



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 APR 28 PM 3:50

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 117068

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Charlie Liu and Patrice liu C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 159 Chilton St., Cambridge, MA

TYPE OF OCCUPANCY: two family **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to construct two story rear addition to accommodate an expanded rear entry with mudroom and an enlarged bathroom on second floor to pre-existing non-conforming two family dwelling.

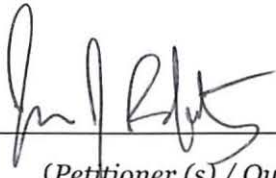
SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2(d) (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):



(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner
(Print Name)

Address:

Tel. No. 6174924100

E-Mail Address: jrafferty@adamsrafferty.com

Date: April 28, 2021

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Charlie Liu and Patrice Liu

(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 157-159 Chilton Street

the record title standing in the name of Charlie Liu and Patrice Liu

whose address is 157-159 Chilton Street, Cambridge MA 02138

(Street)

(City or Town)

(State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

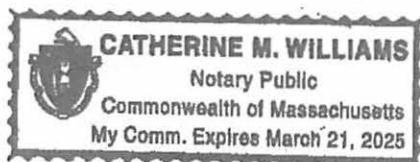
Book 74363 Page 385 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____

Charlie Liu

(Owner)

On this 4 day of February, 2021, before me, the undersigned notary public, personally appeared Charlie Liu proved to me through satisfactory evidence of identification, which were MA DRIVER'S LICENSE, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Catherine M. Williams

Notary Public

My commission expires: 3/21/2025

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 159 Chilton St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The provisions of Section 6, Chapter 40A, G.L. recognize the ability for single and two family dwellings to be altered as proposed in this application.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The addition of a rear mudroom and expanded second floor bathroom will not alter traffic patterns.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The adjacent users are all similarly sized two family dwellings.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed addition represents an increase of approximately 130 sf which will not create any detriment to the health of Cambridge citizens.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The intensity and use of this two family dwelling will not be altered as a result of the proposed addition. As a result, there will not be any detrimental effect to the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Charlie Liu and Patrice liu
Location: 907 Massachusetts Avenue
Phone: 6174924100

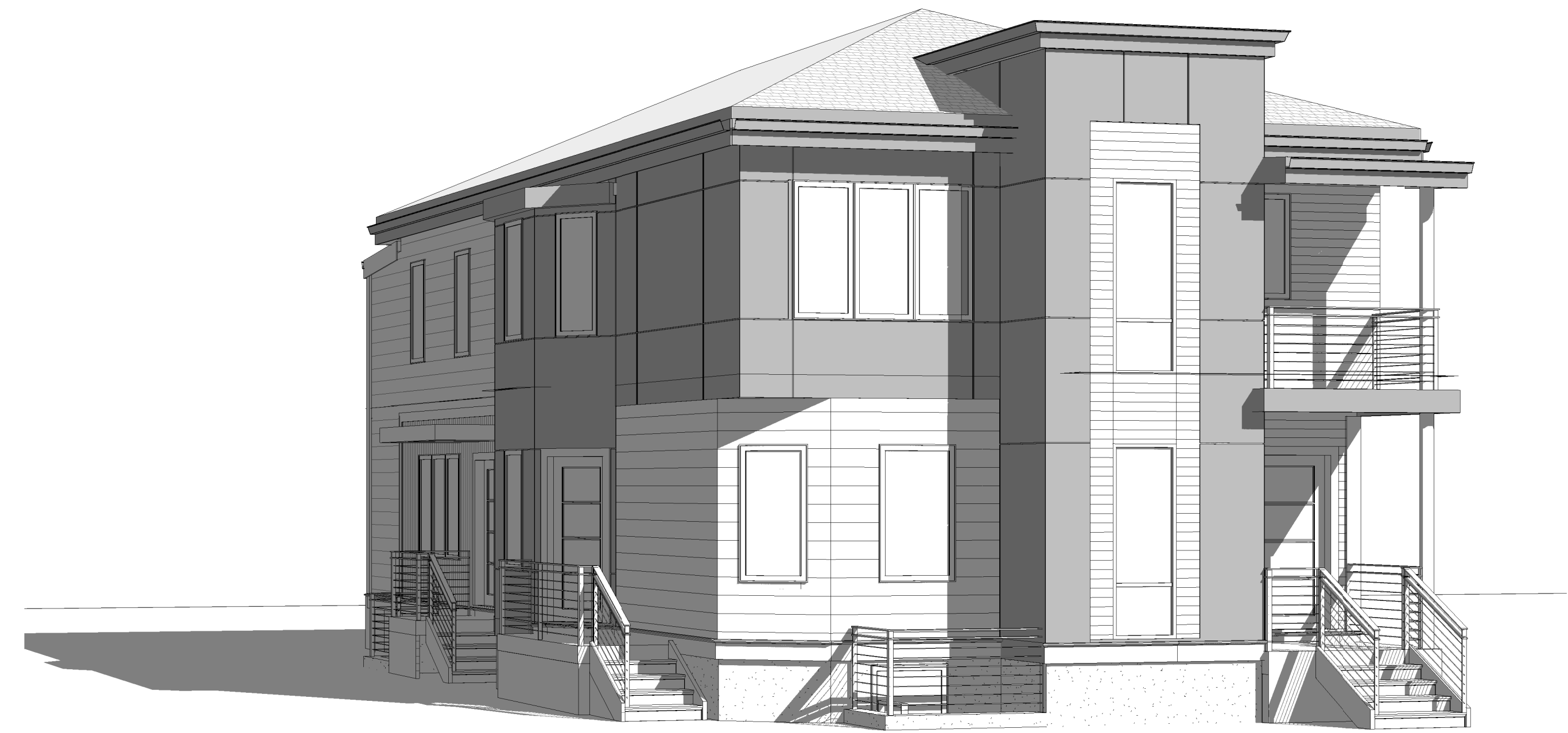
Present Use/Occupancy: two family
Zone: Residence B Zone
Requested Use/Occupancy: two family

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	2,954	3,070	2,042	(max.)
<u>LOT AREA:</u>	4,085	no change	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	.72	.75	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>	2,042	no change	2,500	
<u>SIZE OF LOT:</u>				
WIDTH	43	no change	50	
DEPTH	N/A	no change	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	14'1"	no change	15'	
REAR	23'3"	no change	25'	
LEFT SIDE	11'9"	no change	7'6" (sum 20')	
RIGHT SIDE	2'10"	no change	7'6" (sum 20')	
<u>SIZE OF BUILDING:</u>				
HEIGHT	28'1"	no change	35'	
WIDTH	57'8"	no change	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	47%	46%	40%	
<u>NO. OF DWELLING UNITS:</u>	2	no change	1	
<u>NO. OF PARKING SPACES:</u>	1	no change	2	
<u>NO. OF LOADING AREAS:</u>	0	no change	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

DRAWING LIST		
Sheet Number	Sheet Name	Sheet Issue Date
O-COVER		
A-000	COVER SHEET	05/07/2020
I-CIVIL		
C-1	PLOT PLAN	05/23/19
3- ARCHITECTURAL		
A-001	GENERAL NOTES & ABBREVIATIONS	4/3/2020
A-011	FAR CALCULATIONS	05/07/2020
A-020	ARCHITECTURAL SITE PLAN	05/07/2020
EX-100	EXISTING CONDITIONS	05/07/2020
A-101	PROPOSED BASEMENT & FIRST FLOOR PLAN	05/07/2020
A-102	PROPOSED SECOND & ROOF PLAN	05/07/2020
A-300	PROPOSED ELEVATIONS	05/07/2020
A-301	PROPOSED ELEVATIONS	05/07/2020
A-630	TYPICAL SLOPED ROOF DETAILS	05/23/19
A-900	DOOR & WINDOW SCHEDULE	05/23/19
A-910	PARTITION TYPES	05/23/19



PROJECT NAME
157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
 157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT
CHARLIE LIU

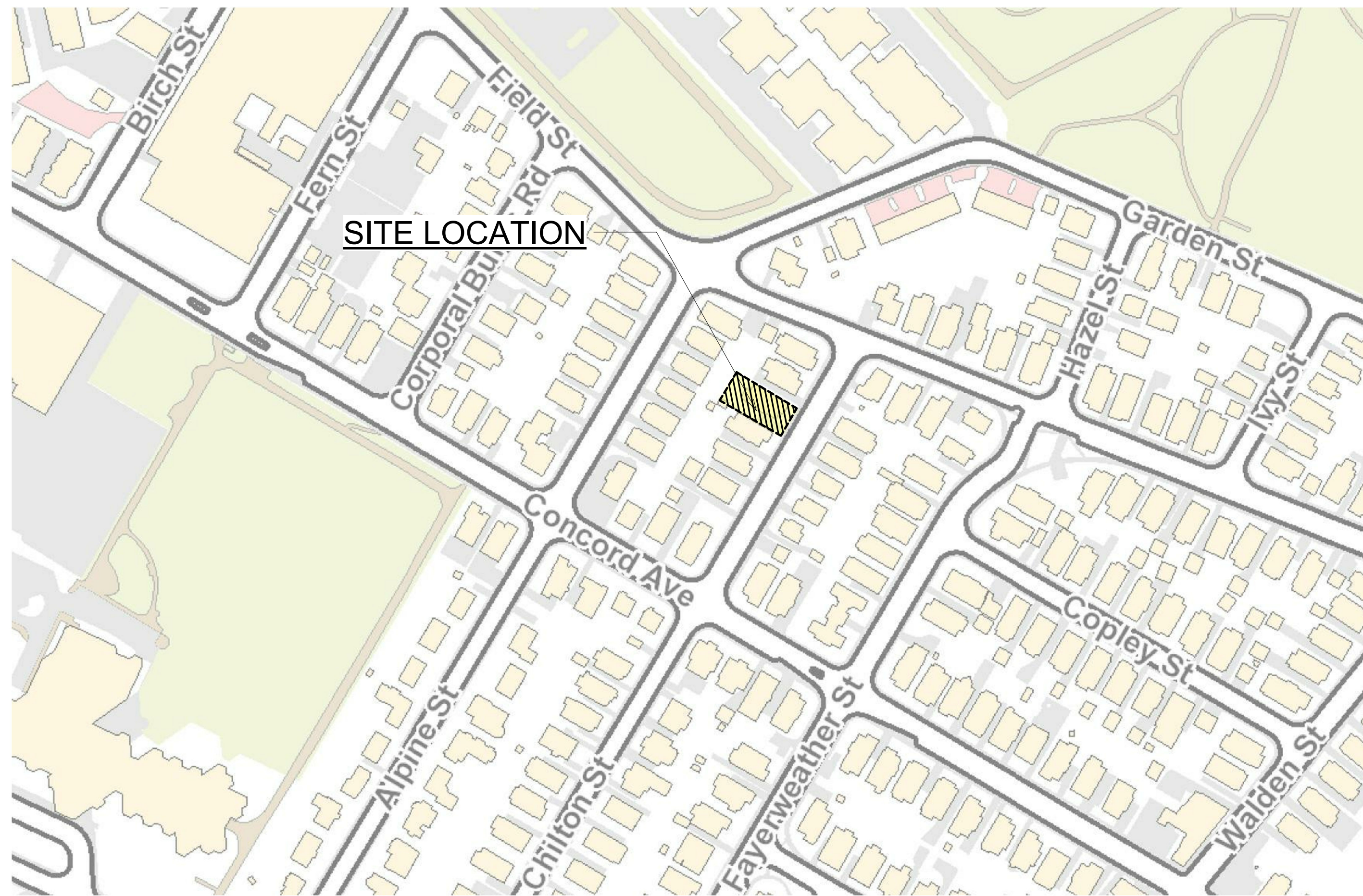
ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LOCUS MAP



PROJECT: 157-159 CHILTON STREET

ARCHITECT
 KHALSA DESIGN INC.
ADDRESS:
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143

CLIENT
 CHARLIE LIU
ADDRESS:
 157-159 CHILTON STREET
 CAMBRIDGE, MA 02138

CD SET
02/26/2021

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 PROSECUTION UNDER LAW



Project number	20018
Date	2/26/2021
Drawn by	DM
Checked by	JSK
Scale	

REVISIONS		
No.	Description	Date

COVER SHEET

A-000

157-159 CHILTON STREET
 RESIDENCES

I:\TKG-SERVER\Drawings\2020\18_Charlie Liu_157-159 Chilton St\03 Drawings\00_ARCH_SD_DDI20018_157-159 Chilton Street_EXTERIOR RENOVATION 2-24-2021.rvt 2/26/2021 11:45:31 AM

ARCHITECTURAL ABBREVIATIONS

& AND	C	E	F	J	N	R	S	W	
A	CG COILING DOOR CL COILING GRILLE CL CENTER LINE CLG CEILING CLR CLEAR CM CONSTRUCTION MANAGER CMU CONCRETE MASONRY UNIT CO CLEANOUT CO CASO OPENING COL COLUMN COMB COMBINATION/ED CONC CONCRETE CONF CONFERENCE CONN CONNECT/ED-ION CONSTR CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR COORD COORDINATE CORR CORRIDOR CPT CARPET CT CERAMIC TILE CTR CENTER CTSK COUNTERSUNK CUH CABINET UNIT HEATER CW CURTAIN WALL CWL COLD WATER CYL CYLINDER	EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EO ELECTRICAL OUTLET EP EXPLOSION PROOF EQ EQUAL EQ EQUIP ES END SECTION EWC ELECTRIC WATER COOLER EXA EXHAUST AIR EXCA EXCAVATE/ED-ION EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR EFC ELECTRIC CABINET EWC ELECTRIC WATER COOLER EIFS EXTERIOR INSULATION AND FINISH SYSTEM EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EQ EQUAL EQ EQUIP ES END SECTION EWC ELECTRIC WATER COOLER EXA EXHAUST AIR EXCA EXCAVATE/ED-ION EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR	FRMG FRAMING FS FULL SIZE FS FLOOR SINK FSTOP FIRESTOPPING FT FOOT/FEET FTG FOOTING FTR FIN TUBE RADIATION FURR FURRING FUT FUTURE	JAN JANITOR JB JOIST JST JOINT	NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NRC NOISE REDUCTION COEFFICIENT NT NOTE NTS NOT TO SCALE	OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHEAD OPR OPERABLE PARTITION OPER OPERATOR OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN	R RADIUS RA RISER RA RETURN AIR RAD RADIATION RB RESILIENT BASE RD ROOF DRAIN RE RELOCATE EXISTING REC RECESSED REF REFERENCE REFR REFRIGERATOR REG REGISTER REIN REINFORCE/EDI-ING REMO REMOVE REQD REQUIRED RET RETAINING REV REVERSE REV REVISE RF RESILIENT FLOOR RH ROOF HATCH RM ROOM RO ROUGH OPENING RS ROUGH SLAB RWC RAIN WATER CONDUCTOR	STS STEEL STRUCTURE SUPV SUPERVISOR SUSP SUSPENDED SW STEEL WINDOWS SW SWITCH SWD SOFTWOOD SYM SYMMETRICAL	W WIDTH/WIDE WF WIDE FLANGE W/ WITH W/O WITHOUT WC WATER CLOSET WC WALL COVERING WD WOOD WDW WINDOW WG WALL GUARD WH WALL HYDRANT WHICH WHEELCHAIR WHTR WATER HEATER WP WATERPROOF WR WASTE RECEPTACLE WS WEATHERSTRIP WSCT WAINSCOT WT WINDOW TREATMENT WT WEIGHT WW WOOD WINDOW WWF WELDED WIRE FABRIC
B	D	H	M	L	P	S	U	V	
BA BUILDING ACCESSORY BBD BULLETIN BOARD BC BRICK COURSES BD BOARD BFE BOTTOM FOOTING ELEVATION BG BUMPER GUARD BIT BITUMINOUS BKT BRACKET BLDG BUILDING BLKG BLOCKING BLT BORROWED LIGHT BLW BELOW BM BEAM BO BY OWNER BOF BY OWNER FUTURE BOT BOTTOM BR BRICK BRG BEARING BRL BRICK LEDGE BSMT BASEMENT BTWN BETWEEN BUR BUILT-UP ROOFING	D DEPTH OR DEEP DEPR DEPRESSION DEPT DEPARTMENT DET DETAILS DF DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DIFF DIFFUSER DIM DIMENSION DISP DISPENSER DISTR DISTRIBUTION DIV DIVISION DJT DUMMYY JOINT DN DOWN DMO DEMOUNTABLE PARTITION DP DATA PROCESSING DR DOOR DS DOWNSPOUT DW DUMB/WATER DWG DRAWING DWLS DOWELS	H HIGH HB HOSE BIB HD HAND DRYER HDCP HANDICAP HDR HEADER HDW HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HPT HIGHPOINT HR HANDRAIL HT HEIGHT HTR HEATER HVAC HEATING, VENTILATING, AIR CONDITIONING HW HOT WATER HWD HARDWOOD	M MIDDLE MAN MANUAL MATL MATERIAL MAX MAXIMUM MBO MARKER BOARD MC MEDICINE CABINET MCU MODULAR COOLING UNIT MECH MECHANICAL MEMB MEMBRANE MET METAL MEZZ MEZZANINE MFR MANUFACTURER MH MANHOLE MHC MATERIAL HANDLING CONVEYOR MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MO MASONRY OPENING MONO MONOLITHIC MPC METAL PAN CEILING MPU MULTI-PURPOSE UNIT MR MILDEW RESISTENT MTD MOUNTED MTR MOTOR MULL MULLION	L ANGLE LAV LAVATORY LAV LAVATORY LB POUND LCD LINEAR CEILING DIFFUSER LF LINE FIGURED LIN LINEAR LKR LOCKER LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LMC LINEAR METAL CEILING LOCATION OR LOCATE LOC LOCATION LPT LOW POINT LS LAWN SPRINKLING LT LIGHT LTG LIGHTING LVR LOUVER LWC LINEAR WOOD CEILING	PART PARTITION PB PUSH BUTTON PC PRECAST CONCRETE PCD PAPER CUP DISPENSER PED PEDESTAL PL PLATE PL PROPERTY LINE PLAM PLASTIC LAMINATE PLBG PLUMBING PLR PLASTER PLW PLYWOOD PNL PANEL PR PAIR PRELIM PRELIMINARY PRESS PRESSURE PRIM PRIMARY PROJ PROJECTION PRV POWER ROOF VENTILATOR PAINT PAINT PTC PAPER TOWEL CABINET PTR PRINTER PVC POLYVINYL CHLORIDE	S SINK SCHED SCHEDULE SD SHOWER DRAIN SD SMOKE DAMPER SDSP SMOKE DISPENSER SECT SECTION SECY SECRETARY SF STORE FRONT SF SQUARE FOOT SH SHOWER SHD SHOWER HEAD SHT SHEET SHTG SHEATHING SL SLEEVE SL SEALER SLNT SEALANT SLV SLEEVE SNC SURFACE MOUNTED SND SANITARY NAPKIN CABINET SOG SLAB ON GRADE SP STANDPIPE SPEC SPECIFICATIONS SPR SINGLE PLY ROOF SQ SQUARE SQ YD SQUARE YARD SR SERVICE RECEPTOR SRV SERVICE SINK SST STAINLESS STEEL ST STREET ST STONE TILE STC SOUND TRANSMISSION STD STANDARD STL STEEL STR STRUCTURE STN STONE STNL STONE LEDGE STOR STORAGE STRUCT STRUCTURAL	U URINAL UC UNDERCUT UDF UNDER FLOOR DUCT UG UNDERGROUND UH UNIT HEATER UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE US UTILITY SHELF UTIL UTILITY	V VALVE CABINET VENT VENTILATION VERT VERTICAL VEST VESTIBULE VTR VAPOR RETARDER VTR VENT THROUGH ROOF	
C	E	I	Q	K	O	T	T		
C CHANNEL C DISP CUP DISPENSER CAB CABINET CG CORNER GUARD CH COAT HOOK CJT CONTROL JOINT CCTV CLOSED CIRCUIT TELEVISION	E EXISTING EXIST EXISTING EC ELECTRIC CABINET EF EXHAUST FAN EIFS EXTERIOR INSULATION AND FINISH SYSTEM	IC INTERCOM ID INSIDE DIAMETER IN INCH INSUL INSULATION INT INTERIOR ISO ISOLATION	QT QUARRY TILE	KO KNOCK OUT	O ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHEAD OPR OPERABLE PARTITION OPER OPERATOR OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN	T TOP TAN TANGENT TBD TACKBOARD TC TIME CLOCK TCAB TOWEL CABINET TDISP TISSUE DISPENSER TDR TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TER TERRAZZO TEL TELEPHONE TGS TONGUE & GROOVE THRES THRESHOLD TPG TEMPERED PLATE GLASS TPH TOWEL PAPER HOLDER TR TREAD TRANSF TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL	T TAN TANGENT TBD TACKBOARD TC TIME CLOCK TCAB TOWEL CABINET TDISP TISSUE DISPENSER TDR TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TER TERRAZZO TEL TELEPHONE TGS TONGUE & GROOVE THRES THRESHOLD TPG TEMPERED PLATE GLASS TPH TOWEL PAPER HOLDER TR TREAD TRANSF TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL		

SYMBOLS

	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	CASEWORK TYPE		ROOM/SPACE NUMBER
	INTERIOR WINDOW TYPE		DOOR NUMBER
	WINDOW TYPE		SEALANT AND BACKER ROD JOINT
	COLUMN REFERENCE GRID		DASH AND DOT CENTER LINE
	BUILDING SECTION REFERENCE DRAWING NUMBER		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	WALL SECTION REFERENCE DRAWING NUMBER		
	SECTION DETAIL REFERENCE DRAWING NUMBER		
	DIMENSION LINE		
	BREAK LINE TO BREAK OFF PARTS OF A DRAWING		
	DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND		

INDICATION OF MATERIALS

EARTH	EARTH/COMPACT FILL	POROUS FILL/ GRAVEL
CONCRETE	CONCRETE	SAND MORTAR
MASONRY	BRICK	CONCRETE MASONRY UNIT
STONE	RUBBLE	MARBLE
METAL	STEEL/IRON	ALUMINUM
WOOD	WOOD SHIM	CONTINUOUS BLOCKING
GLASS	GLASS	GLASS BLOCK
INSULATION	BATT/ LOOSE FILL	RIGID
FINISHES	GYPSUM WALL BOARD	ACOUSTICAL TILE

GENERAL NOTES

- GENERAL CONDITIONS : THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
- SCOPE : WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES : ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY : WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS : THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL : PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO BE 5/8" FIRE CODE OR 1/2" GYPSUM BOARD, 5/8" MOISTURE RESISTANT TYPE X OR 5/8" CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, WVC, OR PANELING.
- STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
- PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION - REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS 1in WITH A FLAME SPREAD RATING OF 0 TO 25.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME
157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT
CHARLIE LIU

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX:
 617-591-2086

CONSULTANTS:

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Project number	20018
Date	2/26/2021
Drawn by	DM
Checked by	JSK
Scale	1 : 1

