

REDEVELOPMENT OF 3 PHILLIPS PL

CAMBRIDGE, MA 02138
A RESIDENTIAL PROJECT

**PETER
QUINN
ARCHI
TECTS**

ARCHITECTURE
PLANNING
INTERIOR DESIGN

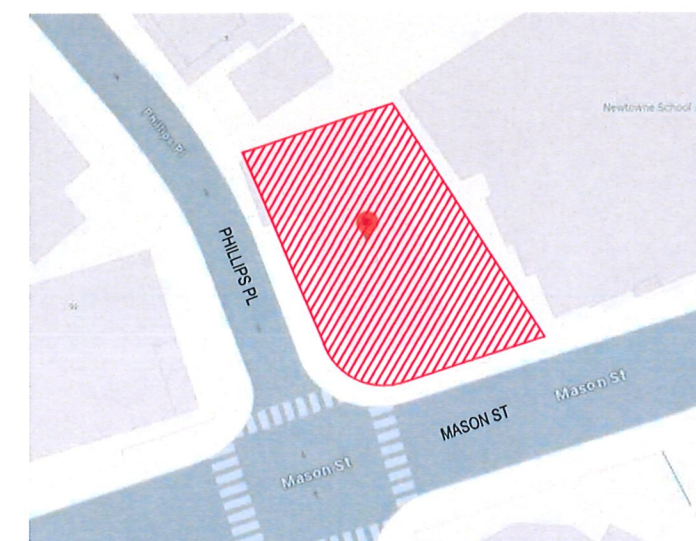
PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



PHILLIPS PL ELEVATION

LIST OF DRAWINGS	CHC APPL SET 4 OCT 2024	CHC REV-1 25 NOV '24	
GENERAL			
T-1 TITLE SHEET	X	X	
EXISTING CONDITIONS PLOT PLAN	X	X	
Z-1 DIMENSIONAL TABLE	X	X	
Z-2 DIMENSIONAL SITE PLAN	X	X	
Z-3 GROSS FLOOR AREA	X	X	
Z-4 OPEN SPACE, AVG GRADE, BLD HT CALCULATIONS	X	X	

ARCHITECTURAL			
A0.1 3D VIEW (3 SHEETS)	X	X	
AS-1 ARCHITECTURAL SITE PLAN <small>ADDED ENLARGEMENT SHEET AS-1</small>	X	X	
A1.0 BASEMENT PLAN	X	X	
A1.1 FIRST FLOOR PLAN	X	X	
A1.2 SECOND FLOOR PLAN	X	X	
A1.3 MANSARD FLOOR PLAN	X	X	
A1.4 ALTERNATE MANSARD FLOOR PLAN	X	X	
A1.5 ROOF PLAN	X	X	
A2.0 PHILLIPS PL ELEVATION	X	X	
A2.1 MASON ST ELEVATION	X	X	
A2.2 LEFT SIDE (OFF PHILLIPS) ELEVATION	X	X	
A2.3 RIGHT SIDE (OFF MASON) ELEVATION	X	X	
A2.4 RENDERED ELEVATIONS	X	X	
XC2.0 E.C. PHILLIPS PL ELEVATION	X	X	
XC2.1 E.C. LEFT SIDE (OFF PHILLIPS) ELEVATION	X	X	
XC2.2 E.C. RIGHT SIDE (OFF MASON) ELEVATION	X	X	
XC2.3 E.C. MASON ST ELEVATION	X	X	
XC1.0 E.C. BASEMENT PLAN	X	X	
XC1.1 E.C. FIRST FLOOR PLAN	X	X	
XC1.2 E.C. SECOND FLOOR PLAN	X	X	
XC1.3 E.C. THIRD FLOOR PLAN	X	X	



LOCUS PLAN ↑

PROGRAM SUMMARY

6 RESIDENTIAL UNITS (+ ALTERNATE LAYOUT FOR FIVE UNITS)
1 RESIDENTIAL COMMON LOBBY

6 PARKING SPACES (UNDERGROUND)
8 BIKE SPACES (UNDERGROUND)

REVISIONS FOR 25 NOVEMBER 2024 SUBMISSION:

- ADDED SHEET AS-1 - SITE PLAN ENLARGEMENT
- REVISED 3D IMAGE A0.3 - VIEW FROM MASON ST

PREPARED BY:

ARCHITECT
**PETER QUINN
ARCHITECTS LLC**
259 ELM ST, STE 301
SOMERVILLE, MA 02144
PH (617) 354 3989

SURVEYOR
**FELDMAN,
GEOSPATIAL**
152 HAMPDEN STREET
BOSTON, MA 02119
PH (617) 357 9740

SEAL

CONSULTANT

PROJECT

**PROPOSED
RENOVATIONS**

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY MN / YC	REVIEWED BY PQ

SHEET

T-1

BOUNDARY DESCRIPTION PER COMMITMENT NO. BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#3 PHILLIPS PLACE)

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON, NOW KNOWN AND NUMBERED AS 3 PHILLIPS PLACE, SITUATED ON THE NORTHERLY SIDE OF MASON STREET IN CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTHERLY SIDE OF SAID MASON STREET, AS WIDENED AT THE SOUTHEASTERN CORNER OF THE GRANTED PREMISES, BY LAND NOW OR FORMERLY OR SAMUEL BATCHELDER, AND THEN RUNNING

NORTHERLY ON SAID LAND NOW OR FORMERLY SAID BATCHELDER, ONE HUNDRED AND FOUR AND 72/100 (104.72) FEET TO LAND NOW OR LATE OF HOPKINSON, THENCE

WESTERLY ON [SAID] LAND NOW OR LATE OF HOPKINSON, SIXTY-ONE AND 10/100 (61.10) FEET TO PHILLIPS PLACE, SO-CALLED, THENCE

SOUTHERLY BY SAID PHILLIPS PLACE, EIGHTY-NINE AND 47/100 (89.47) FEET TO SAID MASON STREET AND THENCE;

EASTERLY ON SAID MASON STREET EIGHTY-FIVE (85) FEET, MORE OR LESS TO THE POINT OF BEGINNING.

EXCEPTING FROM THE ABOVE DESCRIBED PREMISES, HOWEVER, SO MUCH THEREOF AS WAS TAKEN BY THE CITY OF CAMBRIDGE FOR THE WIDENING OF SAID PHILLIPS PLACE.

[] *CORRECTED TYPOGRAPHICAL OR SCRIBENER'S ERROR

BOUNDARY DESCRIPTION PER COMMITMENT NO. BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#5 PHILLIPS PLACE)

THE LAND WITH BUILDINGS THEREON NOW KNOWN AND NUMBERED 5 PHILLIPS PLACE IN CAMBRIDGE, MIDDLESEX COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY BY SAID PHILLIPS PLACE, 96.17 FEET;

NORTHWESTERLY BY LOT B AS SHOWN ON THE PLAN HEREIN MENTIONED, 81.50 FEET;

NORTHEASTERLY BY SAID LOT B, 61.75 FEET;

NORTHEASTERLY AGAIN, BY SAID LOT B, 89.09 FEET;

NORTHEASTERLY AGAIN, BY LAND NOW OR FORMERLY OF BATCHELDER AND LAND NOW OR FORMERLY OF THE SHEPARD CONGREGATIONAL SOCIETY, 70.03 FEET; AND

SOUTHEASTERLY BY LAND NOW FORMERLY OF THE SHEPARD CONGREGATIONAL SOCIETY AND LAND NOW OR FORMERLY OF HASTINGS BY TWO COURSES, MEASURING 94.42 AND 61.83 FEET RESPECTIVELY.

SAID PREMISES ARE SHOWN AS 7.01 A' ON A PLAN ENTITLED, "SUBDIVISION OF LAND IN CAMBRIDGE (SCALE 1" = 80')", DATED MAY 2, 1960 BY EDWARD SMITH, ENGINEER, RECORDED WITH THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS IN BOOK 9269, PAGE 33.

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, PART II LISTED IN TITLE COMMITMENT NO. BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#3 PHILLIPS PLACE)

6 EASEMENT FOR ELECTRIC SERVICE IN FAVOR OF NSTAR ELECTRIC COMPANY D/B/A EVERSOURCE ELECTRIC DATED NOVEMBER 22, 2016 AND RECORDED IN BOOK 68570, PAGE 429. (NOT LOCUS)

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, PART II LISTED IN TITLE COMMITMENT NO. BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023 (#5 PHILLIPS PLACE)

6 EASEMENT FOR ELECTRIC SERVICE IN FAVOR OF NSTAR ELECTRIC COMPANY D/B/A EVERSOURCE ELECTRIC DATED NOVEMBER 22, 2016 AND RECORDED IN BOOK 68570, PAGE 429. (NOT LOCUS)

7 DECISION OF THE CITY OF CAMBRIDGE BOARD OF ZONING APPEAL GRANTING A VARIANCE RECORDED ON OCTOBER 13, 1998 IN BOOK 29315, PAGE 2. (NOT PLOTTABLE)

NOTES:

- 1. THE PROPERTY SHOWN HEREON AS #3 PHILLIPS PLACE IS THE SAME PROPERTY DESCRIBED IN TITLE COMMITMENT NUMBER BOS-20230318-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023. THE PROPERTY SHOWN HEREON AS #5 PHILLIPS PLACE IS THE SAME PROPERTY DESCRIBED IN TITLE COMMITMENT NUMBER BOS-20230319-MA ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 23, 2023.
- 2. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO PHILLIPS PLACE, A PUBLIC WAY.
- 3. BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADDED). AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 2501700438C, CITY OF CAMBRIDGE COMMUNITY NUMBER 250188, PANEL NUMBER CHASE, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
- 4. ZONING INFORMATION AS SHOWN HEREON WAS NOT PROVIDED BY THE TITLE INSURER AS REQUIRED BY ITEM 6 (A OR B) OF TABLE "A" IN THE 2021 ALTA SURVEY REQUIREMENTS.
- 5. NO STRIPPED SURFACE PARKING SPACES WERE OBSERVED AT THE TIME OF SURVEY.
- 6. NO EVIDENCE OF RECENT EARTH MOVING, WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF SURVEY.
- 7. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED AT THE TIME OF SURVEY.
- 8. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE APPROPRIATELY RECORDED PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INCORRECTLY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY SERVICED BEFORE PLANNING FUTURE CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-2233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 9. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

BOUNDARY DESCRIPTION OF #5 PHILLIPS PLACE (PER SURVEY)

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF CAMBRIDGE, COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY SIDE OF PHILLIPS PLACE;

THENCE RUNNING N 49°28'20" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 81.50 FEET TO A POINT;

THENCE TURNING AND RUNNING S 40°31'40" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 61.75 FEET TO A POINT;

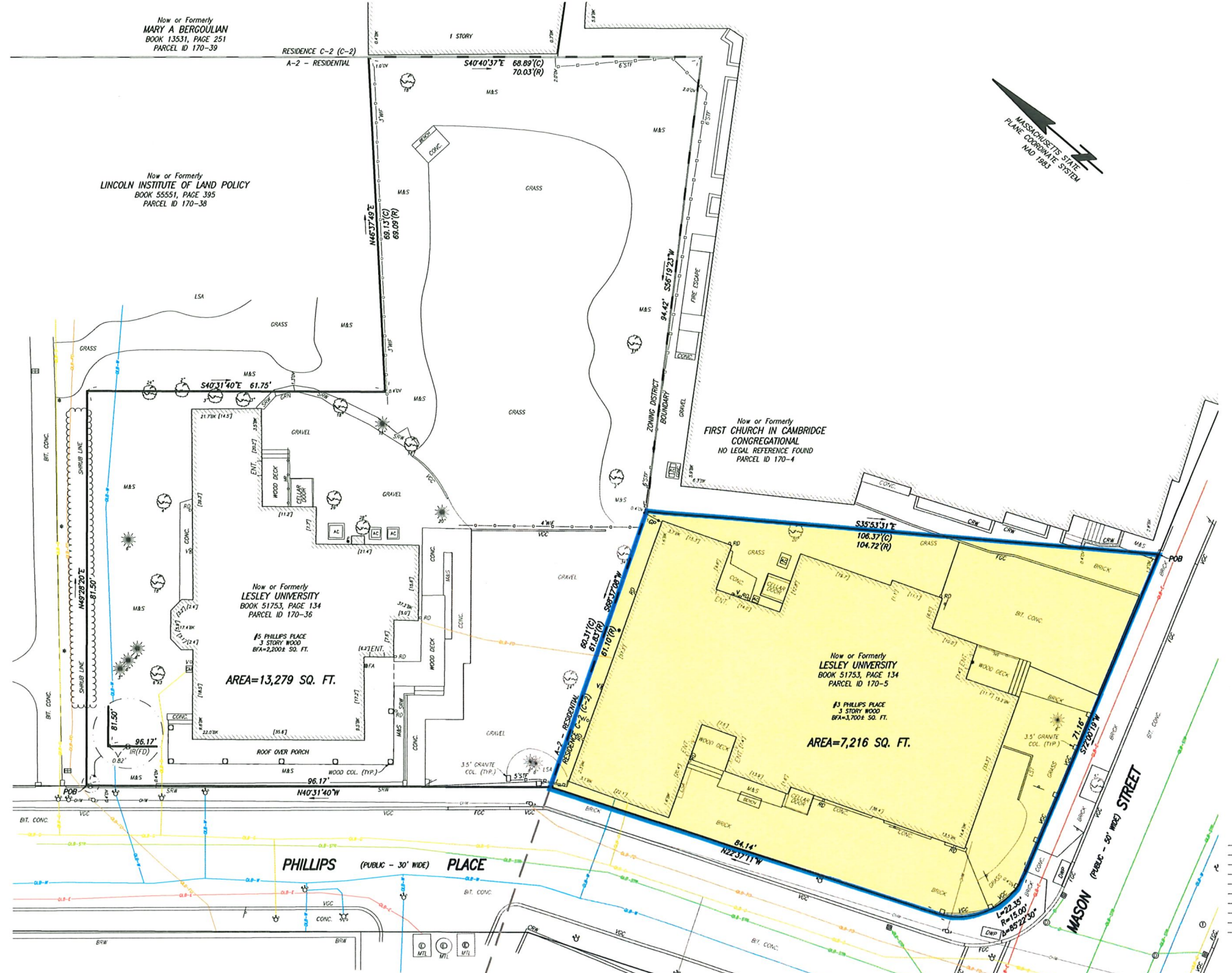
THENCE TURNING AND RUNNING N 48°37'48" E, BY LAND NOW OR FORMERLY OF LINCOLN INSTITUTE OF LAND POLICY, A DISTANCE OF 81.50 FEET TO A POINT;

THENCE TURNING AND RUNNING S 58°19'23" W, BY LAND NOW OR FORMERLY OF FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL, A DISTANCE OF 94.42 FEET TO A POINT;

THENCE TURNING AND RUNNING S 68°37'08" W, BY LAND NOW OR FORMERLY OF LESLEY UNIVERSITY, A DISTANCE OF 60.31 FEET TO A POINT ON SAID PHILLIPS PLACE;

THENCE TURNING AND RUNNING N 40°31'40" W, BY SAID PHILLIPS PLACE, A DISTANCE OF 96.17 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 13,279 SQUARE FEET.



