



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 AUG 27 AM 10: 51

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 285446

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Alice Hoffman C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 15 Ash St., Cambridge, MA

TYPE OF OCCUPANCY: single family **ZONING DISTRICT:** Residence A-2 Zone

REASON FOR PETITION:

/Additions/ /Conversion to Additional Dwelling Units/

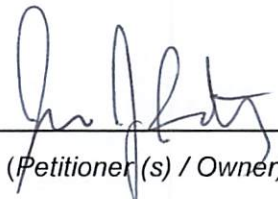
DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to construct accessory apartment in basement of pre-existing single-family dwelling. Work to include installing exterior basement stairway within side yard setback in order to access the apartment and installation of window well.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 4.000 Section: 4.22 (Accessory Apartment).
Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):



(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner

(Print Name)

Address: 907 Massachusetts Avenue, Suite 300
 Cambridge, MA 02139
Tel. No. 617.492.4100
E-Mail Address: jrafferty@adamsrafferty.com

Date: August 21, 2024

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Alice Hoffman

(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 15 Ash Street

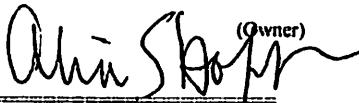
the record title standing in the name of Alice Hoffman

whose address is 15 Ash Street, Cambridge, MA 02139
(Street) (City or Town) (State & Zip Code)

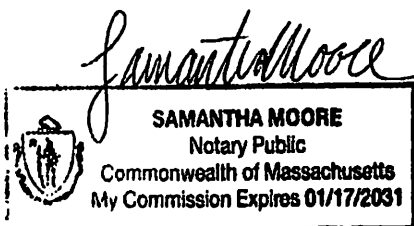
by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 82808 Page 170 or Registry

District of Land Court Certificate No. Book Page

 (Owner)

On this 8th day of August, 2024, before me, the undersigned notary public, personally appeared Alice Hoffman, proved to me through satisfactory evidence of identification, which were _____, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Notary Public

My commission expires:

11/17/2031

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 15 Ash St , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Section 4.22.1 allows for the conversion of the basement into an accessory dwelling unit, when, as in this case, there will not be any additional GFA created outside the envelope of the existing structure and the size of the apartment is considerably less than 900 sf. Sec 4.22.1 authorizes the Board to waive applicable yard setback and height restrictions.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The creation of an accessory apartment in this dwelling will not alter traffic patterns on Ash Street or the surrounding neighborhood.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The adjacent uses are nearly all much larger residential dwellings. The creation of a 1 bedroom accessory dwelling unit will not have any adverse affect.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed access stairs and accessory apartment will be constructed in accordance with the requirements of the State Building Code.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed accessory dwelling unit meets all four of the requirements of Sec. 4.22.1.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Alice Hoffman
Location: 15 Ash St., Cambridge, MA
Phone: 617.492.4100

Present Use/Occupancy: single family
Zone: Residence A-2 Zone
Requested Use/Occupancy: single family w/ accessory dwelling unit

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>
<u>TOTAL GROSS FLOOR AREA:</u>		2,054 sf	no change	2,498 sf (max.)
<u>LOT AREA:</u>		4,995 sf	no change	6,000 sf (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.41	no change	.5
<u>LOT AREA OF EACH DWELLING UNIT</u>		4,995 sf	no change	4,500 sf
<u>SIZE OF LOT:</u>	WIDTH	45'	no change	65' min
	DEPTH	111'	no change	N/A
<u>SETBACKS IN FEET:</u>	FRONT	13' 7"	no change	20' min
	REAR	41' 1"	no change	25' min
	LEFT SIDE	11' 10"	no change	10' min
	RIGHT SIDE	4' 9"	no change	10' min
<u>SIZE OF BUILDING:</u>	HEIGHT	21' 3"	no change	35'
	WIDTH	56' 3"	no change	N/A
	LENGTH	28' 3"	no change	N/A
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		34.8	32.7	50
<u>NO. OF DWELLING UNITS:</u>		1	2	1
<u>NO. OF PARKING SPACES:</u>		2	no change	N/A
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

DRAWING SYMBOLS	
	NEW CAST IN PLACE CONCRETE
	SIMPSON SHEAR WALLS (See Structural)
	BATT INSULATION
	SPRAY FOAM INSULATION
	EXTERIOR ELEVATION LOCATOR
	SECTION LOCATOR
	INTERIOR ELEVATION LOCATOR
	EXTERIOR WINDOW & DOOR # REFERENCE SCHED.
	INTERIOR DOOR # REFERENCE SCHED.
	SMOKE DETECTOR
	ELEVATION MARKER

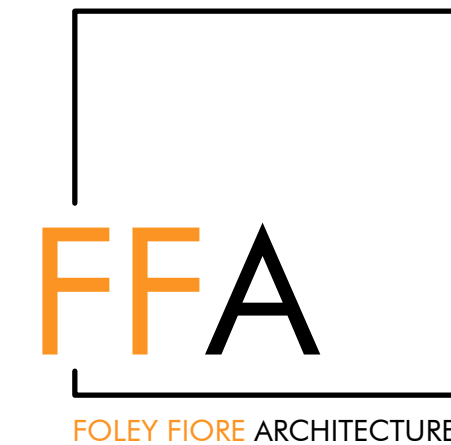
ABBREVIATIONS			
@	At	HOR.	Horizontal
&	And	HVY.	Heavy
A.F.F.	Above Finish Floor	JSTS.	Joists
A/C	Air Conditioning	LVL	Laminated Veneer Lumber
BD.	Board	MAX.	Maximum
B.O.	Bottom of	M.O.	Masonry Opening
BATTS	Fiberglass Insulation	MAS.	Masonry
BLDG.	Building	MTL.	Metal
C.I.P.	Cast-in-place	MIN.	Minimum
CL.	Clear	O.C.	On Center
CLG	Ceiling	O.H.	Overhang
CLO.	Closet	P.T.	Pressure Treated
CONC.	Concrete	PLYWD	Plywood
CONSTR.	Construction	R.	Riser
CONT.	Continuous	R.A.	Return Air
D	Diffuser	R.O.	Rough Opening
DBL.	Double	REG	Register
DF	Douglas Fir	RT	Roof Truss
DIA.	Diameter	S.A.	Supply Air
DIV.	Divided	SBW	Stud Bearing Wall
DN.	Down	SPF	Spruce Pine Fir
DWGS.	Drawings	STL	Steel
EL.	Elevation	STRUCT	Structural
EPS	Extruded Polystyrene	T.	Tread
EPDM	Ethylene Propylene Diene Monomer (rubber)	T&G	Tongue and Groove
EQ	Equal	T.O.	Top of
F.O.	Face of	TJI	Engineered Truss Joist
FDN.	Foundation	TYP.	Typical
FIN.	Finish	U.N.	Unless Otherwise Noted
GAR	Garage Elevation	VERT.	Vertical
HDR.	Header	W	With
HRDWD	Hardwood	WD.	Wood
		WWF	Welded Wire Fabric

