



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

- The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of (check one box): Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.
- Address of property: 125 Brattle Street, Cambridge, Massachusetts
- Describe the proposed alteration(s), construction or demolition in the space provided below:
(An additional page can be attached, if necessary).

We are proposing a second floor addition that sits directly above the existing garage, and remains within the existing footprint of the house. The addition will provide the home with an additional bed and bathroom on the second floor. We will also be converting the existing garage into additional living space, which will include a new first floor bathroom.

The rest of the house will remain as undisturbed as is feasible throughout the project. The new addition will strive to take on the character of the existing home by referencing existing materials and details where applicable.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief.
The undersigned also attests that he/she has read the statements printed on the reverse.

Name of Property Owner of Record: Ellen K Williams & Lawrence G Miller
Mailing Address: 125 Brattle St Cambridge MA 02138
Telephone/Fax: 617-270-3147 E-mail: ellentwilliams54@gmail.com
⇒ Signature of Property Owner of Record: [Signature]
(Required field; the application will not be considered complete without the property owner's signature)
Name of proponent, if not record owner: Dave Orndorff, Hisel Flynn Architects
Mailing Address: 17 Waltham St, 2nd Floor, Lexington, MA 02421
Telephone/Fax: 443-827-3372 E-mail: dave@hiselflynn.com

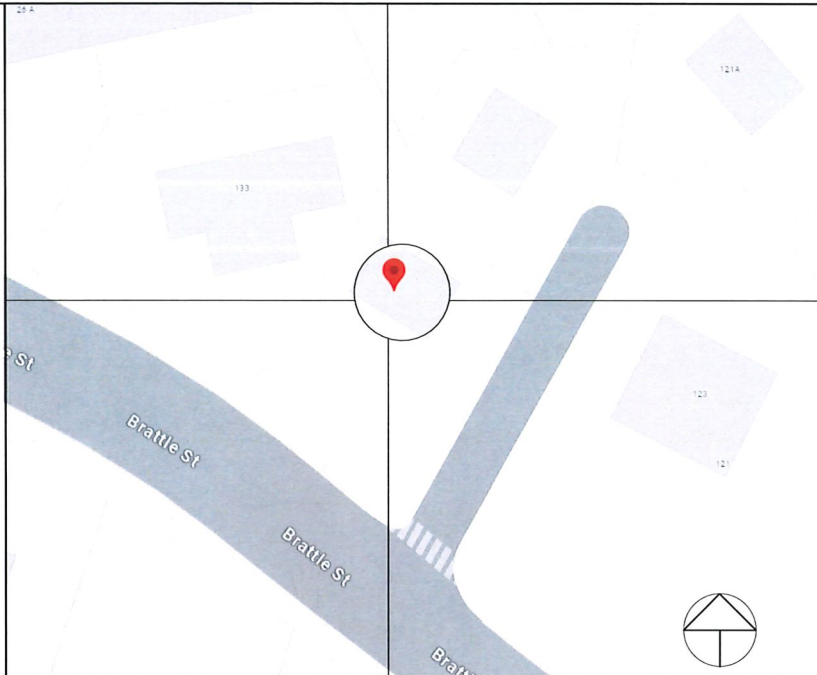
(for office use only):
Date Application Received: _____ Case Number: 5119 Hearing Date: 6/10/24
Type of Certificate Issued: _____ Date Issued: _____

BRATTLE ADDITION

HISTORICAL COMMISSION APPLICATION - 2024/05/14

Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
6 1 7 - 5 8 8 - 9 7 6 4

**BRATTLE
ADDITION**
Ellen and Lawrence
Williams
125 Brattle Street
Cambridge, MA



DRAWING INDEX

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- G1.2 EXTERIOR & INTERIOR ASSEMBLIES
- G1.3 SCHEDULES
- L1.1 SITE PLAN
- D1.1 DEMOLITION PLANS
- D2.1 DEMOLITION ELEVATIONS
- A1.1 FIRST FLOOR PLAN
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- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 SECTION DETAILS
- A4.2 INTERIOR ELEVATIONS
- S1.1 STRUCTURAL NOTES AND SPECS
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- E1.1 ELECTRICAL PLAN-FIRST FLOOR
- E1.2 ELECTRICAL PLAN-SECOND FLOOR

MATERIAL SYMBOLS

- EXISTING WALLS
- EXTG WALLS TO BE DEMOLISHED
- NEW WALLS
- CONCRETE
- EARTH
- CRUSHED STONE/GRAVEL
- ROUGH FRAMING
- WOOD BLOCKING
- BATT INSULATION
- SPRAY FOAM INSULATION
- BLOWN-IN CELLULOSE INSULATION
- RIGID INSULATION
- GYPSUM WALL BOARD
- SOFTWOOD
- HARDWOOD
- OSB OR PLYWOOD
- MDO
- RECOVERY BOARD
- BUILDING SECTION
- DETAIL MARKER
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- DETAIL
- SPOT ELEVATION
- ROOM NUMBER
- DOOR NUMBER
- WINDOW TYPE

ABBREVIATIONS

- AD Area Drain
- AHJ Authority Having Jurisdiction
- ALT Alternate
- ALUM Aluminum
- BD Board
- BLBD Blue Board
- BLDG Building
- CIP Cast in Place
- CMU Concrete Masonry Unit
- CONC Concrete
- CPT Carpet
- CWO Coordinate with Owner
- DH Double Hung
- DIA Diameter
- DIM Dimension
- DN Down
- DR Door
- DTL Detail
- DWG Drawing
- ELEV Elevation
- EXP Expansion
- F.V. Field Verify
- FD Foundation Drain
- FIN Finish
- FLR Floor
- FOC Face of Concrete
- FOS Face of Stud
- FTG Footing
- GALV Galvanized
- GNWB Gypsum Wall Board
- HCWD Hollow Core Wood
- HD Hand
- HDWD Hardwood
- HORIZ Horizontal
- LAV Lavatory
- MAX Maximum
- MDF Medium Density Fiberboard
- MFR Manufacturer
- MIN Minimum
- MTL Metal
- NIC Not in Contract
- NTS Not to Scale
- OPP Opposite
- PLWD Plywood
- PR Pair
- PT Paint
- PU Polyurethane
- R Riser
- REQ'D Required
- RM Room
- SBFLR Subfloor
- SCWD Solid Core Wood
- SK Skim Coat Plaster
- SS Stainless Steel
- SSM Standing Seam Metal
- STL Steel
- T Tread
- T&G Tongue and Groove
- TO Top of
- TOC Top of Concrete
- TOW Top of Wall
- TYP Typical
- VB Vapor Barrier
- VERT Vertical
- VIF Verify in Field
- WD Wood
- WDW Window

GENERAL NOTES

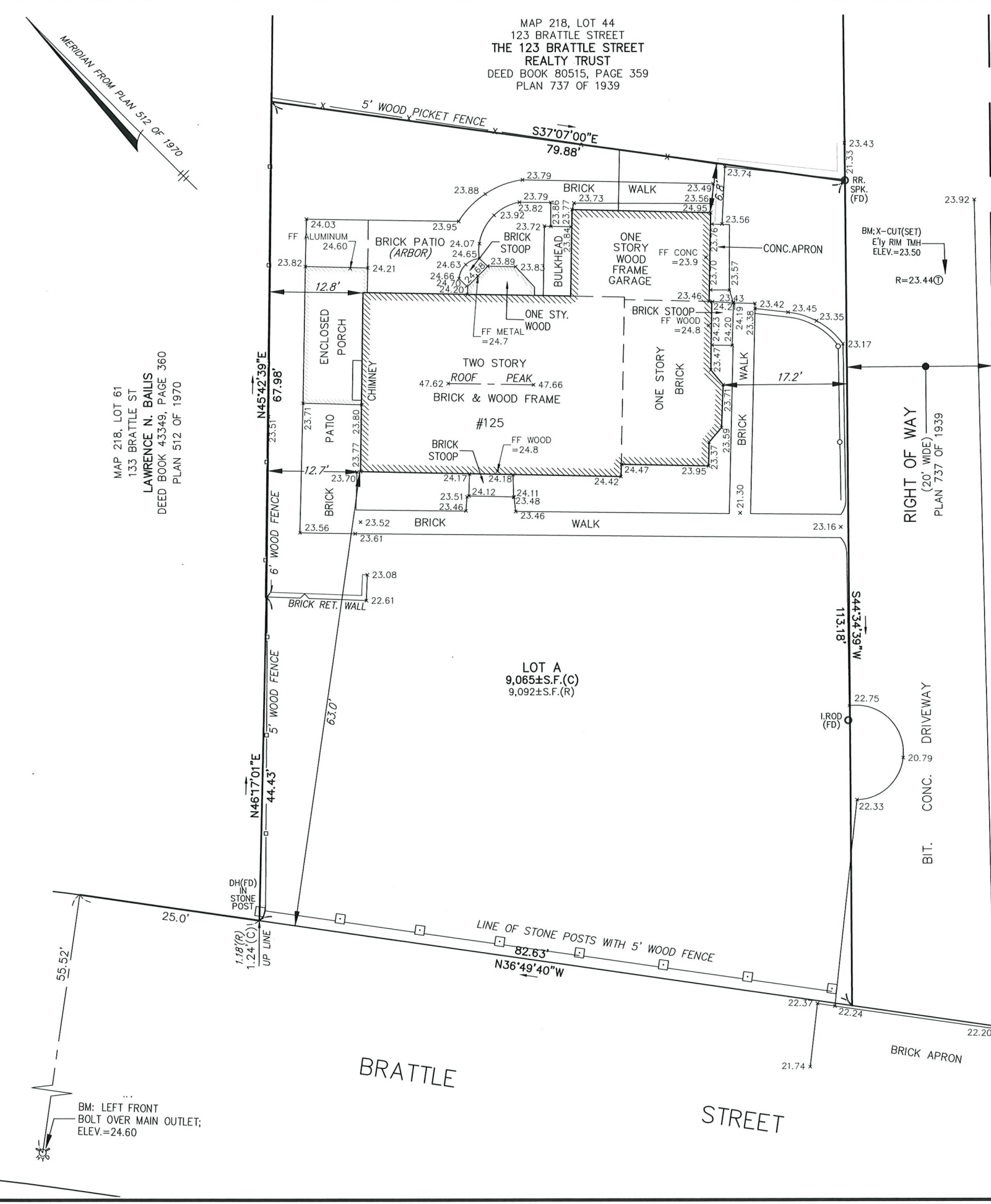
1. All work shall be performed in accordance with all applicable codes and ordinances as adopted by the local jurisdiction having authority. Contractor to arrange for required inspections by authorities at the proper time during progress of the work.
2. This sheet is part of an entire set of construction documents as outlined in the schedule of drawings. The owner's contractor is responsible for all coordination between subcontractors based on the entire set of documents. No extra compensation will be given to a bidder, or supplier who has bid from an incomplete set of construction documents. In case of inaccuracies or discrepancies between drawings, the most stringent note or condition shall apply and the contractor shall notify the architect immediately of such discrepancies.
3. It is the responsibility of the owner's contractor to field verify existing site conditions and dimensions prior to starting construction. Conditions shown on these documents are based on information obtained from site visits prior to construction. Notify the architect of any discrepancies prior to proceeding. Contractor shall verify all existing conditions before submitting a bid, verify all dimensions prior to commencement of work or ordering material (such as windows, doors, and trusses) and shall advise architect of any discrepancies.
4. The owner's contractor is responsible for maintaining a current set of construction documents on the site during construction. The owner's contractor shall indicate on these plans all approved changes to the work described on these drawings. This shall be turned over to the owner when the project is completed, with a copy provided to the architect.
5. If any errors, discrepancies, or omissions appear on these drawings, specifications, or other documents, the owner's contractor shall notify the office of Hisel Flynn Architects in written form immediately.
6. Owner's contractor shall verify with the owner all fixtures by others, and shall be available to receive delivery and assist in installation of all equipment and fixtures provided by owner. Contractor shall assume full responsibility for the protection and safe keeping of all products stored on site.
7. Contractor to coordinate work schedules, deliveries, and unusual service disconnects with owner.
8. Owner's contractor is to provide all necessary barricades, plastic for dust protection, and other forms of protection for portions of the house not to be damaged.
9. These drawings are not to be altered in any way without written authorization from the architect. Changes in drawings or actual work shall be issued by the architect.
10. General contractor to comply with all federal, state, and local laws concerning the demolition and disposal of hazardous materials, including lead, asbestos, oil, and all other materials deemed hazardous by the EPA.
11. Owner's contractor to warrant to the owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, in confirmation with the contract documents, and free from faults and defects, for a period of one year (unless otherwise stated in the contract documents). Beginning at the date of substantial completion, contractor shall promptly correct work not found to be in accordance with the contract documents. Contractor shall bear all costs of corrections.
12. Contractor shall provide supplementary support and/or framing for all light fixtures, ceiling diffusers, bathroom fixtures, etc.
13. Contractor shall perform all work and install materials in strict accordance with manufacturers' specifications and instructions, and in a manner consistent with industry standards of workmanship.
14. Contractor shall maintain a clean and orderly construction site at all times.
15. Contractor shall examine all surfaces to determine that they are sound, dry, clean, and ready to receive finishes or millwork prior to installation. Start of installation shall imply acceptance of substrate and shall not be grounds for claims against improper performance of installed materials. Advise designer of any existing conditions not level, plumb, and smooth or within industry standards prior to start of construction.
16. Contractor to thoroughly clean all surfaces of dust, debris, loose construction material and equipment 24 hours prior to occupancy of finished work. Contractor to vacuum or mop as appropriate all floors, and clean windows and glazing.
17. Contractor shall complete all work in accordance with the contract documents. All work under the contract is to be performed to a complete and finished product. At end of job, contractors shall leave the job site in an orderly and neat fashion capable of being used for the intended purpose. All work is to be warranted for one year against any defects or deficiencies, unless otherwise stated within the contract documents. It is expressly understood that one condition for final payment to the contractor under this agreement is completeness of all work. Contractor to provide all keys, equipment, operating instructions, record drawings, etc., to owner.
18. These drawings are not to be scaled.
19. Unless otherwise noted, all dimensions shown are from face of rough framing to face of rough framing.

