



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 JUN 20 PM 1:46

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

BZA Number: 261307

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X                        Variance:                             Appeal:       

**PETITIONER:** Dave Tinnery C/O Nicholaos Moshopoulos

**PETITIONER'S ADDRESS:** 200 State Street 5th Floor , Boston, MA 02109

**LOCATION OF PROPERTY:** 1 Brattle Sq., Cambridge, MA

**TYPE OF OCCUPANCY:** Bakery

**ZONING DISTRICT:** Business B Zone /HSOD

**REASON FOR PETITION:**

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

The district of 1 Brattle Sq is Business B and Harvard Square overlay. It would fall under a Special Permit if you would like to sell the other items that Chip City provides because that would make us a formula business quick service food establishment, under article 11.30

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 4.000            Section: 4.35.0 (Fast Order Food Establishment).  
Article: 11.000        Section: 11.30 (Fast Order Food Establishment).  
Article: 10.000        Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

Nicholaos Moshopoulos

(Print Name)

Address:

15-32 127<sup>th</sup> ST. College Point NY 11356

Tel. No.

617 457 0408

E-Mail Address:

DTinory@beaconcapital.com

Date: 6/10/24

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.*

I/We BCSP 9 OBS Property LLC  
(OWNER)

Address: c/o Beacn Capital Partners, LLC, 200 State Street, 5th Floor, Boston, MA 02109

State that I/We own the property located at One Brattle Square,  
which is the subject of this zoning application.

The record title of this property is in the name of BCSP 9 OBS Property LLC

\*Pursuant to a deed of duly recorded in the date December 14, 2022, Middlesex South  
County Registry of Deeds at Book 81056, Page 381; ~~or~~ and  
~~Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_~~  
Book 81056 Page 390.

BCSP 9 OBS Property LLC

By:  Matthew Stegall  
Managing Director  
**SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\***

*\*Written evidence of Agent's standing to represent petitioner may be requested.*

-----  
Commonwealth of Massachusetts, County of Suffolk

The above-name Matthew Stegall, Managing Director of BCSP 9OBS Property LLC personally appeared before me,  
this 8 of March, 2024, and made oath that the above statements are true.

My commission expires August 10, 2029 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 1 Brattle Sq., Cambridge, MA (location) would not be a detriment to the public interest because:**

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- zoning comppliance, building code adherence, health and safety regulations, environmental considerations, and accessibility standards.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- The proposed cookie store is located in an area with ample parking space and efficient traffic flow. Moreover, as a cookie store, the traffic generated would be intermittent and distributed throughout the day, preventing any sudden spikes in congestion. The design of the store is oriented around a "take-away" concept to facilitate smooth traffic flow, further mitigating any potential congestion hazards.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- This area is predominantly commercial establishments, including restaurants, cafes, and retail stores. The operation of a cookie store would complement these existing uses and contribute positively to the vibrancy of the area.&nbsp;
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- &nbsp;The operation of a cookie store poses minimal risk to the health, safety, and welfare of occupants and citizens. The store will adhere to all health and safety regulations, maintaining cleanliness and hygiene standards in food preparation and service. Additionally, the store will implement appropriate safety measures to prevent accidents or hazards, such as proper equipment maintenance and staff training.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The proposed cookie store aligns with the intent and purpose of the zoning ordinance, which aims to promote diverse commercial activities while safeguarding the well-being of the community. Cookies are a popular and culturally accepted food item, and the store would contribute positively to the diversity of offerings within the district. As we already have approval to operate as a bakery, it

would not change the situation by simply adding other potential items such as milk, icecream or bottled beverages.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**DIMENSIONAL INFORMATION**

**Applicant:** Dave Tinnery  
**Location:** 1 Brattle Sq., Cambridge, MA  
**Phone:** 617 457 0408

**Present Use/Occupancy:** Bakery  
**Zone:** Business B Zone /HSOD  
**Requested Use/Occupancy:** quick service food establishment

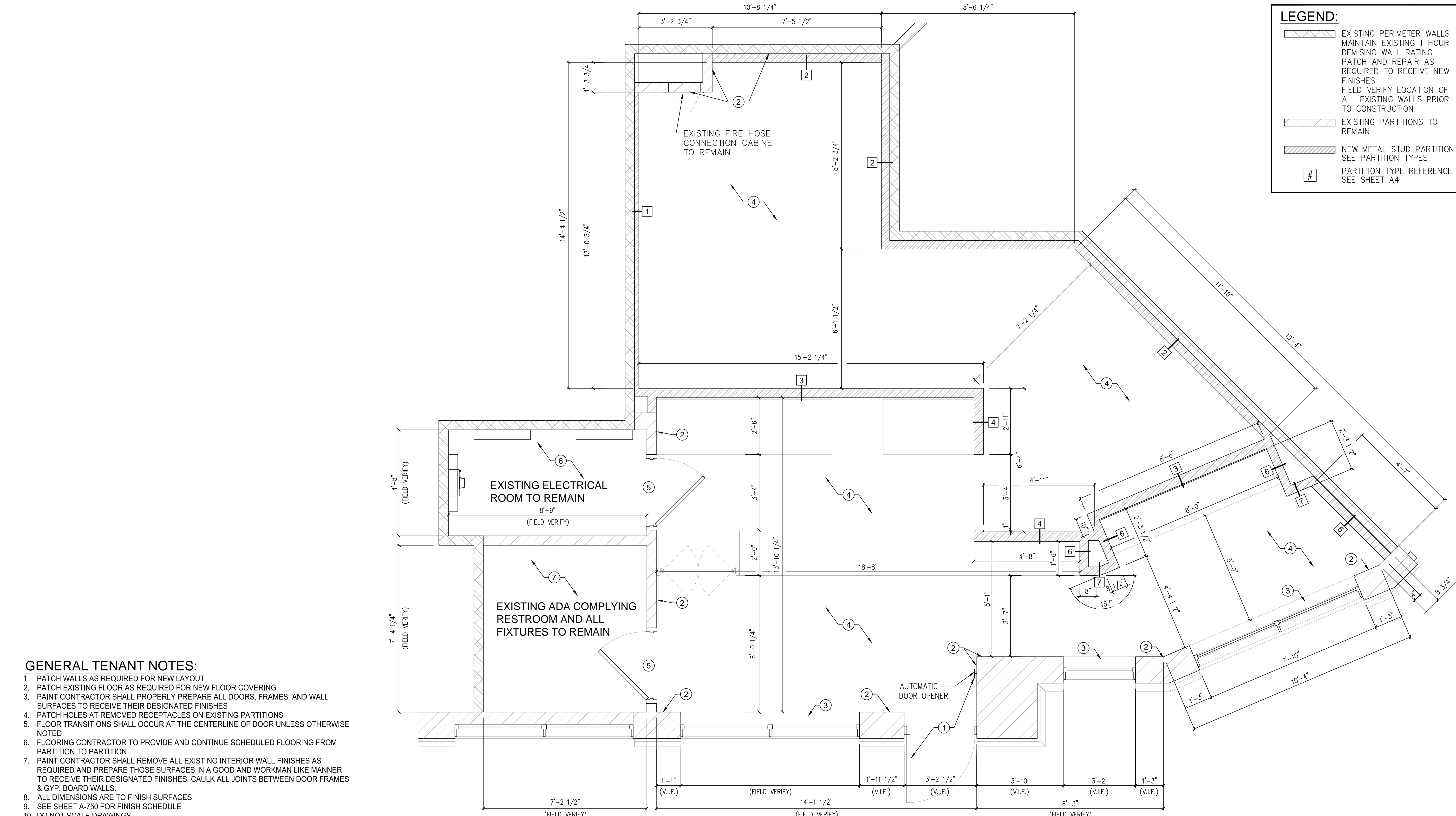
		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		715	715	715	(max.)
<u>LOT AREA:</u>		N/A	N/A	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		N/A	N/A	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	N/A	N/A	N/A	
	DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	N/A	N/A	N/A	
	REAR	N/A	N/A	N/A	
	LEFT SIDE	N/A	N/A	N/A	
	RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>	HEIGHT	N/A	N/A	N/A	
	WIDTH	N/A	N/A	N/A	
	LENGTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>		N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>		N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.





