

BZA-103558

BZA APPLICATION FORM

GENERAL INFORMATION

2021 JAN 13 PM 2:11
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: Variance: Appeal:

PETITIONER: Randolph N. Wentworth & Sue F. Wentworth

PETITIONER'S ADDRESS: 19 Brown St.

LOCATION OF PROPERTY: 19 Brown St.

TYPE OF OCCUPANCY: Residential ZONING DISTRICT: A-2

REASON FOR PETITION:

- Additions New Structure
- Change in Use/Occupancy Parking
- Conversion to Addi'l Dwelling Unit's Sign
- Dormer Subdivision
- Other: _____

DESCRIPTION OF PETITIONER'S PROPOSAL:

Addition of 47.5 sf for a full bath on the first floor

Move in location of already approved south side window

SECTIONS OF ZONING ORDINANCE CITED:

Article 5 Section 5.31

Article 8 Section 8.22.2.C

Article _____ Section _____

Applicants for a Variance must complete Pages 1-5
Applicants for a Special Permit must complete Pages 1-4 and 6
Applicants for an Appeal to the BZA of a Zoning determination by the
Inspectional Services Department must attach a statement concerning the reasons
for the appeal

Original Signature(s): 
(Petitioner(s)/Owner)

Randolph N. Wentworth/Sue F. Wentworth
(Print Name)

Address: 19 Brown St.

Cambridge, MA 02138

Tel. No.: 857-259-6254

E-Mail Address: clarewentworth@gmail.com

Date: 12-28-20

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Randolph N. Wentworth & Sue F. Wentworth
(OWNER)

Address: 19 Brown St., Cambridge, MA 02138

State that I/We own the property located at 19 Brown St., which is the subject of this zoning application.

The record title of this property is in the name of Randolph N. and Sue F. Wentworth

*Pursuant to a deed of duly recorded in the date 8/29/2018, Middlesex South County Registry of Deeds at Book 71543, Page 399; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____

Sue F. Wentworth
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

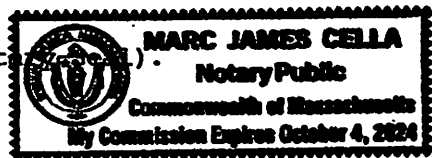
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Randolph and Sue Wentworth personally appeared before me, this 13 of June, 2019, and made oath that the above statement is true.

Marc J. Cella Notary

My commission expires Oct. 4, 2024 (Notary)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

Wentworth Application
19 Brown Street

Background/Context

We received BZA approval in July 2019 to add a 75 sf mudroom and to extend an existing window well (BZA-017143-2919). We then made the decision to work with a new architect, Maggie Booz. With the pandemic, our start has been delayed, but we understand that the one-year window to begin construction remains suspended.

During this time, we talked with a friend who works with people who want to age in place, and she strongly recommended we add a full bath on the first floor in the event that we can't manage stairs.

We are coming back to this Board to seek a variance for a 47.5 sf addition for a full bath on the back of the house. We are also asking for a Special Permit to move the location of a previously approved window.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Randolph N. & Sue F. Wentworth PRESENT USE/OCCUPANCY: Residential
 LOCATION: 19 Brown St. ZONE: A-2
 PHONE: 857-259-6254 REQUESTED USE/OCCUPANCY: Residential

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>1671</u>	<u>1793.52</u>	<u>1240</u> (max.)
LOT AREA:	<u>2480</u>	<u>2480</u> (1746 already approved)	<u>6000</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>.67</u>	<u>.72</u>	<u>.50</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>2480</u>	<u>2480</u>	<u>4500</u> (min.)
SIZE OF LOT:	WIDTH	<u>30.79</u>	<u>30.79</u> (min.)
	DEPTH	<u>80</u>	<u>80</u> (min.)
Setbacks in Feet:	FRONT	<u>7</u>	<u>20</u> (min.)
	REAR	<u>16.5</u>	<u>25</u> (min.)
	LEFT SIDE	<u>4.4</u>	<u>7.5</u> (min.)
	RIGHT SIDE	<u>2.9</u>	<u>7.5</u> (min.)
SIZE OF BLDG.:	HEIGHT	<u>23.32</u>	<u>35</u> (max.)
	LENGTH	<u>56</u>	<u>n/a</u>
	WIDTH	<u>22.3</u>	<u>n/a</u>
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>.53</u>	<u>.48</u>	<u>.50</u> (min.)
NO. OF DWELLING UNITS:	<u>1</u>	<u>1</u>	<u>1</u> (max.)
NO. OF PARKING SPACES:	<u>1</u>	<u>1</u>	<u>1</u> (min./max)
NO. OF LOADING AREAS:	<u>0</u>	<u>0</u>	<u>0</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>n/a</u>	<u>n/a</u>	<u>n/a</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

no other occupancies

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Sue W. <clarewentworth@gmail.com>
Sent: Tuesday, January 12, 2021 5:08 PM
To: Pacheco, Maria
Subject: Fwd: House renovations

Hi again Maria,

May we add this to the neighbor letters of support?

Thank you!

Sue

Begin forwarded message:

From: "Sue W." <clarewentworth@gmail.com>
Subject: Fwd: House renovations
Date: December 5, 2020 at 3:18:03 PM EST
To: "Wentworth, Randolph Nelson" <Randolph_Wentworth@hks.harvard.edu>

Begin forwarded message:

From: James Van Sickle <jamesrvansickle@gmail.com>
Subject: House renovations
Date: December 5, 2020 at 1:57:17 PM EST
To: Sue Wentworth <clarewentworth@gmail.com>
Cc: Mary Alice Van Sickle <maryalicevansickle@gmail.com>

Good afternoon Sue & Rand,

We received your note and drawings showing the small bathroom addition at the rear of your house and the addition of a fireplace chimney.

Mary Alice and I fully support those additions. As a close neighbor, I will have to recuse myself as a voting member during the HCM hearing, but as a neighbor I will be happy to speak in favor of your plans. It seems that there is some benefit to your delays - allowing you to fully think through your future needs.

We hope that you are managing to get through this latest Covid surge safely. We find ourselves 'locked down' as we were last spring, but comfortable in our house.

Regards,

-Jim & Mary Alice

Pacheco, Maria

From: Sarah Hopkinson <sarahlouisehopkinson@gmail.com>
Sent: Tuesday, January 12, 2021 2:52 PM
To: Pacheco, Maria
Cc: Sue Wentworth; Michael Segel
Subject: 19 Brown Street

Dear Maria,

I hope you are keeping safe and well.

My husband Michael Segel and I - residents of 20 Brown St. in Cambridge - are writing in full support of our neighbors' (Sue and Randolph Wentworth) proposed addition to their house at 19 Brown Street. We have seen the plans and think the alterations will make a wonderful addition to the house and street.

Many thanks,

Sarah Hopkinson and Michael Segel

Wentworth Application
19 Brown Street

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During this time, we talked with a friend who works with people who want to age in place, and she strongly recommended we add a full bath on the first floor in the event that we can't manage stairs.

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Half Crown-Marsh Neighborhood Conservation District Commission

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

James Van Sickle, Chair; Marie-Pierre Dillenseger, Vice Chair;
Jo Solet, Peter Schur, Members
Adrian Catalano, Maximillian Frank, and Rory O'Connor, Alternates

CERTIFICATE OF APPROPRIATENESS

Property: 19 Brown Street

Applicant: Randolph and Sue Wentworth

The Cambridge Historical Commission hereby certifies, pursuant to the Massachusetts Historic Districts Act (M.G.L. Ch. 40C) and the Cambridge Historical Commission Ordinance (Cambridge City Code, Section 2.78), that failure to approve the work described below will involve a substantial hardship to the applicant and that the activity involved may be approved without substantial detriment to the public welfare and without substantial derogation from the purposes of the district:

Construct addition at rear of house; add chimney on south slope of roof.

Work is to be carried out as indicated on the drawing and specifications by Smart Architecture, dated 12/18/2020 titled, "Wentworth Residence".

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. These plans and specifications are incorporated into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.

Case Number: **HCM-505** Date of Certificate: 01-12-2021
Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on 01-12-2021.

By James VanSickle / Eric Hill, Chair/CHC Staff.

Twenty days have elapsed since the filing of this decision.
No appeal has been filed _____. Appeal has been filed _____.
Date _____, City Clerk.

19 Brown St.

Relatives

220-59
VAN SICKLE, JAMES R., & MARY ALICE
TRUSTEE OF 15 BROWN STREET REALTY TR.
15 BROWN ST
CAMBRIDGE, MA 02138-4820

220-60
MAURER, CHARLES W. JR.
17 BROWN ST
CAMBRIDGE, MA 02138

220-61
RANDOLPH NELSON WENTWORTH
SUE FISHER WENTWORTH
19 BROWN ST
CAMBRIDGE, MA 02138

220-65
KENT, GEORGE ALAN,
TRUSTEE THE 2 FOSTER PL NOM TRUST
2 FOSTER PL
CAMBRIDGE, MA 02138

220-66
GEVALT, DEBORAH H.,
TRUSTEE CAROLYN H. BURNS
8 FOSTER PL
CAMBRIDGE, MA 02138

220-67
KAHN, BONNIE MENES
10 FOSTER PL
CAMBRIDGE, MA 02138

220-77
QUAYLE, DWIGHT W, &
DEBORAH K. MANEGOLD
16 BROWN ST
CAMBRIDGE, MA 02138

220-151
JUST, ANNE B.
18 BROWN ST.
CAMBRIDGE, MA 02138

220-62
MULLIGAN, RICHARD
35 FOSTER STREET
CAMBRIDGE, MA 02138

220-64
GREENUP, JOHN E.,
TRS. OF THE JOHN E. GREENUP REV. TRS.
45 FOSTER STREET
CAMBRIDGE, MA 02138

220-63
MULKEEN, MARIA L. & ERIC J, KOZOL CO
TRUSTEE OF 39 FOSTER ST REALTY TRUST
39 FOSTER ST
CAMBRIDGE, MA 02138

220-75
SEGEL, MICHAEL
20 BROWN ST
CAMBRIDGE, MA 02138

BZA Application Form

Supporting Statement for a Special Permit

Granting the Special Permit requested for 19 Brown Street would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

Two windows in the side yard setback have been approved previously. Window A is proposed to remain essentially in place; the other window B is smaller in size than what was approved and is located 5' on center west of window A. This location change has insignificant effect on the reasons behind the initial approval for the windows.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No traffic would be generated and no patterns of access or egress affected, thereby no congestion, hazard, or substantial change in established neighborhood character would be caused by approval of the window change.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

There would be no effect on the continued operation of or the development of adjacent uses.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard would be created by the proposed modification in this window location and in addition, the diminishing of the size of one of the windows would lessen its possible nuisance.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The integrity of the district would not be affected by this proposed window location change.

BZA Application Form

Supporting Statement for a Variance (Final)

- A. A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:**

This 1886 house, which has been modified a number of times, includes only 1 full bath, on the second floor; there is a half-bath on the first floor, in a closet, which does not meet code. We would like to “age in place” and a full bath on the first floor would help us if we can no longer manage the stairs. This may also be important for future owners. In addition, not having a full bath on the first floor would make it difficult for future owners with more than one child to live in the house (the third room upstairs has to be walked through to get to the master bedroom).

We want to acknowledge that this Board approved a 75 sq. ft. addition for a mudroom at a hearing in July 2019. Due to the pandemic we have not been able to move forward as we would have liked, and during the interim, came to recognize the benefits of having a full bathroom on the first floor.

- B. The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:**

Our lot is long and narrow, creating setback issues that require the relief we’re seeking. Our 1671 square foot house and 2480 square foot lot is an anomaly in an A-2 district governed by regulations intended for much larger properties; we believe the modification we are proposing is modest and respectful of the proportions we are actually working with.

- C. Desirable relief may be granted without either:**

- 1) Substantial detriment to the public good for the following reasons:

The proposed addition would not be visible from Brown or Foster Streets; it would only be visible from Foster Place, a private way. We have reached out to all twelve of our immediately surrounding neighbors; the eight who responded all did so with enthusiastic support. The Half-Crown Marsh Neighborhood Conservation District Commission also approved of our proposal, with individual members of the Commission expressing appreciation and excitement.

- 2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The design proposed would upgrade the housing stock of the City by improving the structure of the house, respecting the proportions of the lot, and making the house workable for all age groups. We believe the modest and discreet design contributes to and enhances the housing stock in the neighborhood.