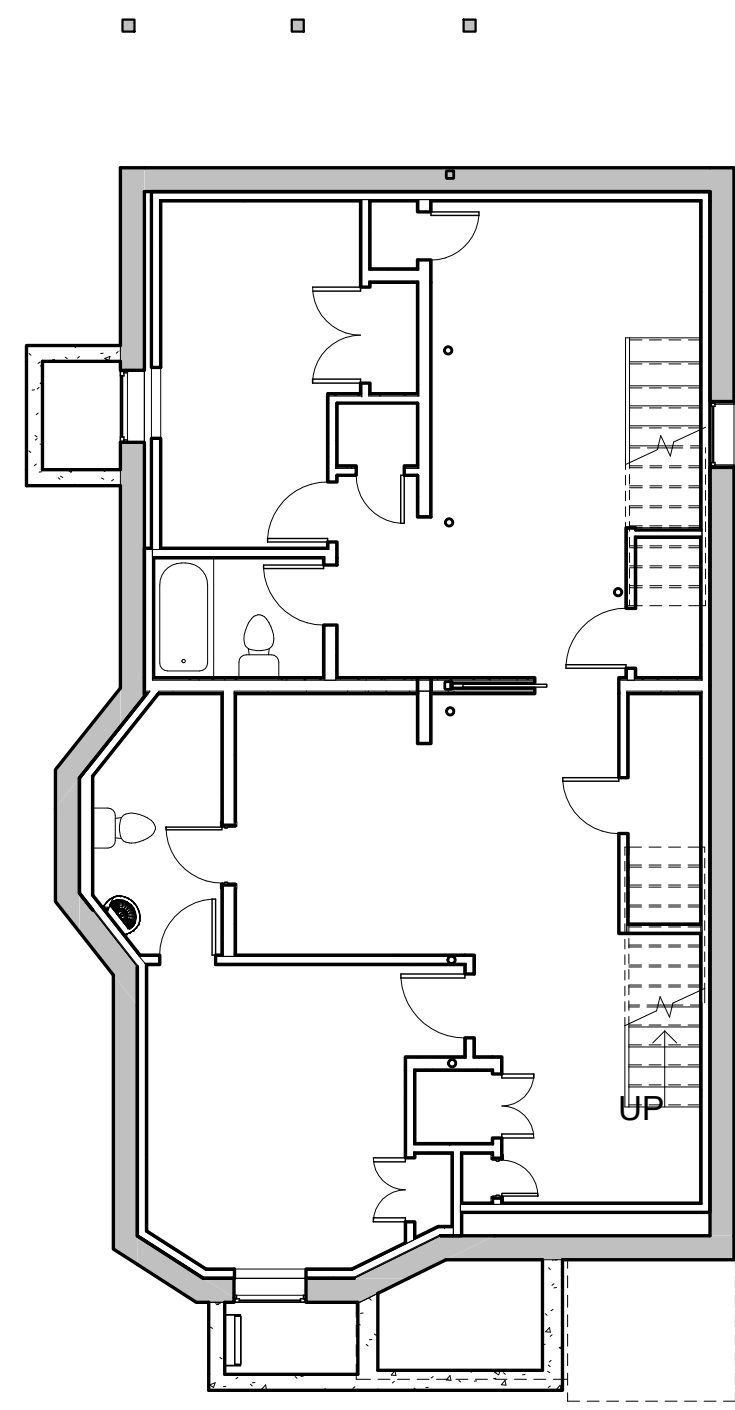
REVISIONS		
No.	Description	Date

GENERAL NOTES & ABBREVIATIONS

A-001

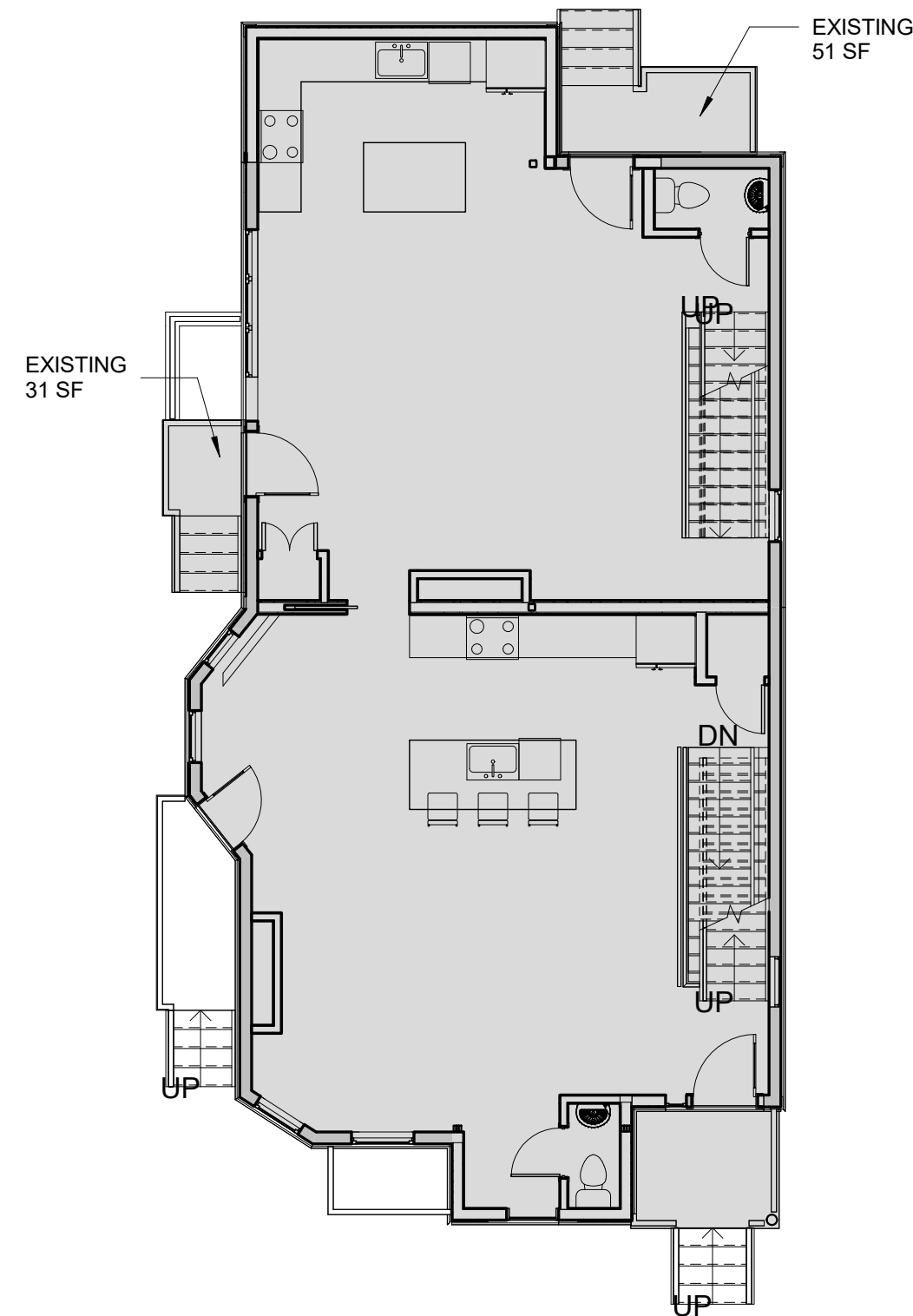
157-159 CHILTON STREET RESIDENCES

EXISTING FLOOR PLANS - FAR ANALYSIS



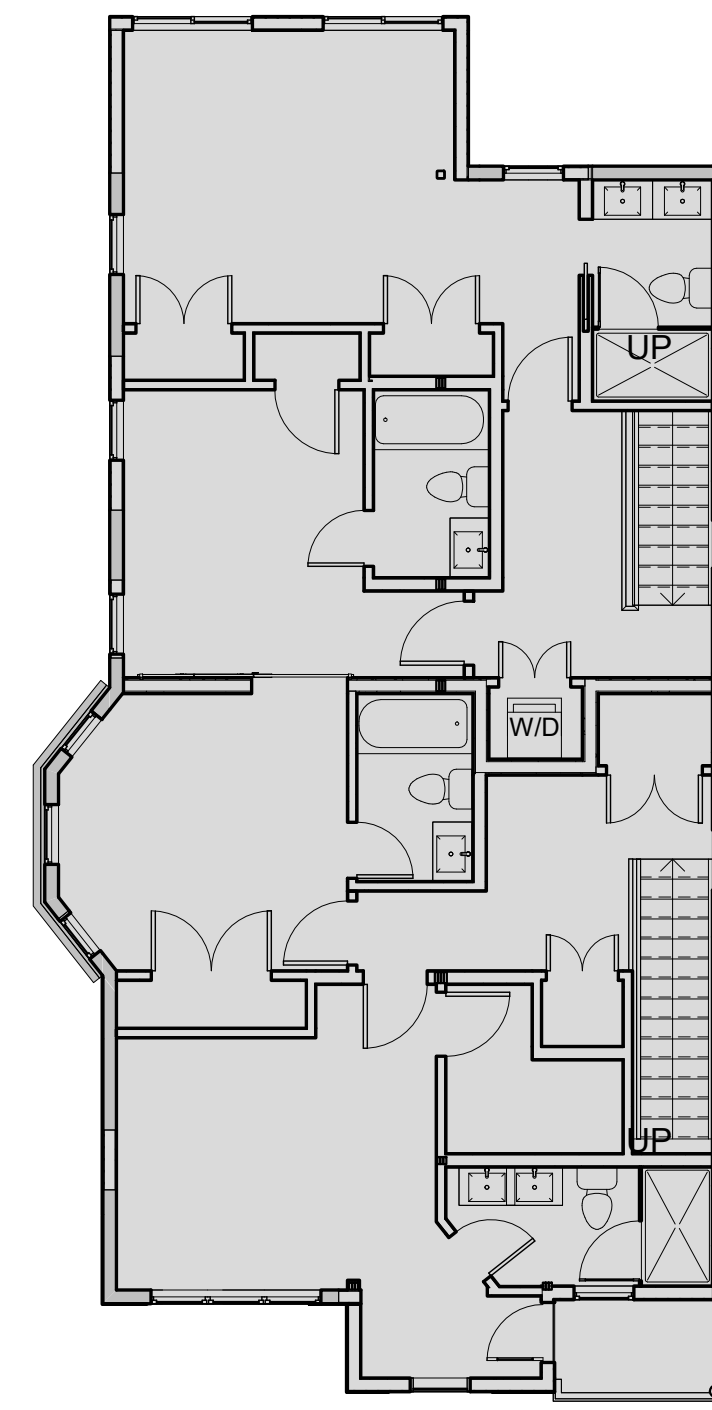
BASEMENT LEVEL

FAR AREA: 0 SF



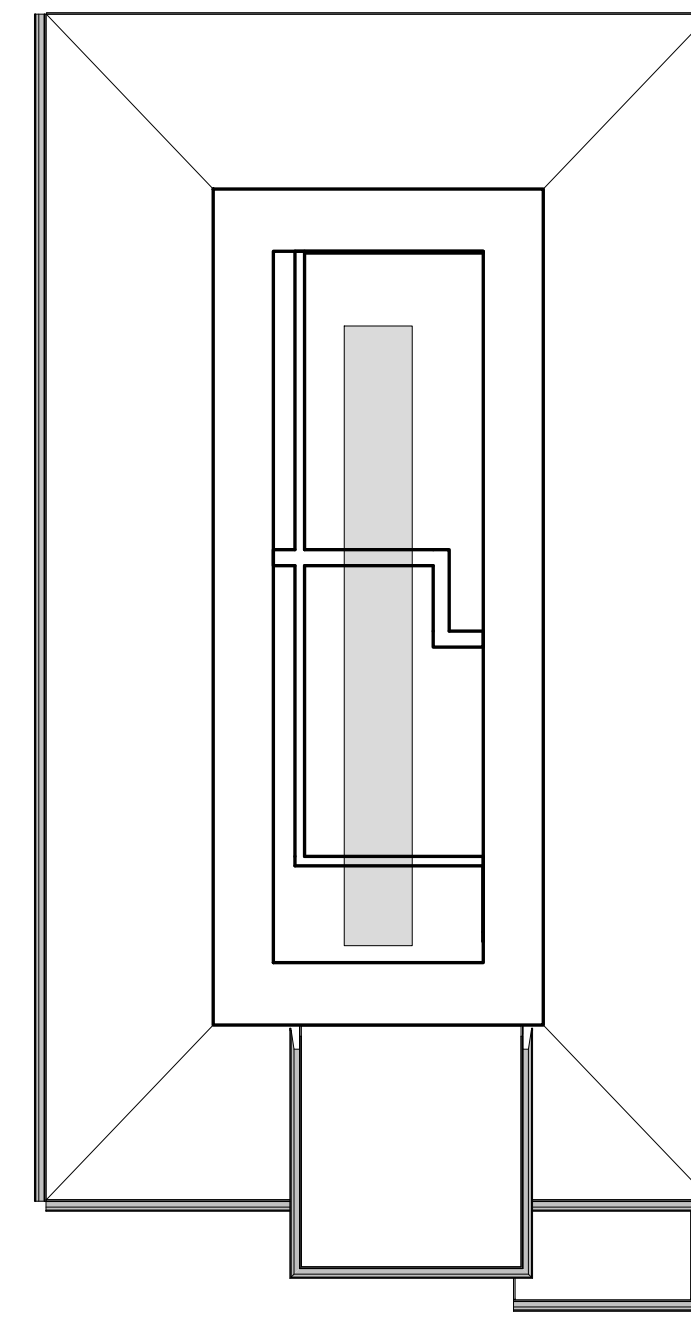
FIRST FLOOR LEVEL

FAR AREA: 1,479 SF



SECOND FLOOR LEVEL

FAR AREA: 1,401 SF



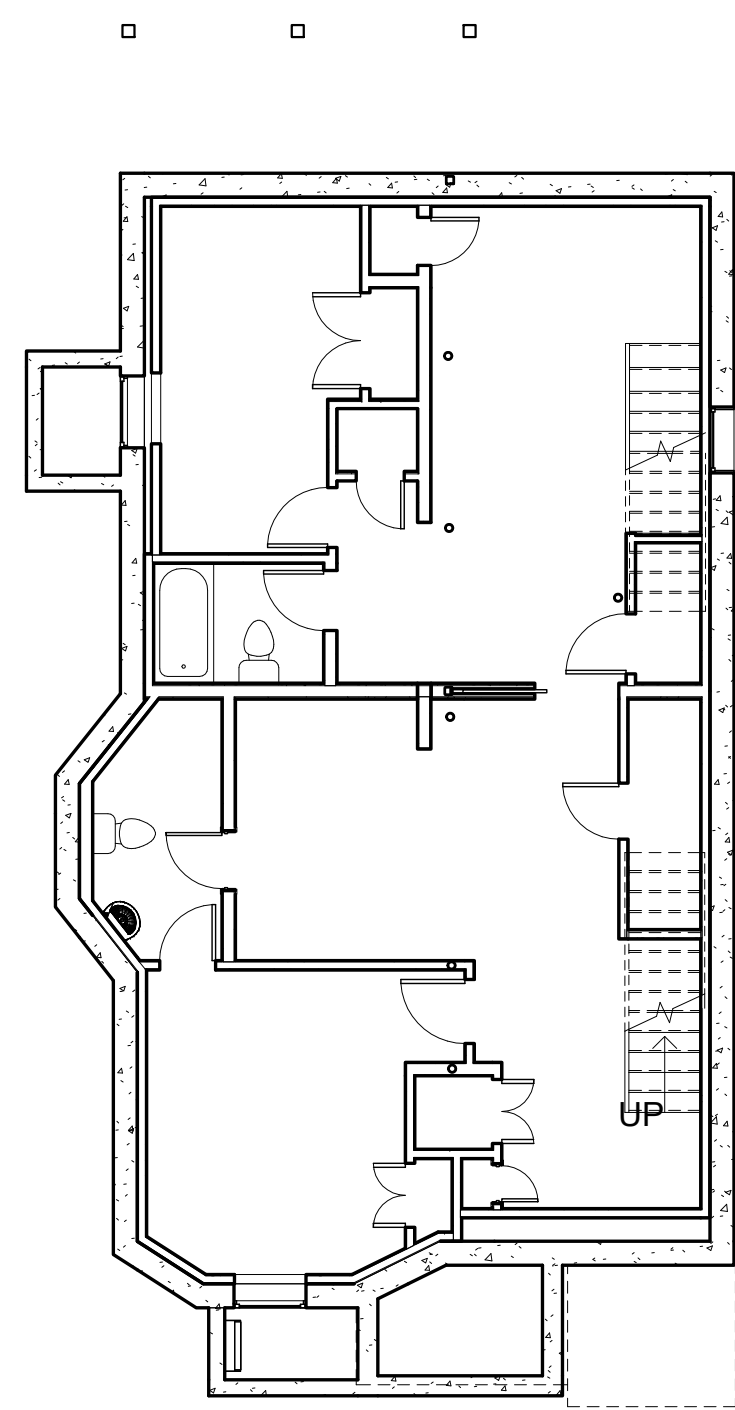
ATTIC LEVEL

FAR AREA: 74 SF

EXISTING FAR SUMMARY

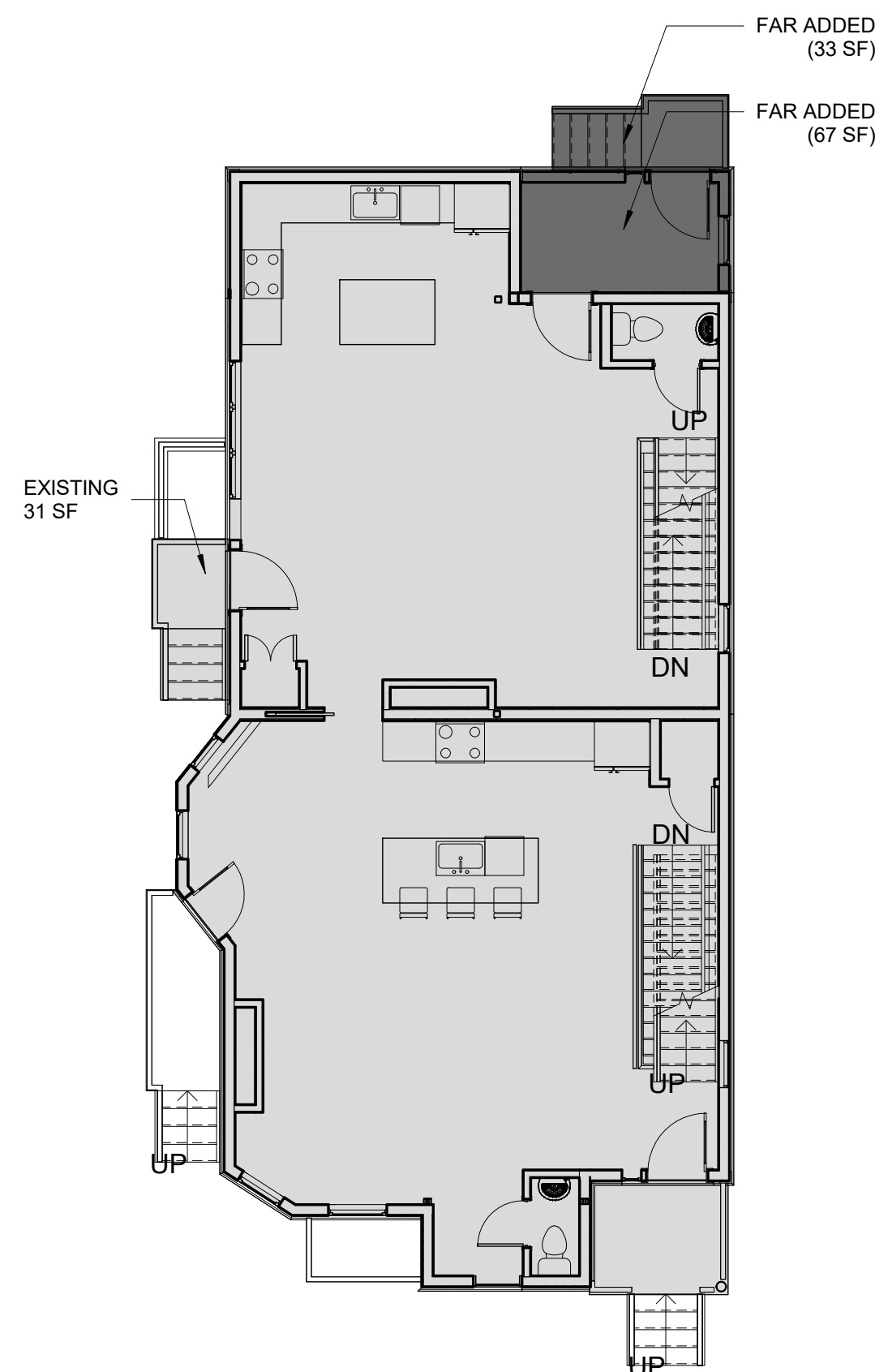
	FAR AREA
BASEMENT	0 SF
FIRST FLOOR	1,479 SF
SECOND FLOOR	1,401 SF
ATTIC	74 SF
TOTAL	2,954 SF

PROPOSED FLOOR PLANS - FAR ANALYSIS



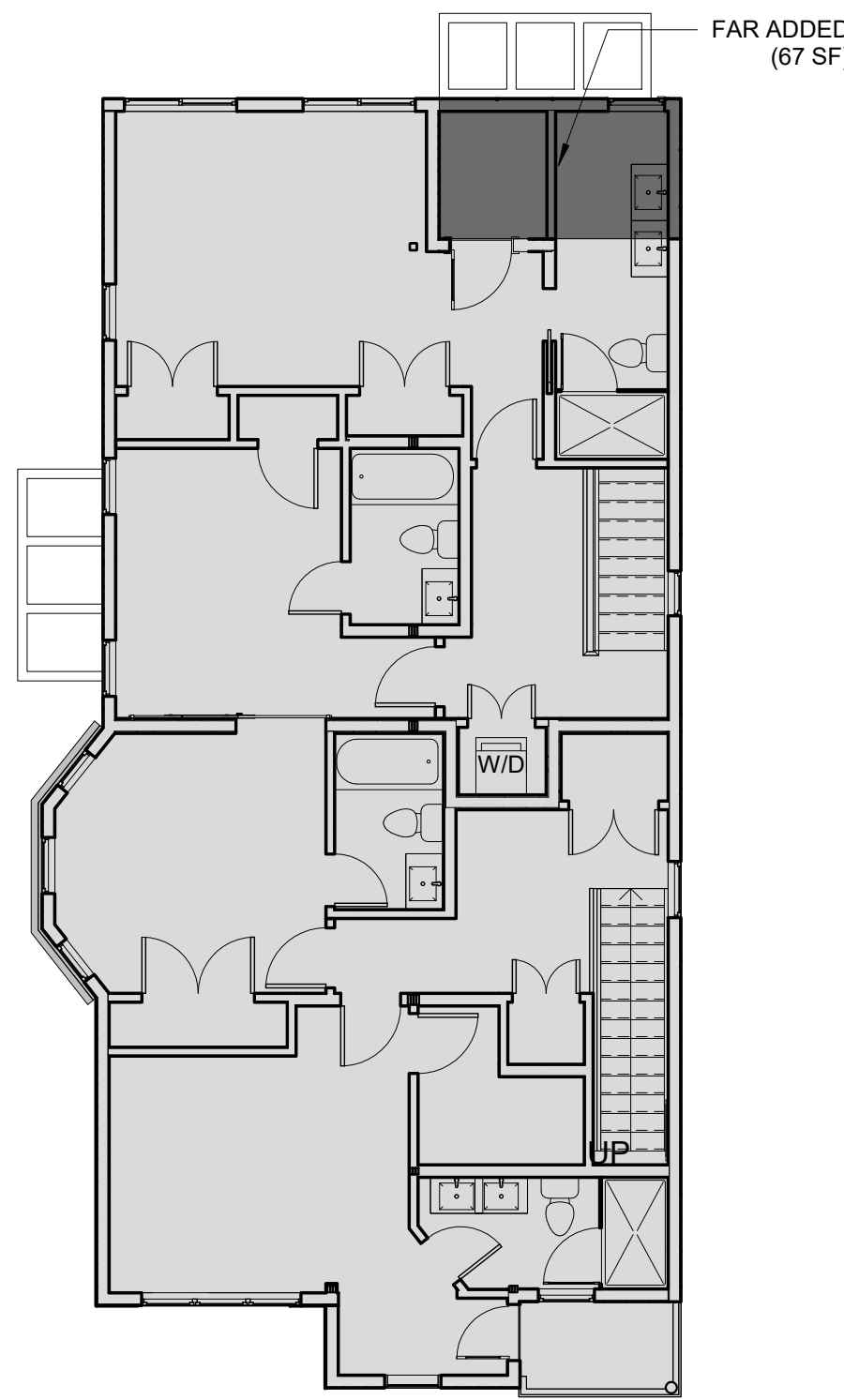
BASEMENT LEVEL

FAR AREA: 0 SF



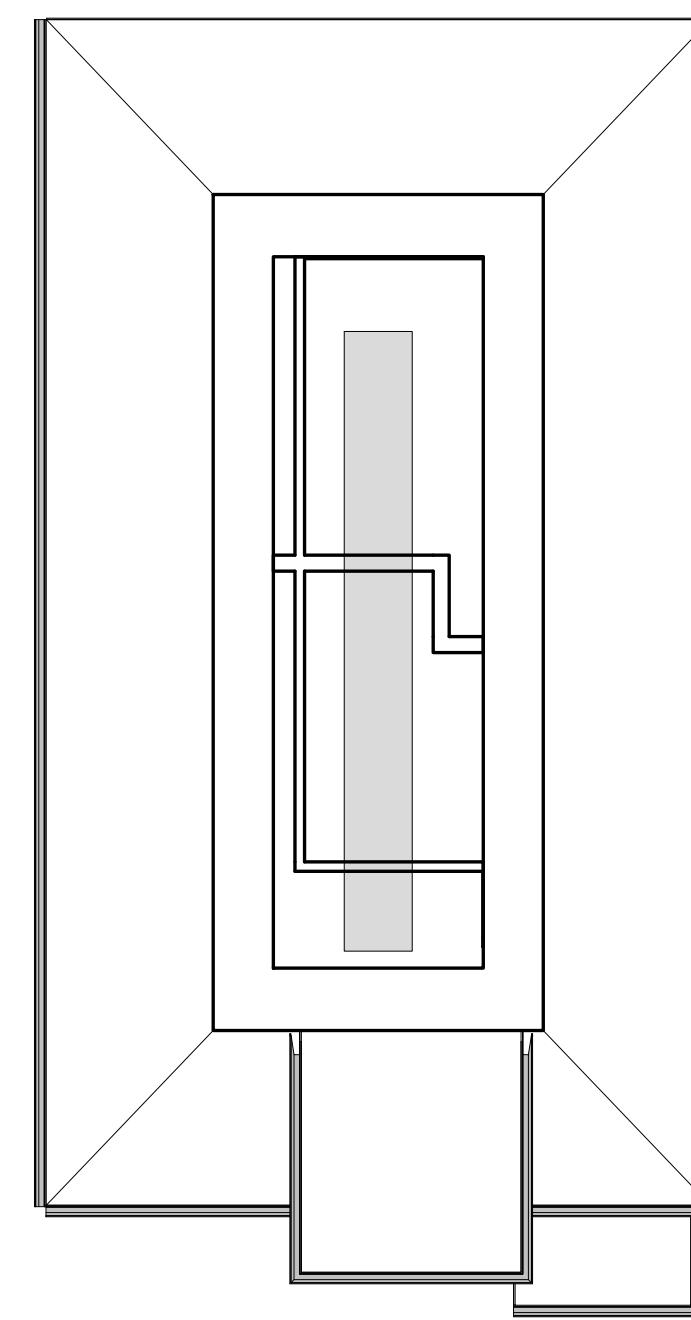
FIRST FLOOR LEVEL

FAR AREA: 1,528 SF



SECOND FLOOR LEVEL

FAR AREA: 1,468 SF



ATTIC LEVEL

FAR AREA: 74 SF

PROPOSED FAR SUMMARY

	FAR AREA
BASEMENT	0 SF
FIRST FLOOR	1,528 SF
SECOND FLOOR	1,468 SF
ATTIC	74 SF
TOTAL	3,070 SF

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT

CHARLIE LIU

ARCHITECT



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REGISTRATION



Project number 20018
Date 2/26/2021
Drawn by DM
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

FAR CALCULATIONS

A-011

157-159 CHILTON STREET RESIDENCES

ZONING CHART

ZONE : B	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F.	5,000 S.F.	4,085 SF	4,085 SF	PRE-EXIST / DOES NOT COMPLY
LOT AREA, MIN S.F. / DU	2,500 S.F. / DU	2DU = 2,042 / DU	2DU = 2,042 / DU	PRE-EXIST / DOES NOT COMPLY
MAX. FAR	0.5 (2,042 S.F. MAX)	0.72 (2,954 S.F.)	0.75 (3,070 S.F.)	DOES NOT COMPLY
MIN. LOT WIDTH	50' - 0"	43'-0"	43'-0"	PRE-EXIST / DOES NOT COMPLY
MIN. FRONT YARD	15' - 0"	14' - 1"	14' - 1"	PRE-EXIST / DOES NOT COMPLY
MIN SIDE YARDS	7' - 6" MINIMUM SUM OF 20' - 0"	LEFT SETBACK 11' - 9"	LEFT SETBACK 11' - 9"	PRE-EXIST / DOES NOT COMPLY(RIGHT)
		RIGHT SETBACK 2' - 10"	RIGHT SETBACK 2' - 10"	PRE-EXIST / DOES NOT COMPLY(LEFT)
MIN REAR YARD	25' - 0" MINIMUM	23' - 3"	23' - 3"	PRE-EXIST / DOES NOT COMPLY
MAX HEIGHT	35' - 0"	28' - 1"	28' - 1"	COMPLIES
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	40% (1,634 S.F.) 50 % AREA REQ. TO BE PRIVATE OPEN SPACE (817 SF MIN. REQUIRED)	47% (1,913 S.F.)	46% (1,868 S.F.)	COMPLIES
		PRIVATE OPEN SPACE PROVIDED (850 SF) (817 SF MIN. REQUIRED)	PRIVATE OPEN SPACE PROVIDED (850 SF) (817 SF MIN. REQUIRED)	COMPLIES
PARKING	1 SPACE/DU= 2 SPACES	1 SPACE	1 SPACE	PRE-EXIST / DOES NOT COMPLY

FOOTNOTES

- (a) Measured from the centerline of the street, but in no case may a building be nearer the street than ten (10) feet.
 (b) Measured from the centerline of the street, but in no case may a building be nearer the street line than five (5) feet.
 (i) The dimensional requirements of the Residence C-1 district as detailed in this Section 5.31 shall apply in the Residence C district for structures in existence as of December 1, 1986 under the following limitations and conditions:
 (1) Any increase in floor area or numbers of units, provided all construction occurs within the limits of the existing structure; or
 (2) For any construction without limit as to cost (notwithstanding any contrary provisions of Section 8.23) of a nonconforming structure destroyed or damaged by fire or other catastrophe provided the structure as restored shall not be greater in lot coverage or volume, or shall not extend further into required yards, than the original structure; all other provisions of Section 8.23, however, shall continue to apply.

