



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 OCT -5 AM 10:13
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 244964

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: 15 Hutchinson Street LLC C/O Sarah Like Rhatigan, Esq., Trilogy Law LLC

PETITIONER'S ADDRESS: 12 Marshall Street, Boston, MA 02108

LOCATION OF PROPERTY: 15 Hutchinson St., Cambridge, MA

TYPE OF OCCUPANCY: Single-family dwelling **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/ /Dormer/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To change previously approved plans from BZA 218487 by constructing dormers and window wells within setbacks and expanding and install new window and door openings on exterior walls within setbacks.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements)
- Article: 8.000 Section: 8.22.2.d (Alteration to Pre-existing non-conforming single-family structure)
- Article: 8.000 Section: 8.22.2.c/ 8.22.1.d (Relocation, enlargement, or addition to windows and doors within setbacks)
- Article: 10.000 Section: 10.40 (Special Permit)

Original
Signature(s):


(Petitioner (s) / Owner)

Sarah Like Rhatigan, Esq., on behalf of the
Petitioner, 15 Hutchinson Street LLC
(Print Name)

Address: Trilogy Law LLC, 12 Marshall Street, Boston, MA 02108
Tel. No. 617-543-7009
E-Mail Address: sarah@trilogylaw.com

Date: Oct. 2, 2023

BZA APPLICATION FORM - OWNERSHIP INFORMATION

(To be completed by **OWNER**, signed before a notary, and returned to Secretary of Board of Appeal).

Scott Kenton, Manager of 15 Hutchinson Street LLC

(OWNER)

Address: **1979 Massachusetts Avenue, Cambridge, MA 02140**

state that **15 Hutchinson Street LLC** owns the property located at **15 Hutchinson Street, Cambridge, Massachusetts** which is the subject of this zoning application.

The record title of the above-described property is in the name of **15 Hutchinson Street LLC** pursuant to a deed dated **November 4, 2022** and duly recorded in the Middlesex South County Registry of Deeds, in Book **81027, Page 32**.

15 Hutchinson Street LLC

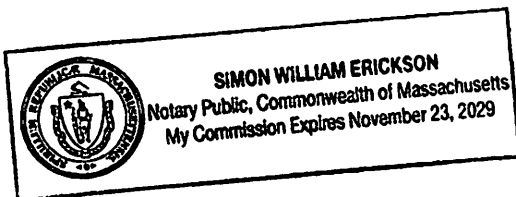
By: **Scott Kenton**
Its: **Manager**

NOTARY PUBLIC

COMMONWEALTH OF MASSACHUSETTS

COUNTY: Middlesex County, ss.

On this 26th day of September, 2023, before me, the undersigned notary public, personally appeared the above named **Scott Kenton, Manager of 15 Hutchinson Street LLC**, proved to me through satisfactory evidence of identification which was X a driver's license or _____ (form of photo identification) to be the same person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose on behalf of **15 Hutchinson Street LLC**.



Notary Public:
Commission Expires:

November 23, 2029

U

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 15 Hutchinson St , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

This is a request to amend a special permit previously granted by this Board on June 29, 2023. See BZA Decision filed herewith (Case No. 218487-2023). The reason for the amendment is to eliminate certain elements of the project approved by this Board over the objection of the Petitioner's immediate abutter at 11 Hutchinson Street. The revised plans filed with this application have been agreed upon by the owner of 11 Hutchinson. Modifications to the previously approved plans include the following:

- 1) **Right Side View:** Removed the second-floor deck from all plans and removed the two windows in the enclosed porch facing 11 Hutchinson;
- 2) **Right Side View:** Replaced the garage rear sliding doors into the yard with windows that are approximately half the size of said doors in the same location;
- 3) **Right Side View:** Removed two windows in the exterior wall of the garage facing 11 Hutchinson Street;
- 4) **Left Side View:** Confirmed that there will be no basement stairs and no exterior entry door and stairs into the basement on the 19 Hutchinson Street side of 15 Hutchinson;
- 5) **Left Side View:** Reflects an approximately 12-inch caliper tree (shown on page A-1 of the Final Plans) located in the rear of 15 Hutchinson that Petitioner will take precautions to protect both above and below grade during construction;
- 6) **Right Side View:** No fence to be built on the boundary line between 11 Hutchinson and 15 Hutchinson; and
- 7) The rear deck will be supported by a continuous foundation rather than a pier foundation.

As described in the previous application for a special permit, the Petitioner seeks to substantially renovate and update this pre-existing, non-conforming, single-family home that is in significant disrepair. The construction of two dormers will make room for a safe, code-compliant stairwell (on the right side) and for a modest increase in the living area on the third floor. New window wells and enlarged windows on the basement level will allow for adequate light and air to the basement area and code-compliant use of the basement as a home studio area.

None of the proposed alterations will create new non-conformities and therefore the proposal qualifies for a special permit under Section 8.22.2.d for minor alterations to a non-conforming single-family structure.

Renovations also include some modifications to windows and new windows and doors on exterior walls within setbacks, requiring special permit relief under Section 8.22.2.c. The revised plans

eliminate the originally proposed windows on the right side facing 11 Hutchinson.

- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The project meets the general special permit criteria in that it will not substantially impact the established neighborhood character, nor cause congestion hazard, or negative impacts in terms of traffic generated or patterns of access or egress. The revised plans remove a rear door (from the garage) that had been approved by the Board but was objected to by the owner of 11 Hutchinson Street.

The dormers are 15 feet and 14 feet wide respectively and are designed to conform with Cambridge's dormer guidelines. The window wells in the basement will not cause negative impacts on the neighborhood character or otherwise disturb neighboring uses. The increase in GFA/FAR that results is quite minimal and thus should not cause any harm to the neighborhood in terms of traffic, congestion, or other similar concerns.

The window modifications and additional windows are in keeping with the neighborhood character, and windows facing 11 Hutchinson Street have been removed as part of the settlement.

As noted previously, the design for this renovation/addition project was modeled after the project completed at 11 Hutchinson (via a grant of BZA variance in 2019). The improvement of this sister house will enhance the aesthetics of the neighborhood.

There will be no change to access or egress patterns to and from the home.

The changes proposed are modest and will be in keeping with similar residential homes in the area and will improve (and not harm) the neighborhood character.

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The continued operation of and development of adjacent uses will not be adversely affected by this proposal. The renovation and modest expansion will create quality, family housing.

- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created by the granting of the requested special permit relief, for the reasons described above. The proposal is in keeping with the residential development and density and nature of uses envisioned for the neighborhood. Moreover, the amended plans have been endorsed by the owner of the neighboring home at 11 Hutchinson Street as addressing concerns that were raised by her at the hearing of the previous case.

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The requested special permit can be granted without impairing the integrity of the districts or adjoining districts because it will allow for modest changes to a pre-existing, non-conforming structure, that will be in keeping with the neighborhood uses and beneficial in providing a much-needed, quality housing for the benefit of the District.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 15 Hutchinson Street LLC
Location: 15 Hutchinson St., Cambridge, MA
Phone: 617-543-7009

