



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: www.cambridgema.gov/Historic

APPLICATION FOR CERTIFICATE

1. The undersigned hereby applies to the Cambridge Historical Commission for a Certificate of **(check one box)**: Appropriateness, Nonapplicability, or Hardship, in accordance with Chapter 40C of the Massachusetts General Laws and/or Chapter 2.78 of the Municipal Code.

2. Address of property: , Cambridge, Massachusetts

3. Describe the proposed alteration(s), construction or demolition in the space provided below: (An additional page can be attached, if necessary).

The proposal is to renovate the interior of the existing building, keep most of the existing building, while making finish material upgrades, partially demolish the existing 2-sty addition on the side off Mason St, and lower the basement floor. The project proposes new for this building, parking in the basement, a ramp and retaining wall to access the parking along the side of Mason St (that retains the outdoor area of the adjacent building), and 2 decks and a private patio that occurs over the proposed underground parking.

I certify that the information contained herein is true and accurate to the best of my knowledge and belief. **The undersigned also attests that he/she has read the statements printed on the reverse.**

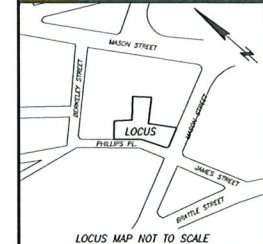
Name of Property Owner of Record:	<input type="text" value="Nexus Legacy Development LLC"/>		
Mailing Address:	<input type="text" value="23 Coolidge Hill Road"/>		
Telephone/Fax:	<input type="text" value="6178661409"/>	E-mail:	<input type="text" value="Joanabba0910@gmail.com"/>
Signature of Property Owner of Record:			
<small>(Required field; application will not be considered complete without property owner's signature)</small>			
Name of proponent, if not record owner:	<input type="text" value="Peter Quinn Architects LLC"/>		
Mailing Address:	<input type="text" value="259 Elm St, Ste 301, Somerville, MA 02144"/>		
Telephone/Fax:	<input type="text" value="617-354-3989"/>	E-mail:	<input type="text" value="pqinn@pqarch.com"/>

<small>(for office use only):</small>			
Date Application Received:	<input type="text"/>	Case Number:	<input type="text"/>
		Hearing Date:	<input type="text"/>
Type of Certificate Issued:	<input type="text"/>	Date Issued:	<input type="text"/>

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



TO: COMMONWEALTH LAND TITLE INSURANCE COMPANY;
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 8, 9, 11(A), 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 7, 2023.

FELDMAN GEOSPATIAL
DRAFT 5/31/2023
JOSEPH R. ZAMBUTO, PLS (MA# 52783) DATE: JZAMBUTO@FELDMANGEO.COM

DRAWING NAME:
**ALTA/NSPS
LAND TITLE SURVEY**

**3 & 5 PHILLIPS PLACE
CAMBRIDGE, MASS.**

DATE: APRIL 7, 2023

REVISIONS:

FILENAME: 2300137-ALTA (PHILLIPS) DWG	FIELD CHECK: AM
RESEARCH: JMK	APPROVED: JZ
PROJ MGR: JZ	CADD: JMK
CALC: JMK	CAD: JMK
FIELD CHK: JMK	CAD FILE: 2300137-PHILLIPS

SCALE: 1"=10'

SHEET NO. 1 OF 1

BOUNDARY DESCRIPTION PER COMMITMENT NO. BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#3 PHILLIPS PLACE)

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON, NOW KNOWN AND NUMBERED AS 3 PHILLIPS PLACE, SITUATED ON THE NORTHERLY SIDE OF MASON STREET IN CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTHERLY SIDE OF SAID MASON STREET, AS WIDENED AT THE SOUTHEASTERLY CORNER OF THE GRANTED PREMISES, BY LAND NOW OR FORMERLY OF SAMUEL BATCHELDER, AND THEN RUNNING

NORTHERLY ON SAID LAND NOW OR FORMERLY OF SAID BATCHELDER, ONE HUNDRED AND FOUR AND 72/100 (104.72) FEET TO LAND NOW OR LATE OF HOPKINSON, THENCE

WESTERLY ON [SAID] LAND NOW OR LATE OF HOPKINSON, SIXTY-ONE AND 10/100 (61.10) FEET TO PHILLIPS PLACE, SO-CALLED, THENCE

SOUTHERLY BY SAID PHILLIPS PLACE, EIGHTY-NINE AND 47/100 (89.47) FEET TO SAID MASON STREET AND THENCE;

EASTERLY ON SAID MASON STREET EIGHTY-FIVE (85) FEET, MORE OR LESS TO THE POINT OF BEGINNING.

EXCEPTING FROM THE ABOVE DESCRIBED PREMISES, HOWEVER, SO MUCH THEREOF AS WAS TAKEN BY THE CITY OF CAMBRIDGE FOR THE WIDENING OF SAID PHILLIPS PLACE.

[] *CORRECTED TYPOGRAPHICAL OR SCRIBENER'S ERROR

BOUNDARY DESCRIPTION PER COMMITMENT NO. BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#5 PHILLIPS PLACE)

THE LAND WITH BUILDINGS THEREON NOW KNOWN AND NUMBERED 5 PHILLIPS PLACE IN CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY BY SAID PHILLIPS PLACE, 96.17 FEET;

NORTHWESTERLY BY LOT B AS SHOWN ON THE PLAN HEREIN MENTIONED, 81.50 FEET;

NORTHEASTERLY BY SAID LOT B, 61.75 FEET;

NORTHEASTERLY AGAIN, BY SAID LOT B, 89.09 FEET;

NORTHEASTERLY AGAIN, BY LAND NOW OR FORMERLY OF BATCHELDER AND LAND NOW OR FORMERLY OF THE SHEPARD CONGREGATIONAL SOCIETY, 70.03 FEET; AND

SOUTHWESTERLY BY LAND NOW FORMERLY OF THE SHEPARD CONGREGATIONAL SOCIETY AND LAND NOW OR FORMERLY OF HASTINGS BY TWO COURSES, MEASURING 94.42 AND 61.83 FEET RESPECTIVELY.

SAID PREMISES ARE SHOWN AS '101 A' ON A PLAN ENTITLED, "SUBDIVISION OF LAND IN CAMBRIDGE (SCALE 1" = 30")", DATED MAY 2, 1960 BY EDWARD SMITH, ENGINEER, RECORDED WITH THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS IN BOOK 9269, PAGE 33.

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, PART II LISTED IN TITLE COMMITMENT NO. BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#3 PHILLIPS PLACE)

6 EASEMENT FOR ELECTRIC SERVICE IN FAVOR OF NSTAR ELECTRIC COMPANY D/B/A EVERSOURCE ELECTRIC DATED NOVEMBER 22, 2016 AND RECORDED IN BOOK 68570, PAGE 429 - (NOT LOCUS)

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, PART II LISTED IN TITLE COMMITMENT NO. BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#5 PHILLIPS PLACE)

6 EASEMENT FOR ELECTRIC SERVICE IN FAVOR OF NSTAR ELECTRIC COMPANY D/B/A EVERSOURCE ELECTRIC DATED NOVEMBER 22, 2016 AND RECORDED IN BOOK 68570, PAGE 429 - (NOT LOCUS)

7 DECISION OF THE CITY OF CAMBRIDGE BOARD OF ZONING APPEAL GRANTING A VARIANCE RECORDED ON OCTOBER 13, 1998 IN BOOK 29315, PAGE 2 - (NOT PLOTTABLE)

NOTES:

- THE PROPERTY SHOWN HEREON AS #3 PHILLIPS PLACE IS THE SAME PROPERTY DESCRIBED IN TITLE COMMITMENT NUMBER BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023. THE PROPERTY SHOWN HEREON AS #5 PHILLIPS PLACE IS THE SAME PROPERTY DESCRIBED IN TITLE COMMITMENT NUMBER BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023.
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO PHILLIPS PLACE, A PUBLIC WAY.
- BY GRAPHIC PLOTTING ONLY, THE PARCELS SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0438E, CITY OF CAMBRIDGE COMMUNITY NUMBER 250186, PANEL NUMBER 0438E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
- ZONING INFORMATION AS SHOWN HEREON WAS NOT PROVIDED BY THE TITLE INSURER AS REQUIRED BY ITEM 6 (A OR B) OF TABLE "A" IN THE 2021 ALTA SURVEY REQUIREMENTS.
- NO STRIPPED SURFACE PARKING SPACES WERE OBSERVED AT THE TIME OF SURVEY.
- NO EVIDENCE OF RECENT EARTH MOVING, WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF SURVEY.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED AT THE TIME OF SURVEY.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE APPROPRIATE RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-384-7343 SEVEN-TWO HOURS PRIOR TO EXCAVATION.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL, ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