BOUNDARY DESCRIPTION OF #3 PHILLIPS PLACE (PER SURVEY)

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF CAMBRIDGE, COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY SIDE OF MASON STREET;

THENCE RUNNING S 72°00'19" W, BY SAID MASON STREET, A DISTANCE OF 71.16 FEET TO A POINT OF CURVATURE FORMING THE INTERSECTION WITH THE NORTHEASTERLY SIDE OF PHILLIPS PLACE;

THENCE RUNNING ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, A DELTA ANGLE OF 89°22'30" AND AN ARC LENGTH OF 22.35 FEET TO A POINT OF TANGENCY;

THENCE RUNNING N 22°33'11" W, BY SAID PHILLIPS PLACE, A DISTANCE OF 84.14 FEET TO A POINT;

THENCE TURNING AND RUNNING N 68°37'08" W, BY LAND NOW OR FORMERLY OF LESLEY UNIVERSITY, A DISTANCE OF 60.31 FEET TO A POINT;

THENCE TURNING AND RUNNING S 35°53'31" E, BY LAND NOW OR FORMERLY OF FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL, A DISTANCE OF 106.37 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 7,216 SQUARE FEET.

LIST OF POTENTIAL ENCROACHMENTS, #5 PHILLIPS PLACE

NOW OR FORMERLY FIRST CHURCH IN CAMBRIDGE CONGREGATIONAL
STOCKADE FENCE OV 2'0" (CROSSES 2'0" INTO BOTH LOTS)

NOW OR FORMERLY LINCOLN INSTITUTE OF LAND POLICY
STONE RETAINING WALL OV 1.3'

PHILLIPS PLACE
STONE RETAINING WALL OV 0.4'
MULCH AND SHRUB AREA OV 0.4'

LIST OF POTENTIAL ENCROACHMENTS, #3 PHILLIPS PLACE

MASON STREET
GRANITE COLUMN OV 0.4'

NOW OR FORMERLY FIRST CHURCH CONGREGATIONAL
FGC CROSSES PROPERTY LINE
CONCRETE STEPS OV 0.4'
MULCH AND SHRUB AREA OV 1.2'

ZONING CLASSIFICATION (#5 PHILLIPS PLACE)

ZONING DISTRICT: A-2 - RESIDENTIAL
DIMENSIONAL TABLE PER A-2 - RESIDENTIAL ZONE

MAXIMUM FLOOR AREA RATIO	0.5
MINIMUM LOT SIZE	6,000 SQ. FT.
MINIMUM LOT AREA/DWELLING	4,500 SQ. FT.
MINIMUM LOT WIDTH	50 FEET
MINIMUM FRONT YARD	20
MINIMUM SIDE YARD	10 (SUM OF 25)
MINIMUM REAR YARD	25
MINIMUM HEIGHT	35 FEET
MINIMUM OPEN SPACE	50%

* SEE ARTICLE 5.31 OF THE CITY OF CAMBRIDGE ZONING ORDINANCE.

ZONING CLASSIFICATION (#3 PHILLIPS PLACE)

ZONING DISTRICT: RESIDENCE C-2 DISTRICT
DIMENSIONAL TABLE PER C-2 ZONING DISTRICT

MAXIMUM FLOOR AREA RATIO	1.75
MINIMUM LOT SIZE	5,000 SQ. FT.
MINIMUM LOT AREA/DWELLING	800 SQ. FT.
MINIMUM LOT WIDTH	50 FEET
MINIMUM FRONT YARD	H+1/4
MINIMUM SIDE YARD	H+1/5
MINIMUM REAR YARD	H+1/4
MINIMUM HEIGHT	65 FEET
MINIMUM OPEN SPACE	15%

* SEE ARTICLE 5.31 OF THE CITY OF CAMBRIDGE ZONING ORDINANCE.

REFERENCES

- MIDDLESEX COUNTY REGISTRY OF DEEDS
PLAN NO. 905 OF 2012
PLAN NO. 1042 OF 1960
- CITY OF CAMBRIDGE DEPT. OF PUBLIC WORKS
PLAN STR-05-03
PLAN STR-18-16

LEGEND

- ⊕ DRAIN MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊙ WATER MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊘ MANHOLE
- ⊙ HYDRANT
- ⊕ WATER SHUT OFF/WATER GATE
- ⊖ GAS SHUT OFF/GAS GATE
- ⊙ CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ WALK LIGHT
- ⊕ ELECTRIC MANHOLE
- ⊙ BOLLARD
- ⊙ POST
- ⊙ SIGN
- ⊙ FIRE ALARM
- ⊙ ROOF DRAIN
- ⊙ VENT
- ⊙ IRON ROD
- ⊙ GAS METER
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ EXCEPTION NUMBER LISTED IN TITLE COMMITMENT
- ⊙ ENCROACHMENT NUMBER
- ⊙ GATE POST
- ⊙ AIR CONDITIONING UNIT
- ⊙ BUILDING DIMENSION
- ⊙ BUILDING FOOTPRINT AREA
- ⊙ BUILDING HEIGHT
- ⊙ BITUMINOUS
- ⊙ COLUMN
- ⊙ CONCRETE
- ⊙ CONCRETE RETAINING WALL
- ⊙ DETECTABLE WARNING PANEL
- ⊙ ENTRANCE
- ⊙ FOUND
- ⊙ FLUSH GRANITE CURB
- ⊙ GRANITE
- ⊙ HAND RAIL
- ⊙ IRON ROD
- ⊙ ARC LENGTH
- ⊙ LANDSCAPED AREA
- ⊙ LANDSCAPE TIMBER
- ⊙ MULCH & SHRUBS
- ⊙ METAL
- ⊙ POINT OF BEGINNING
- ⊙ OVER
- ⊙ RADIUS
- ⊙ SQUARE FEET
- ⊙ STONE RETAINING WALL
- ⊙ STOCKADE FENCE
- ⊙ TYPICAL
- ⊙ VERTICAL GRANITE CURB
- ⊙ WROUGHT IRON FENCE
- ⊙ WOOD FENCE
- ⊙ COMBINED SEWER
- ⊙ DRAIN
- ⊙ ELECTRIC
- ⊙ GAS
- ⊙ OVERHEAD WIRES
- ⊙ TELEPHONE
- ⊙ WATER
- ⊙ FIBER OPTIC
- ⊙ WROUGHT IRON FENCE
- ⊙ WOOD FENCE

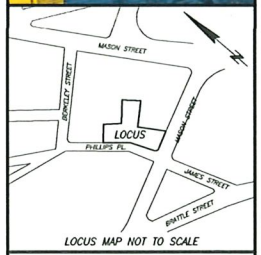
SUBSURFACE UTILITIES LEGEND

- CLB-E MAIN ELECTRIC LINES
- CLB-FD FIBER OPTIC COMMUNICATION LINES
- CLB-G GAS
- CLB-W MAIN WATER
- CLB-STR STORM DRAIN

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



TO: COMMONWEALTH LAND TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 8, 9, 11(A), 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 7, 2023.

FELDMAN GEOSPATIAL
DRAFT 5/31/2023
JOSEPH R. ZAMBUTA, PLS (MAM 52783) DATE
JZAMBUT@FELDMANGEO.COM

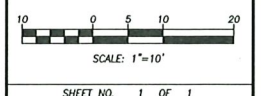
ALTA/NSPS LAND TITLE SURVEY

3 & 5 PHILLIPS PLACE
CAMBRIDGE, MASS.

DATE: APRIL 7, 2023

REVISIONS table with columns for REVISIONS, DATE, and DESCRIPTION.

FILE NAME, RESEARCH, PROJ. MGR., CALC., FIELD CHG. table with columns for FILE NAME, RESEARCH, PROJ. MGR., CALC., FIELD CHG., FIELD CHG., and FILE NAME.



3 Phillips Pl, Cambridge

DIMENSIONAL TABLE

Res. C-2 Base Zoning District, Episcopal Divinity School Institutional Overlay District

ZONING CRITERIA	ZONING REQUIREMENT Res. C-2 REQUIRED / ALLOWED	EXISTING	PROPOSED	COMPLIANCE
USE	Multifamily Dwelling allowed per Sec. 4.30 Institutional Overlay Use N/A per sec. 4.54		Multifamily Dwelling N/A	COMPLIES (Sec. 4.26 not applicable) N/A
LOT AREA	5,000-sf min	7,216-sf	7,216-sf, no change	COMPLIES
LOT WIDTH	50' min (perpendicular to mean direction of side lot lines)	131'	131'	COMPLIES
NUMBER OF D.U.			6	N/A
LOT AREA PER D.U.	600-sf min		1,202-sf per D.U.	COMPLIES
GROSS FLOOR AREA	12,628-GSF max	10,470-GSF	9,643-GSF	N/A
FLOOR AREA RATIO	1.75 max	1.45	1.34	COMPLIES
FRONT YARD (MASON ST)	(H+L)/5 = +/- 20.1' min to CL of street, no case <10' to front lot line		Existing bldg: 13.6', no change Proposed Deck: 36.9'	EXISTING NONCONFORMITY COMPLIES
FRONT YARD (PHILLIPS PL)	(H+L)/5 = +/- 30.5' min to CL of street, no case <10' to front lot line		Existing bldg: 1.4', no change Proposed Green Flood Barrier: 3.8'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
SIDE YARD, (off Mason St)	5' min, 5' sum	1.5'	1.5' Proposed Deck: 3', 16'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
SIDE YARD, (off Phillips St)	0' min	2.8'	Existing bldg: 2.8' Proposed Deck: 17.7'	EXISTING NONCONFORMITY COMPLIES per Sec. 5.24.1.h
REAR YARD	None (Corner Lot)	N/A	N/A	N/A
BUILDING SEPARATION	10' min	N/A	N/A	N/A
PARKING SPACE & DRIVE SETBACK	5' min for Side Yard and Rear Yard	0'	5'	COMPLIES
BUILDING HEIGHT	85' max	41.4'	41.4'	COMPLIES
PRIVATE OPEN SPACE	15% min Permeable Open Space <15'x15' N/A	0% ±28% permeable open space <15'x15'	0% 28% permeable open space <15'x15'	EXISTING NONCONFORMITY EXISTING NONCONFORMITY N/A
NO. OF PARKING	No max		6	COMPLIES
NO. OF BIKE PARKING	Long-term at 0.10 per DU = 0.1 x 6 = 0.6 (1) Short-term at 0.10 per DU = 0.1 x 6 = 0.6 (1)	0 0	8 total proposed	COMPLIES

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
DIMENSIONAL TABLE

SCALE AS NOTED	
REVISION / ISSUE	DATE

CHC REV-1 25 NOV '24

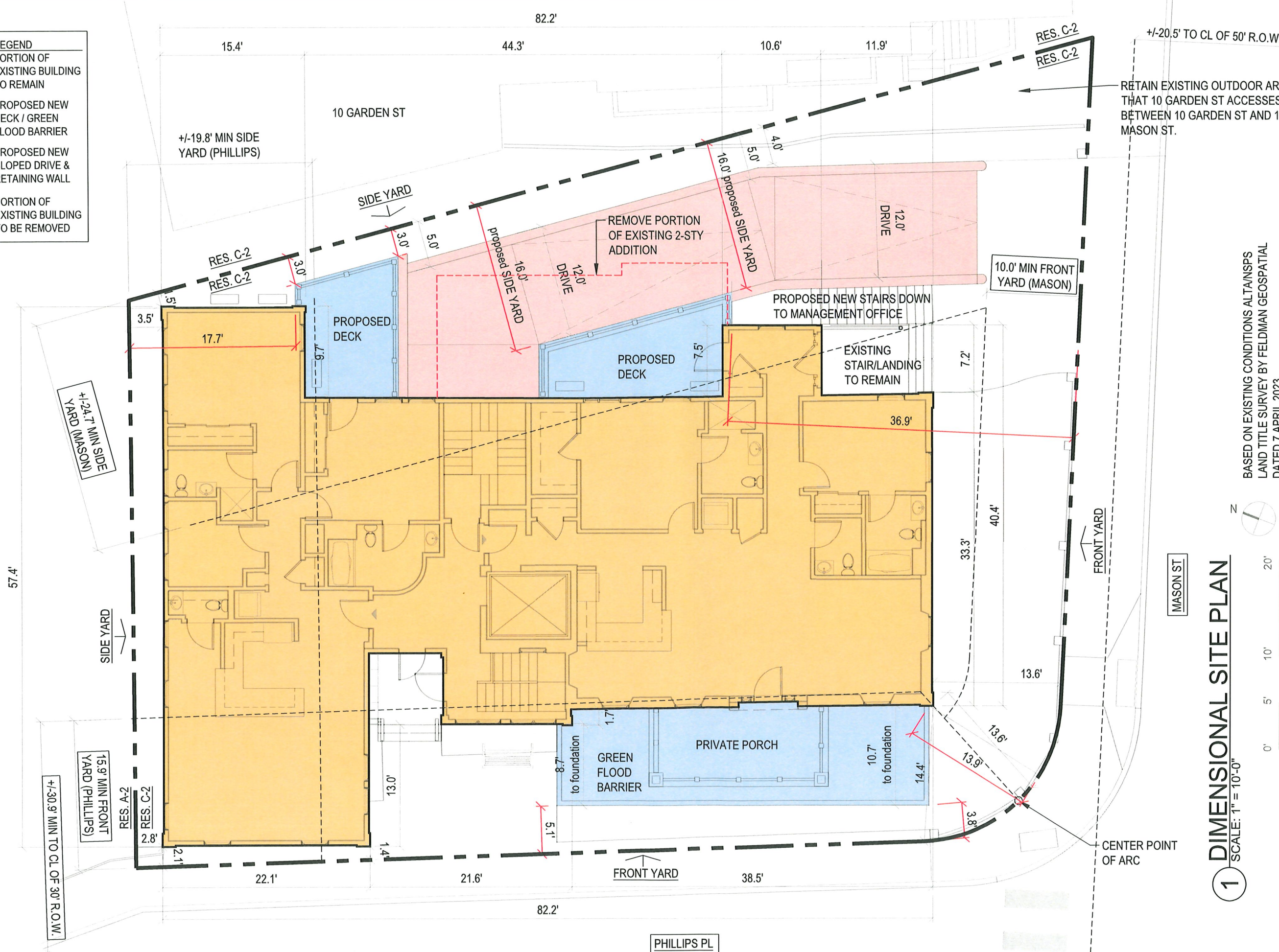
CHC SET 4 OCT 2024

DRAWN BY MY REVIEWED BY PQ

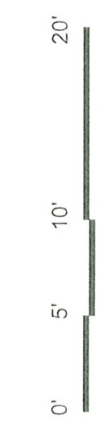
SHEET

Z1.1

- LEGEND**
- PORTION OF EXISTING BUILDING TO REMAIN
 - PROPOSED NEW DECK / GREEN FLOOD BARRIER
 - PROPOSED NEW SLOPED DRIVE & RETAINING WALL
 - PORTION OF EXISTING BUILDING TO BE REMOVED



1 DIMENSIONAL SITE PLAN
SCALE: 1" = 10'-0"



BASED ON EXISTING CONDITIONS ALTANSPS
LAND TITLE SURVEY BY FELDMAN GEOSPATIAL
DATED 7 APRIL 2023.