**LEGEND:**

- EXISTING PERIMETER WALLS
- MAINTAIN EXISTING 1 HOUR DEMISING WALL RATING
- PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES
- FIELD VERIFY LOCATION OF ALL EXISTING WALLS PRIOR TO CONSTRUCTION
- EXISTING PARTITIONS TO REMAIN
- NEW METAL STUD PARTITION SEE PARTITION TYPES
- PARTITION TYPE REFERENCE SEE SHEET A4

- GENERAL TENANT NOTES:**
1. PATCH WALLS AS REQUIRED FOR NEW LAYOUT
  2. PATCH EXISTING FLOOR AS REQUIRED FOR NEW FLOOR COVERING
  3. PAINT CONTRACTOR SHALL PROPERLY PREPARE ALL DOORS, FRAMES, AND WALL SURFACES TO RECEIVE THEIR DESIGNATED FINISHES
  4. PATCH HOLES AT REMOVED RECEPTACLES ON EXISTING PARTITIONS
  5. FLOOR TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS OTHERWISE NOTED
  6. FLOORING CONTRACTOR TO PROVIDE AND CONTINUE SCHEDULED FLOORING FROM PARTITION TO PARTITION
  7. PAINT CONTRACTOR SHALL REMOVE ALL EXISTING INTERIOR WALL FINISHES AS REQUIRED AND PREPARE THOSE SURFACES IN A GOOD AND WORKMAN LIKE MANNER TO RECEIVE THEIR DESIGNATED FINISHES. CAULK ALL JOINTS BETWEEN DOOR FRAMES & GYP. BOARD WALLS.
  8. ALL DIMENSIONS ARE TO FINISH SURFACES
  9. SEE SHEET A-750 FOR FINISH SCHEDULE
  10. DO NOT SCALE DRAWINGS

- GENERAL NOTES**
- A. REFER TO ENGINEERING DRAWINGS FOR ALL HVAC, PLUMBING, FIRE PROTECTION AND ELECTRICAL INFORMATION.
  - B. DIMENSIONS ARE FROM FINISH FACE OF CONSTRUCTION
  - C. FIREPROOF DOORS SHALL BEAR THE LABEL OF BOARD OF STANDARDS & APPEALS
  - D. ALL INTERIOR WOOD TO BE USED AS PERMITTED BY FEDERAL, STATE AND LOCAL BUILDING CODES
  - E. ALL INTERIOR FINISH MATERIAL TO BE INSTALLED AS PER FEDERAL, STATE AND LOCAL BUILDING CODES.
  - F. ALL RATED PARTITIONS SHALL EXTEND TO DECK ABOVE. CEILING HIGH PARTITIONS SHALL BE BRACED TO DECK ABOVE
  - G. ALL PENETRATIONS OF RATED CONSTRUCTION SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES
  - H. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES
  - J. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES.
  - K. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED
  - L. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING BUILDING CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL OF ALL INSTALLED MATERIALS.

- M. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. SHOULD A DISCREPANCY OCCUR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK
- N. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRING AND/OR REPLACING HIS OWN DEFECTIVE WORK AS WELL AS PAY ALL COST INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS AND/OR EQUIPMENT DUE TO THE REPAIR WORK.
- P. DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- Q. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMAN AND GENERAL PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGE.
- R. THE GENERAL CONTRACTOR SHALL RECEIVE, STORE, AND PROTECT ALL EQUIPMENT, MATERIALS AND CASEWORK DELIVERED TO THE SITE.
- S. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES AT AREAS WHERE DEMOLITION & NEW WORK INTERFACES W/EXISTING CONDITIONS
- T. PROVIDE FIRE RETARDANT SOLID WOOD BLOCK AT ALL WALL MOUNTED ACCESSORIES

**ADDITIONAL NOTES:**

ALL METAL STUDS TO BE 20 GAUGE (UNLESS OTHERWISE NOTED)

ALL PARTITIONS TO BE BRACED TO DECK ABOVE AS REQUIRED.

PROVIDE 5/8" FIRE RETARDANT PLYWOOD IN ALL BACKROOM AREAS WHERE FRP IS TO BE INSTALLED TO BE USED AS SOLID WOOD BLOCKING FOR WALL MOUNTED EQUIPMENT

INSTALL DUROCK CEMENT BOARD TO 24" IN ALL BACKROOM AND KITCHEN AREAS

SEE SHEETS A3 (ELEVATIONS) AND SHEET A1A FOR ALL FINISHES.

SEE SHEET A4 FOR PARTITION TYPES

**CONSTRUCTION FLOOR PLAN**

SCALE: 1/4" = 1'-0"



- KEYED NOTES:**
1. ENTRANCE DOOR IS SHOWN IN REVERSE SWING FROM EXISTING. THIS WORK TO BE COMPLETED BY LANDLORD ALONG WITH ANY ADA ENTRANCE COMPLIANCE'S. PROVIDE AUTO DOOR OPENER AT INTERIOR SIDE OF ENTRANCE DOOR AS INDICATED
  2. PATCH AND REPAIR ALL EXISTING DEMISING AND INTERIOR SIDE OF EXTERIOR WALLS EXPOSED TO TENANT SPACE TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A
  3. PATCH AND REPAIR ALL EXISTING GYP BD SILLS TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A
  4. PATCH AND REPAIR EXISTING CONCRETE SLAB TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A

5. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. SURVEY EXISTING HARDWARE TO ENSURE PROPER WORKING ORDER AND REPLACE AS REQUIRED. PREP DOOR AND FRAME TO RECEIVE NEW FINISHES
6. EXISTING ELECTRICAL ROOM TO REMAIN IN ITS ENTIRETY. REPAIR ANY DAMAGE CEILING TILES, LIGHT FIXTURES AND EQUIPMENT AS REQUIRED
7. EXISTING REST ROOM TO REMAIN IN ITS ENTIRETY. REPAIR ANY DAMAGE CEILING TILES, LIGHT FIXTURES AND EQUIPMENT AS REQUIRED. SURVEY EXISTING FIXTURES AND EQUIPMENT TO ENSURE COMPLIANCE WITH ADA. SEE SHEET A4 FOR COMPLIANCE DETAILS



**CLIENT INFORMATION:**

**CHIP CITY**  
278 7TH AVE, NEW YORK, NY 10001

**CLIENT CONTACT:**  
NICHOLAOS MOSHOPOULOS  
10-15 MALBA DRIVE  
WHITESTONE, NY 11357  
EMAIL: [mike@chipcitycookies.com](mailto:mike@chipcitycookies.com)  
TEL: 646-529-8885

**DESIGN CONSULTANT:**

**dpb**  
DESIGN SERVICES  
30 SOUTH ROAD  
ANDOVER, MA 01810  
508-886-8460  
DPBCADD@AOL.COM

**ARCHITECT:**

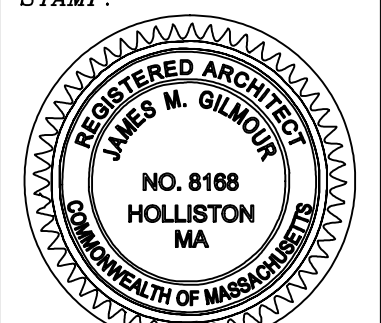
**JGA**  
JAMES GILMOUR  
ARCHITECTURE  
200 WINTER STREET  
HOLLISTON, MA 01746  
(1)508.380.3105

**MEP ENGINEER:**

**MGE**  
MG Engineering D.P.C. /  
we engineer success  
116 West 32nd Street, 12th Floor,  
New York, N.Y. 10001  
P 212.643.9055 www.mgedpc.net

**PROJECT NAME:**  
**CHIP CITY  
TENANT FIT-UP**

**PROJECT LOCATION:**  
HARVARD SQUARE  
ONE BRATTLE SQUARE  
SUITE 104, SPACE 3A  
CAMBRIDGE, MA 02138



*James M. Gilmour*

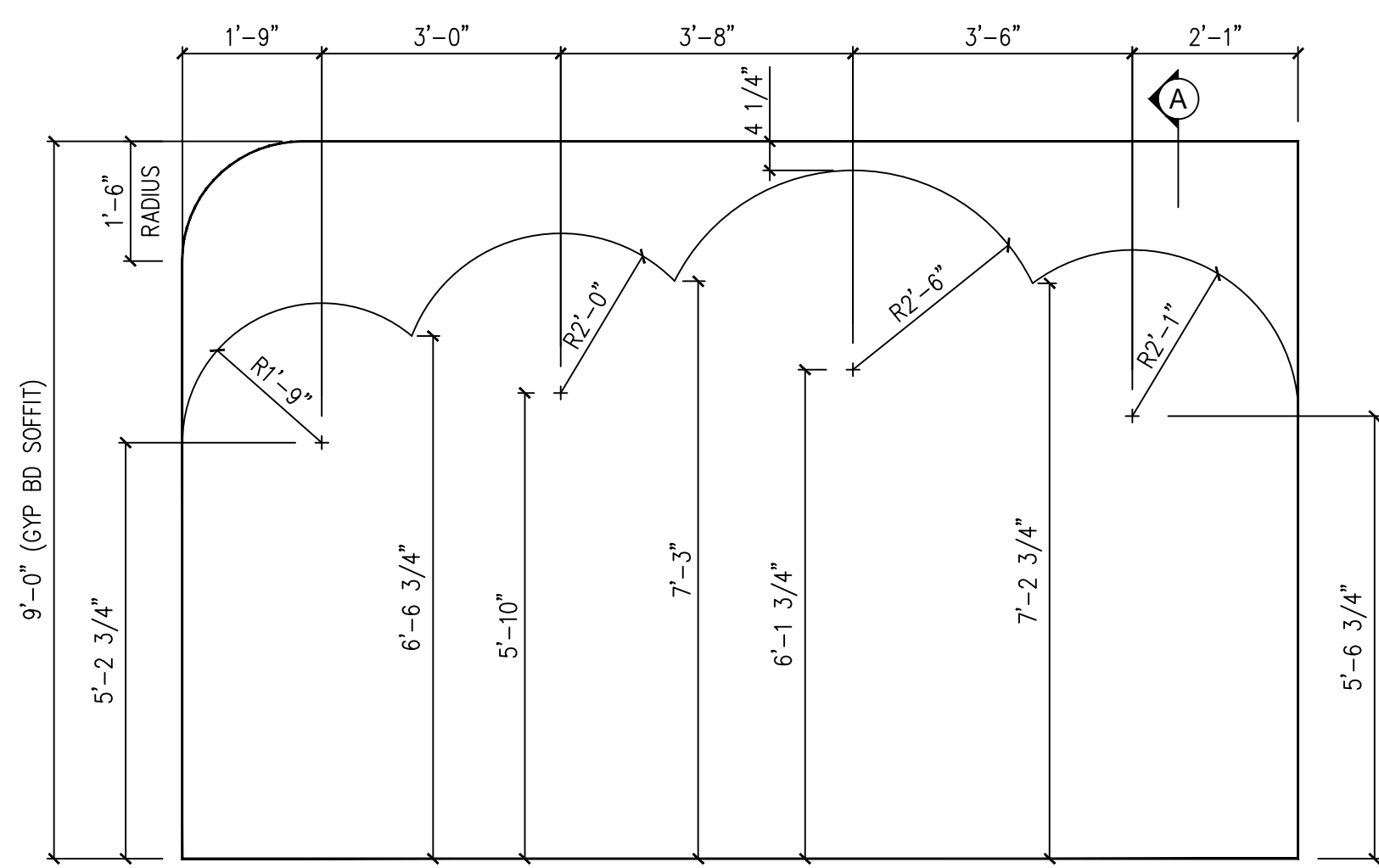
Drawn by:	Date:
M.C.	12-08-23
Checked by:	Revision:
DPB	
No.	Date:

