NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF CAMBRIDGE.
- A DYE TEST SHALL BE PERFORMED BY A CITY OF CAMBRIDGE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
- THE CITY OF CAMBRIDGE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO STANDARDS OF THE CITY OF CAMBRIDGE, DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AGENCY OR BODY WITH AUTHORITY IN THIS AREA.

- ALL EXISTING UTILITY SERVICE CONNECTIONS, SEWER DISPOSAL FACILITIES, AND WELLS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANY.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. (SEE MECHANICAL ENGINEER PLANS)
- CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
- FOR ZONING REQUIREMENTS AND SETBACK INFORMATION, SEE ARCHITECTURAL DRAWING AND ZONING COMPLIANCE PLAN.
- GRADES PROVIDED ARE INTERPOLATED FROM EXISTING CONDITIONS SURVEY. CONTRACTOR SHALL MEET THE EXISTING, UNEXCAVATED TOP OF CURB GRADE AND SIDEWALK GRADE AT THE LIMIT OF WORK.
- ELEVATIONS DEPICTED HEREON ARE ON CITY OF CAMBRIDGE BASE DATUM.

PIPE MATERIALS:

- DOMESTIC WATER SERVICE: CEMENT-LINED DUCTILE IRON (CLDI) CLASS 52 OR COPPER TYPE K (SIZE AND MATERIAL AS NOTED ON PLAN)
- FIRE SERVICE: CEMENT-LINED DUCTILE IRON (CLDI) CLASS 52 OR COPPER TYPE K (SIZE AND MATERIAL AS NOTED ON PLAN)
- SEWER SERVICE: PVC ASTM D3034-SDR 35 SIZE TO BE DETERMINED BY MEP SLOPE=0.020 FT/FT (MINIMUM)
- STORM DRAIN: PVC ASTM D3034-SDR 35 SIZE AS NOTED SLOPE=0.010 FT/FT (MINIMUM)

THRUST BLOCKS:

CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:

THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/ COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

PIPE COVER:

ALL WATER SERVICE AND WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM COVER OF FIVE (5) FEET THROUGHOUT.



ARCHITECT
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DRAWING TITLE
SITE & UTILITY PLAN

DRAWING INFORMATION



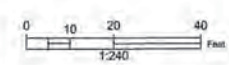
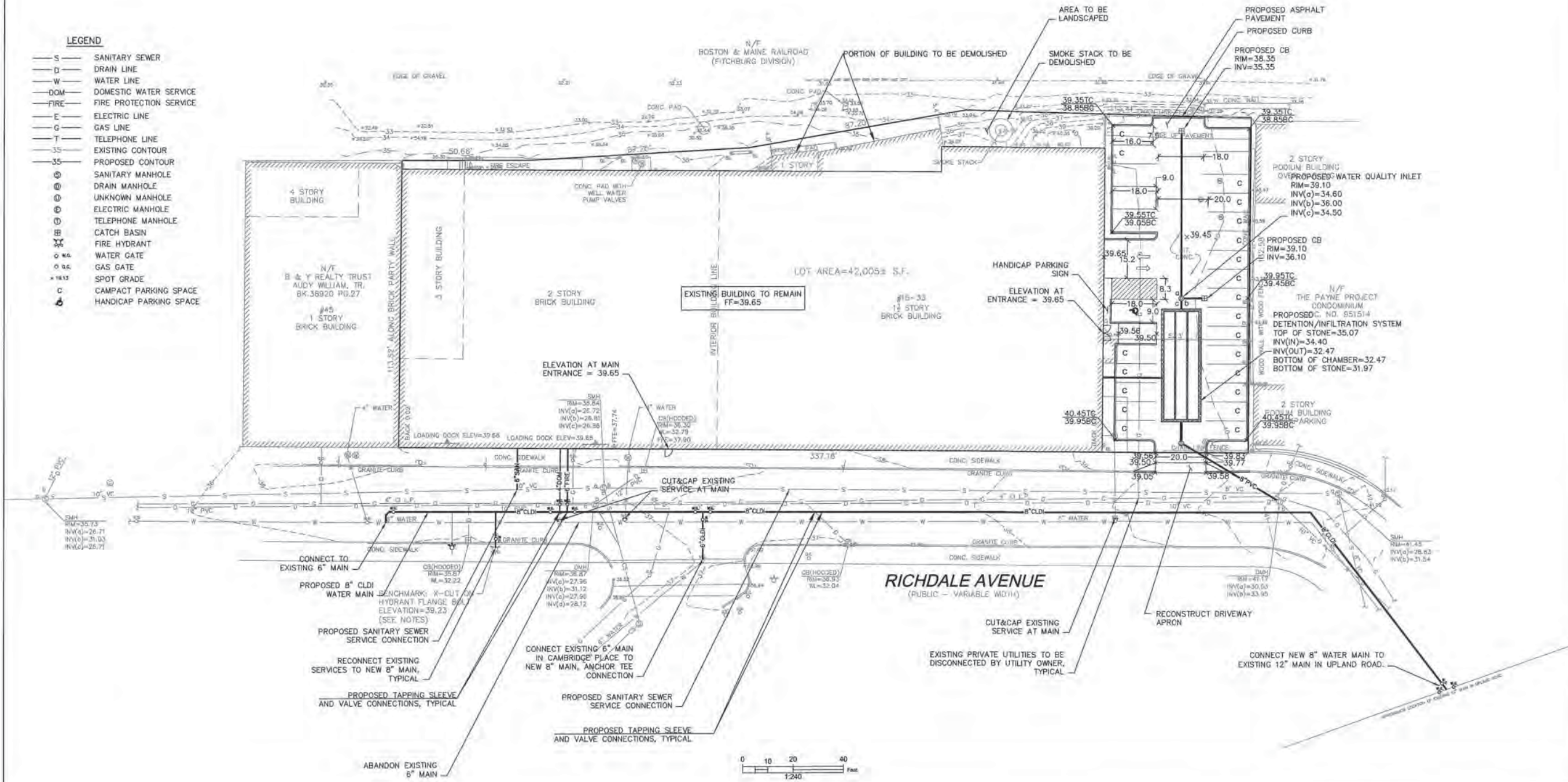
March 9, 2014
 DATE OF ISSUE
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 1" = 20'
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 DC15-054
 PROJECT #
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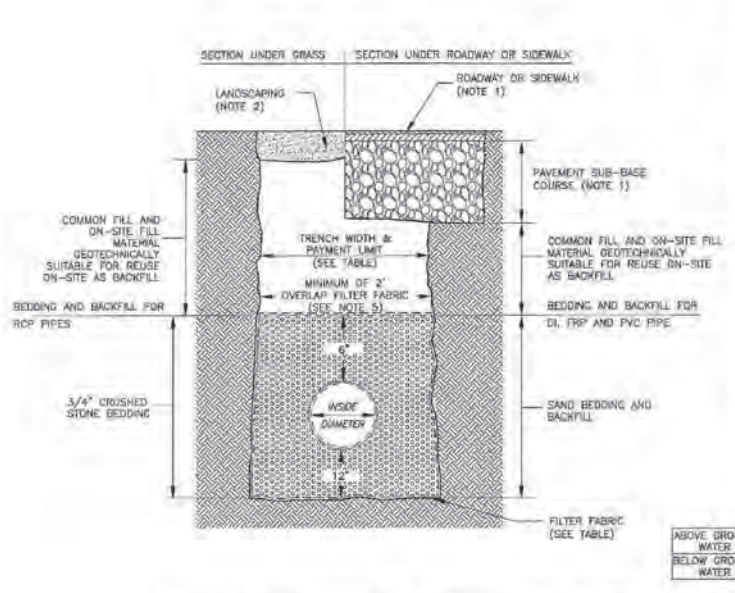
DRAWING NUMBER

C2.0

LEGEND

— S —	SANITARY SEWER
— D —	DRAIN LINE
— W —	WATER LINE
— DOM —	DOMESTIC WATER SERVICE
— FIRE —	FIRE PROTECTION SERVICE
— E —	ELECTRIC LINE
— G —	GAS LINE
— T —	TELEPHONE LINE
— 35 —	EXISTING CONTOUR
— 35 —	PROPOSED CONTOUR
⊙	SANITARY MANHOLE
⊙	DRAIN MANHOLE
⊙	UNKNOWN MANHOLE
⊙	ELECTRIC MANHOLE
⊙	TELEPHONE MANHOLE
⊙	CATCH BASIN
⊙	FIRE HYDRANT
⊙	WATER GATE
⊙	GAS GATE
⊙	SPOT GRADE
⊙	CAMPACT PARKING SPACE
⊙	HANDICAP PARKING SPACE





NOTES:
 1. REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REVISIONS/DETAILS.
 2. REFER TO LANDSCAPING REQUIREMENTS.
 3. REFER TO TRENCH PAY LIMIT TABLE FOR PIPES FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT.
 4. REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS.

TRENCH PAY LIMIT TABLE FOR PIPES

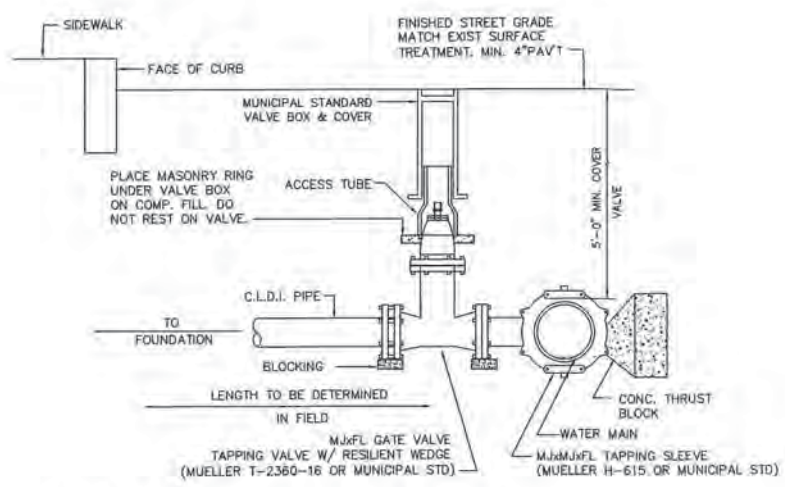
PIPE SIZE (DIA.)	MAX. TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
6" TO 22"	4'-0"
24" & GREATER	LD + 2'-0"

LD₁ = INSIDE DIMENSION
 FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

FILTER FABRIC USE

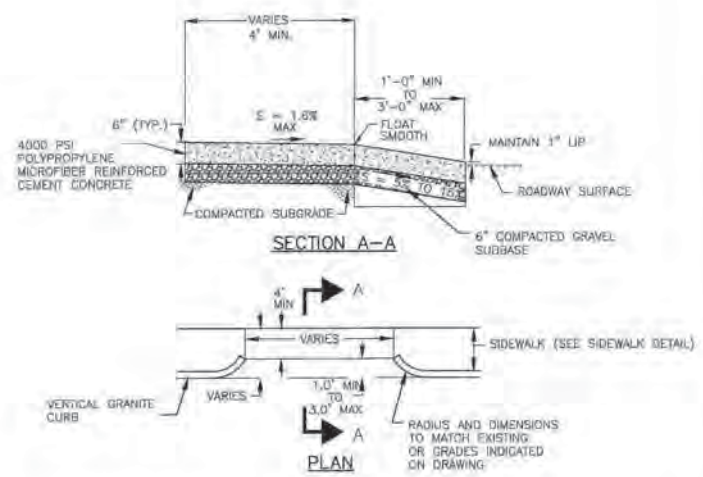
	SOIL TYPE
ABOVE GROUND WATER	SILT OR CLAY GRANULAR SOIL
BELOW GROUND WATER	FILTER FABRIC NOT REQUIRED
	FILTER FABRIC NOT REQUIRED

TRENCH DETAIL FOR SEWER AND DRAIN PIPES
 NOT TO SCALE

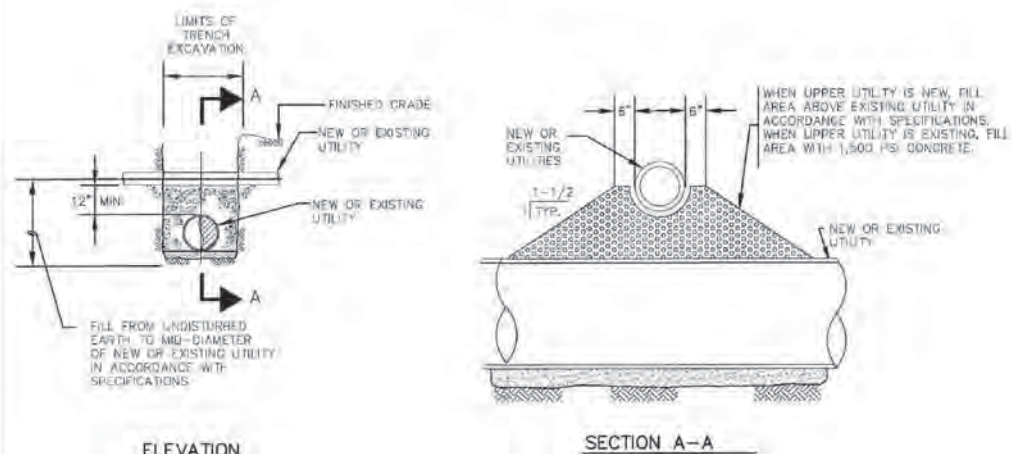


NOTE: 1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.
 2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