Pacheco, Maria

From: James Van Sickle <jamesrvansickle@gmail.com>
Sent: Monday, January 25, 2021 11:21 AM
To: Pacheco, Maria
Cc: Sue Wentworth; Mary Alice Van Sickle
Subject: Case No: BZA-103558

Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA
mpacheco@cambridgema.gov

Re: Case No. BZA-103558
19 Brown Street
Cambridge, MA

Dear Sirs/Madams:

We are writing in support of the proposed small bathroom addition at 19 Brown Street by petitioners Randolph & Sue Wentworth. We are close neighbors of the Wentworths. We have reviewed the very complete plans and elevations of the proposed addition that they sent to us. It is a small bump-out that cannot be seen from Brown Street. It will provide them with the ground floor bathroom they will need to stay in place as they age. It is exactly the kind of addition that makes sense in our neighborhood – not very large, but one that will allow the owners to stay in their home into the future.

Thank you,

Jim & Mary Alice Van Sickle
15 Brown Street
Cambridge, MA

Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA
mpacheco@cambridgema.gov



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

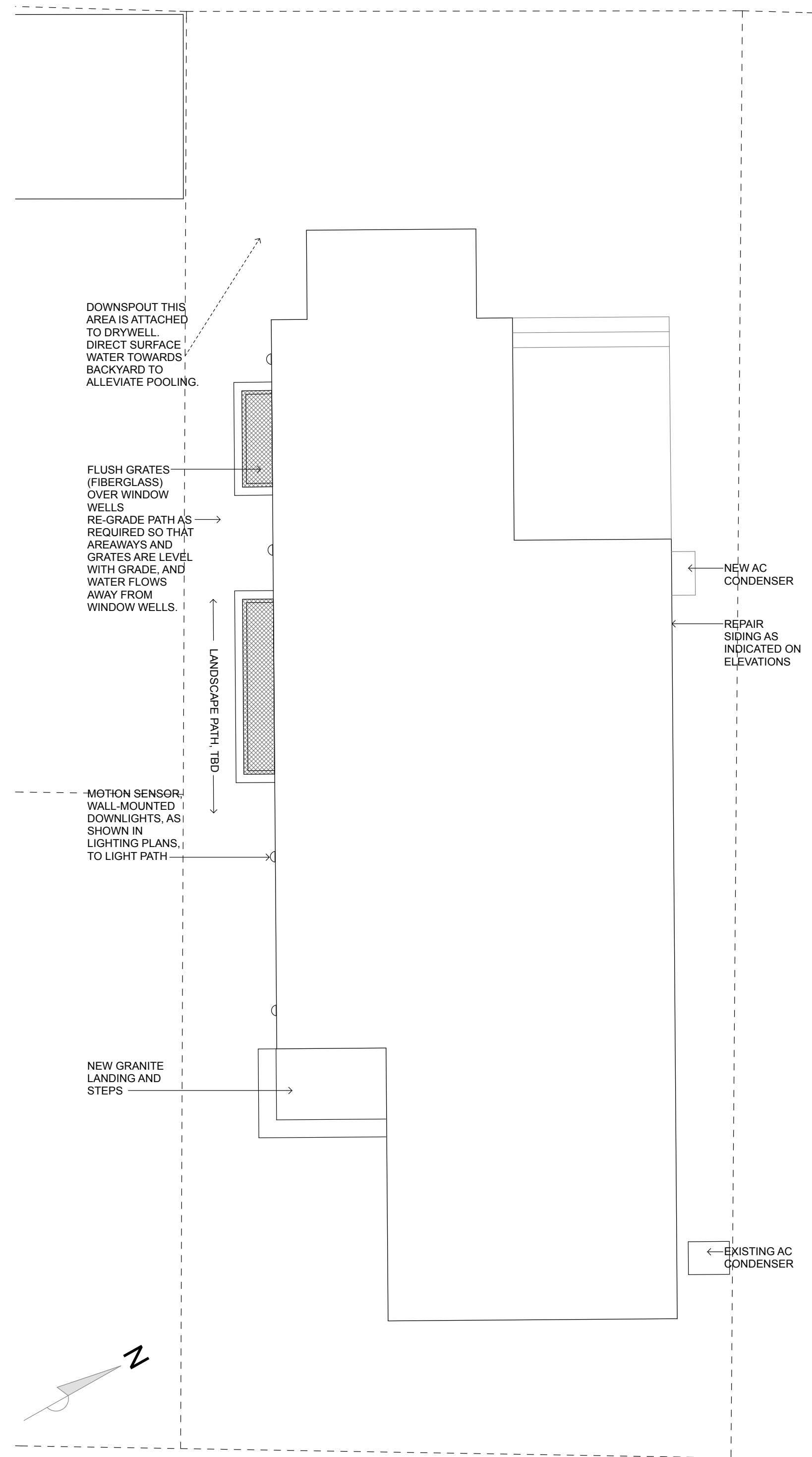
Name: RANDOLPH WENTWORTH Date: 1/21/21
(Print)

Address: 19 Brown St.

Case No. 103558

Hearing Date: 2/11/21

Thank you,
Bza Members



↓ DOWNSPOUT THIS AREA IS ATTACHED TO DRYWELL. DIRECT SURFACE WATER TOWARDS BACKYARD TO ALLEVIATE POOLING.

→ FLUSH GRATES (FIBERGLASS) OVER WINDOW WELLS
 → RE-GRADE PATH AS REQUIRED SO THAT AREAWAYS AND GRATES ARE LEVEL WITH GRADE, AND WATER FLOWS AWAY FROM WINDOW WELLS.

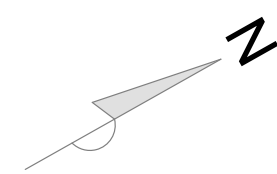
--- MOTION SENSOR, WALL-MOUNTED DOWNLIGHTS, AS SHOWN IN LIGHTING PLANS, TO LIGHT PATH

→ NEW GRANITE LANDING AND STEPS

← NEW AC CONDENSER

← REPAIR SIDING AS INDICATED ON ELEVATIONS

← EXISTING AC CONDENSER



General Drawing Note:
 Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

SMART ARCHITECTURE
 625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

Wentworth Residence
 19 Brown Street
 Cambridge, MA

2002 Wentworth	
Job number	as noted
Scale	12.18.20
Date	aj
Drawn by	msb
Checked by	

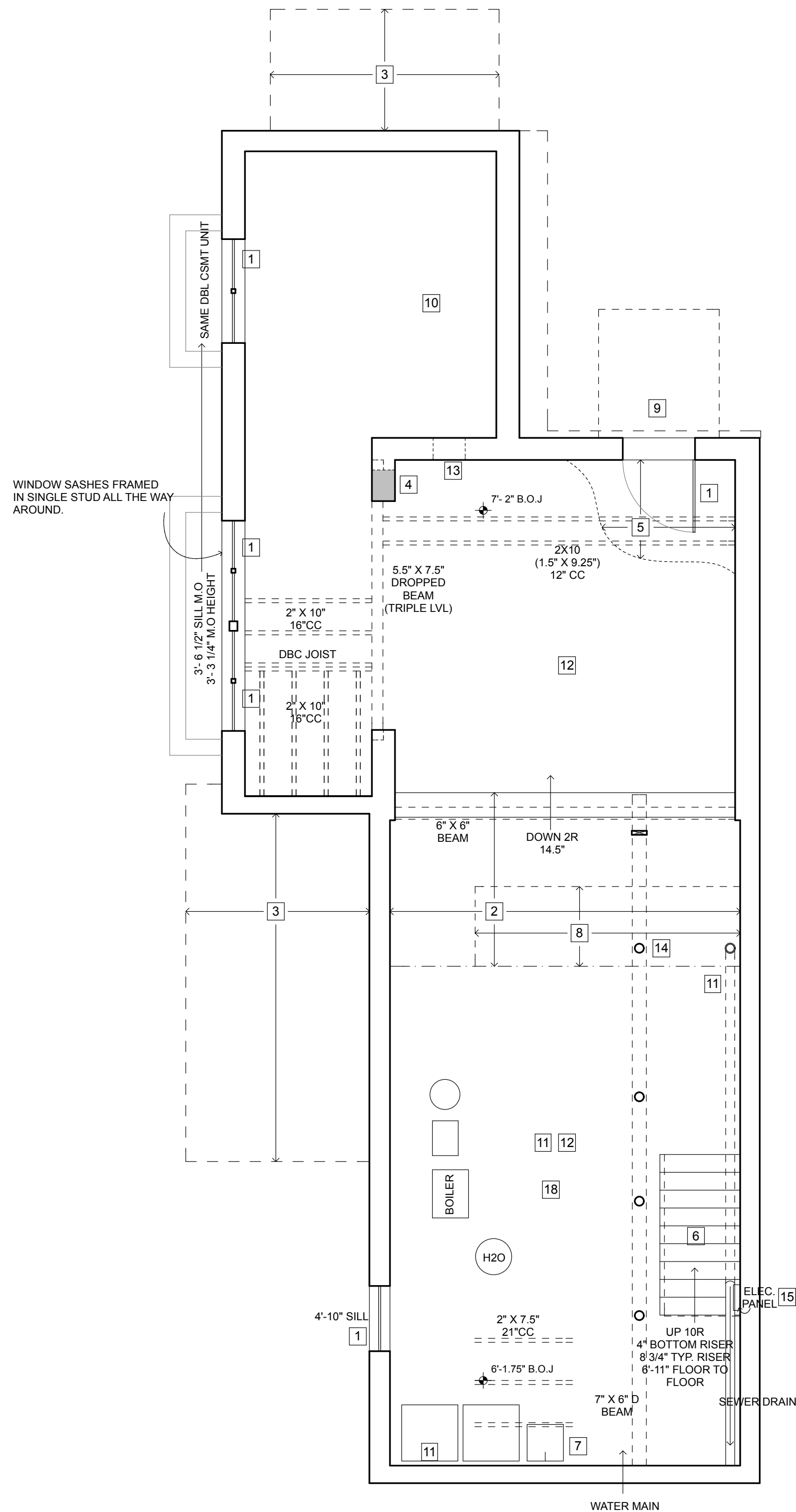
Proposed Site Plan

A-1.0

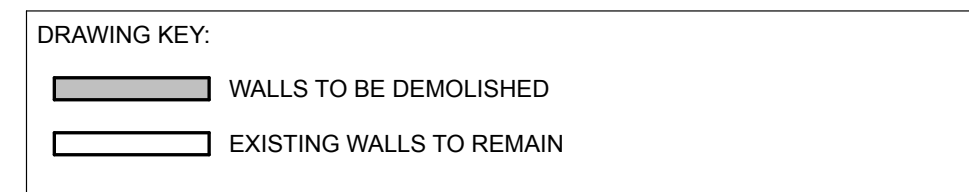
Site Plan - 19 Brown Street

3/16" = 1'-0"





- BASEMENT DEMOLITION NOTES**
- 1 REMOVE DOOR OR WINDOW.
 - 2 REMOVE CONCRETE FLOOR SLAB & STEPS IN THIS LOCATION.
 - 3 EXCAVATE AREA FOR NEW FOOTING AND FROST WALL.
 - 4 REMOVE FOUNDATION WING WALL, LEAVING MIN 5" OF BEARING FOR BEAM END.
 - 5 REMOVE RAISED SECTION OF CONCRETE FLOOR IN ORDER TO LEVEL.
 - 6 REMOVE STAIR TO 1ST FLOOR.
 - 7 REMOVE WASHER, DRYER, & LAUNDRY SINK FOR REPLACEMENT.
 - 8 REMOVE PORTION OF 1ST FLOOR JOISTS AND CARRYING BEAM ABOVE FOR NEW STAIR CONSTRUCTION.
 - 9 REMOVE EXISTING BULKHEAD, METAL STAIR ENCLOSURE, STEPS.
 - 10 DISMANTLE EXISTING WOOD SHELVING, RETAIN FOR RE-INSTALL IN NEW LOCATION TBD BY OWNER.
 - 11 REMOVE CRACKED SEWER DRAINAGE PIPE, REMOVE DECOMMISSIONED STORMWATER PIPE, AND REPLACE WASHER WASTE PIPE W/ PVC.
 - 12 REMOVE EXTRANEIOUS WIRES, TUBES, PIPES, ETC.
 - 13 REMOVE C.M.U. BLOCK FOR NEW HVAC DUCT FROM DUCTED MINI-SPLIT IN REAR ROOM.
 - 14 REMOVE POST FOR REPLACEMENT.
 - 15 REMOVE ELECTRICAL PANEL FOR REPLACEMENT AND RELOCATION.
 - 16
 - 17
 - 18 REMOVE POWER VENT FOR REPLACEMENT W/ QUIETER MODEL.