OPEN SPACE PRIVATE

The part or parts of a lot or structure which are reserved for the use of occupants of a building which is used wholly, or in part, for residential purposes. This space shall have minimum dimensions as prescribed in the Ordinance, shall exclude parking areas, driveways and walkways, and shall be open and unobstructed to the sky. Trees, plantings, arbors, fences, flagpoles, sculpture, fountains and recreational and drying apparatus and similar objects shall not be considered obstructions when located within a private open space. Objects or structures intended exclusively for bicycle parking, designed and located in accordance with Section 6.100, which may be uncovered, partially covered or fully enclosed, shall not be considered obstructions provided that such objects or structures are not used for motor vehicle parking, general storage or any other use, and further provided that any such structure exceeding six feet (6') in height conforms to the requirements for an accessory building in Section 4.21. Beehives and apiaries conforming to the Standards for Urban Agriculture in Article 23.000 of this Zoning Ordinance shall not be considered obstructions provided that they are no more than six (6) feet in height. To the extent permitted in this Ordinance, balconies and roof areas may also be considered as Open Space, Private.

SECTION 5.22.1: PRIVATE OPEN SPACE:

An area designated as private open space must have both a width and a length of at least fifteen (15) feet, except for balconies, and may not have a slope greater than ten (10) percent. With the exception of balcony areas, private open space shall be accessible to all occupants of a building; not less than one half of the required private open space shall be provided at ground level or within ten (10) feet of the level of the lowest floor used for residential purposes. Areas at other levels, such as balconies, decks, and roofs, of garages and buildings, which are accessible to all occupants of buildings, which are not used as walkways or corridors, and which have both a width and a length of at least six (6) feet and a minimum area of seventy-two (72) square feet, may be calculated as private open space, not to exceed twenty-five (25) percent of the total private open space.

SECTION 5.22.3: SPECIAL REQUIREMENTS IN RESIDENCE A-1, A-2, B, C, AND C-1

At least fifty (50) percent of the required Private open space in these districts shall meet all of the requirements of Section 5.22.1 above. At least fifty (50) percent of the required Private open space shall meet the definition of Permeable Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private open space.

SECTION 4.21: ACCESSORY USES

(c) Provisions of garage or parking space for occupants, employees, customers, or visitors shall be considered as an accessory use, provided that where accessory to residential uses in Residence A and B districts such garage or parking space shall be limited to the accommodation of three passenger vehicles, or two passenger vehicles for each dwelling unit, whichever is greater.

(g) The area occupied by accessory uses shall be subject to the following limitations:

- (1) The total area of uses accessory to the principal use may not occupy more than twenty-five (25) percent of the gross floor area of the building in which the principal use is located or twenty-five (25) percent of the area of the dwelling unit when the accessory use is located in a residence.
- (2) The total area of uses or buildings accessory to the principal use except for parking facilities and driveways may not occupy more than fifteen (15) percent of the area of the lot.
- (3) The area limitations of this paragraph 4.21 g shall be applicable in all zoning districts except the Cambridge Center MXD District; however, if explicitly stated elsewhere in this Ordinance certain accessory uses in specified districts may exceed the foregoing area limitation.

(h) In Residence A, B, C, and C-1 Districts an accessory building shall not be located nearer than ten (10) feet to the principal building or nearer than five (5) feet to any side or rear lot line or nearer to the front lot line than the minimum setback in the zoning district.

(k) An accessory building in Residence A, B, C, C-1, and Office-1 districts shall not exceed fifteen (15) feet in height above the ground level.

SECTION 5.24.1: YARDS

Every part of a required yard shall be open to the sky and unobstructed. Awnings, arbors, fences, flagpoles, recreational and laundry drying equipment and similar objects shall not be considered obstructions when located within a required yard. Objects or structures intended exclusively for bicycle parking meeting the requirements of Article 6.000, which may be uncovered, partially covered or fully enclosed, shall not be considered obstructions provided that such objects or structures are not used for motor vehicle parking, general storage or any other use, and further provided that any such structure exceeding six feet (6') in height conforms to the requirements for an accessory building in Section 4.21. Beehives and apiaries extending no more than six (6) feet above a rooftop, in accordance with the Standards for Urban Agriculture in Article 23.000 of this Zoning Ordinance. In addition, objects or equipment located in a required yard that are necessary for or appurtenant to a Public Bicycle-Sharing Station shall not be considered obstructions. Open or lattice enclosed fire escapes for emergency use only are permitted to encroach on yard areas.

SECTION 5.24.2: YARDS

Projecting eaves, chimneys, bay windows, balconies, open fire escapes and like projections which do not project more than three and one half (3 1/2) feet and which are part of a building not more than thirty-five (35) feet in height, and unenclosed steps unroofed porches and the like which do not project more than ten (10) feet beyond the line of the foundation wall and which are not over four (4) feet above the average level of the adjoining ground, may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built.

SECTION 6.44.1 PARKING

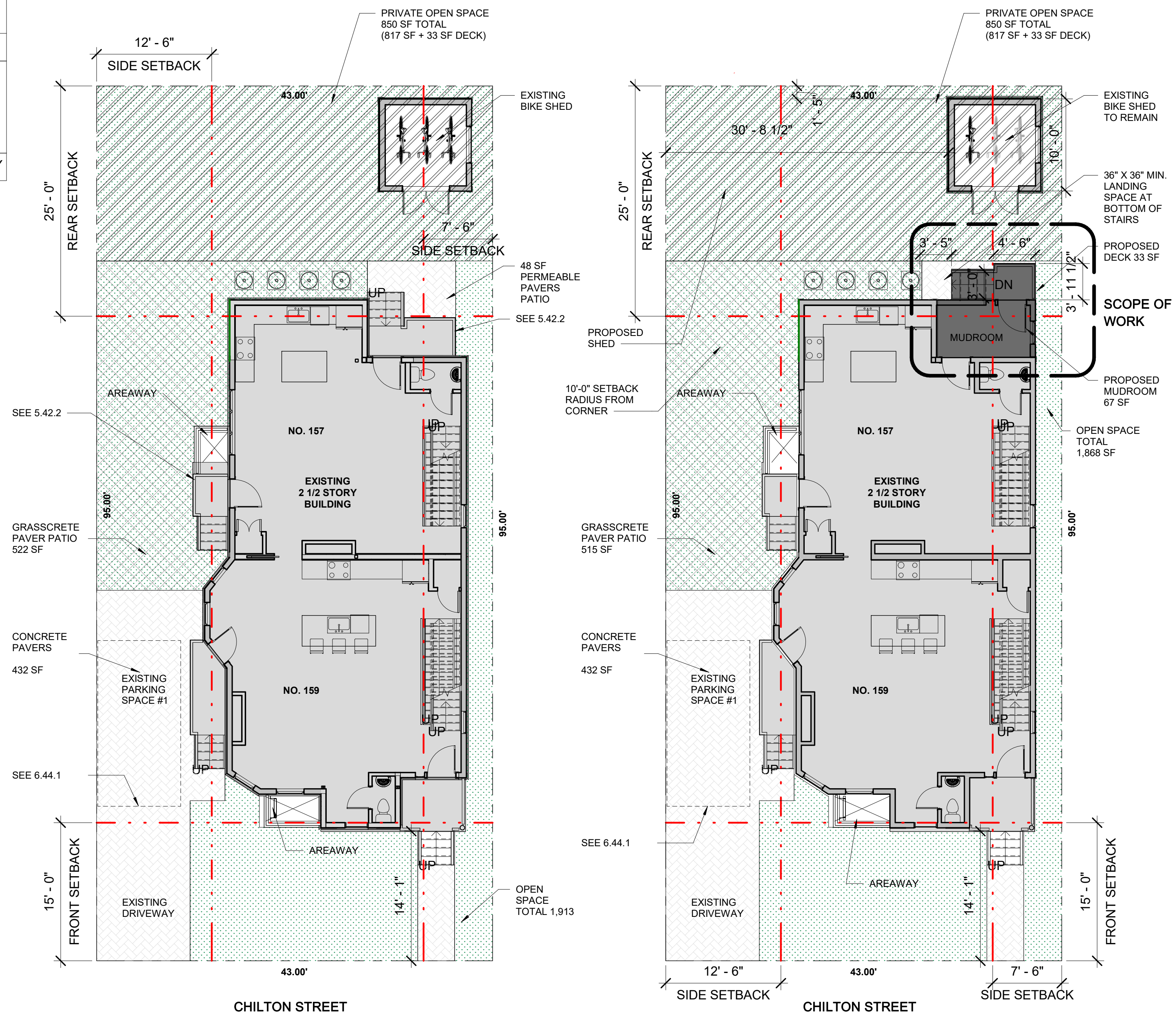
Setbacks for on grade open parking facilities shall be provided as follows:

- No on grade open parking space shall be located within ten (10) feet of that portion of a building wall containing windows of habitable or occupiable rooms at basement or first story. However, on grade open parking spaces serving one, two, or three family dwellings may be located within five (5) feet of that portion of such building wall.
- Except for one, two, or three family dwellings existing at the time of the effective date of this Ordinance or amendment thereto, no on grade open parking space or driveway shall be located within five (5) feet of any side or rear property line.
- No on grade open parking space shall be located within a required front yard setback

NOTE: THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.

PRIVATE OPEN SPACE SCHEDULE	
AREA W/ 15'X15' MIN. DIMENSION	817 SF
DECK	33 SF
SUBTOTAL	850 SF
AREA W/ LESS THAN 15' X15' DIMENSION	1,018 SF
GRAND TOTAL	1,868 SF

LEGEND	
	PROPOSED ADDITION
	EXISTING BUILDING FOOTPRINT
	LANDSCAPE
	PAVERS
	PRIVATE OPEN SPACE
	SETBACK LINE



① EXISTING SITE PLAN
1/8" = 1'-0"

② PROPOSED SITE PLAN
1/8" = 1'-0"

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT

CHARLIE LIU

ARCHITECT



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REGISTRATION

Project number	20018
Date	2/26/2021
Drawn by	DM
Checked by	JSK
Scale	As indicated

REVISIONS

No.	Description	Date

ARCHITECTURAL SITE PLAN

A-020

157-159 CHILTON STREET
RESIDENCES

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
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Scale	1/8" = 1'-0"

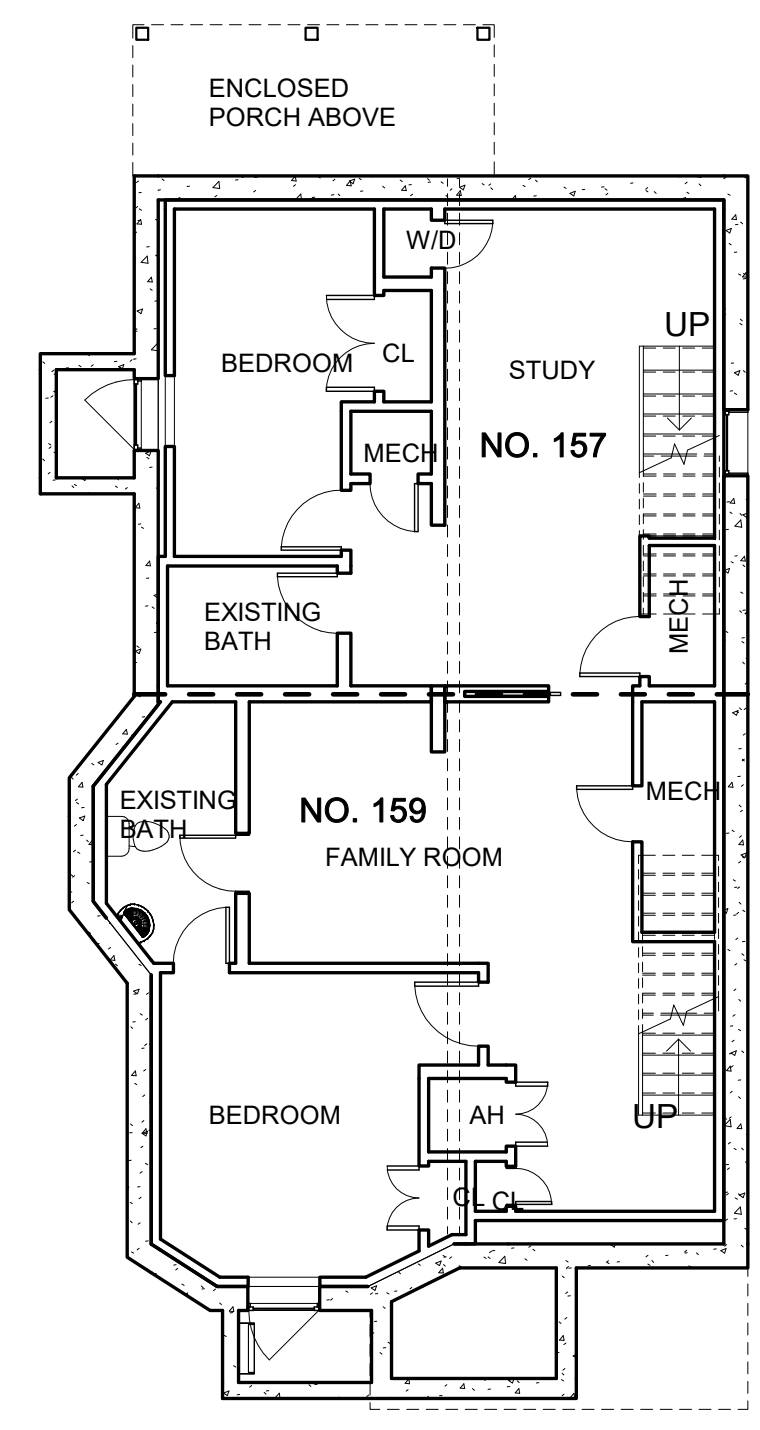
REVISIONS

No.	Description	Date

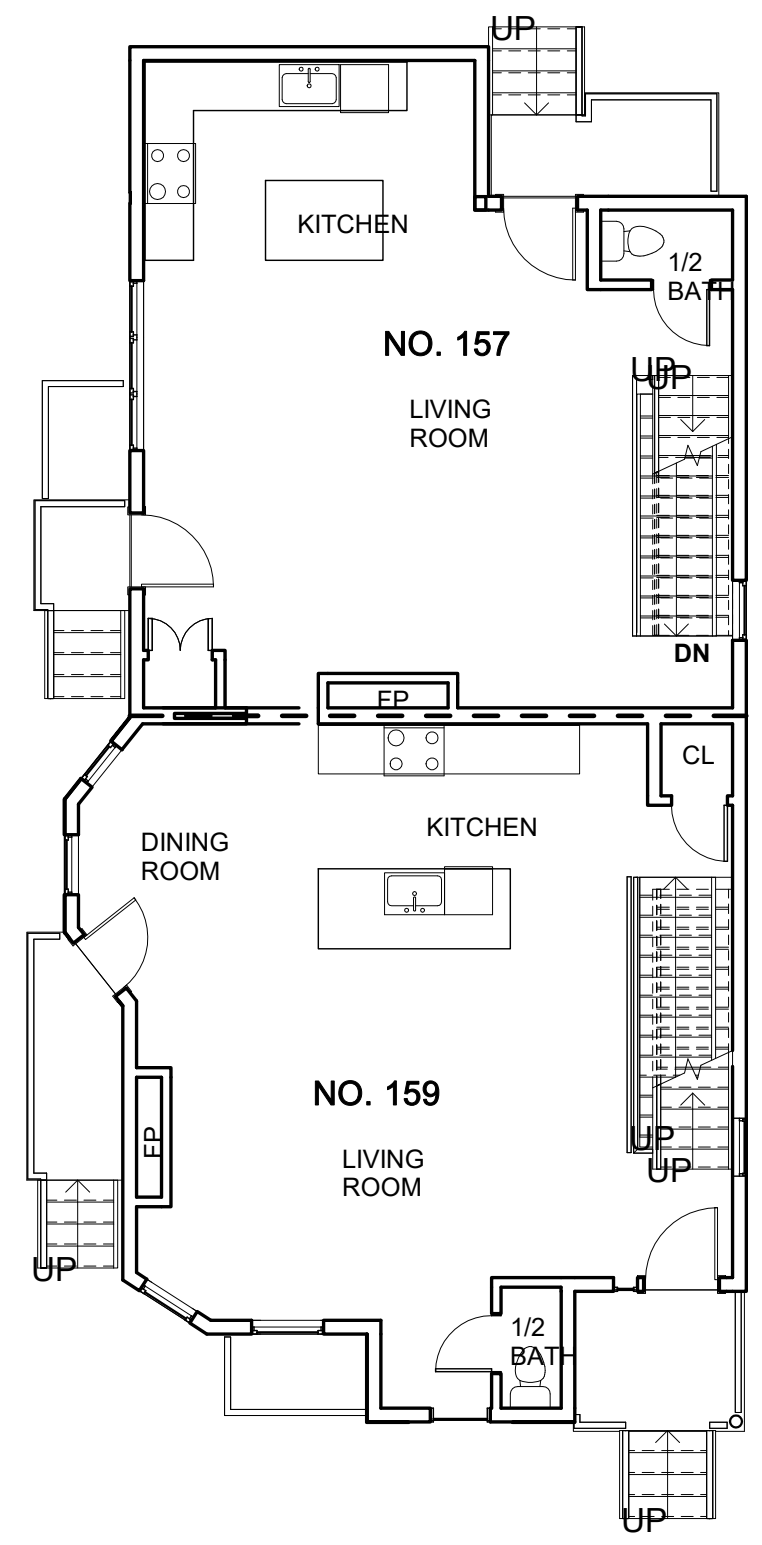
EXISTING CONDITIONS

EX-100

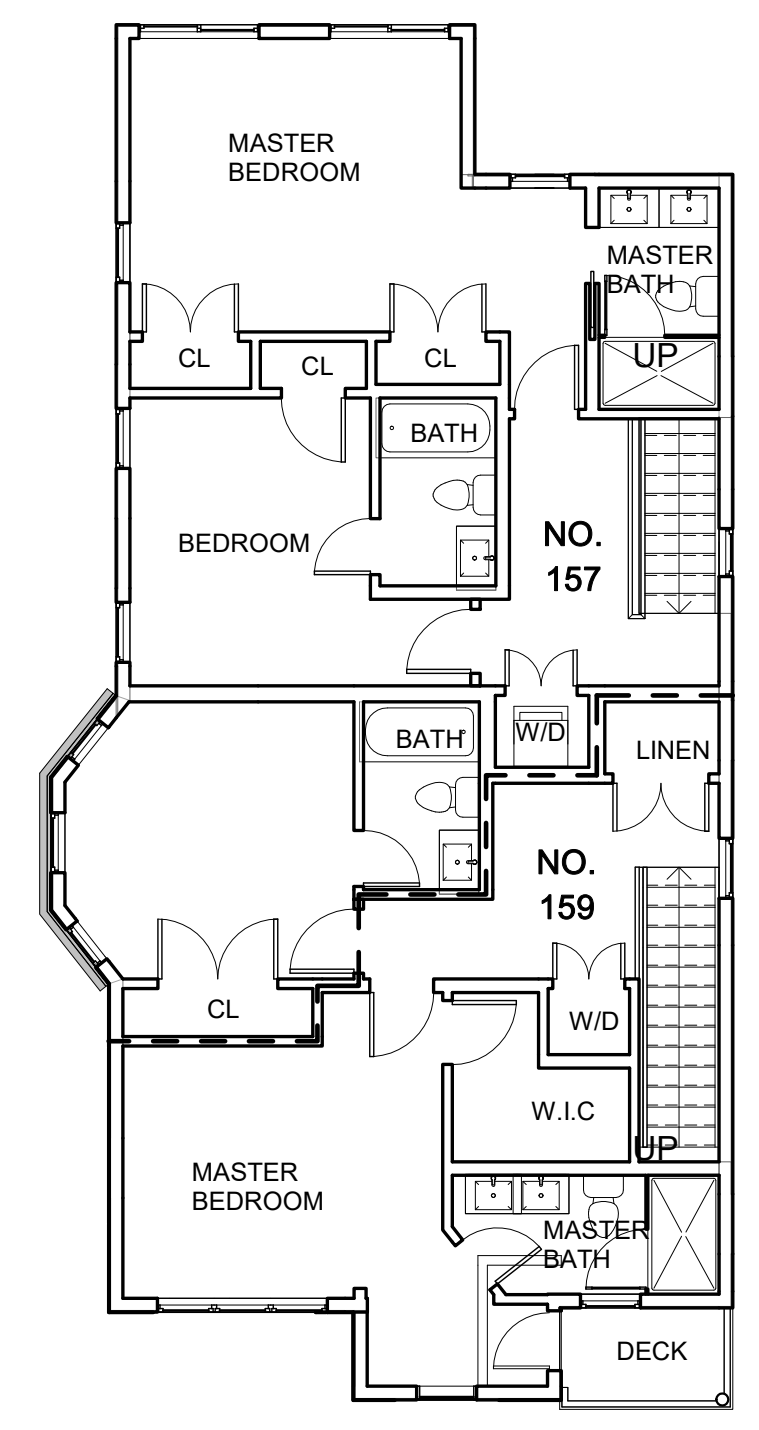
157-159 CHILTON STREET RESIDENCES



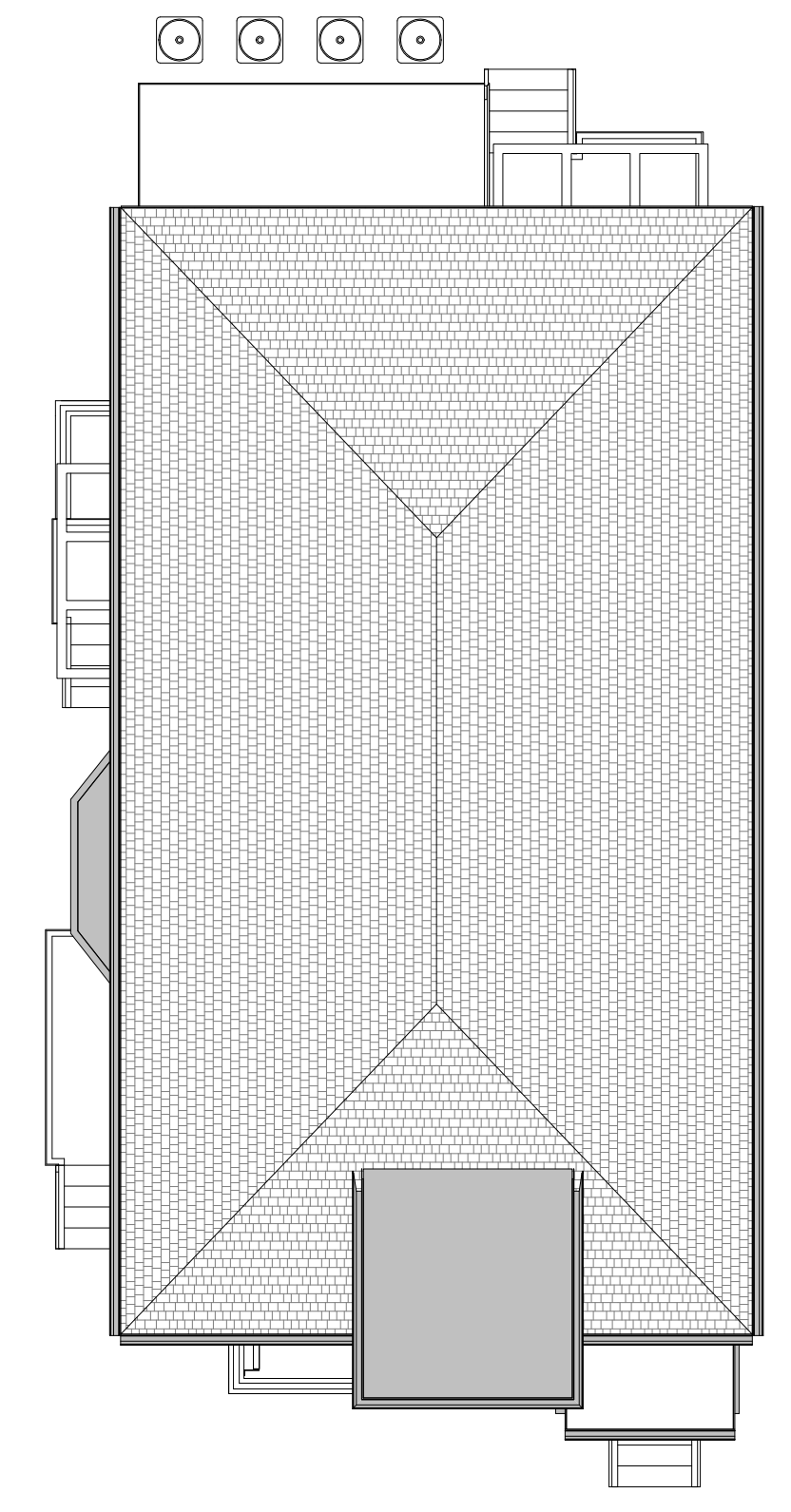
2 EXISTING BASEMENT
1/8" = 1'-0"