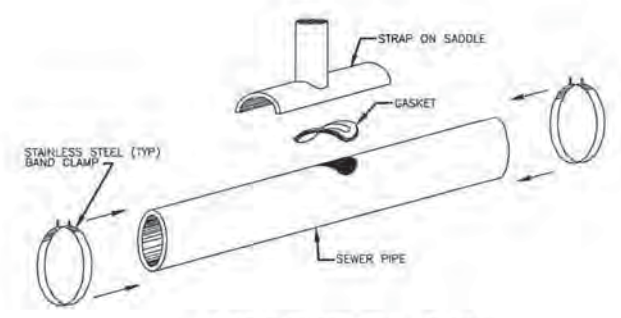
WATER CONNECTION WITH WET TAP FOR 4 & 6 INCH SERVICE PIPE
 NOT TO SCALE



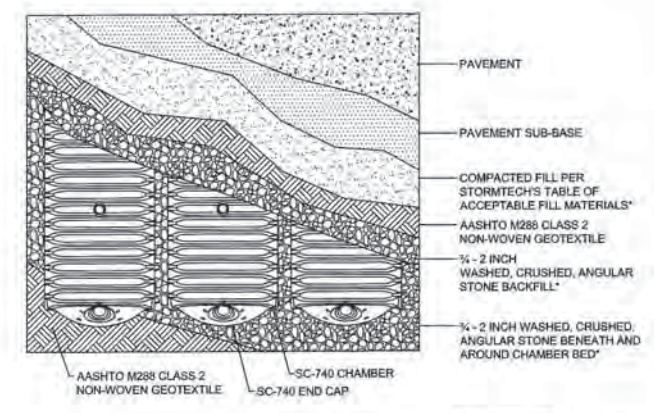
CEMENT CONCRETE DRIVEWAY APRON
 NOT TO SCALE



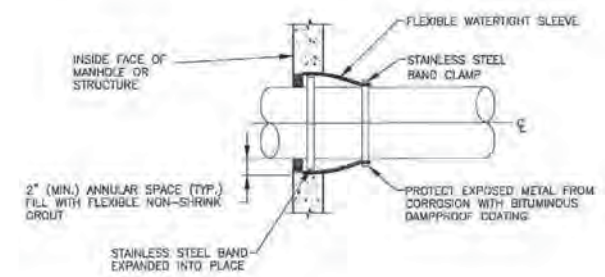
UTILITY CROSSING
 NOT TO SCALE



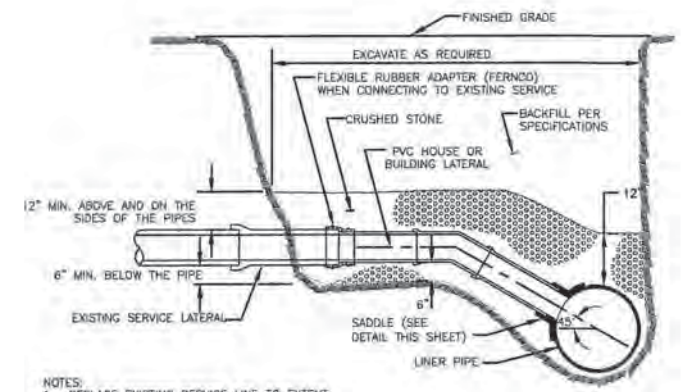
SADDLE CONNECTION - PLAN
 NOT TO SCALE



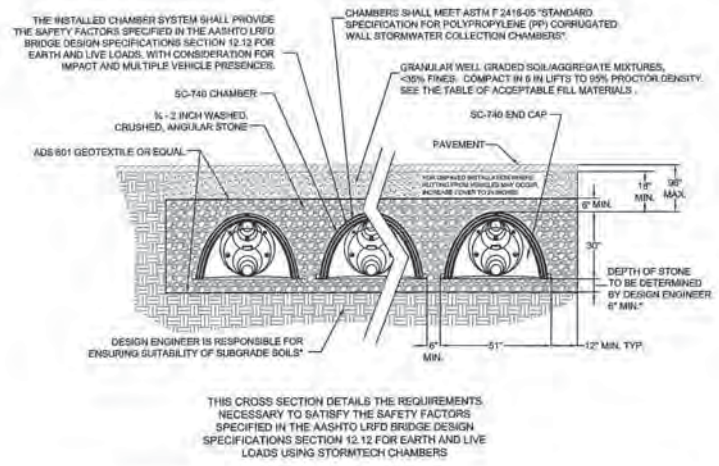
STORMTECH SC-740 CHAMBER SYSTEM
 PLAN VIEW DETAIL
 NOT TO SCALE
 FOR STORMTECH INFORMATION CALL 1-888-892-2694
 * SEE STORMTECH'S DESIGN MANUAL



FLEXIBLE SLEEVE CONNECTION
 NOT TO SCALE



SADDLE CONNECTION FOR SEWER OR DRAIN
 NOT TO SCALE



INFILTRATION/DETENTION SYSTEM
 NOT TO SCALE

ARCHITECT
bh+a
 Bargmann Hendrie + Archetype, Inc.
 300 A Street
 Boston, MA 02110
 617 350-0450 Tel
 617 350-0215 Fax
 www.bhplus.com

PROJECT NAME
The Hathaway Bakery Building
 15-33 Richdale Avenue
 Cambridge, MA 02140
 15-33 Richdale Avenue
 Cambridge, MA 02140

CLIENT
Hathaway Partners LLC.
 30 Brittle Street, 4th Floor
 Cambridge, MA 02138
 617 864-8200
 617 864-8201

PROJECT TEAM
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 Design Consultants, Inc.
 120 Middlesex Avenue Suite 20
 Somerville, MA 02145
 617 776-3350

LANDSCAPE ARCHITECT
 Kyle Zick
 Landscape Architecture, Inc.
 38 Bromfield Street Suite 202
 Boston, MA 02101
 617 451-1018

MEP & FIRE PROTECTION ENGINEERS
 Allied Consulting Engineering Services, Inc.
 215 Boston Post Road
 Sudbury, MA 01776
 978 443-7885

REVISIONS

NO.	DATE
1	
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DRAWING TITLE
DETAILS

DRAWING INFORMATION

March 8, 2014
 DATE OF ISSUE
 Submission Set
 DESCRIPTION
 1" = 30' RLB
 SCALE DRAWN BY
 DC0113-054 JHJ, R. Romo, A. Lee
 PROJECT # FILE NAME

DRAWING NUMBER

C3.0

PROJECT NAME

The Hathaway Bakery Building

15-33 Richdale Avenue
Cambridge, MA 02140

CLIENT

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30 Brattle Street, 4th Floor
Cambridge, MA 02138
617 864-8200
617 864-8201

PROJECT TEAM

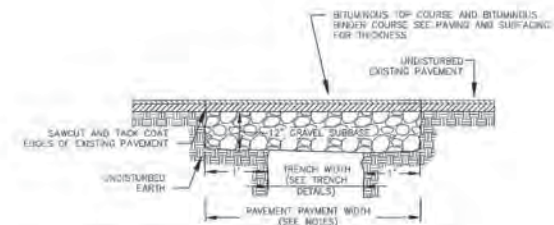
CIVIL ENGINEER
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MEP & FIRE PROTECTION ENGINEERS

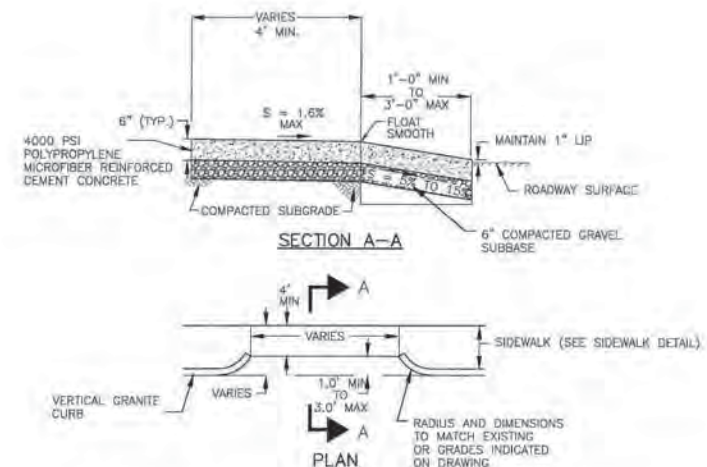
Allied Consulting Engineering Services, Inc.
215 Boston Post Road
Sudbury, MA 01776
978 445-7568



- NOTES:
1. PERMANENT TRENCH PAVEMENT PATCH WIDTH SHALL BE THE TRENCH PATCH WIDTH PLUS 2 (2) FEET.
 2. TEMPORARY TRENCH PAVEMENT PATCH WIDTH SHALL BE EQUAL TO THE TRENCH PATCH WIDTH.
 3. REMOVE AND DISPOSE ALL TEMPORARY PAVEMENT AS REQUIRED. REPAIR AND COMPACT SUBGRADE AS REQUIRED PRIOR TO PERMANENT TRENCH PAVEMENT.

PAVEMENT TRENCH PATCH

NOT TO SCALE



CEMENT CONCRETE DRIVEWAY APRON

NOT TO SCALE

REVISIONS

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5	DATE

DRAWING TITLE

DETAILS

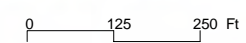
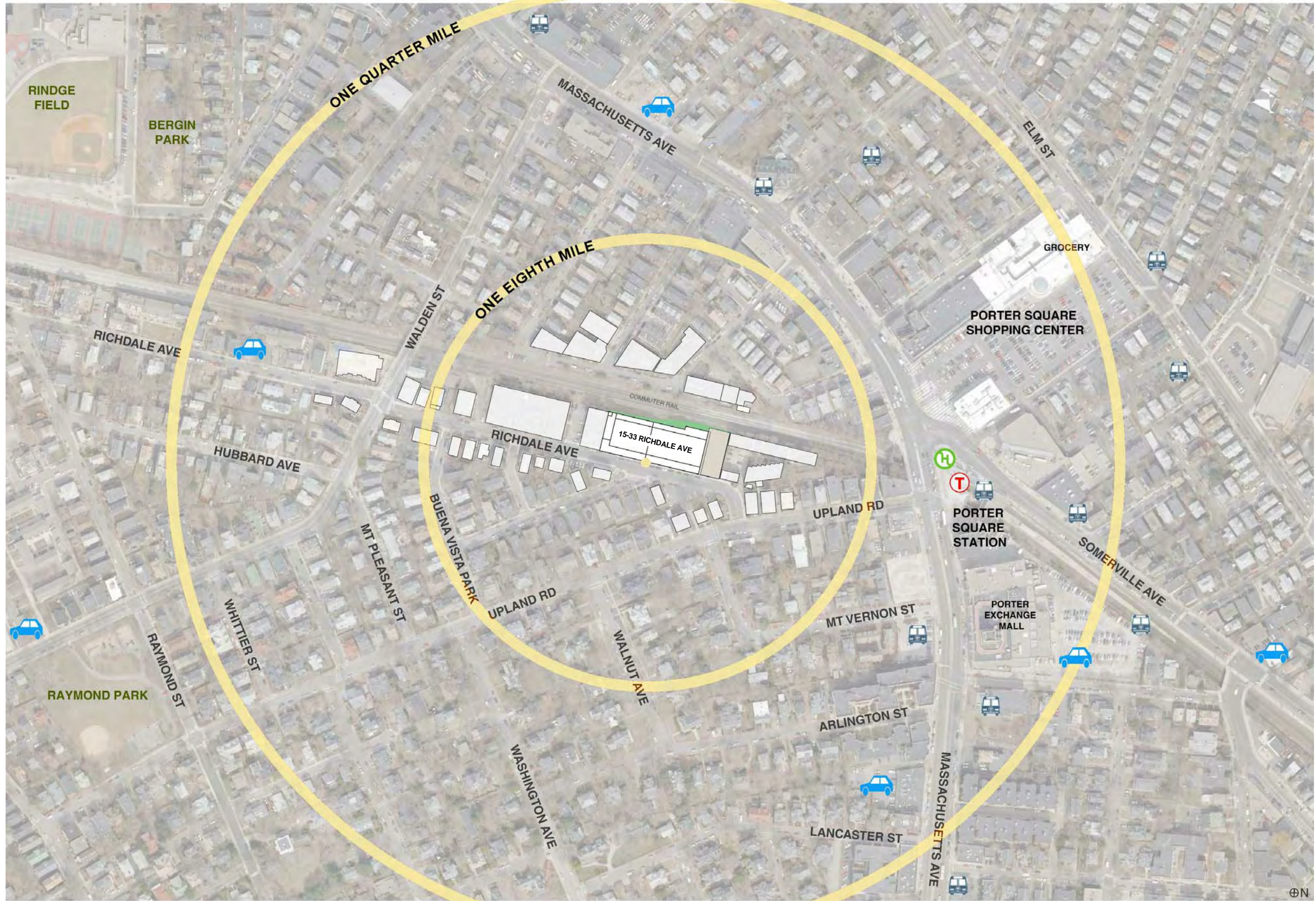
DRAWING INFORMATION







March 8, 2014
DATE OF ISSUE
Submission Set
DESCRIPTION:
1" = 20'
SCALE
DRAWN BY: JH45_Robert_Park
PROJECT #
PER NAME

DRAWING NUMBER

C3.1



-  MBTA Rail Station
-  MBTA Bus Station
-  Bike Sharing Location
-  Car Sharing Location

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PROJECT NAME
The Hathaway Bakery Building
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REVISIONS

1	
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5	DATE

DRAWING TITLE
Site Context Plan

DRAWING INFORMATION

March 17, 2014	DATE OF ISSUE
Submission Set	DESCRIPTION
1" = 125'	MRY
3143.00	DRAWN BY
3143_Richdale_Ave.rvt	PROJECT #
	FILE NAME