**SHEET TITLE:**  
**CONSTRUCTION  
FLOOR PLAN**

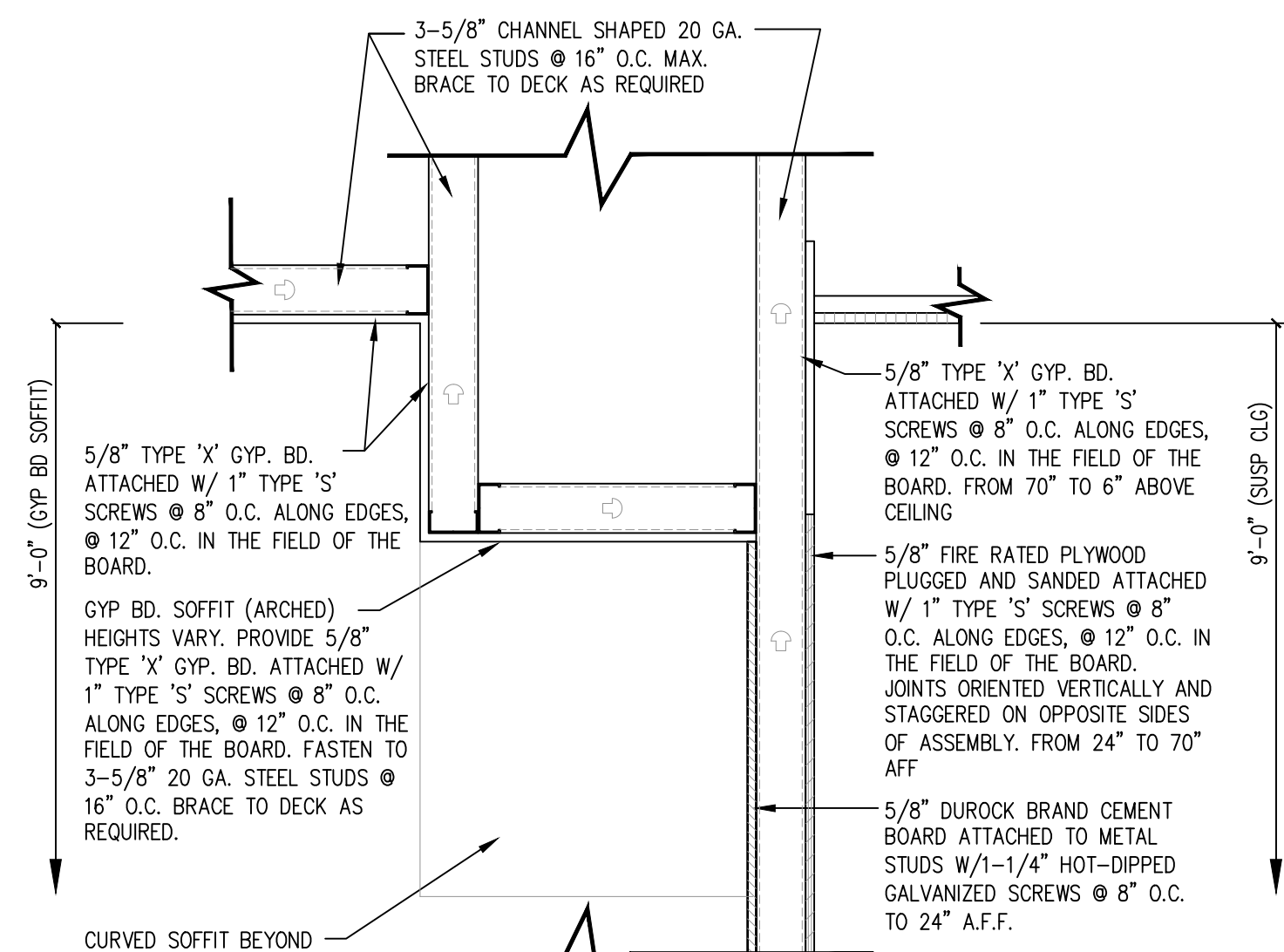
**SHEET NO.**  
2 of 9

**SHEET NO.**  
**A1**

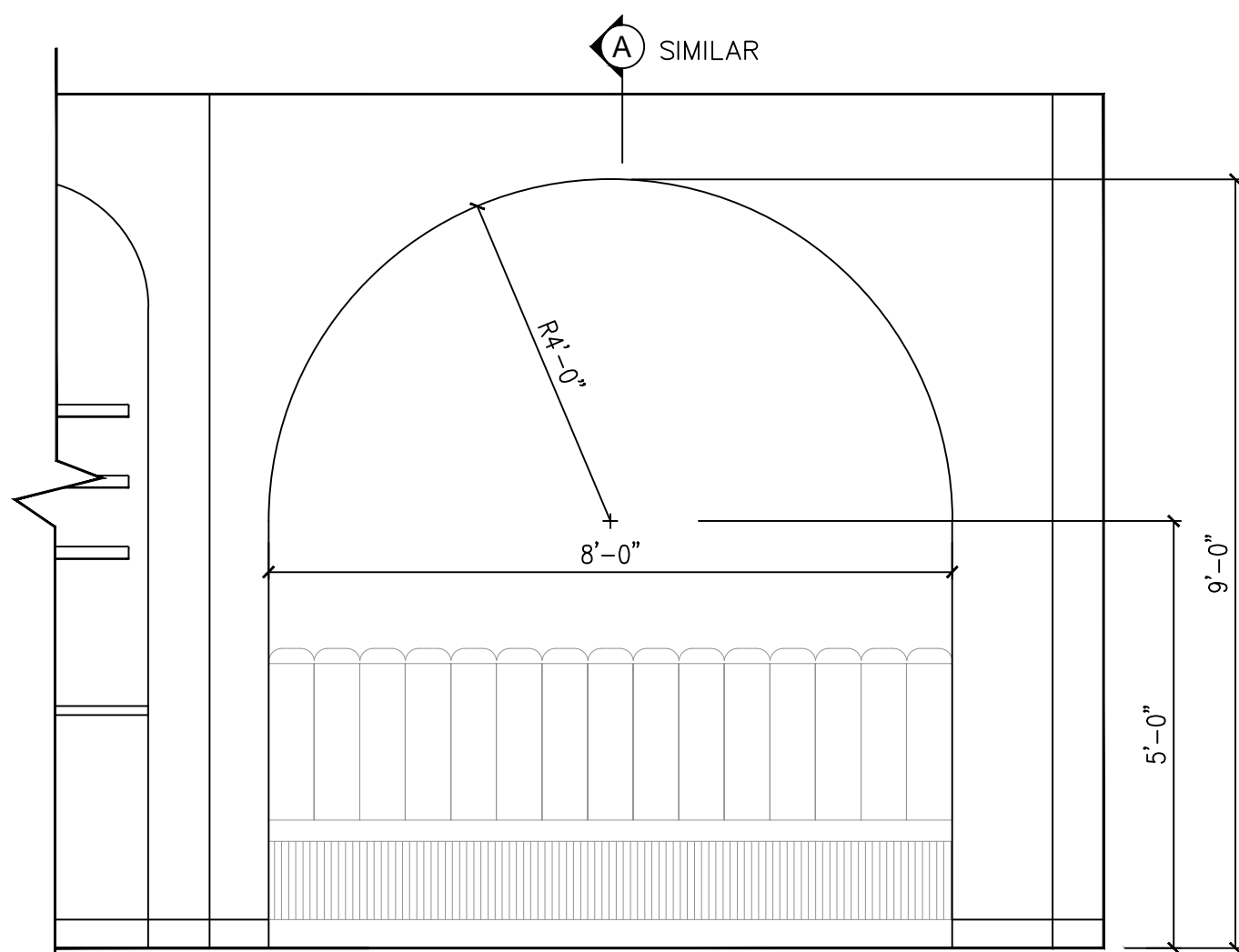
CHIP CITY  
CAMBRIDGE, MA



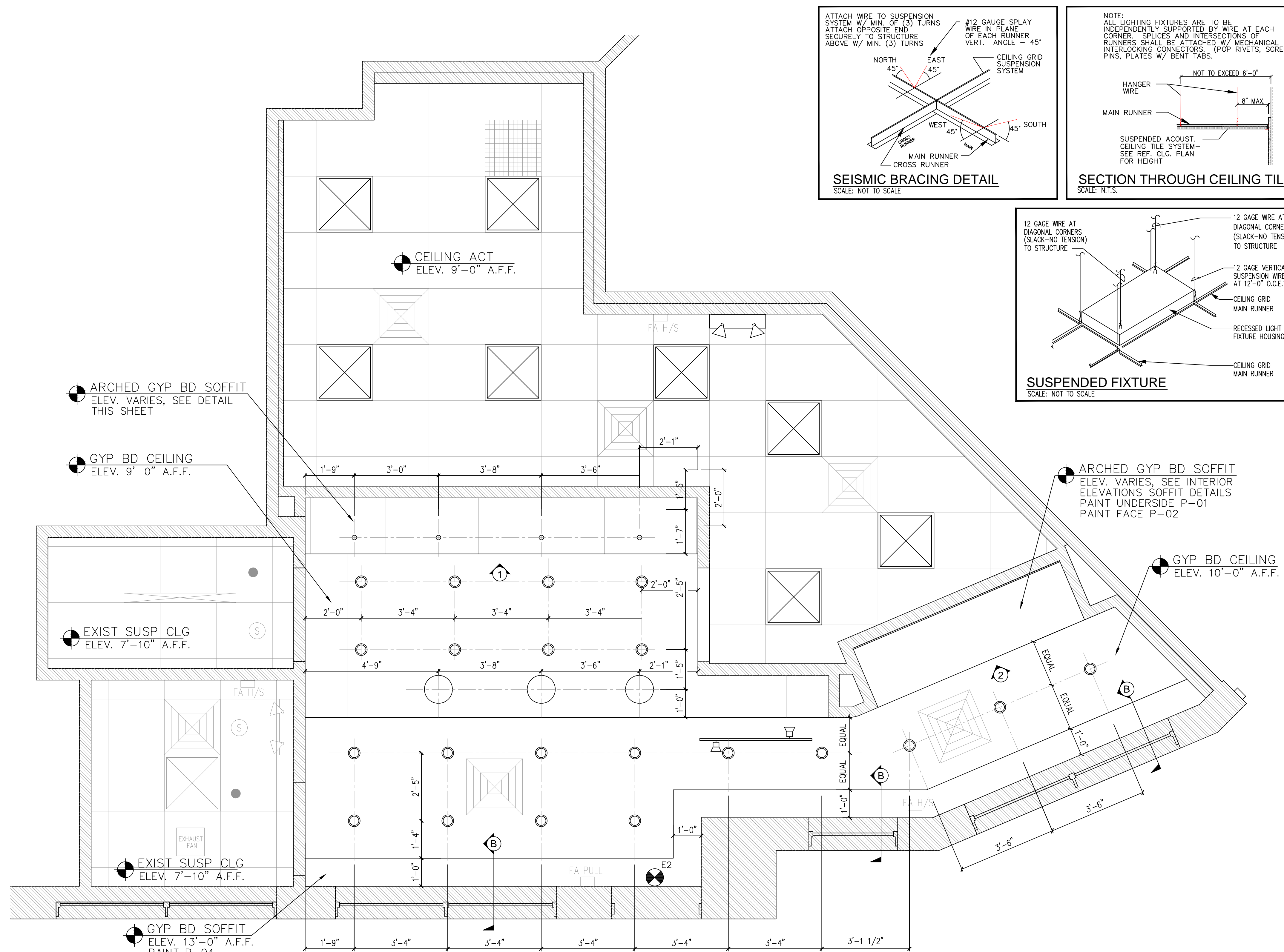