BOUNDARY DESCRIPTION OF #5 PHILLIPS PLACE (PER SURVEY)

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF CAMBRIDGE, COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY SIDE OF PHILLIPS PLACE;

THENCE RUNNING N 49°28'20" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 81.50 FEET TO A POINT;

THENCE TURNING AND RUNNING S 40°31'40" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 61.75 FEET TO A POINT;

THENCE TURNING AND RUNNING N 46°37'49" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 81.50 FEET;

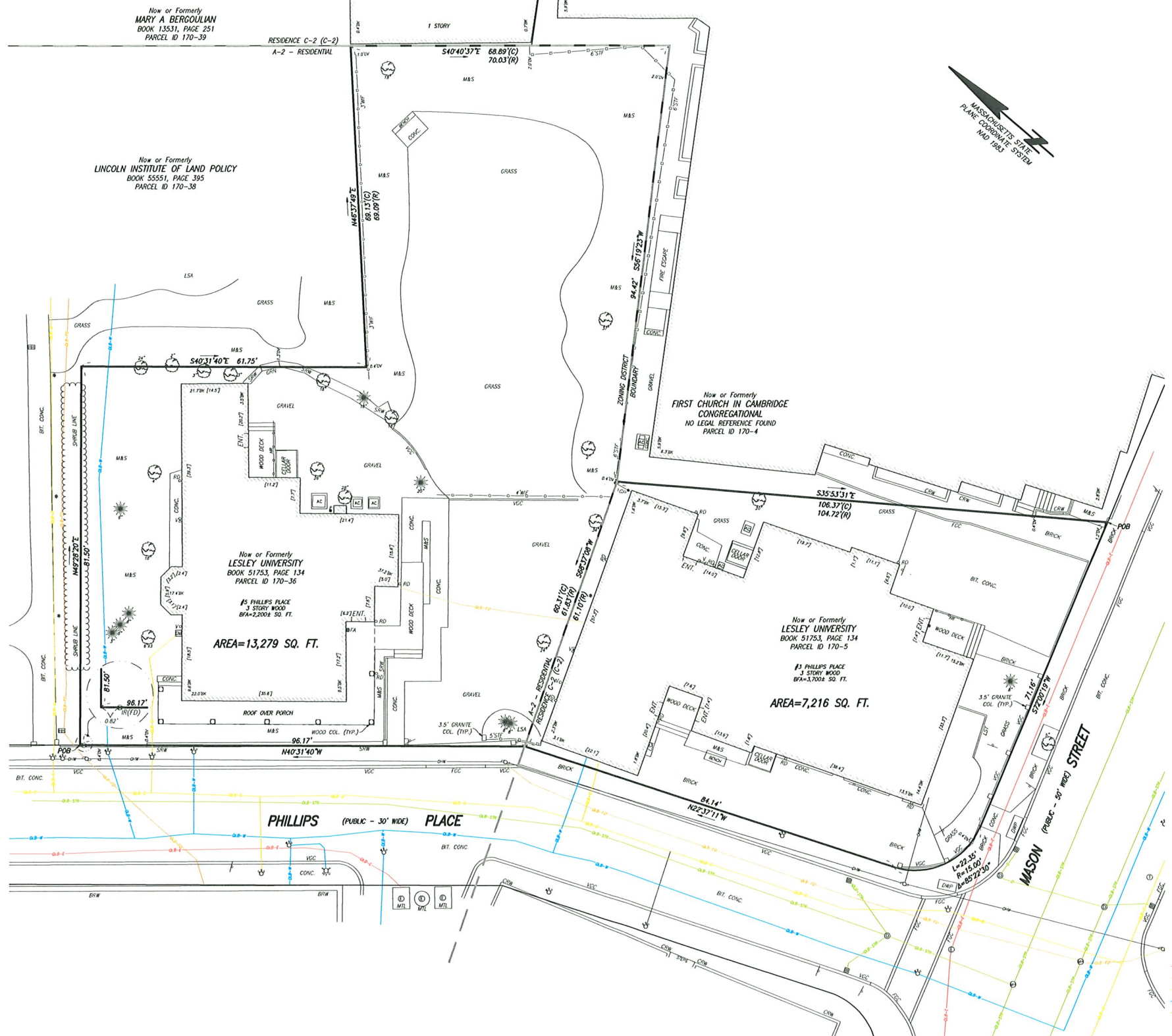
THENCE TURNING AND RUNNING S 40°47'37" E, IN PART BY LAND NOW OR FORMERLY OF MARY A. BERGOULIAN, AND IN PART BY LAND NOW OR FORMERLY OF FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL, A DISTANCE OF 68.89 FEET TO A POINT;

THENCE TURNING AND RUNNING S 56°19'23" W, BY LAND NOW OR FORMERLY OF FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL, A DISTANCE OF 94.42 FEET TO A POINT;

THENCE TURNING AND RUNNING S 68°37'08" W, BY LAND NOW OR FORMERLY OF LESLEY UNIVERSITY, A DISTANCE OF 60.31 FEET TO A POINT ON SAID PHILLIPS PLACE;

THENCE TURNING AND RUNNING N 40°31'40" W, BY SAID PHILLIPS PLACE, A DISTANCE OF 96.17 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 13,279 SQUARE FEET.



BOUNDARY DESCRIPTION OF #3 PHILLIPS PLACE (PER SURVEY)

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF CAMBRIDGE, COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY SIDE OF MASON STREET;

THENCE RUNNING S 72°00'19" W, BY SAID MASON STREET, A DISTANCE OF 71.16 FEET TO A POINT OF CURVATURE FORMING THE INTERSECTION WITH THE NORTHWESTERLY SIDELINE OF PHILLIPS PLACE;

THENCE RUNNING ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, A DELTA ANGLE OF 85°22'30" AND AN ARC LENGTH OF 23.35 FEET TO A POINT OF TANGENCY;

THENCE RUNNING N 22°33'11" W, BY SAID PHILLIPS PLACE, A DISTANCE OF 84.14 FEET TO A POINT;

THENCE TURNING AND RUNNING N 68°37'08" W, BY LAND NOW OR FORMERLY OF LESLEY UNIVERSITY, A DISTANCE OF 60.31 FEET TO A POINT;

THENCE TURNING AND RUNNING S 35°53'31" E, BY LAND NOW OR FORMERLY OF FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL, A DISTANCE OF 106.37 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 7,216 SQUARE FEET.

LIST OF POTENTIAL ENCROACHMENTS #5 PHILLIPS PLACE

NOW OR FORMERLY FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL

STOCKADE FENCE OV 2'0" (CROSSES 2'0" INTO BOTH LOTS)

NOW OR FORMERLY LINCOLN INSTITUTE OF LAND POLICY

STONE RETAINING WALL OV 1'3"

PHILLIPS PLACE

STONE RETAINING WALL OV 0'4"

MULCH AND SHRUB AREA OV 0'4"

LIST OF POTENTIAL ENCROACHMENTS #3 PHILLIPS PLACE

MASON STREET

GRANITE COLUMN OV 0'4"

NOW OR FORMERLY FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL

FGC CROSSES PROPERTY LINE

CONCRETE STEPS OV 0'4"

MULCH AND SHRUB AREA OV 1'2"

ZONING CLASSIFICATION (#5 PHILLIPS PLACE)

ZONING DISTRICT: A-2 - RESIDENTIAL

DIMENSIONAL TABLE PER A-2 - RESIDENTIAL ZONE

MAXIMUM FLOOR AREA RATIO	0.5
MINIMUM LOT SIZE	6,000 SQ. FT.
MINIMUM LOT AREA/DWELLING	4,500 SQ. FT.
MINIMUM LOT WIDTH	65 FEET
MINIMUM FRONT YARD	20
MINIMUM SIDE YARD	10 (SUM OF 2S)
MINIMUM REAR YARD	25
MINIMUM HEIGHT	35 FEET
MINIMUM OPEN SPACE	50%

* SEE ARTICLE 5.31 OF THE CITY OF CAMBRIDGE ZONING ORDINANCE.