DRAWING NUMBER
AS100



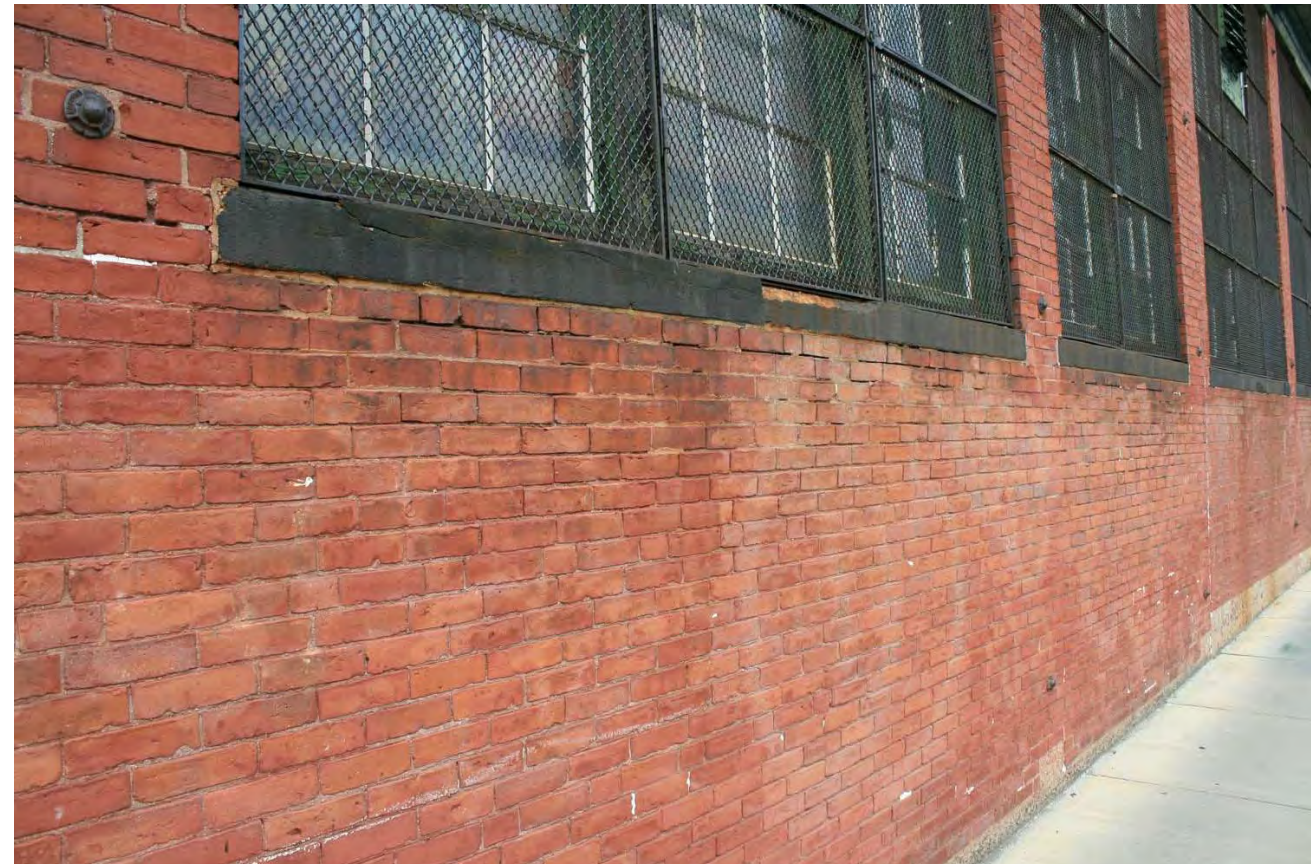
The two story section of the building has been modified over time and will receive modifications to enable residential use.



The one story section of the building.



This bay of the building has been adapted over time and no longer bears resemblance to the original design. A new window will replace the garage door. A window will also be inserted to match others to left of garage door.



Restoration of the one story wing requires masonry cleaning and repointing, precast sill restoration and new windows. Wire mesh screens will be removed.

D:\Arch\143_Richdale_Ave_YKim.dwg
 3/17/2014 3:46:14 PM
 Author

ARCHITECT

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2	
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5	DATE

DRAWING TITLE

Existing Building Photos

DRAWING INFORMATION

March 17, 2014

DATE OF ISSUE

Submission Set

DESCRIPTION

Author

SCALE

3143.00

PROJECT #

FILE NAME

DRAWING NUMBER

X001

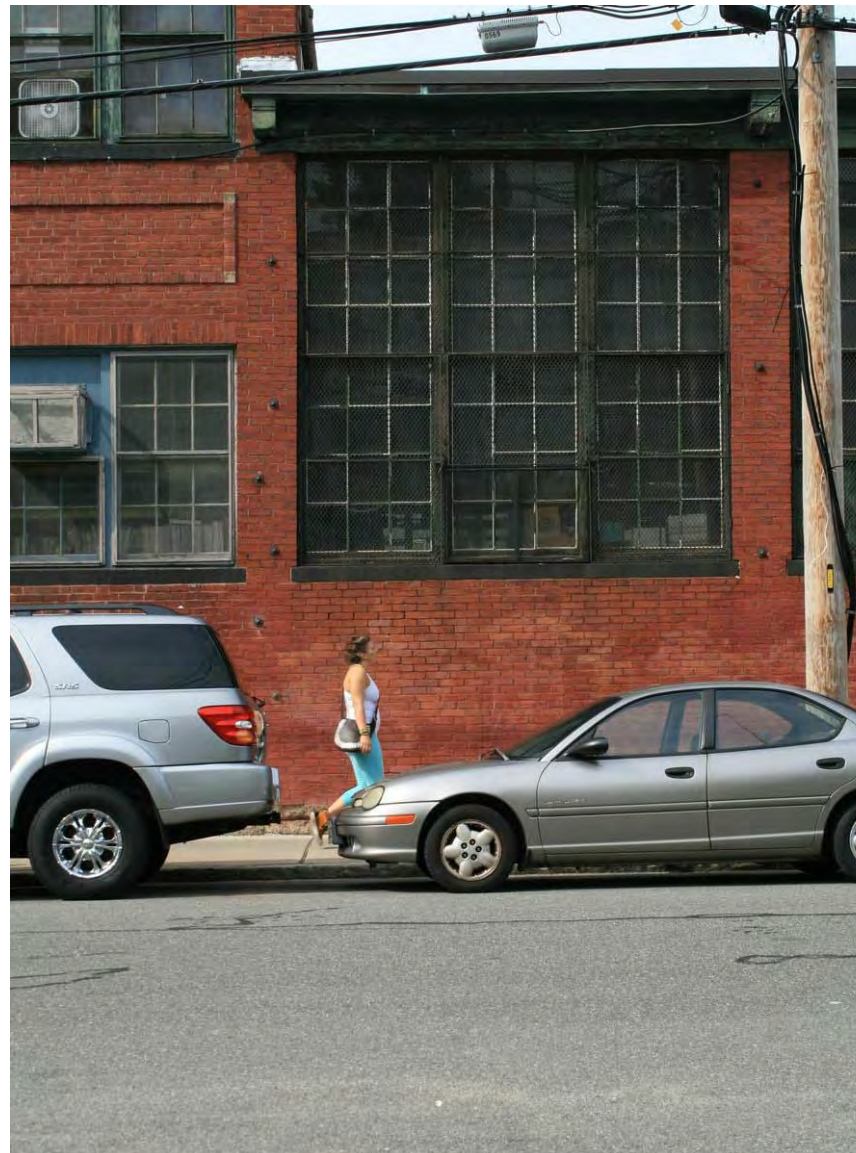
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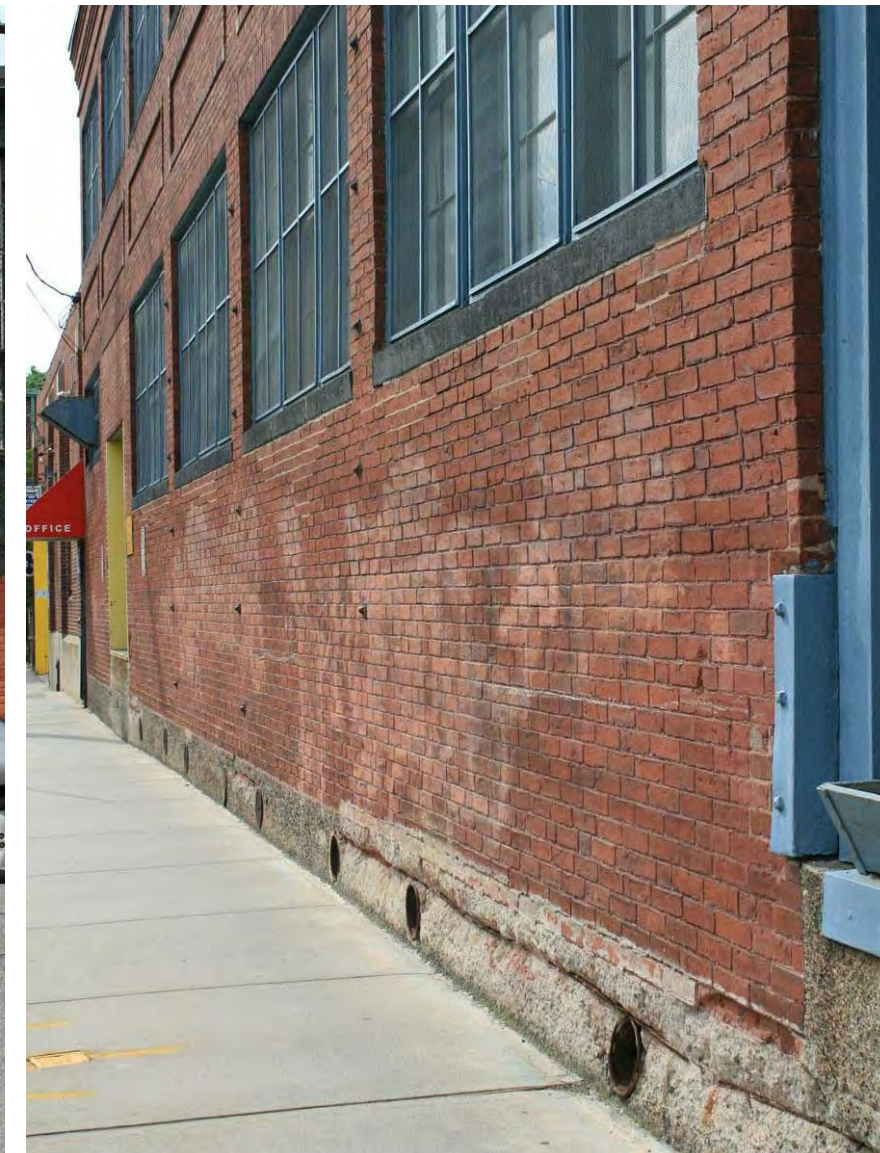
Existing stucco entry lacking in detail and execution is also not accessible to the physically disabled. Entry will be restored to original door design, and made accessible.



Roof eave requires significant repair. Windows will be replaced with energy efficient sash using similar mullion pattern.



Windows.



The exterior facade is in poor condition. At the foundation, rebar are exposed, all of which require significant restoration.

D:\Revit\143_Richdale_Ave_YKim.rvt
 3/17/2014 3:45:14 PM Author

ARCHITECT

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PROJECT NAME

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DATE

DRAWING TITLE

Existing Building Photos

DRAWING INFORMATION

March 17, 2014

DATE OF ISSUE

Submission Set

DESCRIPTION

SCALE

3143.00

PROJECT #

Author

Drawn By

3143_Richdale_Ave.rvt

FILE NAME

DRAWING NUMBER

X002

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Typical New Window

Rear side of existing building showing areas of facade failure. Existing window openings were bricked in. Bricks will be removed and new windows installed.



East end of building. These two doors will be replaced with a combination of insulated windows and insulated infill panels to retain the scale of openings.



Remove Smokestack

Existing building looking east on rail road right-of-way. New windows will replace brick infills. The storage shed addition will be removed.



Existing building looking west on rail road right-of-way. Shed and additions that are in poor condition will be removed. Addition above is a concrete block structure that is a more recent addition.

D:\Revit\143_Richdale_Ave_YKim.rvt
 3/17/2014 3:46:16 PM Author

ARCHITECT

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DRAWING TITLE

Existing Building Photos

DRAWING INFORMATION

March 17, 2014

DATE OF ISSUE

Submission Set

DESCRIPTION

Author

SCALE

3143.00

PROJECT #

FILE NAME

DRAWING NUMBER

X003

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Looking West Along Richdale Avenue



General Residential Context Across the Street from Building



Property to the East of Existing Building (45 Richdale) and Existing Third Floor and Elevator Penthouse Structure.