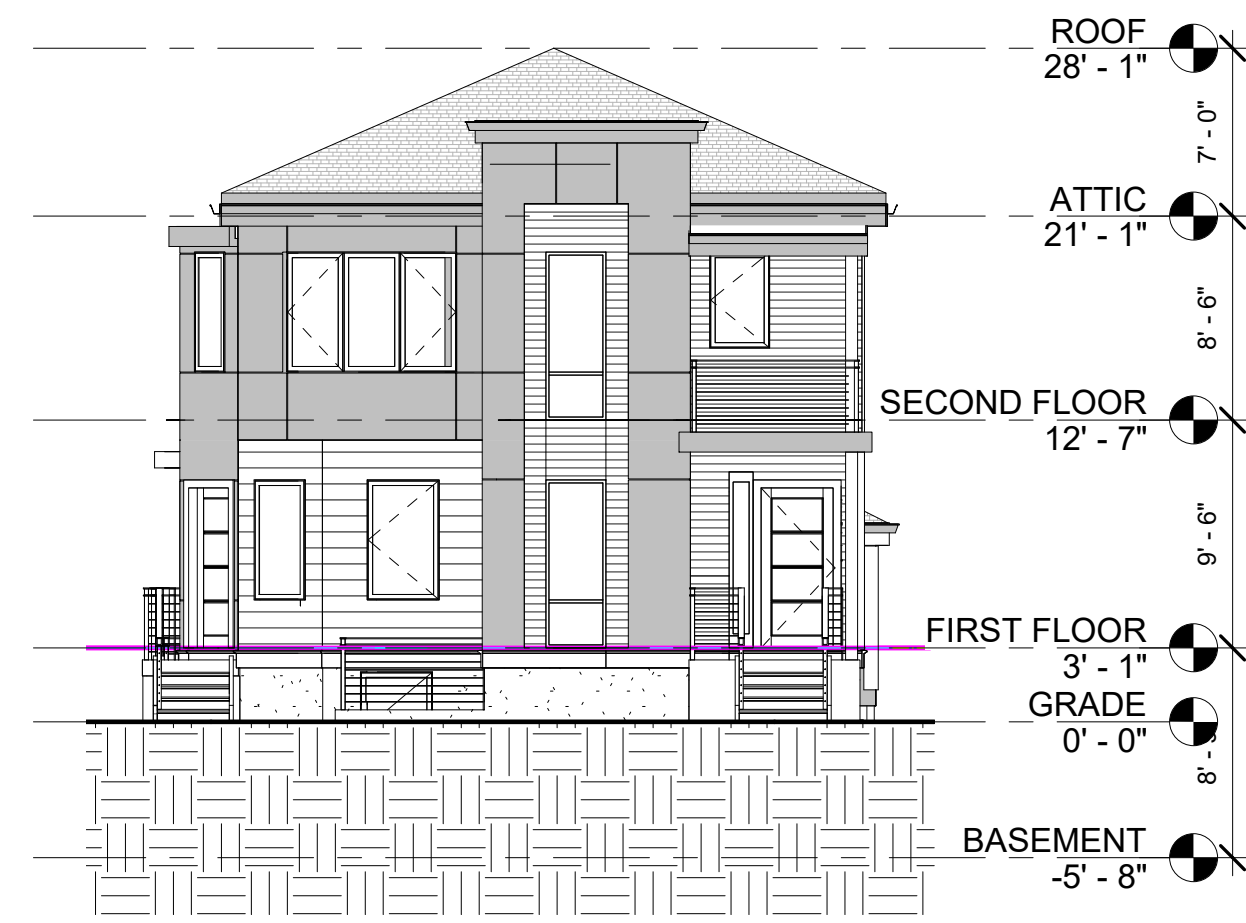
1 EXISTING FIRST FLOOR
1/8" = 1'-0"



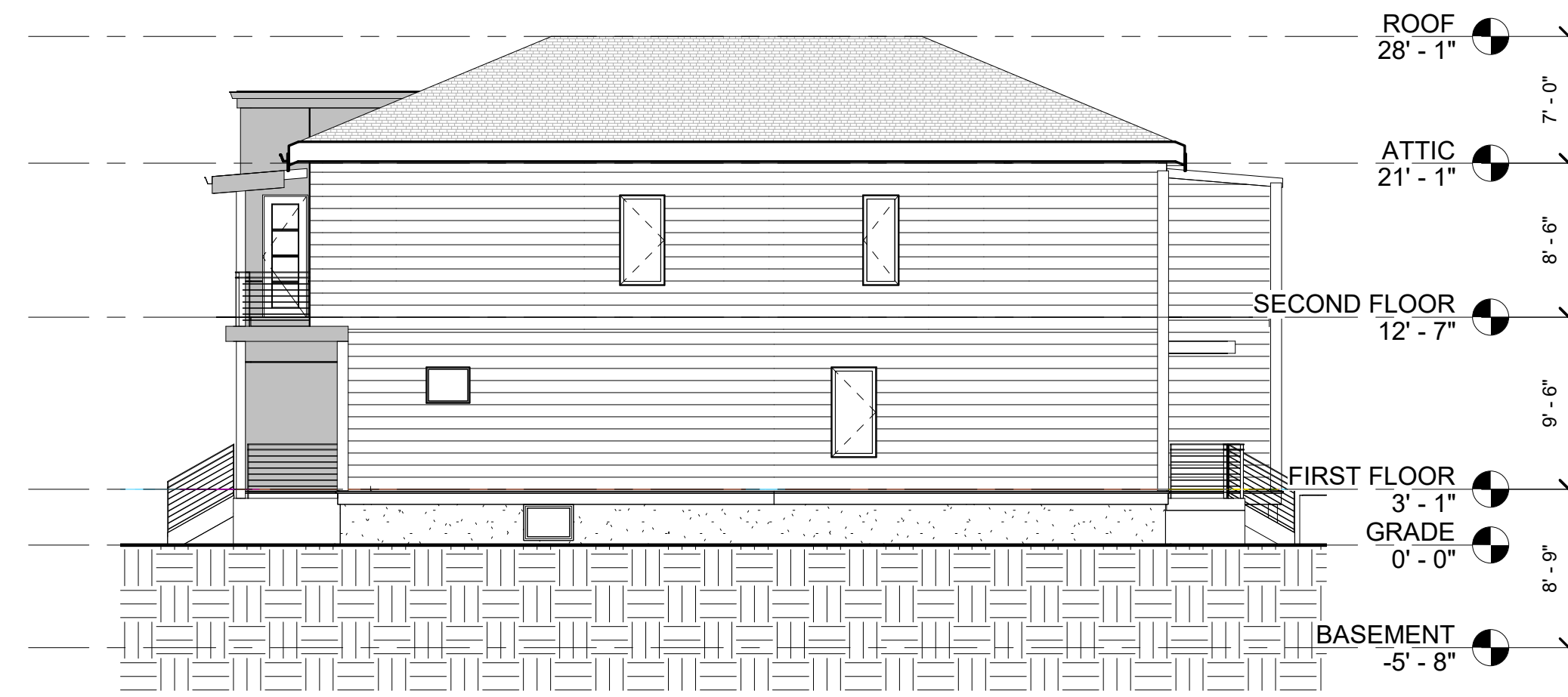
3 EXISTING SECOND FLOOR
1/8" = 1'-0"



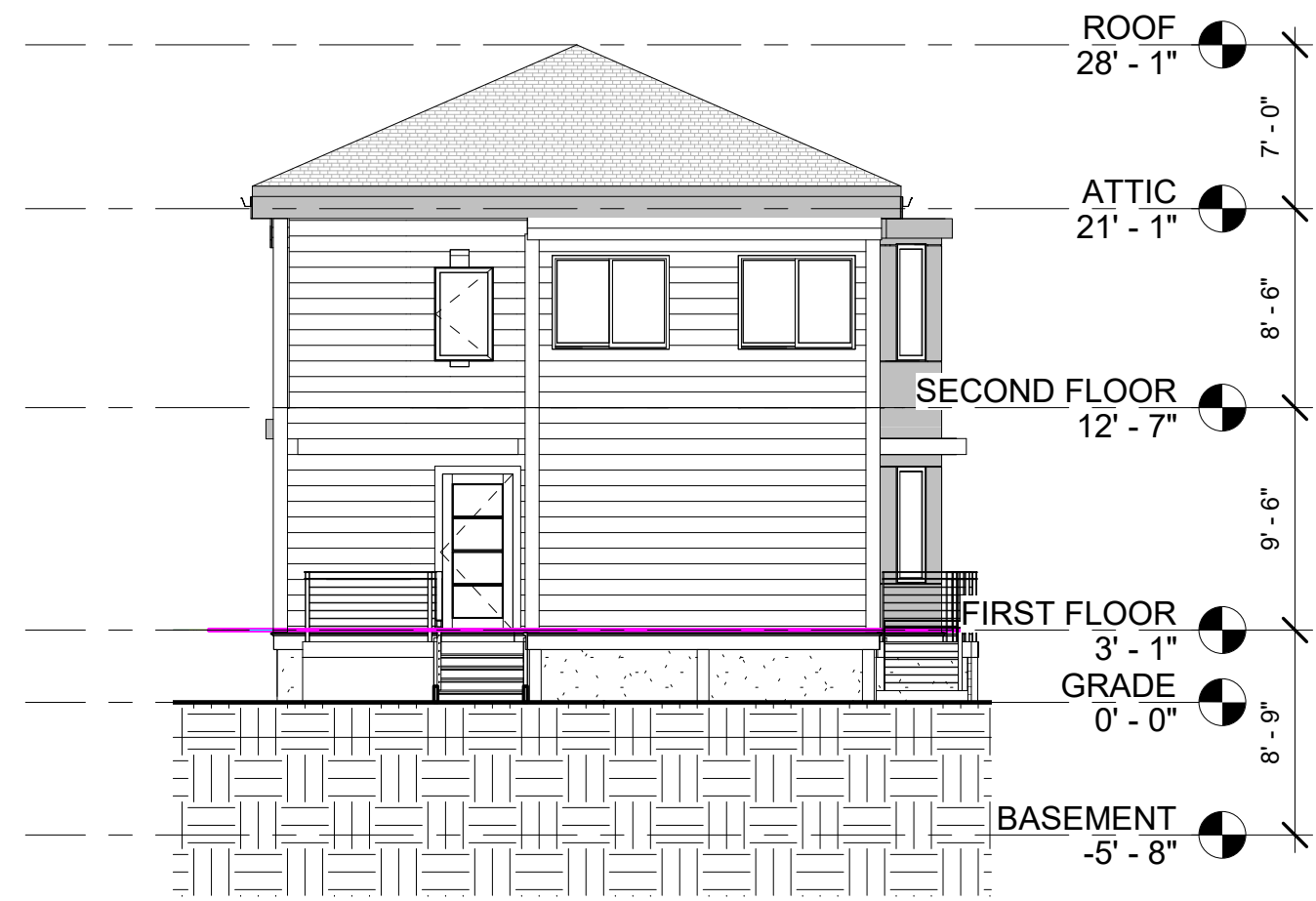
5 ROOF
1/8" = 1'-0"



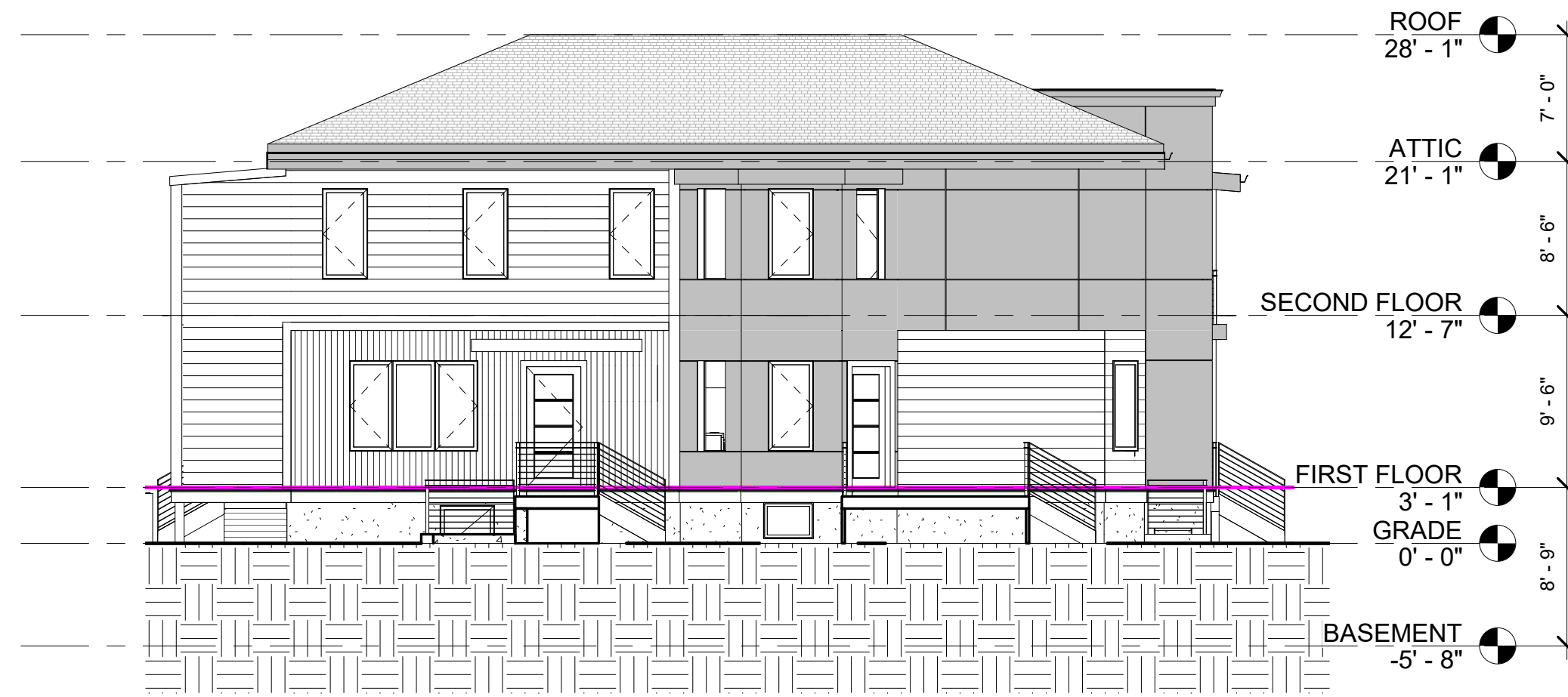
8 South Elevation
1/8" = 1'-0"



6 East Elevation
1/8" = 1'-0"



7 North Elevation
1/8" = 1'-0"








9 West Elevation
1/8" = 1'-0"

I:\TKG-SERVER\Draws\2020\18_Charlie_Liu_157-159 Chilton Street_S\03 Drawings\00_ARCH_SD_DD\2018_157-159 Chilton Street_EXTERIOR RENOVATION 2-24-2021.rvt 4/16/2021 4:45:06 PM

GENERAL FLOOR PLAN NOTES

1. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
2. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
3. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
4. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
5. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
6. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.

LEGEND

-  NEW WALL
-  EXISTING PARTITION TO REMAIN
-  WALL TYPE
-  DEMOLISHED
-  SCOPE OF WORK

PROJECT NAME

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT

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REGISTRATION



Project number 20018
Date 2/26/2021
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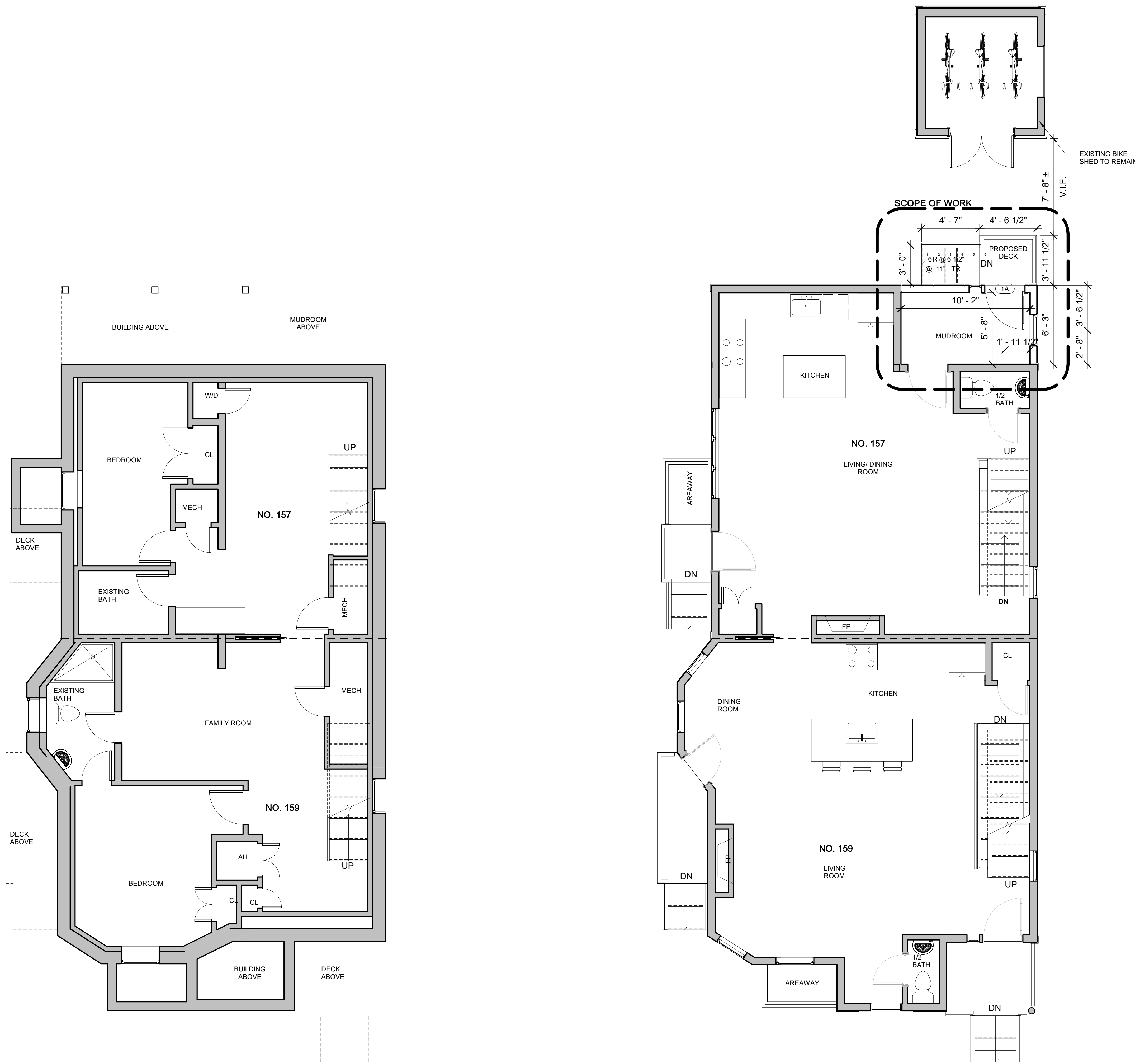
REVISIONS

No.	Description	Date

**PROPOSED
BASEMENT &
FIRST FLOOR
PLAN**

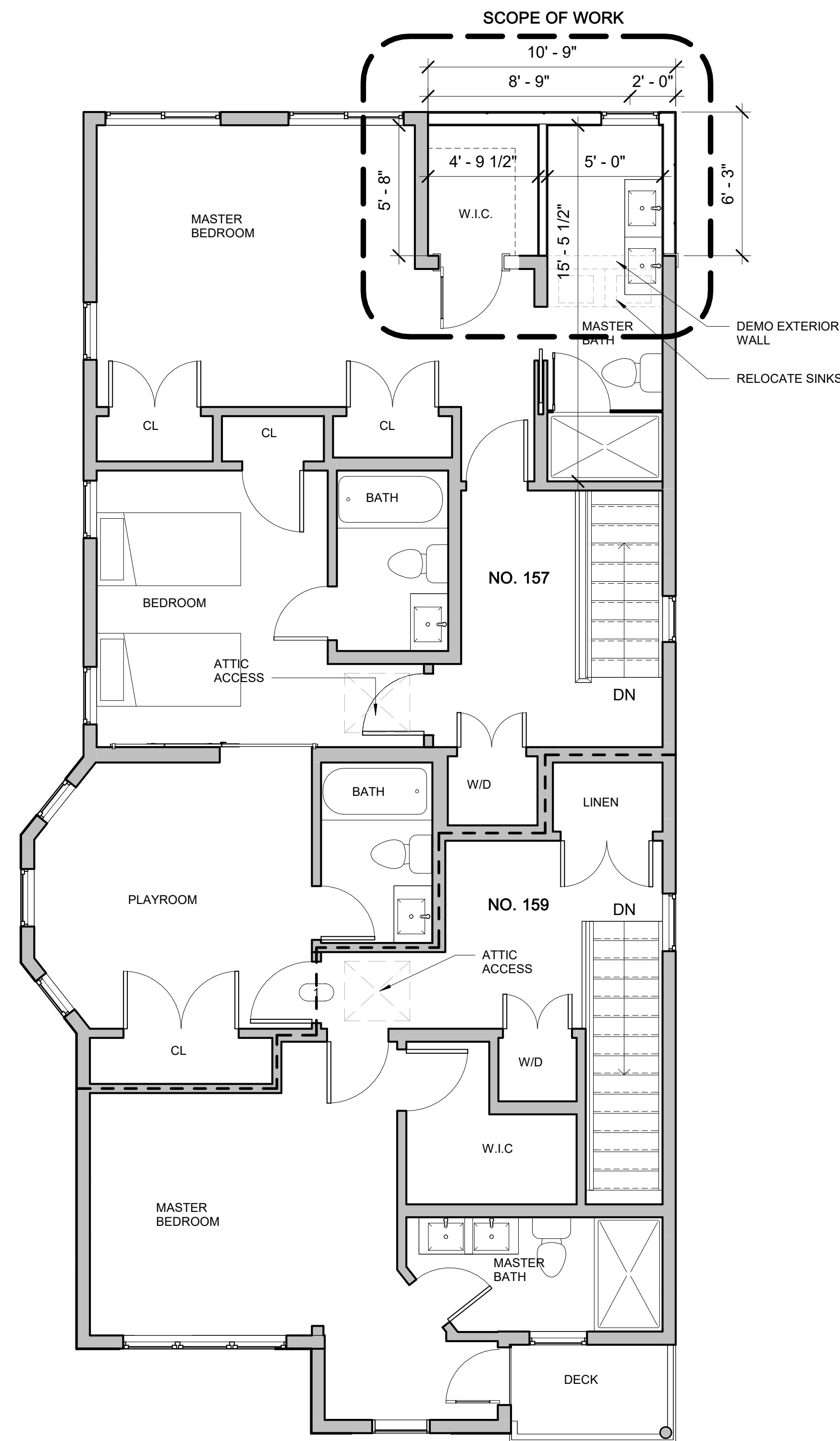
A-101

157-159 CHILTON STREET
RESIDENCES

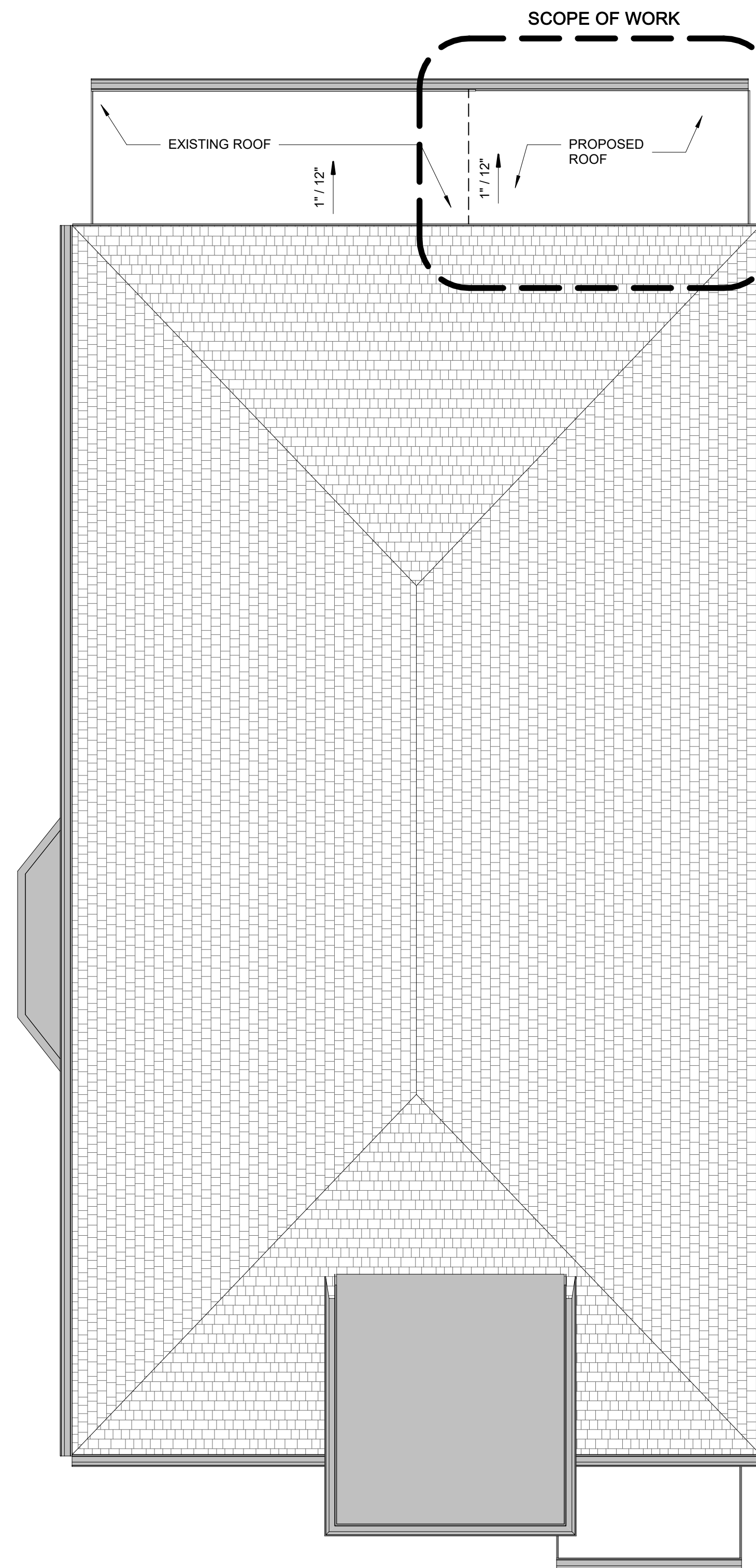


② BASEMENT
1/4" = 1'-0"

① FIRST FLOOR
1/4" = 1'-0"



① SECOND FLOOR
1/4" = 1'-0"



② PROPOSED ROOF
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
2. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
3. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
4. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
5. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
6. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.