ZONING CLASSIFICATION (#3 PHILLIPS PLACE)

ZONING DISTRICT: RESIDENCE C-2 DISTRICT

DIMENSIONAL TABLE PER "C-2" ZONING DISTRICT

MAXIMUM FLOOR AREA RATIO	1.75
MINIMUM LOT SIZE	5,000 SQ. FT.
MINIMUM LOT AREA/DWELLING	600 SQ. FT.
MINIMUM LOT WIDTH	50 FEET
MINIMUM FRONT YARD	H+1/4
MINIMUM SIDE YARD	H+1/5
MINIMUM REAR YARD	H+1/4
MINIMUM HEIGHT	85 FEET
MINIMUM OPEN SPACE	15%

* SEE ARTICLE 5.31 OF THE CITY OF CAMBRIDGE ZONING ORDINANCE.

REFERENCES

MIDDLESEX COUNTY REGISTRY OF DEEDS

PLAN NO. 905 OF 2012

PLAN NO. 1042 OF 1960

PLAN STR-05-03

CITY OF CAMBRIDGE DEPT. OF PUBLIC WORKS

PLAN STR-19-16

3 Phillips Pl, Cambridge

DIMENSIONAL TABLE

Res. C-2 Base Zoning District, Episcopal Divinity School Institutional Overlay District

ZONING CRITERIA	ZONING REQUIREMENT Res. C-2 REQUIRED / ALLOWED	EXISTING	PROPOSED	COMPLIANCE
USE	Multifamily Dwelling allowed per Sec. 4.30 Institutional Overlay Use N/A per sec. 4.54		Multifamily Dwelling N/A	COMPLIES (Sec. 4.26 not applicable) N/A
LOT AREA	5,000-sf min	7,216-sf	7,216-sf, no change	COMPLIES
LOT WIDTH	50' min (perpendicular to mean direction of side lot lines)	131'	131'	COMPLIES
NUMBER OF D.U.			6	N/A
LOT AREA PER D.U.	600-sf min		1,202-sf per D.U.	COMPLIES
GROSS FLOOR AREA	12,628-GSF max	10,470-GSF	9,643-GSF	N/A
FLOOR AREA RATIO	1.75 max	1.45	1.34	COMPLIES
FRONT YARD (MASON ST)	(H+L)/5 = +/- 20.1' min to CL of street, no case <10' to front lot line		Existing bldg: 13.6', no change Proposed Deck: 36.9'	EXISTING NONCONFORMITY COMPLIES
FRONT YARD (PHILLIPS PL)	(H+L)/5 = +/- 30.5' min to CL of street, no case <10' to front lot line		Existing bldg: 1.4', no change Proposed Green Flood Barrier: 3.8'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
SIDE YARD, (off Mason St)	5' min, 5' sum	1.5'	1.5' Proposed Deck: 3', 16'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
SIDE YARD, (off Phillips St)	0' min	2.8'	Existing bldg: 2.8' Proposed Deck: 17.7'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
REAR YARD	None (Corner Lot)	N/A	N/A	N/A
BUILDING SEPARATION	10' min	N/A	N/A	N/A
PARKING SPACE & DRIVE SETBACK	5' min for Side Yard and Rear Yard	0'	5'	COMPLIES
BUILDING HEIGHT	85' max	41.4'	41.4'	COMPLIES
PRIVATE OPEN SPACE	15% min Permeable Open Space <15'x15' N/A	0% ±28% permeable open space <15'x15'	0% 28% permeable open space <15'x15'	EXISTING NONCONFORMITY EXISTING NONCONFORMITY N/A
NO. OF PARKING	No max		6	COMPLIES
NO. OF BIKE PARKING	Long-term at 0.10 per DU = 0.1 x 6 = 0.6 (1) Short-term at 0.10 per DU = 0.1 x 6 = 0.6 (1)	0 0	8 total proposed	COMPLIES

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

DIMENSIONAL TABLE

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC SET	4 OCT 2024
DRAWN BY MY	REVIEWED BY PQ

SHEET

Z1.1



STREET VIEW AT CORNER OF PHILLIPS PL & MASON STREET

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



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PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.1



STREET VIEW FROM NORTH PHILLIPS PL

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

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PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.2



DRIVEWAY ENTRANCE AT MASON STREET

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST. SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC SET	30 SEP 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.3

SEAL



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PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

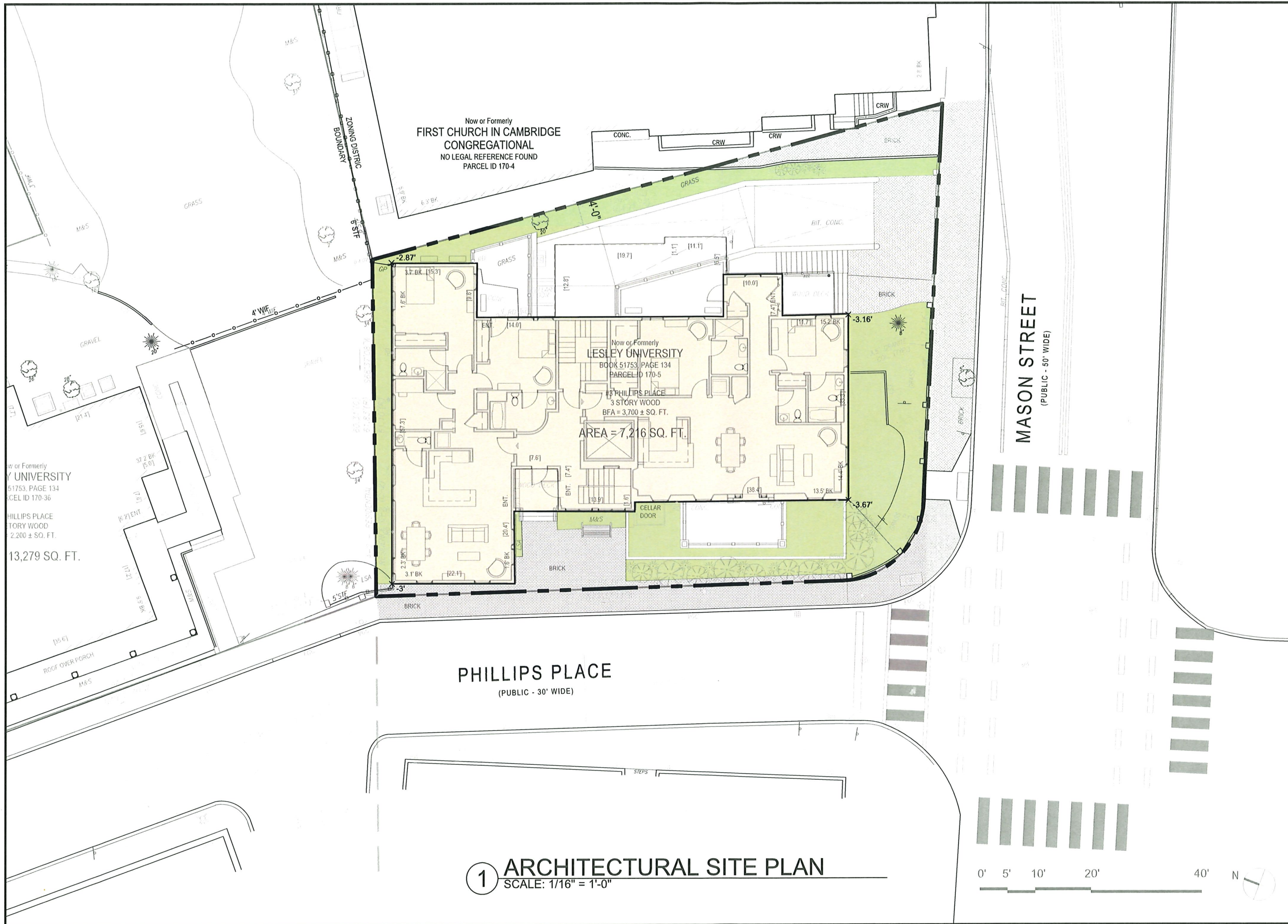
DRAWING TITLE
ARCHITECTURAL
SITE PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
PROGRESS	25 SEP 2024
CHC SET	17 SEP 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

AS-1



Now or Formerly
FIRST CHURCH IN CAMBRIDGE
CONGREGATIONAL
NO LEGAL REFERENCE FOUND
PARCEL ID 170-4

Now or Formerly
LESLEY UNIVERSITY
BOOK 51753, PAGE 134
PARCEL ID 170-5
#3 PHILLIPS PLACE
3 STORY WOOD
BFA = 3,700 ± SQ. FT.
AREA = 7,216 SQ. FT.

