

# THE COLLECTION AT HARVARD SQUARE

April 11, 2017

HARVARD SQUARE, CAMBRIDGE, MA





**NOTED FEATURES:**

- (1) WINDOW OPENINGS EXTEND TO GRANITE BASE
- (2) CURVED GLASS STOREFRONT AT ENTRANCE, SIDES, AND TRANSOM
- (3) GRANITE CURBES AT ENTRANCE SIDES
- (4) LIMESTONE PILASTERS AT RETURNS (STILL EXTANT AT JFK ENTRANCE)



**NOTED CHANGES**

- (1) LIMESTONE INFILLS AT WINDOW OPENINGS
- (2) OPENING RECONFIGURED IN 1948. FLAT WALL AND DOOR RECESSED IN CURVED FACADE
- (3) GRANITE CURBS REMOVED
- (4) LIMESTONE INFILL PIERS FLANKING NEW ENTRANCE COVER PILASTERS

**Abbot Building**

Built in 1908

Newhall & Blevins – architects

L. D. Willcutt & Sons Company – builder

Alterations to curved entrance in 1948:

- Removed granite curbs
- Installed flat entrance door and sidelights
- Added limestone infill below first floor window openings on JFK and Brattle Streets
- Added limestone infill in front of pilasters
- Upper floor elevations remain intact

**18-24 Brattle Street**

Built in 1894

Extensive fire in 1922 requires rebuilding the façade

- Newhall & Blevins – architects for 1922 work
- Becomes the Abbot Mercantile Building
- Storefronts at street level changed over time
- Upper floor elevations remain intact



TYPICAL LIMESTONE AND BRICK SOILING



CRACK IN LIMESTONE TO BE REPAIRED WITH PINS AND GROUT



FERROUS ANCHORS, CONDUITS, AND ATTACHMENTS TO BE REMOVED AND RESULTING HOLES PATCHED



WOOD WINDOW FRAMES TO BE RESTORED. WOOD WINDOW SASH TO BE REPLACED TO MATCH ORIGINAL PROFILES AND CONFIGURATION.



PREVIOUS LIMESTONE PATCHES TO BE REMOVED AND NEW PATCHES INSTALLED TO MATCH SURROUNDING STONE



OPEN JOINTS AT LIMESTONE BELT COURSE. COPPER CORNICE TO BE INSPECTED

**EXISTING CONDITIONS**



- PROTECT EXISTING POLISHED GRANITE COLUMNS
- REMOVE SIGN TO EXPOSE LIMESTONE FRIEZE
- PROTECT EXISTING POLISHED GRANITE COLUMNS
- CAREFULLY REMOVE LIMESTONE INFILL TO EXPOSE PILASTER
- REMOVE LIMESTONE INFILL

**EXISTING JFK STREET ELEVATION**

**General Restoration Notes for Abbot Building and 18-24 Brattle Street:**

- Carefully remove all limestone infill panels installed after the original construction. At vertical panels adjacent to curved entrance, carefully remove stone to expose buried pilasters.
- Clean brick and limestone using gentlest means possible to remove atmospheric soiling and staining.
- Repoint all open brick and limestone mortar joints. Use mortar that matches existing in color, texture and composition.
- Remove all ferrous anchors, conduits and attachments. Patch resulting holes in brick and limestone with cementitious patching material (<1" diameter); or Dutchman (>1" diameter).
- Replace any cracked brick with new brick matching existing in color, texture and composition.
- Repair cracks in limestone with stainless steel pins and patching material.
- Remove all previous limestone patches that are failing, or do not match surrounding in color or texture. Patch resulting voids with cementitious patching material (<1" diameter); or Dutchman (>1" diameter).
- Furnish and install new wood windows to match historic profiles.
- Restore existing wood frames and trim.