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: COVER SHEET

scale: 1/4" = 1'-0"

CS



MAP 218, LOT 61
133 BRATTLE ST
LAWRENCE N. BAILIS
DEED BOOK 43349, PAGE 360
PLAN 512 OF 1970

MAP 218, LOT 44
123 BRATTLE STREET
THE 123 BRATTLE STREET
REALTY TRUST
DEED BOOK 80515, PAGE 359
PLAN 737 OF 1939

ASSESSORS: MAP 218, LOT 39
REFERENCES: DEED BOOK 73748, PAGE 394
DEED BOOK 73748, PAGE 394
PLAN 737 OF 1939
OWNER OF RECORD:
125 BRATTLE STREET REALTY TRUST

NOTES:

- 1) THIS PLAN HAS BEEN PREPARED TO SHOW THE LOCATION OF THE EXISTING BUILDING SHOWN HEREON. ELEVATIONS SHOWN HEREON ARE BASED ON CAMBRIDGE CITY DATUM.
- 2) PROJECT SOURCE BENCHMARK IS THE TOP SOUTHEAST CORNER OF A CONCRETE BOUND, LOCATED ON THE WESTERLY SIDE OF SPARKS STREET; LOCATED 145.46' SOUTHERLY OF HEMLOCK ROAD.
- 3) UTILITIES SHOWN HEREON FROM FIELD LOCATIONS OF SURFACE STRUCTURES. NO UNDERGROUND UTILITIES WERE INCLUDED AS PART OF THIS SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

ZONING: A-1 MIN. SET-BACKS:
FRONT YARD: 25'
SIDE YARD: 15' (SUM OF 35')
REAR YARD: 25'(c)
(c) in Residence A-1, no building may be nearer than 25' plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100' up to a max. of 35'

MAP 218, LOT 55
121 BRATTLE STREET
JOSEPH L. KOERNER &
MARGARET L. KOSTER
DEED BOOK 54947, PAGE 423
PLAN 417 OF 1944

LEGEND

- x — x — x — WOOD PICKET FENCE
- □ — □ — □ — WOOD FENCE
- ○ — ○ — ○ — VINYL SLAT FENCE
- — — — — EDGE OF PAVEMENT
- — — — — RETAINING WALL WITH AND BOTTOM ELEVATIONS
- ⊕ FIRE HYDRANT
- ⊙ TELEPHONE MANHOLE
- × 100.7 SPOT ELEVATION
- BM ELEVATION BENCHMARK
- (R) RECORD
- (C) CALCULATED
- (R/H) RECORD AND HELD
- RR.SPK. ○ RAILROAD SPIKE
- I.ROD ○ IRON ROD
- STONE POST

125
BRATTLE
STREET

Cambridge, Massachusetts

PREPARED FOR:

**DR. ELLEN
WILLIAMS**

125 Brattle Street
Cambridge, Massachusetts 02138

**HANCOCK
ASSOCIATES**

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 2/27/2024			DRAWN BY: JMS	
SCALE: 1" = 10'			CHECK BY:	

**TOPOGRAPHIC
EXHIBIT PLAN
OF LAND IN
CAMBRIDGE, MA**

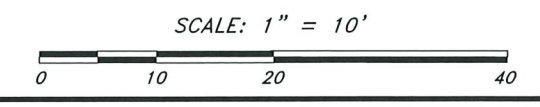
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DWG: 27575 sv.dwg

LAYOUT: EXHIBIT

SHEET: 1 OF 1

PROJECT NO.: 27575

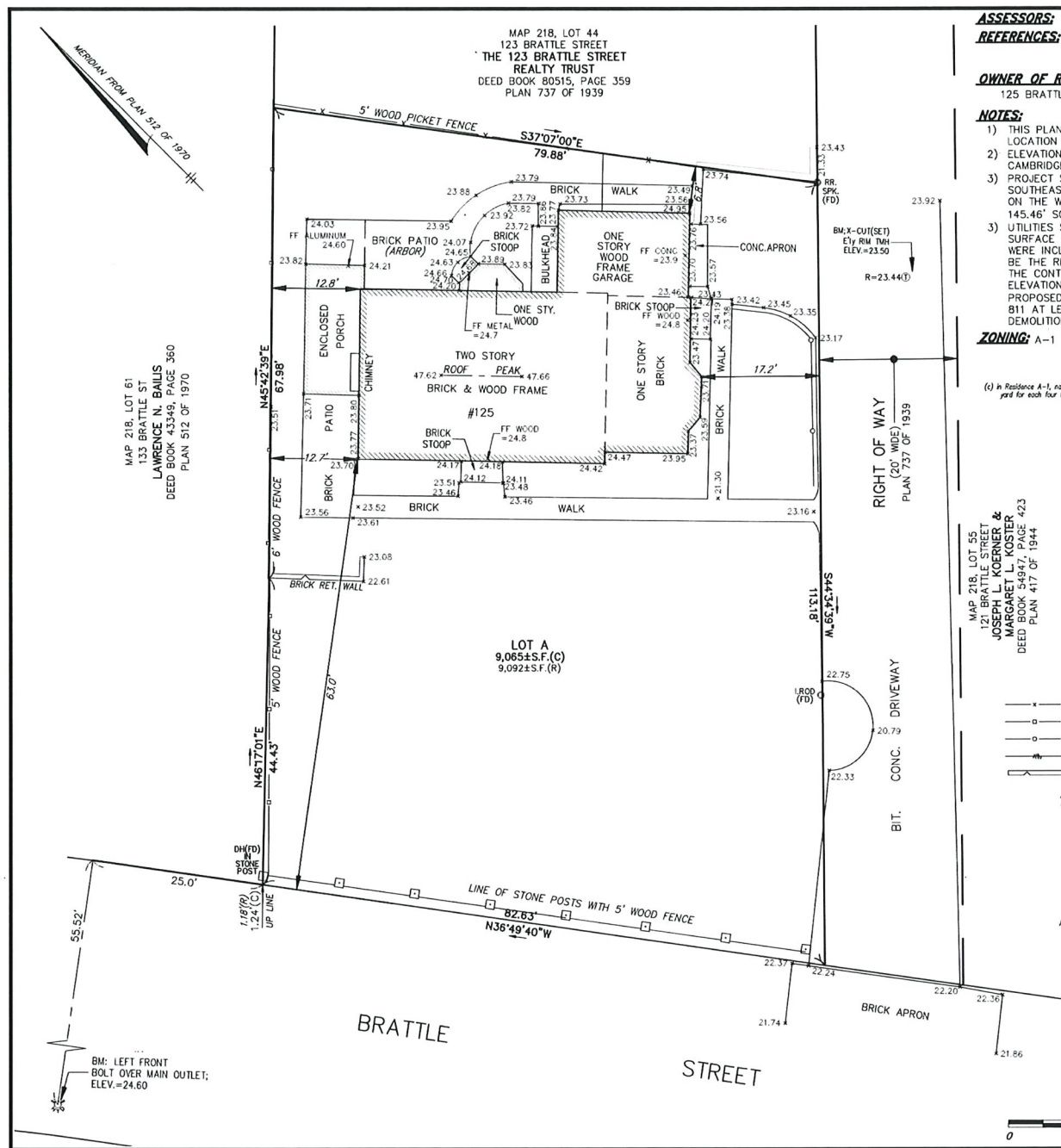
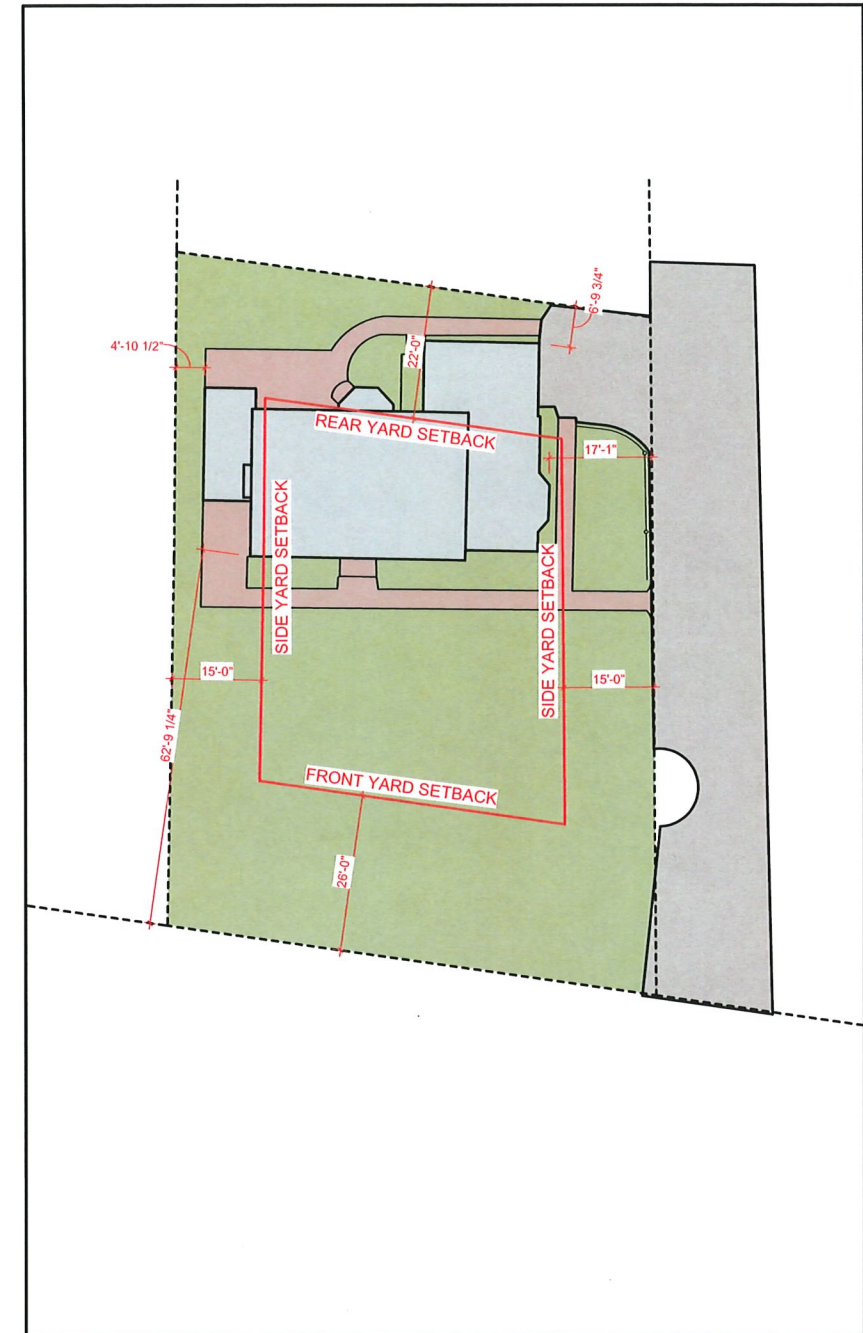




Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
617-588-9764

BRATTLE ADDITION

Ellen and Lawrence Williams
125 Brattle Street
Cambridge, MA



ASSESSORS: MAP 218, LOT 39
REFERENCES: DEED BOOK 73748, PAGE 394
DEED BOOK 73748, PAGE 394
PLAN 737 OF 1939
OWNER OF RECORD:
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MAP 218, LOT 55
JOSEPH L. KOENIGER & MARGARET L. KOSTER
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PLAN 417 OF 1944

LEGEND

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- ⊗ SPOT ELEVATION
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- IRON ROD
- STONE POST

125 BRATTLE STREET
Cambridge, Massachusetts

PREPARED FOR:
DR. ELLEN WILLIAMS
125 Brattle Street
Cambridge, Massachusetts 02138

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NO.	BY	APP.	DATE	ISSUE/REVISION DESCRIPTION

TOPOGRAPHIC EXHIBIT PLAN OF LAND IN CAMBRIDGE, MA

PLT DATE: Mar 04, 2024 1:38 pm
PATH: F:\104-30 Projects\27575 Williams - Cambridge\Sur\DWG\

DWG: 27575 sv.dwg	
LAYOUT: EXHIBIT	
SHEET: 1 OF 1	
PROJECT NO.:	27575

APPLICABLE CODES

BUILDING CODES: MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION (780 CMR); 780 CMR IS AN AMENDED VERSION OF THE 2015 INTERNATIONAL BUILDING CODE (IBC)

ENERGY CONSERVATION CODE: 780 CMR CHAPTER 115 AA: STRETCH ENERGY CODE. THE STRETCH CODE IS AN AMENDED VERSION OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).

MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE (IMC), AS ADOPTED AND AMENDED BY 780 CMR.

FIRE CODE: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (527 CMR 1.00). 527 CMR IS AN AMENDED VERSION OF THE 2012 NFPA 1, NATIONAL FIRE CODE.

ELECTRICAL CODE: MASSACHUSETTS ELECTRICAL CODE (527 CMR 12.00). 527 CMR 12 IS AN AMENDED VERSION OF THE 2020 NATIONAL ELECTRICAL CODE (NFPA 70).