PHILLIPS PLACE
(PUBLIC - 30' WIDE)

MASON STREET
(PUBLIC - 50' WIDE)

1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

0' 5' 10' 20' 40'



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PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

BASEMENT PLAN

SCALE AS NOTED

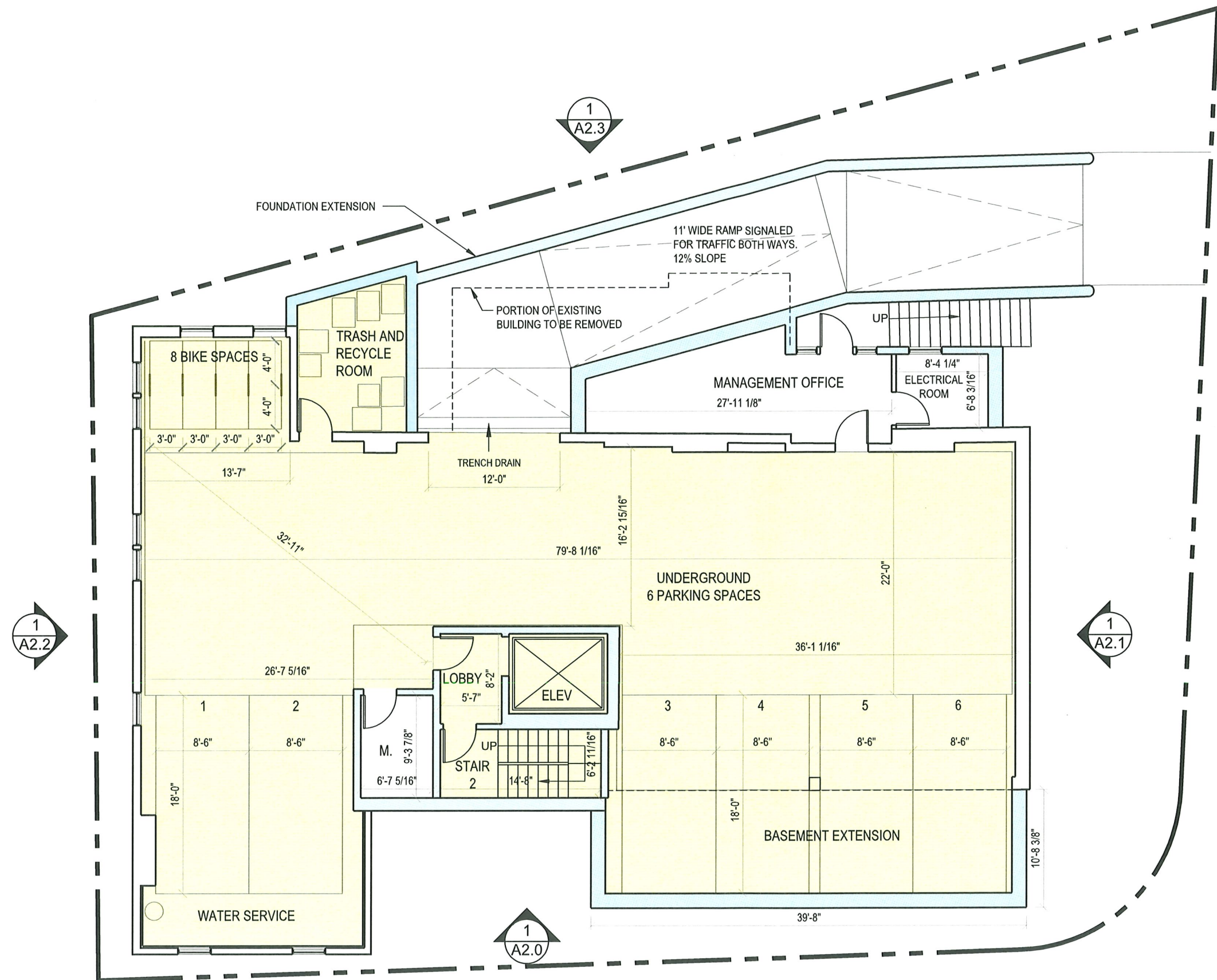
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

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SHEET

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1 BASEMENT FLOOR PLAN
SCALE: 1" = 10'-0"



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SEAL



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PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
FIRST FLOOR PLAN

SCALE AS NOTED

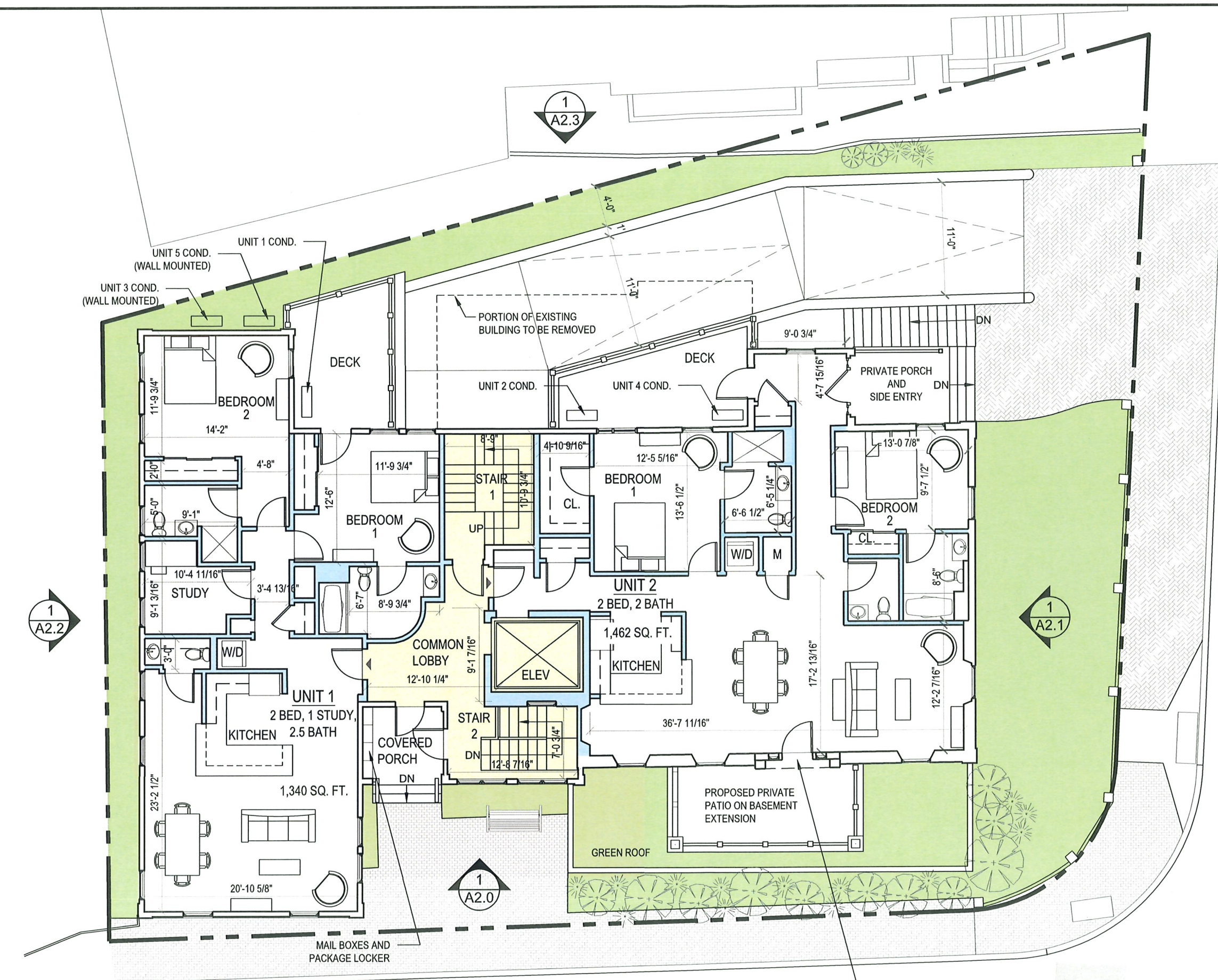
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