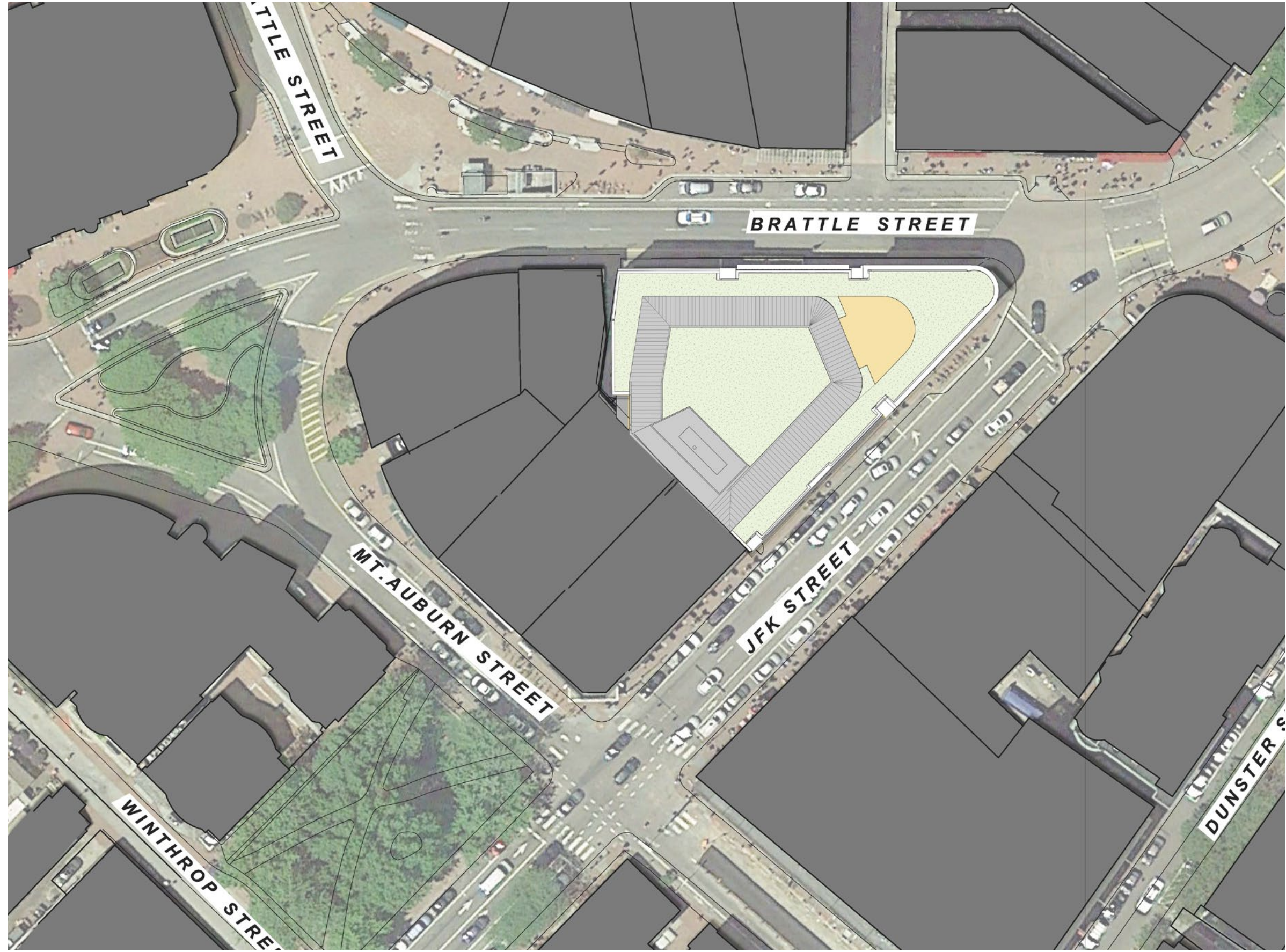


- REMOVE SIGN TO EXPOSE LIMESTONE FRIEZE
- PROTECT EXISTING POLISHED GRANITE COLUMNS
- CAREFULLY REMOVE LIMESTONE INFILL TO EXPOSE PILASTER
- REMOVE LIMESTONE INFILL

**EXISTING BRATTLE STREET ELEVATION**

**PROPOSED RESTORATION**

**SITE PLAN**



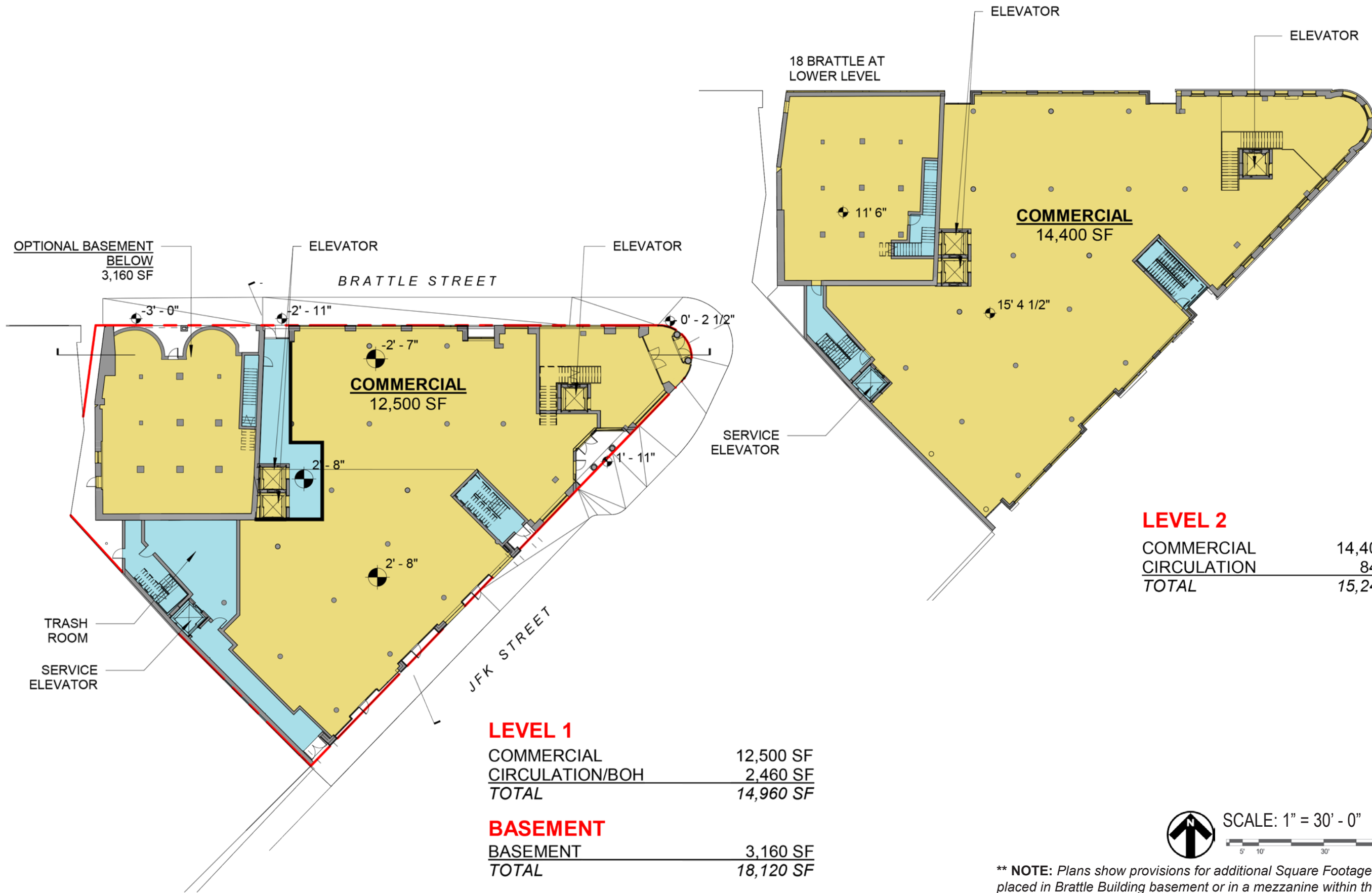
SCALE: 1" = 60' - 0"