PROJECT DIRECTORY

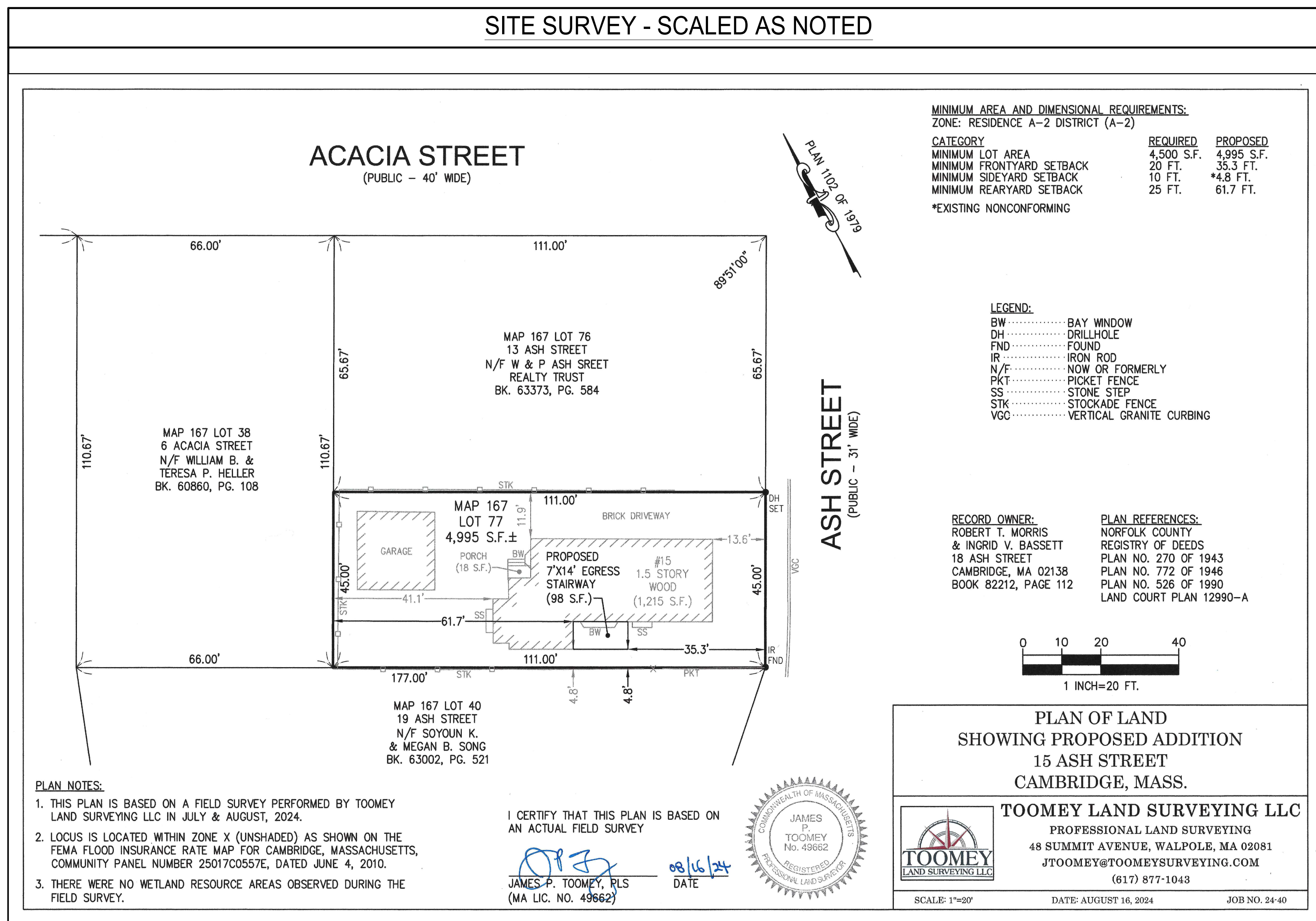
ARCHITECT
FOLEY FIORE ARCHITECTURE (FFA)
316 CAMBRIDGE STREET,
CAMBRIDGE, MA 02141
617.547.8002
pfiore@foleyfiore.com

CONTRACTOR
CRAIG STADELMANN
617-876-8286
craigs@shconstruction.com

DRAWING INDEX	
A00	Title Page
A001	Existing Photos
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EX1.2	Existing Second Floor Plan
EX2.0	Existing Exterior Elevations
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A1.1	Proposed First Floor Plan
A1.2	Proposed Second Floor Plan
A2.0	Proposed Exterior Elevations