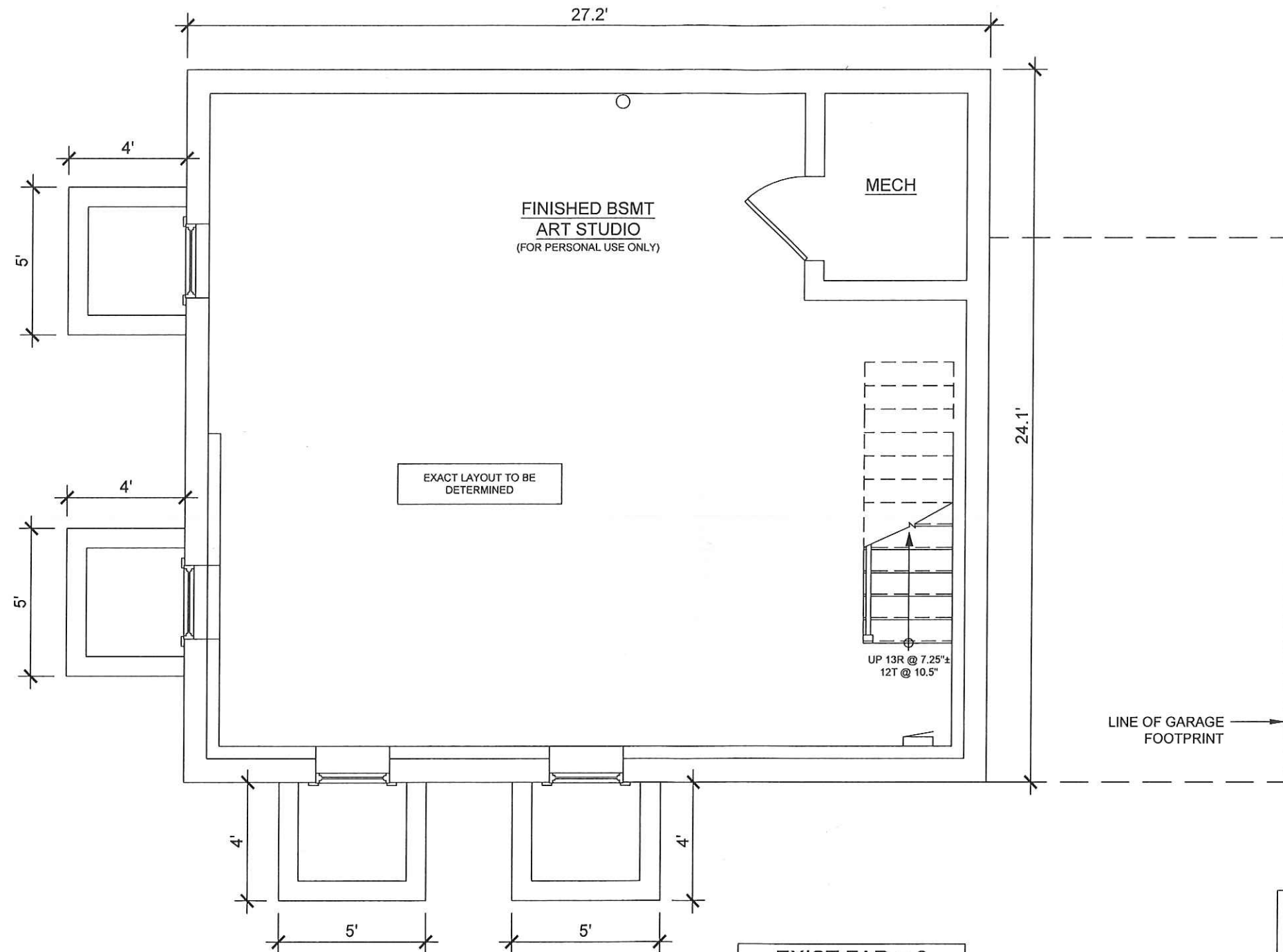
Present Use/Occupancy: Single-family dwelling
Zone: Residence B Zone
Requested Use/Occupancy: Single-family dwelling

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>
TOTAL GROSS FLOOR AREA:		1,743 sf	1,976 sf	1,232 sf (max.)
LOT AREA:		2,463 sf	2,463 sf	5,000 sf (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		0.71	0.80	0.50
LOT AREA OF EACH DWELLING UNIT		2,463 sf	2,463 sf	2,500 sf
SIZE OF LOT:	WIDTH	52 ft	52 ft	50 ft
	DEPTH	48 ft	48 ft	n/a
SETBACKS IN FEET:	FRONT	5.4 ft	5.4 ft	15 ft (or avg of abutters)
	REAR	13.6 ft	13.6 ft	25.0 ft
	LEFT SIDE	6.8 ft	3.2 ft	7.5 ft (sum 20 ft)
	RIGHT SIDE	7.3 ft	7.3 ft	7.5 ft (sum 20 ft)
SIZE OF BUILDING:	HEIGHT	28.9 ft	28.9 ft	35.0 ft
	WIDTH	24.1 ft	24.1 ft	n/a
	LENGTH	37.2 ft	37.2 ft	n/a
RATIO OF USABLE OPEN SPACE TO LOT AREA:		0.53 (0 complying to 15 x 15)	0.60 (0 complying to 15 x 15)	0.40 (0.20 complying to 15 x 15)
NO. OF DWELLING UNITS:		1	1	1 (max) per min. lot area/dwelling unit)
NO. OF PARKING SPACES:		1	1	0
NO. OF LOADING AREAS:		0	0	0
DISTANCE TO NEAREST BLDG. ON SAME LOT		n/a	n/a	n/a

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Customary residential construction is proposed.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