Looking East Along Richdale Avenue

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PROJECT NAME
The Hathaway Bakery Building
 15-33 Richdale Avenue
 Cambridge, MA 02140

CLIENT
Hathaway Partners LLC.
 30 Brattle Street, 4th Floor
 Cambridge, MA 02138

PROJECT TEAM
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REVISIONS

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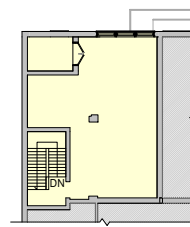
DRAWING TITLE
Neighborhood Photos

DRAWING INFORMATION

March 17, 2014	Author
DATE OF ISSUE	DRAWN BY
Submission Set	3143_Richdale_Ave.rvt
DESCRIPTION	FILE NAME
SCALE	PROJECT #
3143.00	

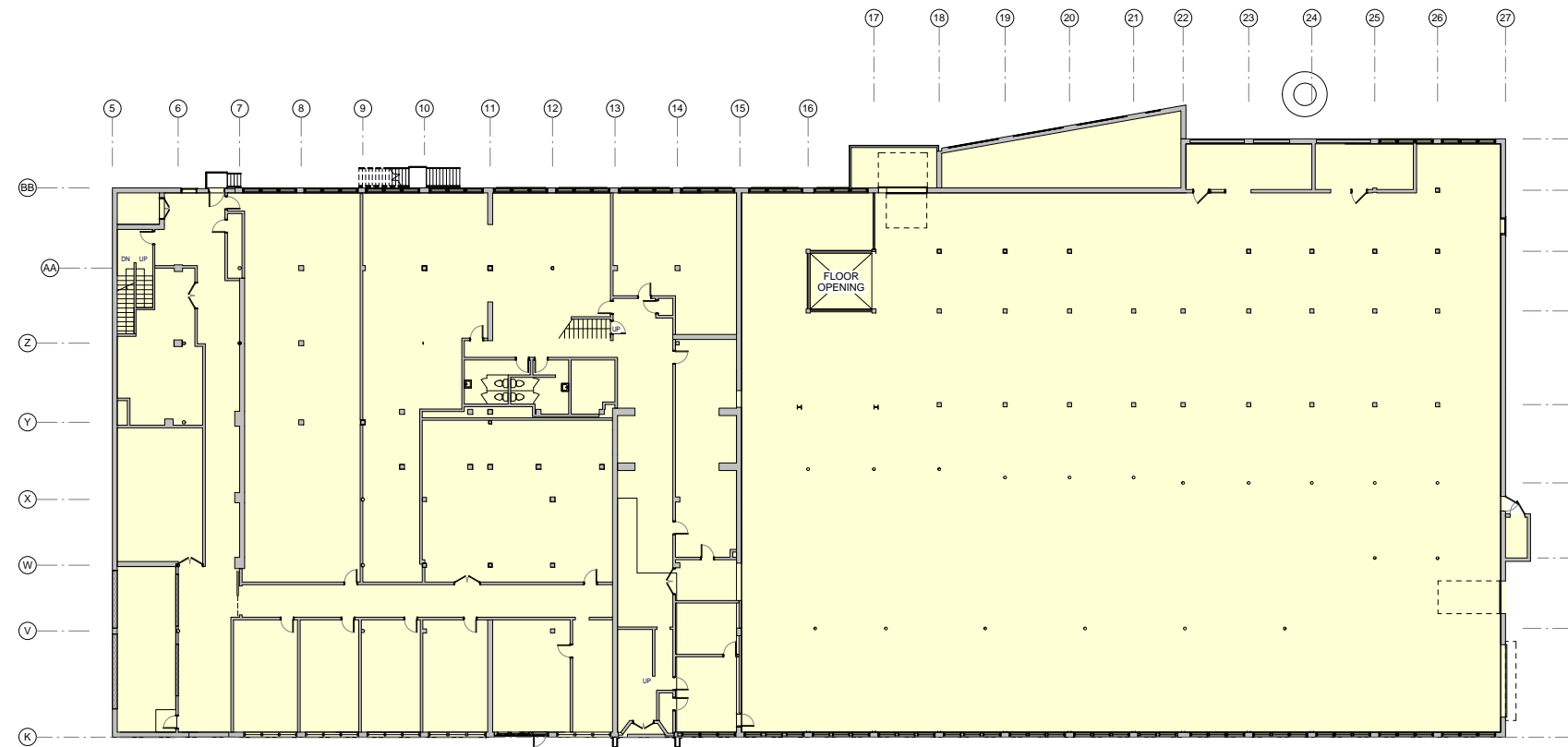
DRAWING NUMBER

X004



EXIST GROSS AREA = 820

3 EXISTING FIRST FLOOR MEZZANINE PLAN
1/16" = 1'-0"

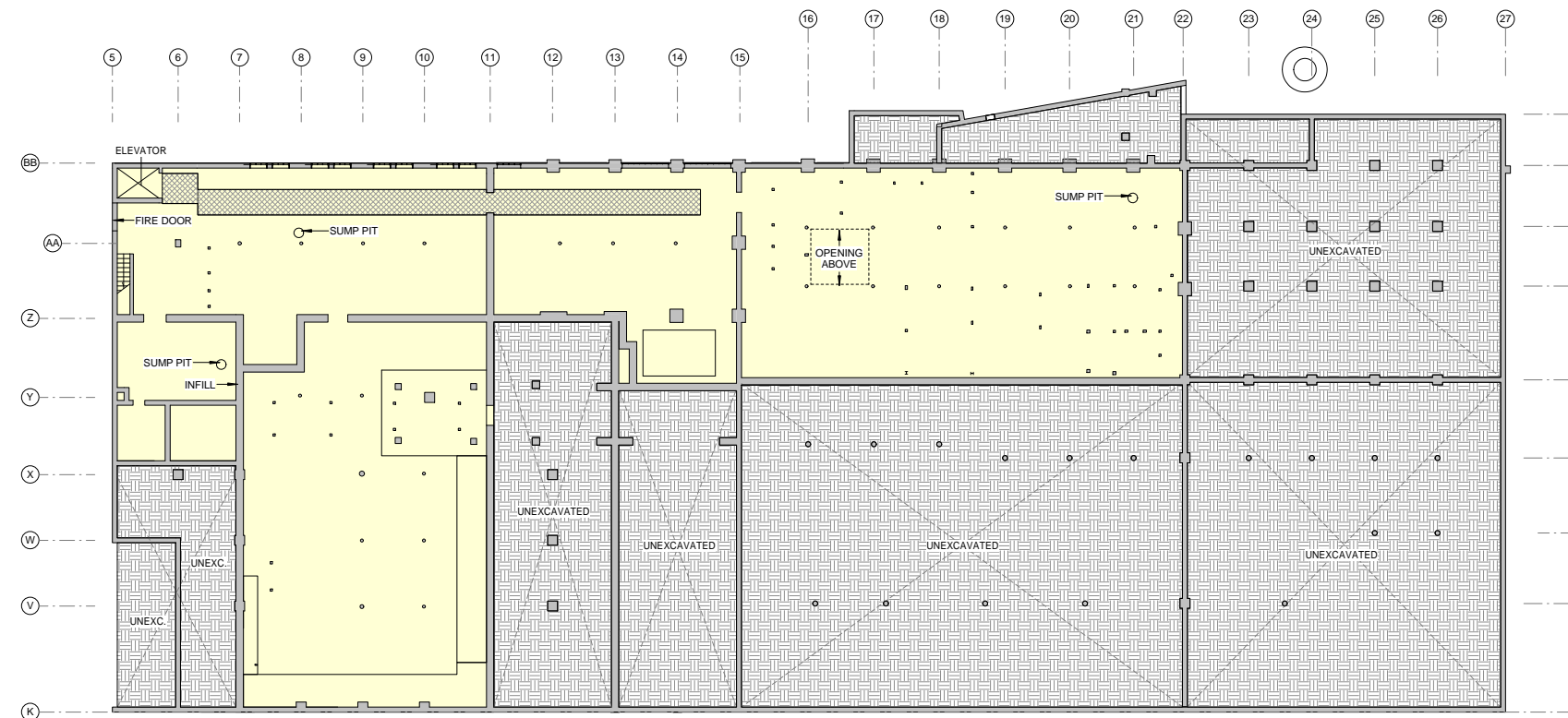


EXIST GROSS AREA = 32,068

2 EXISTING FIRST FLOOR PLAN
1/16" = 1'-0"

EXISTING GROSS SQUARE FOOTAGE CALCULATIONS

	FLOOR AREA
3RD FLOOR	1,438
2ND FLOOR MEZZANINE	1,393
2ND FLOOR	12,412
1ST FLOOR MEZZANINE	820
1ST FLOOR	32,068
BASEMENT	13,130
TOTAL	61,261
TOTAL - NO BASEMENT	48,131



EXIST GROSS AREA = 13,130

1 EXISTING BASEMENT PLAN
1/16" = 1'-0"

ARCHITECT

bh+a

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www.bhplus.com

PROJECT NAME

The Hathaway Bakery Building

15-33 Richdale Avenue
Cambridge, MA 02140

CLIENT

Hathaway Partners LLC.

30 Brattle Street, 4th Floor
Cambridge, MA 02138

PROJECT TEAM

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5	DATE

DRAWING TITLE

Existing Basement, 1st Floor and 1st Floor Mezzanine Plans

DRAWING INFORMATION

March 17, 2014
DATE OF ISSUE
Submission Set
DESCRIPTION
As indicated Author
SCALE DRAWN BY
3143.00 3143_Richdale_Ave.rvt
PROJECT # FILE NAME

DRAWING NUMBER

X101

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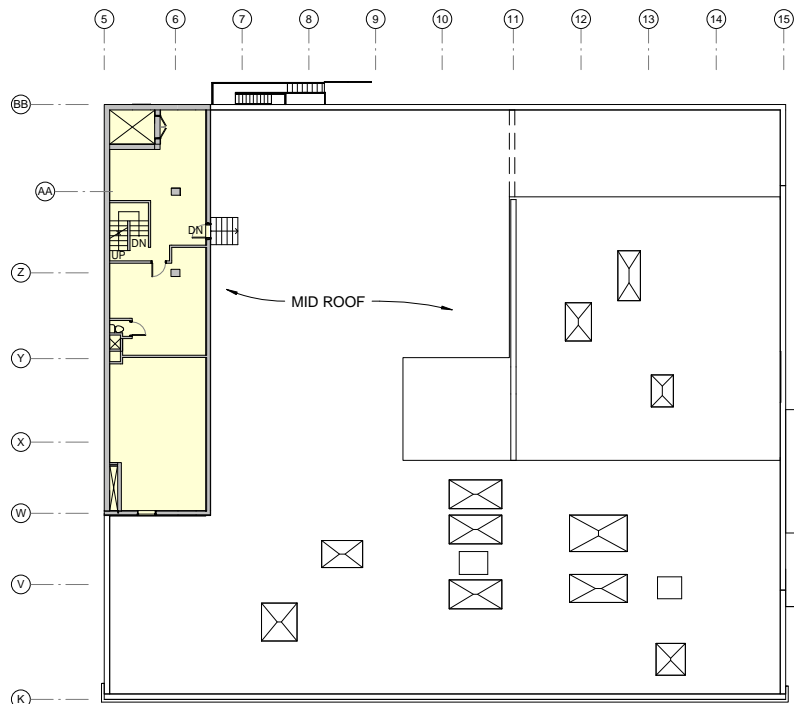
DRAWING TITLE
Existing 2nd, 2nd Mezzanine, and 3rd Floor Plans

DRAWING INFORMATION

March 17, 2014
 DATE OF ISSUE
 Submission Set
 DESCRIPTION
 1/16" = 1'-0" Author
 SCALE DRAWN BY
 3143.00 3143_Richdale_Ave.rvt
 PROJECT # FILE NAME