General Drawing Note:
Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

SMART ARCHITECTURE
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

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Cambridge, MA

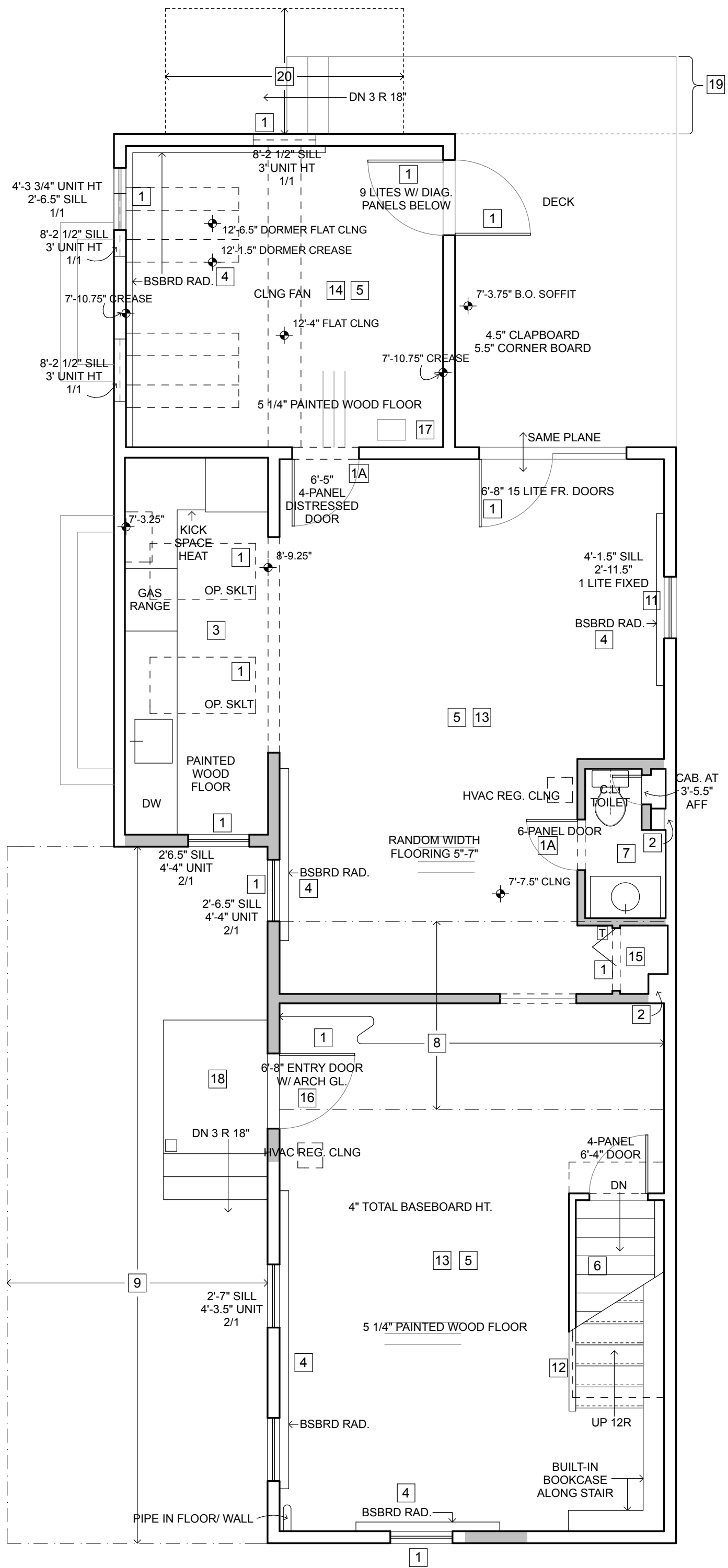
2002 Wentworth	
Job number	as noted
Scale	12.18.20
Date	aj
Drawn by	msb
Checked by	

Basement Demolition Plan

A-2.0

Basement Demolition Plan

1/4" = 1'-0" 1



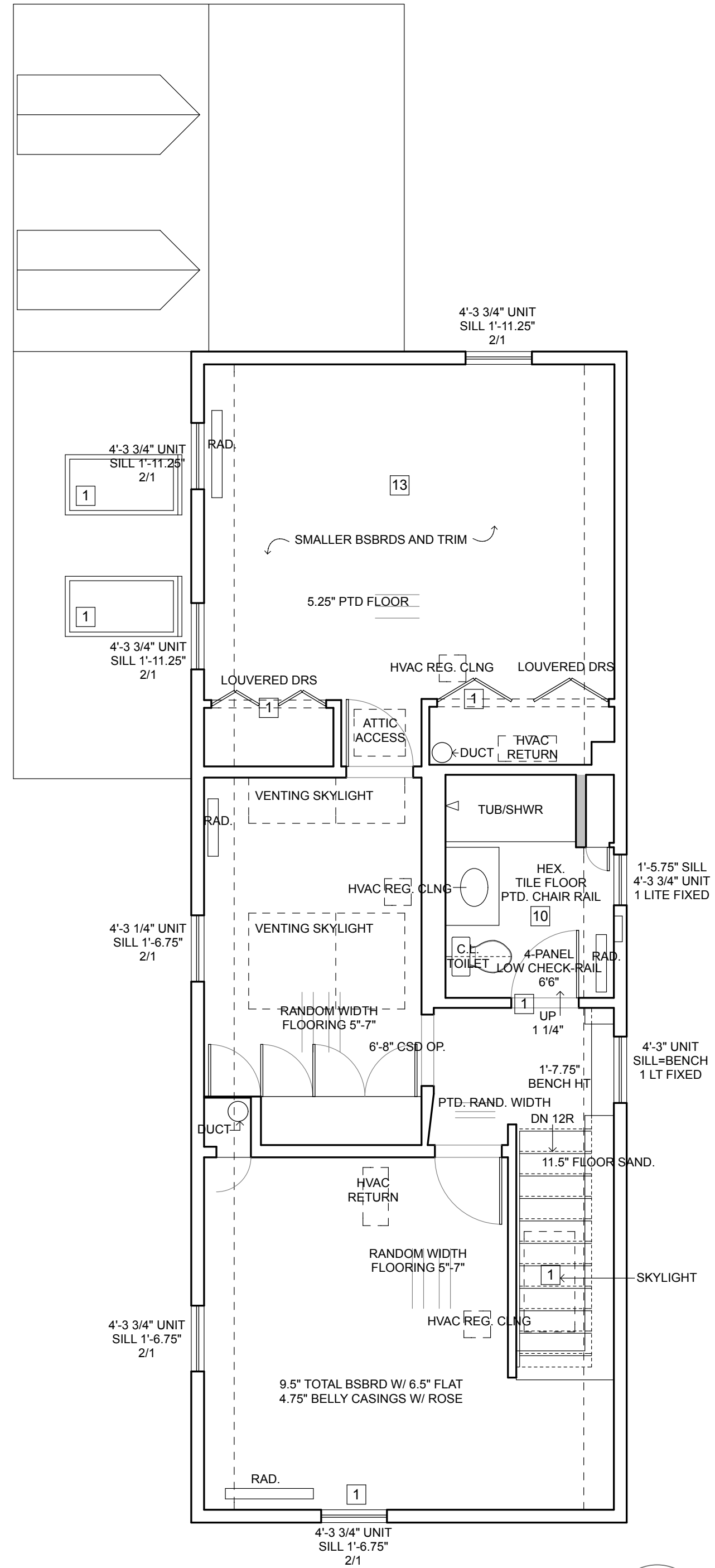
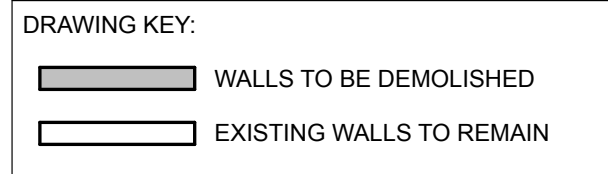
First Floor Demolition Plan

1/4" = 1'-0"

1

**FIRST & SECOND FLOOR
DEMOLITION NOTES**

- 1 REMOVE DOOR OR WINDOW.
- 1A REMOVE DOOR OR WINDOW & RETAIN FOR RE-USE.
- 2 EXISTING INTERIOR CHASE.
- 3 SALVAGE KITCHEN SHELF CABINET ABOVE SINK, HANGING WALL CABINET TO RIGHT OF STOVE. REMOVE LOWER CABINETS, COUNTERS, APPLIANCES, LIGHTING, WALL & CEILING WOOD PANELING.
- 4 REMOVE BASEBOARD RADIATOR.
- 5 REMOVE AND RETAIN EXISTING HONEYCOMB SHADES AS INDICATED BY OWNER.
- 6 REMOVE STAIR TO BASEMENT, INCLUDING BASEMENT STAIR SHELVES.
- 7 REMOVE POWDER ROOM AND CAP PLUMBING. RETAIN MARBLE-TOP VANITY, SINK & FIXTURES FOR ARCHITECTURAL SALVAGE. RETAIN EXHAUST FAN FOR RE-USE.
- 8 REMOVE WOOD FLOORING IN THIS AREA. SALVAGE FOR NEW CLOSET FLOOR. REMOVE FLOOR FRAMING FOR NEW STAIR CONSTRUCTION.
- 9 REMOVE BRICK DRIVEWAY & STOCKPILE @ REAR YARD DURING CONSTRUCTION.
- 10 REMOVE CEILING, WALL & FLOOR TILE, BEADBOARD, EXHAUST FAN, LIGHT FIXTURES, BATHTUB, SINK CABINET & DISCARD. REMOVE TOILET FOR RE-INSTALL. REMOVE MARBLE COUNTER & SINK AND RETAIN FOR ARCHITECTURAL SALVAGE. RETAIN BRASS FAUCETS, SINK DRAIN COVER, SMALL EXTERIOR WALL CABINET & RADIATOR, ALL FOR RE-USE.
- 11 REMOVE INTERIOR SHUTTERS, RETAIN FOR RE-USE, LOCATION TBD.
- 12 REMOVE MAPLE BANNISTER AND RETAIN FOR REUSE. REMOVE AND DISCARD BALUSTERS FOR REPLACEMENT.
- 13 REMOVE WINDOW CASING IN THIS ROOM FOR REPLACEMENT.
- 14 REMOVE CEILING FAN.
- 15 REMOVE PANTRY.
- 16 RETAIN FRONT DOOR HARDWARE FOR REUSE.
- 17 REMOVE SECTION OF FLOOR FOR NEW HVAC REGISTER.
- 18 REMOVE LANDING AND STEPS.
- 19 REMOVE PORTION OF DECK.
- 20 EXCAVATE AREA FOR NEW FOOTING AND FROST WALL.



Second Floor Demolition Plan

1/4" = 1'-0"

2

General Drawing Note:
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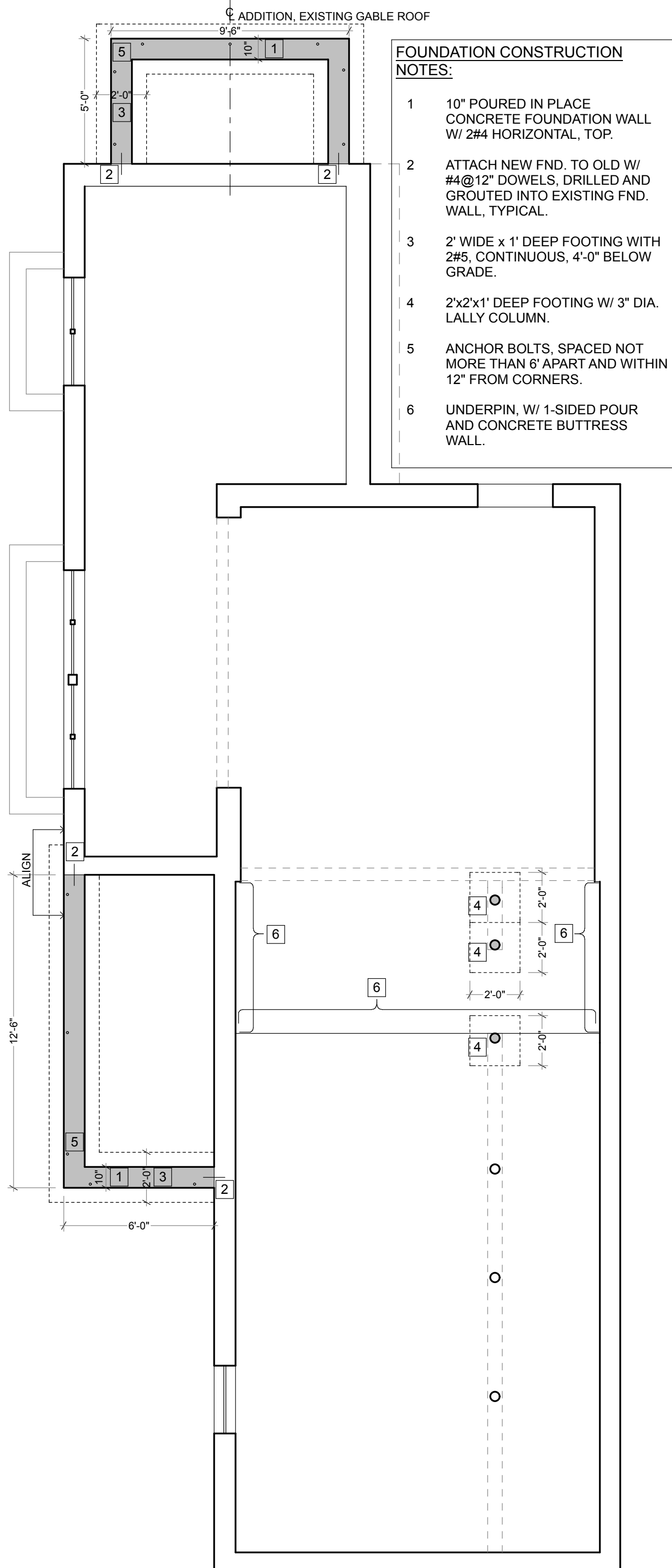
SMART ARCHITECTURE
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