EXIST FAR = 0
PROP FAR = 0

PROPOSED BASEMENT

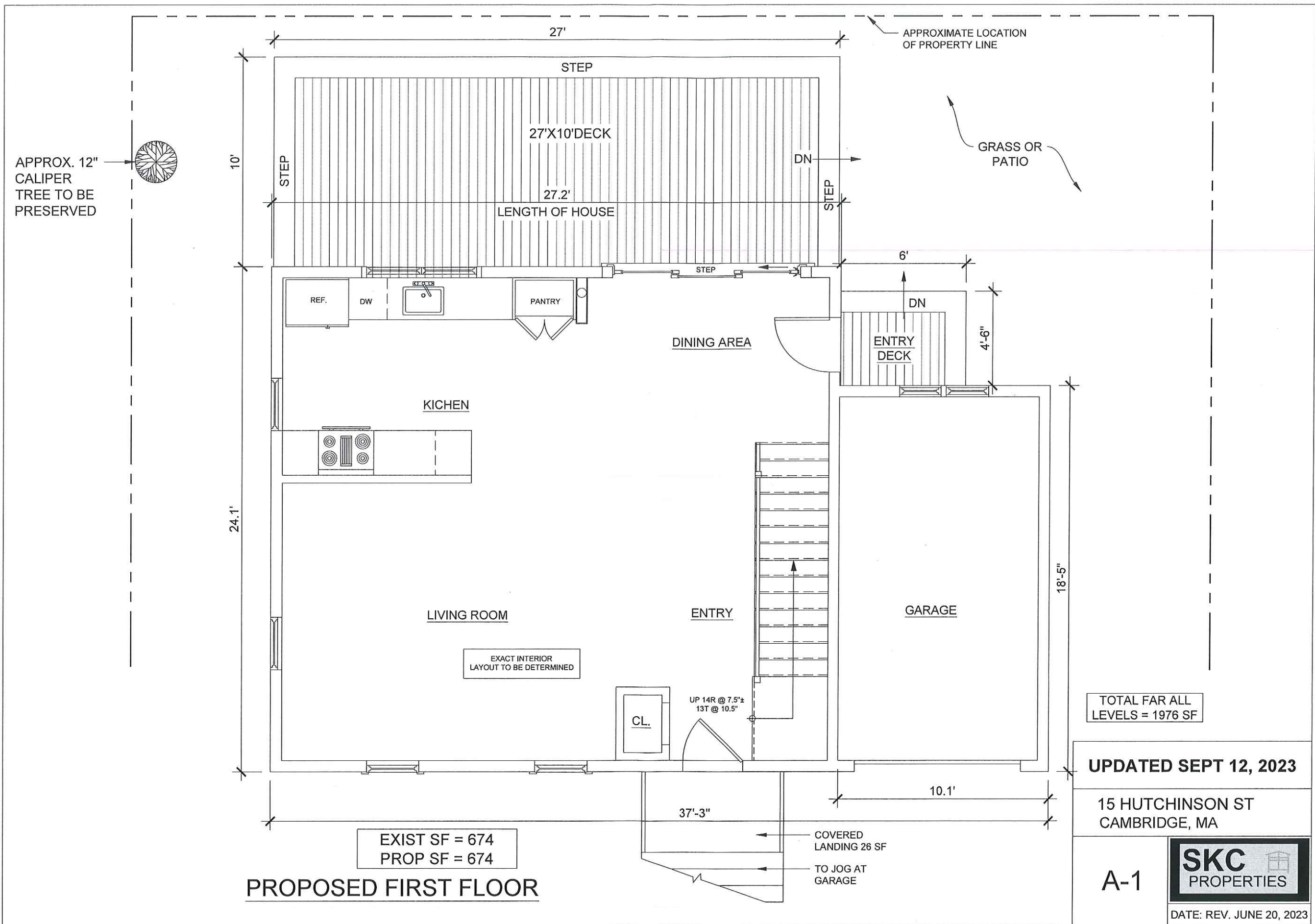
UPDATED SEPT 12, 2023

15 HUTCHINSON ST
CAMBRIDGE, MA

A-0



DATE: REV. JUNE 20, 2023



EXIST SF = 674
 PROP SF = 674
PROPOSED FIRST FLOOR

TOTAL FAR ALL LEVELS = 1976 SF

UPDATED SEPT 12, 2023

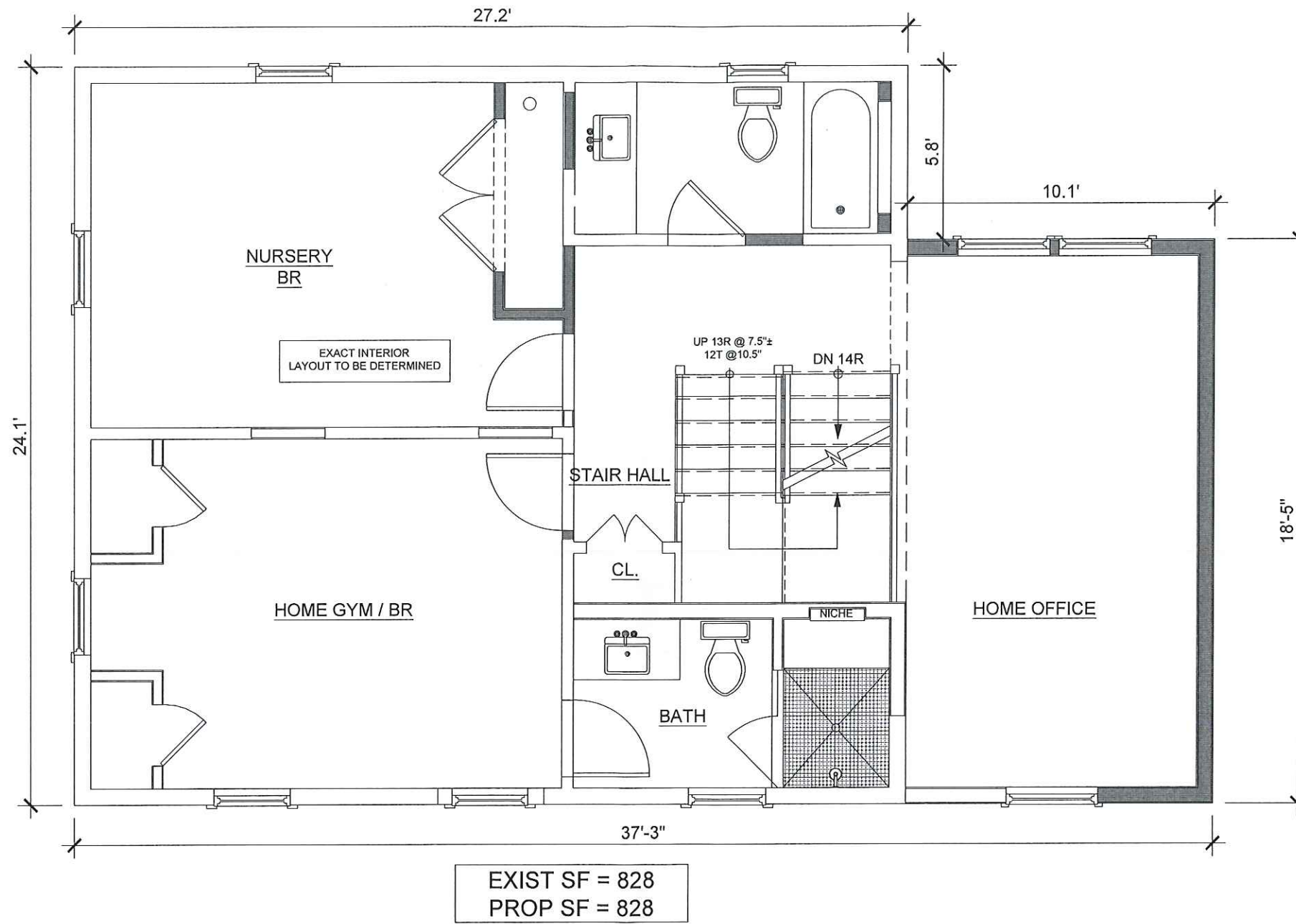
15 HUTCHINSON ST
 CAMBRIDGE, MA

A-1



DATE: REV. JUNE 20, 2023

Ch...