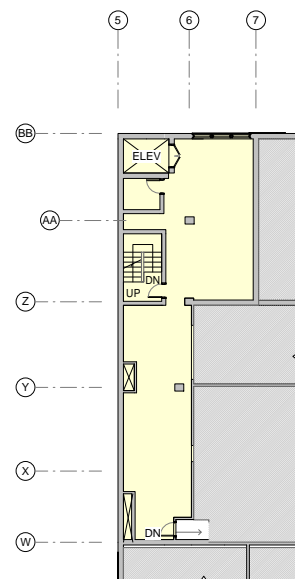
DRAWING NUMBER

X102



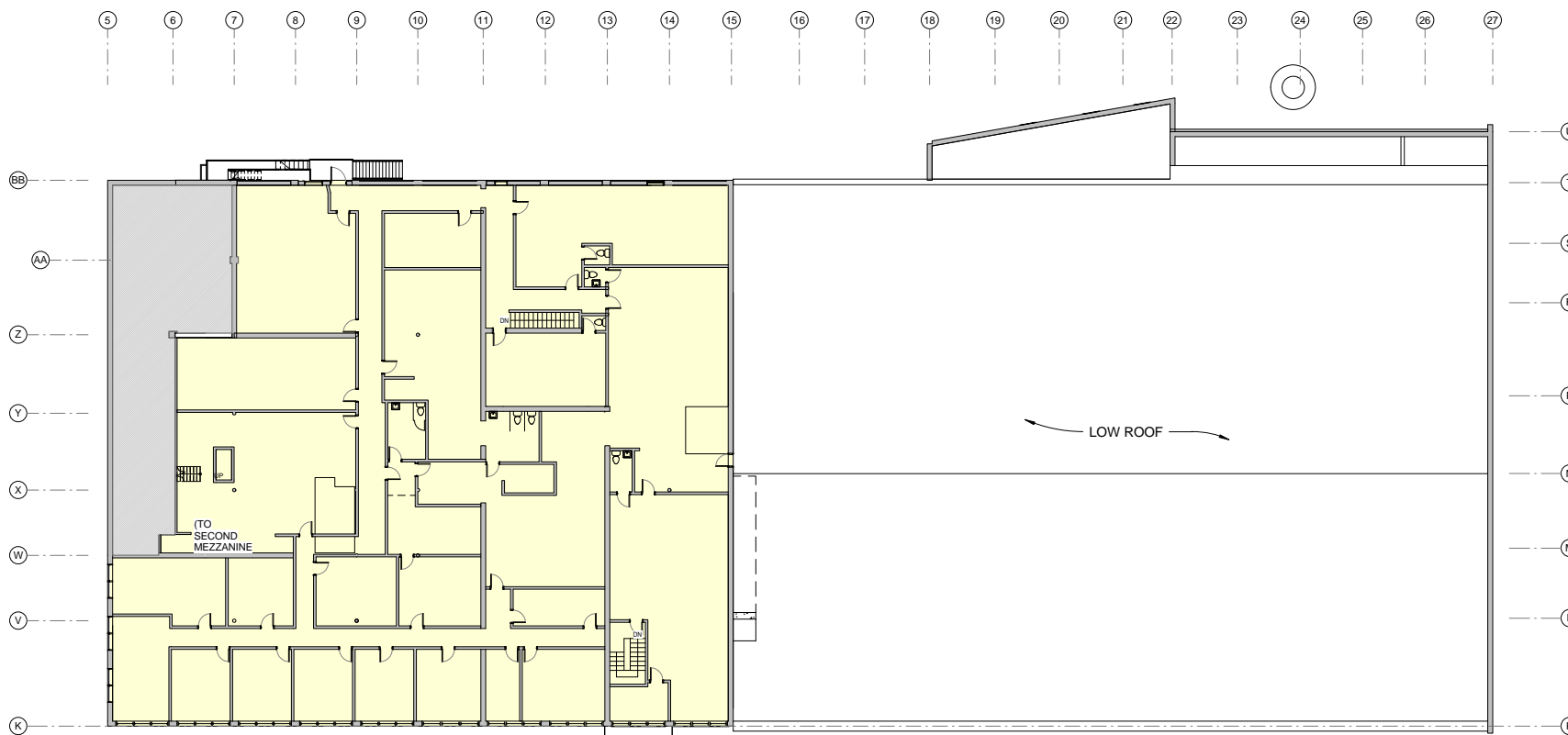
EXIST GROSS AREA = 1,438

3 EXISTING THIRD FLOOR PLAN
 1/16" = 1'-0"



EXIST GROSS AREA = 1,393

2 EXISTING SECOND FLOOR MEZZANINE PLAN
 1/16" = 1'-0"



EXIST GROSS AREA = 12,412

1 EXISTING SECOND FLOOR
 1/16" = 1'-0"

Dimensional Form

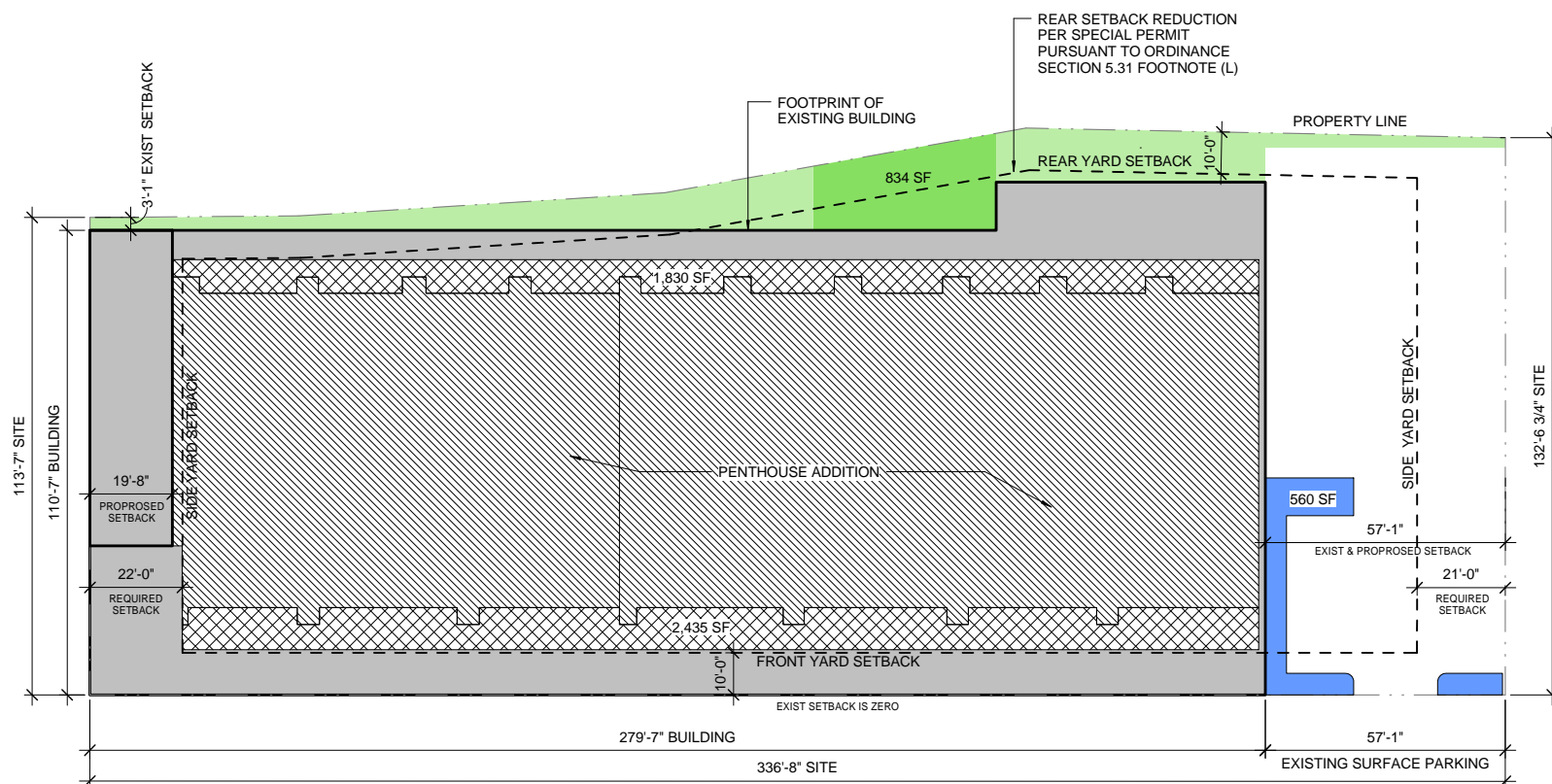
Project Address: 15 and 33 Richdale Avenue
 Zoning District: Res. C-1A

Application Date: March 14, 2014

	Existing	Allowed or Required (max/min)	Proposed	Permitted
Lot Area (sq. ft.)	42,043	5,000	42,043	
Lot Width (ft)	336	50	336	
Total Gross Floor Area (sq ft)	48,157 <small>See Note 1</small>	68,320	66,300	
Residential Base	-	52,554	51,000 <small>See Note 2</small>	
Non-Residential Base	48,157	0	0	
Inclusionary Housing Bonus	-	15,786	15,300	
Total Floor Area Ratio (FAR)	1.15	1.625	1.58	
Residential base	-	1.25	1.21	
Non-Residential base	1.15	0	0	
Inclusionary Housing Bonus	-	0.375	0.36	
Total Dwelling Units	0	54	46	
Base units	-	42	36	
Affordable units (15%)	-	6	5	
Inclusionary Housing Bonus	-	6	5	
Base Lot Area / Unit (sq. ft.)	-	1,000	1,168	
Total Lot Area / Unit (sq. ft.)	-	-	914	
Building Height(s) (ft)	45 <small>See Note 3</small>	45	45	
Front Yard Setback (ft)	0	10	0 at Existing 16.75 at New	
Side Yard Setback - WEST (ft)	0	22 <small>See Note 4</small>	19'-8"	
Side Yard Setback - EAST (ft)	57'-1"	21 <small>See Note 4</small>	57'-1"	
Rear Yard Set back	3' to 13'	63 <small>See Note 4</small>	3' to 13'	
Open Space (% of Lot Area)		15% <small>See Note 5</small>	14% (5,960 sq. ft.) <small>See Note 5</small>	
Private Open Space	0	-	-	
Permeable Open Space	0	-	-	
Other Open Space (Specify)	0	-	-	
Off-Street Parking Space	20	1 per dwelling unit	46	
Bicycle Parking Spaces		48 Long Term 5 Short Term	48 Long Term 5 Short Term	
Loading Bays		n/a	0	

Notes:

- Existing area does not include basement area.
- Includes 1,480 sq.ft. of structured parking (within existing building) per Section 5.25
- Height measured to highest roof of existing building from average grade.
- Side and rear setback calculation is based on the most conservative interpretation that includes the height and length of the existing and new at each elevation. Applicant seeks reductions for new portions per Section 5.31.2(i)
- Applicant seeks modifications to Private Open Space requirements per Section 5.28.25
- Includes Open Space that is green and 15' x 15' minimum, pedestrian walk and planting and private roof decks.



- LEGEND**
- EXISTING BUILDING
 - PENTHOUSE ADDITION ON ROOF
 - OPEN SPACE - GREEN SPACE (15' x 15' MIN)
 - OPEN SPACE - PRIVATE BALCONY
 - OPEN SPACE - SIDEWALK AND PLANTING
 - OPEN SPACE LESS THAN 15' IN WIDTH (EXCLUDED IN CALCULATIONS)

1 Open Space Plan
 1" = 20'-0"

PROPOSED GROSS SQUARE FOOTAGE CALCULATIONS

	RESIDENTIAL SPACE	RESIDENTIAL SPACE -ADDED	GARAGE	BICYCLE	FLOOR AREA -REMOVED	TOTAL	NOTES
3RD FLOOR	1,438	8,036				9,474	
2ND FLOOR	13,806	11,553				25,359	
1ST FLOOR MEZZANINE	820	6,519				7,339	
1ST FLOOR	22,648		7,030	2,189	205	31,867	REMOVED AREA IS NOT INCLUDED
SUB TOTAL	38,712	26,108	7,030	2,189	205		
TOTAL GFA	38,712	26,108	1,480			66,300	

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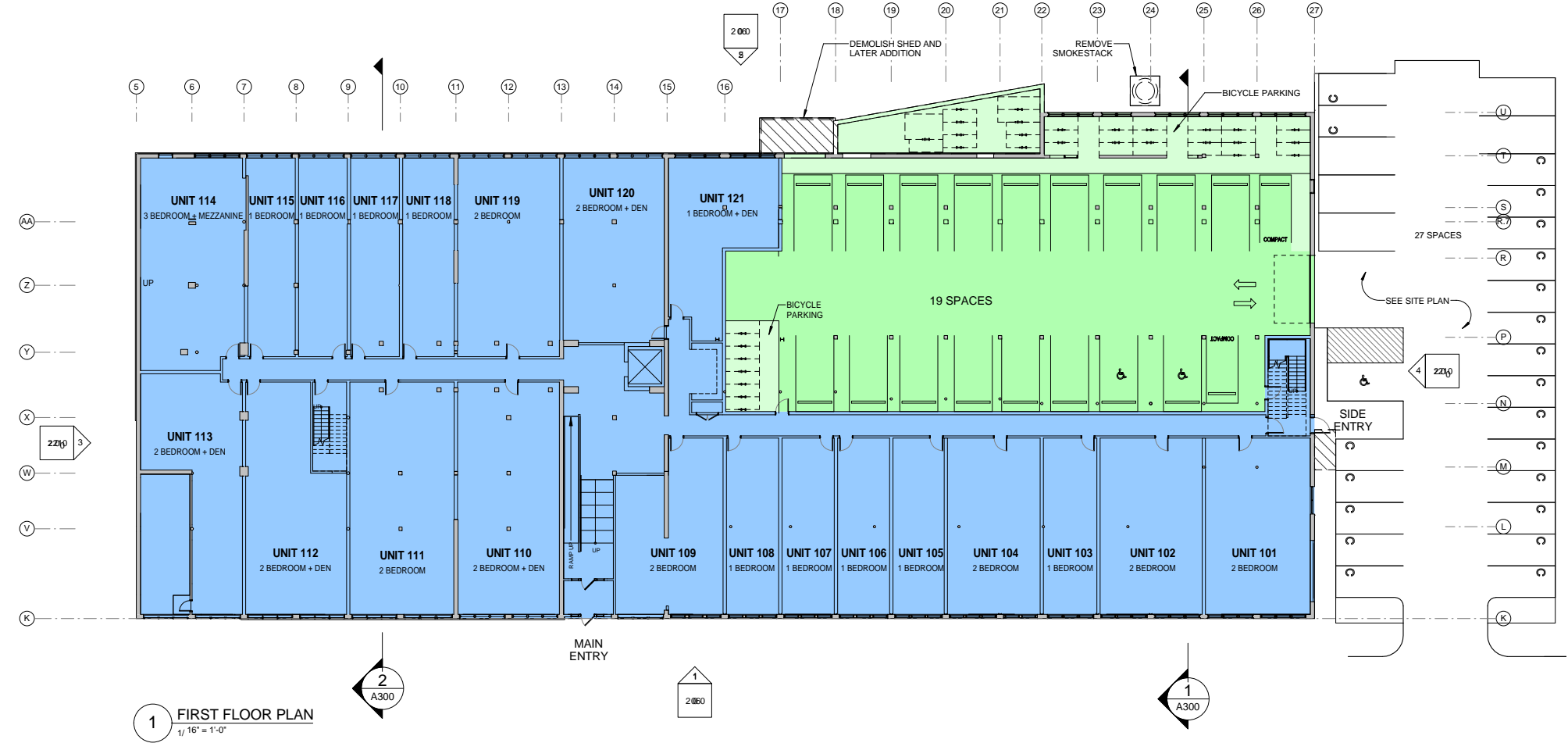
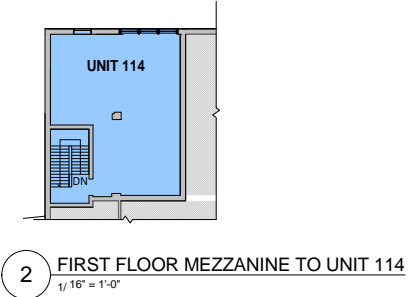
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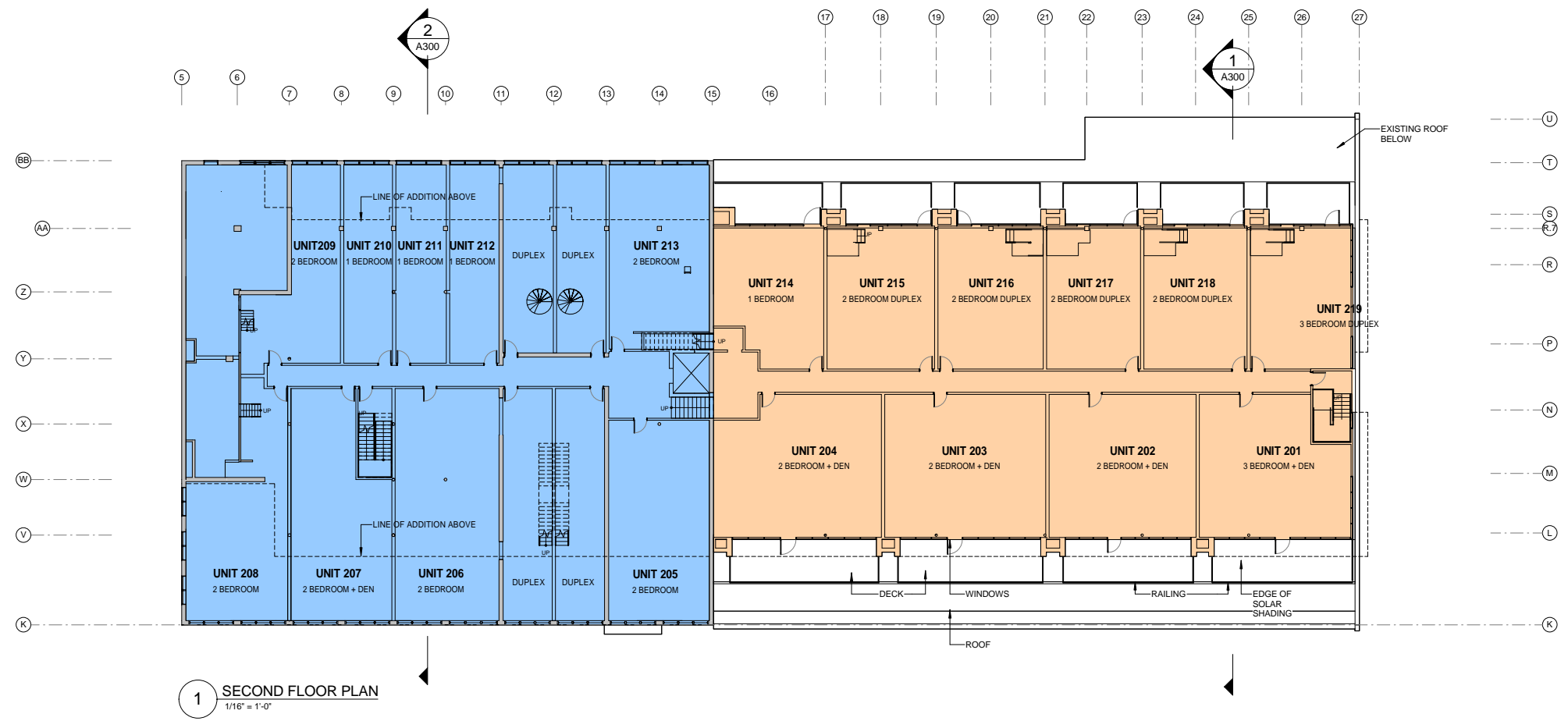
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First and Mezzanine Floor Plans