Wentworth Residence
19 Brown Street
Cambridge, MA

2002 Wentworth	
Job number	as noted
Scale	12.18.20
Date	aj
Drawn by	msb
Checked by	

First and Second Floor
Demolition Plans

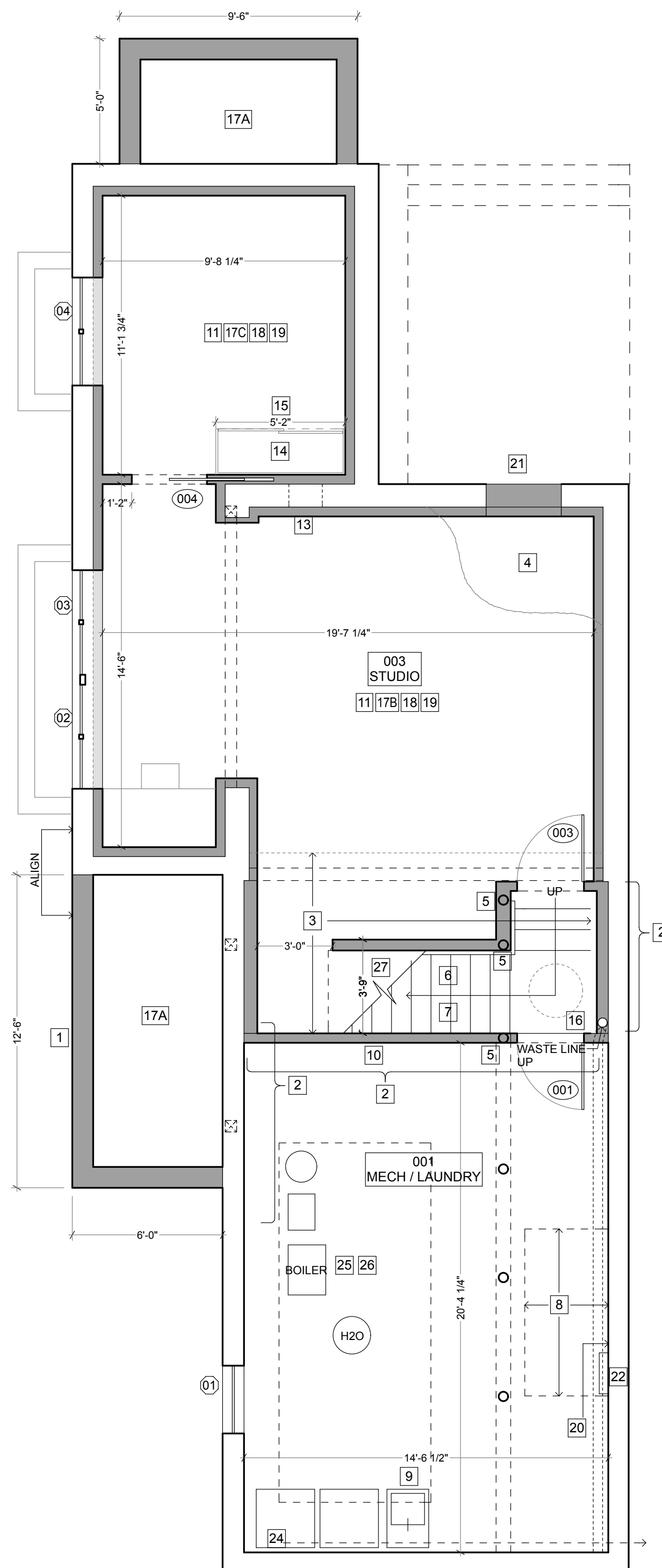
A-2.1



Proposed Foundation Plan

1/4" = 1'-0"

1



Proposed Basement Plan

1/4" = 1'-0"

2

- BASEMENT CONSTRUCTION NOTES:**
- CONSTRUCT NEW FOUNDATION/FROST WALL WITH FOOTING. HEIGHT OF WALL TO ALLOW FOR LOWER MUDROOM FLOOR LEVEL ABOVE.
 - UNDERPIN, W/ 1-SIDED POUR AND CONCRETE BUTTRESS WALL INTERIOR, THESE PORTIONS OF "OLD" FOUNDATION
 - NEW SLAB @ NEW, EXCAVATED LEVEL.
 - SLAB REPAIRS WHERE "HUMP" IS REMOVED.
 - NEW LALLY COLUMN ON FOOTING TO SUPPORT BEARING BEAM REMOVAL.
 - ALTER 1ST FLOOR WOOD FRAMING WHERE NEW STAIR IS BEING CONSTRUCTED.
 - NEW WOOD STAIR: PINE TREADS, PAINTED RISERS, WALL-MOUNTED HANDRAIL. INCLUDE ACCESS PANEL IN LANDING PLATFORM TO EJECTOR PUMP.
 - FRAME-IN 1ST FLOOR WHERE BASEMENT STAIR IS REMOVED.
 - INSTALL NEW WASHER, DRYER, AND LAUNDRY SINK WITH SHELF FOR DEHUMIDIFIER.
 - INSULATE PARTITION WALL FOR SOUND.
 - NEW INTERIOR WALL: 2X4 P.T. STUDS W/ SPRAY-FOAM INSULATION, BLUEBOARD AND PLASTER.
 - NEW FROST WALL FOUNDATION BELOW FIRST FLOOR BATHROOM ADDITION.
 - ADD DUCT AND HIGH SIDE WALL REGISTER FROM NEW MINI-SPLIT.
 - NEW MINI-SPLIT LOCATION ABOVE BUILT-IN ARMOIRE, W/ DUCTS TO FIRST FLOOR OFFICE ABOVE, AND TO BASEMENT STUDIO. ACCESS PANELS FOR FILTERS AND ELECTRICALS.
 - BUILT-IN ARMOIRE, PAINTED, WITH SLIDING DOORS.
 - NEW EJECTOR PUMP LOCATION FOR BASEMENT BATH BELOW STAIR PLATFORM (OR IN UNFINISHED BASEMENT LOCATION TBD).
 - 17A SPRAY FOAM INSULATION IN FIRST FLOOR JOISTS AND RIM JOIST TO R-30 OVER UNCONDITIONED SPACE.
 - 17B ROXUL MINERAL WOOL SOUND INSULATION IN CEILING ABOVE. RESILIENT CHANNEL ON STRAPPING, PAINTED BEADBOARD FINISH.
 - 17C OPEN CEILING JOISTS, SPRAY-PAINT FINISH.
 - PAINT ROOM.
 - EPOXY PAINT FLOOR COATING OVER SELF-LEVELING CONCRETE.
 - MASONRY WALL REPAIRS.
 - BLOCK IN W/ CMU & EPOXY GROUT THE PREVIOUS FOUNDATION DOOR OPENING. WATERPROOF PATCH AT EXTERIOR AND INTERIOR. INSTALL FILL AT EXTERIOR WHERE METAL RUBBISH IS REMOVED. COMPACT THE FILL.
 - PROVIDE CONDUIT FROM HOUSE ELECTRIC PANEL LOCATION TO ROOF FOR FUTURE SOLAR PANEL INSTALLATION. LOCATION TBD.
 - MOVE DRYER VENT TO EXIT AT NORTH SIDE OF BUILDING.
 - REPLACE POWER VENT W/ QUIETER MODEL.
 - REPLACE AIR BLEEDER ON HEAT EXCHANGER AND REPLACE TPR VALVE ON WATER HEATER/ ZINC ANODE.
 - STORAGE UNDER STAIRS, DESIGN TBD.
- DRAWING KEY:**
- NEW DOOR
 - NEW WINDOW
 - NEW CONSTRUCTION
 - EXISTING WALLS TO REMAIN
- * GENERAL NOTES:**
- ALL NEW BLUEBOARD HAS SMOOTH PLASTER SURFACE
 - ALL EXPOSED EXTERIOR WALLS TO BE INSULATED TO MAXIMUM POSSIBLE R-VALUE, MATERIAL T.B.D.

General Drawing Note:
Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

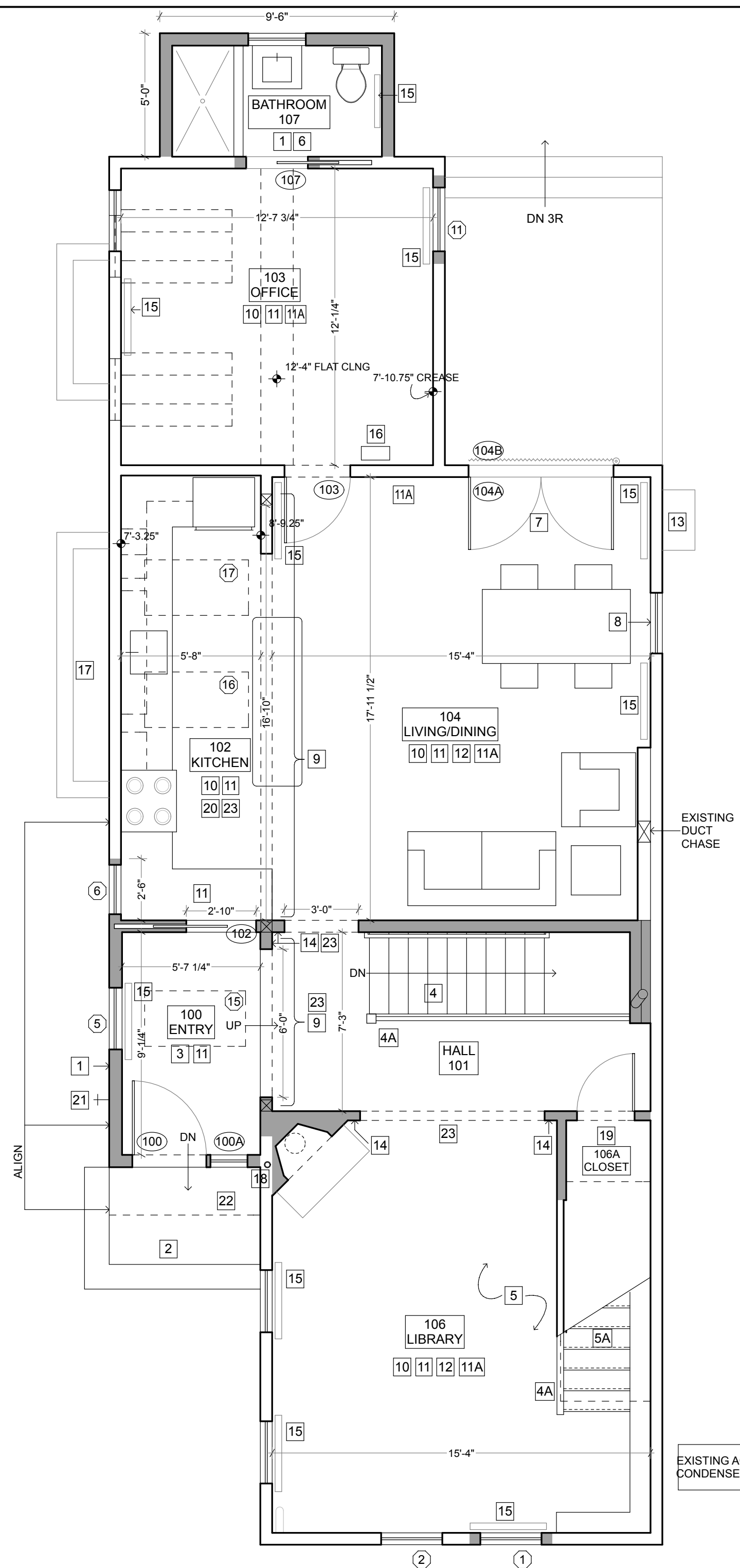
SMART ARCHITECTURE
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