PROPOSED SECOND FLOOR

UPDATED SEPT 12, 2023

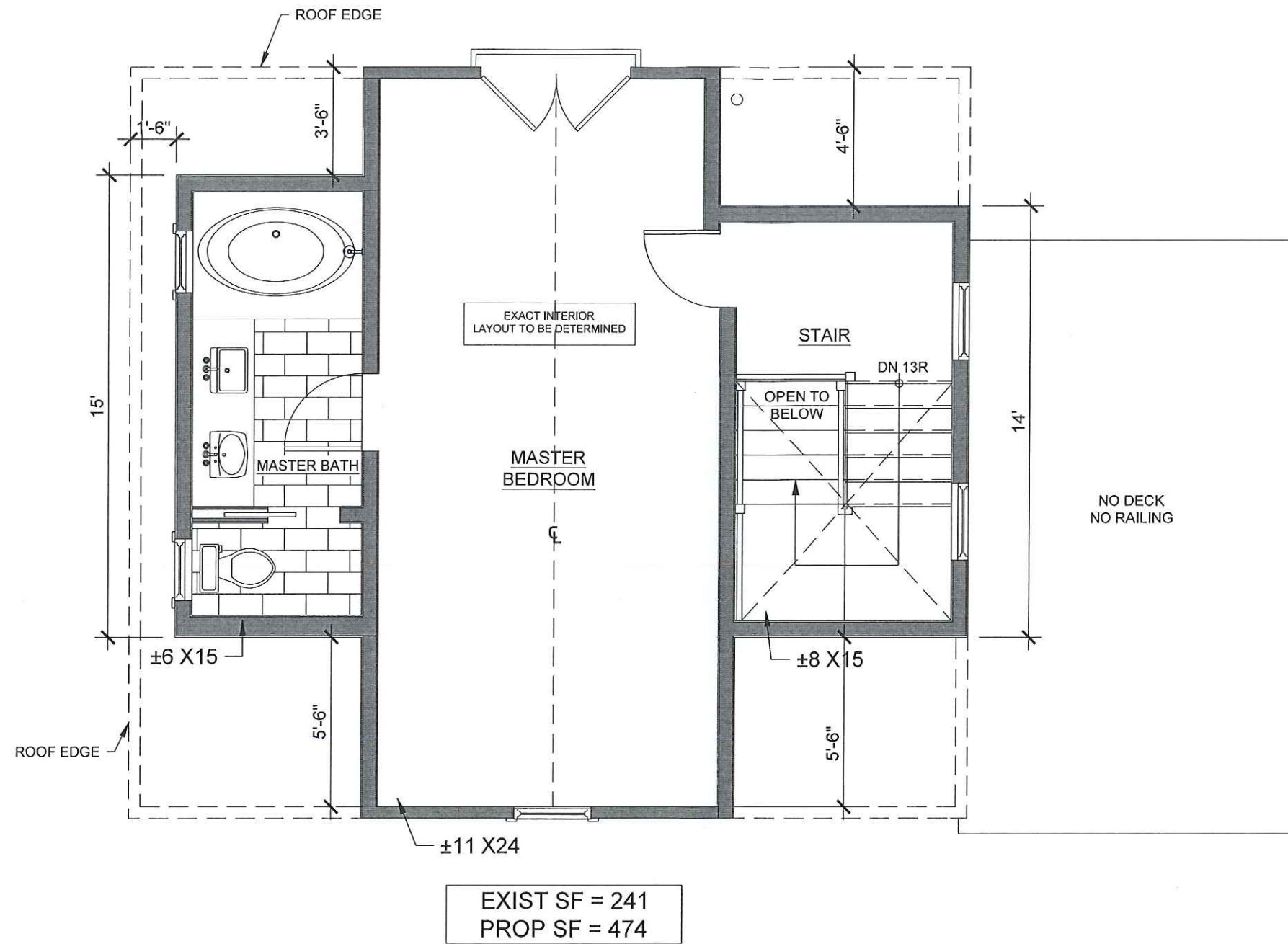
15 HUTCHINSON ST
CAMBRIDGE, MA

A-2



DATE: REV. JUNE 20, 2023

Chen



PROPOSED ATTIC FLOOR

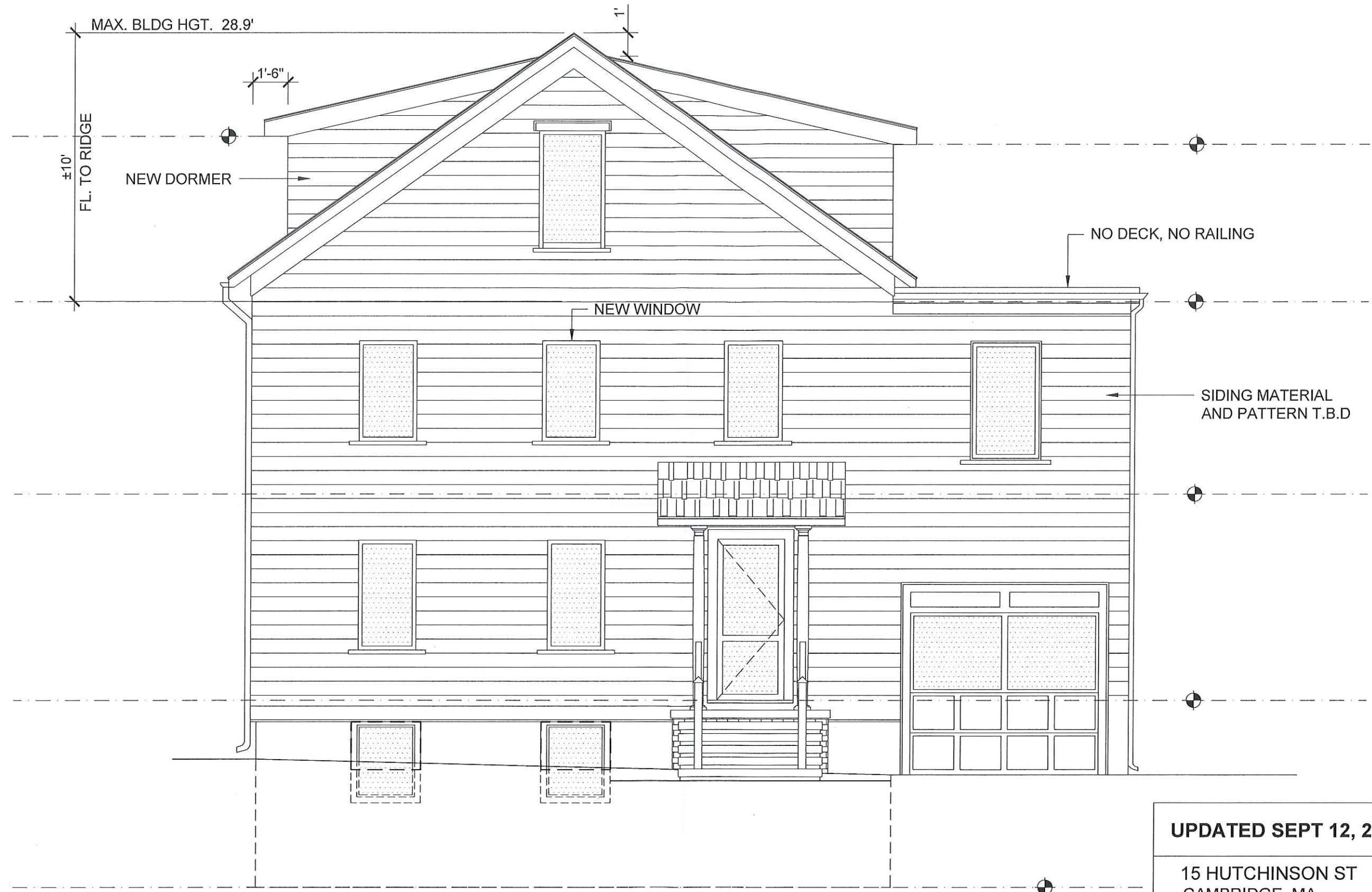
UPDATED SEPT 12, 2023

15 HUTCHINSON ST
CAMBRIDGE, MA

A-3



DATE: REV. JUNE 20, 2023



PROPOSED SOUTH ELEVATION

UPDATED SEPT 12, 2023

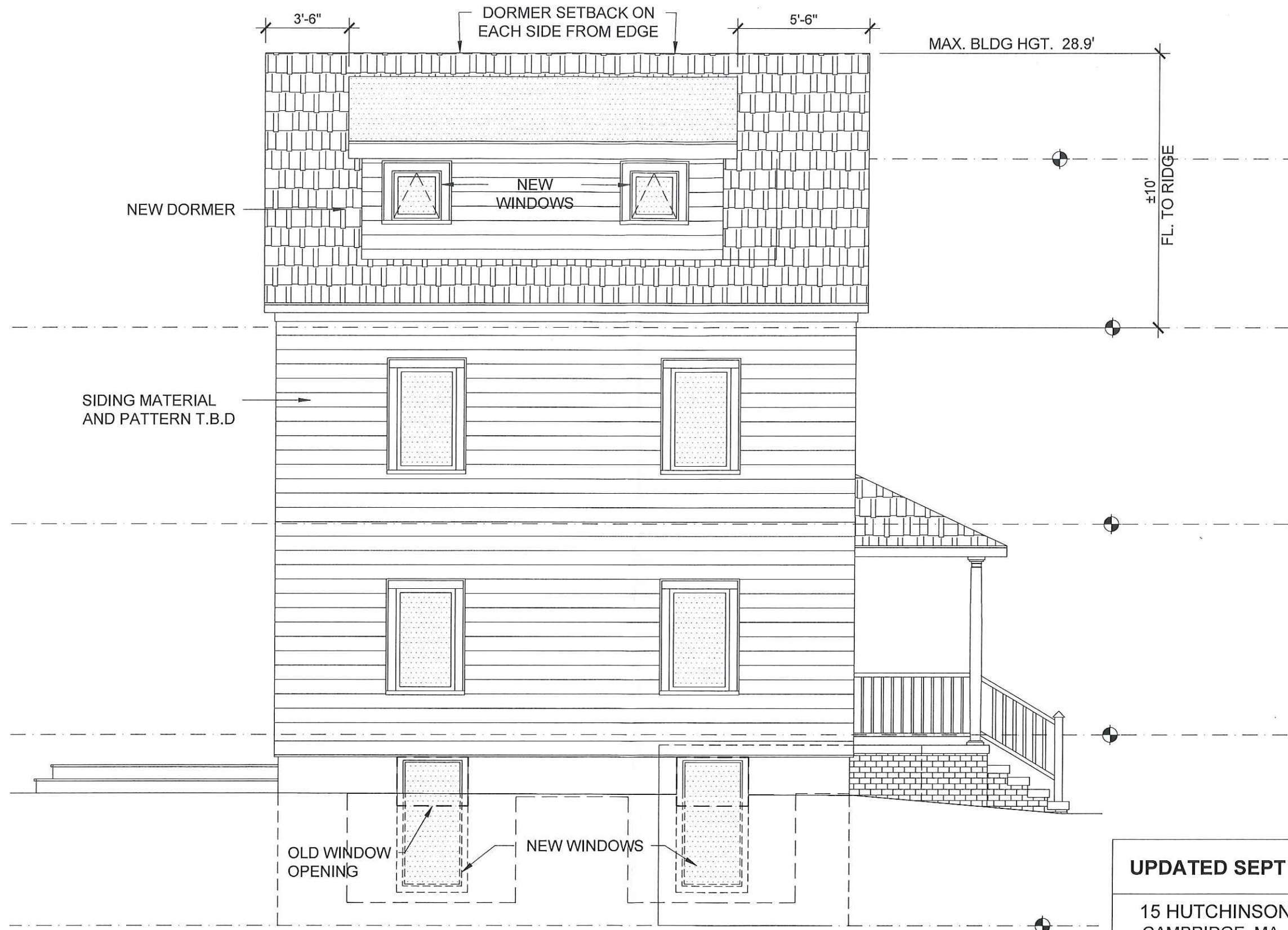
15 HUTCHINSON ST
CAMBRIDGE, MA

A-4



DATE: REV. JUNE 20, 2023

Ch...