**The Collection at Harvard Square**  
**HISTORIC COMMISSION**

04.11.2017

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**LEVEL 1**

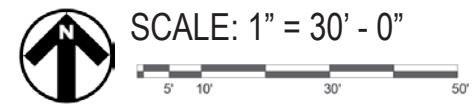
COMMERCIAL	12,500 SF
CIRCULATION/BOH	2,460 SF
<b>TOTAL</b>	<b>14,960 SF</b>

**BASEMENT**

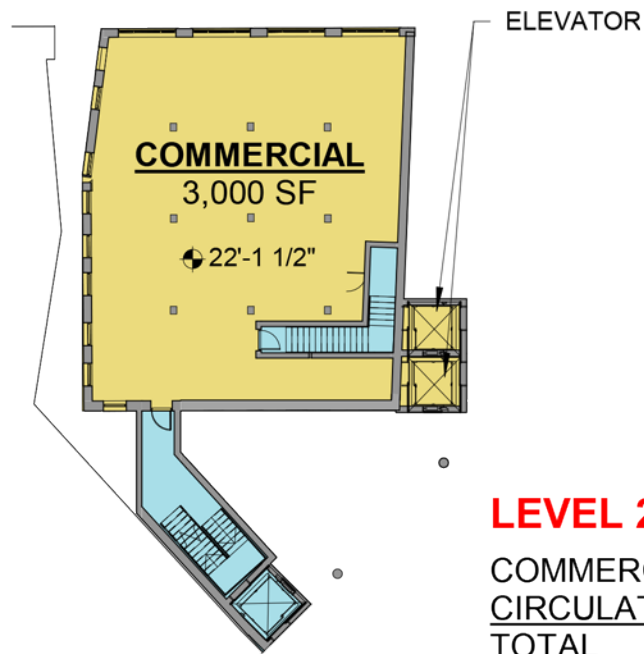
BASEMENT	3,160 SF
<b>TOTAL</b>	<b>18,120 SF</b>