PLUMBING CODE: MASSACHUSETTS FUEL GAS AND PLUMBING CODES (248 CMR); NFPA 54, 2012: NATIONAL FUEL GAS CODE WITH AMENDMENTS

FIRE PROTECTION CODE: NFPA 13, 2013: STANDARD FOR THE INSTALLATION OF SPRINKLERS; NFPA 14, 2013: STANDARD FOR THE INSTALLATION OF STANDPIPES; NFPA 72, 2013: NATIONAL FIRE ALARM CODE; NFPA 25, 2014: STANDARD FOR THE INSPECTION, TESTING & MAINTENANCE OF WATER BASED FIRE PROTECTION

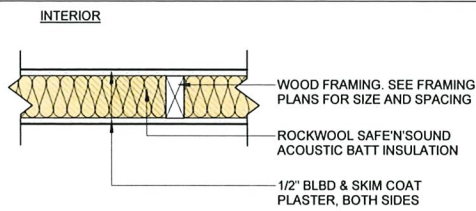
	ZONING INFORMATION			
	REQUIRED	EXISTING	PROPOSED	FINDING
FRONT YARD SETBACK (MIN.)	25'-0"	63'-0"	NO CHANGE	CONFORMING
SIDE YARD SETBACK (MIN)	15'-0" (SUM OF 35'-0")	30'-0" SUM	NO CHANGE	EXISTING NON-CONFORMING
REAR YARD SETBACK (MIN.)	22'-0"	6'-10"	NO CHANGE	EXISTING NON-CONFORMING
HEIGHT (MAX.)	35'-0"	23'-0"	NO CHANGE	CONFORMING
LANDSCAPED OPEN SPACE (MIN.)	50% (3,000SF)	80% (7,234SF)	NO CHANGE	CONFORMING
LOT COVERAGE (MAX.)	N/A	N/A	NO CHANGE	
GROSS FLOOR AREA	-	2,445SF	2,801SF	CONFORMING
FLOOR AREA RATIO	.50 MAX	.27	.31	CONFORMING
TOTAL LOT AREA	6,000SF MIN	9,092SF	NO CHANGE	CONFORMING

issue:	date:
PRICING	2024/05/13
HC Application	2024/05/14
drawing: ZONING/CODE	
scale:	1/16" = 1'-0"

G1.1

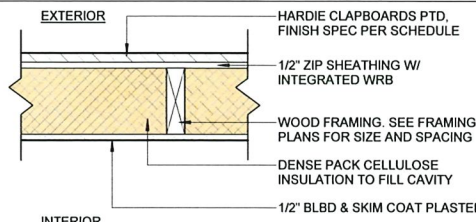
WALL ASSEMBLIES

A0 : 2X4 FRAMING ON THE FLAT
 A1 : 2X4 FRAMING
 A2 : 2X6 FRAMING
 A3 : 2X8 FRAMING
 A4 : 2X10 FRAMING



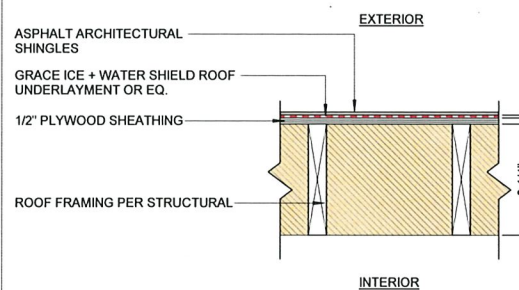
IWA-AX 1-1/2" = 1'-0" WOOD STUD UNRATED INTERIOR PARTITION

A0 : 2X4 FRAMING ON THE FLAT
 A1 : 2X4 FRAMING
 A2 : 2X6 FRAMING
 A3 : 2X8 FRAMING
 A4 : 2X10 FRAMING



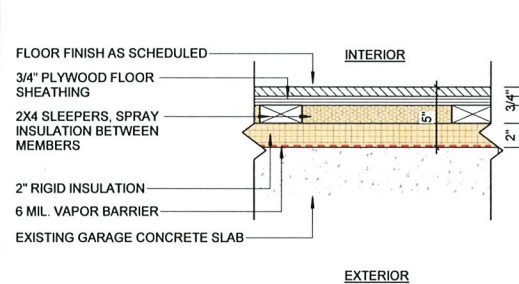
EWA-AX 1-1/2" = 1'-0" WOOD STUD INSULATED EXTERIOR ASSEMBLY

ROOF ASSEMBLIES

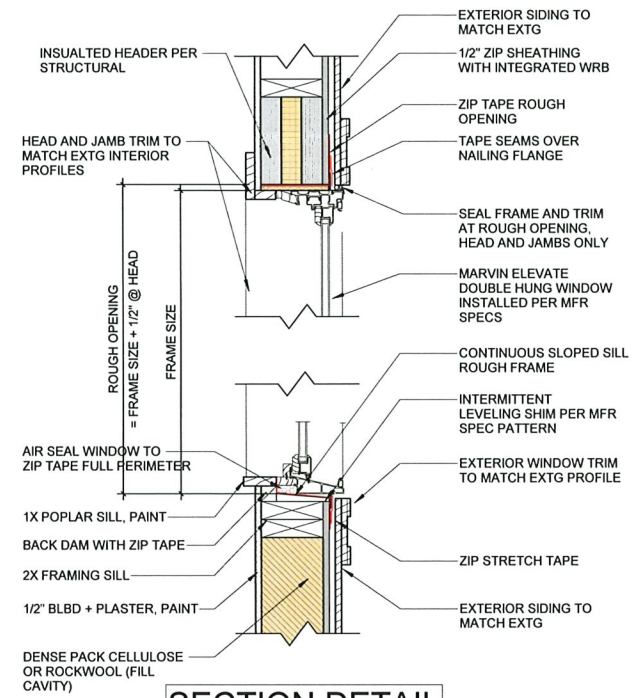


ERA01 R37 MINIMUM ROOF ASSEMBLY

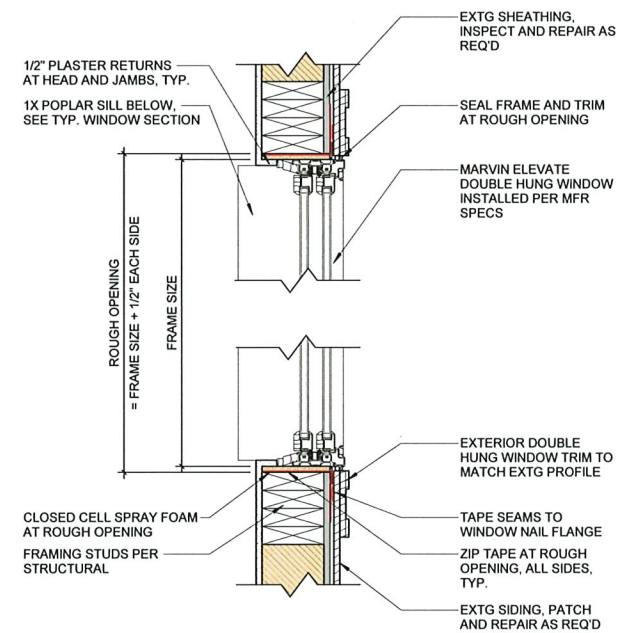
FLOOR ASSEMBLIES



EFA01 R20 GARAGE FLOOR ASSEMBLY

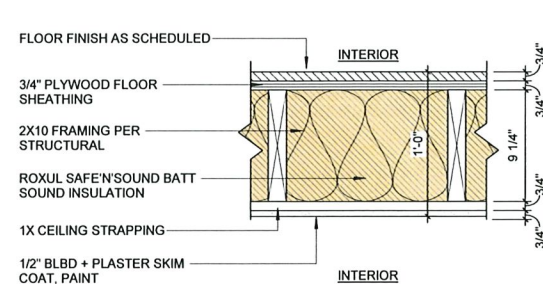


SECTION DETAIL

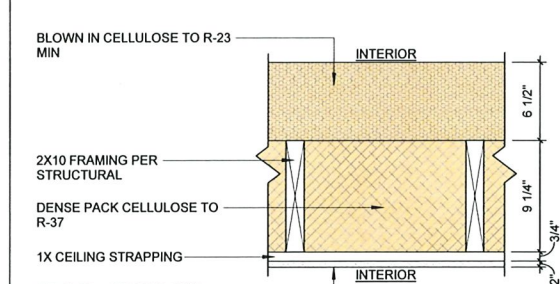


PLAN DETAIL

1 TYP. MARVIN DOUBLE HUNG WINDOW DETAIL
 Scale: 1 1/2" = 1'-0"



EFA02



EFA03 R60 MINIMUM ATTIC FLOOR ASSEMBLY



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BRATTLE ADDITION

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 Cambridge, MA

issue:	date:
PRICING	2024/05/13
HC Application	2024/05/14
drawing:	EXTERIOR & INTERIOR ASSEMBLIES
scale:	1 1/2" = 1'-0"

G1.2



Hisel Flynn Architects
 17 Walham Street, 2nd Floor
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 617-588-9764

BRATTLE ADDITION

Ellen and Lawrence Williams
 125 Brattle Street
 Cambridge, MA

ROOM FINISH SCHEDULE

#	ROOM NAME	FLOOR MATERIAL	WALL MATERIALS	CEILING	BASE TRIM	NOTES
FIRST FLOOR						
100	FAMILY ROOM	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
101	MUDROOM	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
102	GYM/GUEST	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
103	BATH	TILE	1/2" BLBD + PLASTER, PAINT; TILE	1/2" BLBD + PLASTER, PAINT	TILE; MATCH EXTG	
104	CLO	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
SECOND FLOOR FINISH						
200	HALL	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
201	P. BATH	TILE	1/2" BLBD + PLASTER, PAINT; TILE	1/2" BLBD + PLASTER, PAINT	TILE; MATCH EXTG	
202	BEDROOM	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
203	PRIMARY BEDROOM	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
204	CLO	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	
205	CLO	MATCH EXTG 3/4" WOOD FLOOR	1/2" BLBD + PLASTER, PAINT	1/2" BLBD + PLASTER, PAINT	MATCH EXTG	

DOOR SCHEDULE

#	LOCATION	DOOR FRAME TYPE	WIDTH	HEIGHT	MATERIAL	EXT. FINISH	INT. FINISH	NOTES
GARAGE								
101	GYM/GUEST	F1	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	
102	CLO	F1	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	
GARAGE FLOOR ROUGH								
100	GYM/GUEST	F1	3'-0"	6'-8"	FIBERGLASS	FIBERGLASS, BLACK	PAINT, TYP.	
SECOND FLOOR FINISH								
200	HALL	F1	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	
201	HALL	F1	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	
202	P. BATH	F3	2'-4"	6'-8"	SCWD	N/A	PAINT, TYP.	
203	CLO	F3	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	
204	PRIMARY BEDROOM	F3	2'-6"	6'-8"	SCWD	N/A	PAINT, TYP.	

WINDOW SCHEDULE

TYPE	COUNT	OPERATION	WIDTH	HEIGHT	EXT. MATERIAL	EXT. COLOR	INT. MATERIAL	INT. FINISH	GLASS	HARDWARE	NOTES
A	12		2'-9 1/2"	4'-11 3/4"	FIBERGLASS		WOOD	PAINT, TYP.			3460 DBHG - MARVIN ELEVATE AS B.O.D.
B	1		2'-6"	2'-6"	FIBERGLASS		WOOD	PAINT, TYP.			

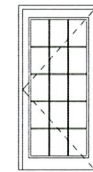
GENERAL WINDOW & DOOR NOTES

- CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENING DIMENSIONS ON SITE PRIOR TO ORDERING WINDOWS AND DOORS
- ALL WINDOWS TO MEET OR EXCEED ALL STRUCTURAL, WIND LOAD, AND ENERGY CONSERVATION CODE REQUIREMENTS (LOCAL AND NATIONAL).



①

SOLID CORE
FLAT PANEL
BIRCH
SINGLE LEAF



②

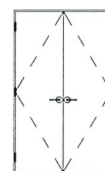
FIBERGLASS
ENTRY DOOR
SINGLE LEAF

DOOR PANEL TYPES



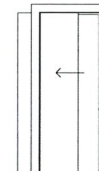
F1

SINGLE-HINGED



F2

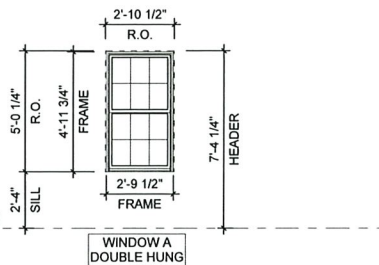
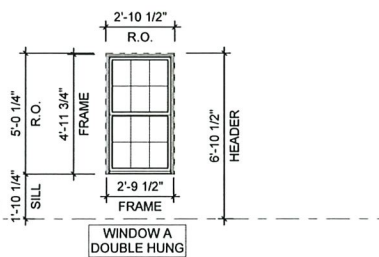
DOUBLE HINGED



F3

SINGLE POCKET

DOOR FRAME TYPES



WINDOW TYPES

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: SCHEDULES

scale: 1/4" = 1'-0"