PROPOSED WEST ELEVATION

UPDATED SEPT 12, 2023

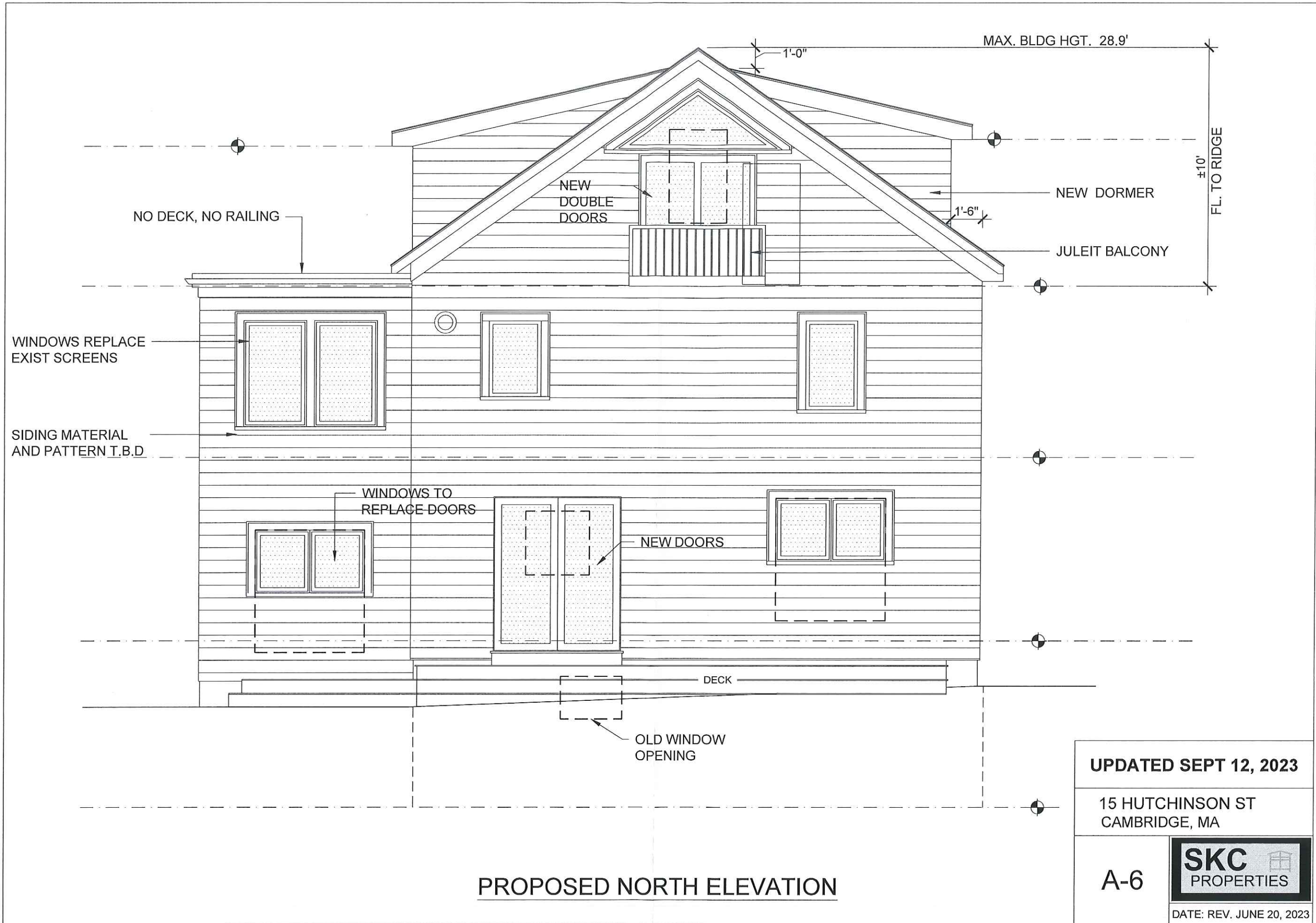
15 HUTCHINSON ST
CAMBRIDGE, MA

A-5



DATE: REV. JUNE 20, 2023

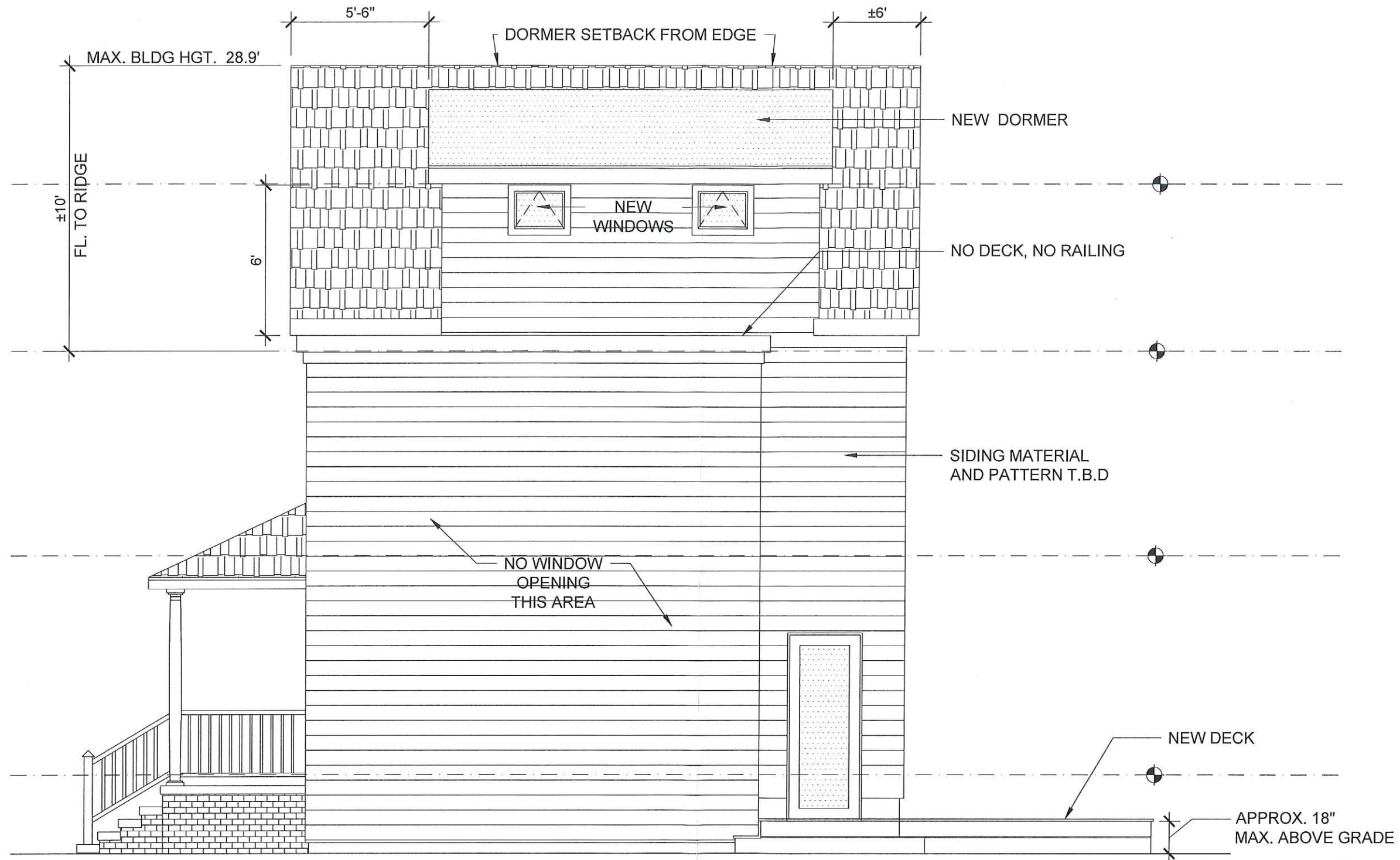
Ch...