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GENERAL NOTES TO CONTRACTOR

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, AND APPROVALS THAT ARE REQUIRED BY PUBLIC AUTHORITIES HAVING JURISDICTION OVER THE WORK. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VISIT THE SITE, ACCOMPANIED BY THE OWNER AND ARCHITECT, AND SHALL NOTE THE EXISTING CONDITIONS AFFECTING THE WORK. THE CONTRACTOR SHALL EXAMINE ADJOINING WORK FOR ASSURANCE THAT NO CONDITIONS EXIST TO PREVENT THE COMPLETION OF FIRST CLASS WORK. IF CONTRACTOR OBSERVES FIELD CONDITIONS THAT ARE AT VARIANCE WITH THE WORK SHOWN IN THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING SO THAT ACTION MAY BE TAKEN TO ACCOMMODATE THE CONDITION PRIOR TO BEGINNING CONSTRUCTION.
- IF UNUSUAL CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, SUCH AS CONFLICTS BETWEEN NEW CONSTRUCTION AND EXISTING UTILITIES, ANY OF WHICH HAVE TO BE REROUTED OR MODIFIED, OR ANY OTHER SUBSTANTIAL COMPLICATION WHICH COULD NOT BE FORESEEN AT THE OUTSET OF CONSTRUCTION, THE OWNER, ARCHITECT, CONTRACTOR AND AFFECTED SUBCONTRACTORS SHALL MEET TO DETERMINE A FAIR AND EQUITABLE SOLUTION AS EACH ISSUE OCCURS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS BEFORE COMMENCEMENT OF WORK. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY SUCH WORK UNDERTAKEN WITHOUT NOTIFYING AND RECEIVING APPROVAL FROM THE ARCHITECT.
- ASBESTOS ABATEMENT, LEAD PAINT REMOVAL, AND OTHER HAZARDOUS MATERIAL REMOVAL IS NOT IN THE CONTRACT. SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE, OF POTENTIALLY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO CONTINUING WORK.
- WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIALS AND EQUIPMENT. DUST PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY AND AS REQUIRED BY THE OWNER OR AUTHORITIES.
- DEBRIS SHALL BE CONTAINERIZED AND REMOVED FROM THE SPACE AND BUILDING ON A REGULAR BASIS, IN ACCORDANCE WITH AN AGREEMENT MADE BETWEEN THE OWNER AND THE CONTRACTOR.
- SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S, ENGINEER'S OR OWNER'S JOB SITE REVIEW IS NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- BUILDING SHALL BE MAINTAINED IN WEATHERPROOF & SECURE CONDITION THROUGHOUT WORK.
- VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, PHONE, ELECTRICAL, LIGHTING AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.
- DIMENSIONS SHALL BE FROM FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS. IF A DIMENSION IS IN QUESTION, CONTACT THE ARCHITECT FOR CLARIFICATION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE, LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AS NECESSARY AND BE RESPONSIBLE FOR COORDINATION WITH NEW WORK. NO WORK SHALL BEGIN UNTIL SUCH COORDINATION HAS BEEN PERFORMED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND INFORMING TRADES OF THEIR SEQUENCE OF WORK OPERATIONS, AND MAKING CERTAIN THAT THEY HAVE COORDINATED THEIR WORK WITH ONE ANOTHER. GENERAL CONTRACTOR SHALL SEQUENCE WORK IN THE MOST ECONOMICAL AND EFFICIENT MANNER TO BENEFIT THE OWNER. OUT OF SEQUENCE WORK WHICH IS REQUIRED TO MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS, OR DIRECTED BY THE GENERAL CONTRACTOR SHALL NOT CAUSE THE OWNER ANY ADDITIONAL EXPENSE.
- ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.
- PATCH AND REPAIR FINISHES DISTURBED OR DAMAGED BY REMOVAL OR NEW WORK OPERATIONS, OR AS REQUIRED TO ACCOMMODATE NEW FINISHES. WHERE REMOVAL OF WORK EXPOSES HOLES, CRACKS, ANCHORAGE INSERTS, OR OTHER IMPERFECTIONS, THEY SHALL BE SUITABLY REPAIRED BY THE GENERAL CONTRACTOR TO MATCH THE EXISTING ADJACENT SURFACES. OPENINGS IN CEILINGS, FLOORS, AND WALLS AS A RESULT OF REMOVAL OF THE EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE INFILLED. PATCH AS REQUIRED TO MATCH ADJACENT FINISHES OF EXISTING CONSTRUCTION. PATCHING MATERIALS SHALL COMPLY WITH FIRE RATED CONSTRUCTION REQUIREMENTS WHERE APPLICABLE.
- WHEN PROJECT IS COMPLETE, CLEAN AND POLISH GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED DUST CLOTHS OR VACUUM CLEANERS. WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM PREMISES AND DISPOSED OF BY CONTRACTOR. CLEAN SITE AT END OF PROJECT. REMOVE DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, AND LABELS FROM EXPOSED SURFACES, INCLUDING GLAZING.

HOFFMAN RESIDENCE
15 ASH STREET
CAMBRIDGE, MA 02138

Date:
August 16, 2024
Revision:

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Title:
Title Page
Sheet:
A00



1 EXISTING SOUTH ELEVATION
N.T.S.



2 EXISTING NORTH ELEVATION
N.T.S.



3 EXISTING EAST ELEVATION
N.T.S.



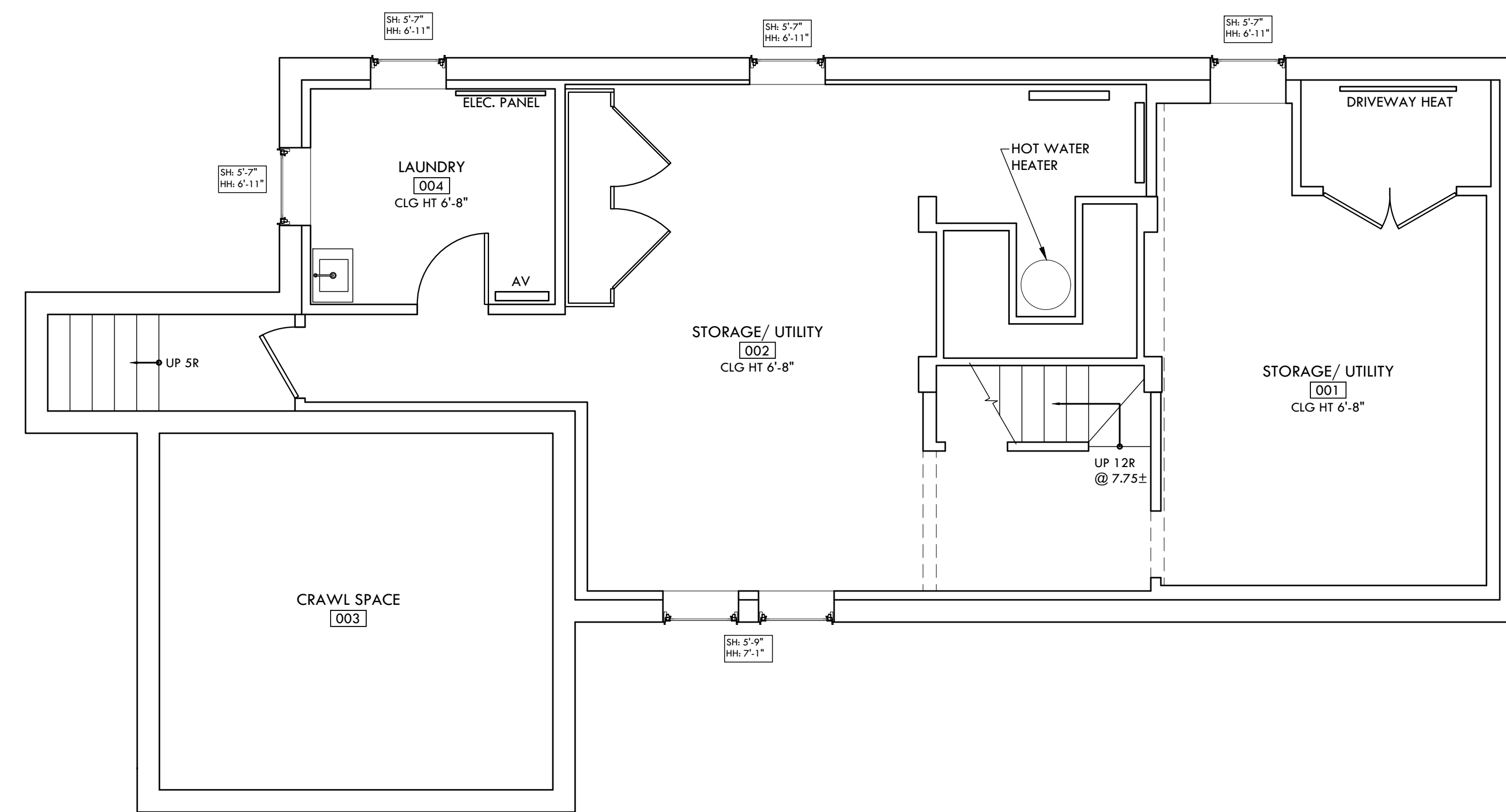
4 EXISTING WEST ELEVATION
N.T.S.