**ELEVATION 1**  
SCALE: 1/2" = 1'-0"



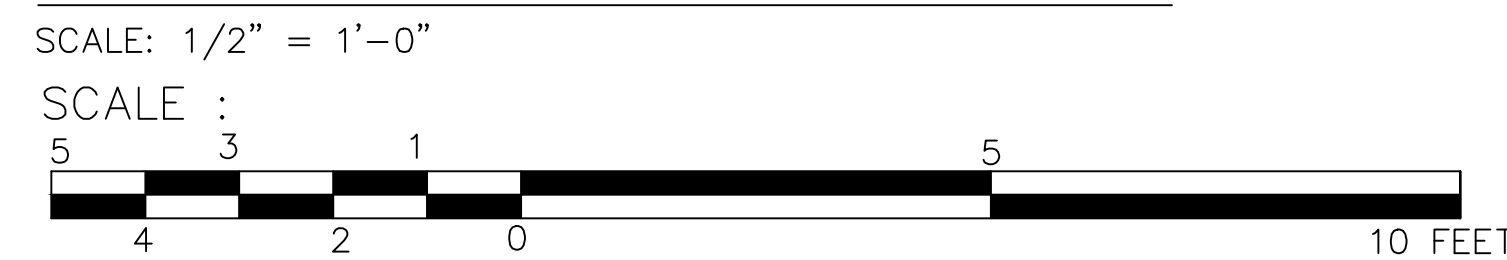
**SECTION A**  
SCALE: 1" = 1'-0"



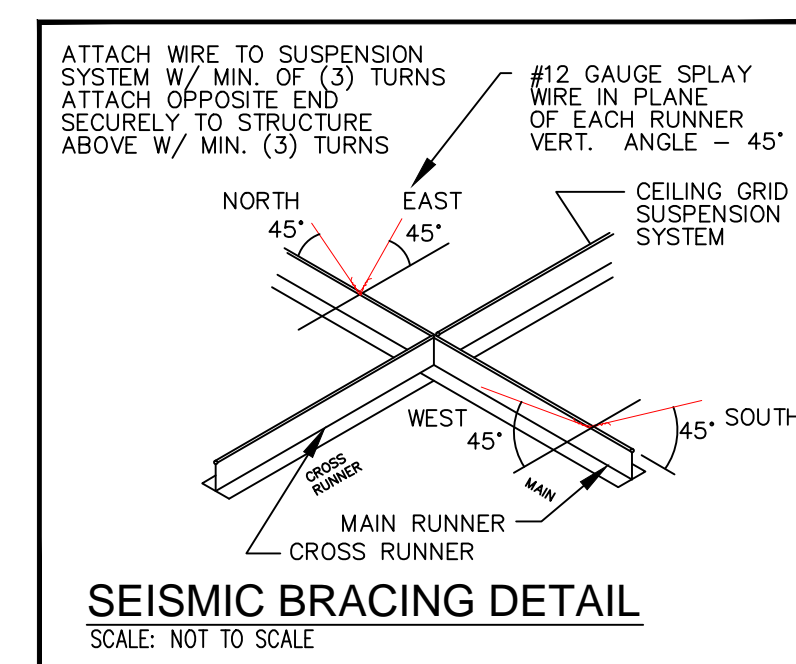
**ELEVATION 2**  
SCALE: 1/2" = 1'-0"  
**CURVED SOFFIT DETAILS**  
SCALE: AS NOTED