PROPOSED NORTH ELEVATION

UPDATED SEPT 12, 2023	
15 HUTCHINSON ST CAMBRIDGE, MA	
A-6	SKC PROPERTIES
DATE: REV. JUNE 20, 2023	

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PROPOSED EAST ELEVATION

UPDATED SEPT 12, 2023

15 HUTCHINSON ST
CAMBRIDGE, MA

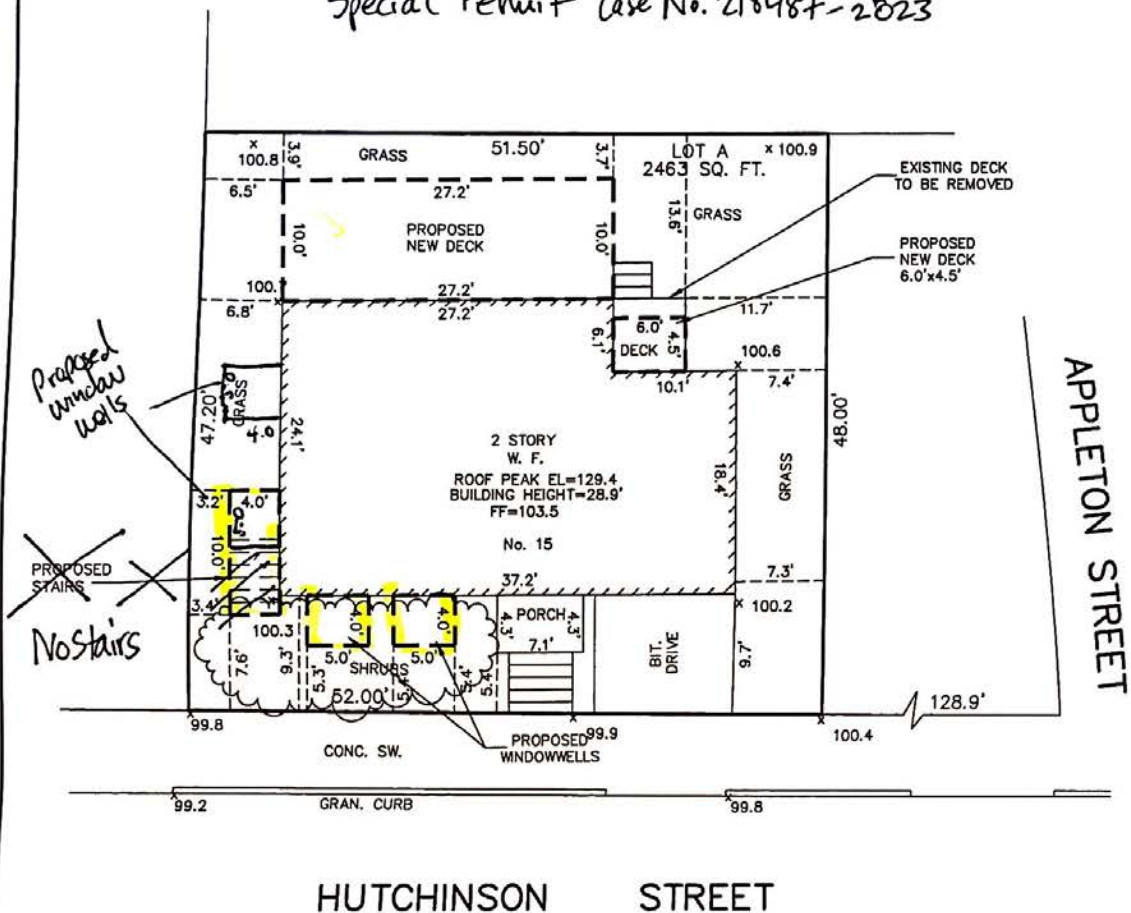
A-7



DATE: REV. JUNE 20, 2023

AVER. GRADE = $\frac{100.3+100.7+100.6+100.2}{4} = 100.5$

* Site Plan approved by BZA
Special Permit Case No. 218487-2023

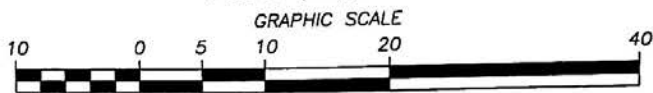


Antoni Szerszunowicz



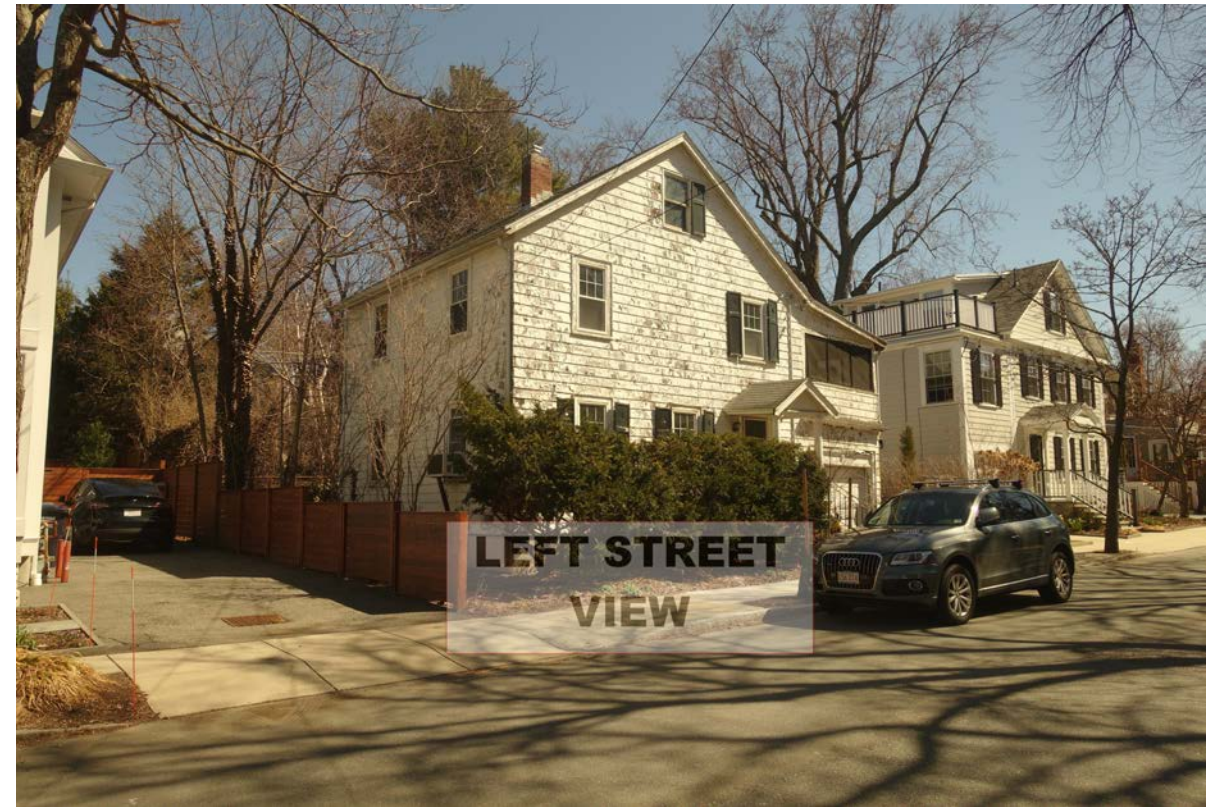
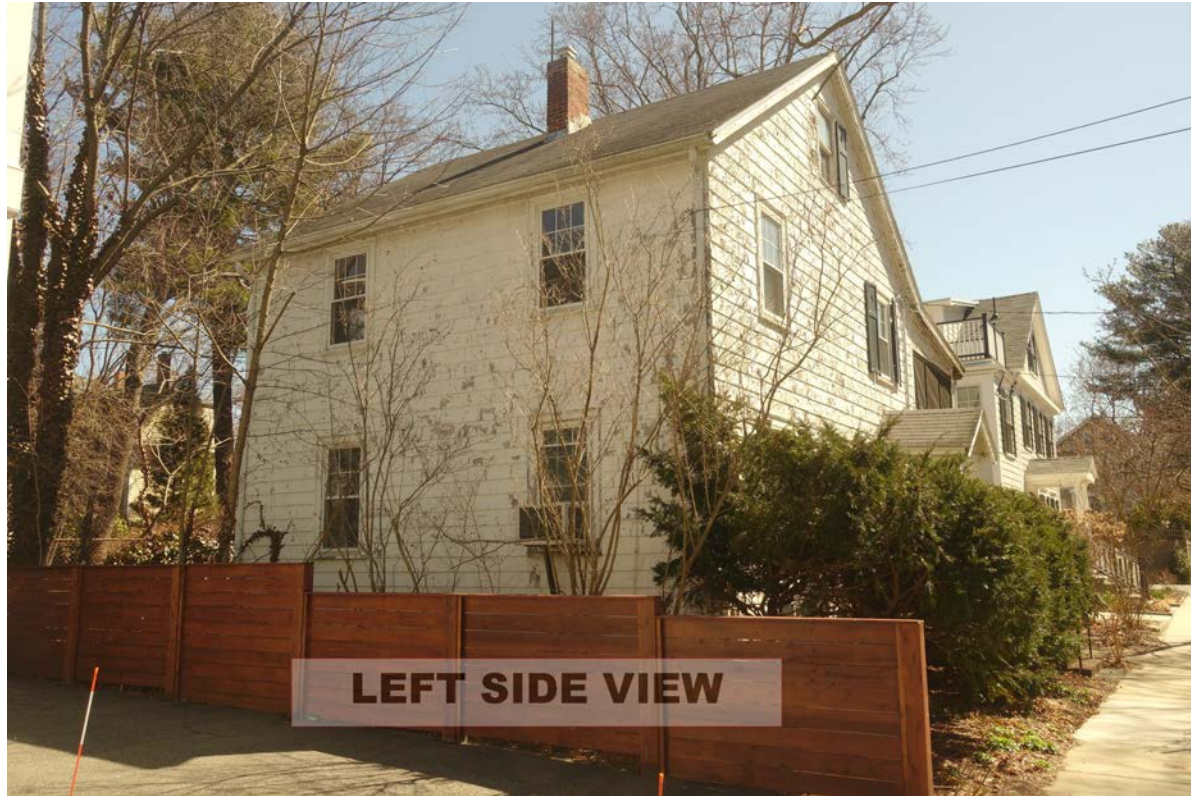
PROPOSED CONDITIONS
PLOT PLAN
15 HUTCHINSON STREET
CAMBRIDGE, MASS.