HOFFMAN RESIDENCE

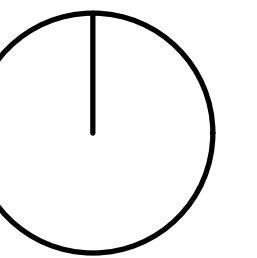
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CAMBRIDGE, MA 02138

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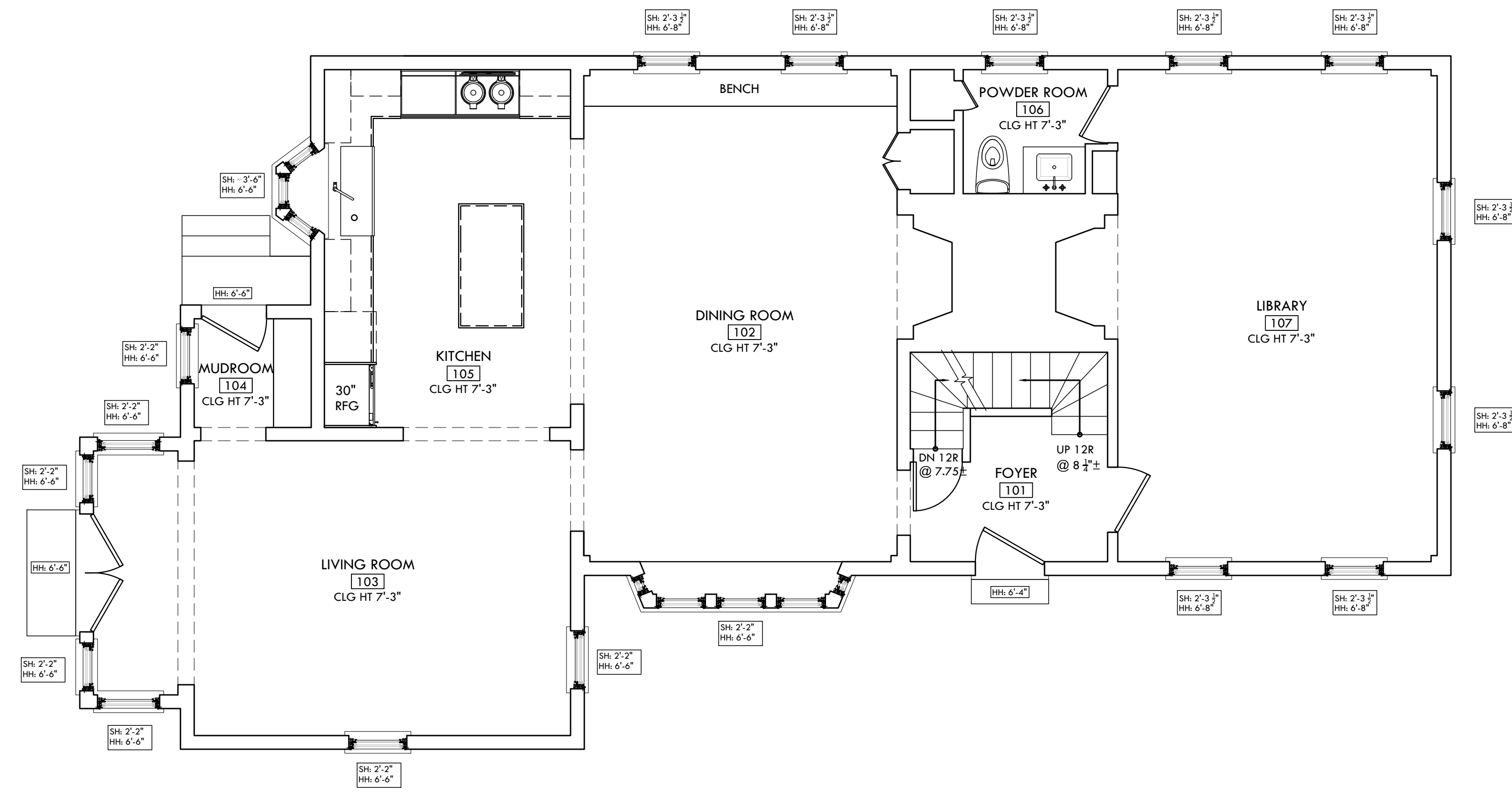


HOFFMAN RESIDENCE

15 ASH STREET
CAMBRIDGE, MA 02138

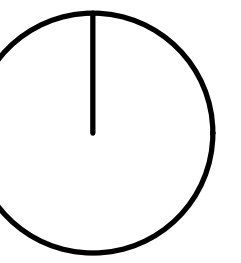
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August 16, 2024
Revision:

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Existing Basement Floor
Plan
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EX1.0