Wentworth Residence
19 Brown Street
Cambridge, MA

2002 Wentworth	
Job number	as noted
Scale	12.18.20
Date	aj
Drawn by	msb
Checked by	

Proposed Basement Plan

A-3.0



FIRST FLOOR CONSTRUCTION NOTES

- 1 CONSTRUCT 1-STORY ADDITION AS SHOWN INCLUDING MATCHING EXTERIOR MATERIALS & DETAILS - CLAPBOARD SIDING & ASPHALT SHINGLE ROOF.
- 2 NEW GRANITE PLATFORM & STEP, WRAP-AROUND.
- 3 ENTRY: TILE FLOOR, UNPAINTED BEADBOARD ON CEILING, BOARD & BATTEN PANELING ON WALLS. NEW SKYLIGHT W/ SHADE. NEW POCKET SHUTTER, ABOVE COUNTER HEIGHT, BETWEEN KITCHEN AND NEW ENTRY.
- 4 NEW STAIR, GUARDRAIL & BALUSTERS: MAPLE RAILING TO MATCH EXISTING RAILING ON STAIR TO 2ND FLOOR, PAINTED SQUARE BALUSTERS. NEWEL POST.
- 4A NEW PAINTED SQUARE BALUSTERS & NEWEL POST. REUSE EXISTING RAILING.
- 5 TIGHTEN UP FLOORBOARDS IN AREA INDICATED.
- 5A TIGHTEN UP STAIR TREADS TO MINIMIZE SQUEAKING: SAND AND FILL SPLIT TREADS WITH EPOXY, PAINT. REPLACE TREADS WHERE REQUIRED.
- 6 BATHROOM: TILE HALF-WALL. CUSTOM TILE SHOWER ENCLOSURE. RE-USE EXISTING TOILET FROM MASTER BATH, NEW PEDESTAL SINK & SINGLE HOLE FAUCET, EXHAUST FAN TO EXTERIOR. TILE FLOOR. RE-USE SALVAGED EXHAUST FAN. SLOPED CEILINGS.
- 7 REPLACE DOORS TO EXTERIOR IN OPENING W/ RAISED HEADER.
- 8 INSTALL NEW INTERIOR SHUTTERS.
- 9 NEW BEAM.
- 10 SAND EXISTING WOOD FLOOR AND REFINISH. FINISH TBD.
- 11 PAINT ROOM.
- 11A LIGHTLY SAND WALLS TO REMOVE MOST EGREGIOUS PLASTER RUSTIFICATION BEFORE PAINTING.
- 12 REPLACE WINDOW CASINGS W/ BULLSEYE STYLE AS IN SECOND FLOOR (EAST).
- 13 NEW MINI-SPLIT CONDENSER LOCATION.
- 14 CASING WIDTH DIMENSION.
- 15 NEW BUDERUS ENAMELED STEEL RADIATORS.
- 16 NEW REGGIO FLUSH CAST IRON FLOOR REGISTER FROM DUCTED MINI-SPLIT MOUNTED IN BASEMENT CEILING BELOW.
- 17 FLUSH GRATE OVER NEW EGRESS AREAWAY AND WINDOW WELL - FIBERGLASS OR ALUMINUM.
- 18 CONDUIT TO SOLAR PANELS AT ROOF, LOCATION TBD.
- 19 FRAME IN FORMER STAIR OPENING. SALVAGED WOOD FLOOR INTERIOR, FINISH TBD. STORAGE SHELVES, DESIGN TBD.
- 20 KITCHEN NOTES: NEW PAINTED WOOD CABINETS. STONE COUNTERTOPS, UNDERMOUNT SINK, DUAL-FUEL STOVE, FRIDGE W/ FREEZER, DISHWASHER, DISPOSAL W/ AIR SWITCH. TILE BACKSPLASH/ STAINLESS BACKSPLASH PANEL AT STOVE. BEADBOARD CEILING. RE-INSULATE EXTERIOR WALLS/ CEILING, NEW WOOD FLOORING TO MATCH EXISTING IN NEW AREA. REPLACE (2) EXISTING SKYLIGHTS IN SAME LOC. W/ SKYLIGHTS W/ SHADES. WATER FILTER ON WATER SUPPLIES BELOW SINK.
- 21 NEW SPIGOT.
- 22 BEADBOARD UNDERSIDE OF ROOF OVERHANG.
- 23 CASED OPENING.

DRAWING KEY:

- NEW DOOR
- NEW WINDOW
- NEW CONSTRUCTION
- EXISTING WALLS TO REMAIN

*** GENERAL NOTES:**

- ALL NEW BLUEBOARD HAS SMOOTH PLASTER SURFACE
- ALL EXPOSED EXTERIOR WALLS TO BE INSULATED TO MAXIMUM POSSIBLE R-VALUE, MATERIAL T.B.D.

Proposed First Floor Plan

1/4" = 1'-0"

1

General Drawing Note:
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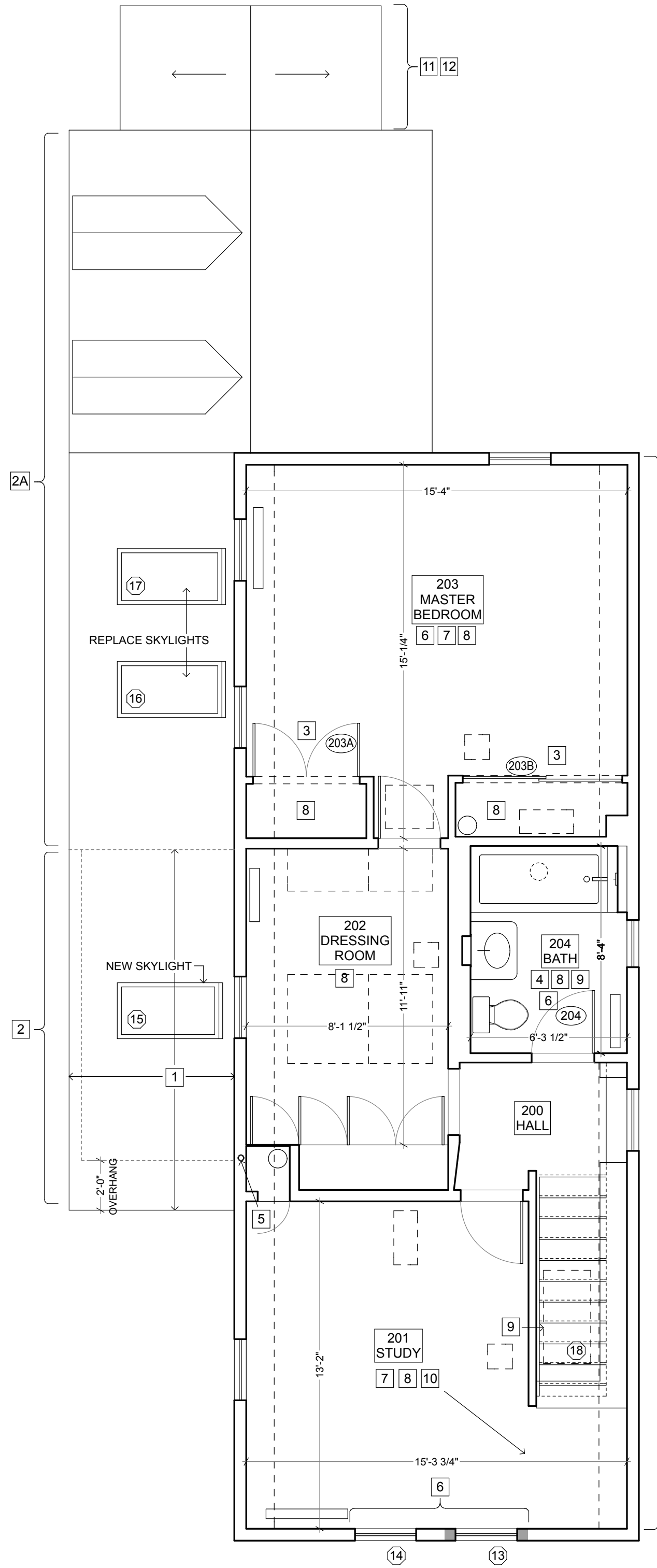
SMART ARCHITECTURE
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

Wentworth Residence
19 Brown Street
Cambridge, MA

2002 Wentworth	
Job number	as noted
Scale	12.18.20
Date	aj
Drawn by	msb
Checked by	

Proposed First Floor Plan

A-3.1



SECOND FLOOR CONSTRUCTION NOTES

- 1 NEW ROOF FRAMING, CONTIGUOUS WITH EXISTING
- 2 NEW ASPHALT SHINGLE ROOF, OVER ICE & WATER SHIELD, 3/4" SHEATHING, FOAM ROOF INSULATION. EXTEND EXISTING GUTTER. NEW DOWNSPOUT. ADD LEAF GUARD TO EXISTING AND NEW GUTTERS.
- 2A NEW ASPHALT SHINGLE ROOF, NEW GUTTERS & DOWNSPOUTS. GUTTERS WITH LEAF GUARDS.
- 3 REPLACE CLOSET DOORS AS SHOWN.
- 4 BATHROOM: NEW SELF-FACING BATHTUB 32" X 66" W/ RAISED STONE LEDGE @ WINDOW END. BUILD IN EXTERIOR WALL FOR NEW SHOWER VALVE & FILL SPOUT, RAIN SHOWER HEAD ABOVE. NEW TILE TUB/ SHOWER SURROUND. NEW PEDESTAL SINK. RECESSED MEDICINE CABINET. NEW POLISHED NICKEL FAUCET. NEW TOILET. NEW BLUEBOARD & PLASTER CEILING. NEW BEADED WAINSCOTE. NEW EXHAUST FAN LOCATION DUCTED TO EXTERIOR.
- 5 CONDUIT TO SOLAR PANELS AT ROOF. LOCATION TBD.
- 6 NEW WINDOW TRIM.
- 7 SAND & REFINISH FLOOR, 3 COATS POLY. OR RE-PAINT.
- 8 PAINT ROOM.
- 9 REPLACE SKYLIGHT W/ OPERABLE MODEL OVER STAIR.
- 10 SCREW/ GLUE FLOORBOARDS TO RECTIFY SQUEAKING IN THIS AREA.
- 11 NEW ROOF FRAMING, AT SAME PITCH AS ADJACENT GABLE.
- 12 NEW ASPHALT SHINGLE ROOF, OVER ICE & WATER SHIELD, 3/4" SHEATHING, FOAM ROOF INSULATION. NEW GUTTERS & DOWNSPOUTS. GUTTERS WITH LEAF GUARDS.

DRAWING KEY:

- NEW DOOR
- NEW WINDOW
- ▬ NEW CONSTRUCTION
- ▬ EXISTING WALLS TO REMAIN

*** GENERAL NOTES:**

- ALL NEW BLUEBOARD HAS SMOOTH PLASTER SURFACE
- ALL EXPOSED EXTERIOR WALLS TO BE INSULATED TO MAXIMUM POSSIBLE R-VALUE, MATERIAL T.B.D.