LEGEND

- NEW WALL
- EXISTING PARTITION TO REMAIN
- WALL TYPE
- DEMOLISHED
- SCOPE OF WORK

PROJECT NAME

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

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Date 2/26/2021
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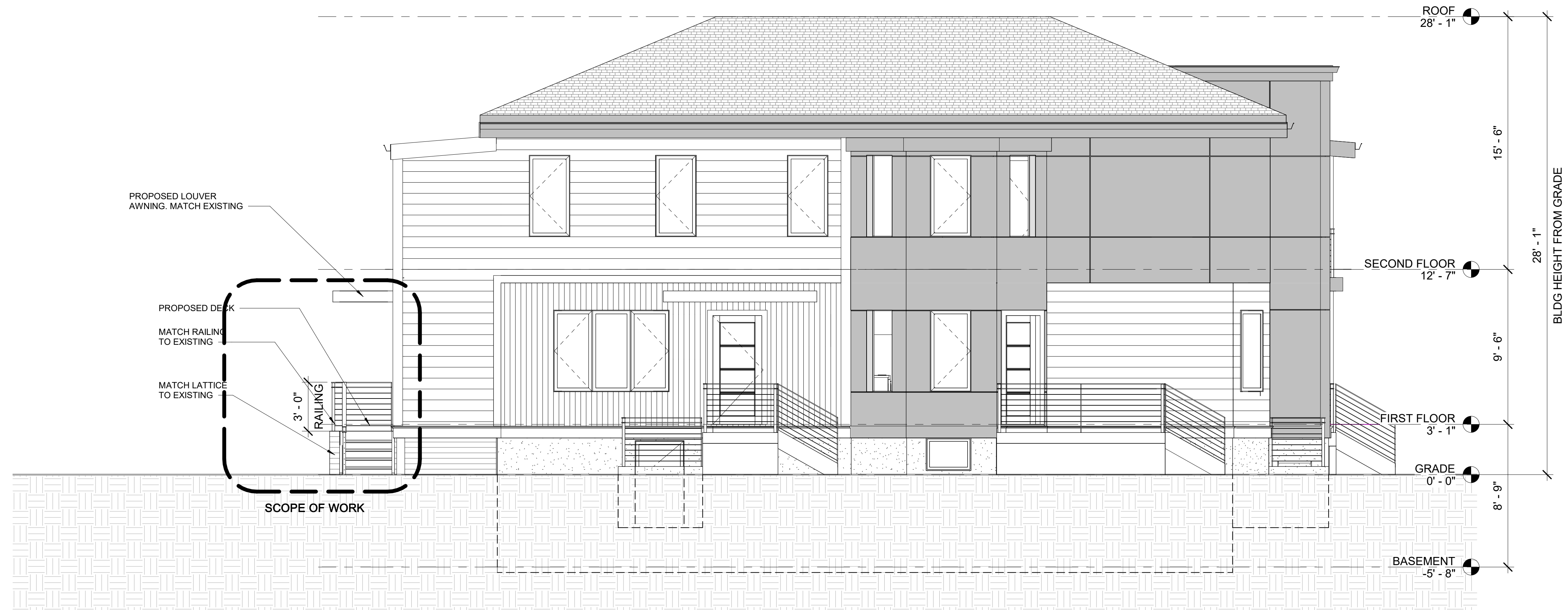
REVISIONS

No.	Description	Date

PROPOSED SECOND & ROOF PLAN

A-102

157-159 CHILTON STREET
RESIDENCES



4 Proposed West Elevation
1/4" = 1'-0"



3 Proposed South Elevation
1/4" = 1'-0"

PROJECT NAME

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

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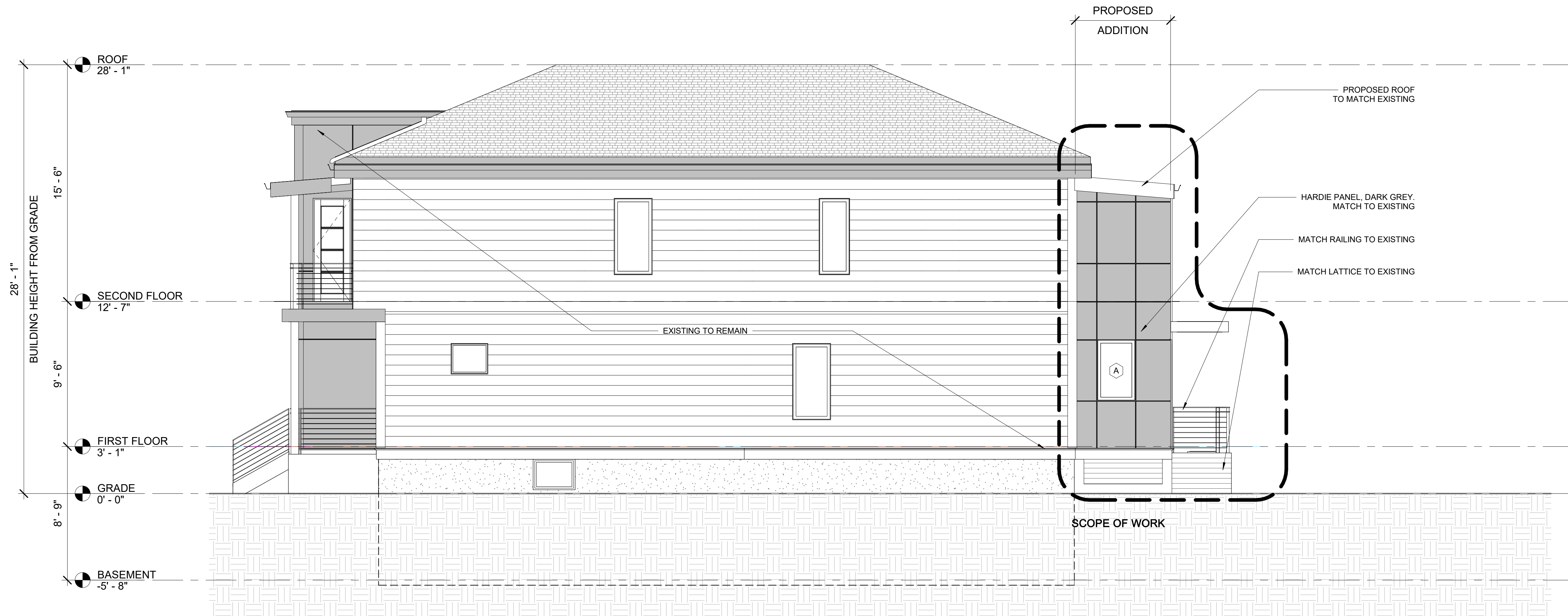
REVISIONS

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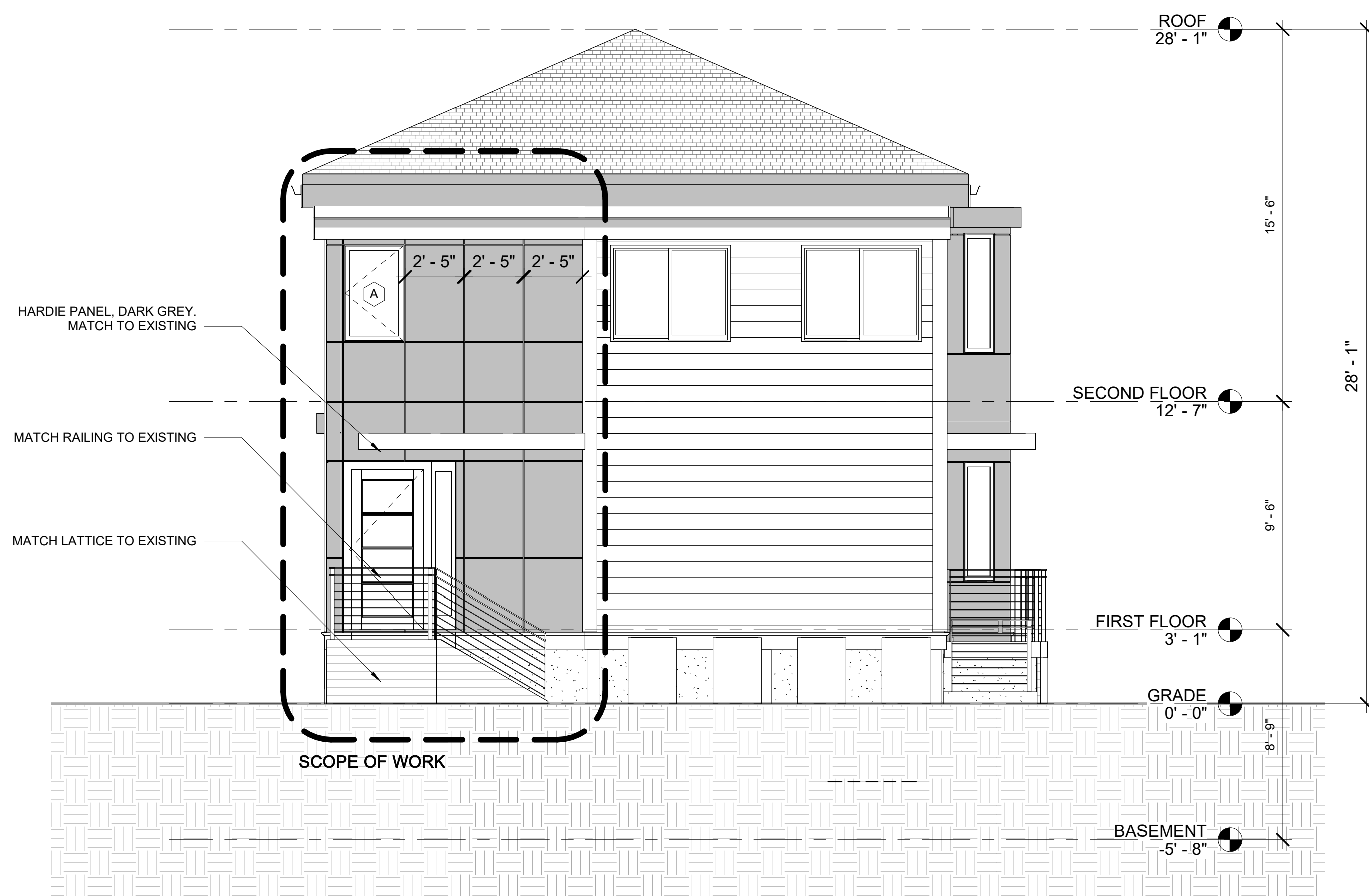
PROPOSED ELEVATIONS

A-300

157-159 CHILTON STREET RESIDENCES



① Proposed East Elevation
1/4" = 1'-0"



② Proposed North Elevation
1/4" = 1'-0"

PROJECT NAME
157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT
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REVISIONS

No.	Description	Date

PROPOSED ELEVATIONS

A-301
157-159 CHILTON STREET RESIDENCES

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

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REGISTRATION



Project number	20018
Date	2/26/2021
Drawn by	Author
Checked by	Checker
Scale	1" = 1'-0"