DRAWN BY AM REVIEWED BY PQ

SHEET

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1 FIRST FLOOR PLAN
SCALE: 1" = 10'-0"



SEAL



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PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
SECOND FLOOR PLAN

SCALE AS NOTED

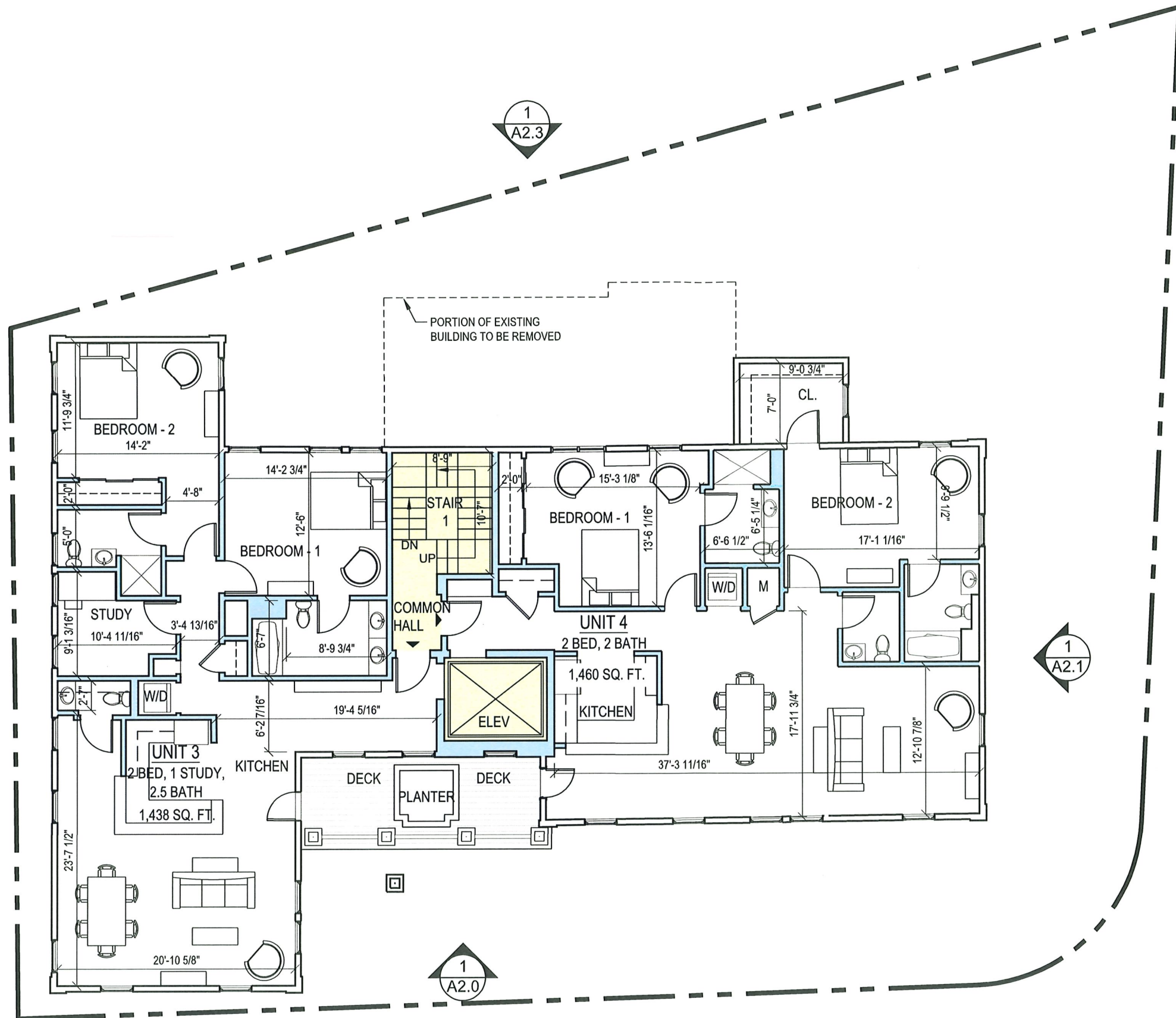
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

DRAWN BY AM REVIEWED BY PQ

SHEET

A1.2



1 SECOND FLOOR PLAN
SCALE: 1" = 10'-0"





CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
MANSARD FLOOR PLAN TWO UNITS

SCALE AS NOTED

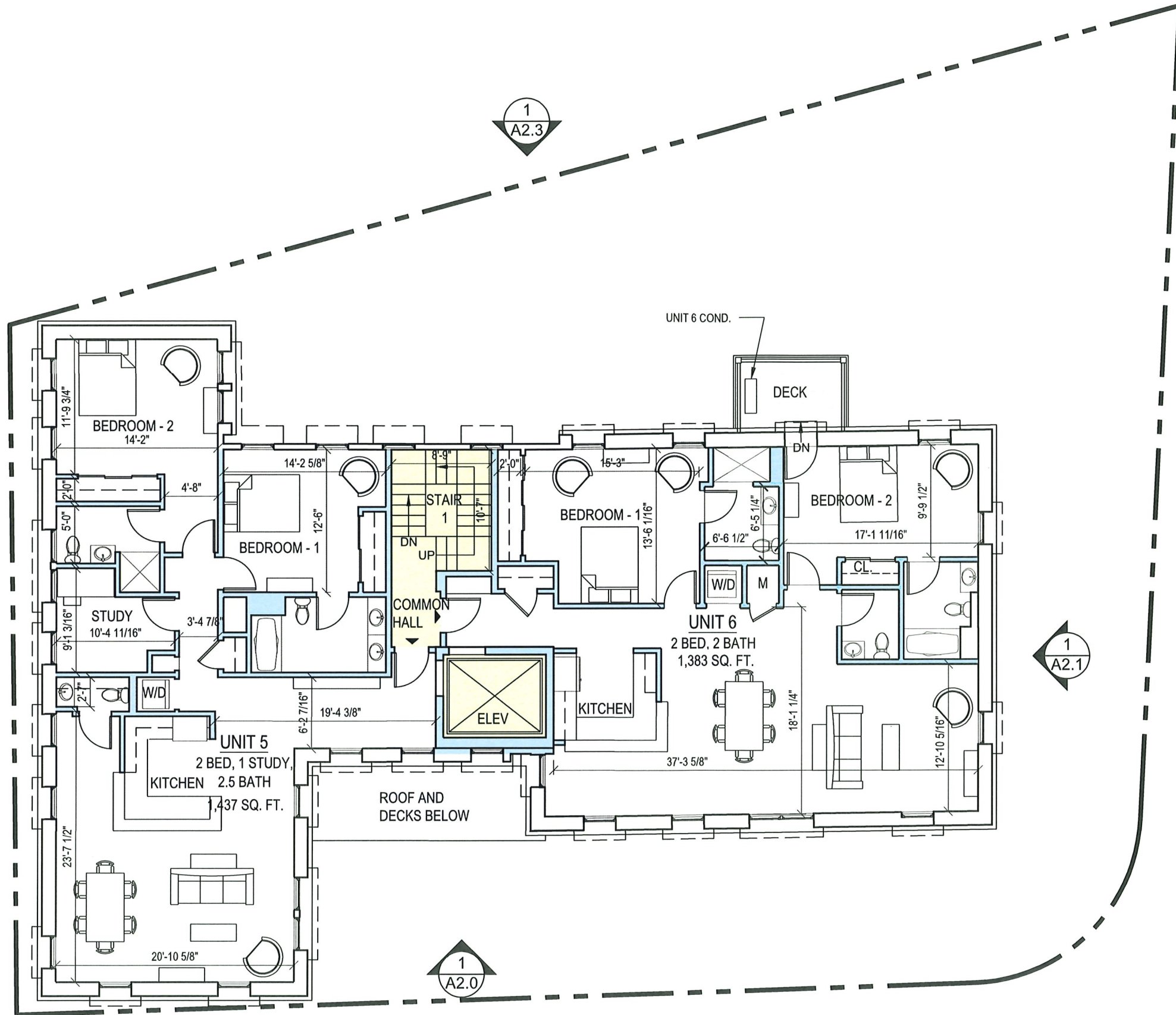
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