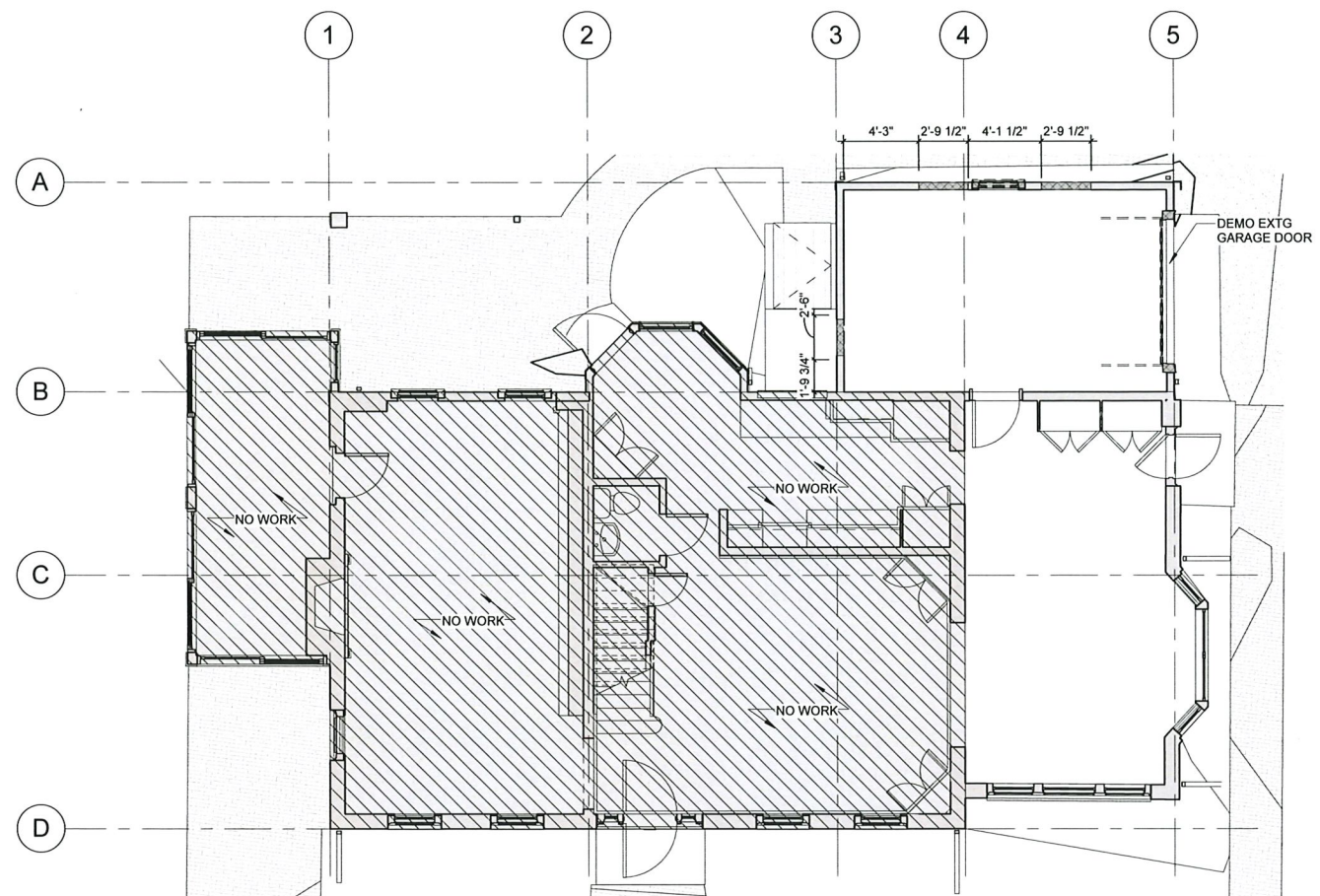
G1.3



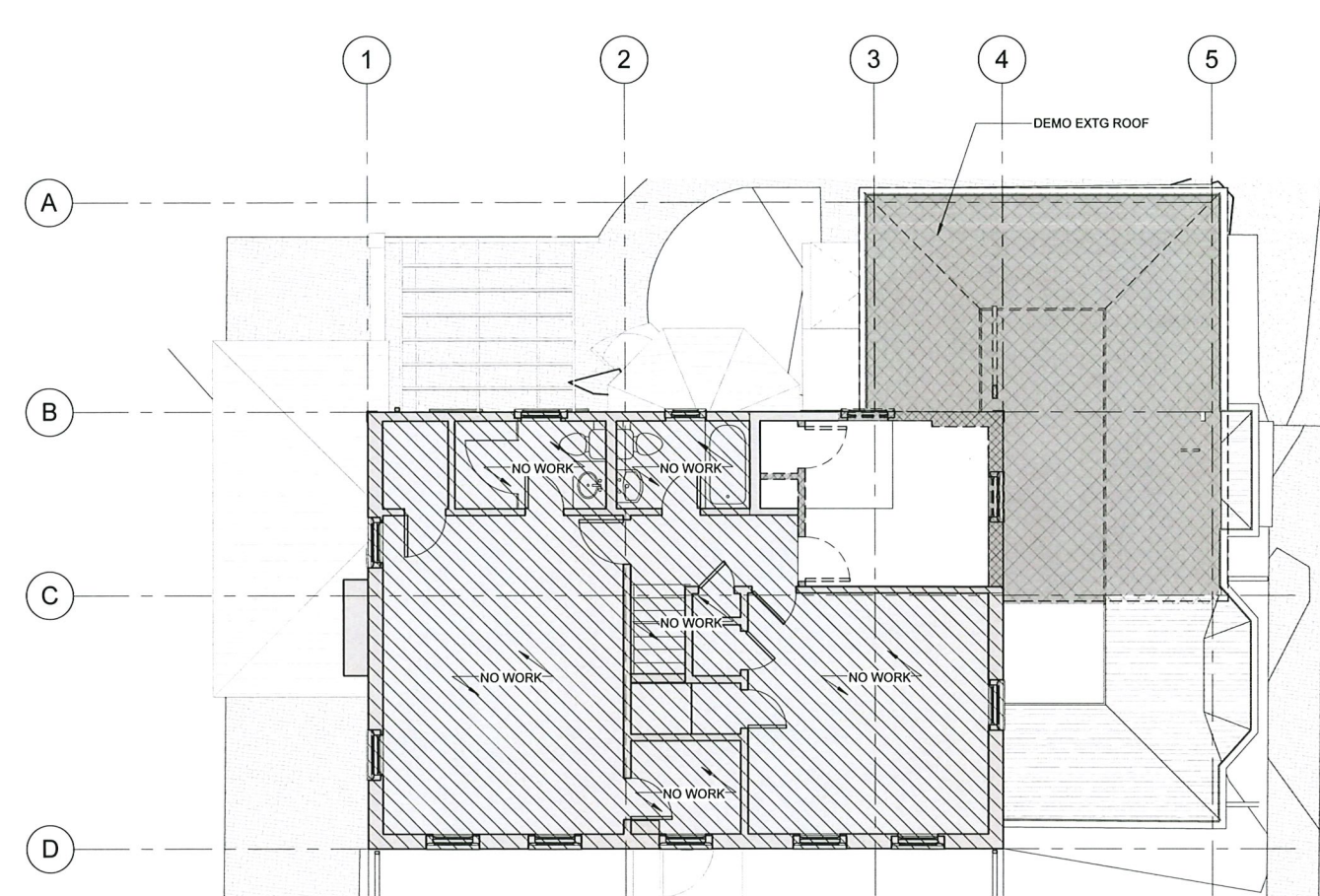
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BRATTLE ADDITION

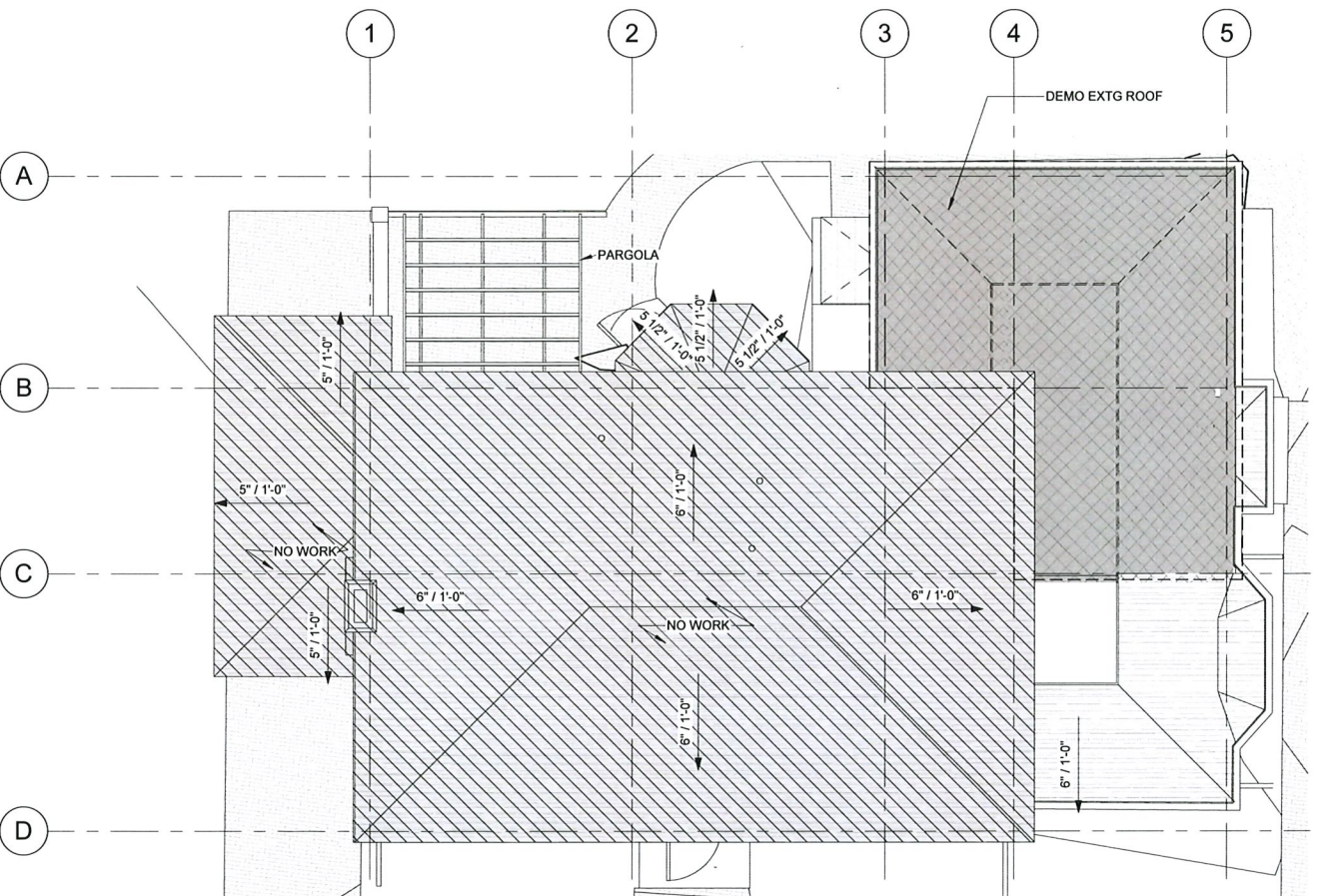
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1 FIRST FLOOR PLAN - DEMO PLAN
 Scale: 3/16" = 1'-0"

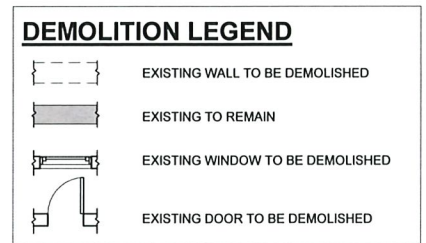


2 SECOND FLOOR PLAN - DEMO PLAN
 Scale: 3/16" = 1'-0"



3 ROOF - DEMO PLAN
 Scale: 3/16" = 1'-0"

- DEMOLITION NOTES**
- CONTRACTOR TO INSPECT EXISTING CONDITIONS OF PROPERTY PRIOR TO SUBMITTING BID. SCHEDULE VISIT WITH OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL INTEGRITY OF EXISTING HOUSE. CONTRACTOR TO PROVIDE ALL TEMPORARY SHORING AS REQUIRED TO MAINTAIN STRUCTURE IN SAFE AND STABLE CONDITION THROUGHOUT THE COURSE OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY POTENTIAL STRUCTURAL CONCERNS.
 - CONTRACTOR TO RECYCLE ALL PLUMBING FIXTURES, APPLIANCES, INTERIOR DOORS, TRIM, AND OTHER COMPONENTS WORTHY AND APPROPRIATE FOR RECYCLING. CONTRACTOR TO PROPOSE RECYCLING PLAN AS PART OF THEIR BID.
 - CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS CONCERNING THE DEMOLITION AND DISPOSAL OF HAZARDOUS MATERIALS, INCLUDING LEAD, ASBESTOS, OIL, AND ALL OTHER MATERIALS DEEMED HAZARDOUS BY THE EPA.
 - CONTRACTOR TO INCLUDE ALL DUMPSTER, HAULING AND DISPOSAL COSTS IN BID.
 - CONTRACTOR TO LEAVE EXISTING HOUSE LOCKED AND SECURE WHEN NOT ON PREMISES.
 - CONTRACTOR TO CLEAR DEBRIS FROM STUD WALL CAVITIES AND LEAVE HOUSE IN BROOM-CLEAN CONDITION.
 - CONTRACTOR TO PROTECT AREAS OUTSIDE OF SCOPE
 - CONTRACTOR TO SALVAGE ALL CABINETS IN KITCHEN AND COORDINATE OFF-SITE DELIVERY WITH CLIENT
 - IF CLIENT DECIDES TO DEMO MINI-SPLIT UNITS; CONTRACTOR TO SALVAGE THEM AND COORDINATE OFF-SITE DELIVERY WITH CLIENT



issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: DEMOLITION PLANS

scale: As indicated

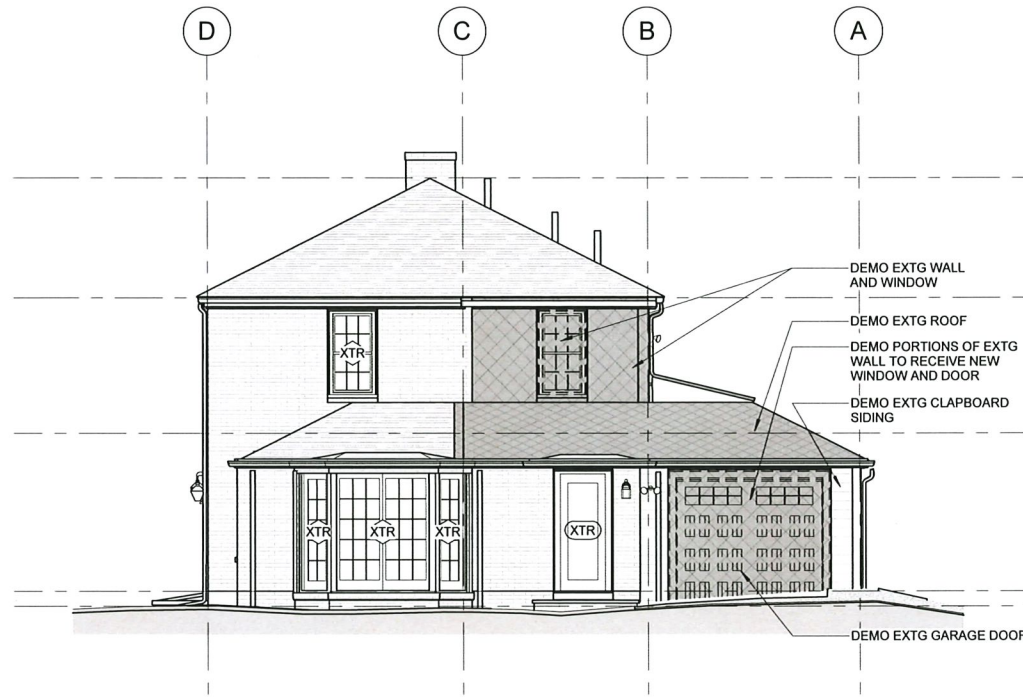
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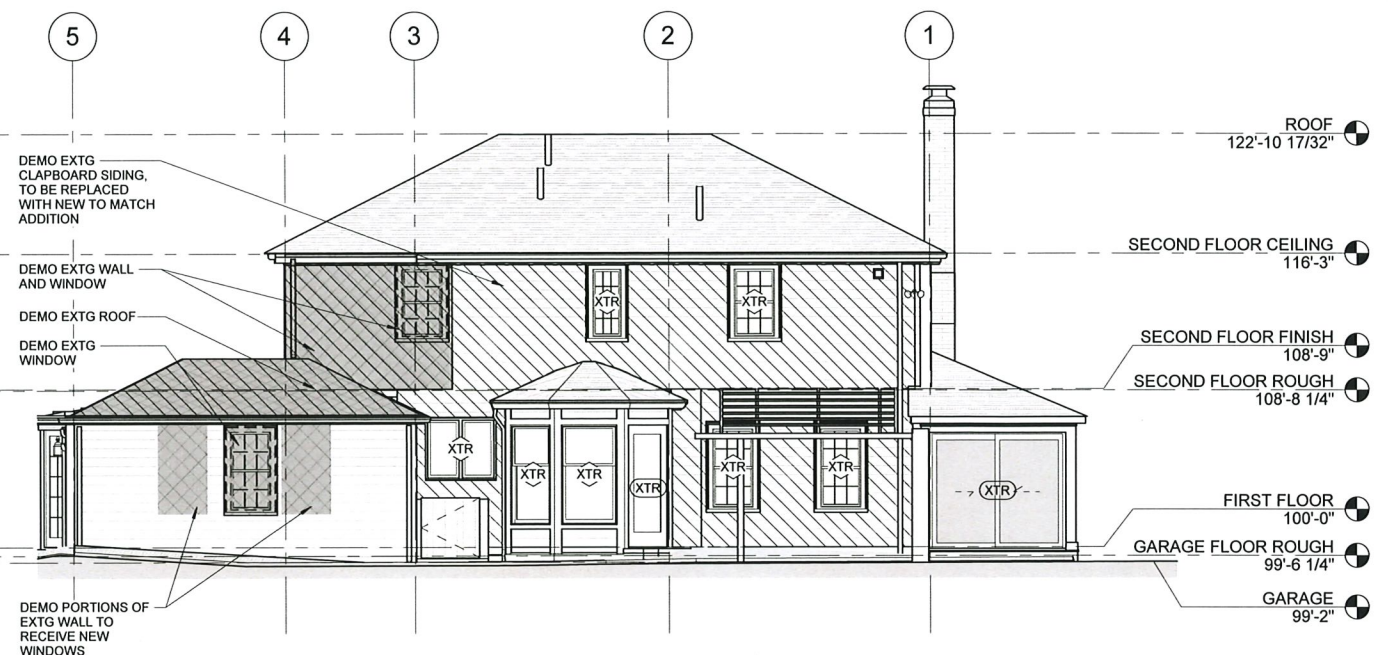
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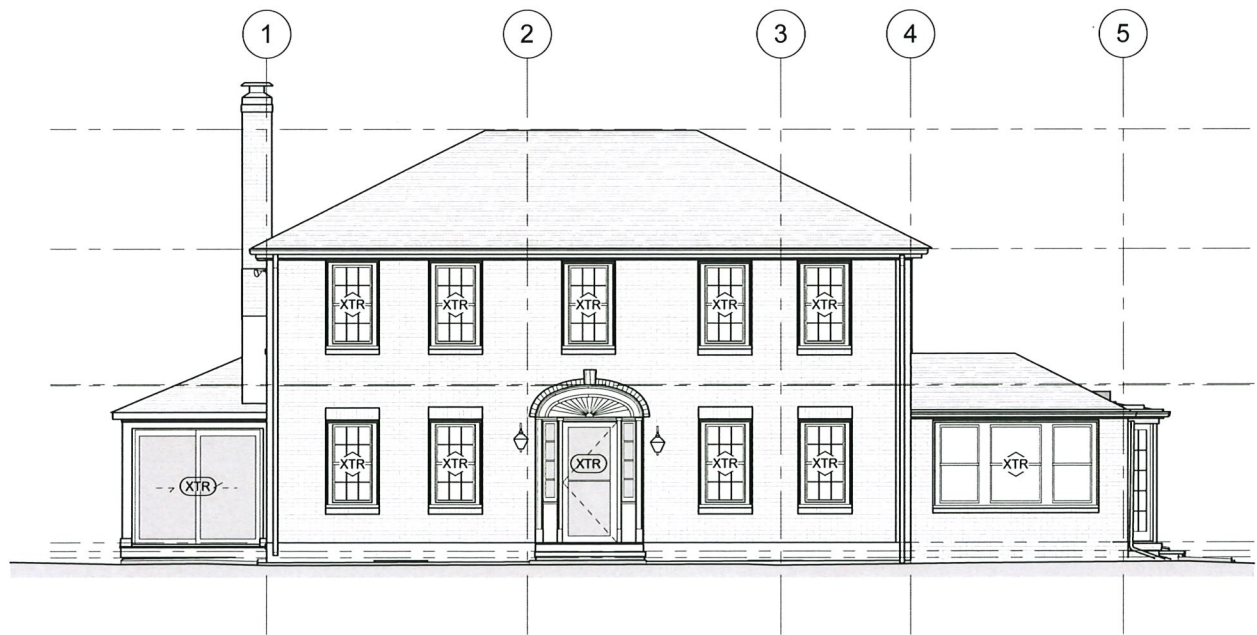


1 EAST ELEVATION - DEMO
 Scale: 3/16" = 1'-0"

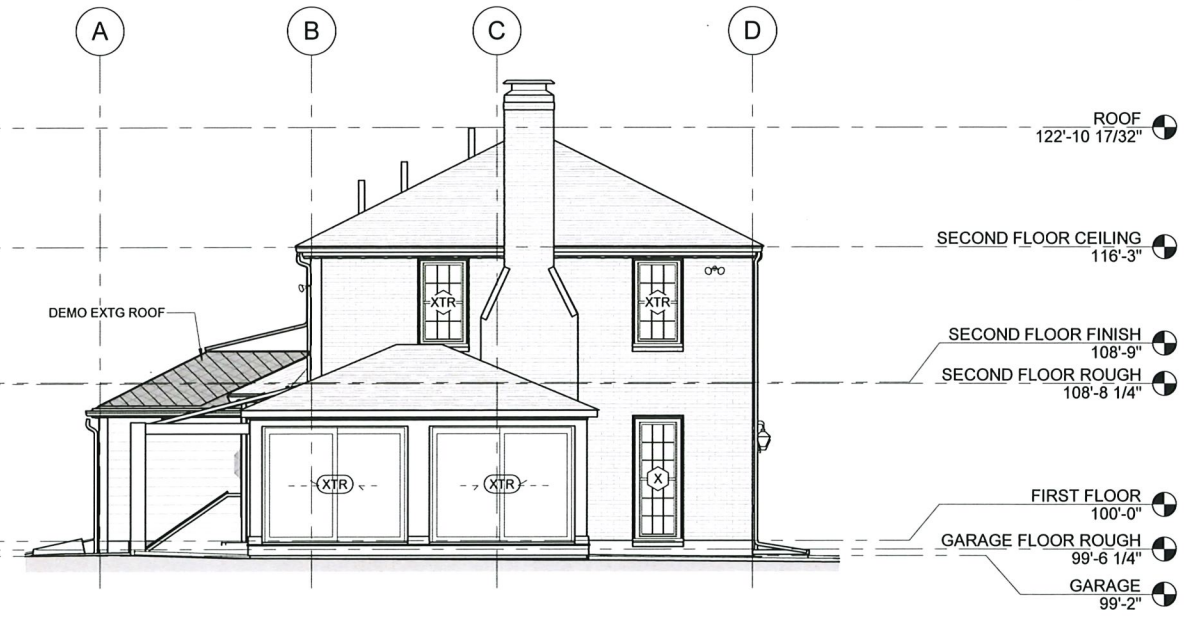


2 NORTH ELEVATION - DEMO
 Scale: 3/16" = 1'-0"

- ROOF 122'-10 17/32"
- SECOND FLOOR CEILING 116'-3"
- SECOND FLOOR FINISH 108'-9"
- SECOND FLOOR ROUGH 108'-8 1/4"
- FIRST FLOOR 100'-0"
- GARAGE FLOOR ROUGH 99'-6 1/4"
- GARAGE 99'-2"



3 SOUTH ELEVATION - DEMO
 Scale: 3/16" = 1'-0"



4 WEST ELEVATION - DEMO
 Scale: 3/16" = 1'-0"

- ROOF 122'-10 17/32"
- SECOND FLOOR CEILING 116'-3"
- SECOND FLOOR FINISH 108'-9"
- SECOND FLOOR ROUGH 108'-8 1/4"
- FIRST FLOOR 100'-0"
- GARAGE FLOOR ROUGH 99'-6 1/4"
- GARAGE 99'-2"

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

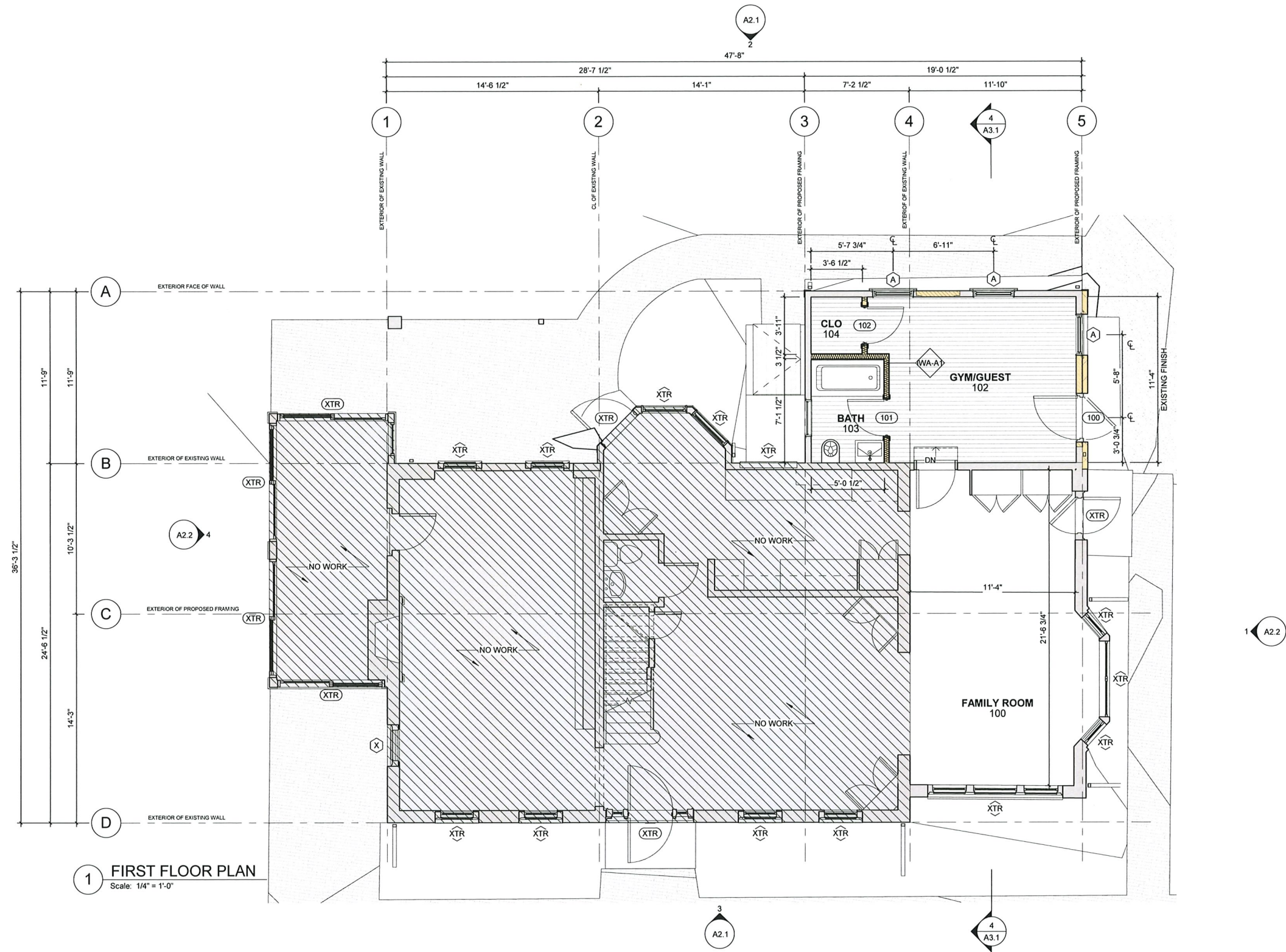
drawing: DEMOLITION ELEVATIONS
 scale: 3/16" = 1'-0"



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1 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: FIRST FLOOR PLAN

scale: 1/4" = 1'-0"

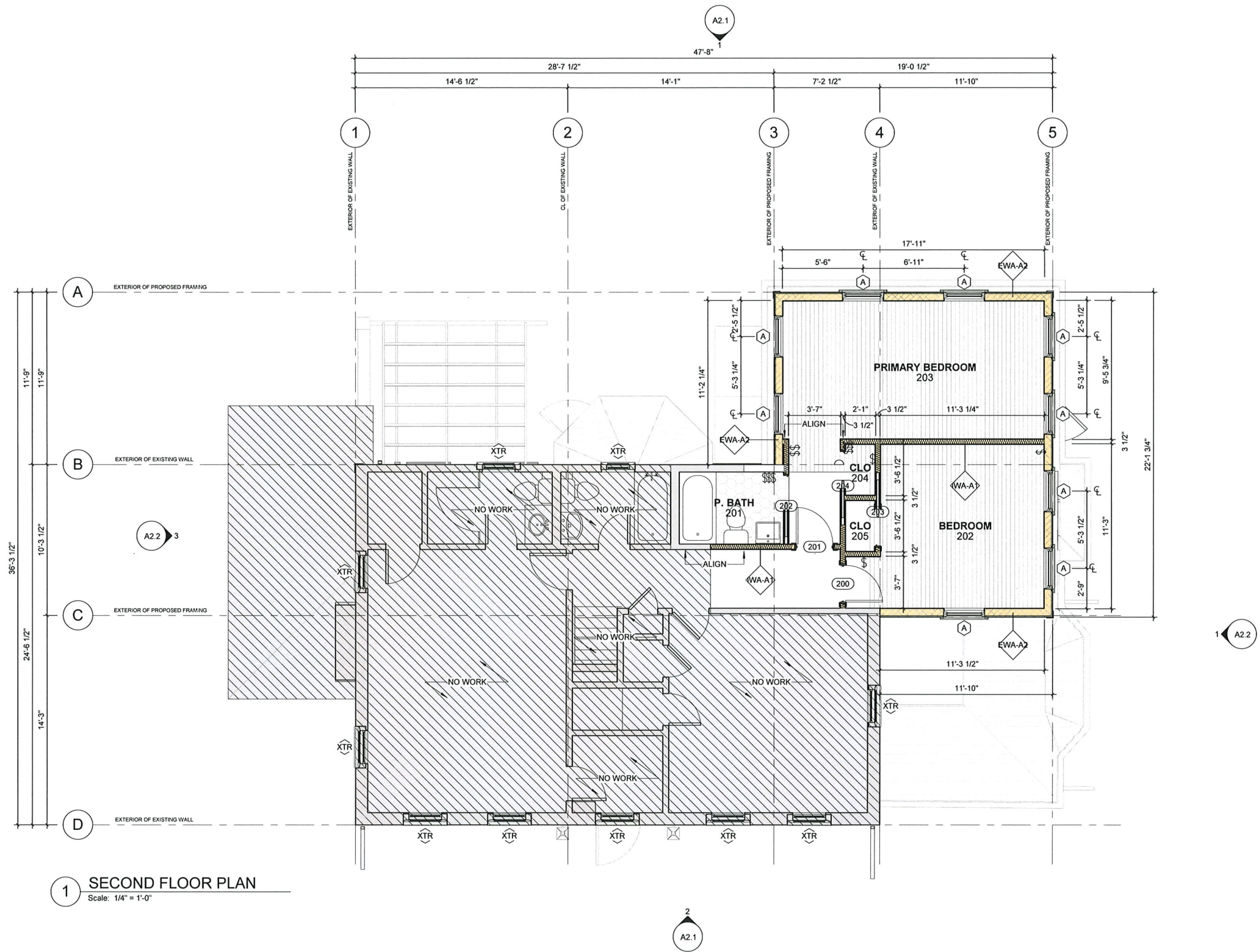
A1.1



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1 SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: SECOND FLOOR PLAN

scale: 1/4" = 1'-0"