**LEVEL 2**

COMMERCIAL	14,400 SF
CIRCULATION	840 SF
<b>TOTAL</b>	<b>15,240 SF</b>

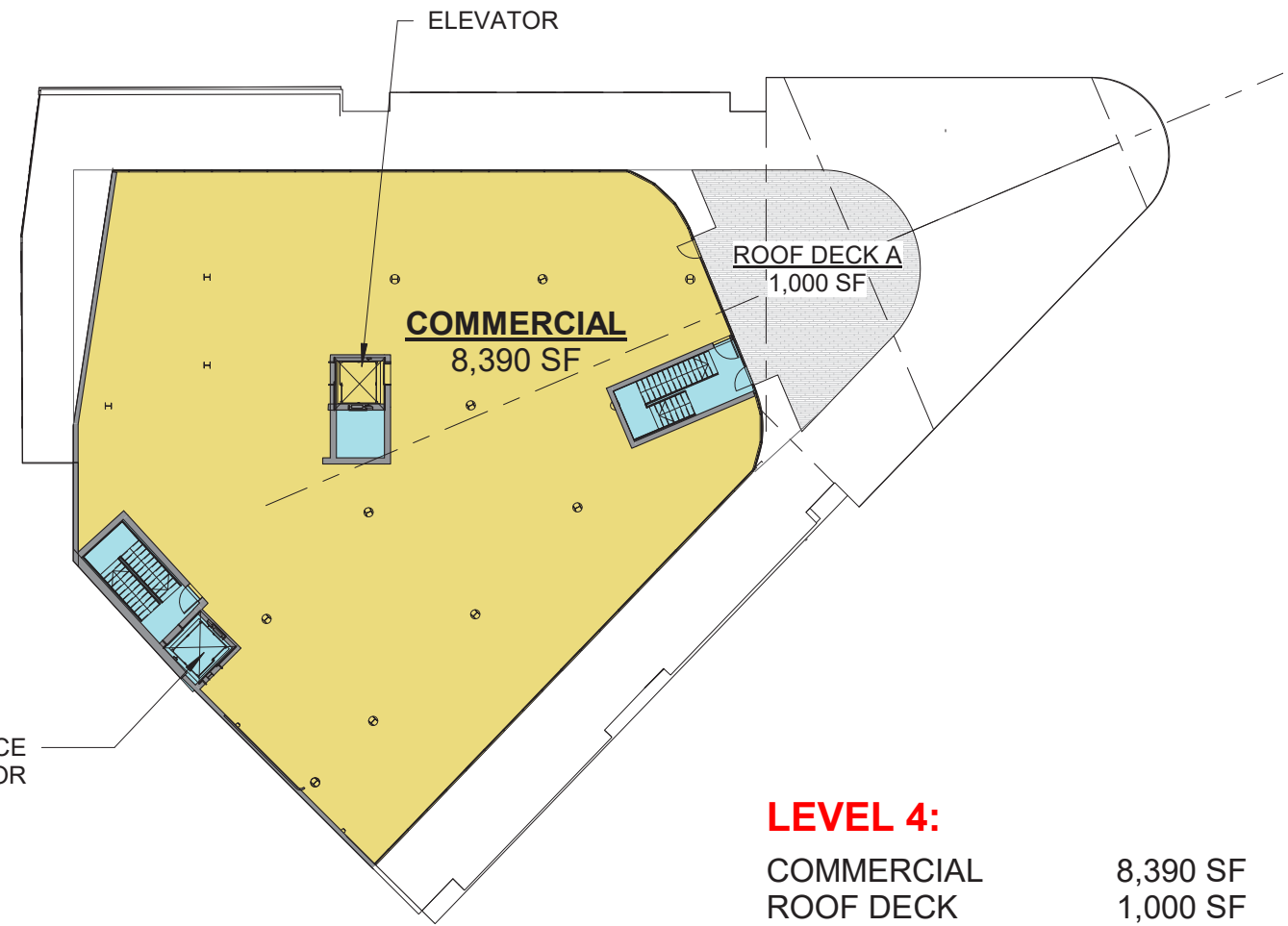


**\*\* NOTE:** Plans show provisions for additional Square Footage to be placed in Brattle Building basement or in a mezzanine within the second floor retail space. Square Footage (SF) will be placed in these locations in order to bring total Building SF to 63,400 SF, in either a single amount in each or a combination of both.