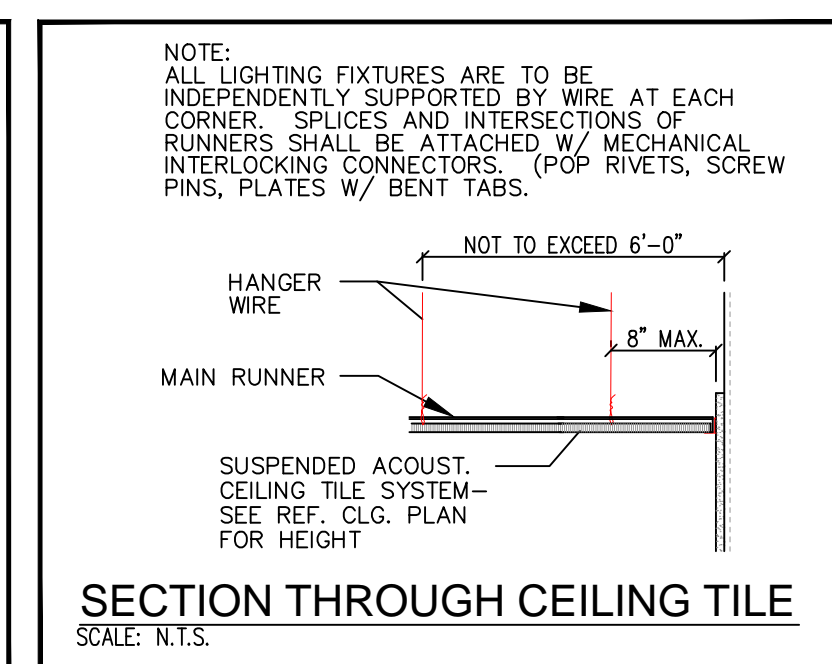
**LIGHTING LOCATION CEILING PLAN**



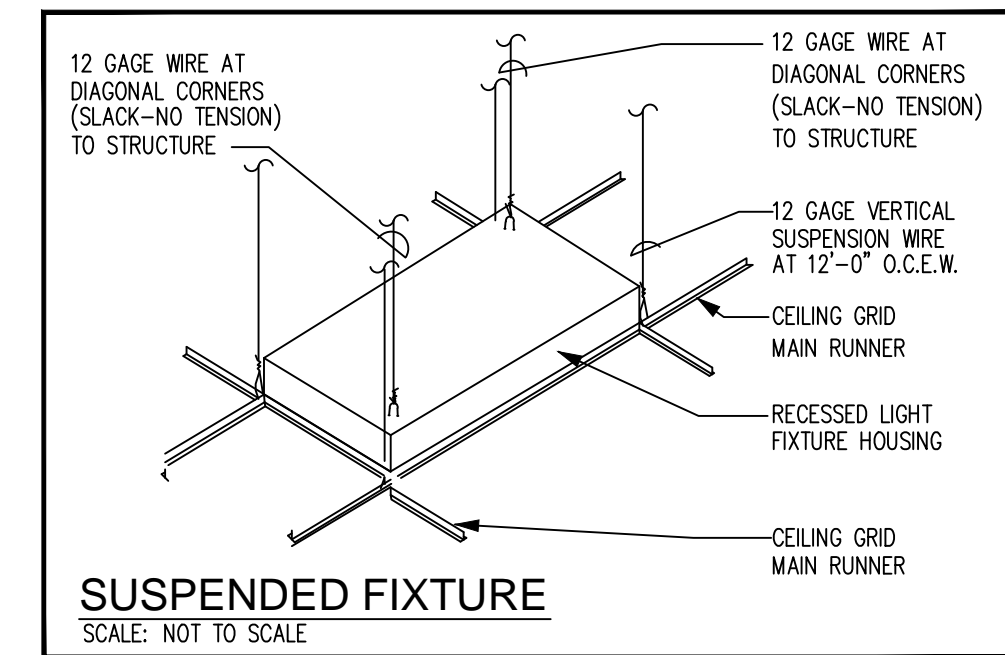
ALL CEILING CONDITIONS  
IN ELECTRICAL CLOSET  
AND EXISTING TOILET  
ROOM TO REMAIN AS  
INDICATED



**SEISMIC BRACING DETAIL**  
SCALE: NOT TO SCALE



**SECTION THROUGH CEILING TILE**  
SCALE: N.T.S.



**SUSPENDED FIXTURE**  
SCALE: NOT TO SCALE



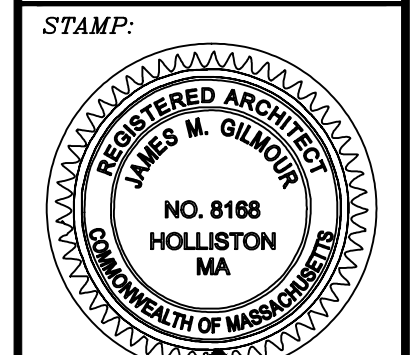
**CLIENT INFORMATION:**  
**CHIP CITY**  
278 7TH AVE, NEW YORK, NY 10001  
**CLIENT CONTACT:**  
NICHOLAOS MOSHOPOULOS  
10-15 MALBA DRIVE  
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**ARCHITECT:**  
**JGA**  
**JAMES GILMOUR ARCHITECTURE**  
200 WINTER STREET  
HOLLISTON, MA 01746  
(719)508.380.3105

**MEP ENGINEER:**  
**MGE**  
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116 West 32nd Street, 12th Floor,  
New York, N.Y. 10001  
P 212.643.9055 www.mgepc.net

**PROJECT NAME:**  
**CHIP CITY TENANT FIT-UP**  
**PROJECT LOCATION:**  
HARVARD SQUARE  
ONE BRATTLE SQUARE  
SUITE 104, SPACE 3A  
CAMBRIDGE, MA 02138



*James M. Gilmour*

Checked by:	Date:	Revision:
DPB	12-08-23	
Drawn by:	Date:	Revision:
MJC	12-08-23	
No.	Date:	Revision:
	11-08-23	PERMIT DOCUMENTS
	10-24-23	ARCHITECTURAL COMPLETED
		DRAWINGS TO ENGINEER