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

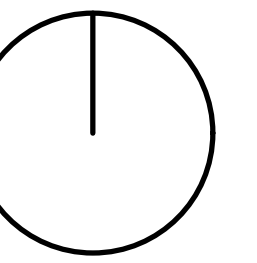
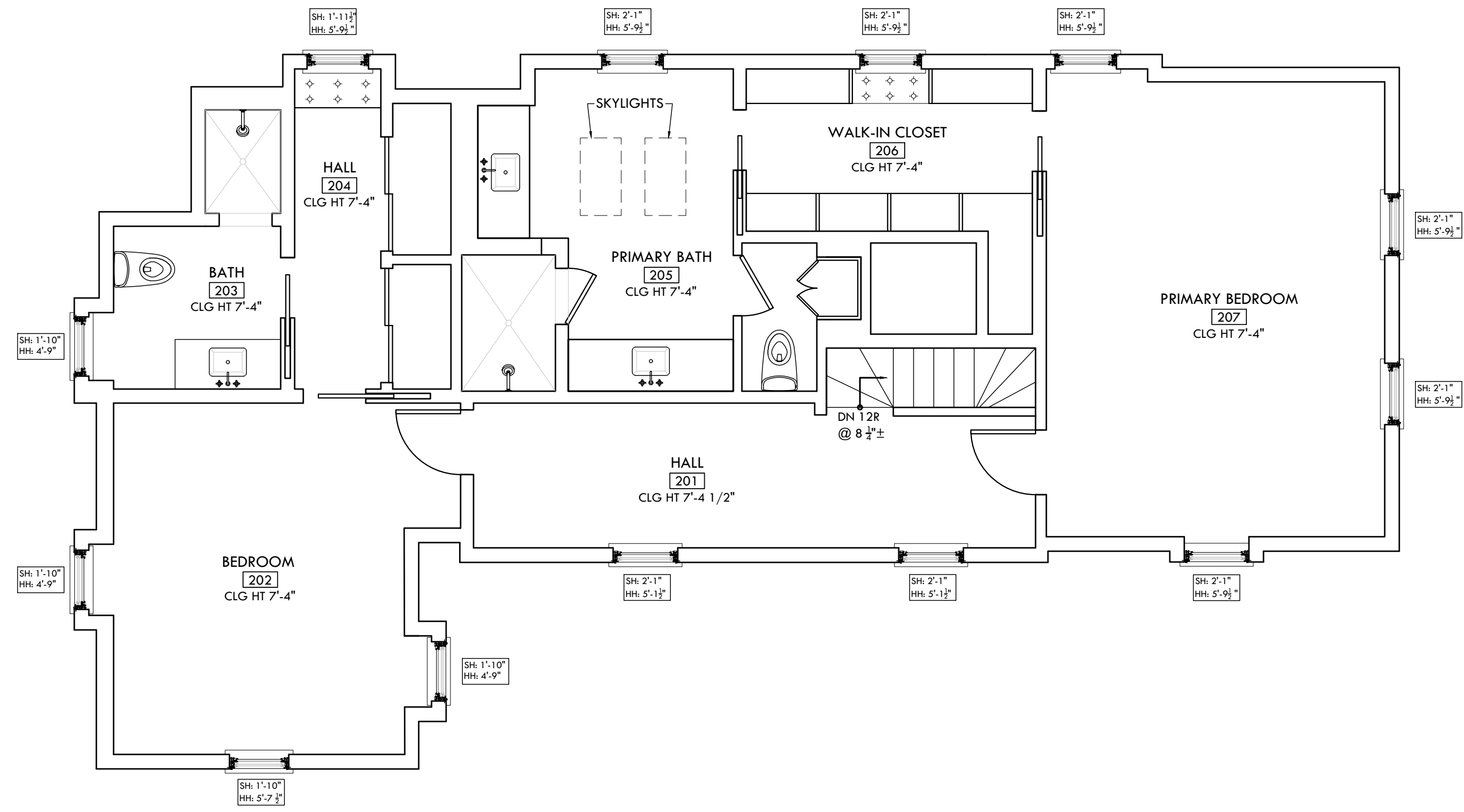
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HOFFMAN RESIDENCE
15 ASH STREET
CAMBRIDGE, MA 02138

Date:
August 16, 2024
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Existing First Floor Plan
Sheet:
EX1.1



HOFFMAN RESIDENCE
15 ASH STREET
CAMBRIDGE, MA 02138

Date:
August 16, 2024
Revision:

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As Noted
Title:
Existing Second Floor
Plan
Sheet:
EX1.2



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"





2 EXISTING EAST ELEVATION
1/4" = 1'-0"

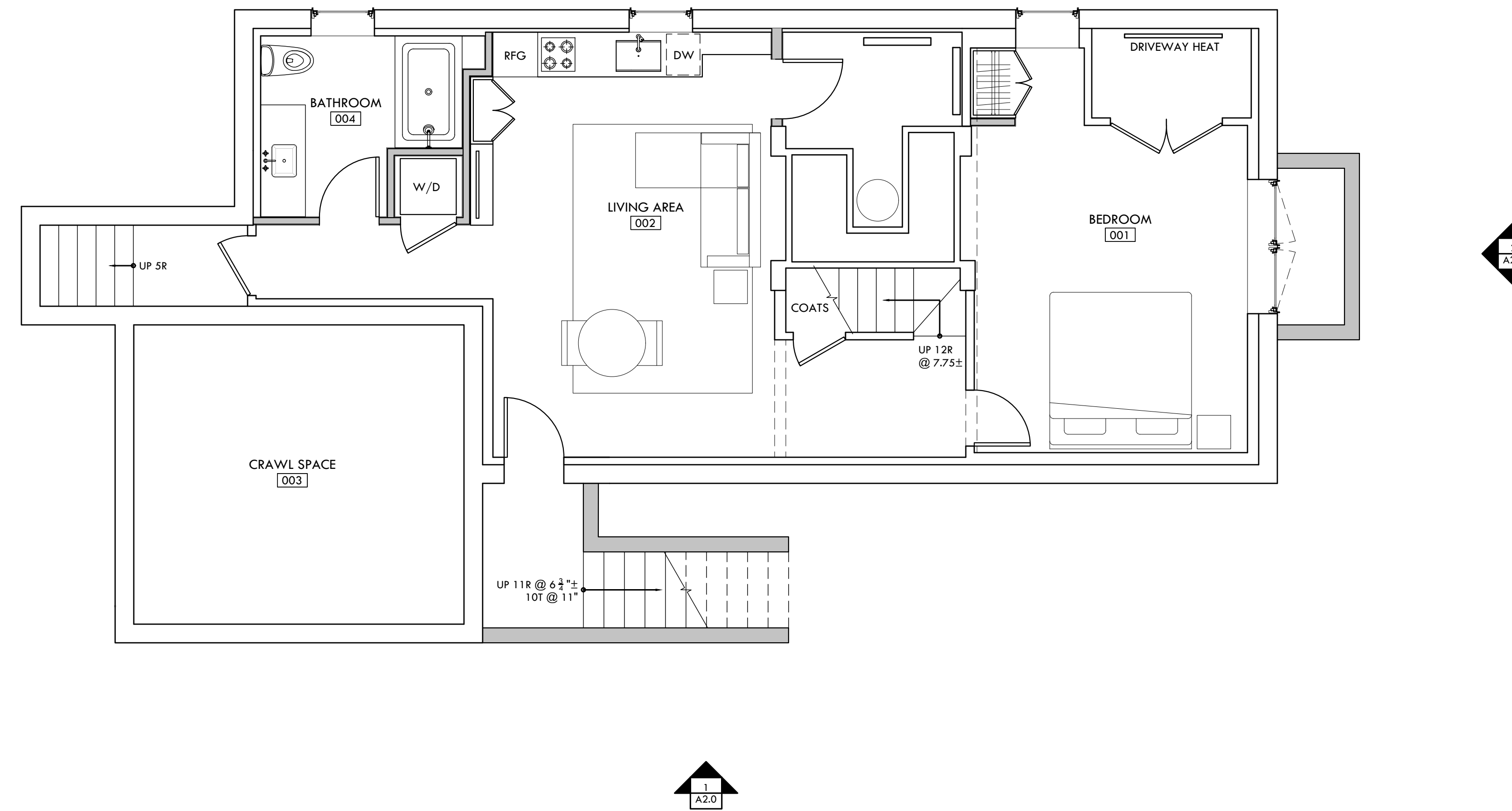
BZA PERMIT (2024.08.16)