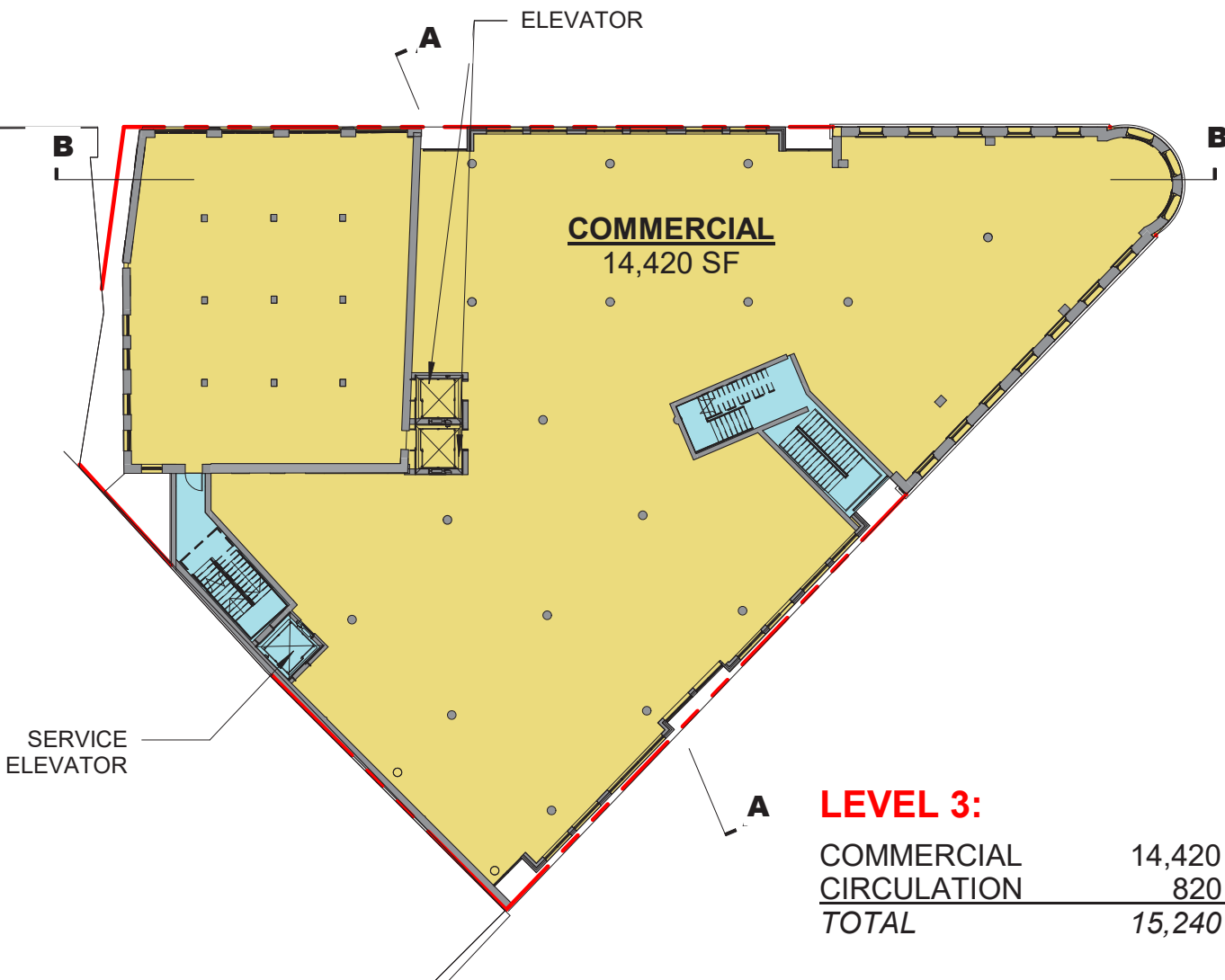
**LEVEL 2.5:**

COMMERCIAL	3,000 SF
CIRCULATION	570 SF
<b>TOTAL</b>	<b>3,570 SF</b>



**LEVEL 4:**

COMMERCIAL	8,390 SF
ROOF DECK	1,000 SF
CIRCULATION	600 SF
<b>TOTAL</b>	<b>9,990 SF</b>



**LEVEL 3:**

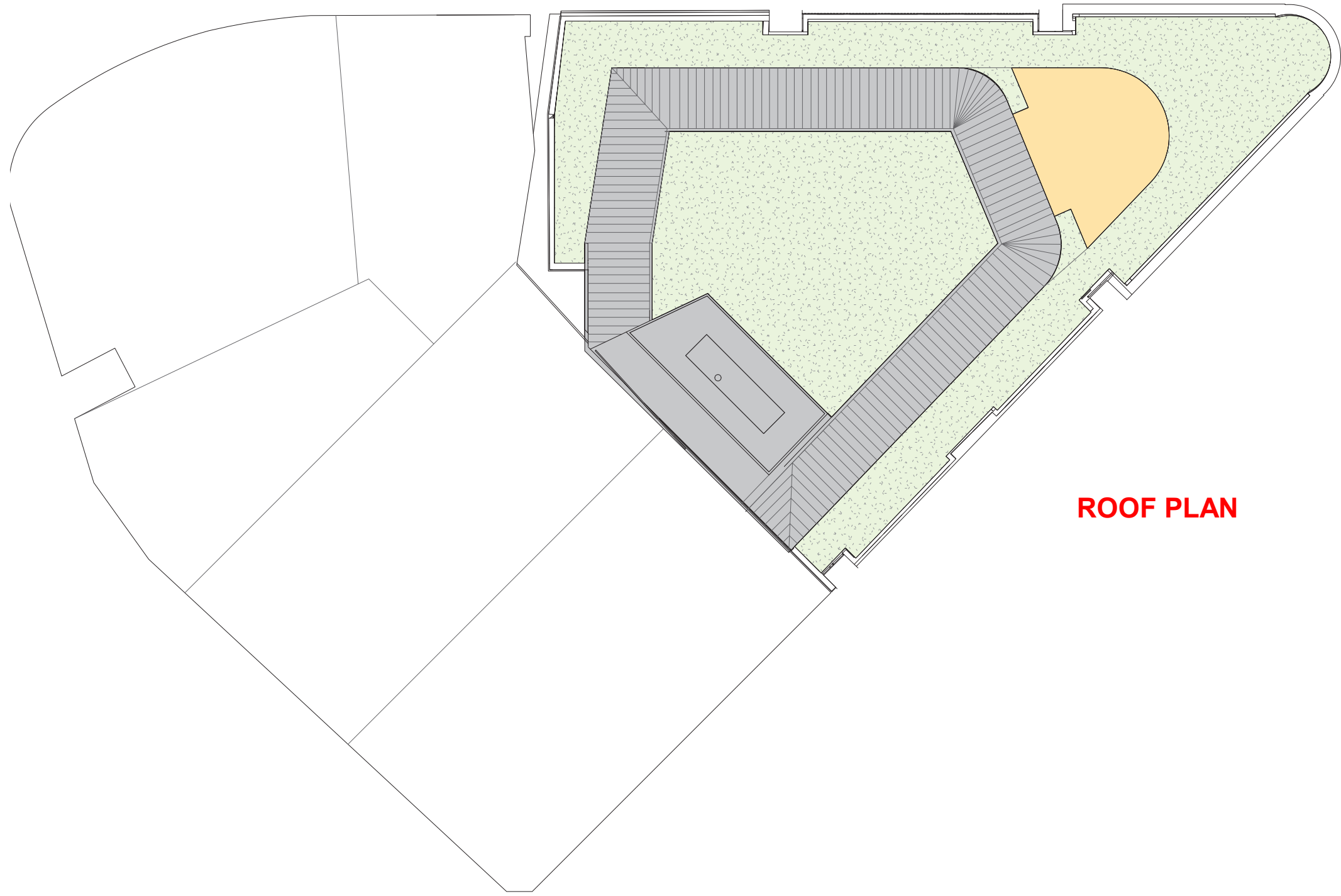
COMMERCIAL	14,420 SF
CIRCULATION	820 SF
<b>TOTAL</b>	<b>15,240 SF</b>



SCALE: 1" = 30' - 0"



**\*\* NOTE:** Plans show provisions for additional Square Footage to be placed in Brattle Building basement or in a mezzanine within the second floor retail space. Square Footage (SF) will be placed in these locations in order to bring total Building SF to 63,400 SF, in either a single amount in each or a combination of both.



**ROOF PLAN**



SCALE: 1" = 30' - 0"



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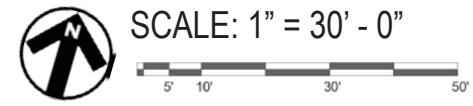