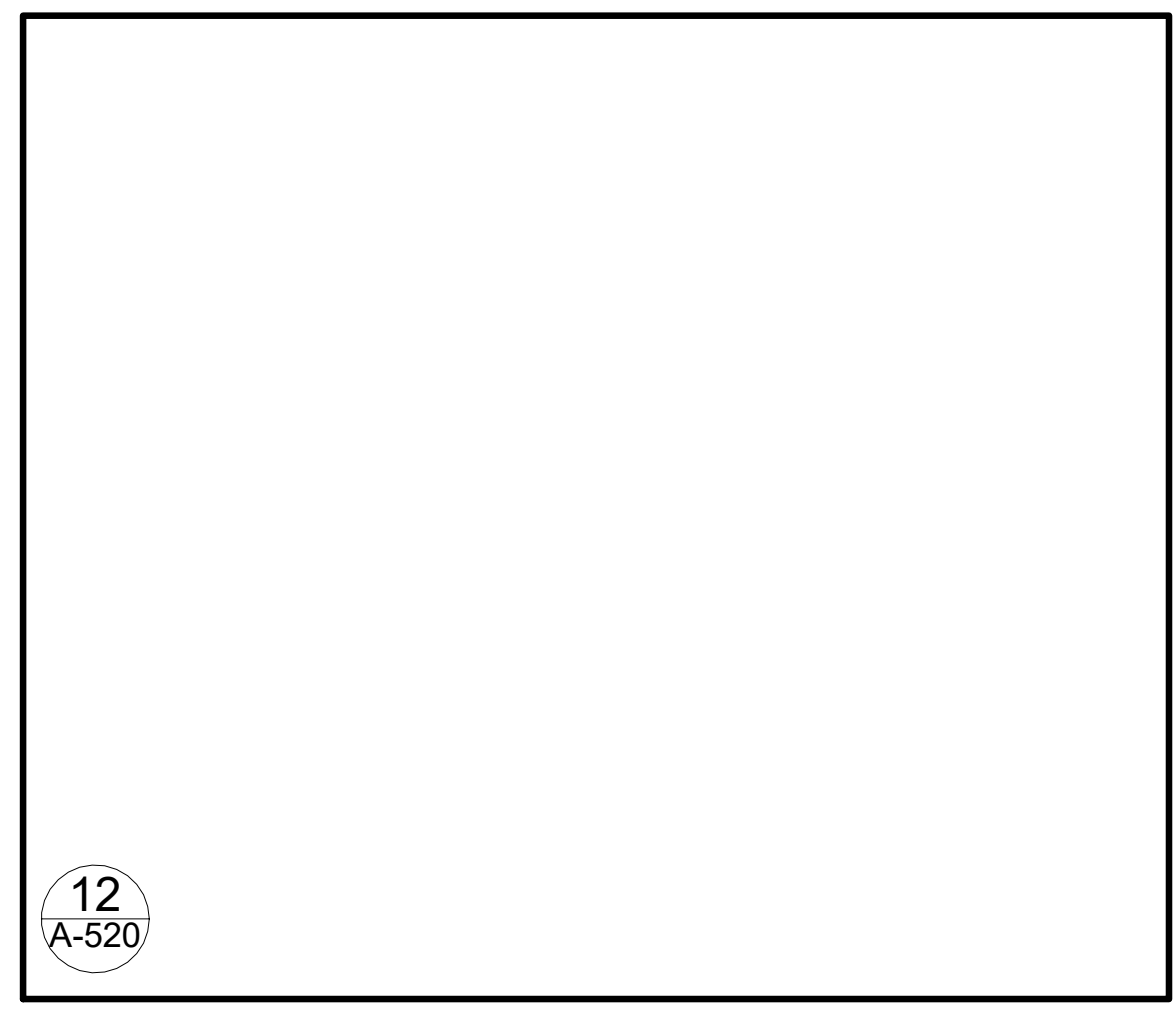
REVISIONS

No.	Description	Date

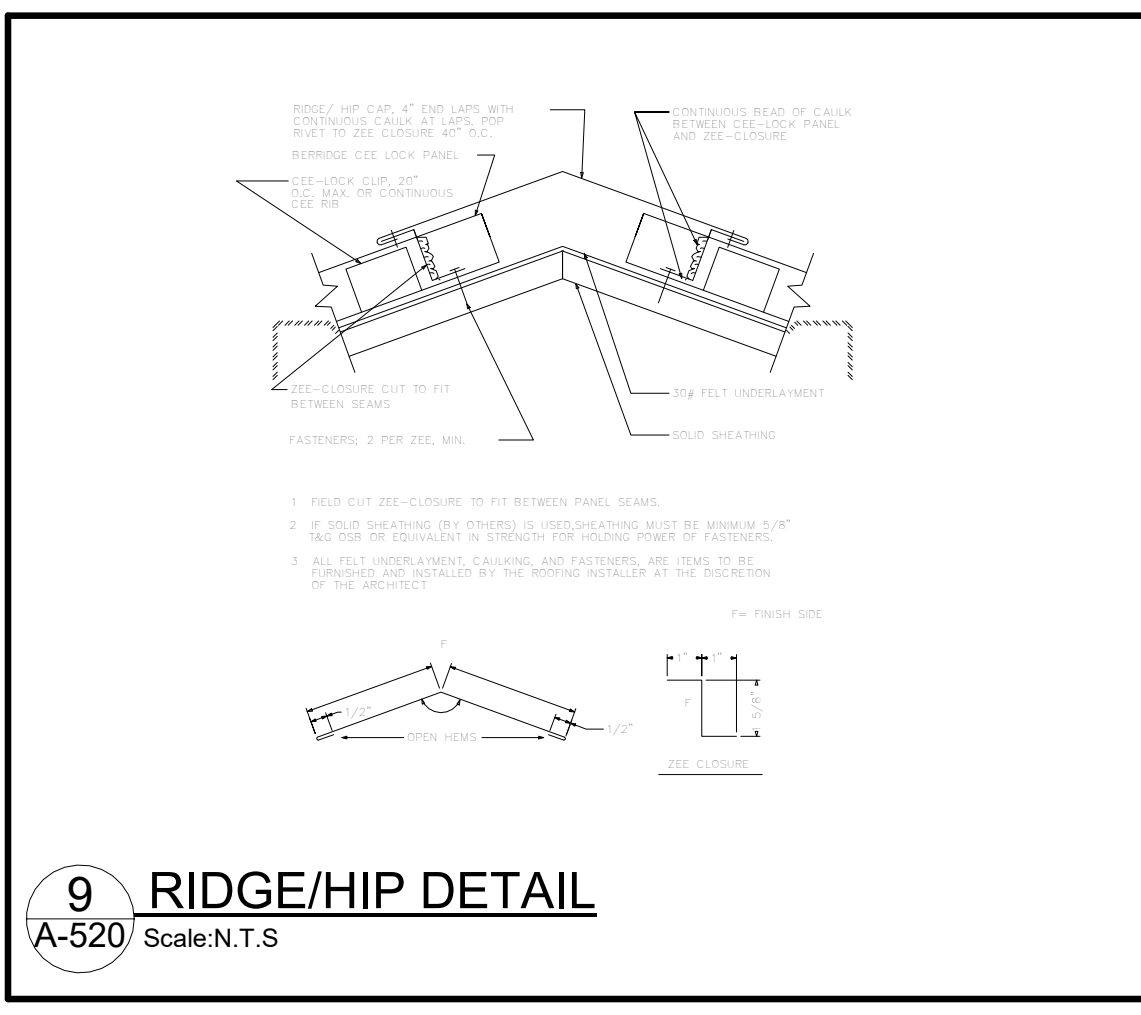
TYPICAL SLOPED ROOF DETAILS

A-630

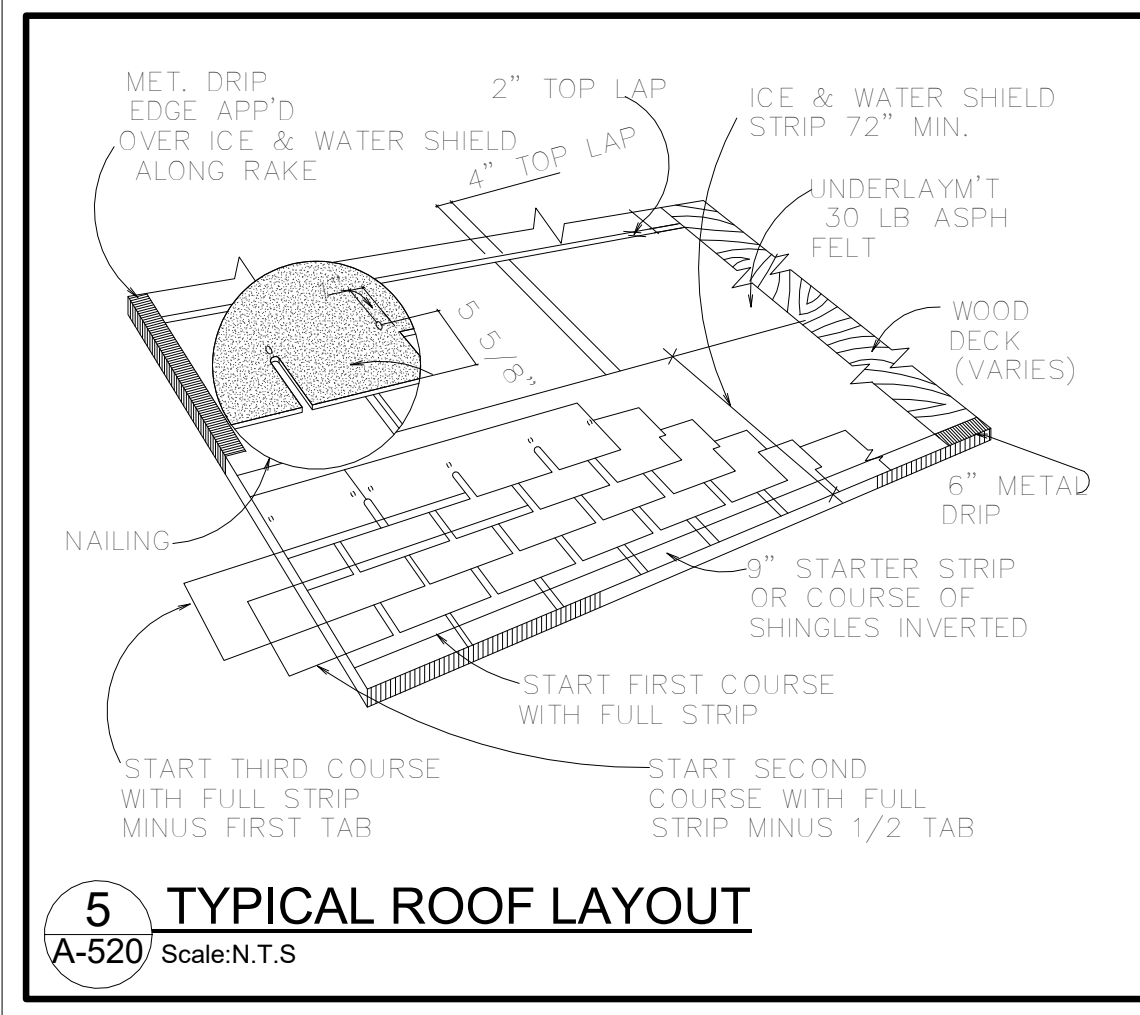
157-159 CHILTON STREET RESIDENCES



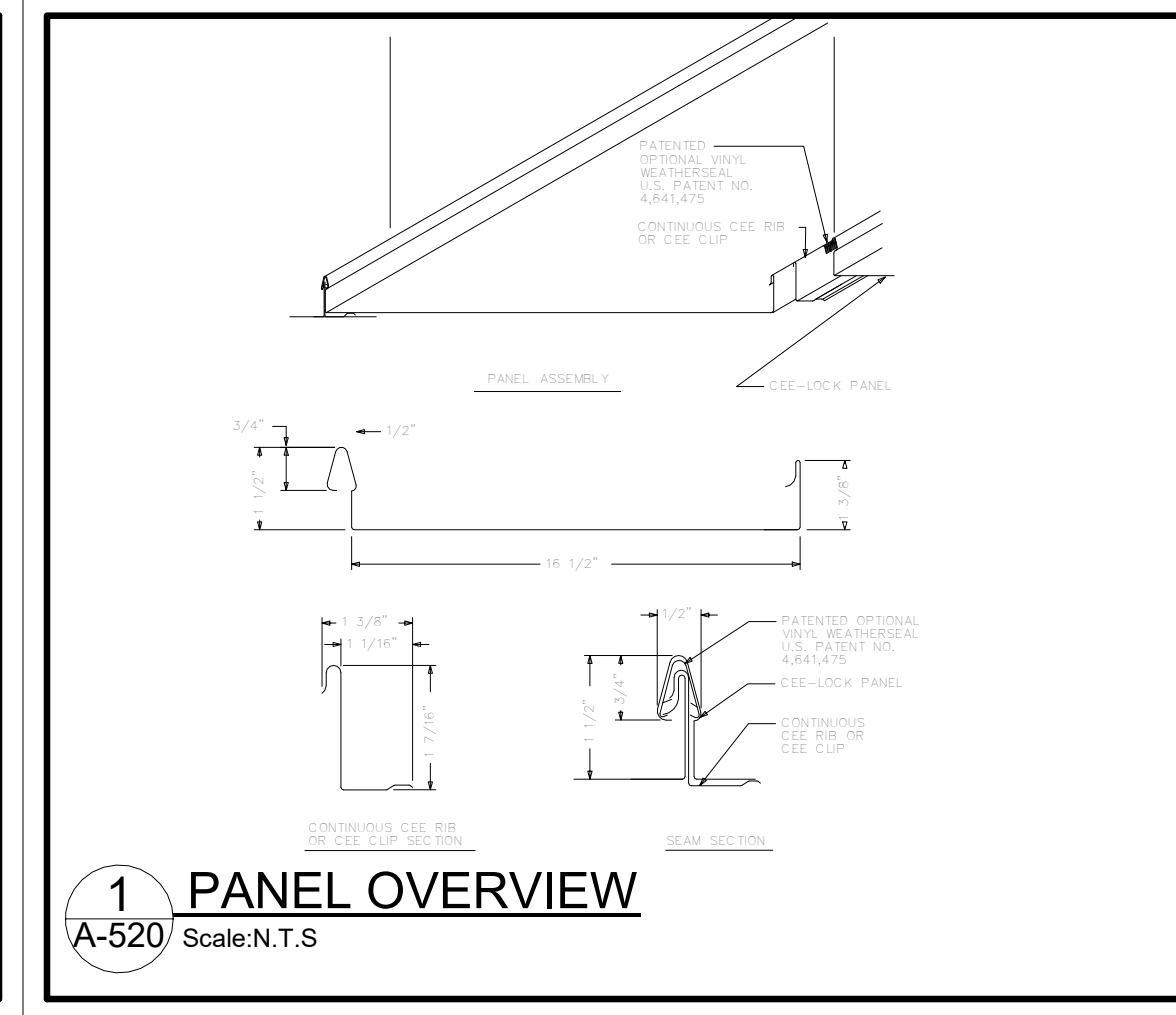
12
A-520



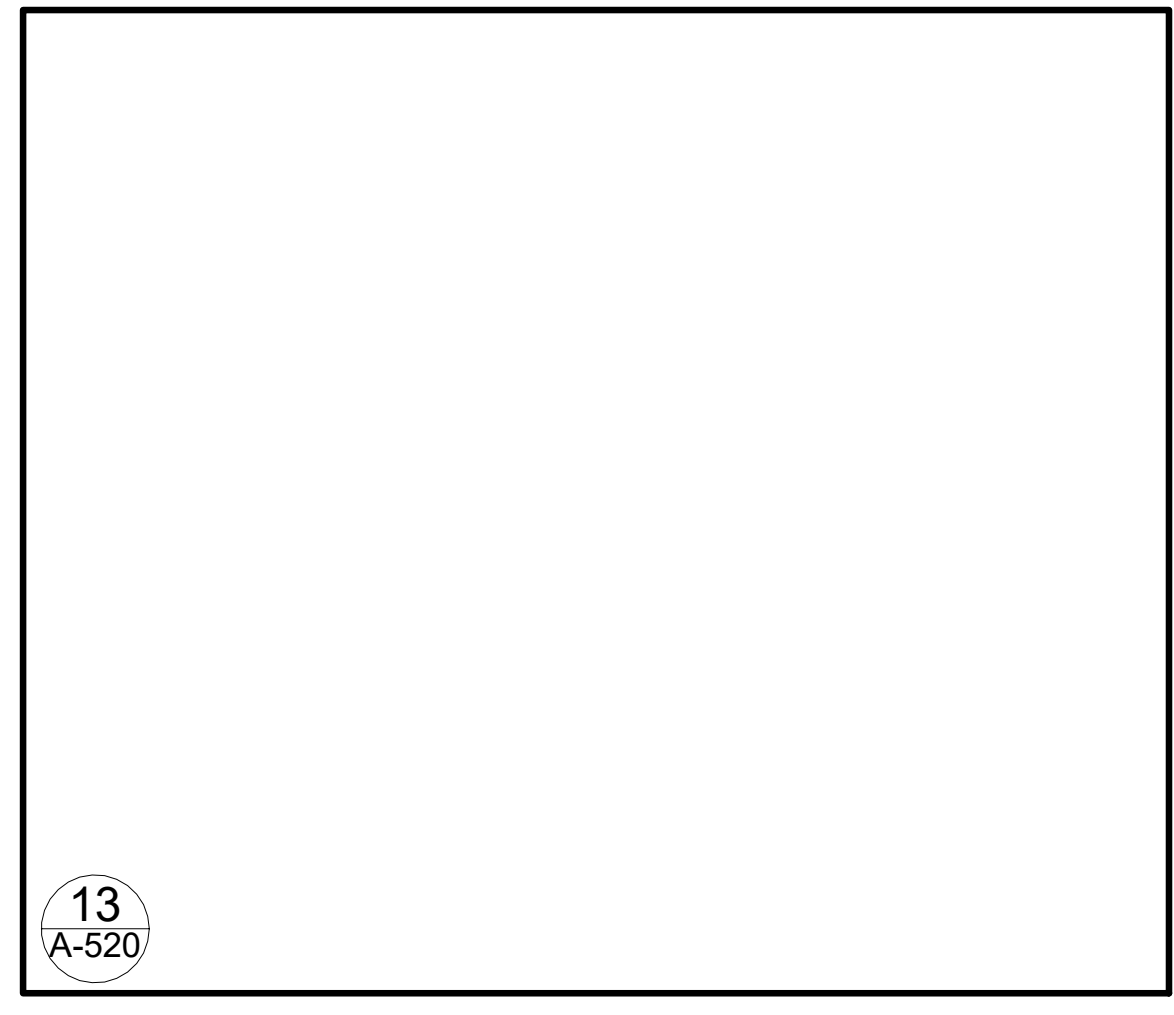
9 RIDGE/HIP DETAIL
A-520 Scale:N.T.S.



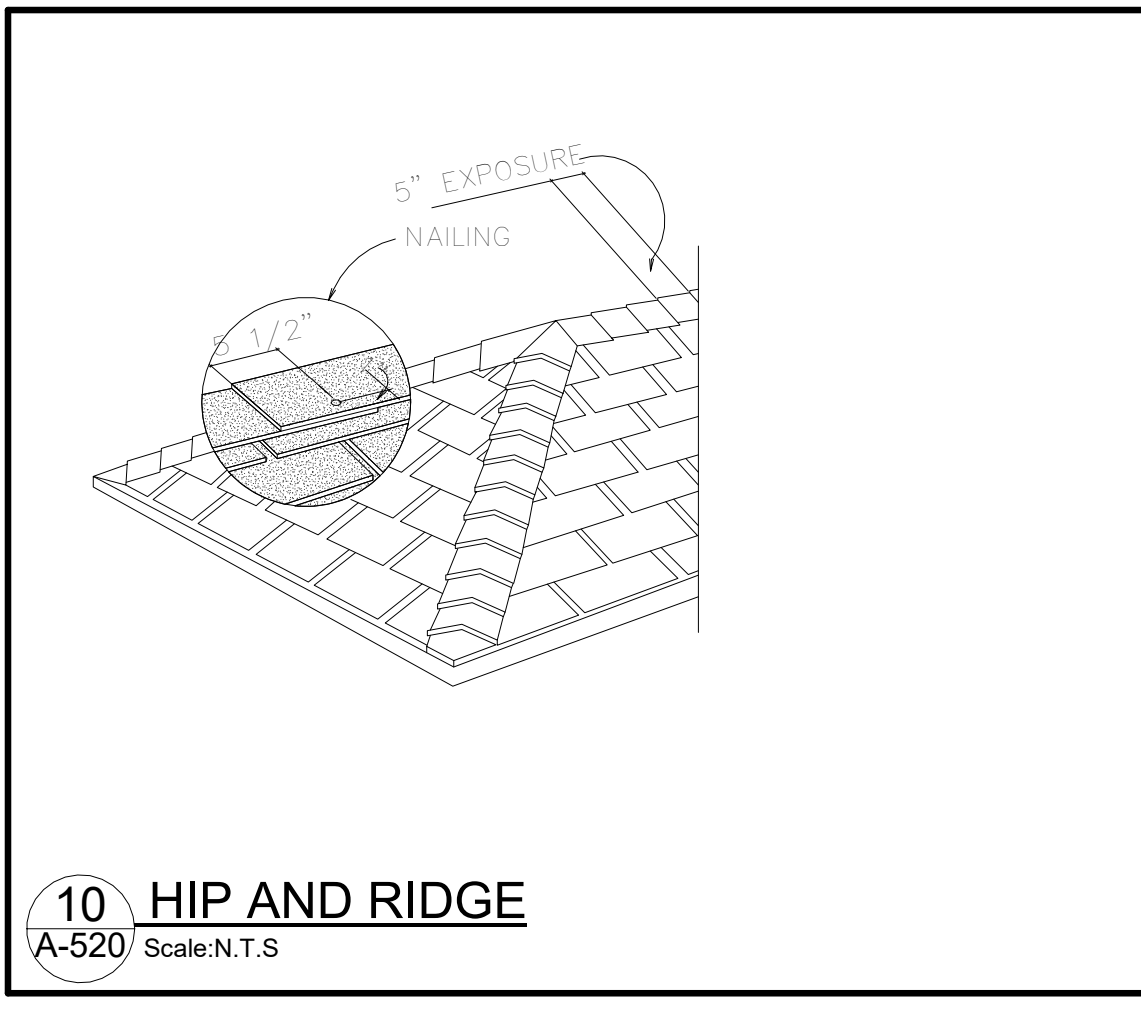
5 TYPICAL ROOF LAYOUT
A-520 Scale:N.T.S.



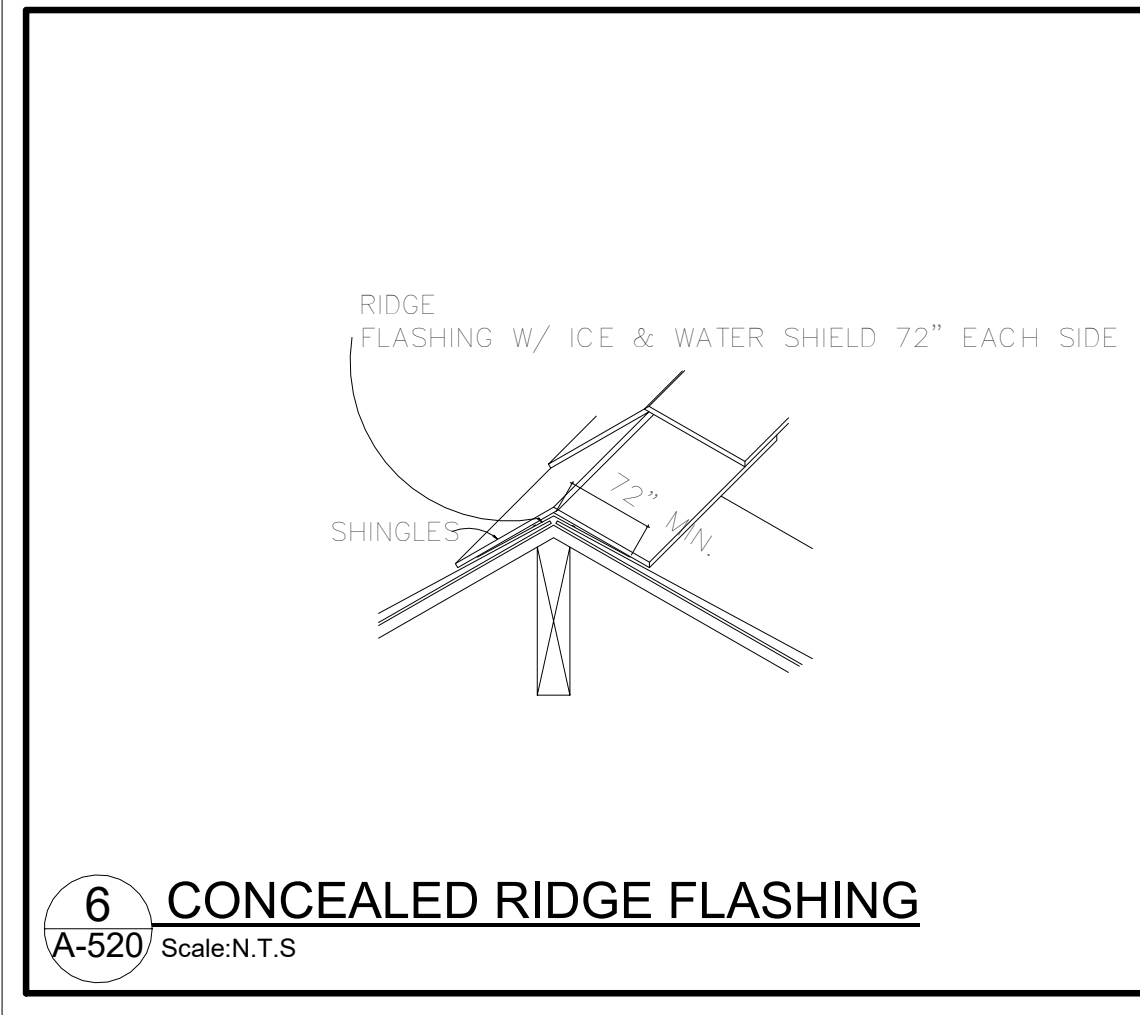
1 PANEL OVERVIEW
A-520 Scale:N.T.S.



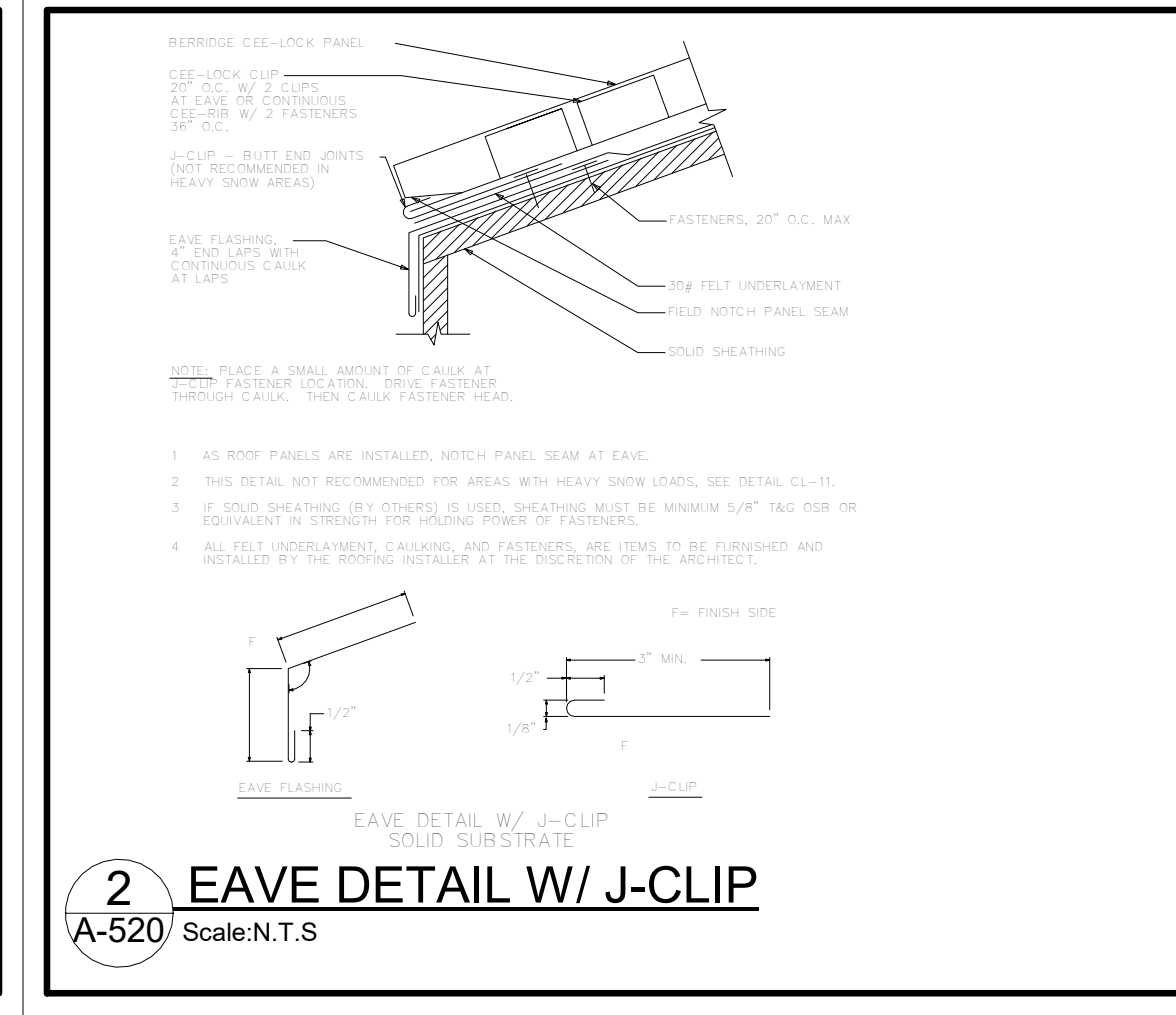
13
A-520



10 HIP AND RIDGE
A-520 Scale:N.T.S.



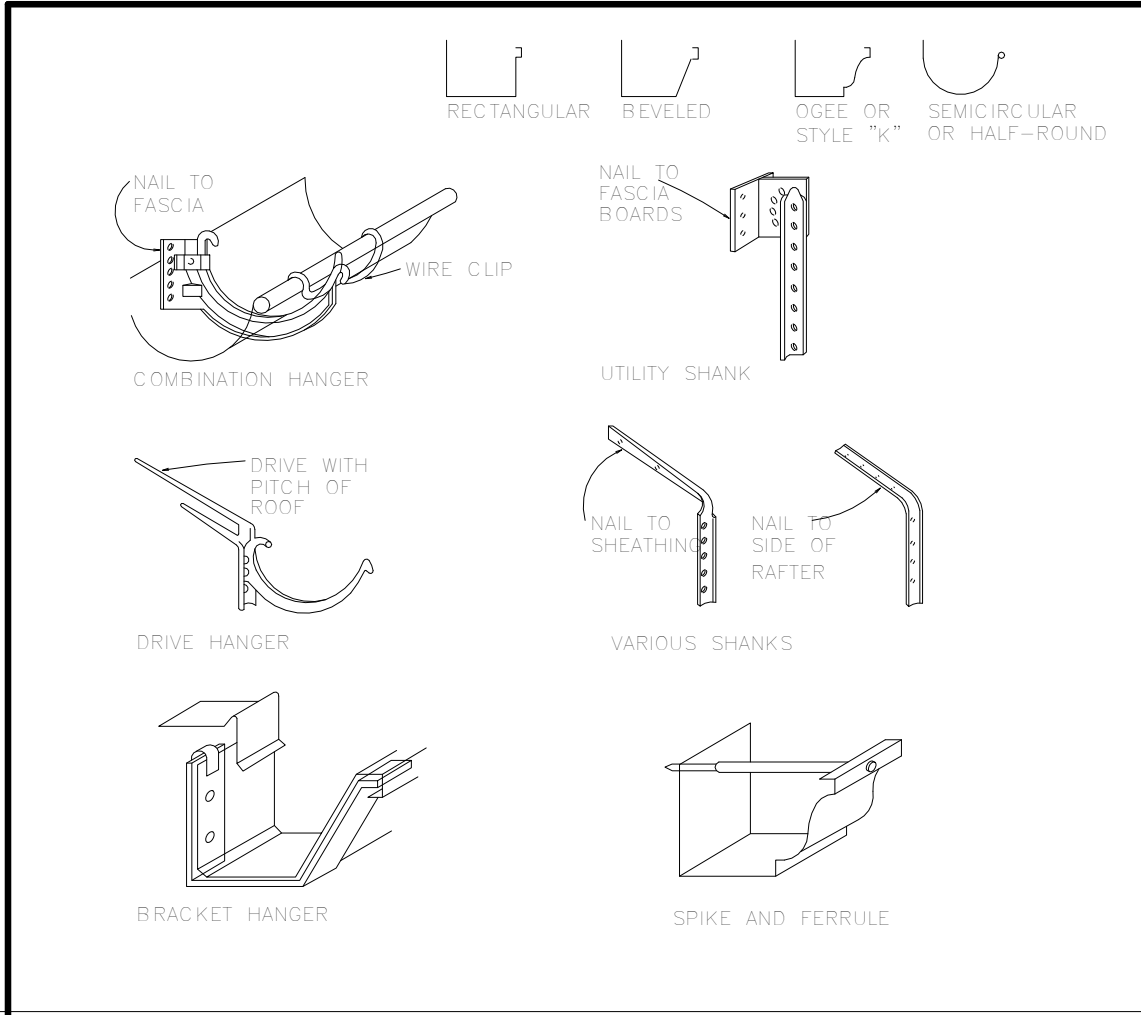
6 CONCEALED RIDGE FLASHING
A-520 Scale:N.T.S.



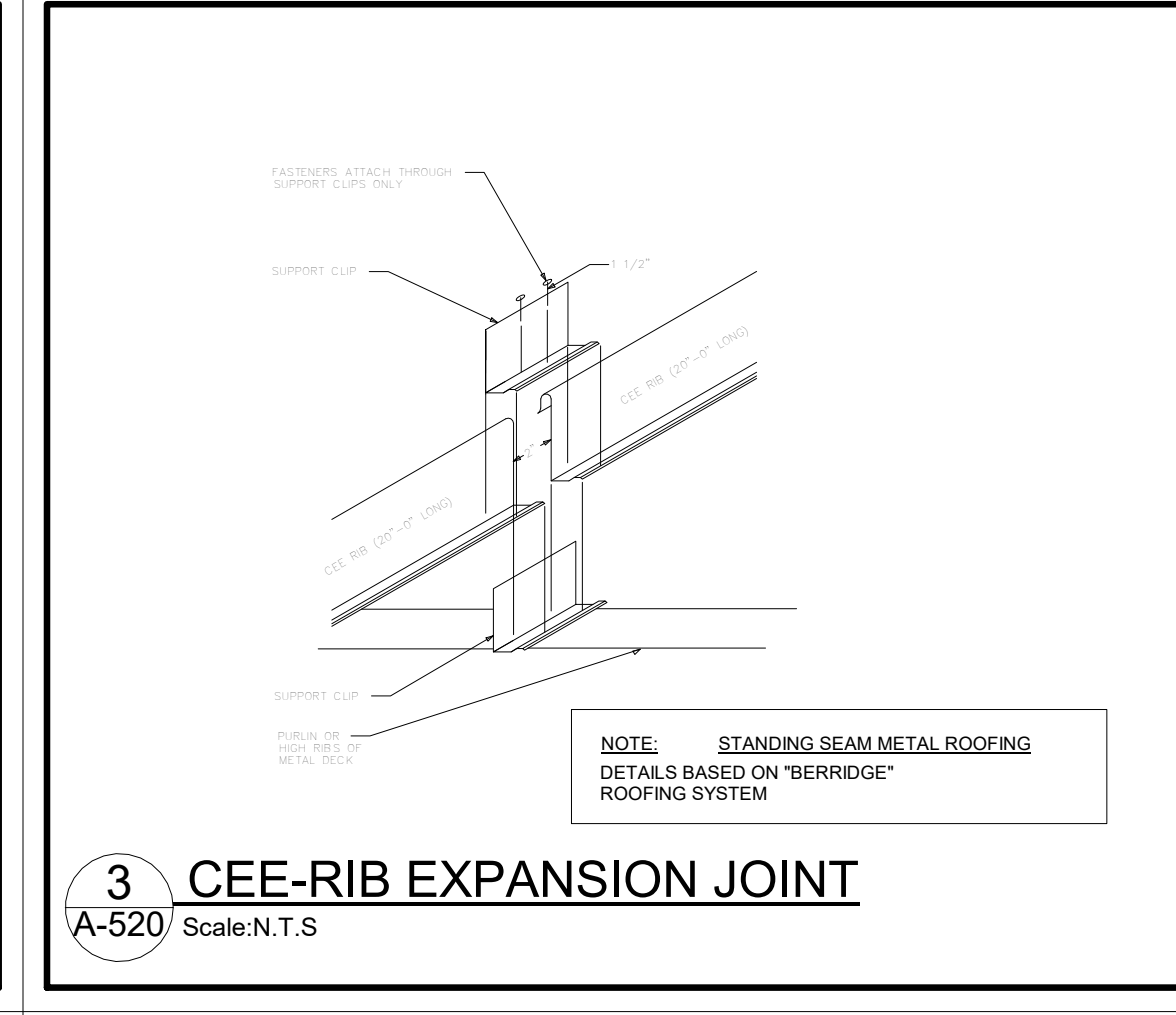
2 EAVE DETAIL W/ J-CLIP
A-520 Scale:N.T.S.