HOFFMAN RESIDENCE
15 ASH STREET
CAMBRIDGE, MA 02138

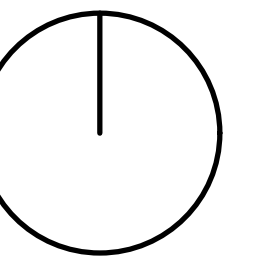
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August 16, 2024
Revision:

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Title:
Existing Exterior
Elevations
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EX2.0

LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALLS



BZA PERMIT (2024.08.16)





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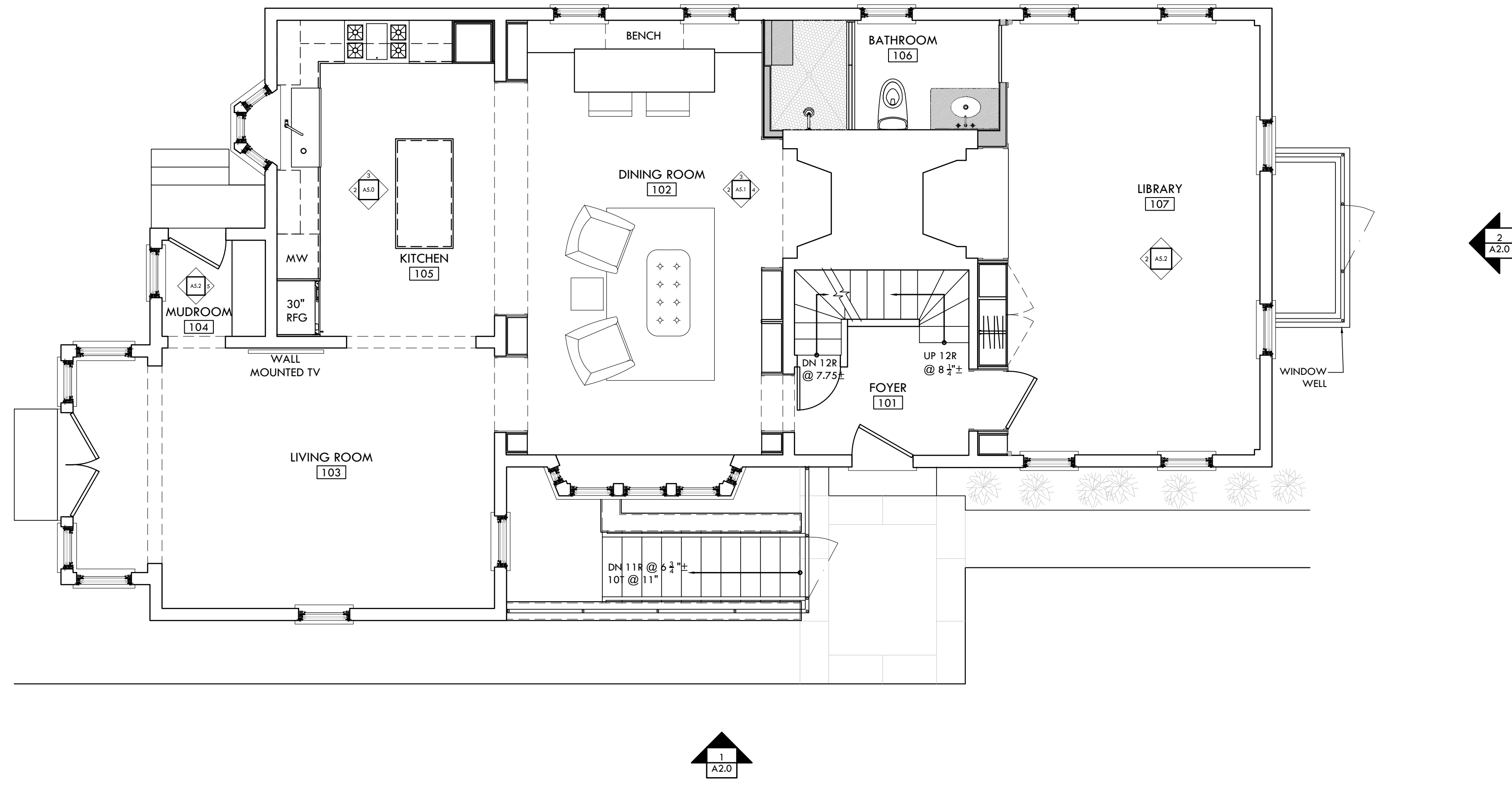
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Revision:

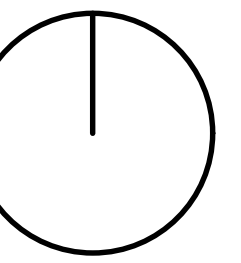
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Proposed Basement
Floor Plan
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A1.0

1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALLS



BZA PERMIT (2024.08.16)