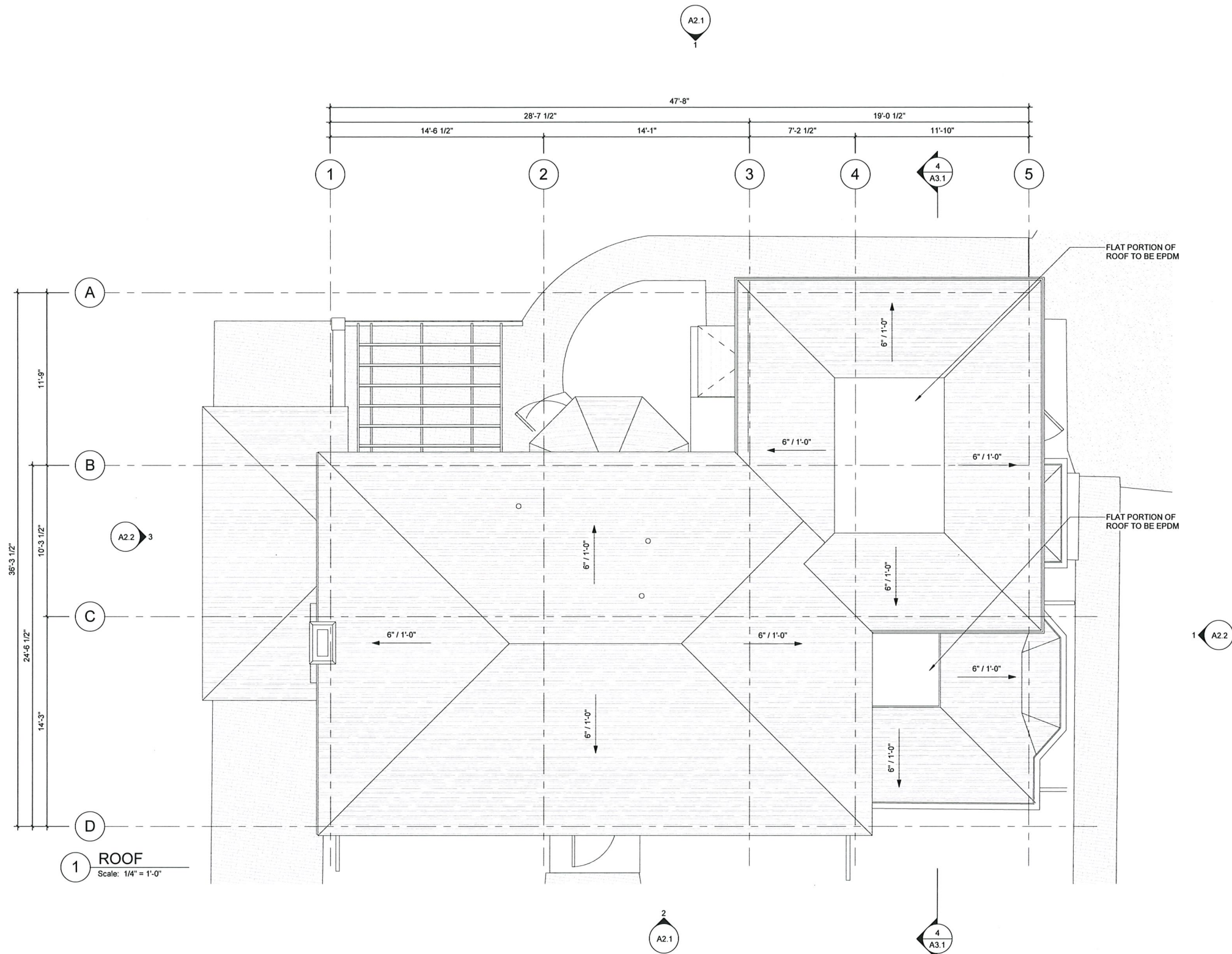
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issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: ROOF PLAN

scale: 1/4" = 1'-0"

A1.3

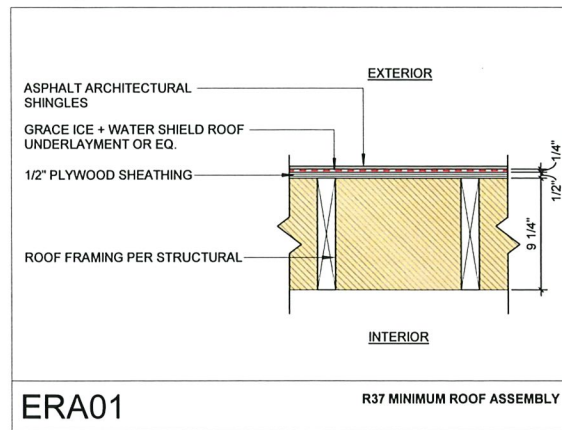


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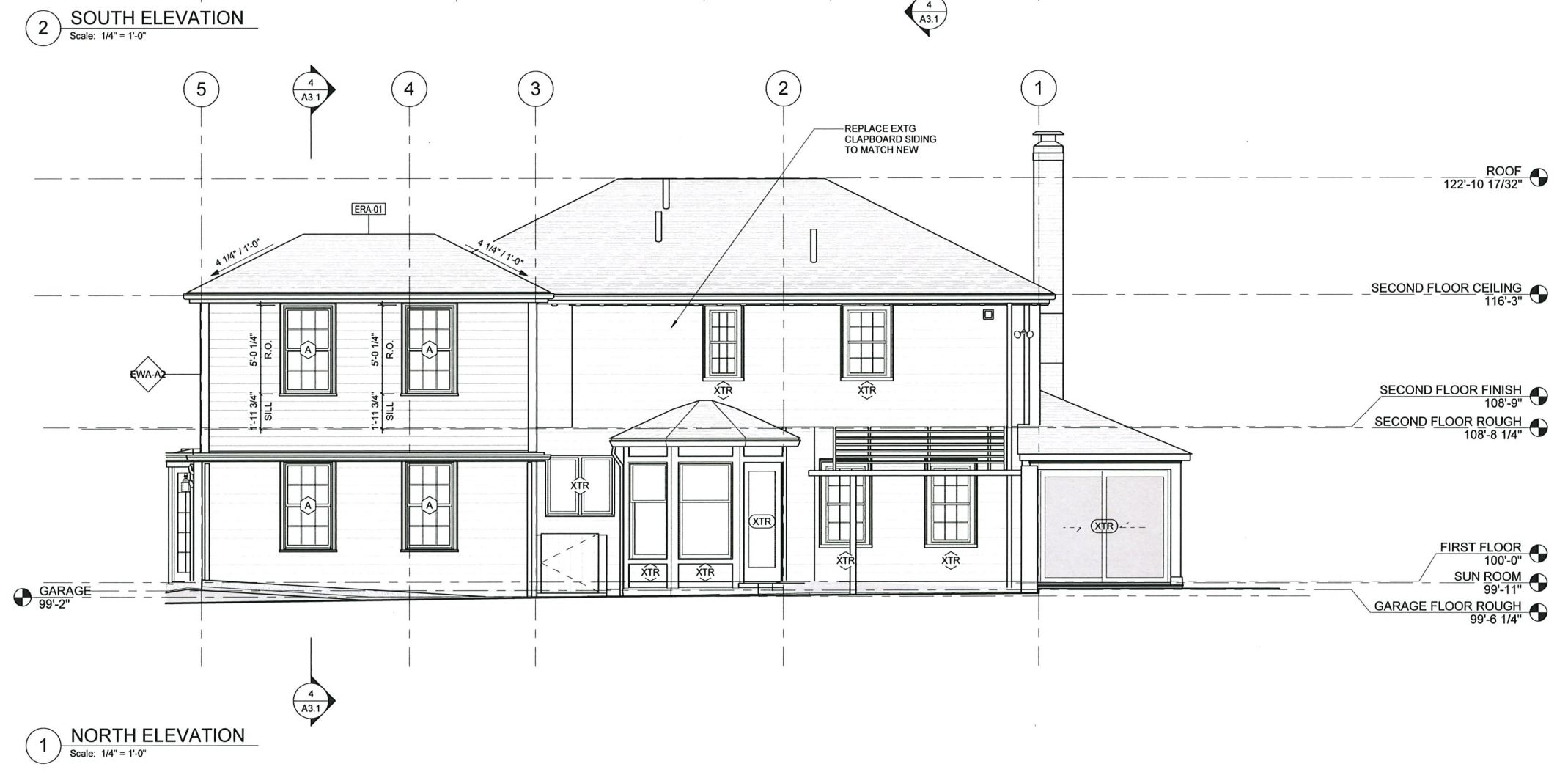
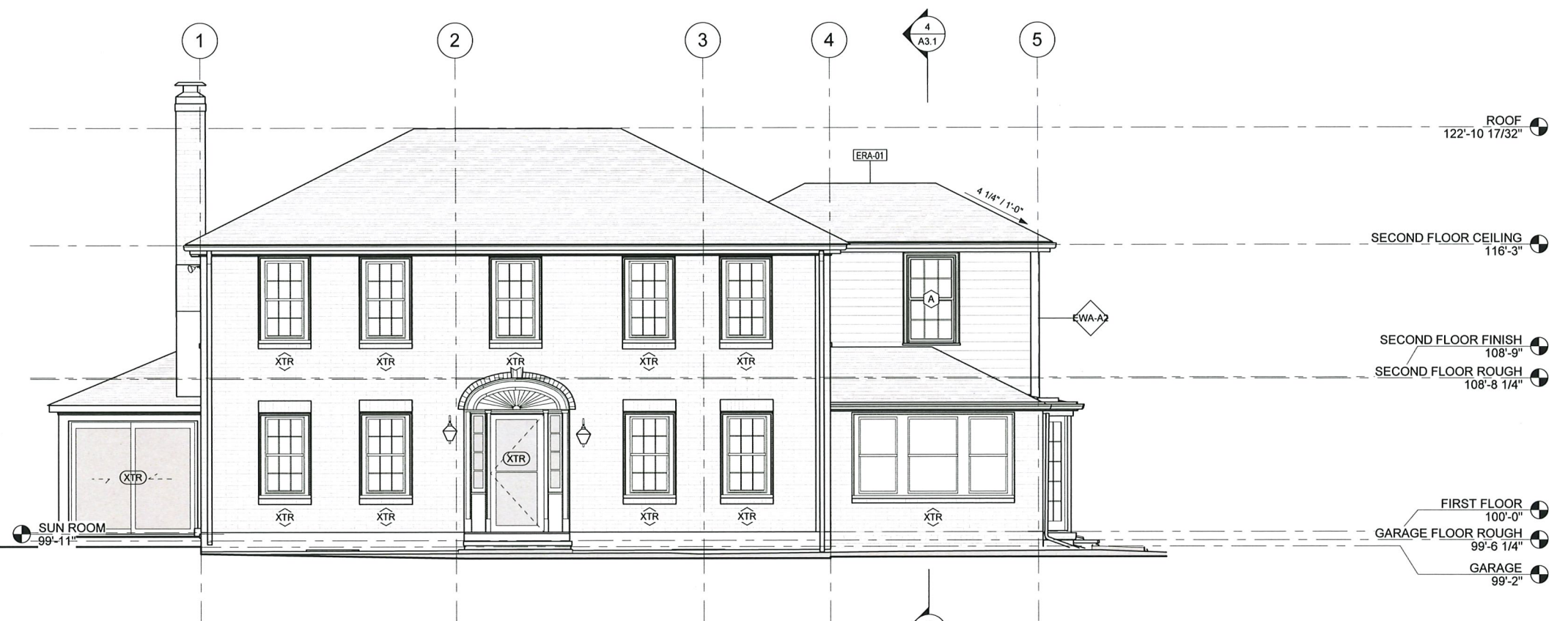
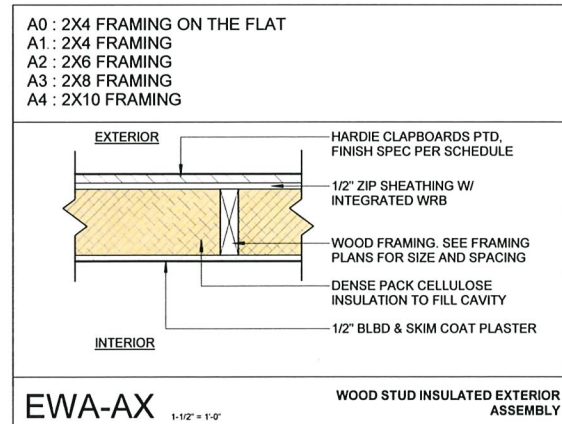
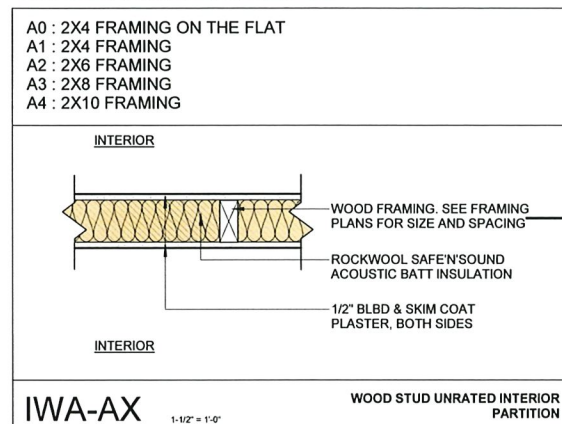
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ROOF ASSEMBLIES