Proposed Second Floor Plan
 1/4" = 1'-0" 1

General Drawing Note:
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SMART ARCHITECTURE
 625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

Wentworth Residence
 19 Brown Street
 Cambridge, MA

2002 Wentworth
 Job number
 Scale **as noted**
 Date **12.18.20**
 Drawn by **aj**
 Checked by **msb**

Proposed Second Floor Plan

A-3.2



Existing East/ Front Elevation

1/4" = 1'-0"

1



Existing West/ Back Elevation

1/4" = 1'-0"

2

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Wentworth Residence
19 Brown Street
Cambridge, MA

2002 Wentworth	
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Drawn by	msb
Checked by	

Existing Front & Rear Elevations

A-6.0



Existing South/ Left Side Elevation

1/4" = 1'-0"

1

General Drawing Note:
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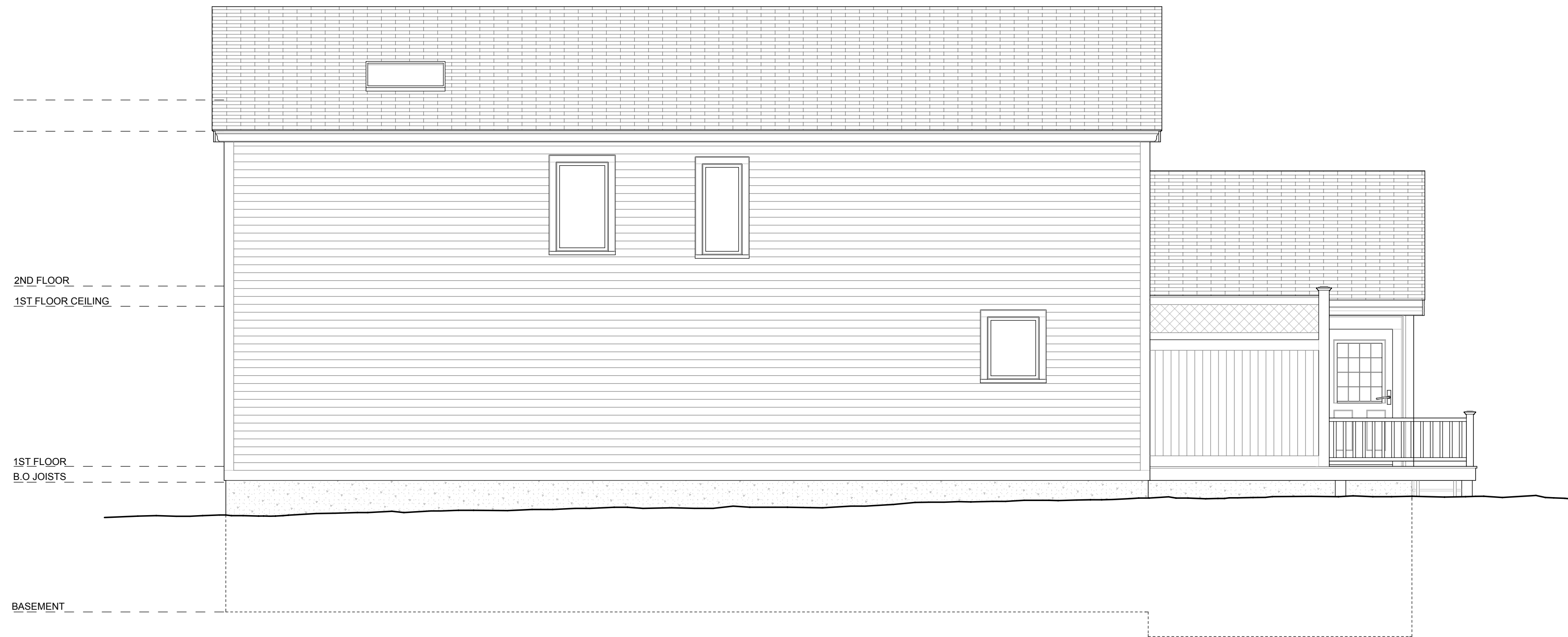
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Existing South Elevation

A-6.1



Existing North/ Right Side Elevation

1/4" = 1'-0"

1

General Drawing Note:
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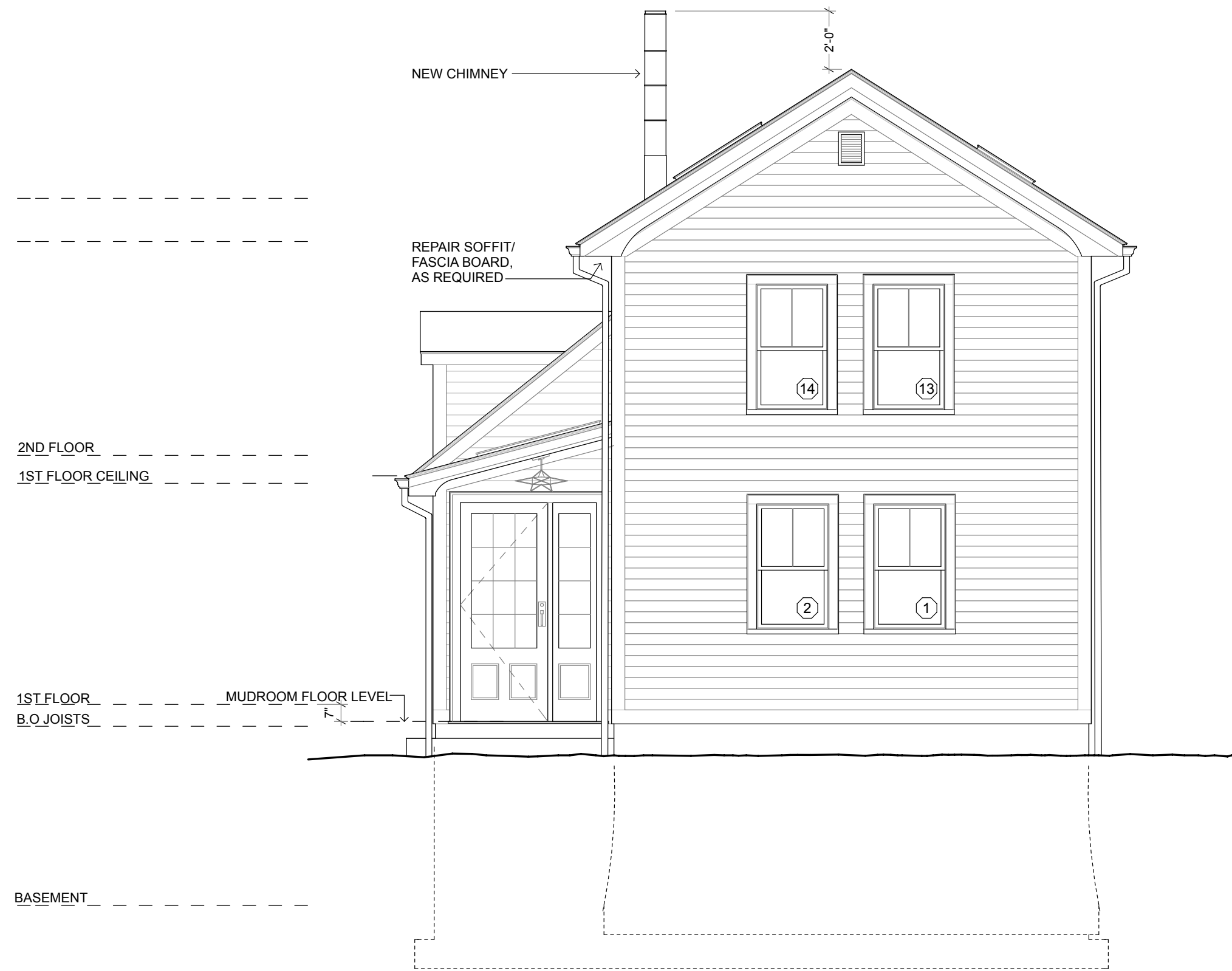
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Existing North Elevation

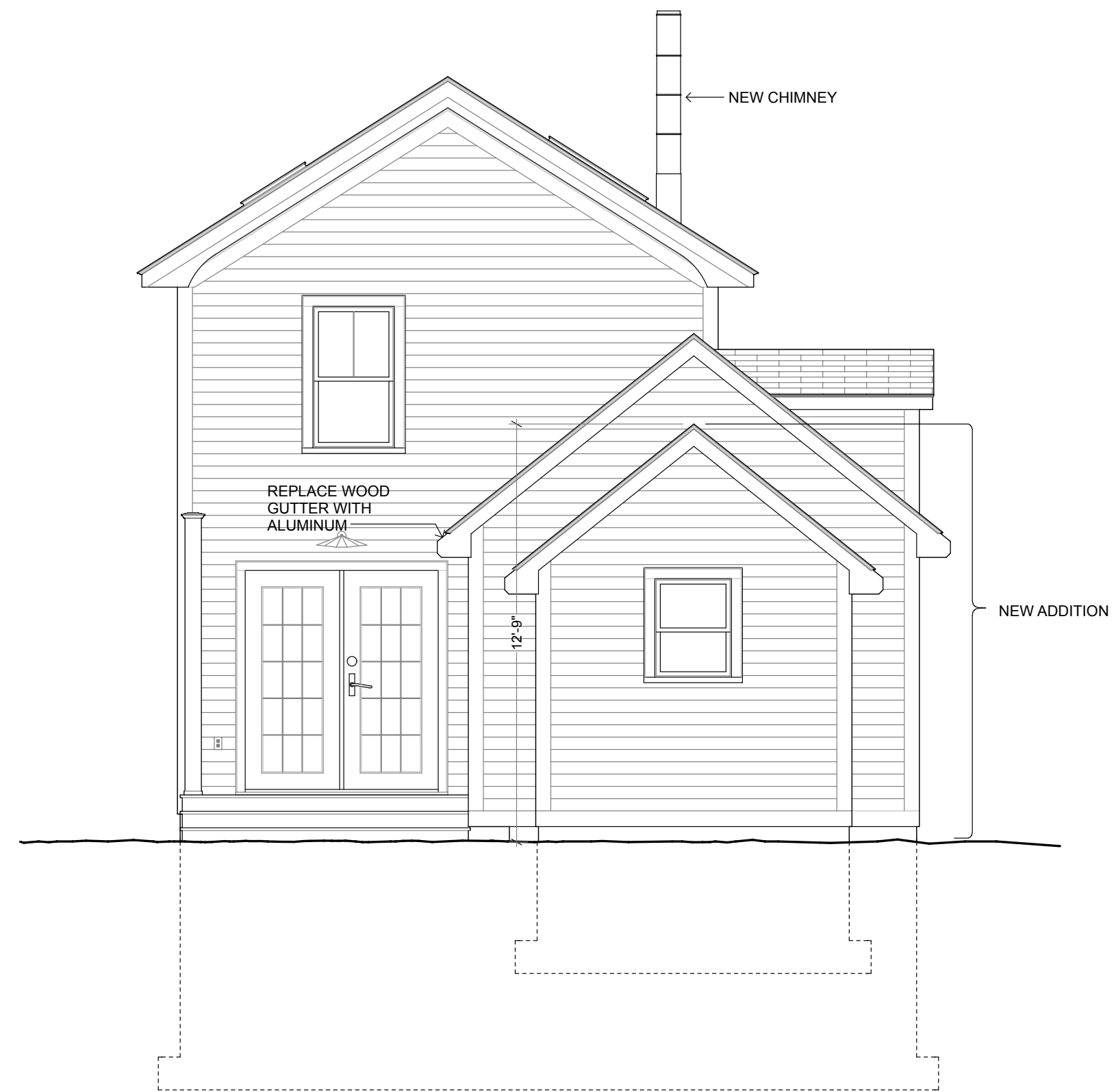
A-6.2



Proposed East/ Front Elevation

1/4" = 1'-0"

1



Proposed West/ Rear Elevation

1/4" = 1'-0"

2

General Drawing Note:
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Proposed East & West Elevations

A-7.0



Proposed South/ Left Side Elevation

1/4" = 1'-0"

1

General Drawing Note:
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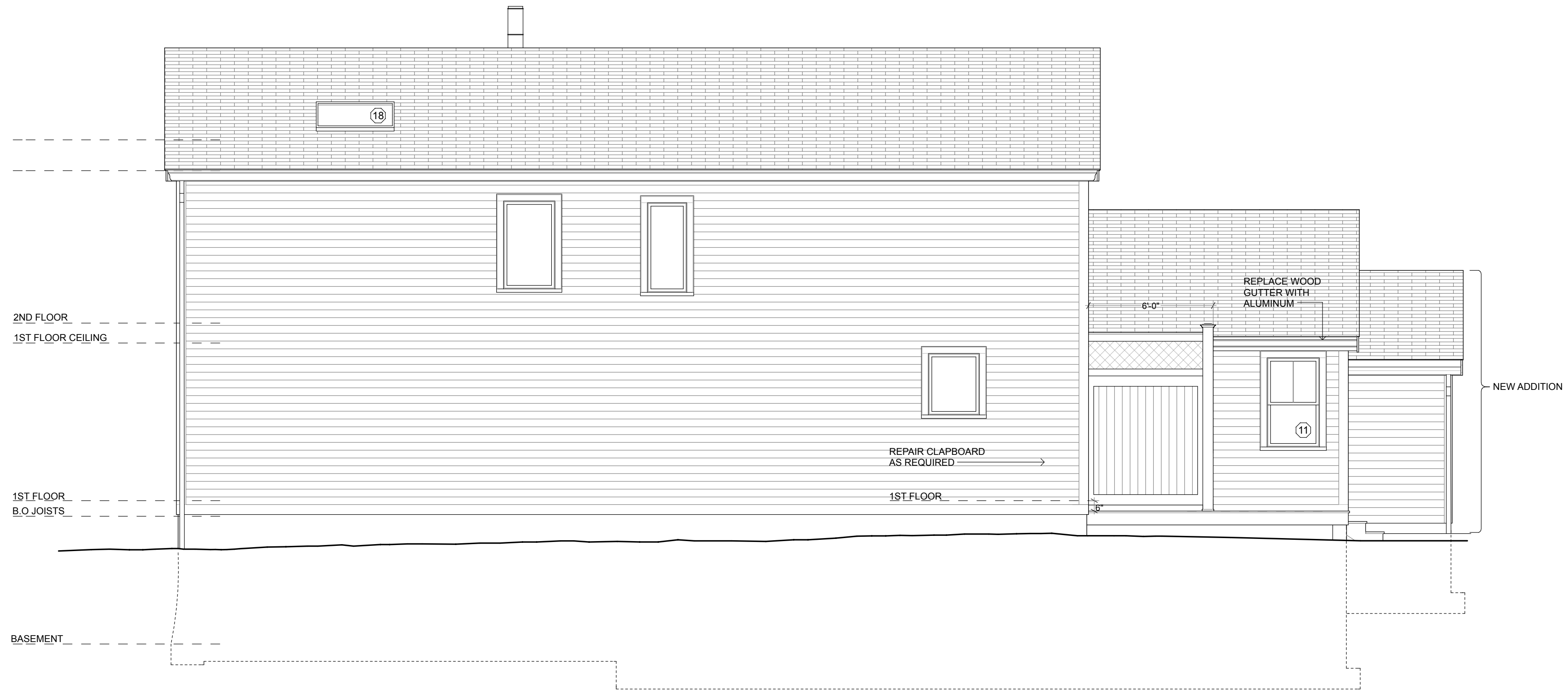
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 19 Brown Street
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as noted
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Date
aj
Drawn by
msb
Checked by