DRAWING INFORMATION

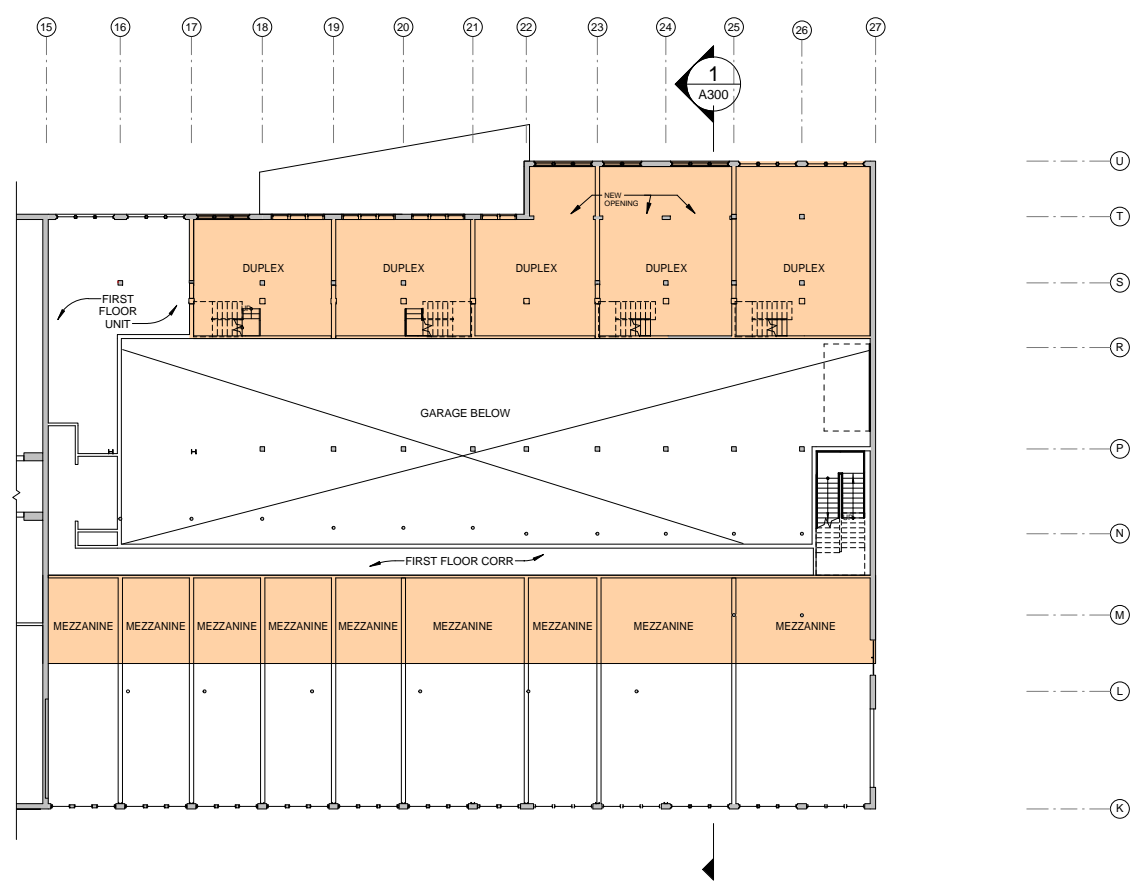
March 17, 2014
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 As indicated YHK
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A100

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1 SECOND FLOOR PLAN
1/16" = 1'-0"



2 FIRST FLOOR MEZZANINE ON EAST SIDE
1/16" = 1'-0"

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DRAWING TITLE
Second and East Mezzanine Floor Plans

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1/16" = 1'-0" YHK
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Third Floor Plan

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March 17, 2014

DATE OF ISSUE

Submission Set

DESCRIPTION

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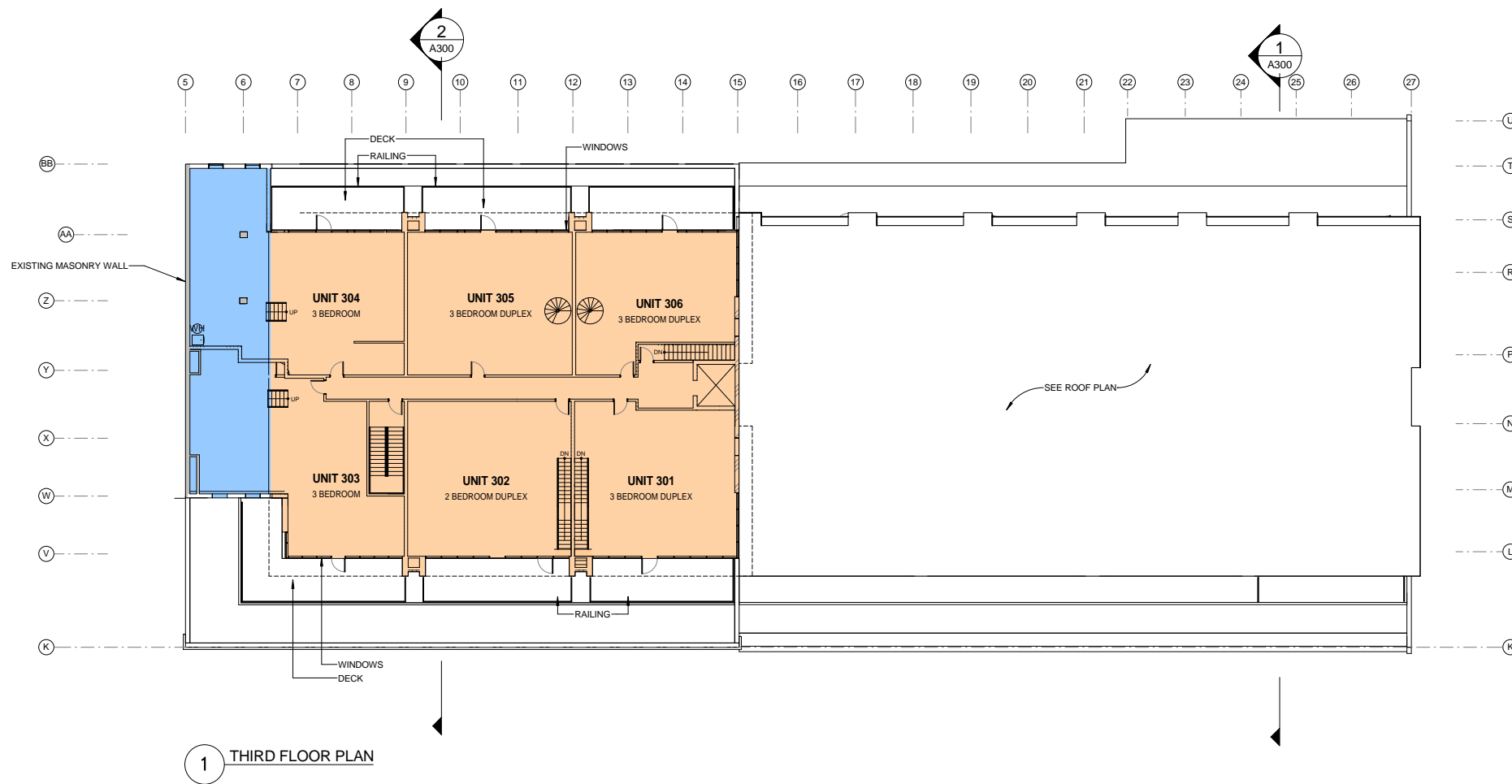
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A102

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5	DATE

DRAWING TITLE

**Roof and Site
Plan**

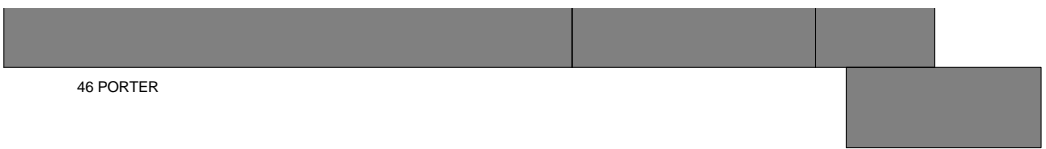
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DATE OF ISSUE
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1/16" = 1'-0" YK
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3143.00 3143_Richdale_Ave.rvt
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A103