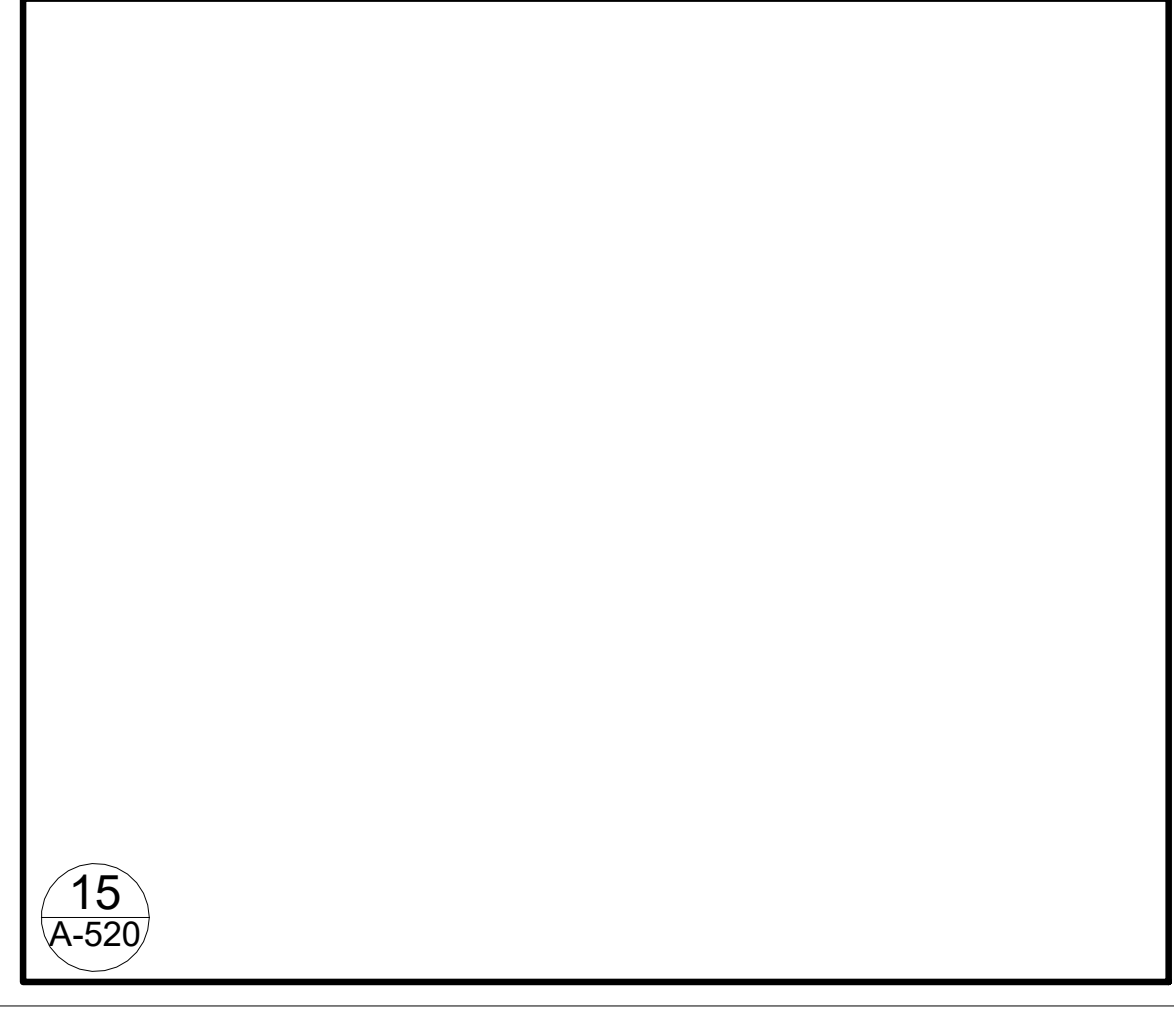
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A-520



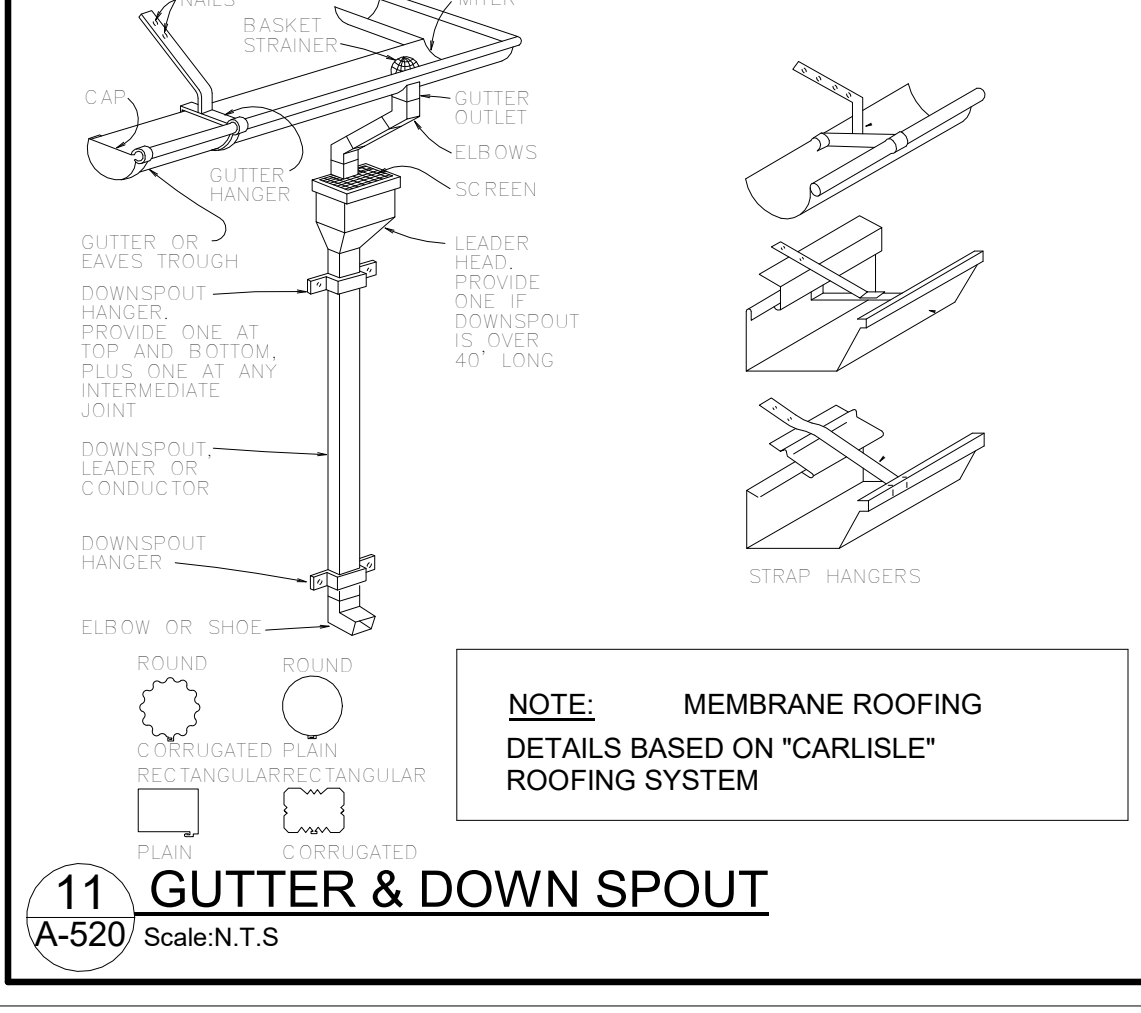
7 GENERIC DRIFT EDGE
A-520 Scale:N.T.S.



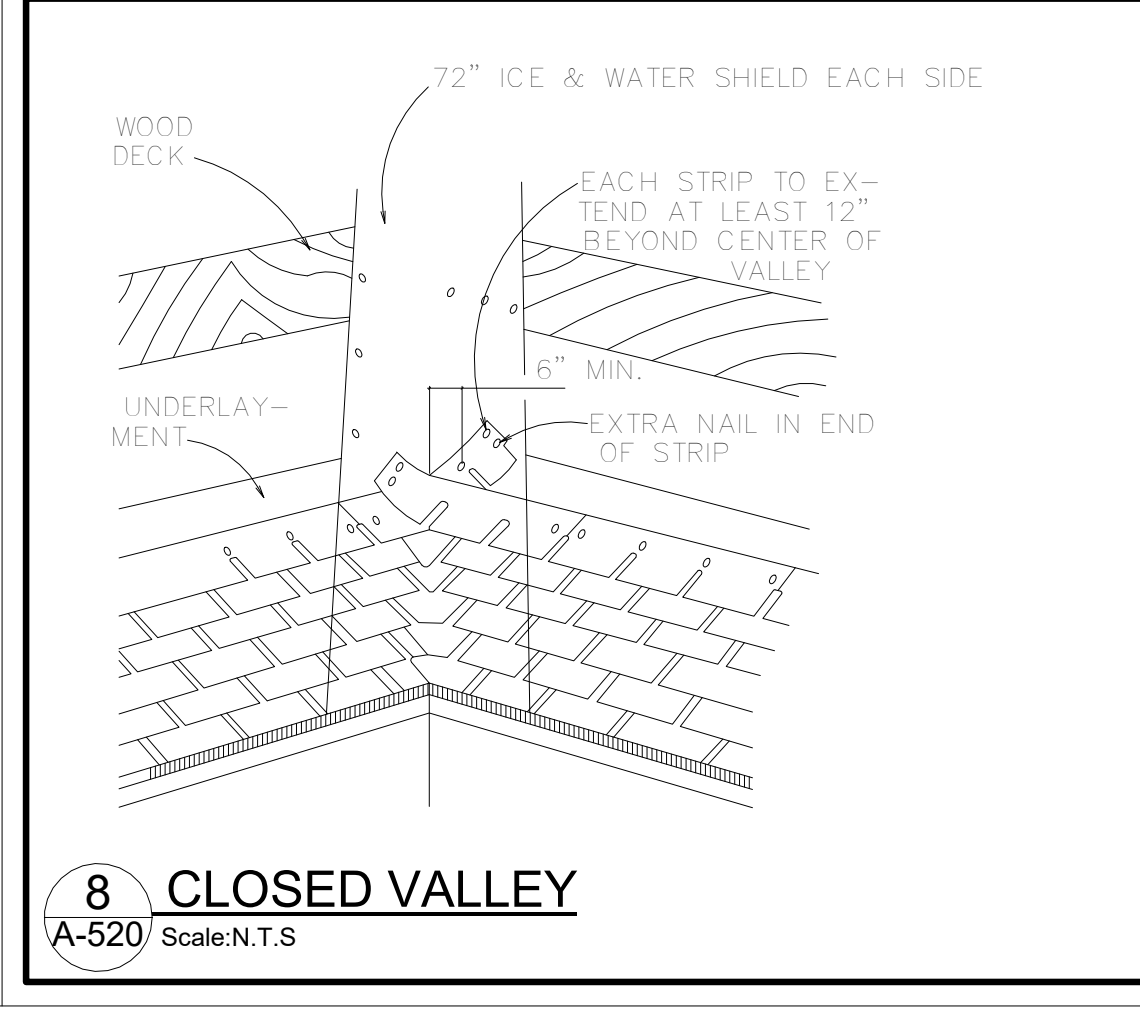
3 CEE-RIB EXPANSION JOINT
A-520 Scale:N.T.S.



11
A-520



8 CLOSED VALLEY
A-520 Scale:N.T.S.



4 VALLEY FLASHING
A-520 Scale:N.T.S.

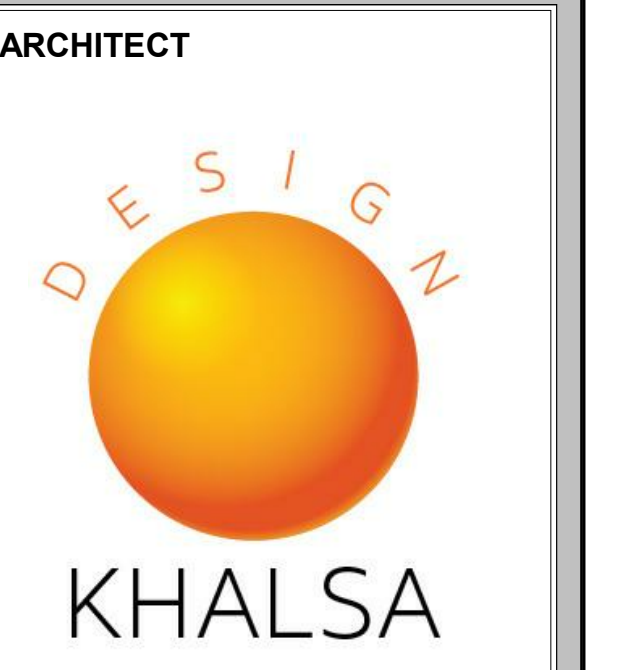
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2/26/2021 11:46:15 AM

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
157-159 CHILTON STREET, CAMBRIDGE MA 02138

CLIENT
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Project number	20018
Date	2/26/2021
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS

No.	Description	Date

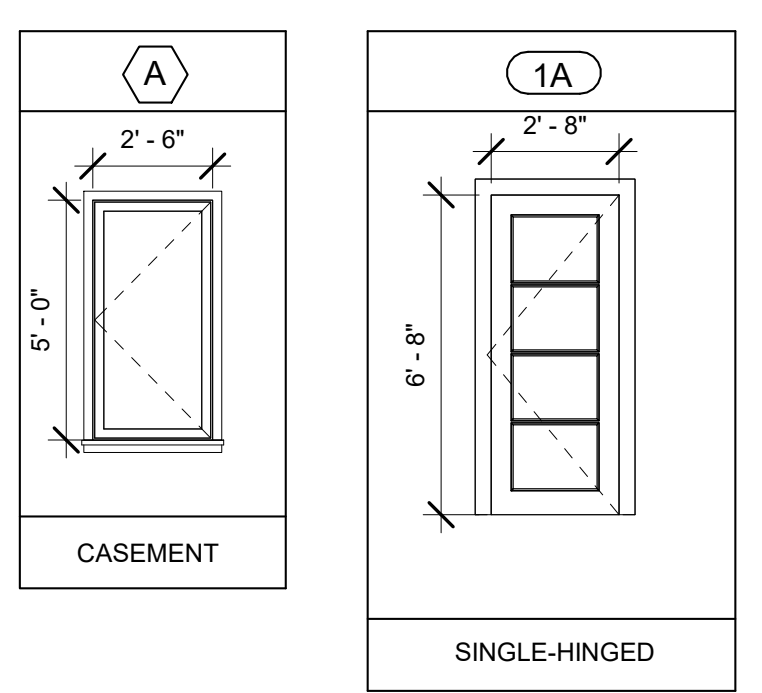
DOOR & WINDOW SCHEDULE

A-900

157-159 CHILTON STREET RESIDENCES

DOOR SCHEDULE

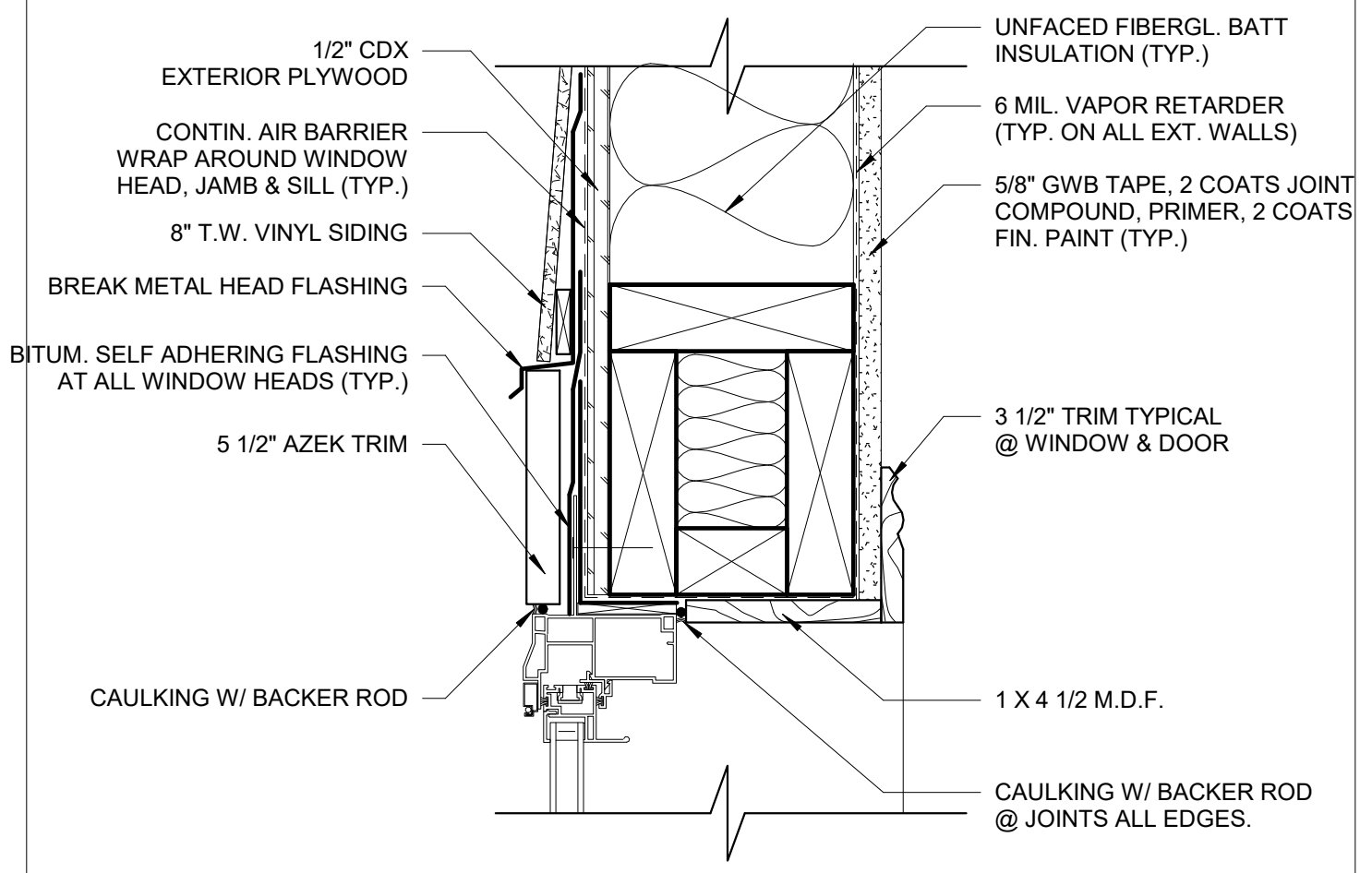
Mark	LOCATION	DOOR-STYLE	FRAME MATERIAL	DOOR MATERIAL	WIDTH	HEIGHT	FIRE-RATING	DETAILS		
								HEAD	JAMB	SILL
1A	SIDE ENTRY	SINGLE-HINGED	S.C. W.D.	INSUL FIBERGLASS	2' - 8"	6' - 8"		6/A-900	5/A-900	4/A-900



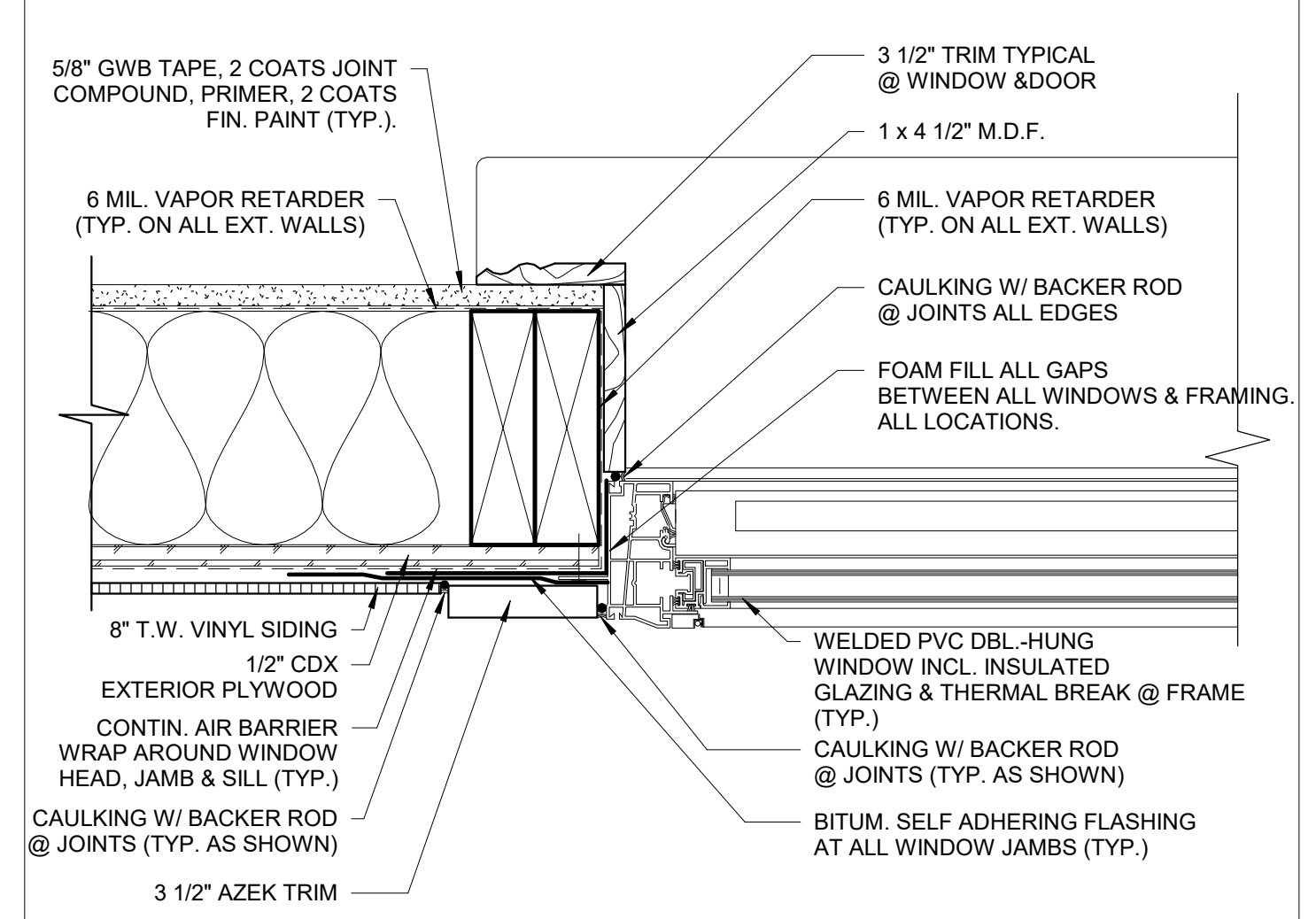
WINDOW SCHEDULE

TYPE MARK	STYLE	ROUGH OPENING		MATERIAL	DETAIL			HEAD HEIGHT	SILL HEIGHT
		WIDTH	HEIGHT		HEAD	JAMB	SILL		
A	CASEMENT	2' - 6"			3/A-900	2/A-900	1/A-900		2' - 0"

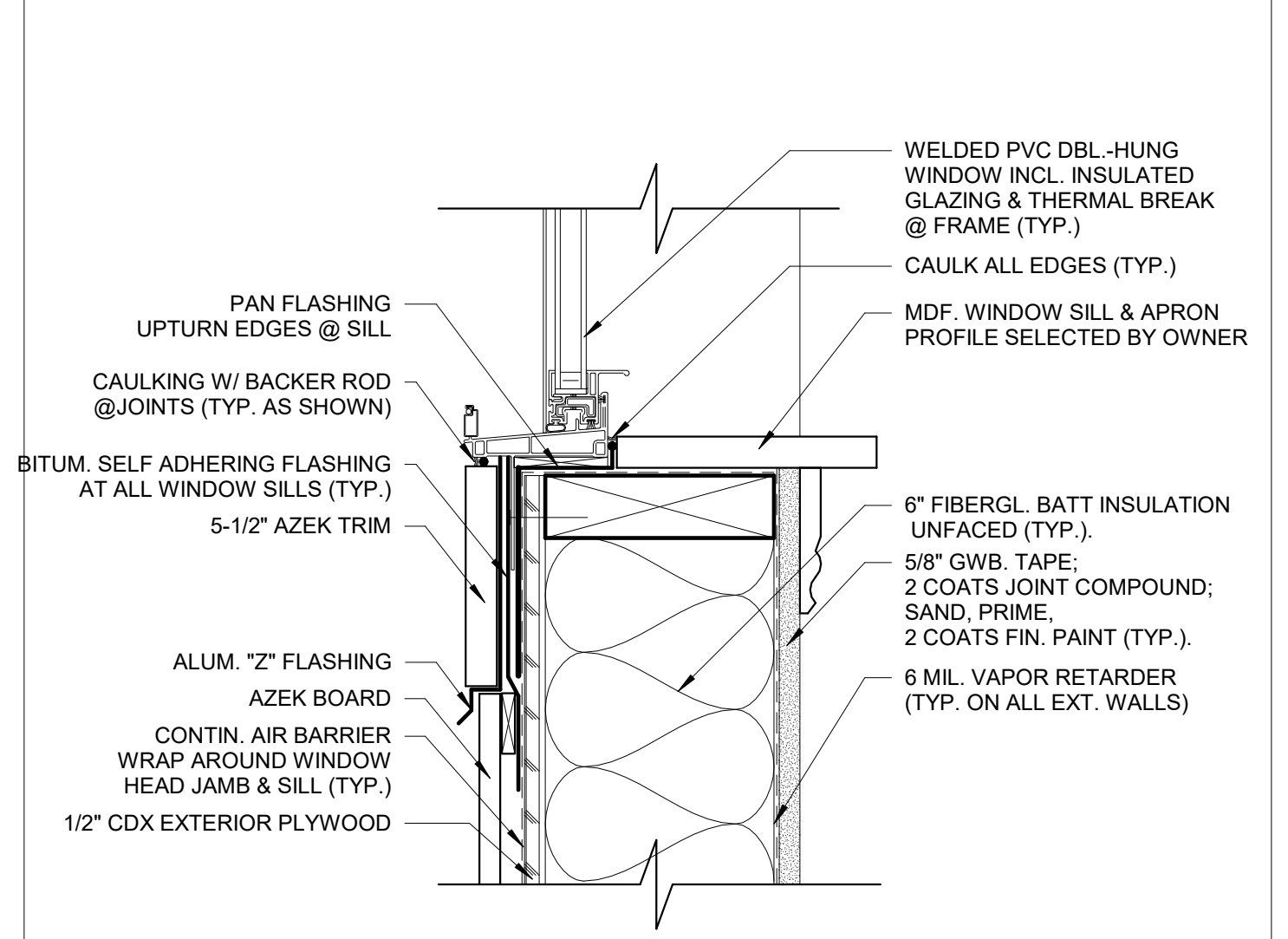
- WINDOW NOTES:**
- 1) CONTRACTOR TO VERIFY SIZES OF EXISTING WINDOW OPENINGS TO REMAIN, PRIOR TO ORDERING WINDOWS.
 - 2) BEDROOM WINDOWS TO COMPLY WITH EMERGENCY AND RESCUE OPENINGS MINIMUM AREA OF 5.7 SF (AND 5.0 SF IF GRADE FLOOR OPENING) AND MINIMUM HEIGHT OF 24" & MINIMUM WIDTH OF 20" AS REQUIRED BY THE IBC 2015 SECTION 1030.2 & 1030.2.1, VERIFY COMPLIANCE WITH SELECTED MANUFACTURER PRIOR TO ORDERING
 - 3) ALL WINDOWS THAT HAVE OPENINGS LESS THAN 36" ABOVE FINISH FLOOR AND MORE THAN 72 INCHES ABOVE FINISHED GRADE SHALL HAVE A WINDOW OPENING CONTROL DEVICE. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY EMERGENCY ESCAPE AND RESCUE OPENING.
 - 4) REFER TO ELEVATIONS FOR DIRECTION OF SWING