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
INTERIOR DESIGN
PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT

PROJECT
PROPOSED RENOVATIONS
3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
DIMENSIONAL SITE PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC SET	4 OCT 2024
DRAWN BY MY	REVIEWED BY PQ

SHEET
Z1.2

E:_PDA_1\Phillips-302 Schematic Design\Phillips-3_Zoning.dwg, 21.2, 9/30/2024 5:55:52 PM



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

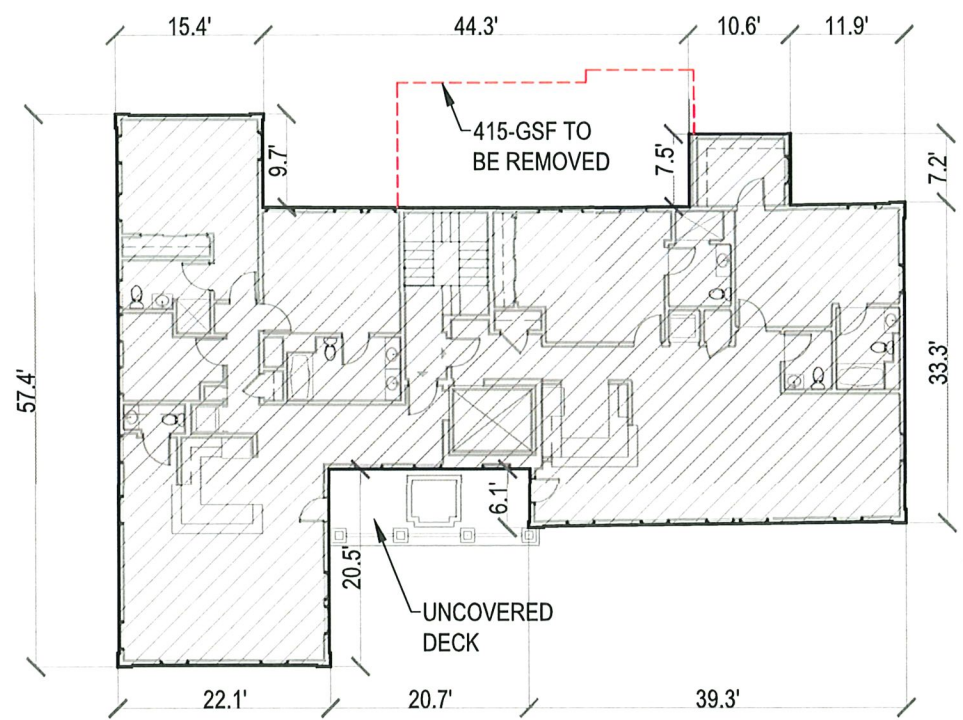
DRAWING TITLE
GROSS FLOOR AREA

SCALE AS NOTED

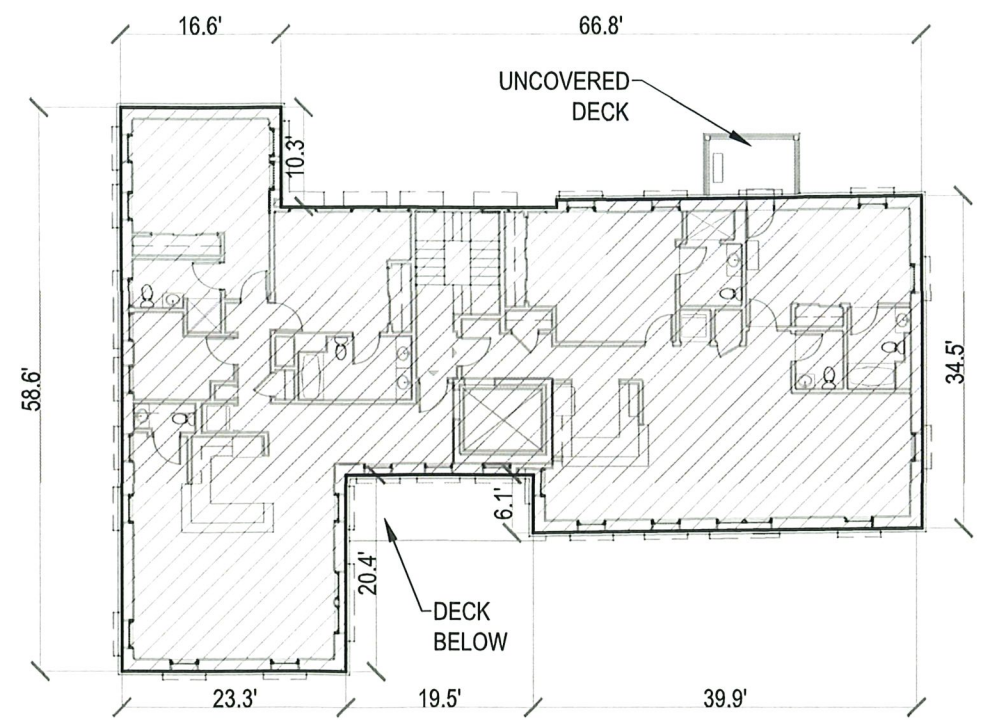
REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC SET	4 OCT 2024
DRAWN BY MY	REVIEWED BY PQ

SHEET

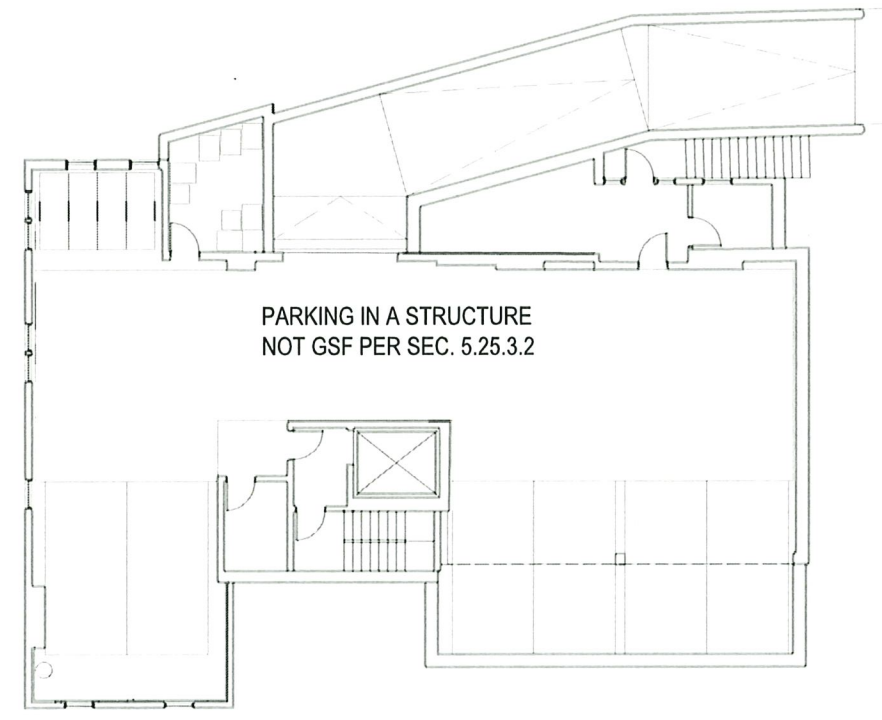
Z1.3



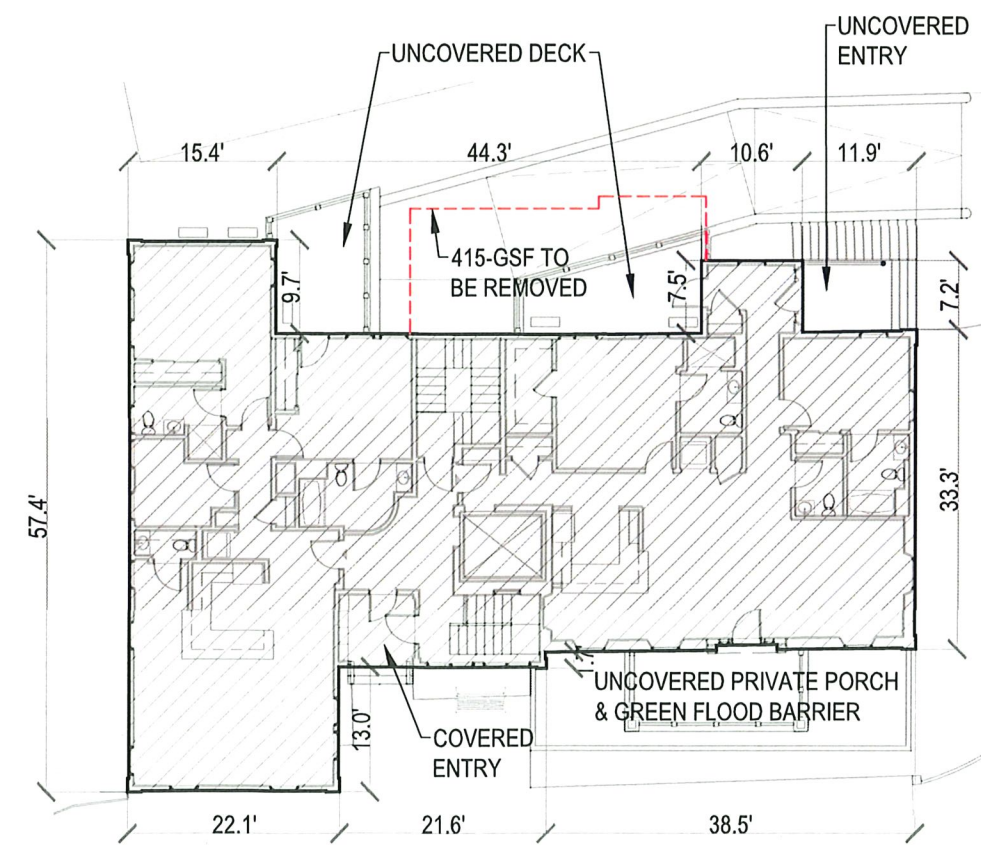
2ND FLR: 3,126-GSF



MANSARD FL: 3,234-GSF



BASEMENT FLR: 0-GSF



FIRST FLR: 3,283-GSF

EXISTING CONDITION GSF

FLOOR	EXISTING GSF
MANSARD FL	3,234
2ND FL	3,541
1ST FL	3,695
BASEMENT FL	0
TOTAL	10,470

EXISTING GSF TO BE REMOVED

FLOOR	GSF
MANSARD FL	0
2ND FL	415
1ST FL	412
BASEMENT FL	0
TOTAL	827
	(8% EXISTING GSF)