Proposed South Elevation

A-7.1



Proposed North/ Right Side Elevation

1/4" = 1'-0"

1

General Drawing Note:
 Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

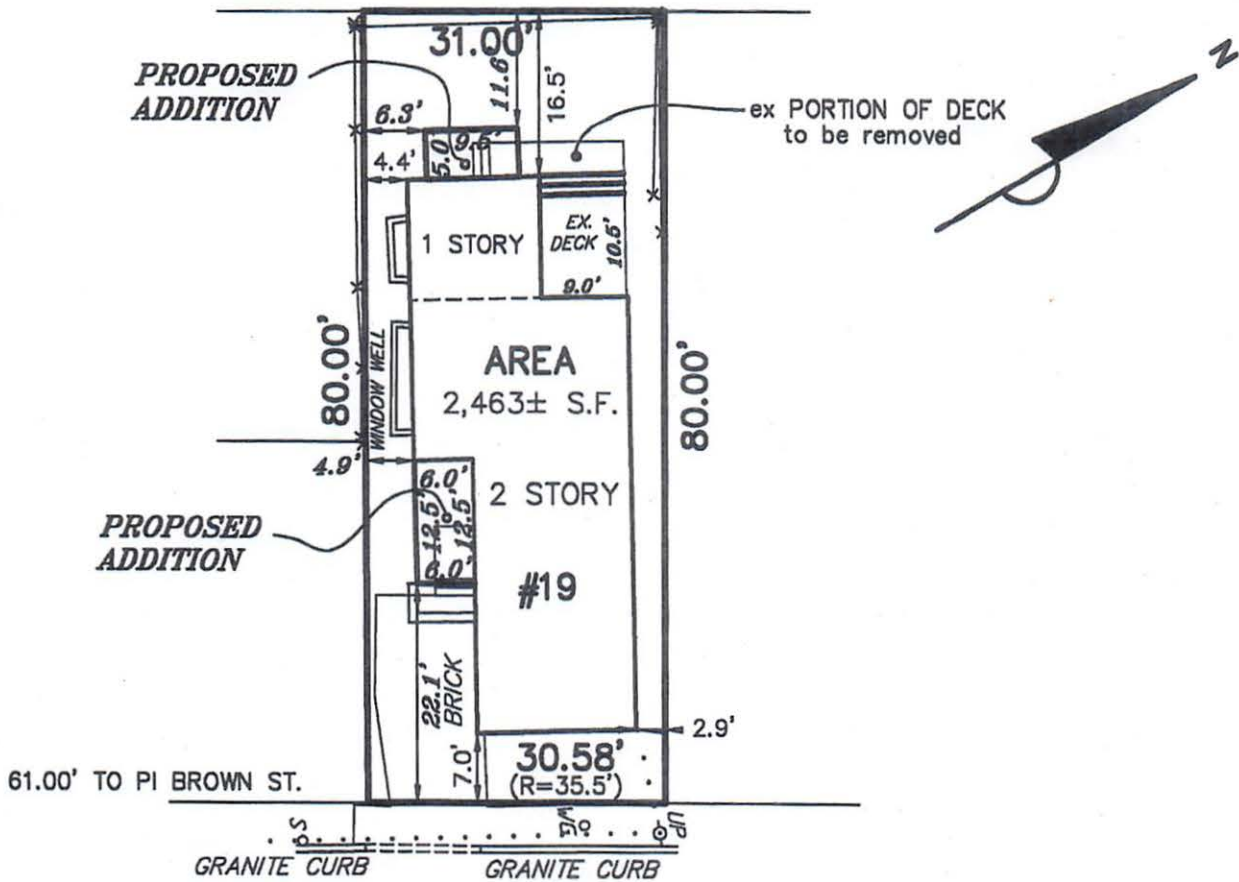
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Checked by	

Proposed North Elevation

A-7.2



BROWN STREET

OWNER: RANDOLPH & SUE WENTWORTH

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.



[Signature] 12/14/20
CLIFFORD E. ROBER, PLS **DATE**

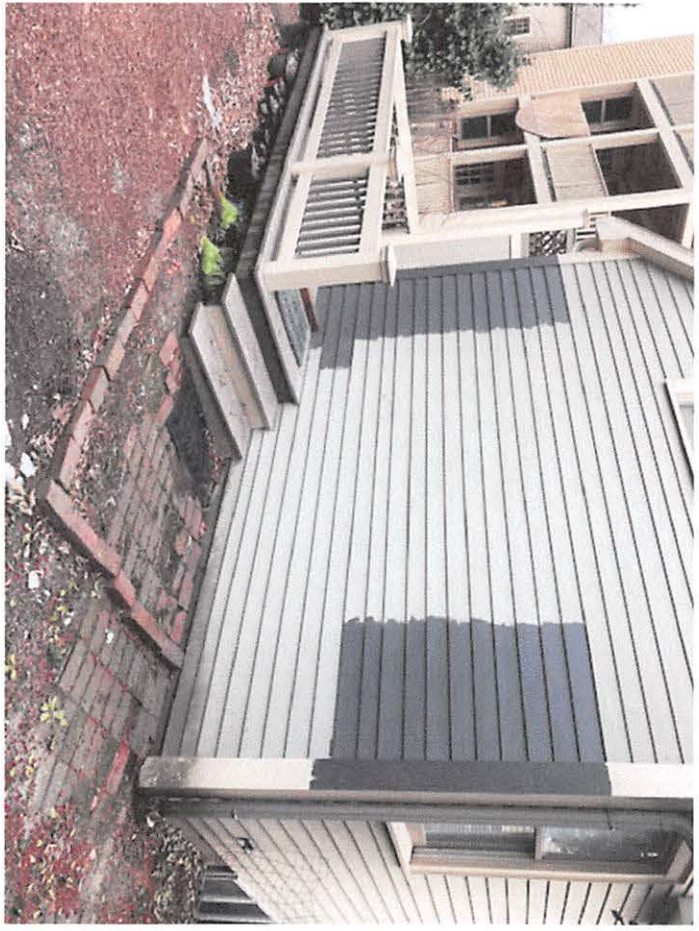
THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

**PROPOSED PLOT PLAN
 #19 BROWN STREET
 IN
 CAMBRIDGE, MA
 (MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: 12/11/2020



ROBER SURVEY
 1072A MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476
 (781) 648-5533
 5806PP2.DWG



19 Brown St

Pacheco, Maria

From: Loulie <loulie304@comcast.net>
Sent: Friday, December 18, 2020 8:42 AM
To: Hill, Eric; Pacheco, Maria
Cc: Sue Wentworth
Subject: Plans for work at 19 Brown St.

Eric Hill and Maria Pacheco:

We, George and Mary Louise Kent, write to you in support of Rand and Sue Wentworth's, our neighbors, plans for work on their house at 19 Brown Street in Cambridge. We live at 2 Foster Place, directly behind the Wentworths.

We have seen the plans for the improvements which they propose and find them to be sensible and acceptable. Having a full bath on the first floor is an excellent idea. And who wouldn't want a cozy fire in weather like we are having. We hope that both your boards will approve these plans.

Sincerely,
George A. Kent
Mary Louise H. Kent

Pacheco, Maria

From: Toby Rodes <toby.o.rodas@gmail.com>
Sent: Tuesday, December 22, 2020 10:18 AM
To: Hill, Eric; Pacheco, Maria
Cc: Sue Wentworth; Sachiko Rodes
Subject: Letter of support for 19 Brown Street

Dear Half Crown Conservation District,

As residents of 9 Brown Street, my wife Sachi and I are pleased to write a note of support for Sue and Rand Wentworth's renovation plans for their house at 19 Brown.

The addition of a chimney, bathroom and coordinated window package will be a welcome renovation and, in our view, be in keeping with the neighborhood. Please feel free to contact us if we can be of further service to the review process.

Regards,

Toby Rodes

Pacheco, Maria

From: RONA S KILEY <ronakiley@gmail.com>
Sent: Tuesday, December 22, 2020 9:52 PM
To: Pacheco, Maria
Subject: Fwd: Wentworth's hoped for renovations

To: Maria Pacheco, The BZA, the Half-Crown Marsh NDC

Dear Ms. Pacheco,

My name is Rona Kiley and I live at 14 Brown Street, Cambridge 02138. I writing to you to express my enthusiastic support for the proposed renovation plans of my neighbors on Brown Street, Sue and Rand Wentworth. Their plans are:

- The chimney installation which will enable a charming fireplace.
- The south window is a minor change that will not be seen from Brown Street and hardly visible from Foster Street.
- A bathroom on the ground floor in the back of the house will be useful for the family, for their grown up children when they visit, and convenient for the Wentworths as they grow older and wish to stay in place.

The Wentworths showed me their plans, which are lovely yet modest. Already they have improved the garden around their home. I feel confident that the Wentworths' plans will enhance the beauty and charm of our neighborhood.

Sincerely,
Rona Kiley

14 Brown Street
Cambridge, MA 02138
landline: 617-714-5250
mobile: 646-957-3887

Pacheco, Maria

From: Win Quayle <win.quayle@gmail.com>
Sent: Wednesday, December 23, 2020 12:04 PM
To: Hill, Eric; Pacheco, Maria
Cc: clarewentworth@gmail.com
Subject: Renovations of Wentworth Residence, 19 Brown Street, Cambridge

Mr. Eric Hill
Survey Director
Half Crown-Marsh Neighborhood Conservation District

Maria Pacheco
Cambridge Board of Zoning Appeals

Dear Mr. Hill and Ms. Pacheco:

We reside at 16 Brown Street, Cambridge and have reviewed the plans for renovation of the Wentworth residence at 19 Brown Street consisting of the following:

1. adding a 47.5 sf bathroom to the back of the house
2. installing a chimney
3. making a slight window change on the south side of the house.

We find the plans tasteful and in keeping with the character of the neighborhood and urge the Conservation District and the Board of Zoning Appeals to approve the planned renovation. Please let us know if you have any questions.

Regards,

Win Quayle
Deborah Manegold
16 Brown Street
Cambridge, MA 02138
781-690-3991

Wentworth Application – Letters of Support from Neighbors

1. E-mail dated 12/18/20 from George and Loulie Kent, 2 Foster Place (in house directly behind 19 Brown St.):

Eric Hill and Maria Pacheco:

We, George and Mary Louise Kent, write to you in support of Rand and Sue Wentworth's, our neighbors, plans for work on their house at 19 Brown Street in Cambridge. We live at 2 Foster Place, directly behind the Wentworths.

We have seen the plans for the improvements which they propose and find them to be sensible and acceptable. Having a full bath on the first floor is an excellent idea. And who wouldn't want a cozy fire in weather like we are having. We hope that both your boards will approve these plans.

Sincerely,
George A. Kent
Mary Louise H. Kent

2. E-mail dated 12/20/20 from Maria Mulkeen, 39 Foster St. (in house immediately south of the rear of the Wentworth house):

December 20, 2020

Eric Hill
Survey Director,
Cambridge Historic Commission
ehill@cambridgema.gov

Maria Pacheco
Board of Zoning Appeal
mpacheco@cambridgema.gov

Dear Eric Hill and Maria Pacheco:

I am writing as a neighbor and abutter to 19 Brown Street, Cambridge, and live at 39 Foster Street.

I support Rand and Sue Wentworth's plans to add a 47.5 sf bathroom to the back of 19 Brown Street, install a chimney, and make a slight window change on the south side of the house in the mudroom area addition, and ask the HCM and the BZA approve their plans. If you have any questions or need additional information from me, please do not hesitate to contact me at this email address or at (617)970-3014 (cell phone). Thank you for your consideration.