**SHEET TITLE:**  
**REFLECTED CEILING PLAN**  
**SHEET NO.**  
5 of 9  
**SHEET NO.**  
**A2A**  
CHIP CITY  
CAMBRIDGE, MA

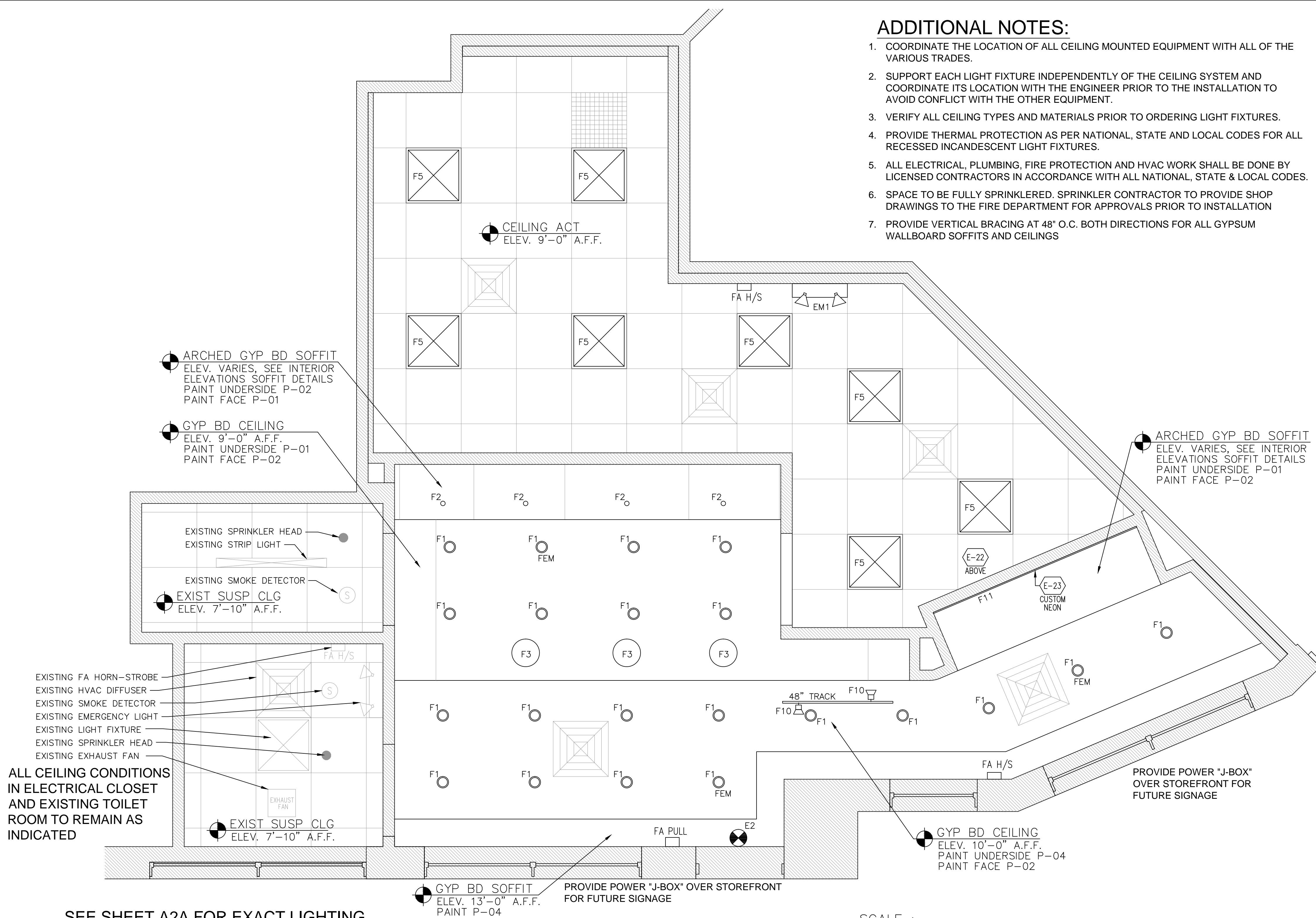


### GENERAL NOTES:

- GENERAL CONTRACTOR SHALL REFER TO CHIP CITY COOKIES DWGS FOR FIXTURE LOCATIONS AND TYPES ONLY. SEE ENGINEERING DRAWINGS FOR ALL LIGHT FIXTURE CIRCUITING, SWITCHING AND RELATED WORK AND FOR QUANTITIES OF ALL CEILING DIFFUSERS, DUCTWORK LAYOUTS.
- GENERAL CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR SPECIFICATIONS OF EXIT SIGNS, LIFE SAFETY DEVICES AND EMERGENCY LIGHTING. GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL DWGS FOR LOCATION.
- CEILING HEIGHT SHALL BE AS SPECIFIED ON REFLECTED CEILING PLAN. CEILING HEIGHT SHOWN IS ABOVE FINISHED FLOOR, U.O.N.
- GENERAL CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR LAMP SPECIFICATIONS AND BALLAST REQUIREMENTS. PROVIDE AND INSTALL APPROPRIATE LAMPS AS REQ'D BY SPECIFIED LIGHT FIXTURES.
- TEMPORARY LIGHTING TO BE PROVIDED DURING ALL PHASES OF PROJECT.
- ELECTRICAL CONTRACTOR TO VERIFY FIXTURE CLEARANCES AT DUCTWORK AND MUST INFORM CEILING CONTRACTOR & ARCHITECT OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- SEE ENGINEERING DRAWINGS FOR THERMOSTAT SPECIFICATIONS. GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL DWGS FOR LOCATION.
- ALL CEILING DEVICES INCLUDING LIGHT FIXTURES, SPEAKERS, SPRINKLERS, EXIT SIGNS, SMOKE DETECTORS, AND FIRE ALARM DEVICES ARE TO BE CENTERED IN CEILING TILE U.O.N. SPRINKLER HEAD LAYOUT SHALL FOLLOW THE GRID OF THE CEILING. ALL DEVICES SHOWN ON ARCH. DWGS. ARE FOR REFERENCE AND LOCATION ONLY. REFER TO MEP DRAWINGS FOR QUANTITIES AND TECHNICAL INFORMATION.
- THE LOCATIONS OF ANY ACCESS PANELS IN THE GYP. BD. CLGS. ARE TO BE COORDINATED WITH THE ARCHITECT IN THE FIELD. IF REQUIRED, ACCESS PANELS ARE TO BE RECESSED, FLUSH LAY-IN PANELS, NOT HINGED DOORS. SEE PROJECT MANUAL FOR MORE INFORMATION.
- REFER TO REFLECTED CEILING PLANS & POWER/COMMUNICATION PLANS FOR LIGHT FIXTURES UNDER OVERHEAD CABINETS AT MILLWORK AND CUSTOM FURNITURE.
- ALL EXPOSED CONCRETE CEILINGS TO BE PATCHED AND REPAIRED WHERE DAMAGED, CHIPPED OR WHERE CONCRETE COVER OF STRUCTURAL STEEL IS OTHERWISE COMPROMISED. EXPOSED CONCRETE CEILINGS TO BE PREPARED TO RECEIVE SCHEDULED FINISH.
- SWITCHES/DEVICES SHOWN ADJACENT TO DOORS SHALL BE INSTALLED 6" FROM THE EDGE OF THE ADJACENT DOOR OPENING TO THE CENTERLINE OF THE SWITCH OR DEVICE U.O.N.
- SEE DEVICE MOUNTING DIAGRAM FOR SWITCH MOUNTING HEIGHT. MULTIPLE SWITCHES/DIMMERS TO BE GANGED & PROVIDED WITH SINGLE GANG PLATE.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, AND DIFFUSERS IN HALLWAYS SHALL BE CENTERED IN THE SHORT DIMENSION OF THE HALLWAY U.O.N.
- REFER TO FINISH SCHEDULE FOR CEILING MATERIAL.
- ALL EXPOSED NEW AND EXISTING CONDUIT, DUCTWORK, VALVES, ETC TO BE PAINTED TO MATCH STRUCTURE, U.O.N.
- DIMENSIONS ARE TO THE CENTERLINE OF FIXTURE U.O.N.
- CEILING GRID SHALL BE CENTERED ON ROOM OR SPACES U.O.N.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CEILING HEIGHTS AND CONDITIONS FOR CLEARANCE OF MECHANICAL UNITS, DUCTWORK, PIPING, LIGHT FIXTURES, ETC. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY COMPLICATIONS WITH HEIGHT PRIOR TO START OF CONSTRUCTION.