PROPOSED GSF

FLOOR	PROPOSED GSF
MANSARD FL	3,234
2ND FL	3,126
1ST FL	3,283
BASEMENT FL	0
TOTAL	9,643



SEAL



CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

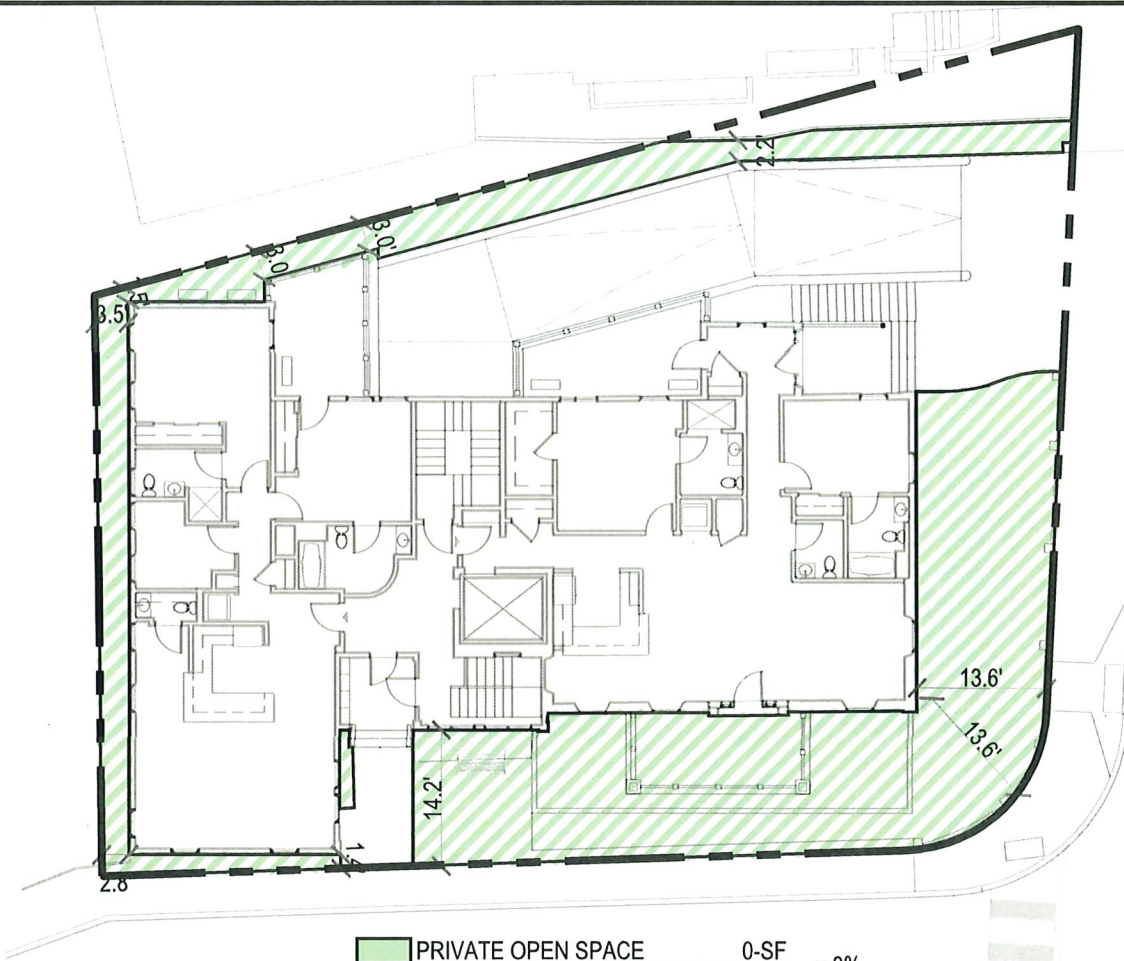
DRAWING TITLE
PRIVATE OPEN SPACE,
DECK, PORCH, GREEN
FLOOD BARRIER, &
BUILDING HEIGHT
ABOVE AVERAGE
GRADE

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC SET	4 OCT 2024
DRAWN BY MY	REVIEWED BY PQ

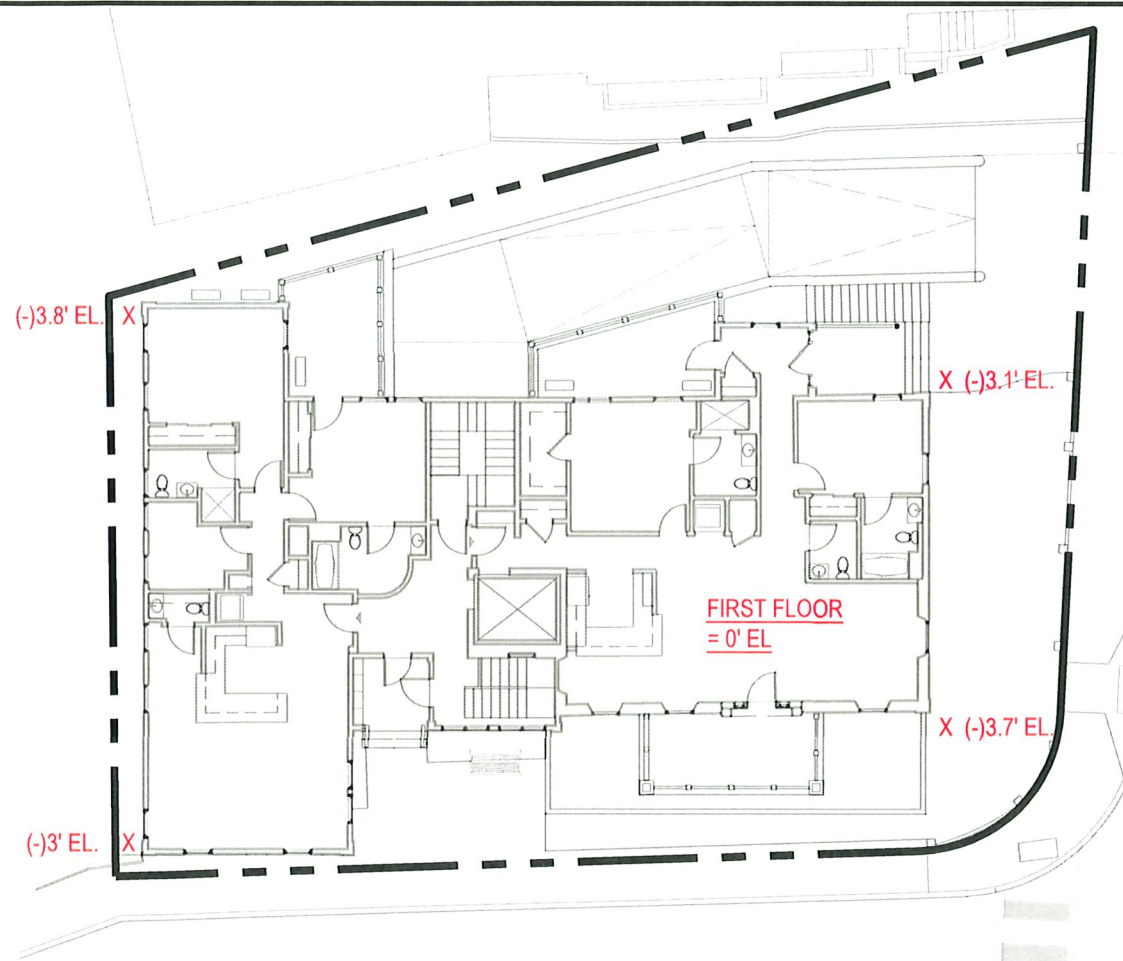
SHEET

Z1.4



PRIVATE OPEN SPACE 0-SF = 0%
 PRIVATE OPEN SPACE 1,991-SF = 28%
 7,216-SF LOT
 7,216-SF LOT

1 PRIVATE OPEN SPACE
SCALE: 1" = 20'-0"



$$\frac{(-3' - 3.7' - 3.1' - 3.8')}{4} = (-) 3.4' \text{ EL. AVERAGE GRADE}$$

2 AVERAGE GRADE
SCALE: 1" = 20'-0"



PHILLIPS PL FRONT ELEVATION



MASON ST SIDE ELEVATION

3 DECK, PORCH, GREEN FLOOD BARRIER ABOVE AVG. GRADE, & BUILDING HEIGHT
SCALE: 1" = 20'-0"





STREET VIEW AT CORNER OF PHILLIPS PL & MASON STREET

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.1



STREET VIEW FROM NORTH PHILLIPS PL

**PETER
QUINN
ARCHI
TECTS**

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

**PROPOSED
RENOVATIONS**

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.2



DRIVEWAY ENTRANCE AT MASON STREET

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM ST, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE
3D VIEW

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV 2024
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

A0.3



CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

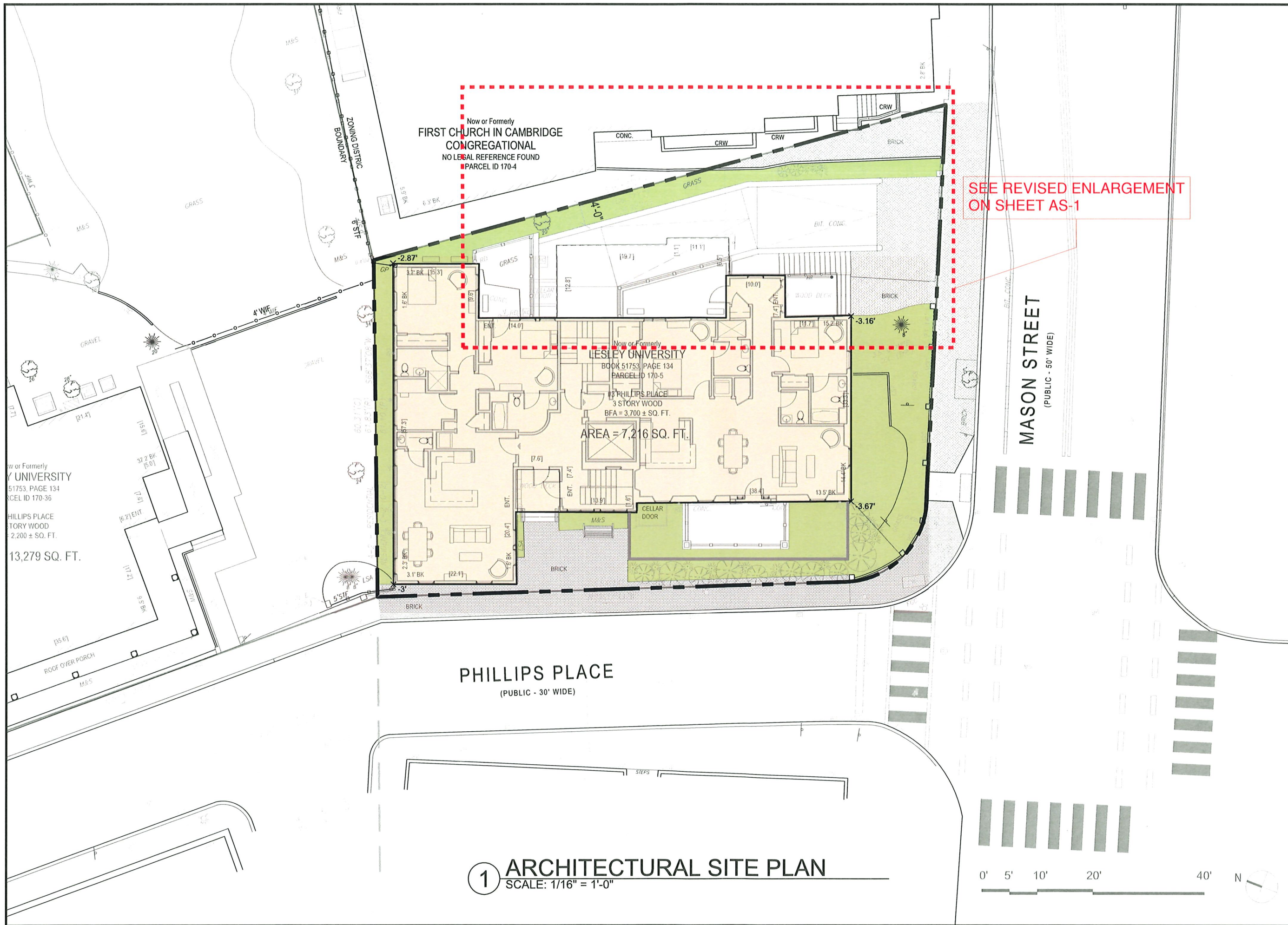
DRAWING TITLE
ARCHITECTURAL SITE PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
PROGRESS	25 SEP 2024
CHC SET	17 SEP 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

AS-1



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

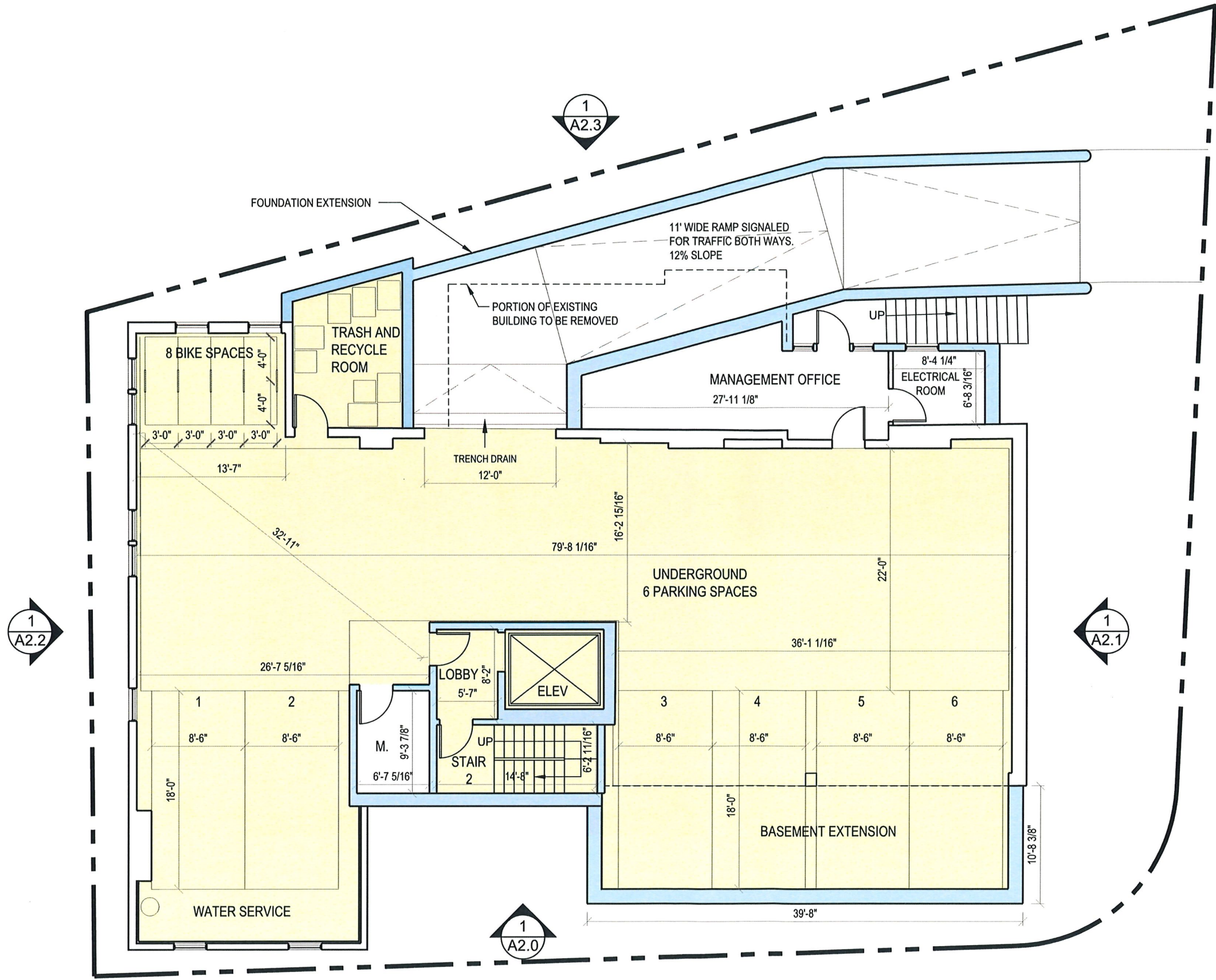
BASEMENT PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.0