Sincerely,

Maria Mulkeen
39 Foster Street
Cambridge, MA 02138
(617) 970-3014

3. E-mail received 12/22/20 from Toby and Sachi Rodes, 9 Brown St. (abutter to an abutter)

Dear Half Crown Conservation District,

As residents of 9 Brown Street, my wife Sachi and I are pleased to write a note of support for Sue and Rand Wentworth's renovation plans for their house at 19 Brown.

The addition of a chimney, bathroom and coordinated window package will be a welcome renovation and, in our view, be in keeping with the neighborhood. Please feel free to contact us if we can be of further service to the review process.

Regards,

Toby Rodes

4. E-mails sent 12/22/20) from Rona Kiley,

To: Maria Pacheco, The BZA, the Half-Crown Marsh NDC

Dear Ms. Pacheco,

My name is Rona Kiley and I live at 14 Brown Street, Cambridge 02138. I writing to you to express my enthusiastic support for the proposed renovation plans of my neighbors on Brown Street, Sue and Rand Wentworth. Their plans are:

- The chimney installation which will enable a charming fireplace.
- The south window is a minor change that will not be seen from Brown Street and hardly visible from Foster Street.
- A bathroom on the ground floor in the back of the house will be useful for the family, for their grown up children when they visit, and convenient for the Wentworth as they grow older and wish to stay in place.

The Wentworths showed me their plans, which are lovely yet modest. Already they have improved the garden around their home. I feel confident that the Wentworths' plans will enhance the beauty and charm of our neighborhood.

Sincerely,
Rona Kiley

14 Brown Street
Cambridge, MA 02138
landline: 617-714-5250
mobile: 646-957-3887

To: Eric Hill, the Half-Crown Marsh NDC

Dear Mr. Hill,

My name is Rona Kiley and I live at 14 Brown Street, Cambridge 02138. I writing to you to express my enthusiastic support for the proposed renovation plans of my neighbors on Brown Street, Sue and Rand Wentworth. Their plans are:

- The chimney installation will enable a charming fireplace.
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- A bathroom on the ground floor in the back of the house will be useful for the family, for their grown up children when they visit, and convenient for the Wentworth as they grow older and wish to stay in place.

The Wentworths showed me their plans, which are lovely yet modest. Already they have improved the garden around their home. I feel confident that the Wentworths' plans will enhance the beauty and charm of our neighborhood.

Sincerely,
Rona Kiley

14 Brown Street
Cambridge, MA 02138
landline: 617-714-5250
mobile: 646-957-3887

5. E-mail from Win Quayle and Deb Manegold, 16 Brown St. (diagonally across from 19 Brown)

Mr. Eric Hill
Survey Director
Half Crown-Marsh Neighborhood Conservation District

Maria Pacheco
Cambridge Board of Zoning Appeals

Dear Mr. Hill and Ms. Pacheco:

We reside at 16 Brown Street, Cambridge and have reviewed the plans for renovation of the Wentworth residence at 19 Brown Street consisting of the following:

1. adding a 47.5 sf bathroom to the back of the house
2. installing a chimney
3. making a slight window change on the south side of the house.

We find the plans tasteful and in keeping with the character of the neighborhood and urge the Conservation District and the Board of Zoning Appeals to approve the planned renovation. Please let us know if you have any questions.

Regards,

Win Quayle
Deborah Manegold
16 Brown Street
Cambridge, MA 02138
781-690-3991

Pacheco, Maria

From: M. Mulkeen <mlmulkeen@yahoo.com>
Sent: Monday, December 21, 2020 11:16 AM
To: Hill, Eric; Pacheco, Maria
Cc: Sue Wentworth
Subject: 19 Brown Street, Cambridge

December 20, 2020

Eric Hill
Survey Director,
Cambridge Historic Commission
ehill@cambridgema.gov

Maria Pacheco
Board of Zoning Appeal
mpacheco@cambridgema.gov

Dear Eric Hill and Maria Pacheco:

I am writing as a neighbor and abutter to 19 Brown Street, Cambridge, and live at 39 Foster Street.

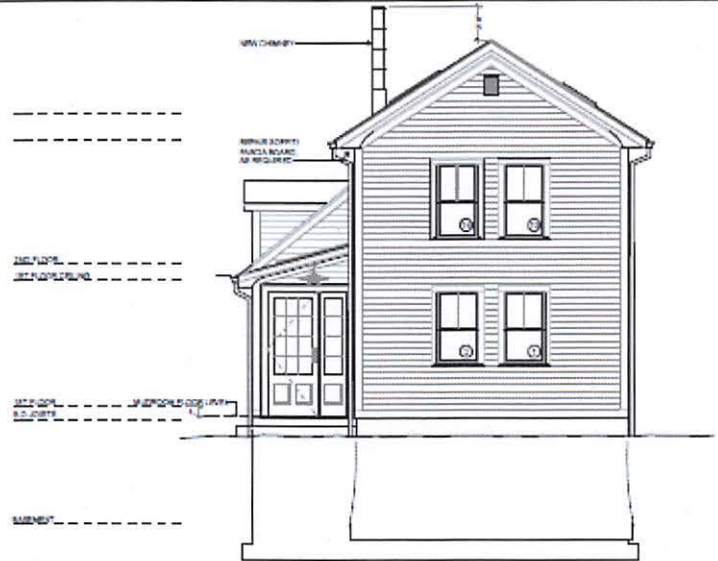
I support Rand and Sue Wentworth's plans to add a 47.5 sf bathroom to the back of 19 Brown Street, install a chimney, and make a slight window change on the south side of the house in the mudroom area addition, and ask the HCM and the BZA approve their plans.

If you have any questions or need additional information from me, please do not hesitate to contact me at this email address or at (617)970-3014 (cell phone). Thank you for your consideration.

Sincerely,

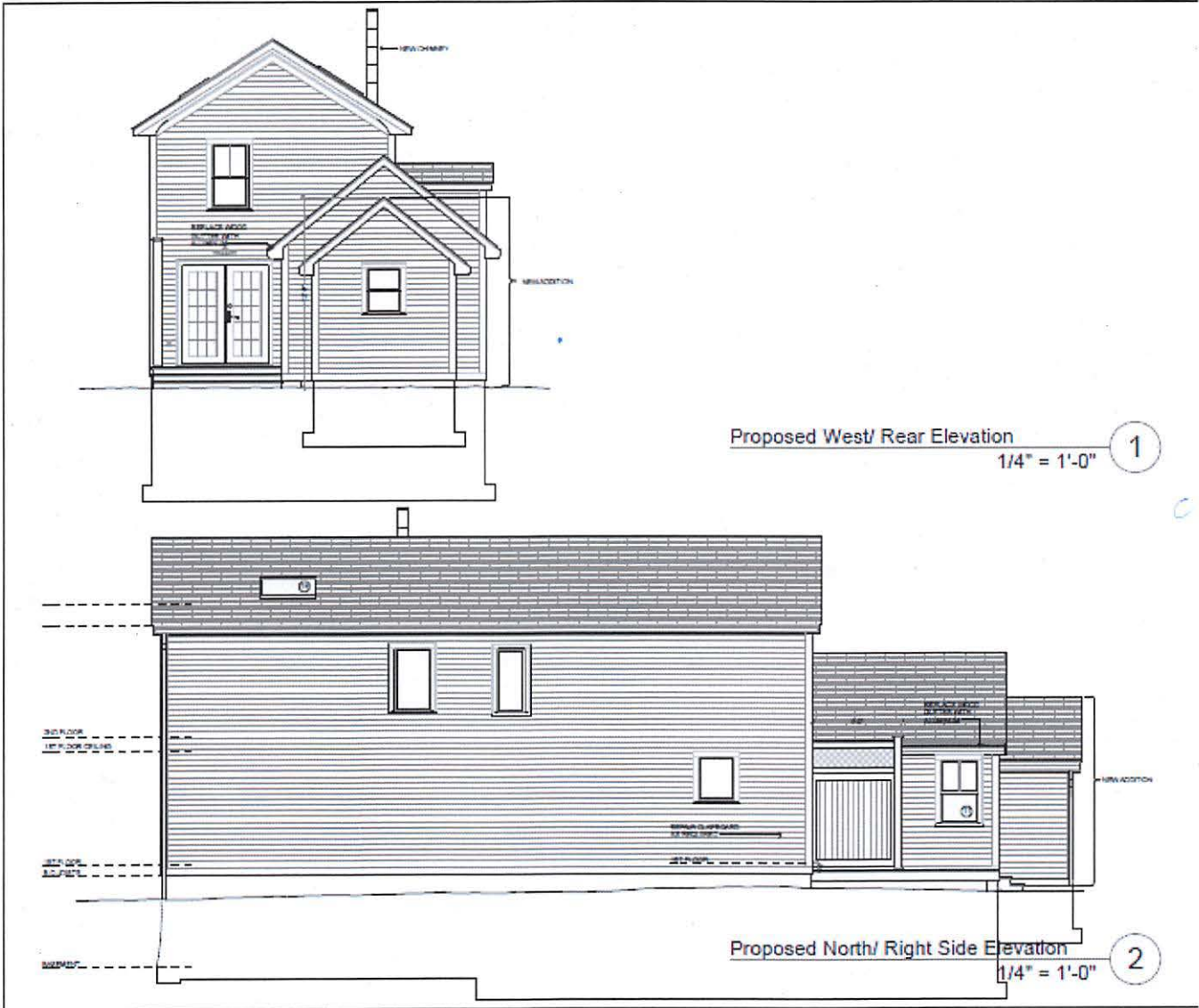
Maria Mulkeen
39 Foster Street
Cambridge, MA 02138
(617) 970-3014

Proposed East/ Front Side Elevation ①
 1/4" = 1'-0"



Proposed South/ Left Side Elevation ②
 1/4" = 1'-0"





Proposed West/ Rear Elevation 1/4" = 1'-0" 1

Proposed North/ Right Side Elevation 1/4" = 1'-0" 2

DeAngelo, James

Subject:

FW: Renovation Plans for Wentworth Residence Brown Street 02138

From: Cally Burns <callyburns@gmail.com>

Sent: Thursday, January 7, 2021 3:07 AM

To: Hill, Eric <ehill@cambridgema.gov>; Pacheco, Maria <mpacheco@cambridgema.gov>

Cc: Sue Wentworth <clarewentworth@gmail.com>

Subject: Renovation Plans for Wentworth Residence Brown Street 02138

I have reviewed the updated drawings as provided by the Wentworth's. This email is written in support of the proposed additional enhancements to the residence:

Carolyn H Burns
8 Foster Place
Cambridge, MA 02138

Pacheco, Maria

From: Sue W. <clarewentworth@gmail.com>
Sent: Sunday, January 10, 2021 7:00 PM
To: Hill, Eric; Pacheco, Maria
Subject: E-mails in support of our applications

Hi Eric and Maria,

Our neighbors diagonally across from us at 20 Brown Street — Michael Segel and Sarah Hopkinson — sent us the e-mails below. May we add them to our applications?

Thanks so much,
Sue and Rand Wentworth
19 Brown St.

Begin forwarded message:

From: Michael Segel <segelmichael@gmail.com>
Subject: Re: Package
Date: January 4, 2021 at 4:10:09 PM EST
To: Sarah Hopkinson <sarahlouisehopkinson@gmail.com>
Cc: "Sue W." <clarewentworth@gmail.com>

Sue,

Might I also add that we are more than happy to write any form of letter of support for your construction that might help your cause with the town. We love what you are planning and eager to help in any way we can.

Happy New Year!!

Best
Mikey

On Mon, Jan 4, 2021 at 4:06 PM Sarah Hopkinson <sarahlouisehopkinson@gmail.com> wrote:
Dear Sue,

Thank you so much for doing this - and for continuing to take care of all our packages!

My sincere apologies for not responding to your previous correspondence re. your new house drawings. Unfortunately, Mikey and I had a relatively chaotic December/holiday period with a number of family members coming down with Covid. Everyone is currently doing okay - and Mikey and I are both healthy - but it was not the holiday period we had hoped for! I hope that you and your family are all safe and well, and that you were able to enjoy the holidays and New Year.

Your house plans look beautiful and we fully support your renovation - thank you for sharing! A brief update on our renovations; we believe (cross fingers!) that these will start next week on January 11th. The first few weeks will include mostly site preparation and cleaning and so should be relatively quiet,

but construction will begin properly towards the end of Jan/first week of February. We will be sending around a list of contact details this weekend for all the site managers in case any issues arise over the course of the renovation and you are unable to reach us. Let us know if you have any questions!

Many thanks again, and happy new year!

All the best,
Sarah (& Mikey)

On Mon, 4 Jan 2021 at 11:30, Sue W. <clarewentworth@gmail.com> wrote:

Hi you two,

I moved a package to your courtyard door.

Hope you're doing well!

All best in 2021,
Sue