DRAWN BY AM REVIEWED BY PQ

SHEET

A1.3



1 MANSARD FLOOR PLAN
SCALE: 1" = 10'-0"



SEAL



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PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
ALTERNATE MANSARD FLOOR PLAN

SCALE AS NOTED

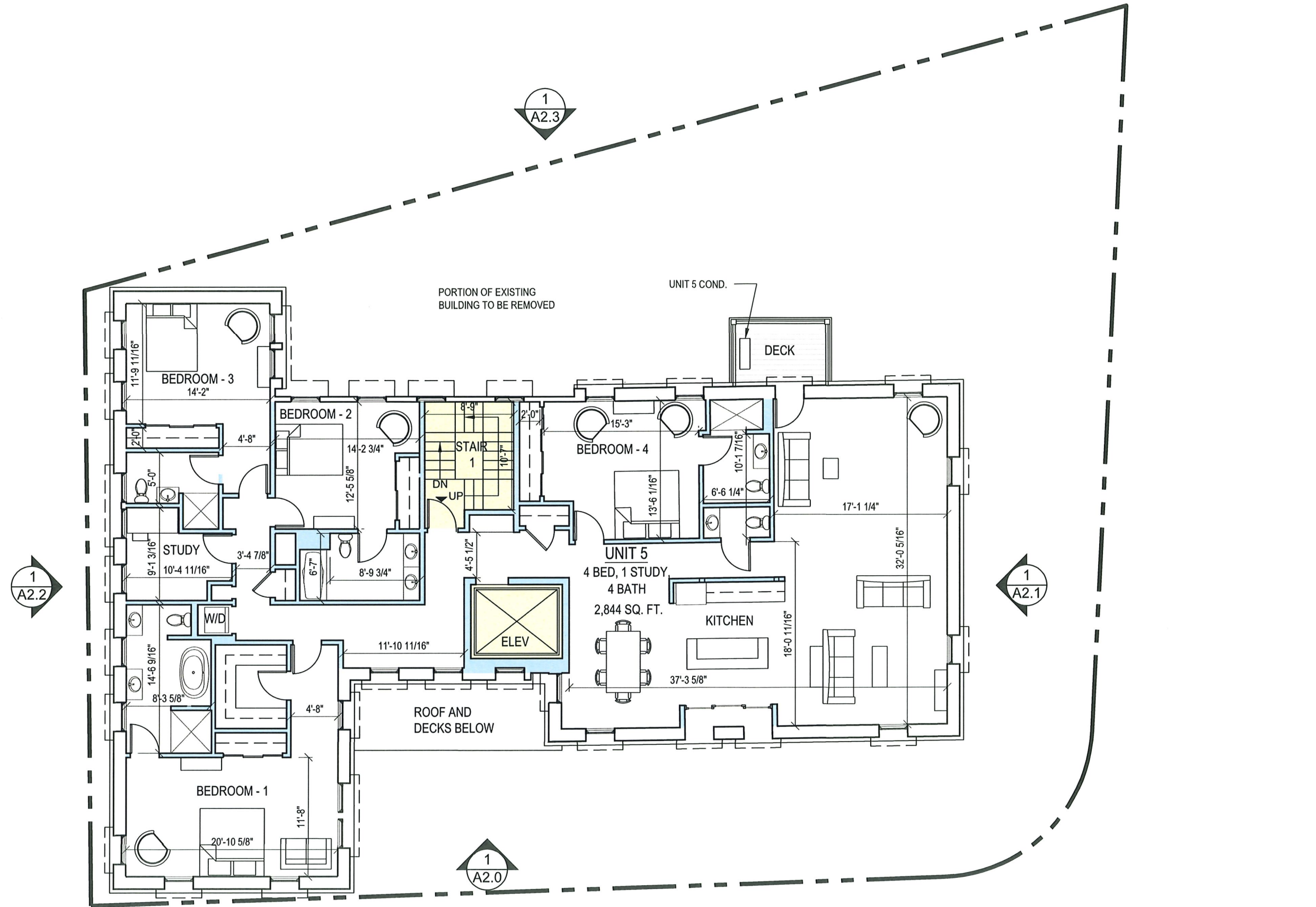
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