1 BASEMENT FLOOR PLAN
SCALE: 1" = 10'-0"



E:_POA_\Phillips-302 Schematic Design\Phillips-3_Floor Plans.dwg, A1.0, 10/22/2024, 10:02:23 PM



CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

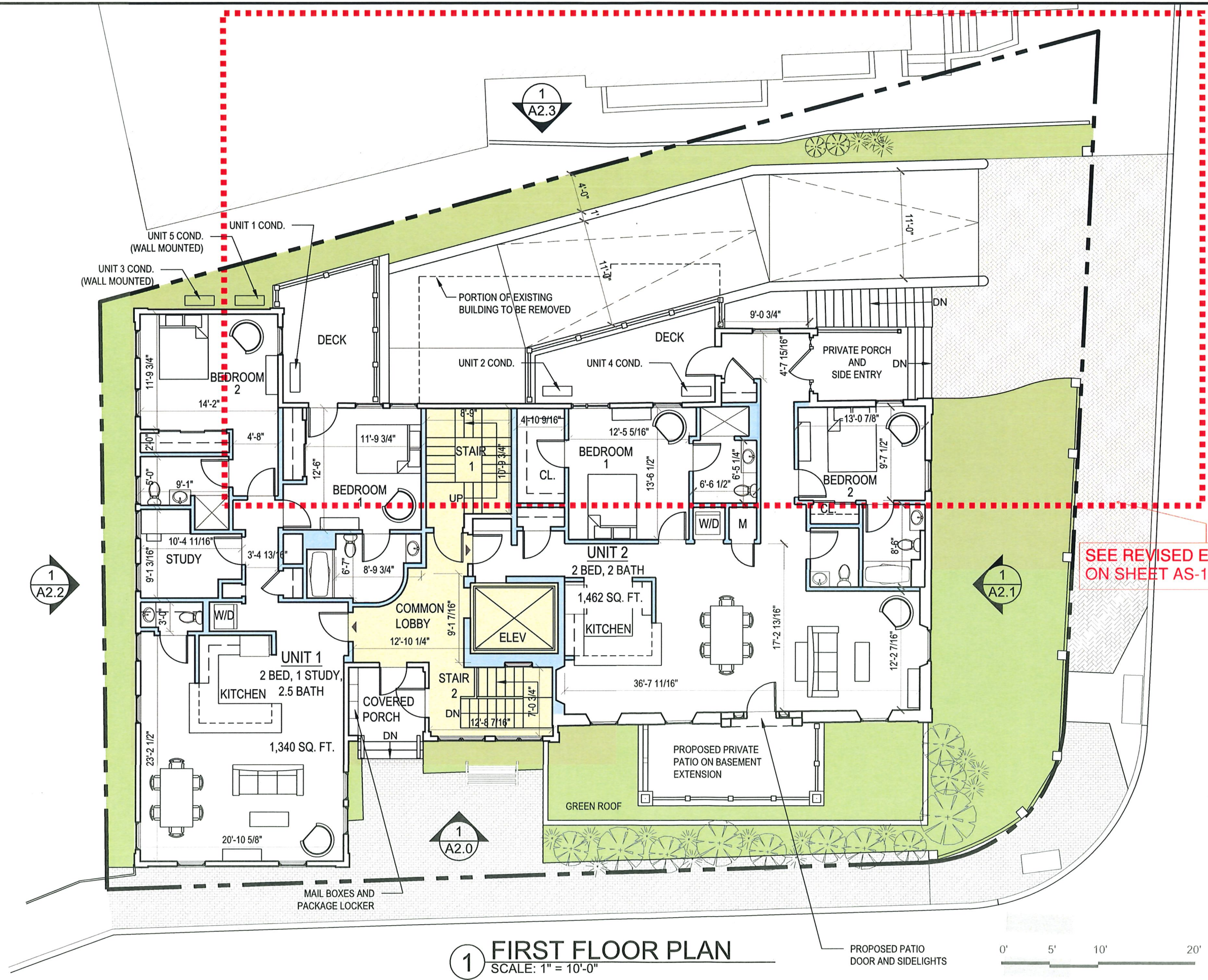
DRAWING TITLE
FIRST FLOOR PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.1



1 FIRST FLOOR PLAN
SCALE: 1" = 10'-0"



SEE REVISED ENLARGEMENT
ON SHEET AS-1 (NEXT PAGE)



CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

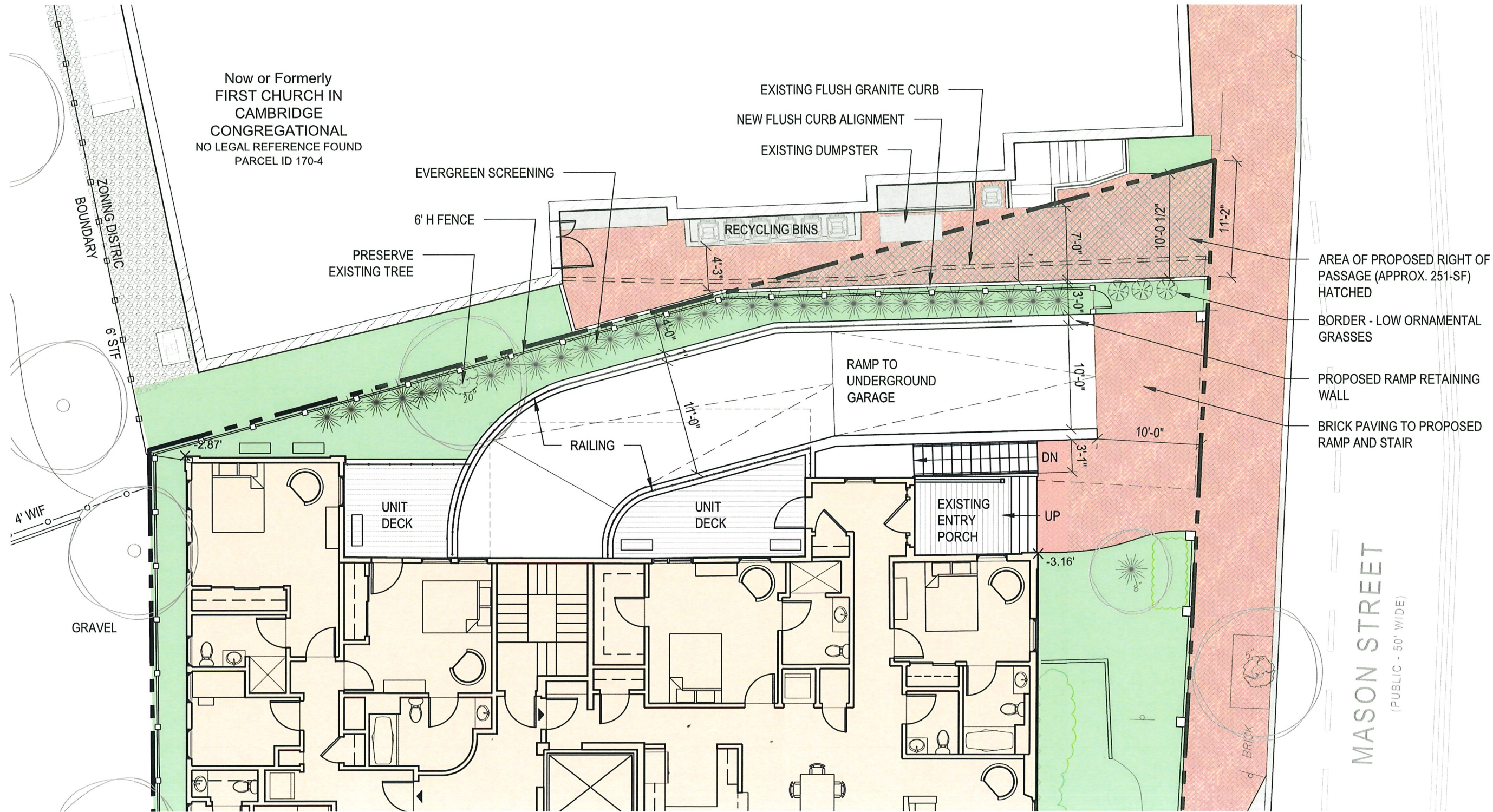
DRAWING TITLE
PROPOSED SITE PLAN AT INTERFACE WITH FCCC

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV 2024
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

AS-1



1 ARCHITECTURAL SITE PLAN (ENLARGEMENT)
SCALE: 1" = 10'-0"



SEAL



CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

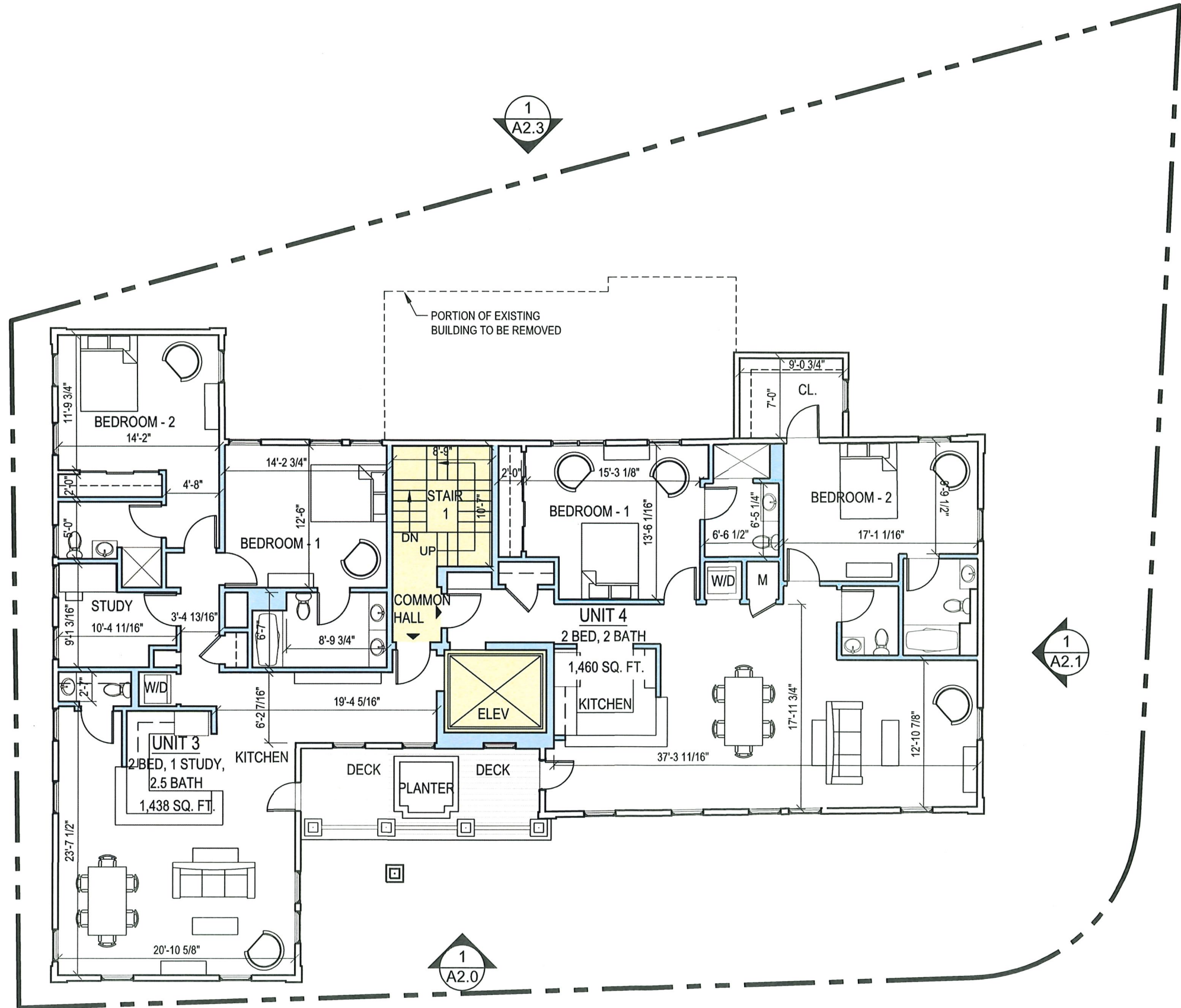
SECOND FLOOR PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.2