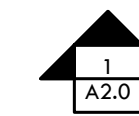
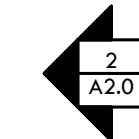
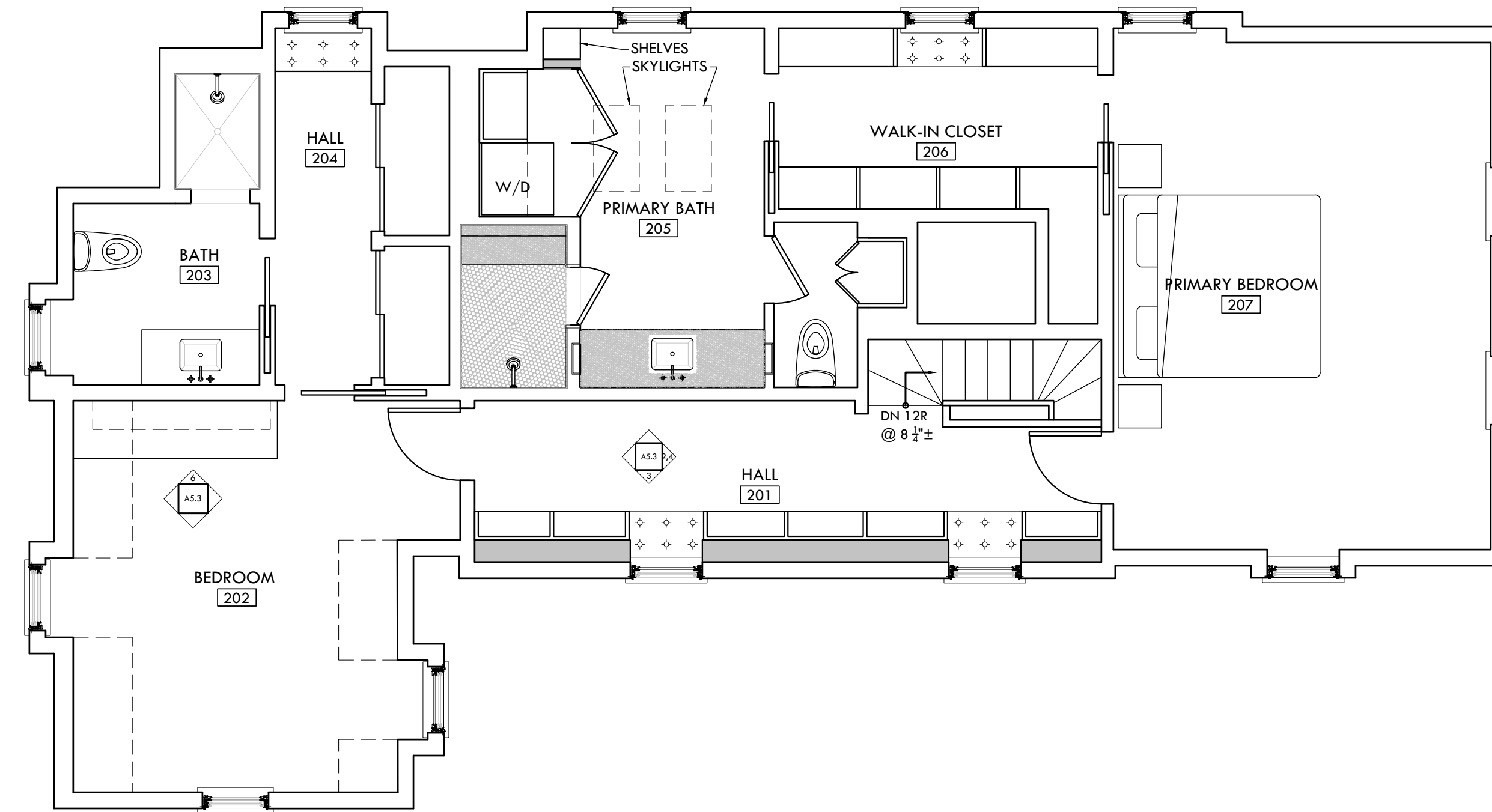
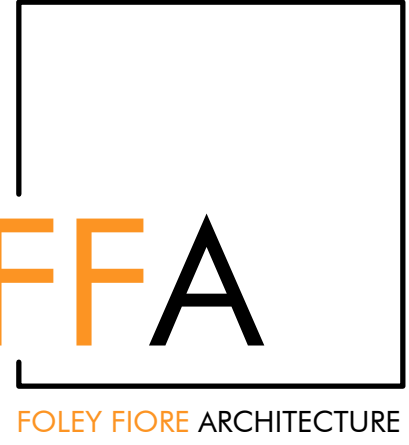
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15 ASH STREET
CAMBRIDGE, MA 02138

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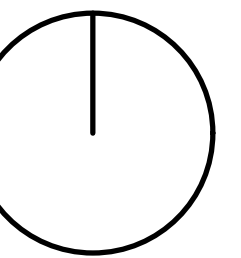
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Proposed First Floor
Plan
Sheet:
A1.1

1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALLS



BZA PERMIT (2024.08.16)



HOFFMAN RESIDENCE
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CAMBRIDGE, MA 02138

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Revision:

Scale:
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Title:
Proposed Second Floor
Plan
Sheet:
A1.2

1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"