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RAILROAD TRACK

PROPERTY LINE

EXISTING ROOF OF THIRD FLOOR

NEW ASPHALT

ROOF-MOUNTED MECHANICAL EQUIPMENT ON SLEEPERS

ELEVATOR OVERRIDE

CORRIDOR MAKE-UP AIR UNIT

ROOF HATCH

15-33 RICHDALE

SURFACE PARKING LOT 27 SPACES

EXTENT OF EXISTING PARKING LOT

UNDERGROUND STORMWATER RECHARGE/DETENTION SYSTEM. SEE CIVIL DRAWINGS

SIDE ENTRY

LANDSCAPED AREA

45 RICHDALE

SOLAR SHADING

DECK

ROOF

MAIN ENTRY

PAVED WALKWAY

PROPOSED CURBCUT

EXISTING CURBCUT

RICHDALE AVENUE

9 CAMBRIDGE TERRACE

2 CAMBRIDGE TERRACE

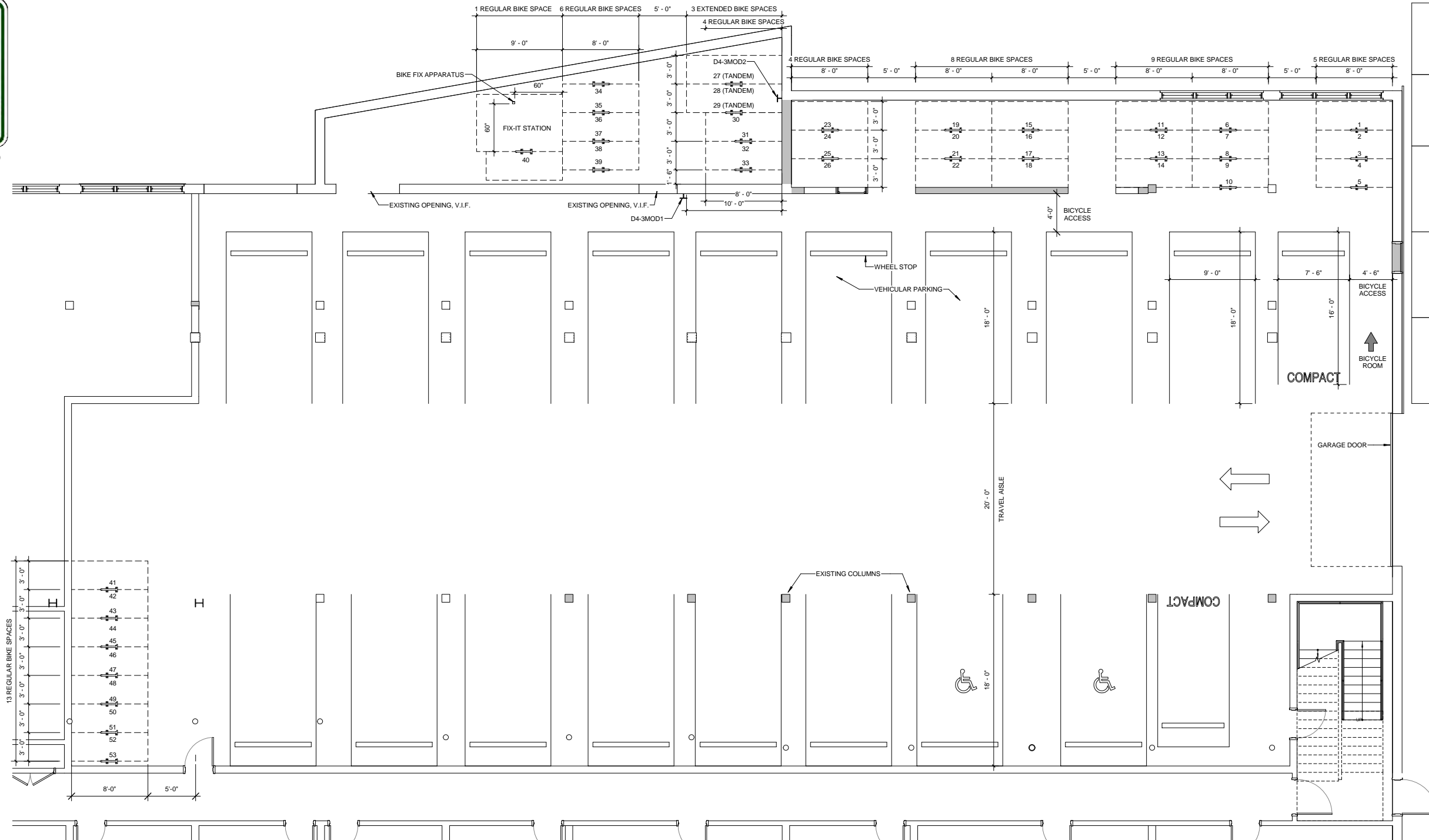
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3/17/2014 3:44:58 PM YK



D4-3MOD1 (12"x18")



D4-3MOD1 (12"x18")



46 DWELLING UNITS REQUIRE:

48 LONG TERM BICYCLE PARKING (3 OF WHICH SHALL BE FOR TANDEM BICYCLES)
 5 SHORT TERM BICYCLE PARKING
 = 53 TOTAL

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 3/17/2014 3:46:00 PM YK

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DRAWING TITLE

Bicycle Parking Plan

DRAWING INFORMATION

March 17, 2014	
DATE OF ISSUE	
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DESCRIPTION	
3/16" = 1'-0"	YK
SCALE	DRAWN BY
3143.00	3143_Richdale_Ave.rvt
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A110

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1 SOUTH ELEVATION ALONG RICHDAL AVENUE
1" = 10'-0"



2 PROPOSED NORTH ELEVATION
1" = 10'-0"



3 PROPOSED WEST ELEVATION
1" = 10'-0"



4 PROPOSED EAST ELEVATION
1" = 10'-0"

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**Color
Elevations**

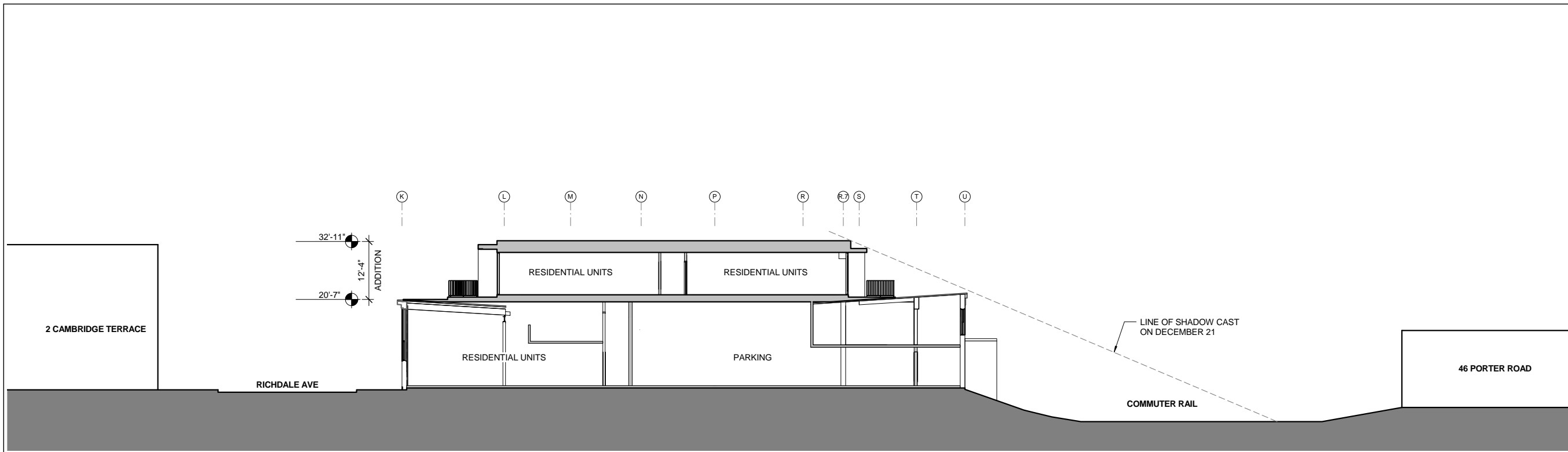
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March 17, 2014
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3143.00 3143_Richdale_Ave.rvt
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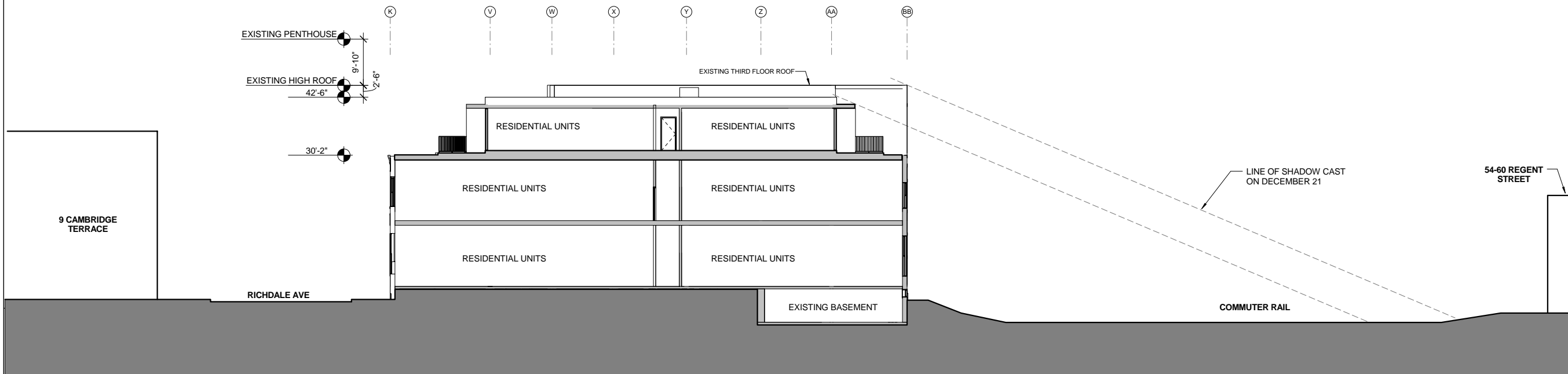
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A200

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1 CROSS SECTION AT EXISTING 1 STORY PORTION
3/32" = 1'-0"



2 CROSS SECTION AT EXISTING 2 STORY PORTION
3/32" = 1'-0"

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DRAWING TITLE
Building Sections

DRAWING INFORMATION

March 17, 2014	DATE OF ISSUE
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3143.00	DRAWN BY
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A300

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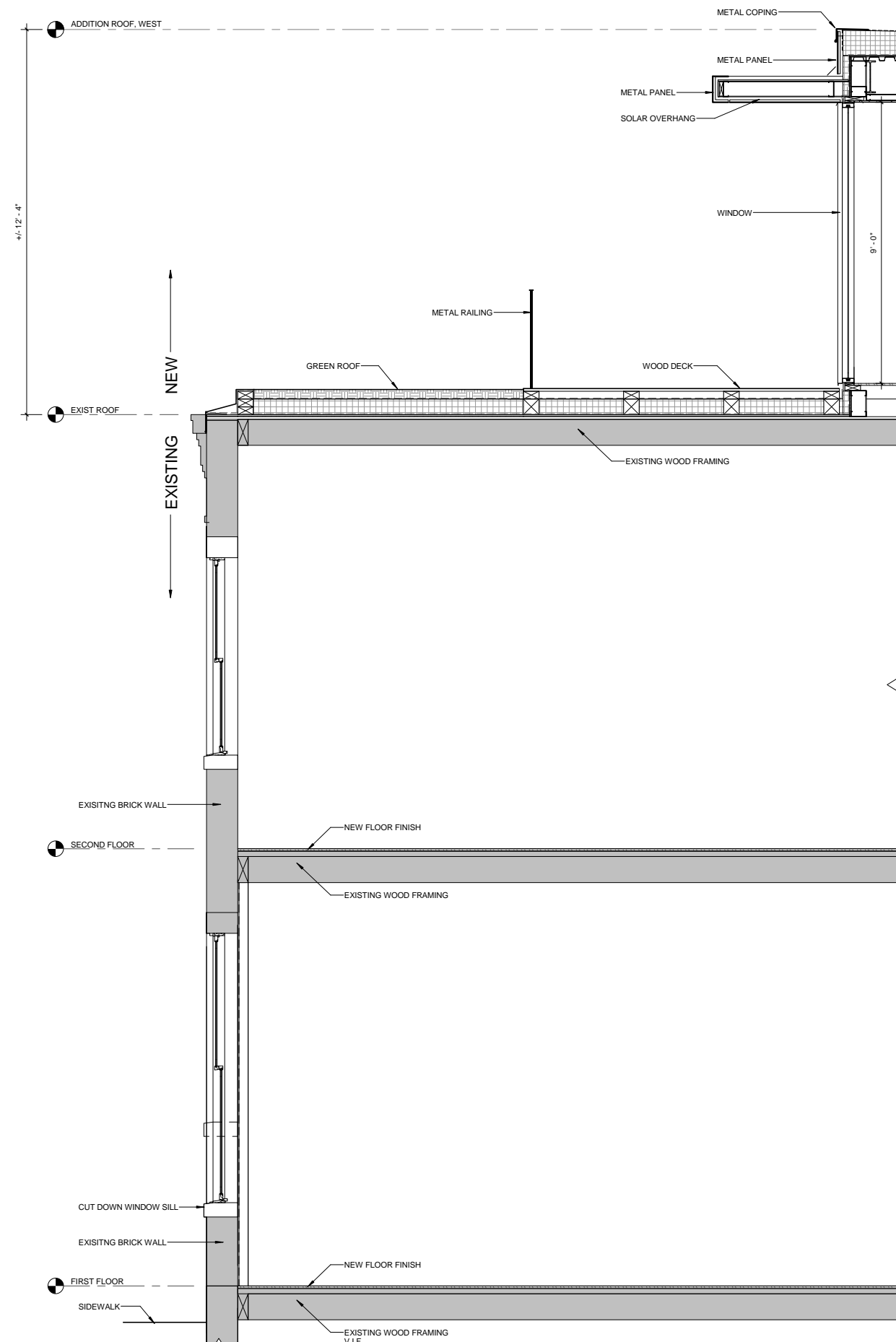
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Wall Sections

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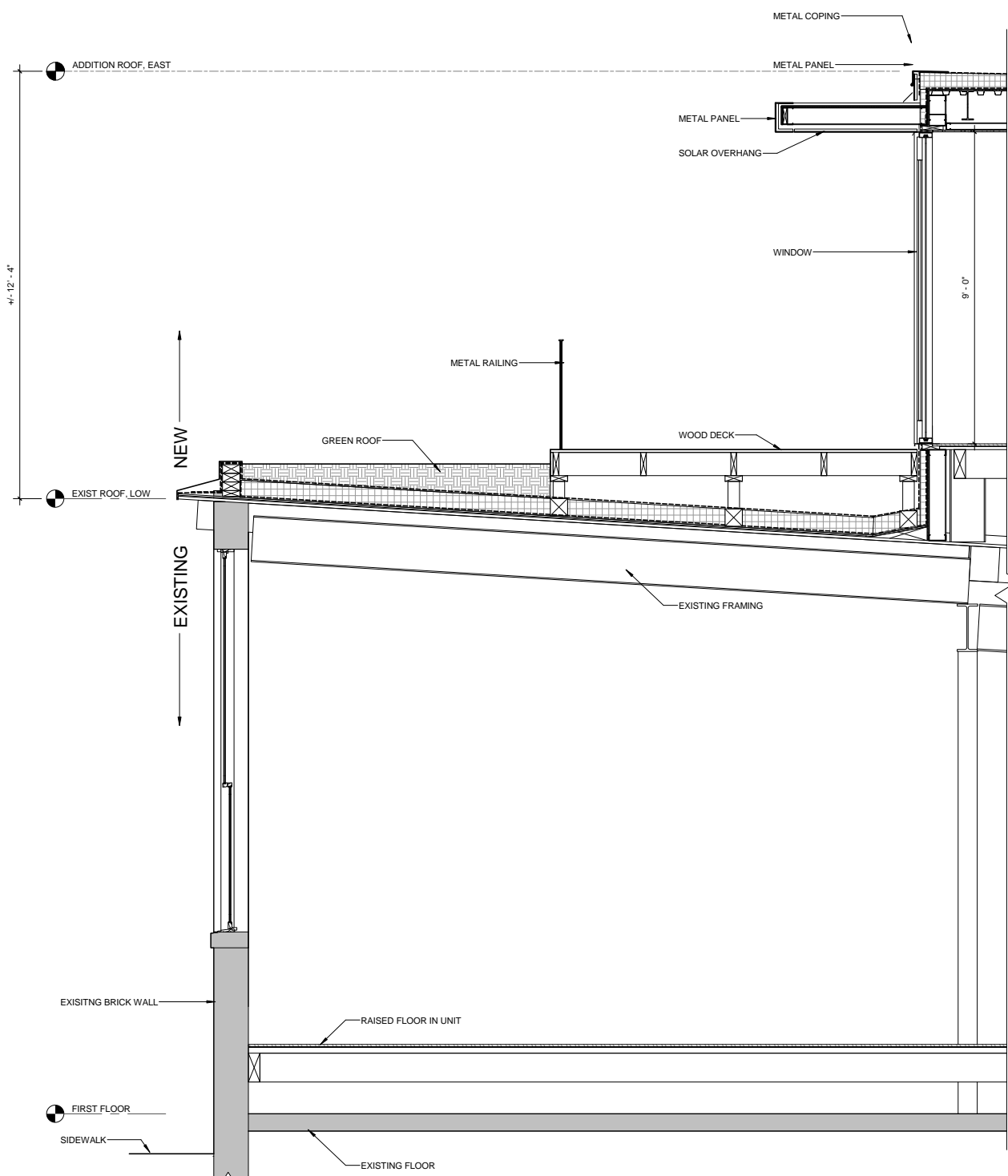
March 17, 2014	DATE OF ISSUE
Submission Set	DESCRIPTION
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3143.00	DRAWN BY
PROJECT #	FILE NAME