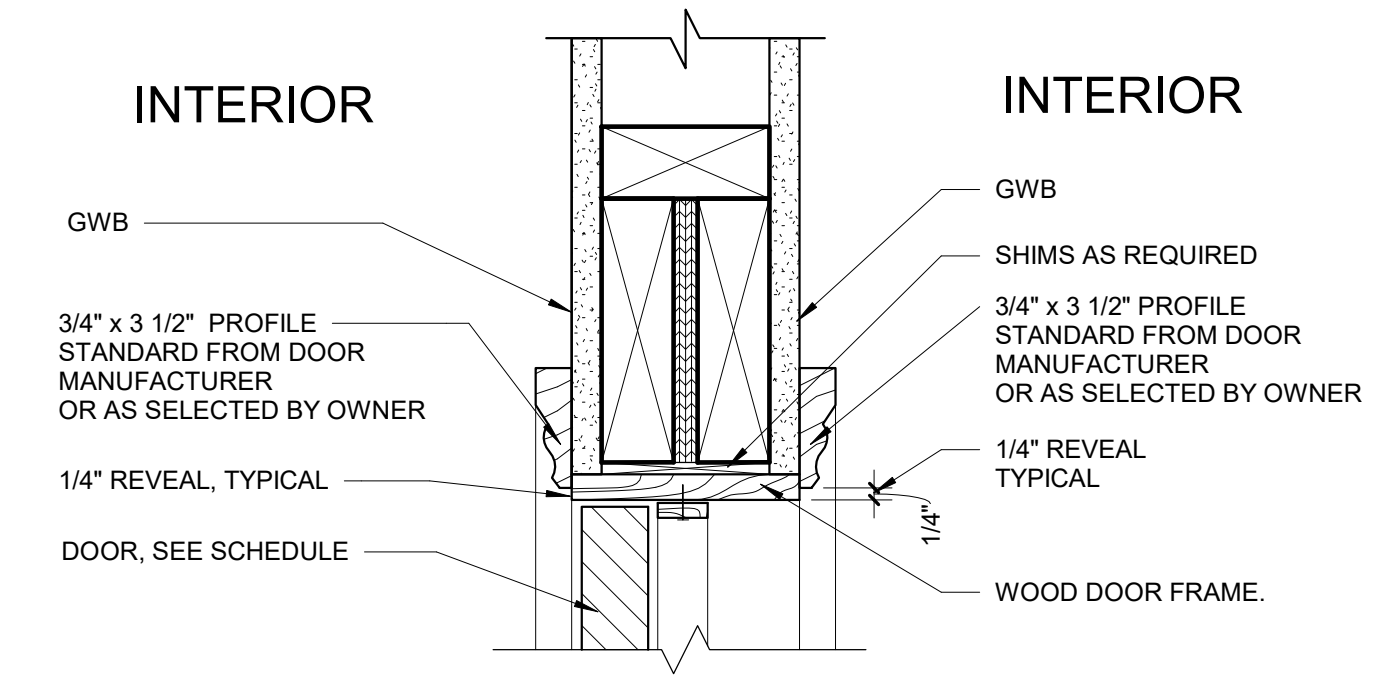
3 WINDOW HEAD DETAIL
A-900 Scale: 3"=1'-0"



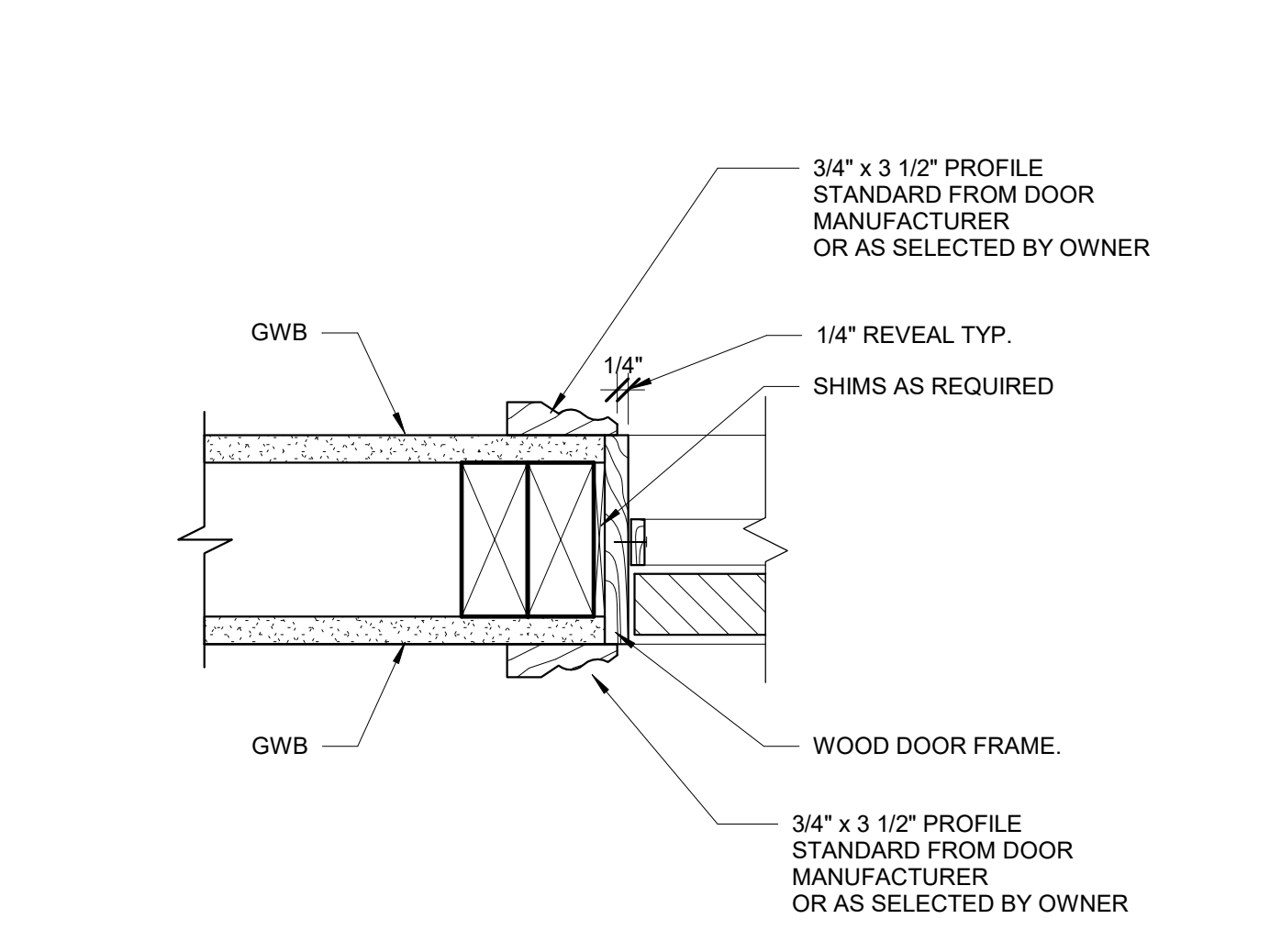
2 WINDOW JAMB DETAIL
A-900 Scale: 3"=1'-0"



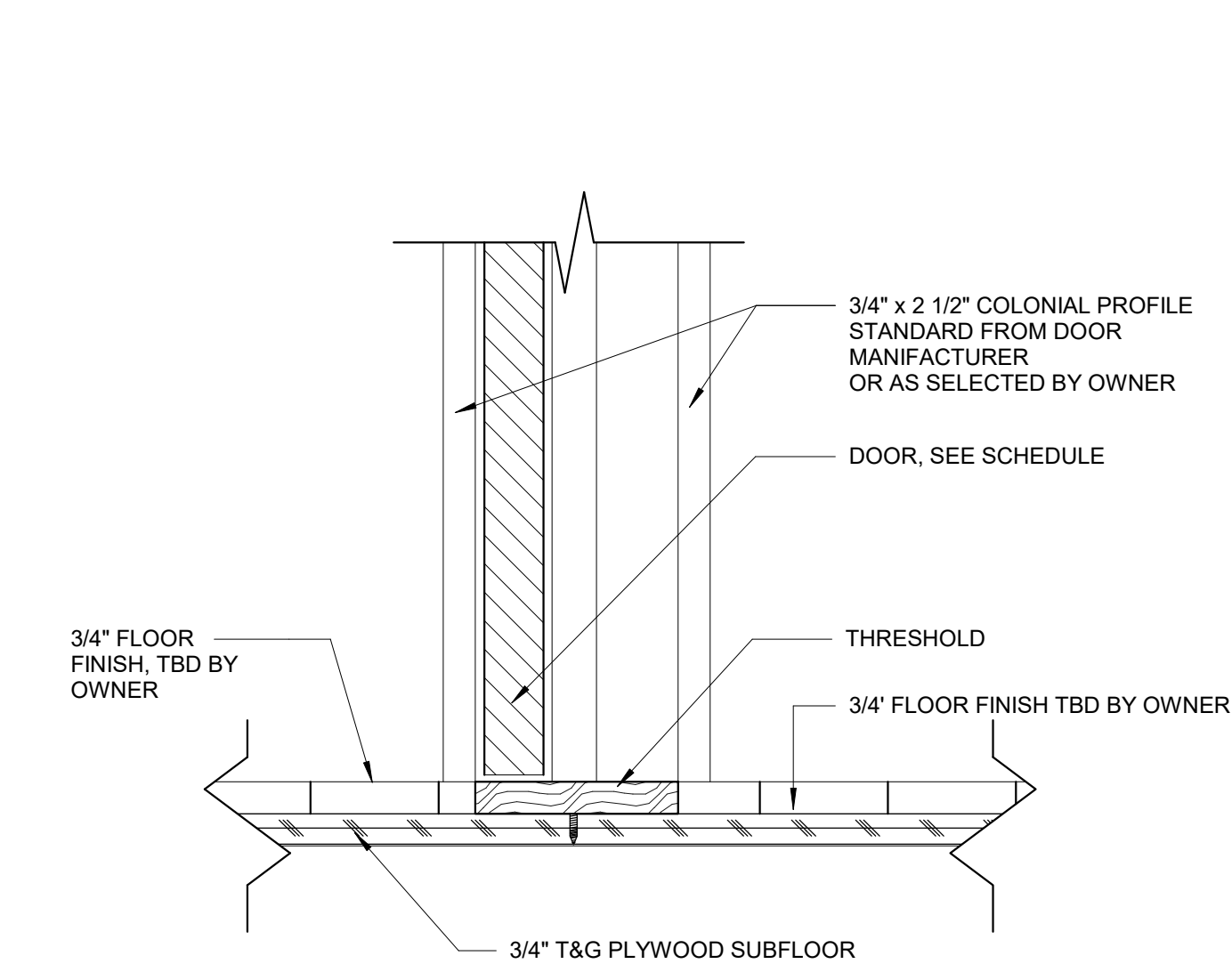
1 WINDOW SILL DETAIL
A-900 Scale: 3"=1'-0"



6 INTERIOR WOOD FRAME- DOOR HEAD DETAIL
A-900 Scale: 3"=1'-0"



5 INTERIOR WOOD FRAME- DOOR JAMB DETAIL
A-900 Scale: 3"=1'-0"



4 INTERIOR WOOD FRAME- DOOR THRESHOLD DETAIL
A-900 Scale: 3"=1'-0"

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PROJECT NAME

157-159 CHILTON STREET RESIDENCES

PROJECT ADDRESS
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CLIENT

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ARCHITECT



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REGISTRATION



Project number 20018
Date 2/26/2021
Drawn by DM
Checked by JSK
Scale 1 1/2" = 1'-0"

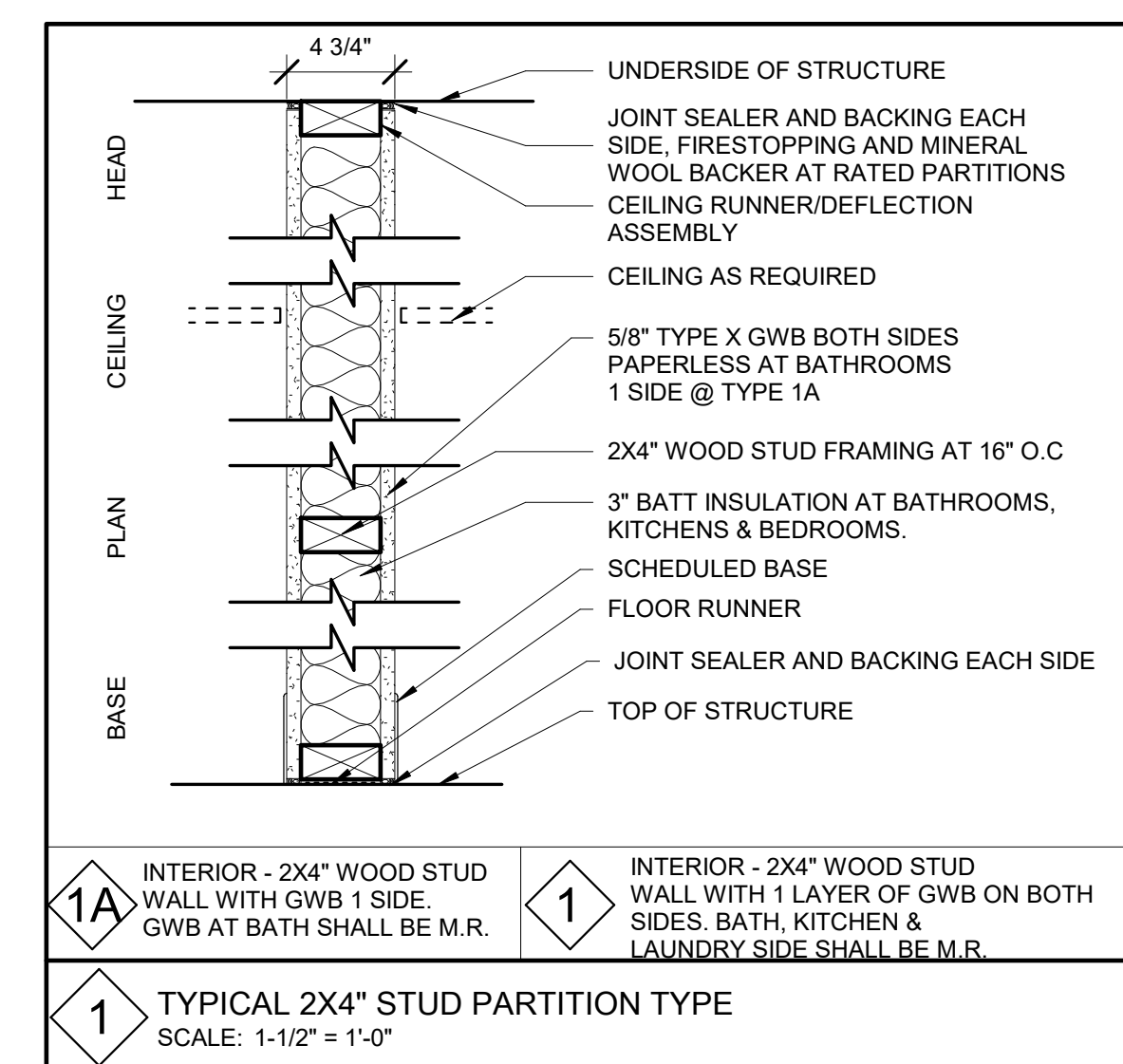
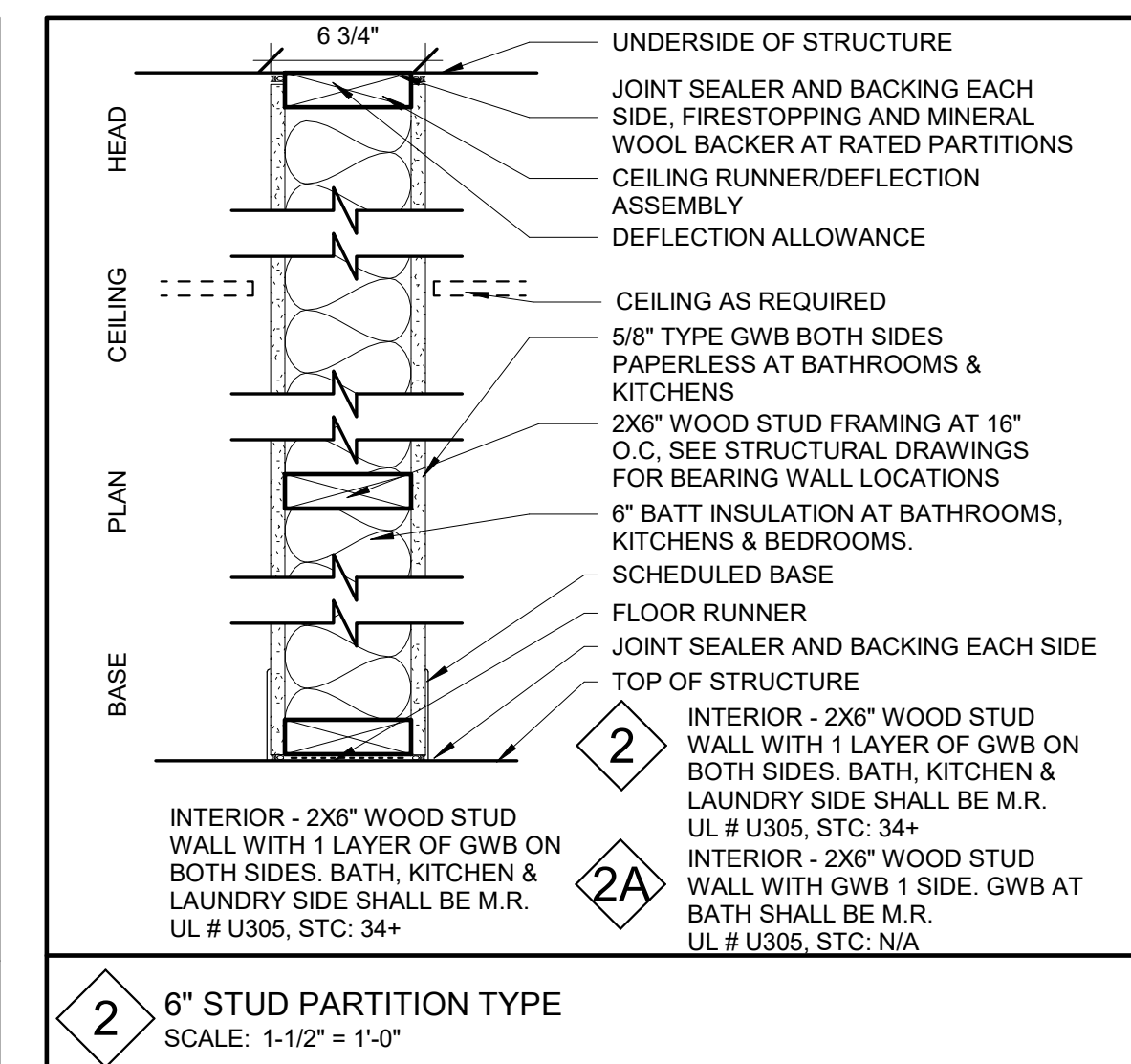
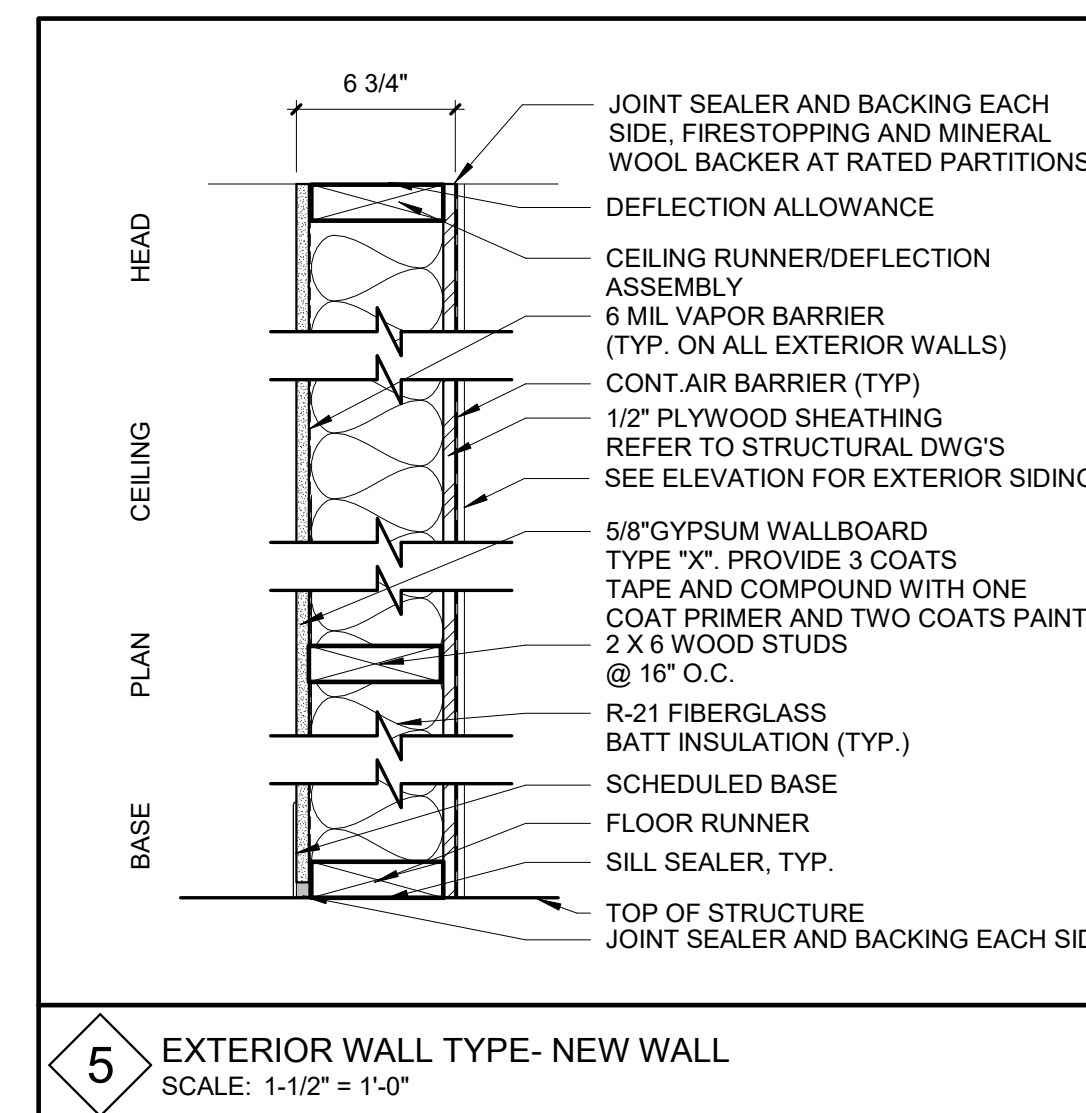
REVISIONS

No.	Description	Date

PARTITION TYPES

A-910

157-159 CHILTON STREET
RESIDENCES



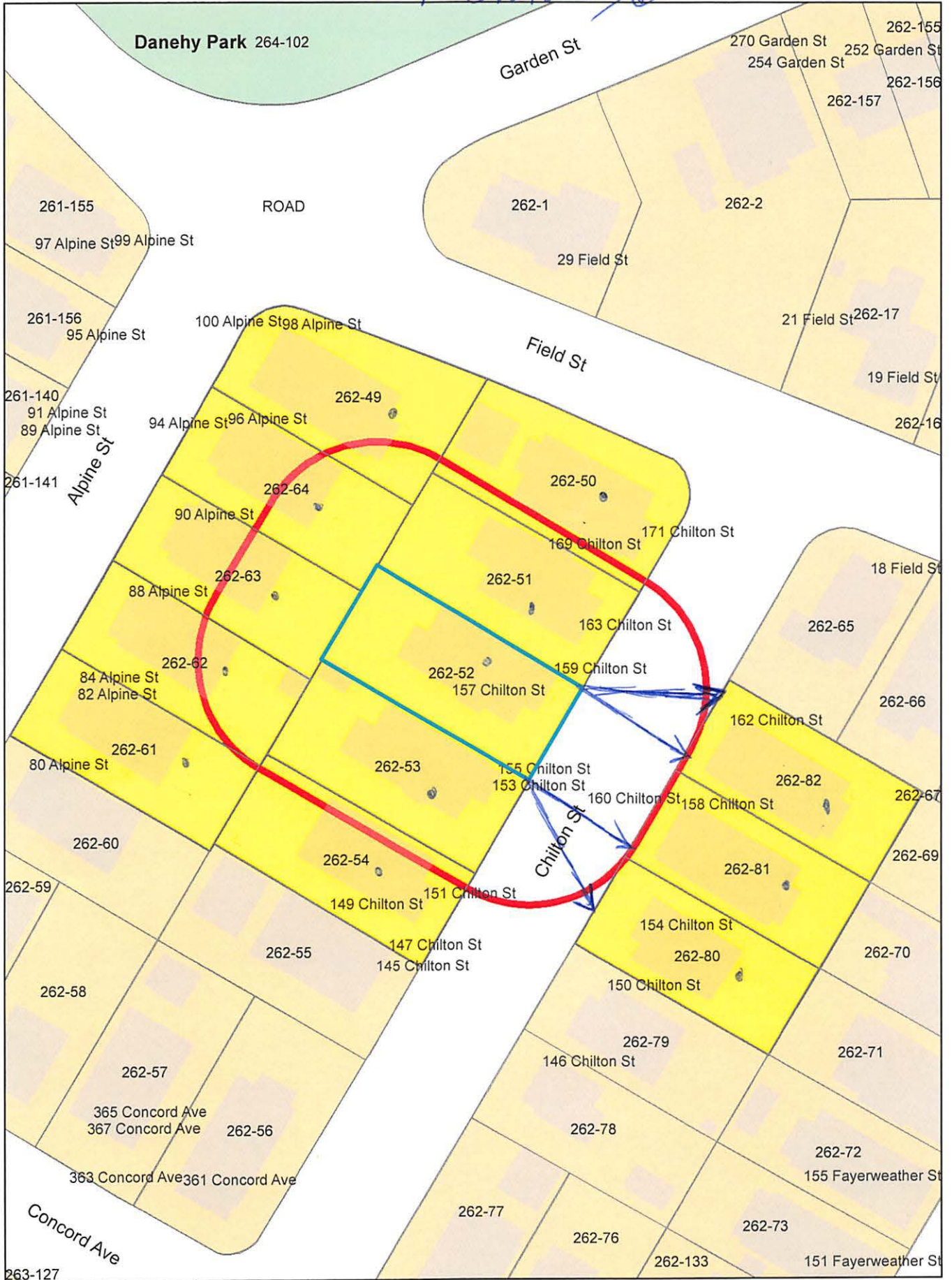
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159 Chilton St.



159 Chilton St.



159 Chilton St.

Petitioner

262-50
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262-52
LIU, CHARLIE C. & PATRICE ANNE LIU
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262-54
KRISHNAMURTHY, ARVIND &
SHIONA SOMMERVILLE
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262-62
GREENE, DONALD L. & EDNA C. GREENE,
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262-50
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262-81
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CANDICE DELMAS
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262-61
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