DRAWN BY AM REVIEWED BY PQ

SHEET

A1.4



1 MANSARD FLOOR PLAN
SCALE: 1" = 10'-0" ALTERNATIVE SINGLE UNIT LAYOUT



SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

ROOF PLAN

SCALE AS NOTED

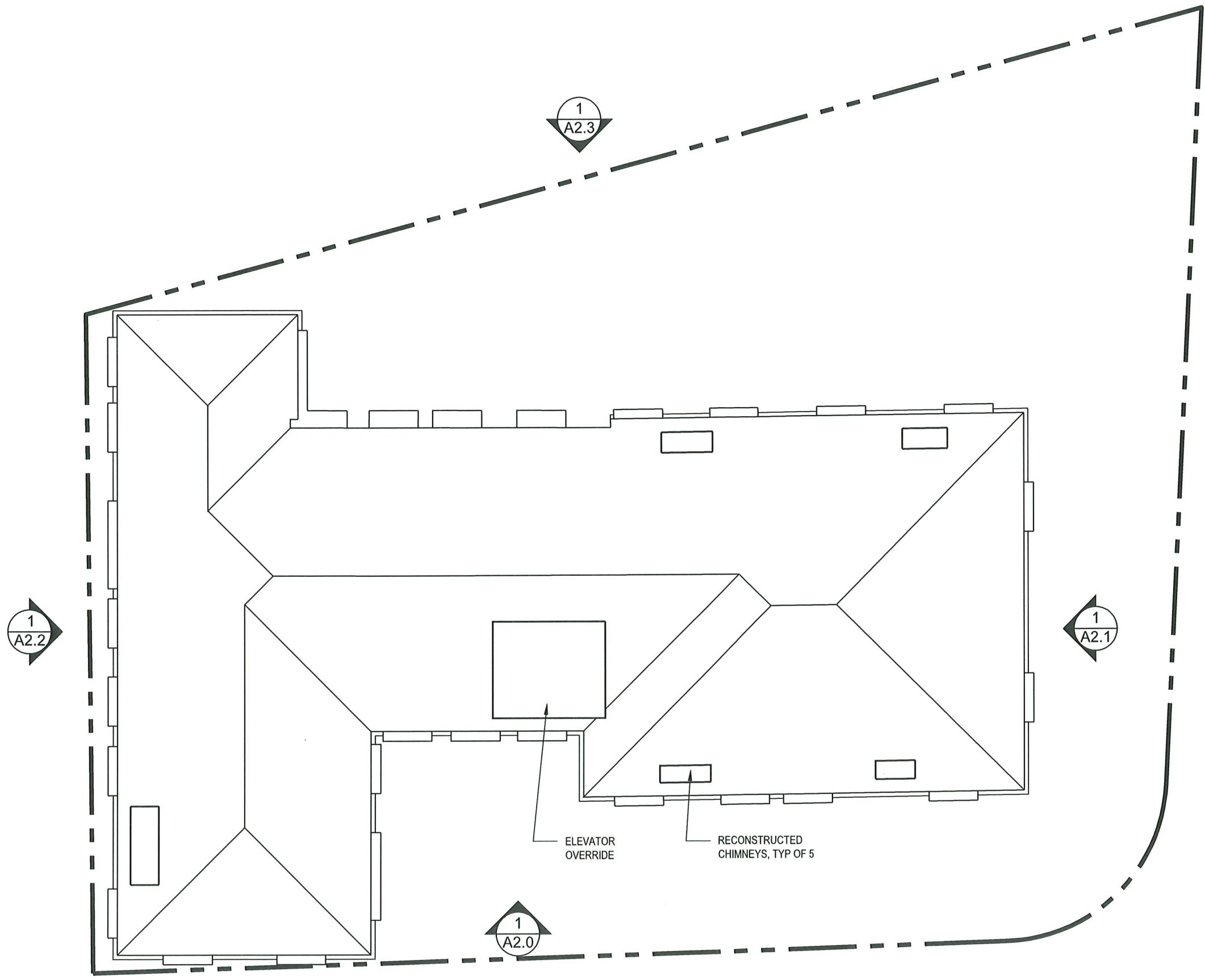
REVISION / ISSUE	DATE

CHC APPL SET 4 OCT 2024

DRAWN BY AM REVIEWED BY PQ

SHEET

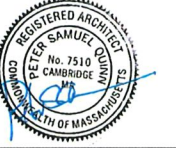
A1.5



1 ROOF PLAN
SCALE: 1" = 10'-0"



SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

MASON ST ELEVATION

SCALE AS NOTED

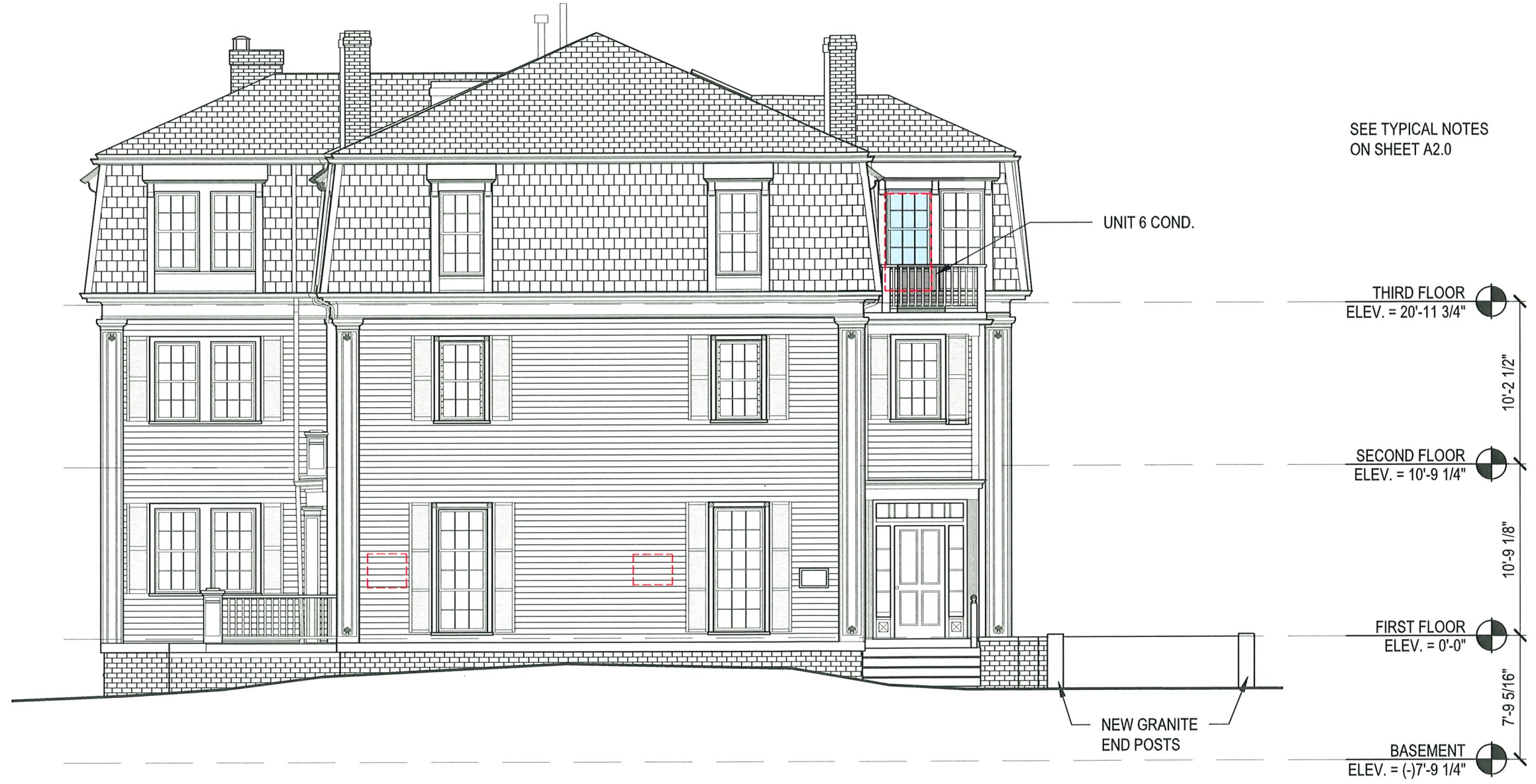
REVISION / ISSUE	DATE

CHQ: AMB/EST 4/16/2024

DRAWN BY AM REVIEWED BY PQ

SHEET

A2.1



1 MASON ST ELEVATION
SCALE: 1/8"=1'-0"

- PROPOSED OPENINGS
- REMOVED OPENINGS





CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
LEFT SIDE (OFF PHILLIPS) ELEVATION