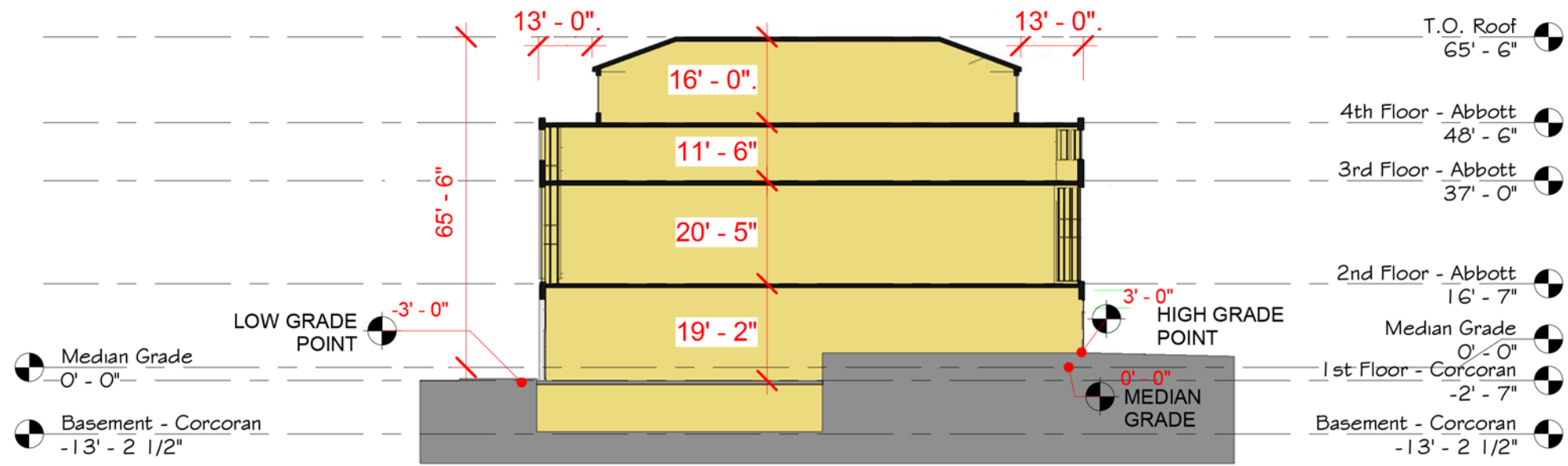


**LEVEL 1 - POTENTIAL LEASING OPTION A**



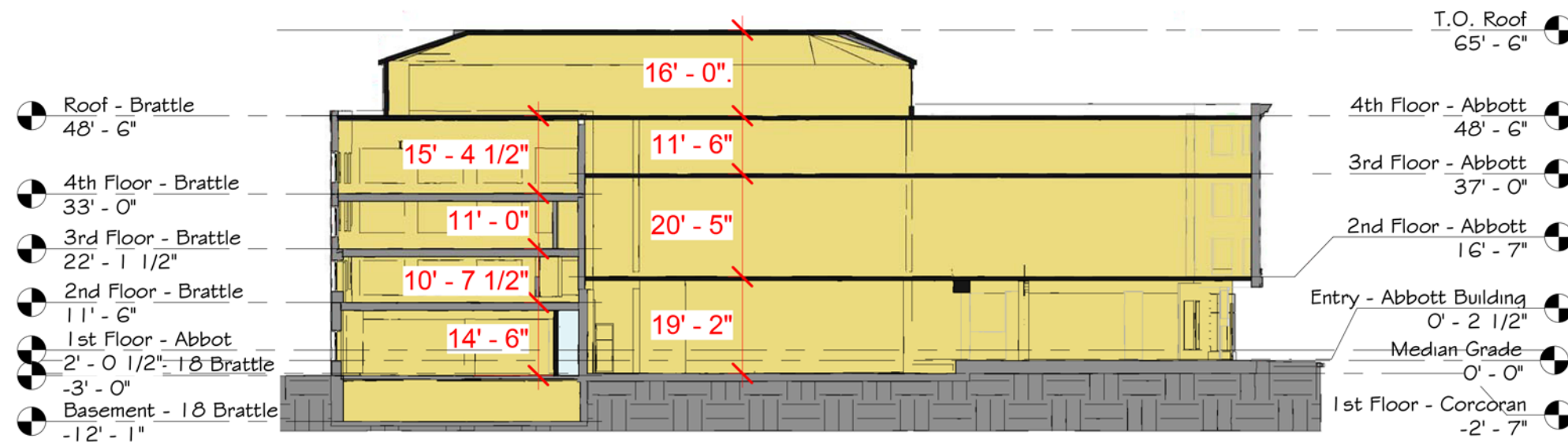
**LEVEL 1 - POTENTIAL LEASING OPTION B**