1 SECOND FLOOR PLAN
SCALE: 1" = 10'-0"



SEAL



CONSULTANT

PROJECT

PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

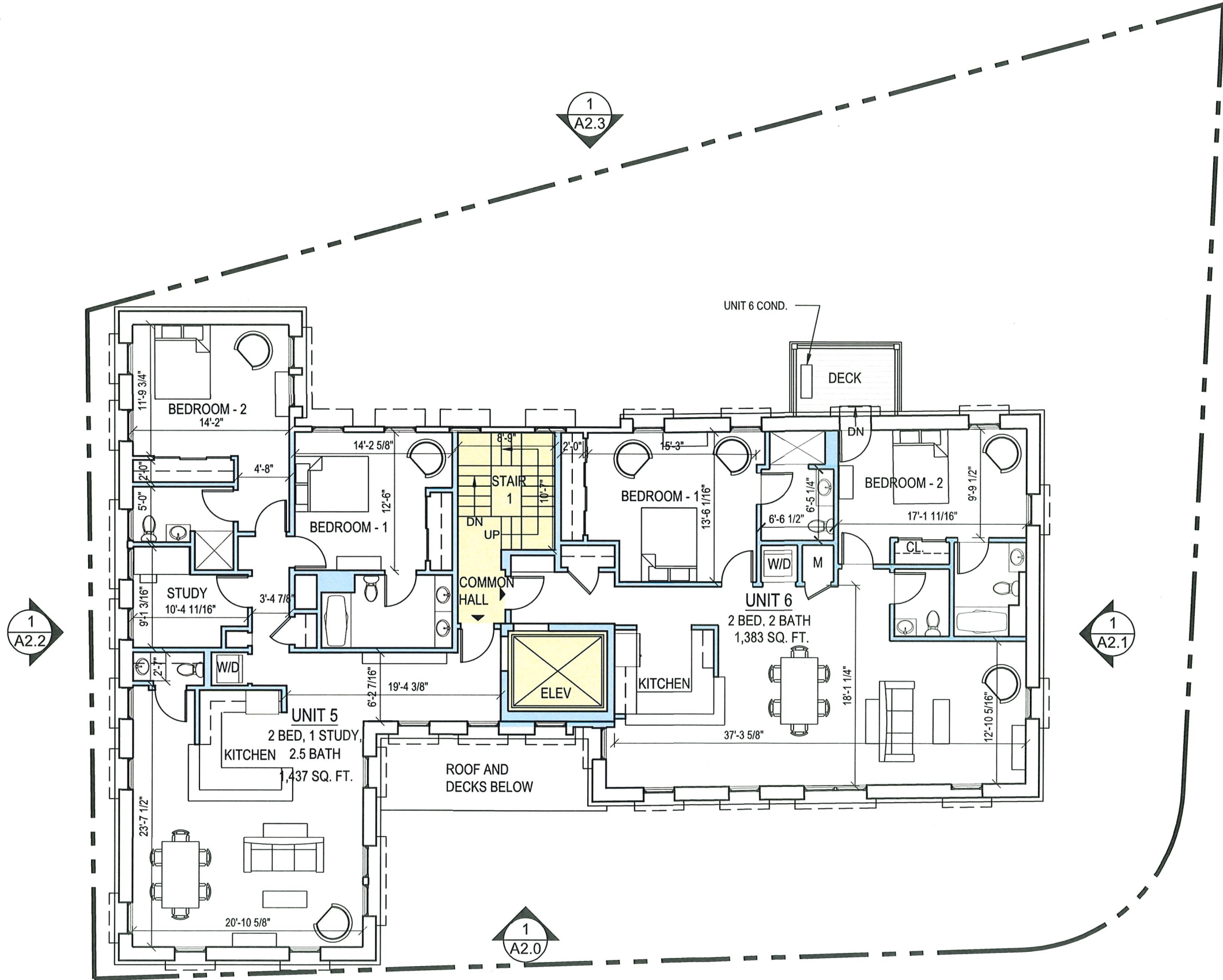
MANSARD FLOOR
PLAN TWO UNITS

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.3



1 MANSARD FLOOR PLAN
SCALE: 1" = 10'-0"



SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

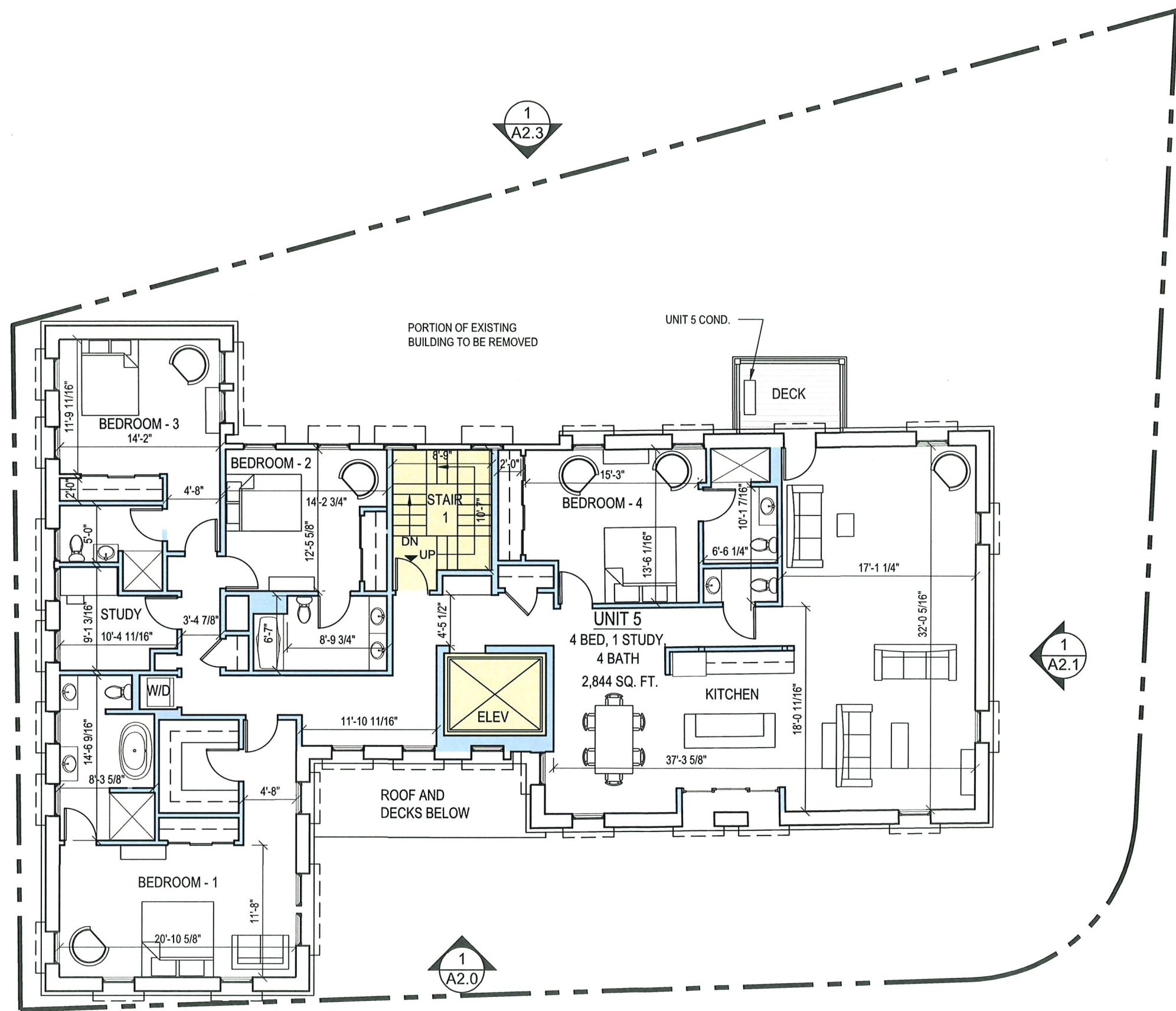
DRAWING TITLE
ALTERNATE MANSARD
FLOOR PLAN

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.4



1 MANSARD FLOOR PLAN
SCALE: 1" = 10'-0" ALTERNATIVE SINGLE UNIT LAYOUT



SEAL



CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

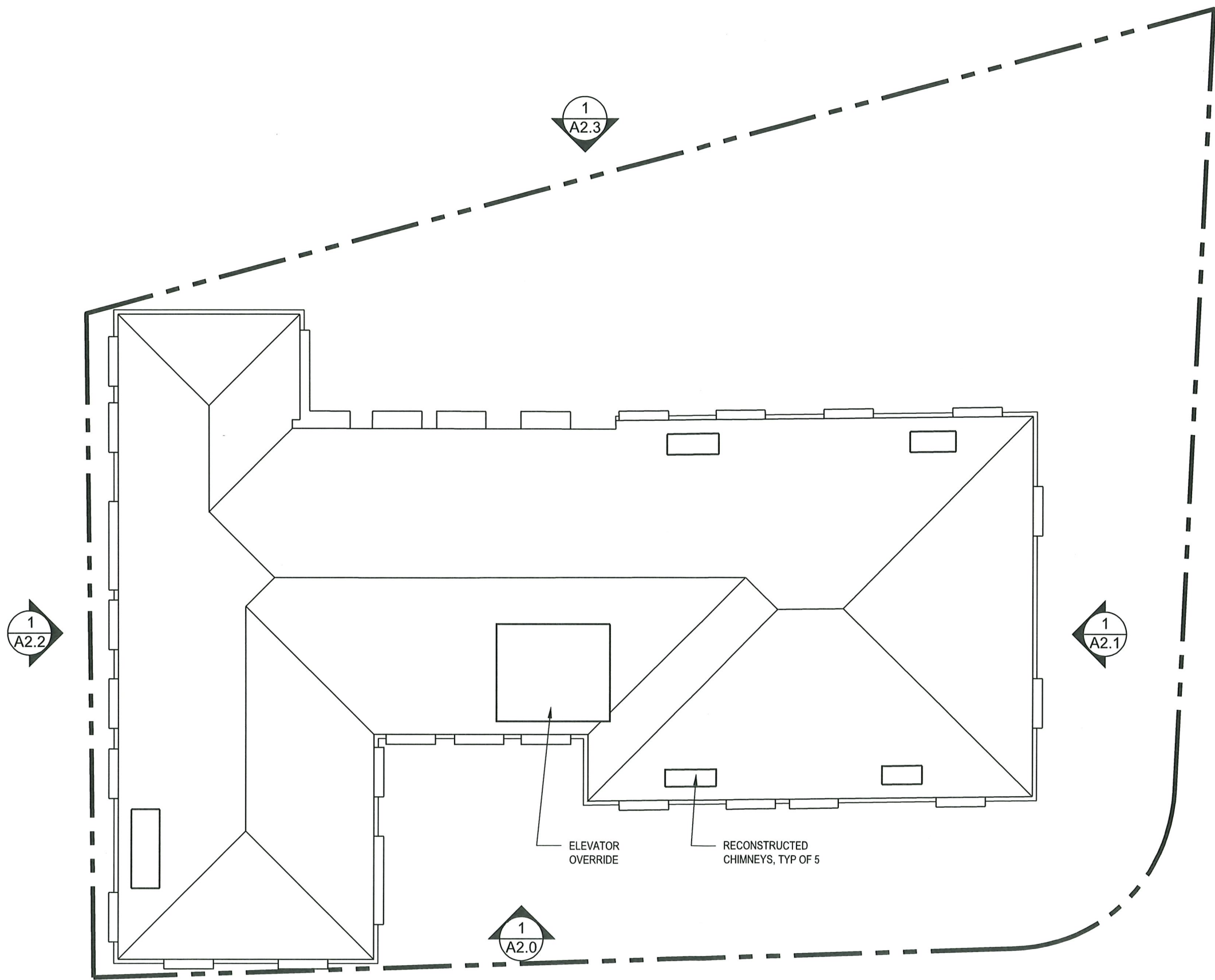
ROOF PLAN

SCALE AS NOTED

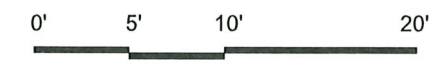
REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A1.5



1 ROOF PLAN
SCALE: 1" = 10'-0"





CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

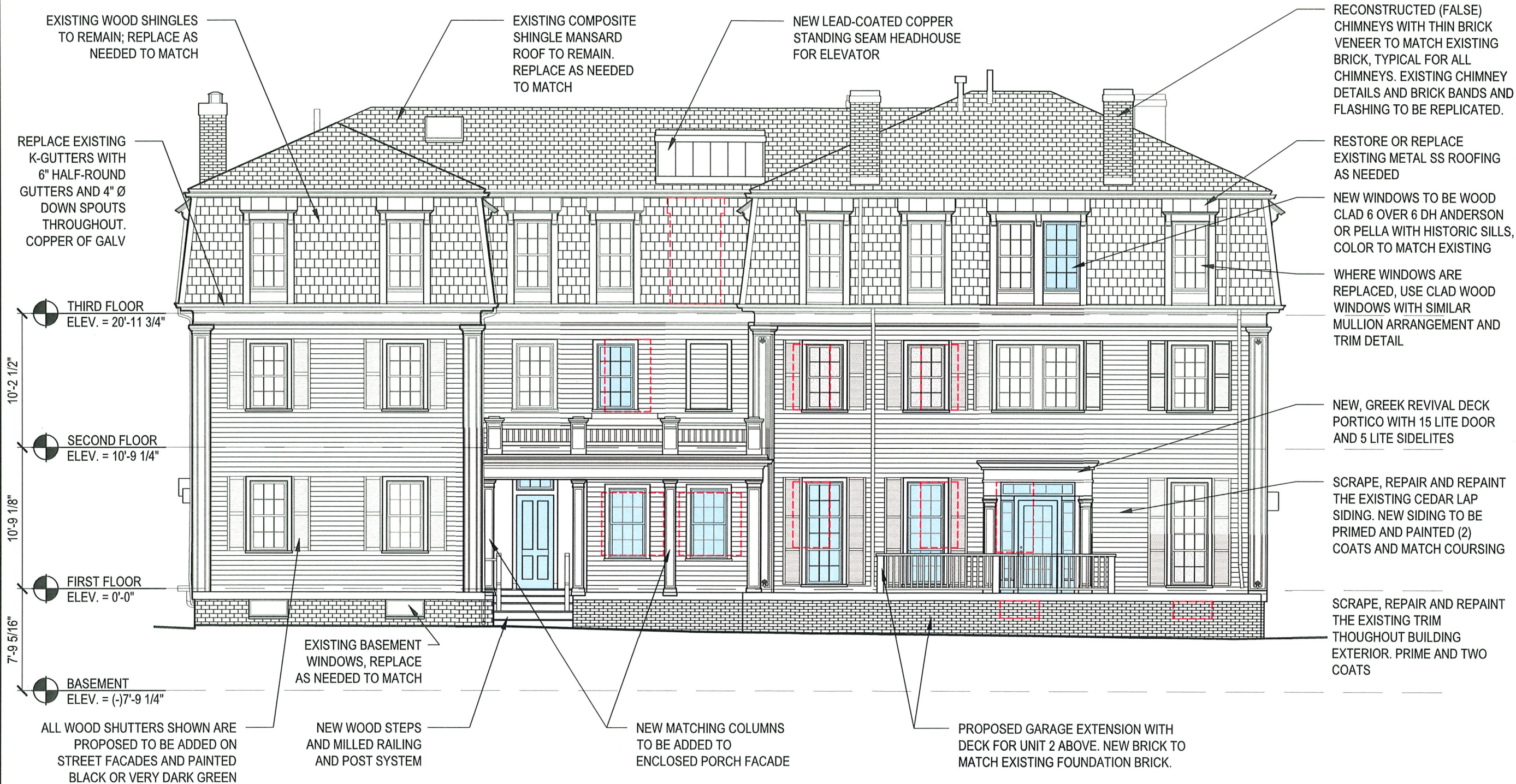
DRAWING TITLE
PHILLIPS PL ELEVATION

SCALE AS NOTED

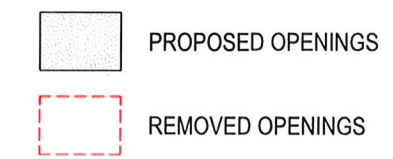
REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPROVED	410011/2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A2.0