WALL ASSEMBLIES



issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: EXTERIOR ELEVATIONS
 scale: As indicated

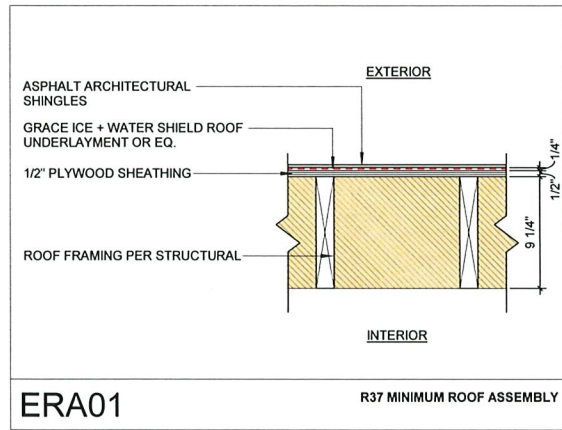


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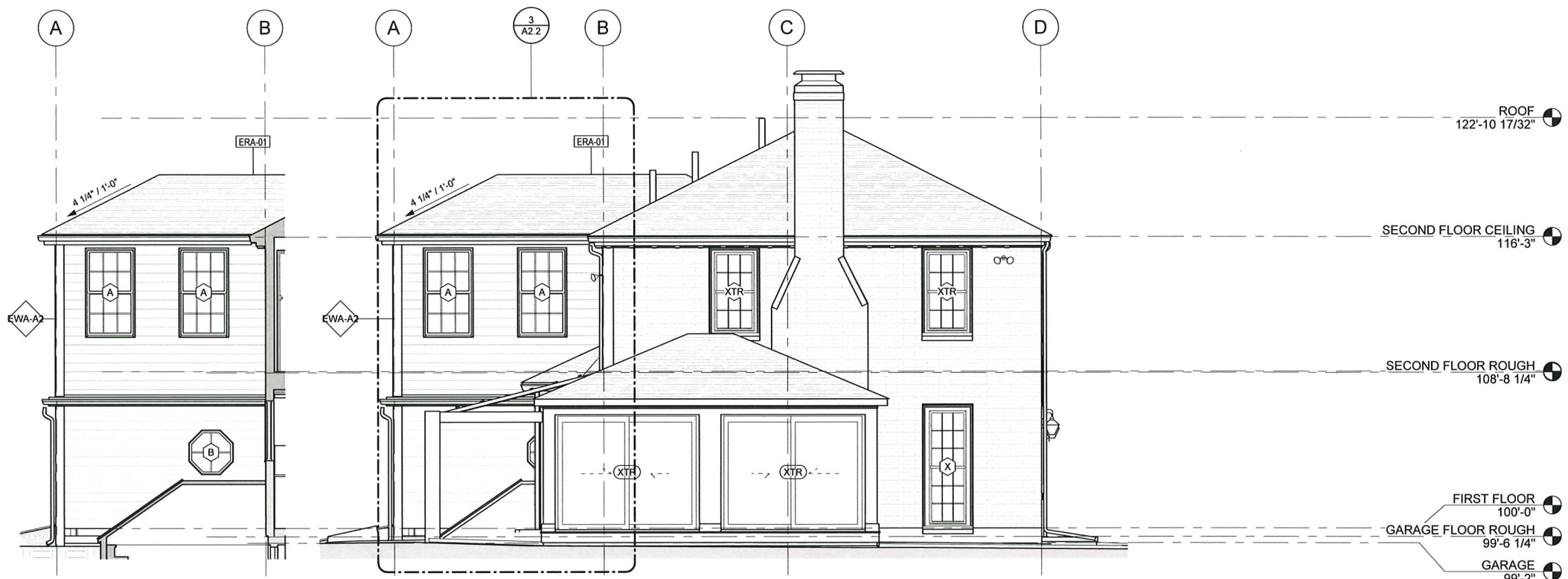
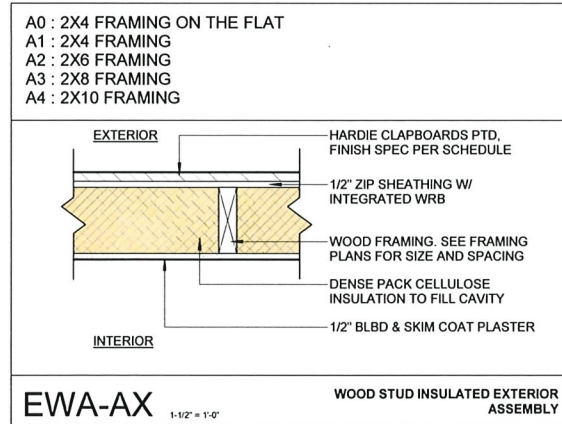
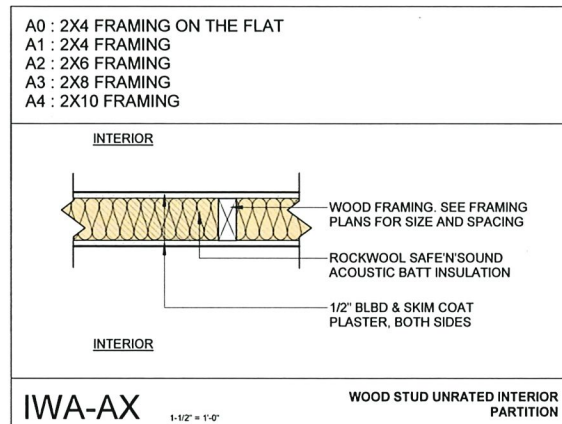
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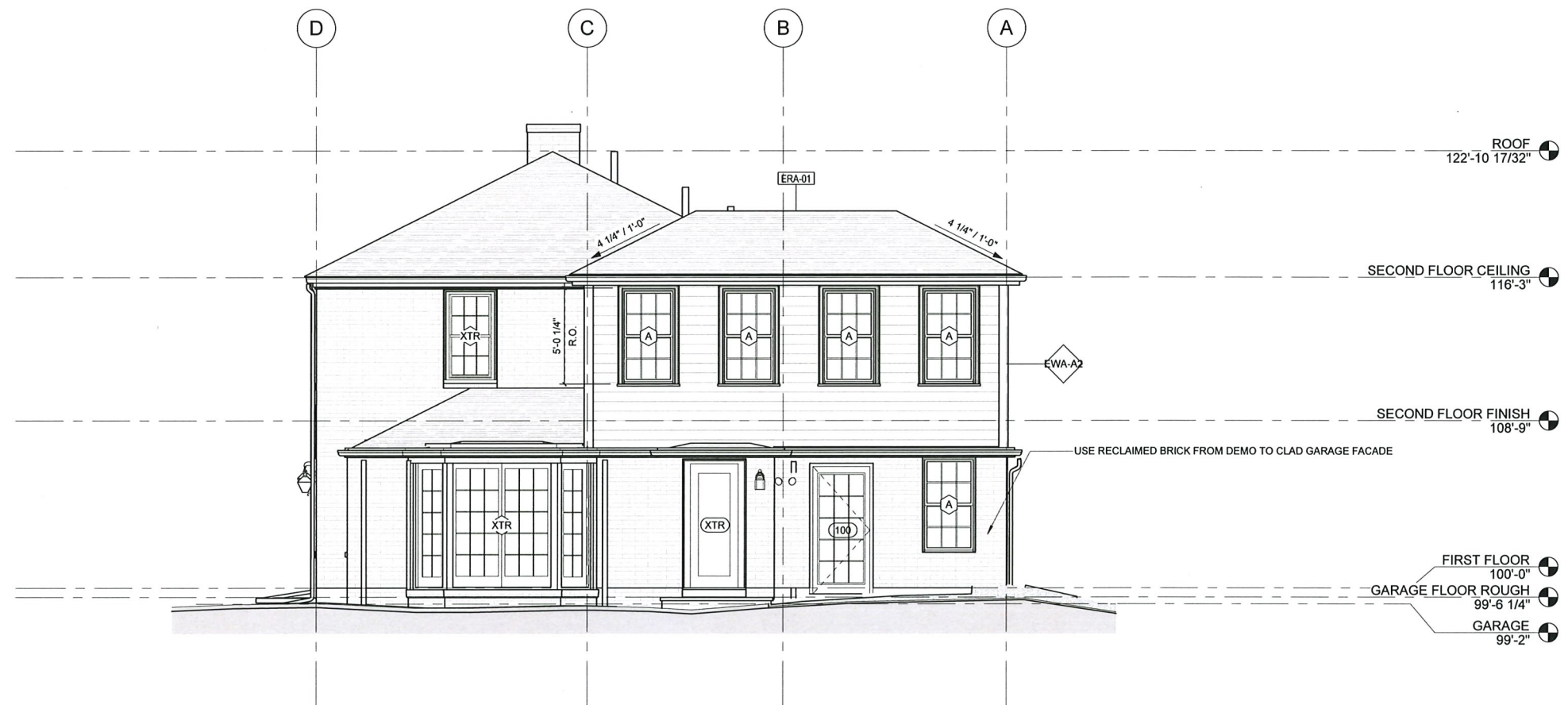
ROOF ASSEMBLIES



WALL ASSEMBLIES



2 WEST ELEVATION
 Scale: 1/4" = 1'-0"



1 EAST ELEVATION
 Scale: 1/4" = 1'-0"

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: EXTERIOR ELEVATIONS
 scale: As indicated

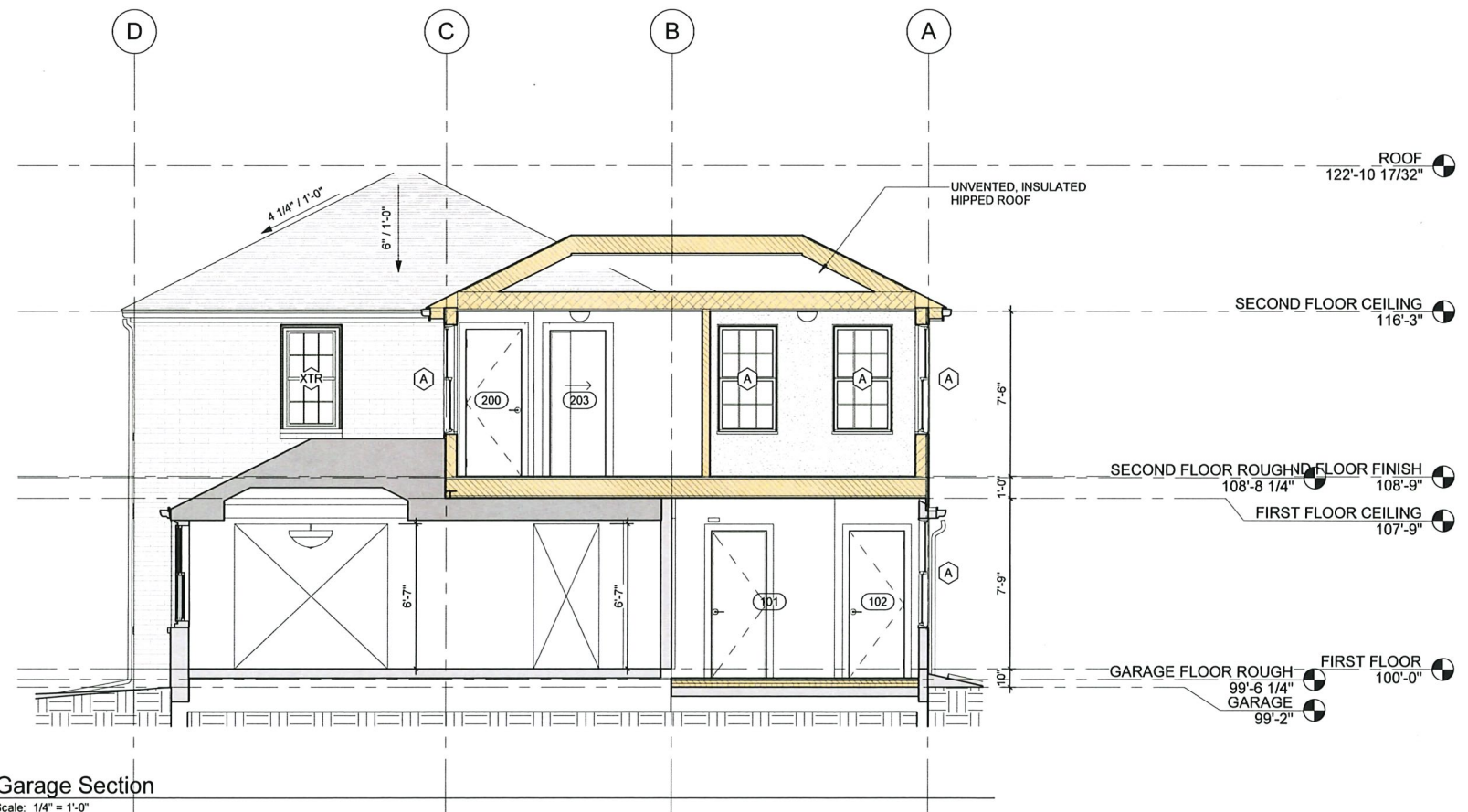
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4 Garage Section
 Scale: 1/4" = 1'-0"