**BUILDING SECTION - A**

New Construction  
 Existing to remain



**BUILDING SECTION - B**



PROPOSED PERSPECTIVE FROM HARVARD SQUARE



PROPOSED PERSPECTIVE FROM HARVARD SQUARE



PROPOSED PERSPECTIVE FROM HARVARD SQUARE



PROPOSED PERSPECTIVE FROM BRATTLE SQUARE



PROPOSED PERSPECTIVE FROM JFK STREET



PROPOSED AERIAL VIEW



Clean and Repair Existing  
Cornice, Brick, and Stone

New Replacement Windows to  
match Historic Profiles

Restore 1909 Storefront  
Opening Sizes

Metal Standing Seam Roof

Aluminum Windows

Brick

Metal Panel

Terracotta

Clean and Repair Existing  
Cornice, Brick, and Stone

New Replacement Windows to  
match Historic Profiles



PROPOSED BRATTLE ST. ELEVATION



Metal Standing Seam Roof

Aluminum Windows

Metal Roof Edge

Brick

Terracotta

Metal Sunshades

Clean and Repair Existing  
Cornice, Brick, and Stone

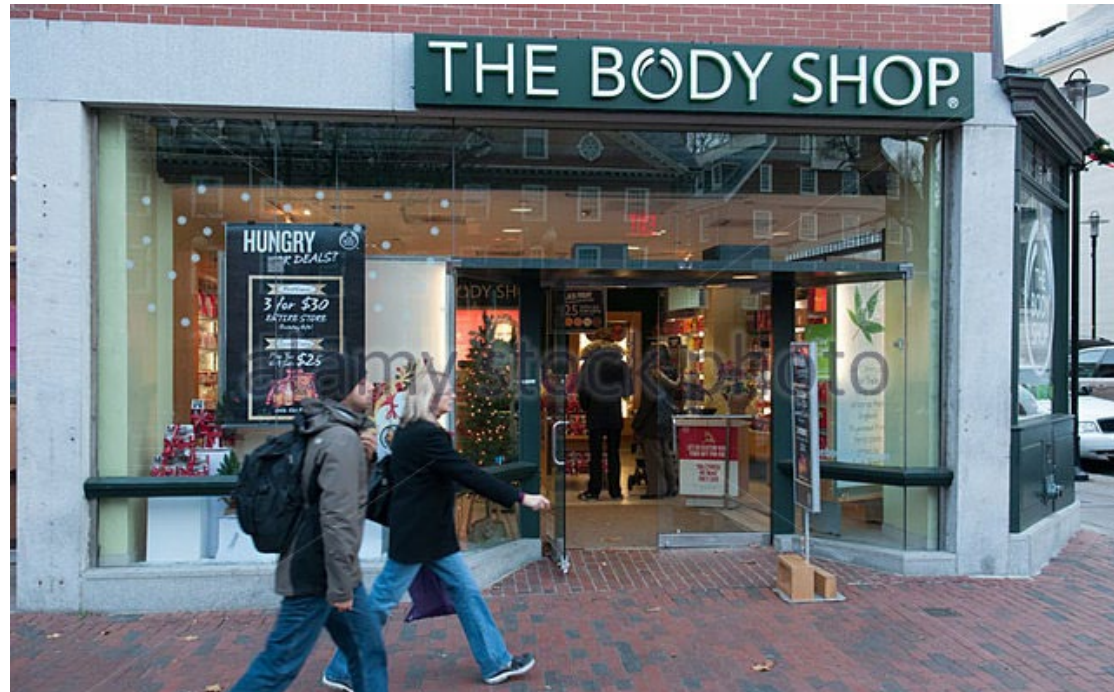
New Replacement Windows to  
match Historic Profiles

Restore 1909 Storefront  
Opening Sizes



PROPOSED JFK ST. ELEVATION





RETAIL STOREFRONT PRECEDENTS



PROPOSED BRATTLE STREET ELEVATION

POTENTIAL STOREFRONTS WITH INDIVIDUAL EXPRESSION FIT INTO BUILDING FRAMEWORK



PROPOSED PERSPECTIVE FROM JFK STREET WITH POTENTIAL STOREFRONTS



**DEUXAVE** (outdoor restaurant seating)



**THE STREET, CHESTNUT HILL** (ground floor retail, 2nd floor restaurant, 3rd floor office)



**BRATTLE STREET LOOKING WEST**  
**RETAIL AND RESTAURANTS AT NIGHT**

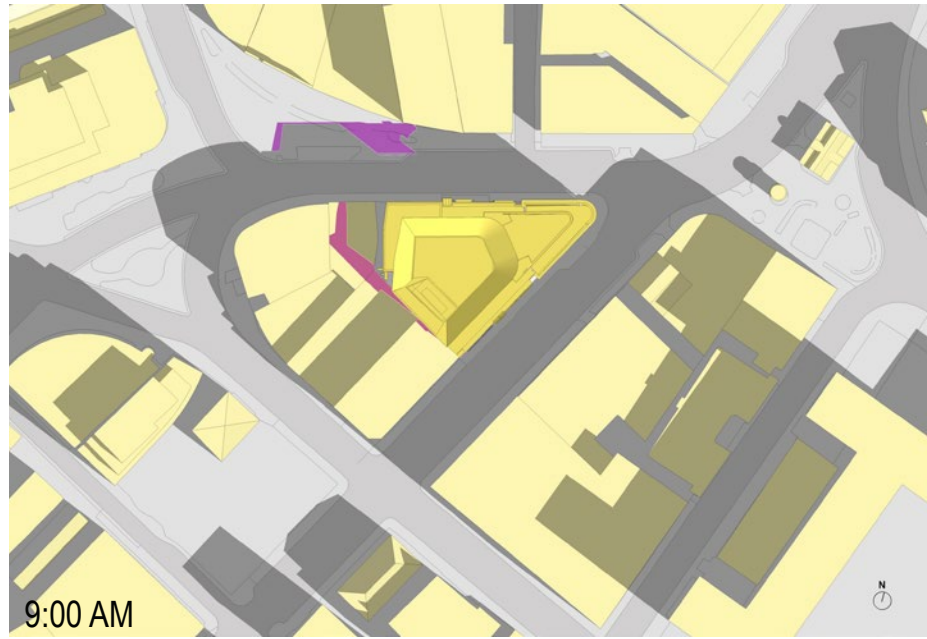


**BRATTLE STREET LOOKING WEST**



PROPOSED PERSPECTIVE FROM HARVARD SQUARE (NIGHT)