1 PHILLIPS PL ELEVATION
SCALE: 1/8"=1'-0"





CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

DRAWING TITLE

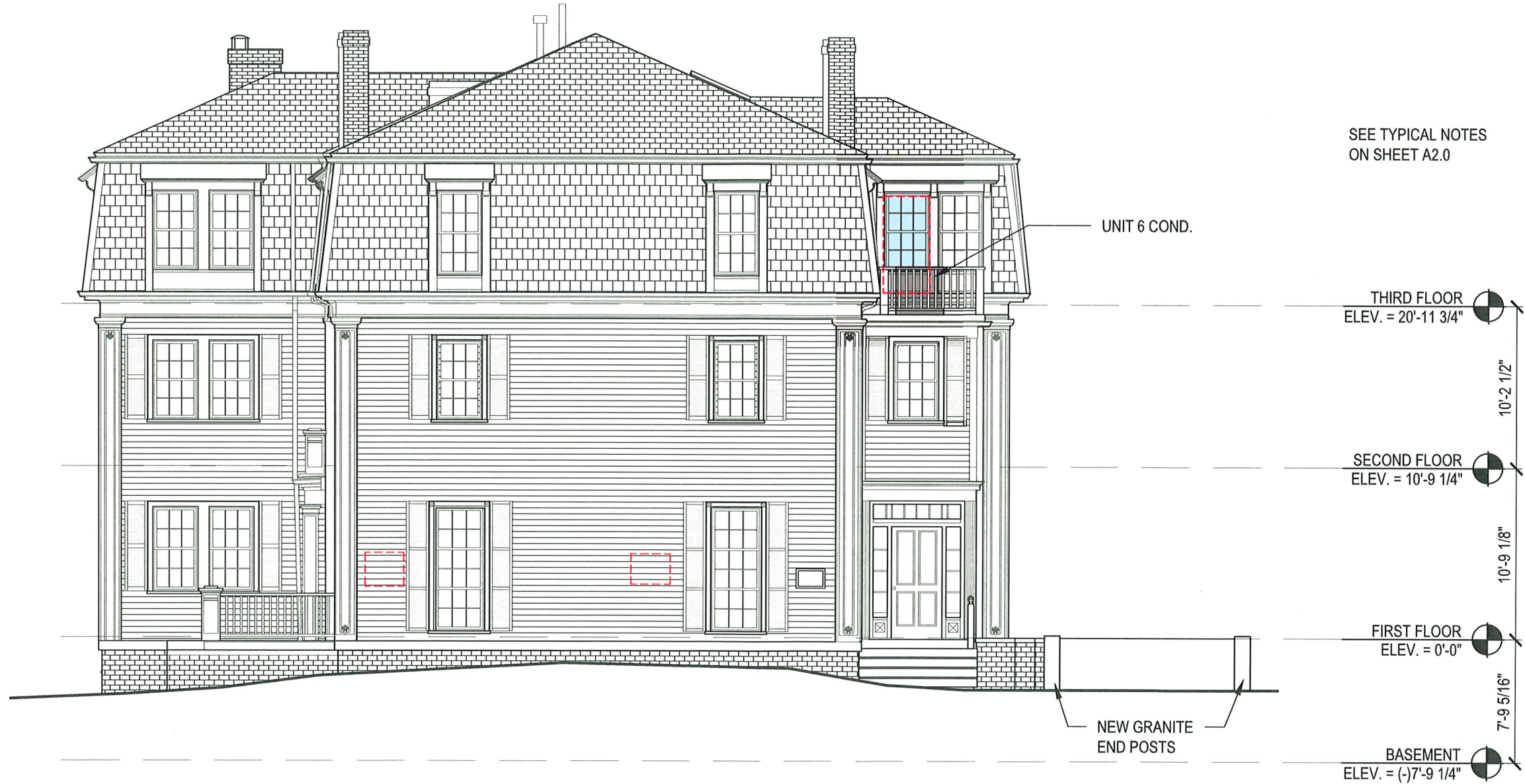
MASON ST ELEVATION

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPROVE	4 NOV 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A2.1



1 MASON ST ELEVATION
SCALE: 1/8"=1'-0"

- PROPOSED OPENINGS
- REMOVED OPENINGS





CONSULTANT

PROJECT

PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138

PREPARED FOR

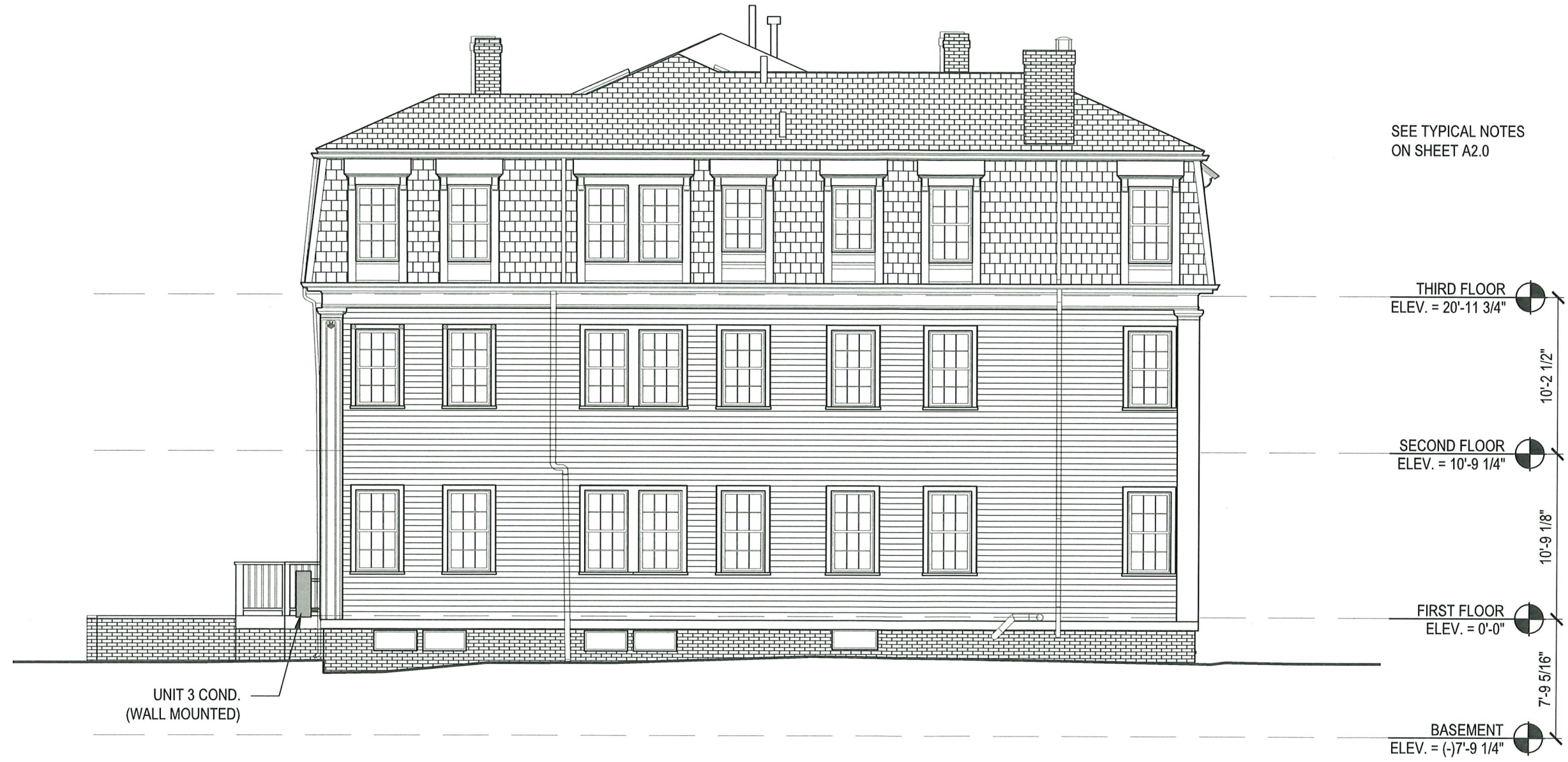
DRAWING TITLE
LEFT SIDE
(OFF PHILLIPS)
ELEVATION

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC PABBESET	4:00 PM 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET



A2.2

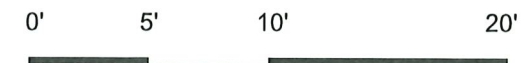


SEE TYPICAL NOTES
ON SHEET A2.0

UNIT 3 COND.
(WALL MOUNTED)

1 LEFT SIDE (OFF PHILLIPS) ELEVATION
SCALE: 1/8"=1'-0"

-  PROPOSED OPENINGS
-  REMOVED OPENINGS





CONSULTANT

PROJECT
PROPOSED RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138
PREPARED FOR

DRAWING TITLE
RIGHT SIDE (OFF MASON) ELEVATION

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPROBEST	4:00 PM 2024
DRAWN BY AM	REVIEWED BY PQ

SHEET

A2.3



1 RIGHT SIDE (OFF MASON) ELEVATION
SCALE: 1/8"=1'-0"

- PROPOSED OPENINGS
- REMOVED OPENINGS





CONSULTANT

PROJECT
PROPOSED
RENOVATIONS

3 PHILLIPS PL
CAMBRIDGE, MA 02138
PREPARED FOR

DRAWING TITLE
RENDERED
ELEVATIONS

SCALE AS NOTED

REVISION / ISSUE	DATE
CHC REV-1	25 NOV '24
CHC APPL SET	4 OCT 2024
DRAWN BY YC	REVIEWED BY PQ

SHEET

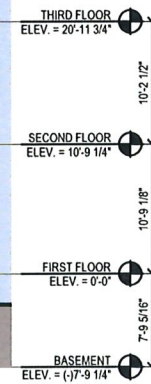
A2.4



1 PHILLIPS PL ELEVATION
SCALE: 1/16" = 1'-0"



2 MASON ST ELEVATION
SCALE: 1/16" = 1'-0"



3 LEFT SIDE (OFF PHILLIPS) ELEVATION
SCALE: 1/16" = 1'-0"



4 RIGHT SIDE (OFF MASON) ELEVATION
SCALE: 1/16" = 1'-0"





POINTKNOWN

116 MASSACHUSETTS AVENUE
ARLINGTON, MA
02474
617.575.2222
POINTKNOWN.COM

Owner

Client logo here



WEST
3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

NOT FOR
CONSTRUCTION

Key Plan

Drawing Title
WEST ELEVATION

Job Number GCD02
Drawn by Author
Checked Checker
Date 06-28-2024
Scale 1/8" = 1'-0"
Drawing No.

XC2.0



POINTKNOWN

616 MASSACHUSETTS AVENUE
ARLINGTON, MA
02474
617 575 2322
POINTKNOWN.COM

Owner

Client logo here



NORTH

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

**NOT FOR
CONSTRUCTION**

Key Plan

Drawing Title
NORTH ELEVATION

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC2.1



POINTKNOWN

416 MASSACHUSETTS AVENUE
DORLINGTON, MA
02474
617 575 2322
POINTKNOWN.COM

Owner

Client logo here



EAST
3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

**NOT FOR
CONSTRUCTION**

Key Plan

Drawing Title
EAST ELEVATION

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC2.2



POINTKNOWN

416 MASSACHUSETTS AVENUE
BURLINGTON, MA
02475
617 575 2222
POINTKNOWN.COM

Owner

Client logo here



SOUTH
3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

NOT FOR
CONSTRUCTION

Key Plan

Drawing Title
SOUTH ELEVATION

Job Number GCD02
Drawn by Author
Checked Checker
Date 06-28-2024
Scale 1/8" = 1'-0"
Drawing No.

XC2.3

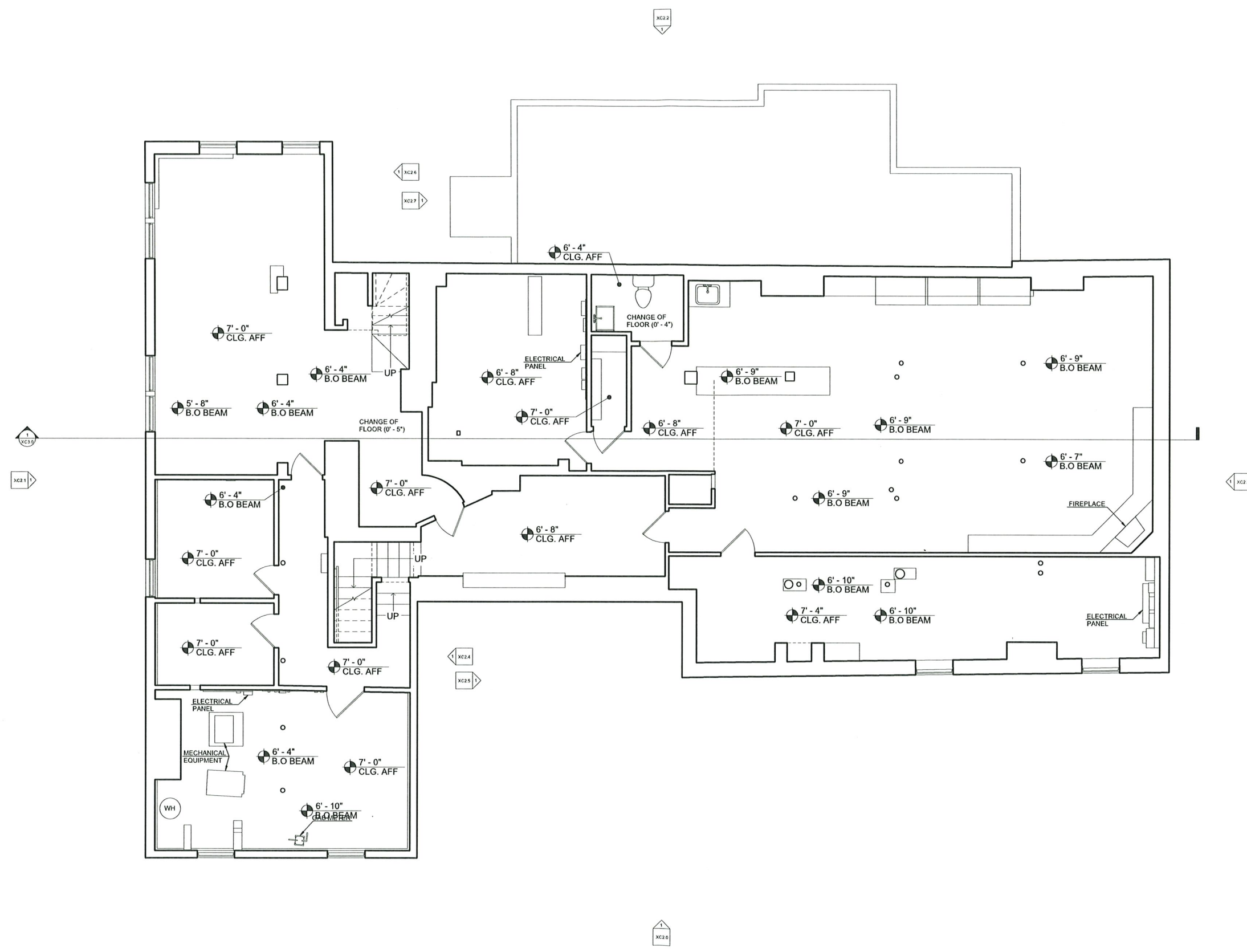


POINTKNOWN

416 MASSACHUSETTS AVENUE
DORCHESTER, MA
02124
617 575 2322
POINTKNOWN.COM

Owner

Client logo here



BASEMENT

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

NOT FOR
CONSTRUCTION

Key Plan

Drawing Title
BASEMENT

Job Number	ocd02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1/8" = 1'-0"
Drawing No.	