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A350



1 WALL SECTION @ WEST 2-STORY WING
 1/2" = 1'-0"



2 WALL SECTION @ EAST 1-STORY WING
 1/2" = 1'-0"

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 3/17/2014 3:46:02 PM Author



VIEW LOOKING EAST ON RICHDAL E AVE

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DRAWING TITLE

Perspective View

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A400



VIEW LOOKING WEST ON RICHDAL AVE

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Perspective View

DRAWING INFORMATION

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A401



VIEW AT ROOFTOP RESIDENTIAL UNITS LOOKING WEST

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**Perspective
 View**

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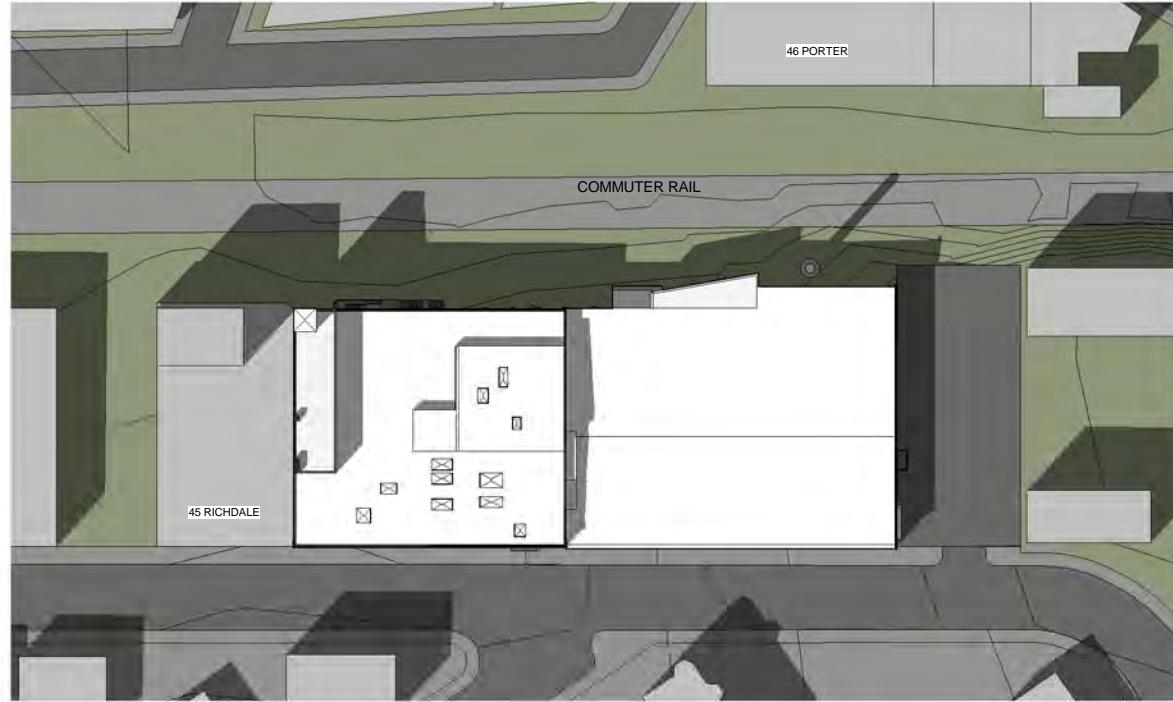
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PROJECT #	3143_Richdale_Ave.rvt
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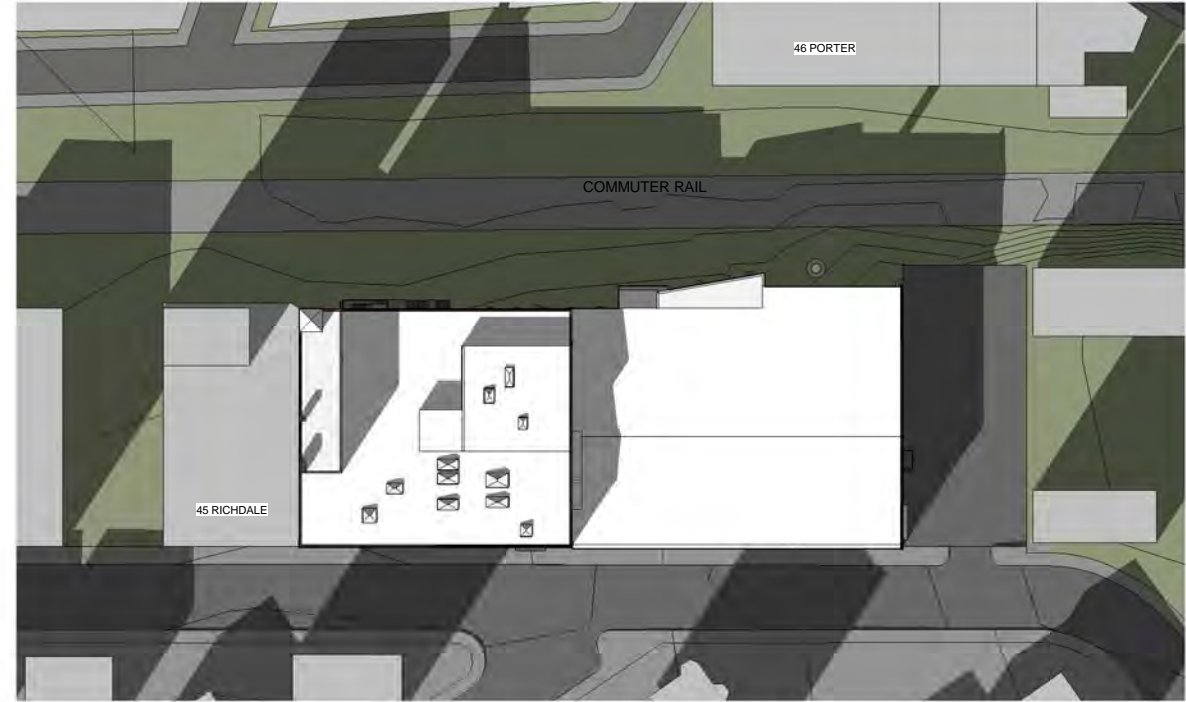
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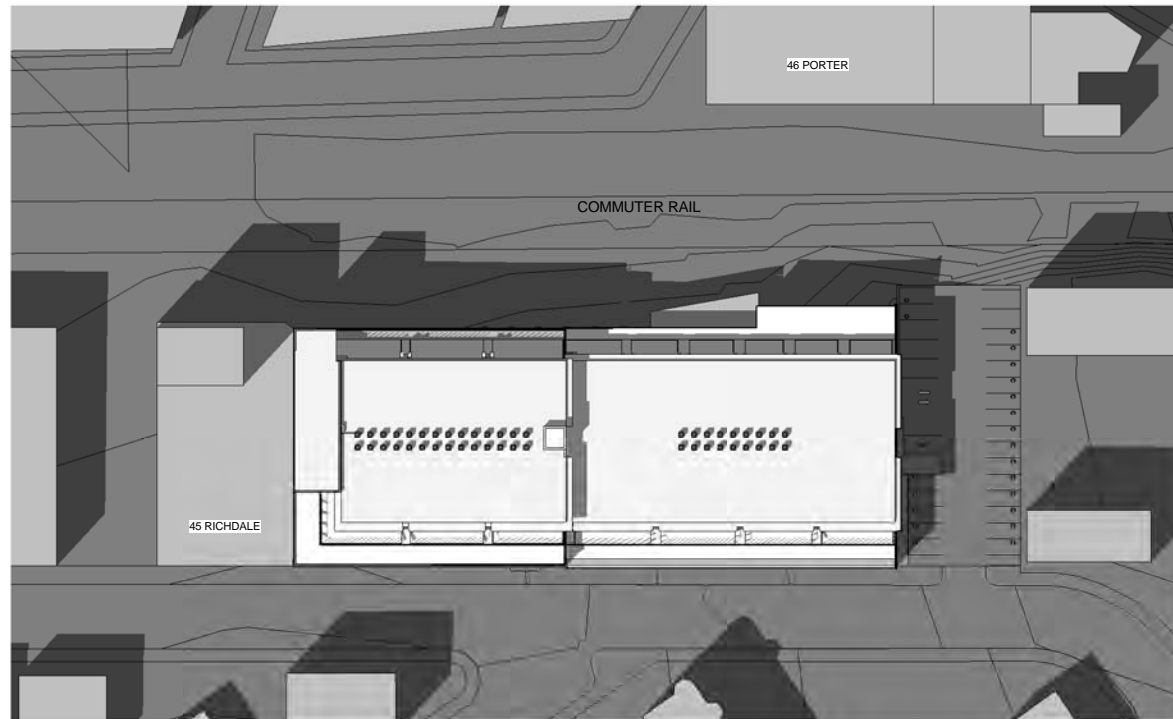
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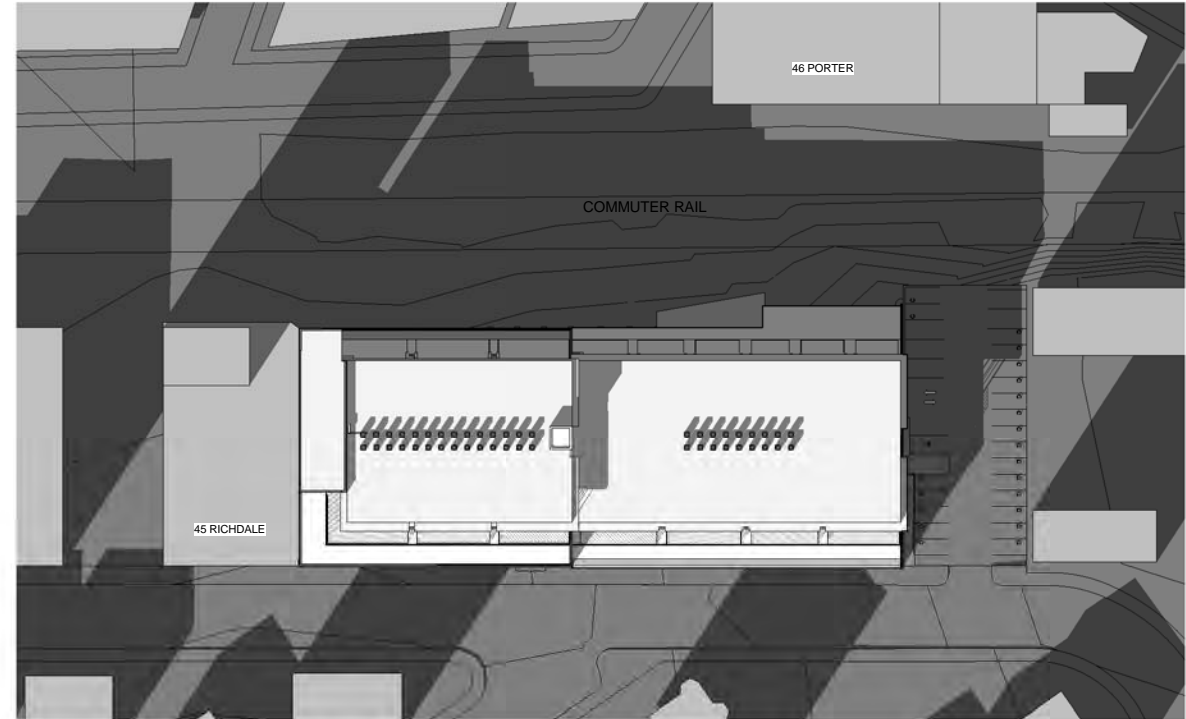
1 EXISTING SHADOW STUDY ON MARCH 21 3 PM (SPRING EQUINOX)



3 EXISTING SHADOW STUDY ON DECEMBER 21 3 PM (WINTER SOLSTICE)



2 PROPOSAL SHADOW STUDY ON MARCH 21 3 PM (SPRING EQUINOX)



4 PROPOSAL SHADOW STUDY ON DECEMBER 21 3 PM (WINTER SOLSTICE)

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Shadow Studies

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PROJECT #	

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A450