**The Collection at Harvard Square**  
**HISTORIC COMMISSION**



9:00 AM



12:00 PM



3:00 PM

**SHADOW STUDY: MARCH 21ST**



9:00 AM





12:00 PM

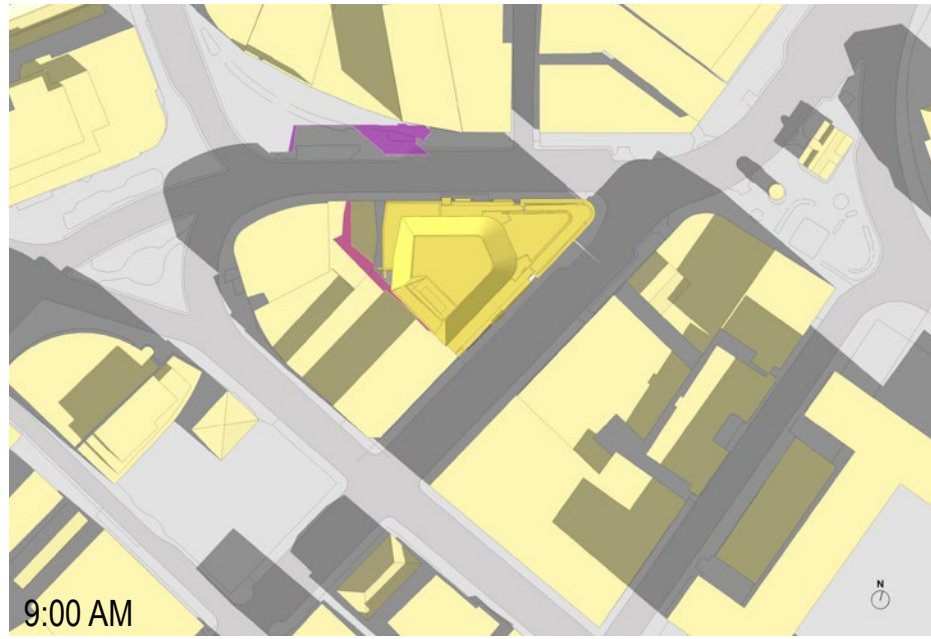


3:00 PM

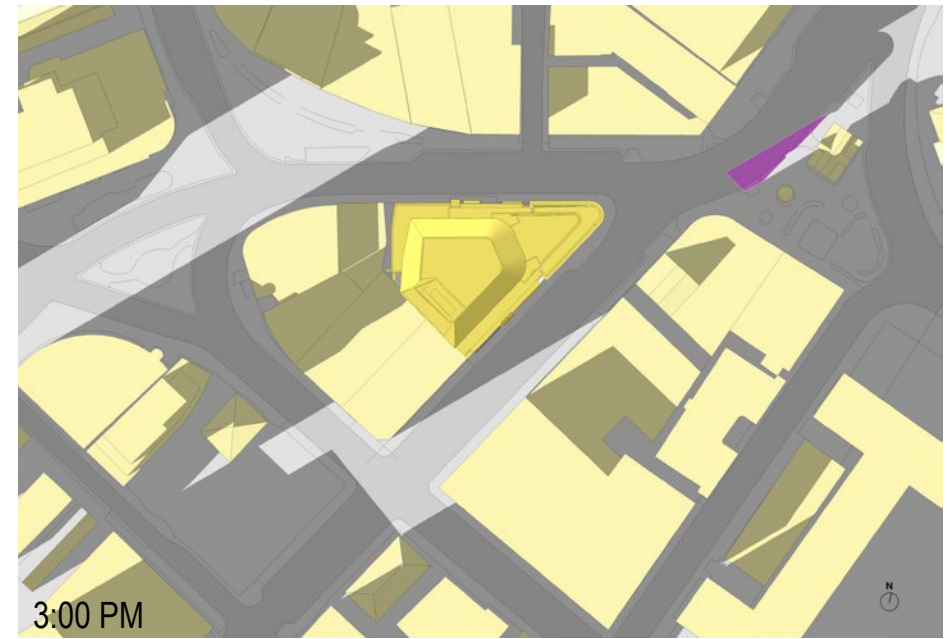
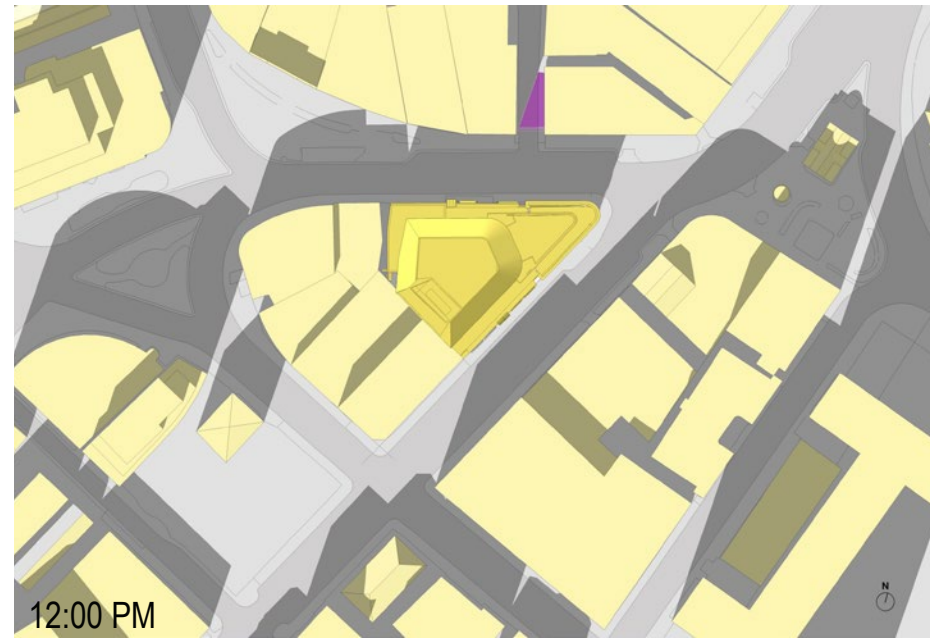
**SHADOW STUDY: JUNE 21ST**

 Additional shadow cast by proposed addition

 Shadow cast by existing building.



SHADOW STUDY: SEPTEMBER 21ST



SHADOW STUDY: DECEMBER 21ST

- Additional shadow cast by proposed addition
- Shadow cast by existing building.



Existing Conditions



December 2016



February 2017



May 2017