XC1.0

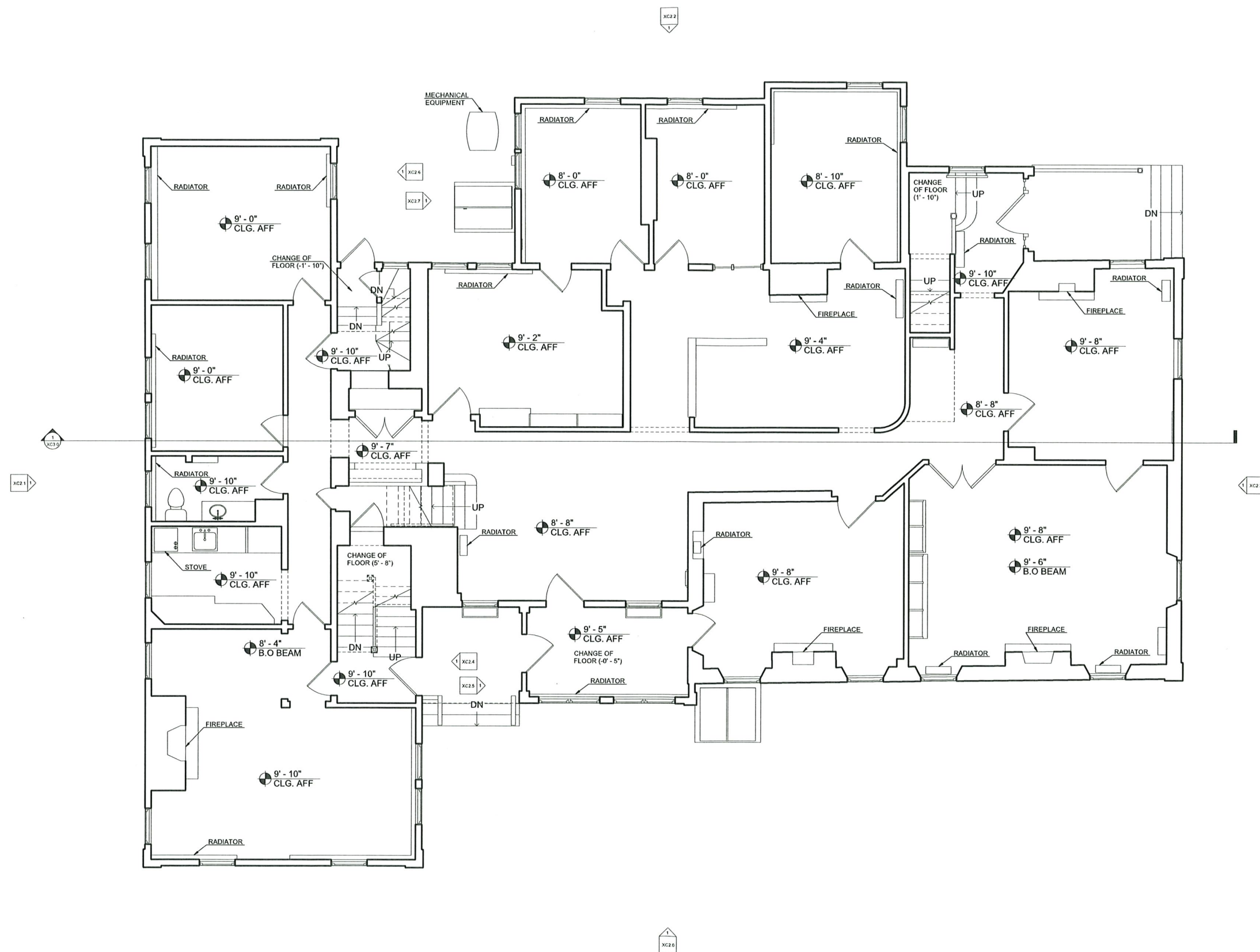


POINTKNOWN

416 MASSACHUSETTS AVENUE
DORSET, MA
01922
617.535.2222
POINTKNOWN.COM

Owner

client logo here



FIRST FLOOR

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl
Cambridge, MA

Stamp

NOT FOR
CONSTRUCTION

Key Plan

Drawing Title
FIRST FLOOR

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC1.1

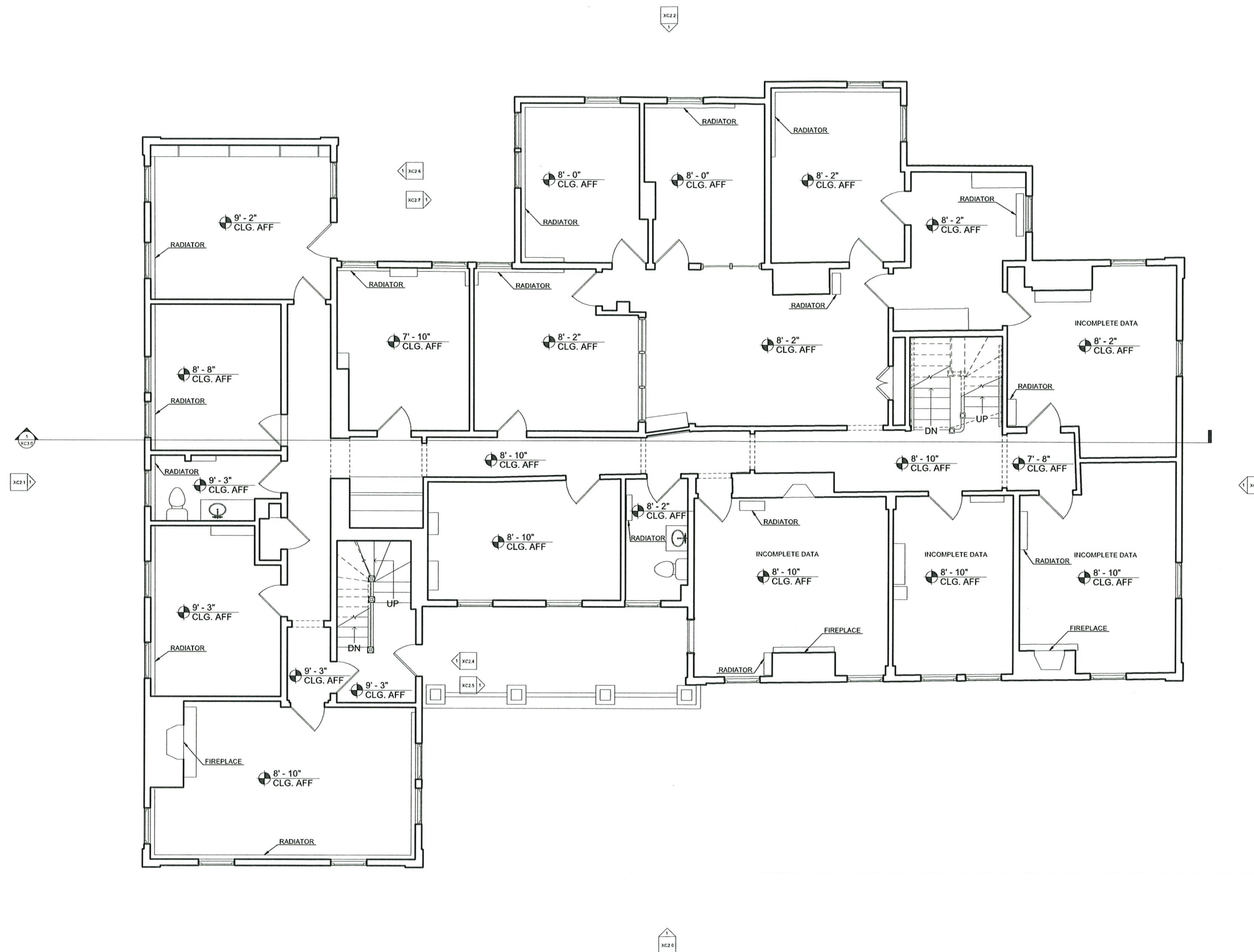


POINTKNOWN

116 MASSACHUSETTS AVENUE
DORCHESTER, MA
02124
617 575 2322
POINTKNOWN.COM

Owner

client logo here



SECOND FLOOR

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl Cambridge, MA

Stamp

**NOT FOR
CONSTRUCTION**

Key Plan

Drawing Title
SECOND FLOOR

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1/8" = 1'-0"
Drawing No.	

XC1.2

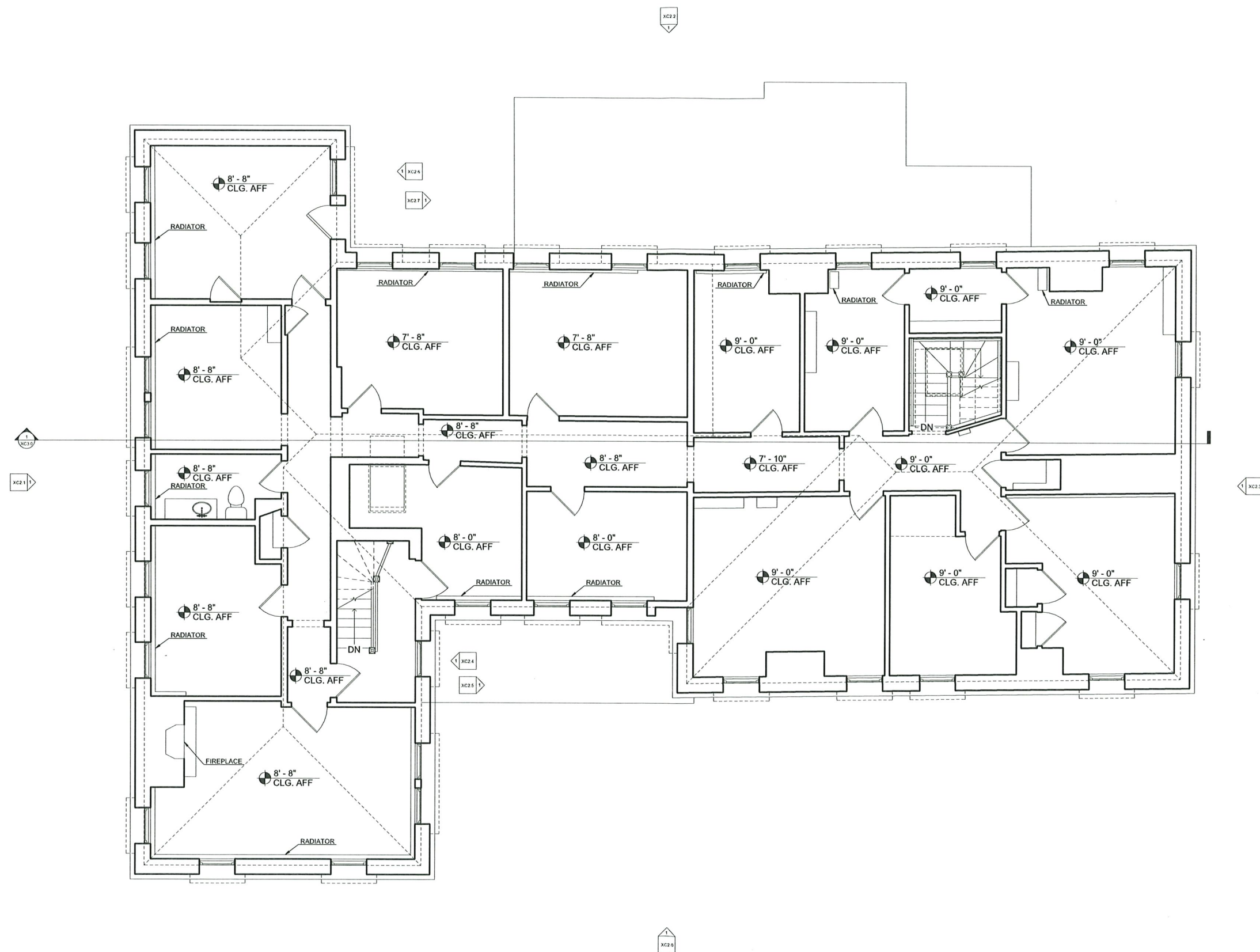


POINTKNOWN

116 MASSACHUSETTS AVENUE
ARLINGTON, MA
02474
617 575 2222
POINTKNOWN.COM

Owner

Client logo here



THIRD FLOOR

3 Phillips Pl

EXISTING CONDITIONS

3 Phillips Pl Cambridge, MA

Stamp

**NOT FOR
CONSTRUCTION**

Key Plan

Drawing Title

THIRD FLOOR

Job Number	GCD02
Drawn by	Author
Checked	Checker
Date	06-28-2024
Scale	1" = 1'-0"
Drawing No.	

XC1.3