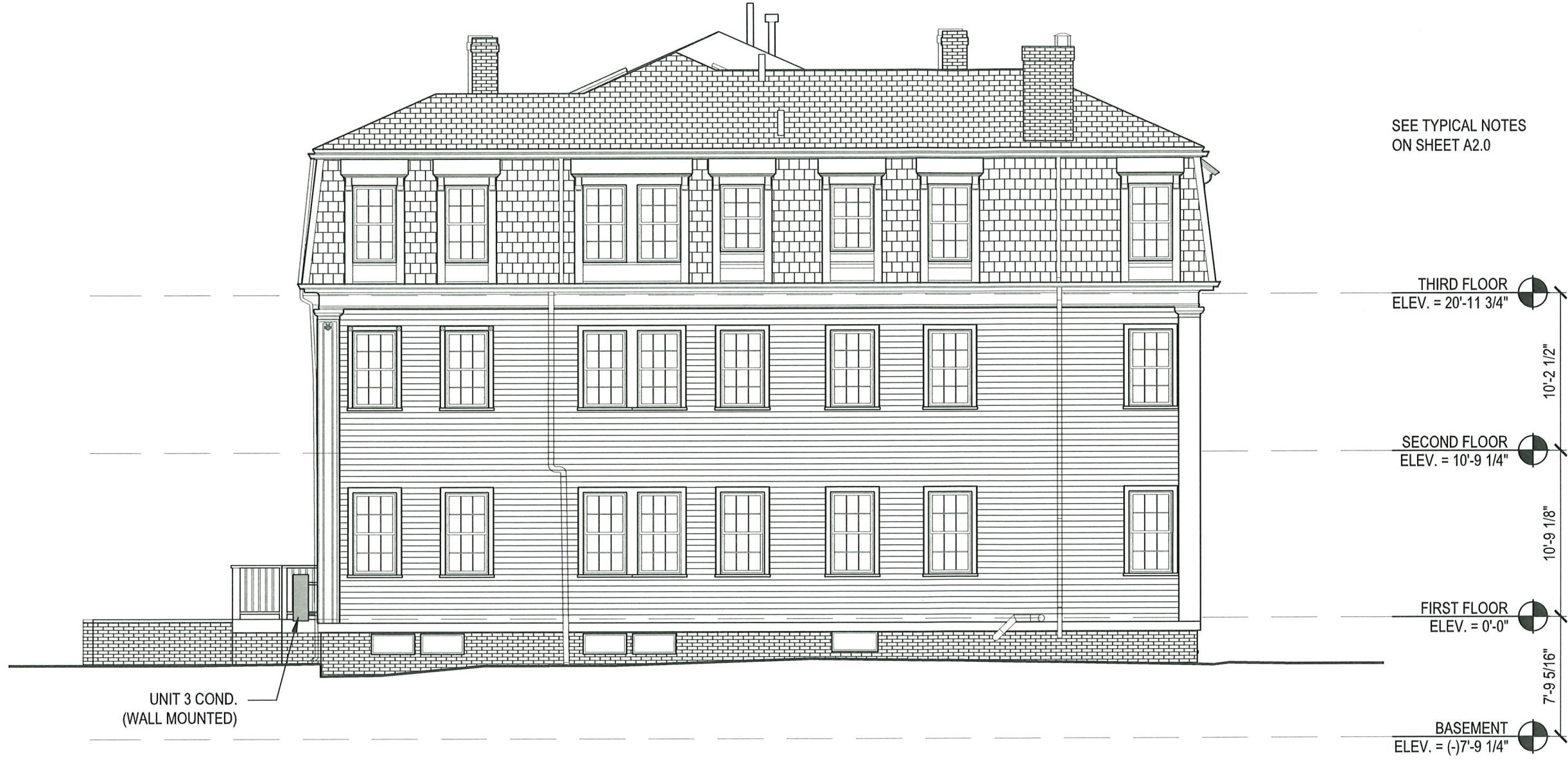
SCALE AS NOTED

REVISION / ISSUE	DATE

CHC:ABE:ST 4/10/2024
DRAWN BY AM REVIEWED BY PQ

SHEET

A2.2

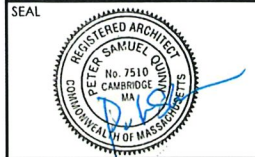


SEE TYPICAL NOTES
ON SHEET A2.0

1 LEFT SIDE (OFF PHILLIPS) ELEVATION
SCALE: 1/8"=1'-0"

- PROPOSED OPENINGS
- REMOVED OPENINGS





CONSULTANT

PROJECT
PROPOSED RENOVATIONS

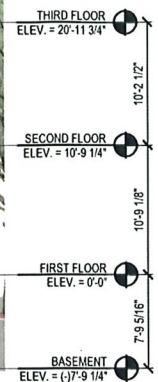
3 PHILLIPS PL
CAMBRIDGE, MA 02138
PREPARED FOR

DRAWING TITLE
RENDERED ELEVATIONS

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

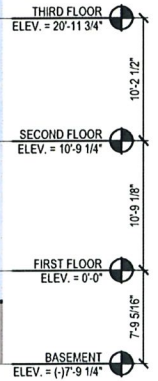
SHEET
A2.4



1 PHILLIPS PL ELEVATION
SCALE: 1/16" = 1'-0"



2 MASON ST ELEVATION
SCALE: 1/16" = 1'-0"



3 LEFT SIDE (OFF PHILLIPS) ELEVATION
SCALE: 1/16" = 1'-0"



4 RIGHT SIDE (OFF MASON) ELEVATION
SCALE: 1/16" = 1'-0"





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WEST
 3 Phillips Pl

EXISTNG CONDITONS

3 Phillips Pl
 Cambridge, MA

Stamp

**NOT FOR
 CONSTRUCTION**

Key Plan

Drawing Title
 WEST ELEVATION

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC2.0



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NORTH
3 Phillips Pl

EXISTING CONDITIONS

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Cambridge, MA

Stamp

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CONSTRUCTION

Key Plan

Drawing Title
NORTH ELEVATION

Job Number	0002
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1/8" = 1'-0"
Drawing No.	

XC2.1



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EAST

3 Phillips Pl

EXISTING CONDITIONS

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Cambridge, MA

Stamp

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CONSTRUCTION

Key Plan

Drawing Title
EAST ELEVATION

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC2.2



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SOUTH

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EXISTING CONDITIONS

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CONSTRUCTION

Key Plan

Drawing Title
SOUTH ELEVATION

Job Number GCD02
Drawn by Author
Checked Checker
Date 06-28-2024
Scale 1/8" = 1'-0"
Drawing No.

XC2.3

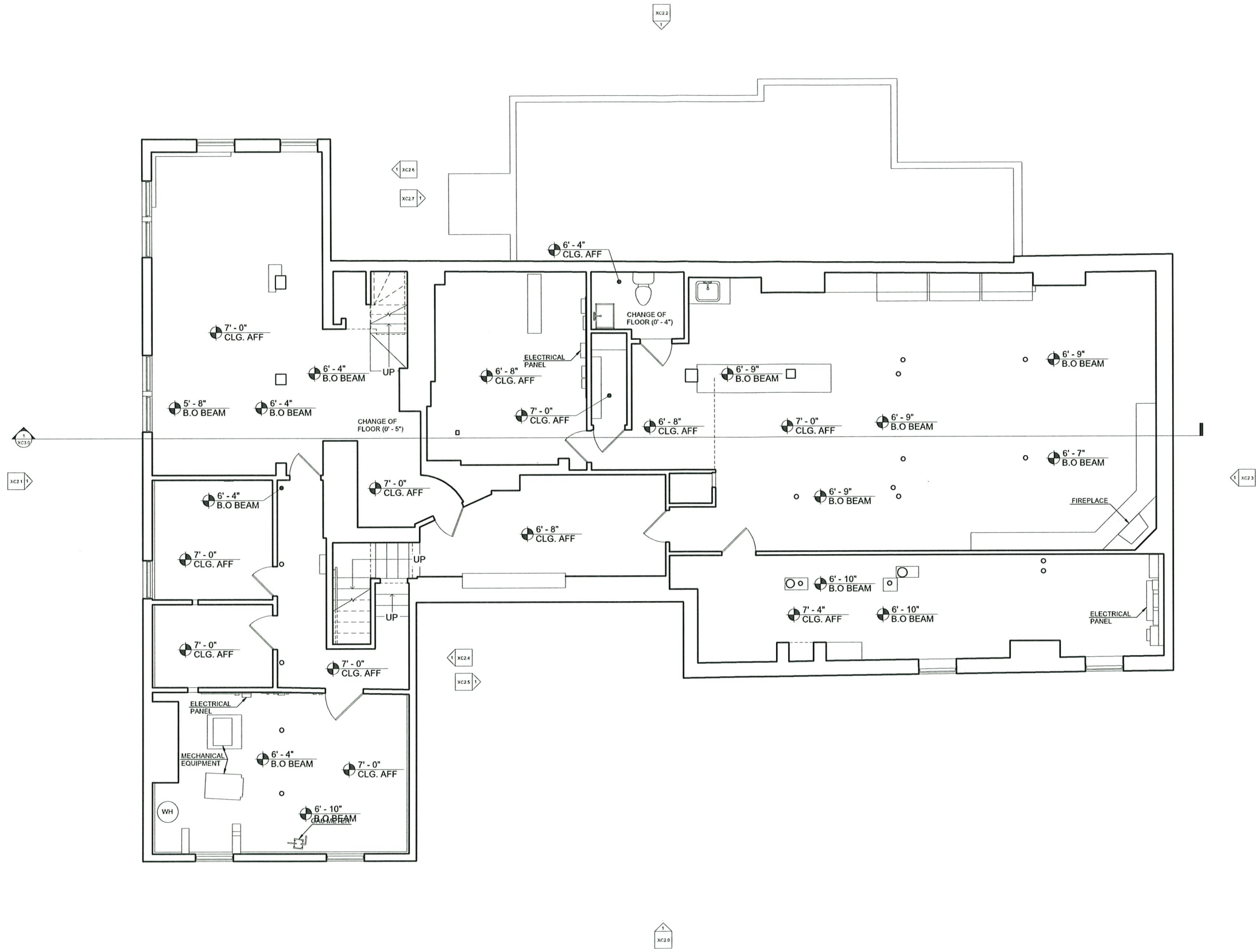


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BASEMENT
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EXISTING CONDITIONS

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Stamp

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CONSTRUCTION**

Key Plan

Drawing Title
BASEMENT

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC1.0



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SECOND FLOOR
3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

NOT FOR
CONSTRUCTION

Key Plan

Drawing Title
SECOND FLOOR

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1/8" = 1'-0"
Drawing No.	

XC1.2



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THIRD FLOOR

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl Cambridge, MA

Stamp

**NOT FOR
CONSTRUCTION**

Key Plan

Drawing Title
THIRD FLOOR

Job Number	GCP02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1/2" = 1'-0"
Drawing No.	

XC1.3