SCALE : 1" = 10' MARCH 29, 2023
AGH ENGINEERING
166 WATER STREET STOUGHTON, MA 02072
PHONE: (781)344-2386





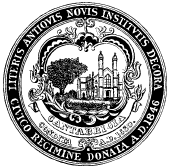
FRONT VIEW











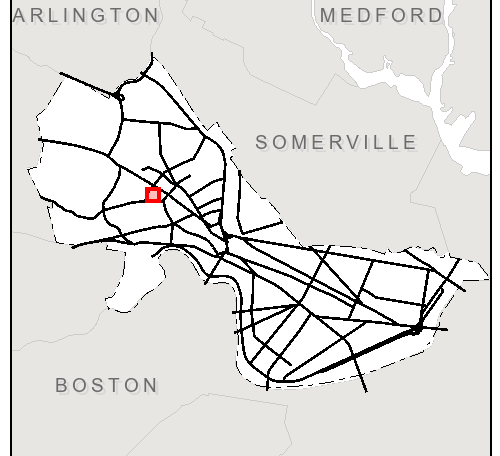
City of Cambridge
Massachusetts

1" = 35 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath





CITY OF CAMBRIDGE

Massachusetts

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.

617) 349-6100

2023 SEP -8 AM 11:03
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

CASE NO: 218487

LOCATION: 15 Hutchinson Street Residence B Zone
Cambridge, MA

PETITIONER: Scott Kenton, Manager of 15 Hutchinson Street LLC
C/o Sarah L. Rhatigan, Esq.

PETITION: Special Permit: To construct dormers and window wells, basement stair and second floor deck within setbacks, and expand and install new windows and door openings on exterior walls within setbacks.

VIOLATIONS: Art. 5.000, Sec. 5.31 (Table of Dimensional Requirements).
Art. 8.000, Sec. 8.22.2.d (Alteration to Pre-existing non-conforming, single family structure). Sec. 8.22.2.c & Sec. 8.22.1.d (Relocation, enlargement, or addition of windows, doors within setbacks). Art. 10.000, Sec. 10.40 (Special Permit).

DATE OF PUBLIC NOTICE: May 11 & May 18, 2023

DATE OF PUBLIC HEARING: May 25, 2023 & June 29, 2023

MEMBERS OF THE BOARD:

JIM MONTEVERDE – VICE-CHAIR
STEVEN NG
VIRGINIA KEESLER
FERNANDO DANIEL HIDALGO
WILLIAM BOEHM

ASSOCIATE MEMBERS:

MATINA WILLIAMS
WENDY LEISERSON
CAROL AGATE
THOMAS MILLER
ZARYA MIRANDA
MICHAEL LAROSA

Members of the Board of Zoning Appeal heard testimony and viewed materials submitted regarding the above request for relief from the requirements of the Cambridge Zoning Ordinance. The Board is familiar with the location of the petitioner’s property, the layout, and other characteristics as well as the surrounding district.

Case No. BZA-218487

Location: 15 Hutchinson Street, Cambridge, MA

Petitioner: Scott Kenton, Manager of 15 Hutchinson Street LLC - c/o Sarah Rhatigan, Esq.

On June 29, 2023, Petitioner Scott Kenton appeared before the Board of Zoning Appeal with his attorney Sarah Rhatigan requesting a special permit in order to construct dormers and window wells, a basement stair, and a second-floor deck within setbacks, and to expand and install new windows and door openings on exterior walls within setbacks. The Petitioner requested relief from Article 5, Section 5.31, Article 8, Sections 8.22.2.c&d and Article 10, Section 10.40 of the Cambridge Zoning Ordinance ("Ordinance"). The Petitioner submitted materials in support of the application, including information about the project, plans, and photographs.

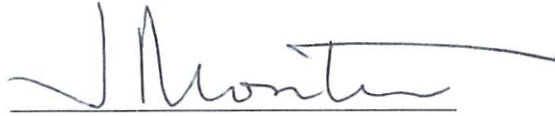
Ms. Rhatigan stated that as part of a substantial renovation of the house, the proposal was to add two Dormer Guideline compliant dormers and a deck at the third floor in order to create a master bedroom with code compliant stairs. She stated that the basement stair had been removed from the request, but the windows and wells were still needed. She stated that the house sat in the setbacks of its small lot and was therefore nonconforming with FAR and setbacks and that the proposal would only modestly increase these existing nonconformities. She stated that the special permit, if granted, would create an additional 233 square feet at the third level of the house.

The Chair asked if anyone wished to be heard on the matter. Three people raised questions and concerns about the project. The Chair noted letters in support and in opposition of the project from neighbors.

After discussion, the Chair moved that the Board make the following findings based upon the application materials submitted and all evidence before the Board and that based upon the findings the Board grant the requested relief as described in the Petitioner's submitted materials and the evidence before the Board: that the Board find that the Petitioner had met the requirements of Article 8, Section 8.22.2.2.c&d and Article 10, Section 10.40 for the granting of a special permit; that the Board incorporate the supporting statements and dimensional forms submitted as part of the application, with the dimensional forms as amended to add the basement square footage to both the existing and proposed.

The Chair further moved that based upon all the information presented the Board grant the requested relief as described in the Petitioner's submitted materials and the evidence before the Board on the condition that the work conform with the drawings entitled "15 Hutchinson Street" prepared by SKC Properties, dated June 20, 2023, as initialed by the Chair. The five member Board voted unanimously in favor of granting the special permit with the above condition (Monteverde, Leiserson, Agate, Keesler, and Ng). Therefore, the special permit is granted as conditioned.

The Board of Zoning Appeal is empowered to waive local zoning regulations only. This decision therefore does not relieve the petitioner in any way from the duty to comply with local ordinances and regulations of the other local agencies, including, but not limited to the Historical Commission, License Commission and/or compliance with requirements pursuant to the Building Code and other applicable codes.



Jim Monteverde, Chair

ATTEST: A true and accurate copy of the above decision has been filed on 9-8-23 with the Offices of the City Clerk and the Planning Board by Maria Pacheco duly authorized representative of the Board of Zoning Appeal.

Twenty days have elapsed since the above decision was filed in the office of the City Clerk and:

no appeal has been filed; or

an appeal has been filed within such twenty days.