issue:	date:
SD 50%	2024/04/09
PRICING	2024/05/13
HC Application	2024/05/14

drawing: BUILDING SECTIONS

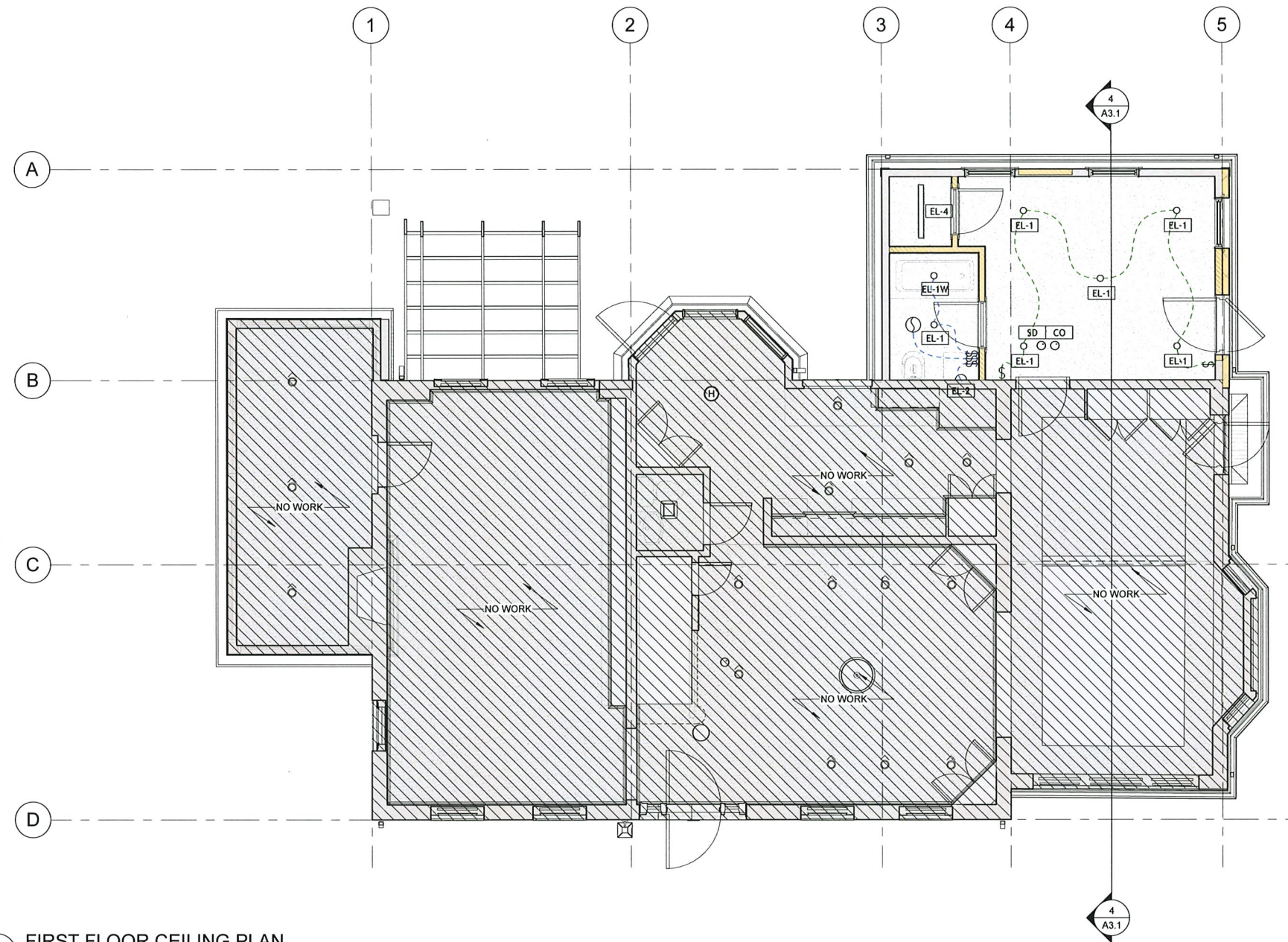
scale: 1/4" = 1'-0"



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1 FIRST FLOOR CEILING PLAN
 Scale: 1/4" = 1'-0"

ELECTRICAL NOTES:

NOTE: THIS IS A SCHEMATIC PLAN; EXACT LOCATIONS ARE TO BE DETERMINED BY ELECTRICAL CONTRACTOR/INTERIOR DESIGNER/OWNER OR AS CODE REQUIRES, UNLESS SPECIFIC LOCATION IS NOTED.

MECHANICAL/ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT, ELECTRICAL APPLIANCES, ETC.

ALL OUTLETS ABOVE COUNTER HEIGHT IN KITCHEN AND BATHROOM TO BE G.F.I. TYPE AS PER LOCAL CODES.

VERIFY WITH OWNER AND ARCHITECT LOCATION/TYPE OF ALL FIXTURES, PANEL BOXES, OUTLET PLACEMENT ETC. BY HOLDING AN ELECTRICAL WALKTHROUGH ON THE BUILDING SITE ONCE FRAMING IS COMPLETE.

REFER TO INTERIOR ELEVATION FOR SWITCH, OUTLET, AND FIXTURE HEIGHTS FROM FINISH FLOOR.

ELECTRICIAN TO INSTALL COMBINATION SMOKE/CARBON MONOXIDE DETECTORS IN COMPLIANCE WITH CURRENT MA ONE AND TWO FAMILY BUILDING CODE: 780 CMR 5313. SMOKE/CO DETECTORS TO BE HARD-WIRED WITH BACK UP BATTERY, LOCATED PER 780 CMR 5313.

COORDINATE ALL WORK WITH BUILDING CONTRACTOR

CONTRACTOR TO CONFIRM SWITCHING W/ OWNER PRIOR TO PERFORMING WORK.

ELECTRICIAN TO REVIEW ALL CHANGES WITH OWNER AND ARCHITECT PRIOR TO PERFORMING WORK.

ALL INTERIOR FIXTURES MADE DIMMABLE UNLESS OTHERWISE NOTED

ALL EXTERIOR FIXTURES TO BE WET RATED UNLESS OTHERWISE NOTED

ALL ELECTRICAL BOXES SHOULD BE SIZED TO ALLOW FOR SMART DIMMABLE SWITCH FOR EACH SWITCH.

ALL SWITCHES AND OUTLETS TO BE LEVITON DECORA, WHITE.

EXTERIOR OUTLETS TO BE INSTALLED 18" ABOVE FINISH FLOOR OR GRADE AND FLUSH TO FACADE. CONFIRM ALL EXTERIOR OUTLET LOCATIONS W/ OWNER.

ALL EXTERIOR LIGHTING, EXCEPT GUARDRAIL LIGHTS AND SCUNCES AT EXTERIOR DOORS TO BE ON PHOTOCELL CONTROL. CONNECT PHOTOCELLS TO CONTROLLER IN MECH. ROOM. COORDINATE LOCATION AND QUANTITY OF PHOTOCELLS IN FIELD W/ ARCHITECT AND LIGHTING CONTROL REP.

ELECTRICAL FIXTURES

- S SINGLE WAY SWITCH
 - S_D SINGLE WAY SWITCH WITH DIMMER
 - S₃ 3 WAY SWITCH
 - S_{MOT} MOTION DETECTED SWITCH
 - _W RECESSED LED - WET LOCATION
 - RECESSED LED FIXTURE
 - _W RECESSED LED WALL WASHER
 - SURFACE MOUNT FIXTURE
 - (H) HANGING FIXTURE
 - ▽ EXTERIOR FLOOD LIGHT
 - EXHAUST FAN
 - SCONCE - WALL MOUNT FIXTURE
 - _W SCONCE - WALL MOUNT FIXTURE - WET LOCATION
 - STRIP LED LIGHTING
 - ⊕ SMOKE/CO DETECTOR
 - ⊕ HEAT DETECTOR
 - △ CAT 6
- HP HEAT PUMP
 - LOAD PATH - 4 WAY
 - LOAD PATH - 3 WAY
 - LOAD PATH - SINGLE
 - ⊕ DUPLEX OUTLET 110V
 - ⊕_{GFCI} DUPLEX GFCI OUTLET 110V
 - ⊕_{W.P.} WEATHER PROOF

LIGHTING FIXTURE SCHEDULE				
TYPE MARK	COUNT	SPEC TYPE	IMAGE	Description
EL-1	6	4" RECESSED LED WAFER LIGHT		FIXTURE SPEC TBD
EL-1W	4	4" RECESSED LED WAFER LIGHT - WET LOCATION		FIXTURE SPEC TBD
EL-2	2	WALL SCONCE		FIXTURE SPEC TBD
EL-3	5	SURFACE MOUNTED CEILING FIXTURE		FIXTURE SPEC TBD
EL-4	3	LINEAR CEILING MOUNTED FIXTURE - MOTION SWITCH - SPEC TBD		FIXTURE SPEC TBD

issue:	date:
PRICING	2024/05/13
HC Application	2024/05/14
drawing:	ELECTRICAL
	PLAN-FIRST FLOOR
scale:	1/4" = 1'-0"

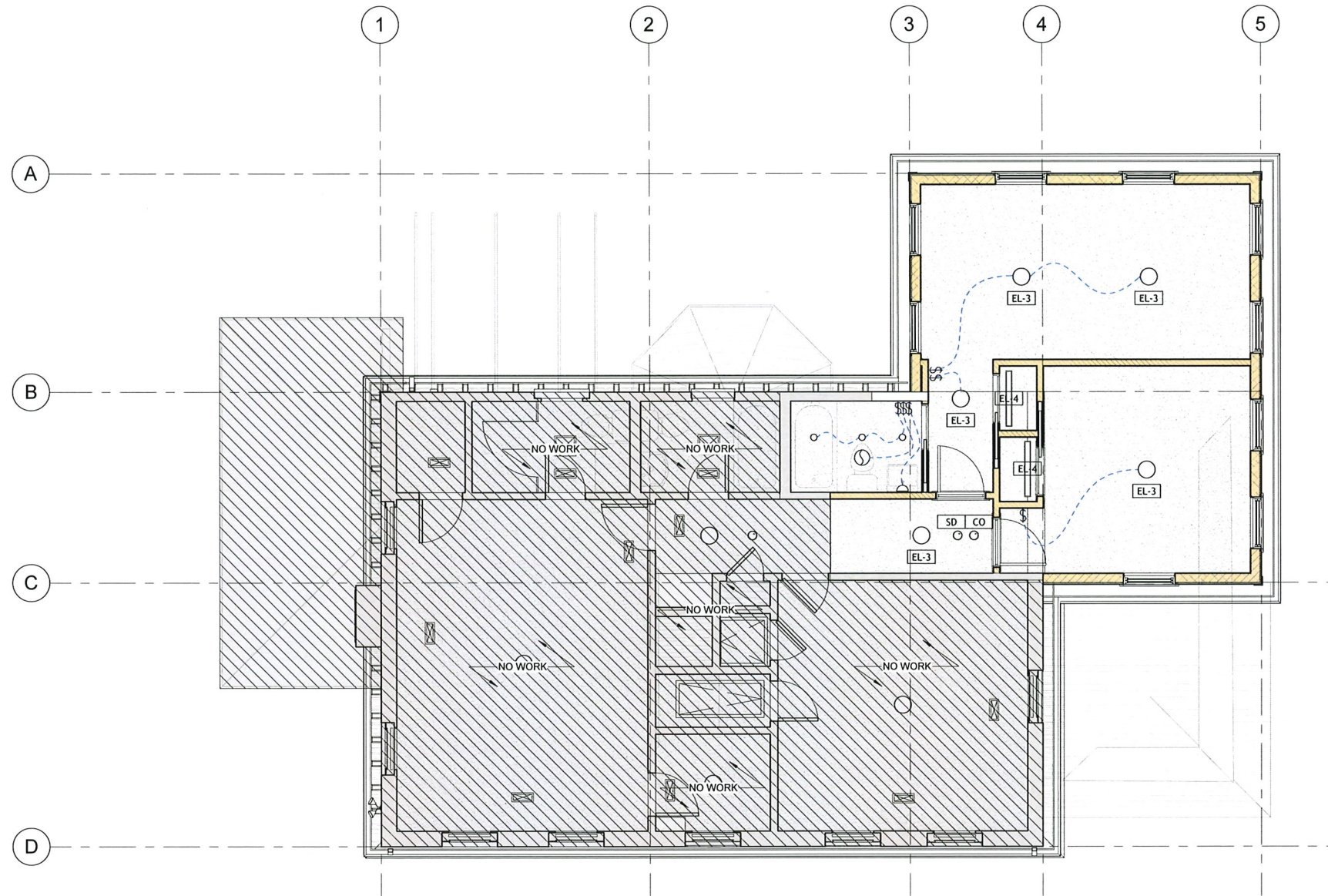
E1.1



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1 SECOND FLOOR CEILING PLAN
 Scale: 1/4" = 1'-0"

ELECTRICAL NOTES:

NOTE: THIS IS A SCHEMATIC PLAN; EXACT LOCATIONS ARE TO BE DETERMINED BY ELECTRICAL CONTRACTOR/INTERIOR DESIGNER/OWNER OR AS CODE REQUIRES, UNLESS SPECIFIC LOCATION IS NOTED.

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ALL OUTLETS ABOVE COUNTER HEIGHT IN KITCHEN AND BATHROOM TO BE G.F.I. TYPE AS PER LOCAL CODES.

VERIFY WITH OWNER AND ARCHITECT LOCATION/TYPE OF ALL FIXTURES, PANEL BOXES, OUTLET PLACEMENT ETC. BY HOLDING AN ELECTRICAL WALKTHROUGH ON THE BUILDING SITE ONCE FRAMING IS COMPLETE.

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ELECTRICAL FIXTURES

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 - ⌋_D SINGLE WAY SWITCH WITH DIMMER
 - ⌋₃ 3 WAY SWITCH
 - ⌋_{MOT} MOTION DETECTED SWITCH
 - _W RECESSED LED - WET LOCATION
 - RECESSED LED FIXTURE
 - _W RECESSED LED WALL WASHER
 - _W SURFACE MOUNT FIXTURE
 - (H) HANGING FIXTURE
 - ▽ EXTERIOR FLOOD LIGHT
 - ⊖ EXHAUST FAN
 - ⌒ SCONCE - WALL MOUNT FIXTURE
 - ⌒_W SCONCE - WALL MOUNT FIXTURE - WET LOCATION
 - STRIP LED LIGHTING
 - ⊕ SMOKE/CO DETECTOR
 - ⊕ HEAT DETECTOR
 - △ CAT 6
- HP HEAT PUMP
 - LOAD PATH - 4 WAY
 - LOAD PATH - 3 WAY
 - LOAD PATH - SINGLE
 - ⊕ DUPLX OUTLET 110V
 - ⊕_{GFCI} DUPLX GFCI OUTLET 110V
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LIGHTING FIXTURE SCHEDULE

TYPE MARK	COUNT	SPEC TYPE	IMAGE	Description
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EL-1W	4	4" RECESSED LED WAFER LIGHT - WET LOCATION		FIXTURE SPEC TBD
EL-2	2	WALL SCONCE		FIXTURE SPEC TBD
EL-3	5	SURFACE MOUNTED CEILING FIXTURE		FIXTURE SPEC TBD
EL-4	3	LINEAR CEILING MOUNTED FIXTURE - MOTION SWITCH - SPEC TBD		FIXTURE SPEC TBD

issue:	date:
PRICING	2024/05/13
HC Application	2024/05/14
drawing:	ELECTRICAL
scale:	1/4" = 1'-0"

E1.2