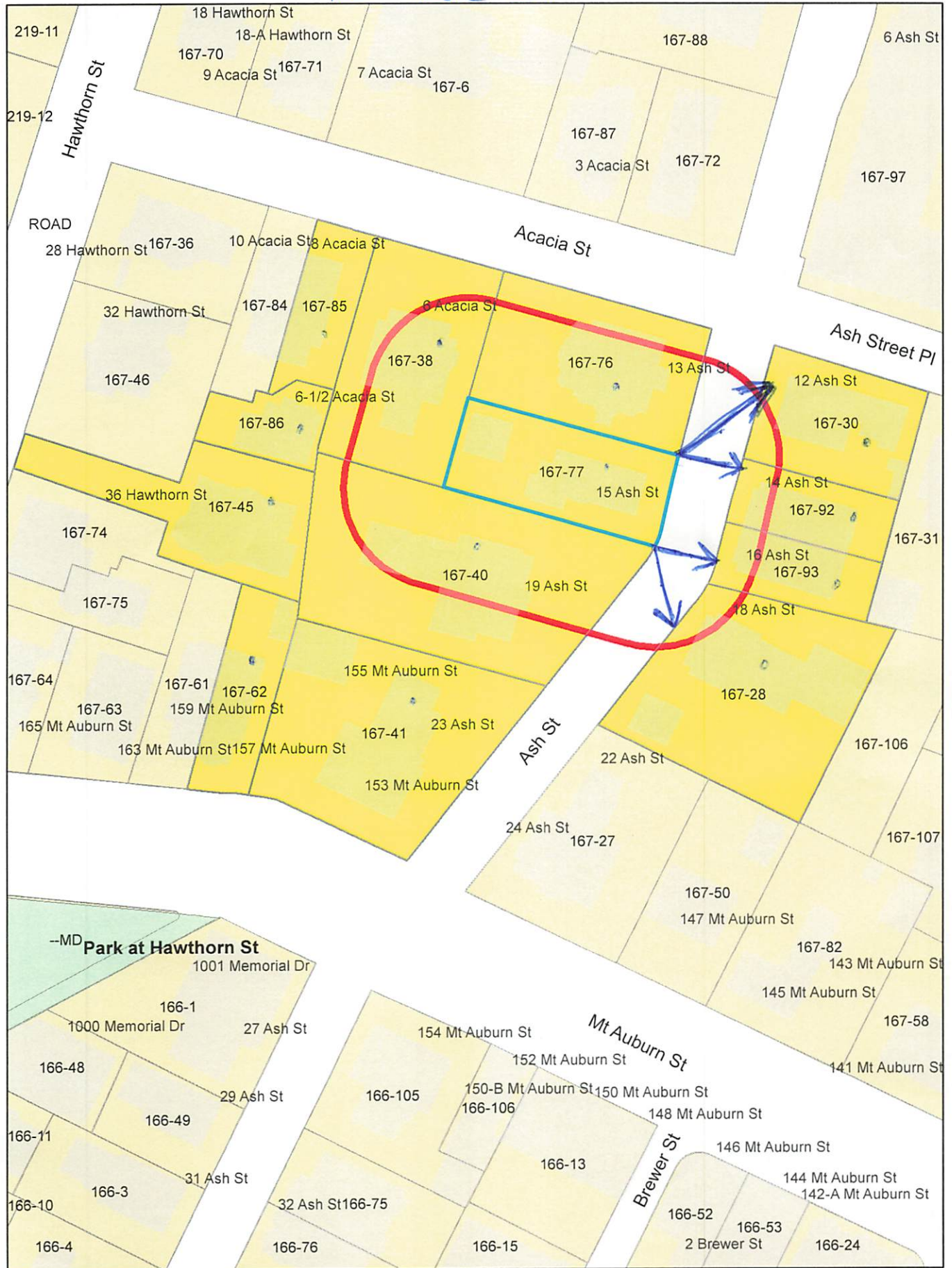
HOFFMAN RESIDENCE

15 ASH STREET
CAMBRIDGE, MA 02138

Date:
August 16, 2024
Revision:

Scale:
As Noted
Title:
Proposed Exterior
Elevations
Sheet:
A2.0

15 Ash St.



15 Ash St.

Petitioner
JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE – SUITE 300
CAMBRIDGE, MA 02138

167-62
RORICK, MICHEAL J. & MARGARET L. RORICK
157 MT AUBURN ST
CAMBRIDGE, MA 02138

167-38
HELLER, WILLIAM B. & TERESA P. HELLER
3304 ALMAR DR.
VESTAL, NY 13850

167-93
BLACKLOW, STEPHEN &
BARBARA APPIGNANI
16 ASH ST
CAMBRIDGE, MA 02138-4832

167-86
ZELLEKE, ANDARGACHEW S. &
DINA G. ZELLEKE
6 1/2 ACACIA ST
CAMBRIDGE, MA 02138

167-77
HOFFMAN, ALICE
15 ASH ST
CAMBRIDGE, MA 02138

167-41
PRESIDENT & FELLOWS OF HARVARD
COLLEGE HOLYOKE CENTER
1350 MASS AVE RM 1000
CAMBRIDGE, MA 02138

167-30
STOVALL, JOHN & SIA STOVALL
12 ASH ST
CAMBRIDGE, MA 02138

167-45
BRUZELIUS, MARGARET
36 HAWTHORN ST UNIT 1
CAMBRIDGE, MA 02138

167-45
SAROTTE, MARY ELISE MARK J. SCHIEFSKY
36 HAWTHORN ST UNIT 3
CAMBRIDGE, MA 02138

167-45
TRIPPE, BLAIR L & DAVID R HARDING, TRS.
36 HAWTHORNE ST - UNIT 2
CAMBRIDGE, MA 02138

167-85
SINGH, DIPINDER & MEERA
TRS THE DIPINDER & MEERA SINGH 2022
8 ACACIA ST
CAMBRIDGE, MA 02138

167-28
MORRIS, ROBERT T. INGRID V. BASSETT
18 ASH ST
CAMBRIDGE, MA 02138

167-92
RABISON, SAMUEL RONNIE M. FUCHS TRS
14 ASH ST
CAMBRIDGE, MA 02138

167-40
SONG, SOYOUN K. & MEGAN B. SONG
19 ASH ST
CAMBRIDGE, MA 02138

167-76
TRACKMAN, PHILIP C. &
WINIFRED J. HENTSCHEL, TRUSTEES
13 ASH ST
CAMBRIDGE, MA 02138

285446

October 5, 2024

Dear Board of Zoning Appeals,

We are writing to comment on the request for a variance at 15 Ash Street. The request asks that the board grant relief to allow the owner to create a non-conforming accessory apartment in the basement of the property.

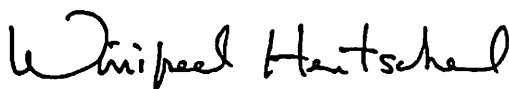
The owner has not shared these plans with the neighbors to be affected, and we are thus uncertain as to the purpose of the request. Creation of an accessory apartment to generate rental income for the owner should not qualify as justification for granting relief from hardship. Because the added apartment will be in an owner-occupied building, the potential exists for use as a short-term rental, such as an AirBnB. This use raises security concerns. Moreover, Ash St. is narrow, with very limited on-street parking. An additional rental unit will place added pressure on the availability of on-street spots.

We urge the Board to defer any decision until the owner has a chance to discuss this request and its rationale with us.

Sincerely,



Stephen Blacklow and Barbara Appignani
16 Ash St.



Winifred Hentschel and Philip Trackman
13 Ash Street



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Patrice Conte Date: 9/18/24
(Print)

Address: 15 Ash St.

Case No. BZA-285446

Hearing Date: 10/10/24

Thank you,
Bza Members