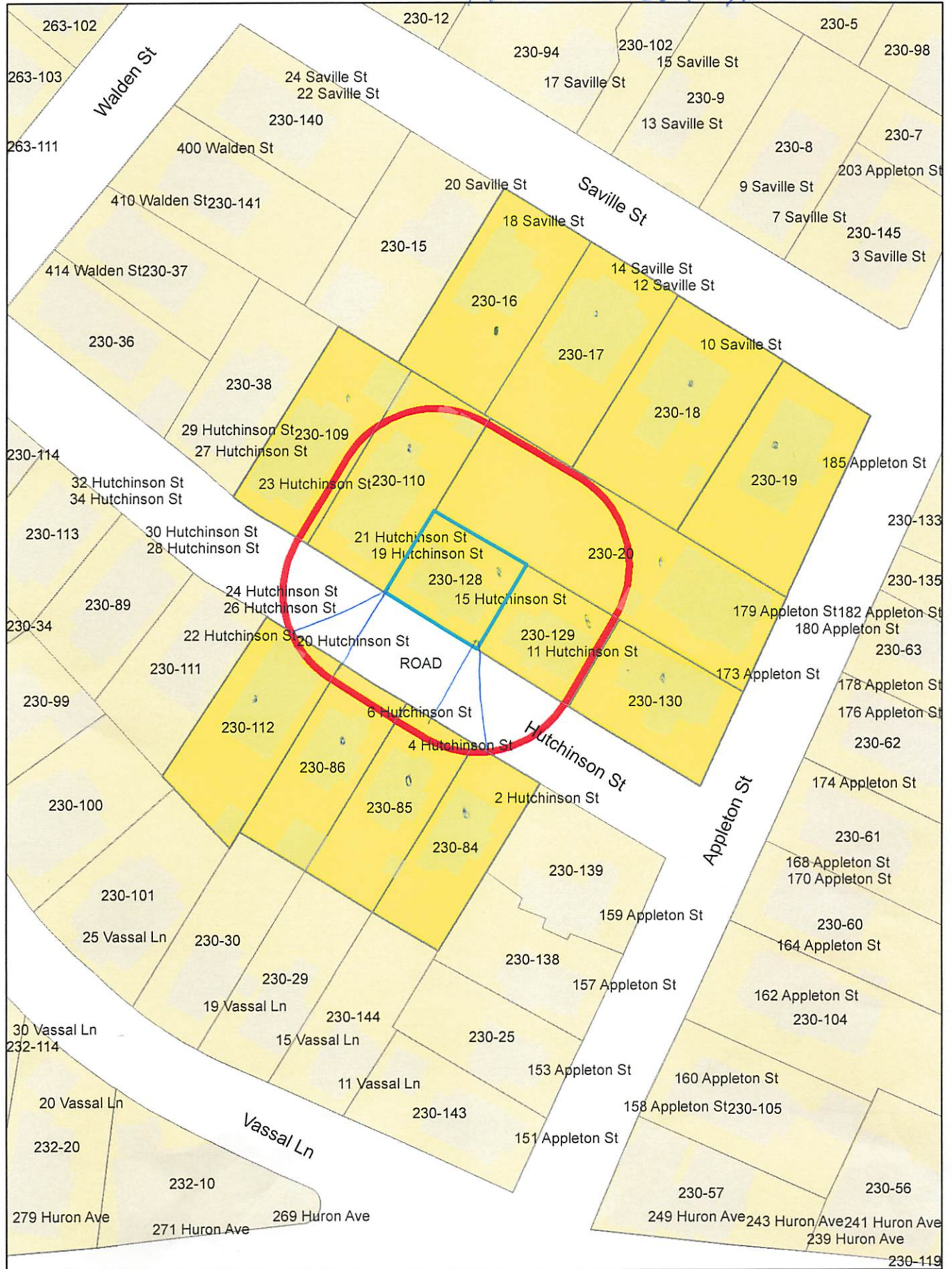
The person exercising rights under a duly appealed special permit does so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone. This certification shall in no event terminate or shorten the tolling, during the pendency of any appeals, of the periods provided under the second paragraph of G.L. c. 40A, §6.

Date: _____, City Clerk

Appeal has been dismissed or denied.

Date: _____, City Clerk

15 Hutchinson St



15 Hutchinson

Petitioner

230-16
BAKER, ELLEN R.
18 SAVILLE ST
CAMBRIDGE, MA 02138-1310

230-86
LANCASTER, KATHLEEN
10 LIBBIE AVE
RICHMOND, VA 23226

TRILOGY LAW LLC
C/O SARAH L. RHATIGAN, ESQ.
12 MARSHALL STREET
BOSTON, MA 02108

230-85
EMERTON, NATHAN &
BRITT CARLSON EMERTON
4 HUTCHINSON ST
CAMBRIDGE, MA 02138

230-18
MAZER, FRANK & ANGELA PENDLETON
10 SAVILLE ST.
CAMBRIDGE, MA 02138-1310

230-19
DAMICO, MARY
185 APPLETON ST
CAMBRIDGE, MA 02138-1330

230-129
JUE, CHARLEEN
11 HUTCHINSON ST
CAMBRIDGE, MA 02138

230-17
BERNSTEIN, JANE
12 SAVILLE ST
CAMBRIDGE, MA 02138-1310

230-112
ROCHLIN, GREGORY & HELEN FREY ROCHLIN
20-22 HUTCHINSON STREET
CAMBRIDGE, MA 02138-1340

230-130
BLUME, RANDY L.
173 APPLETON ST
CAMBRIDGE, MA 02138

230-109
HALVERSON, PETER G, GEOFFREY A. CHRISTOPHER
D. HALVERSON
23-25 HUTCHINSON ST
CAMBRIDGE, MA 02138

230-128
15 HUTCHINSON STREET LLC
1979 MASSACHUSETTS AVE
CAMBRIDGE, MA 02140

230-110
MALLOY RYAN
TRS OWH REALTY TR
19 HUTCHINSON ST
CAMBRIDGE, MA 02138

230-20
179 APPLETON STREET LLC
100 GARDEN STREET
CAMBRIDGE, MA 02138

230-84
SCHINDELHEIM, JONATHAN P. &
ANDREA SIMPSON
2 HUTCHINSON ST
CAMBRIDGE, MA 02138



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: _____

(Print)

Date: _____

Address: _____

Case No. _____

Hearing Date: _____

Thank you,
Bza Members

**CHARLEEN JUE
11 HUTCHINSON ST.
CAMBRIDGE, MA 02138**

10/22/23
City of Cambridge
Board of Zoning Appeals
RE: 15 Hutchinson Street
Case BZA-218487

Dear Ms. Pacheco:

I am the owner of 11 Hutchinson St. and I support the rehabilitation of #15 Hutchinson exactly as outlined in the revised plans dated Sept 12, 2023, which have been submitted to the BZA for review on November 9th.

Sincerely,

Charleen Jue



Notice of Public Hearing

A Petition has been presented to the Board of Zoning Appeal (BZA) on the following matter. If you wish to express your views in favor of or in opposition to the petition, you are invited to attend the public hearing held virtually, or submit a written statement to the Board of Zoning Appeal, 831 Mass Avenue, Cambridge, Mass. or email your comments to Maria Pacheco mpacheco@cambridgema.gov. If you would like further information, please contact the Zoning department at 349-6100 or visit our office at Inspectional Services Department. Please be advised that documents may be submitted, including revisions to plans or documents previously submitted, by the petitioner or any interested party for the BZA's consideration at the hearing if the documents are submitted prior to 5:00 p.m. on the Monday before the public hearing. It is within the BZA's sole discretion whether to accept further revisions to plans or documents at the public hearing.

Members of the public can participate or view the meeting remotely using the Zoom Webinar link: <https://cambridgema.zoom.us/j/85702655517>

Or join by phone: Dial +1 929 436 2866 or +1 301 715 8592 - Webinar ID: 857 026 55517

VIRTUAL HEARING – THURSDAY – NOVEMBER 9, 2023 @ 6:30 P.M.

Please Note: If at this hearing the BZA Chairperson continues the case to a later date, you will not receive further notice. However, dates for continued BZA cases are posted on the notice board at the City Clerk's office, City Hall, and the City's Website.

CASE NO: BZA-244964

LOCATION: 15 HUTCHINSON STREET
CAMBRIDGE, MA

PETITIONER: 15 HUTCHINSON STREET LLC / SCOTT KENTON, MGR.
C/O SARAH L. RHATIGAN, ESQ.

ZONING DISTRICT: RESIDENCE B ZONE

PETITION: **Special Permit:** To change previously approved plans from BZA-218487 by constructing dormers and window wells within setbacks. Expand and install new window and door openings on exterior walls within setbacks.

VIOLATIONS: Art. 5.000, Sec. 5.31 (Table of Dimensional Requirements). Art. 8.000, Sec. 8.22.2.d (Alteration to Pre-Existing Non-Conforming Single-Family Structure). Sec. 8.22.2.c & Sec. 8.22.1.d (Relocation, Enlargement, or Addition to Windows and Doors within Setbacks). Art. 10.000, Sec. 10.40 (Special Permit).

Copies of the application are on file at the City Clerk's Office, City Hall, 795 Massachusetts Avenue, and at the Inspectional Services Department, Lombard Building, 831 Massachusetts Avenue, Cambridge, Massachusetts.

Address written comments to the Board of Zoning Appeal, 831 Massachusetts Avenue, Cambridge, MA 02139

For more information please call 349-6100. TTY: 349-6112