- APPROVAL FOR THE SPRINKLER SYSTEM SHALL BE FILED AND OBTAINED BY THE SPRINKLER CONTRACTOR USING HIS OWN SHOP DRAWINGS, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN APPLICABLE JURISDICTION. SPRINKLER CONTRACTOR SHALL SUBMIT SHOP DRAWING TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FILING WITH THE BUILDING DEPARTMENT.
- THE ARCHITECTURAL REFLECTED CEILING PLANS INDICATE THE PROPER LOCATIONS OF LIGHTING FIXTURES. DO NOT SCALE ELECTRICAL DRAWINGS FOR EXACT LOCATION OF THE LIGHTING FIXTURES. VERIFY DIMENSIONS IN FIELD.
- INSTALL EACH FIXTURE PROPERLY, PLUMB, TRUE, IN ALIGNMENT AND FREE OF DISTORTION. G.C. TO PROVIDE HANGERS, RODS, MOUNTING BRACKETS, MISCELLANEOUS FRAMING, SUPPORTING OR ATTACHING DEVICES, FRAMES AND OTHER COMPONENTS OR EQUIPMENT AS REQUIRED FOR A COMPLETE INSTALLATION, AND AS REQUIRED TO PROPERLY SUPPORT IMPOSED LOADS INCLUDING FIXTURE WEIGHT. SECURE LIGHTING FIXTURES TO SUPPORTS. SUPPORT ALL LIGHTING FIXTURES INDEPENDENTLY OF DUCT WORK, PIPING, CEILING SUPPORTS OR OTHER ITEMS OCCURRING WITHIN THE CEILING.
- G.C. TO COORDINATE WITH A/V AND SECURITY DRAWINGS FOR ALL RELATED WORK.

### ADDITIONAL NOTES:

- COORDINATE THE LOCATION OF ALL CEILING MOUNTED EQUIPMENT WITH ALL OF THE VARIOUS TRADES.
- SUPPORT EACH LIGHT FIXTURE INDEPENDENTLY OF THE CEILING SYSTEM AND COORDINATE ITS LOCATION WITH THE ENGINEER PRIOR TO THE INSTALLATION TO AVOID CONFLICT WITH THE OTHER EQUIPMENT.
- VERIFY ALL CEILING TYPES AND MATERIALS PRIOR TO ORDERING LIGHT FIXTURES.
- PROVIDE THERMAL PROTECTION AS PER NATIONAL, STATE AND LOCAL CODES FOR ALL RECESSED INCANDESCENT LIGHT FIXTURES.
- ALL ELECTRICAL, PLUMBING, FIRE PROTECTION AND HVAC WORK SHALL BE DONE BY LICENSED CONTRACTORS IN ACCORDANCE WITH ALL NATIONAL, STATE & LOCAL CODES.
- SPACE TO BE FULLY SPRINKLERED. SPRINKLER CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE FIRE DEPARTMENT FOR APPROVALS PRIOR TO INSTALLATION
- PROVIDE VERTICAL BRACING AT 48" O.C. BOTH DIRECTIONS FOR ALL GYPSUM WALLBOARD SOFFITS AND CEILINGS



SEE SHEET A2A FOR EXACT LIGHTING LOCATIONS, CEILING DETAILS AND ADDITIONAL NOTES

### REFLECTED CEILING PLAN

SCALE: 1/2" = 1'-0"



### EMERGENCY LIGHTING NOTES:

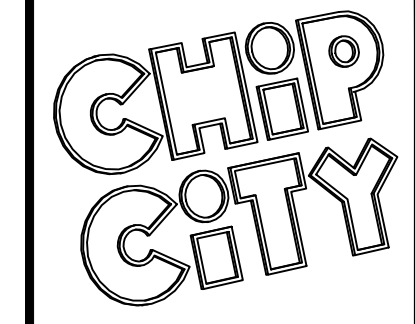
"FEM" EQUALS PROVIDE EMERGENCY LIGHT BATTERY BACKUP BALLAST  
 EM1 EMERGENCY LIGHT  
 MANUF: EMERGI-LITE  
 MODEL #: DLM2  
 2-HEAD EMERGENCY BATTERY UNIT; WHITE  
 E1 ILLUMINATED EXIT SIGN  
 MANUF: T.B.D.  
 EMERGENCY LIGHT AND EXIT SIGN SPECS TO BE CONFIRMED BY OWNER

### CEILING TYPE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	TILE/ COLOR	GRID	REMARKS
ACT- 24x24	ACOUSTICAL CEILING TILE	USG	24" X 24" X 3/4"	9/16" SUPRAFINE XL GRID WHITE	
GWB CLG	GYP. BD. CEILING	-	PT # (FLAT) AS SCHEDULED	-	

### LIGHT FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	COLOR TEMPERATURE	FINISH	MOUNTING TYPE / HEIGHT	REMARKS
F-1	4" DOWNLIGHT	RAB LIGHTING	4" Edge-Lit Wafer - Field Adjustable	4000 K		RECESSED	@ FOH
F-2	2" DOWNLIGHT	ASPECT LED	2.25" LED Recessed Light, Flood, White Trim	4000 K		RECESSED	UNDER ARCHES
F-3	12" COLOR CAP PENDANT	DUTTON BROWN	Pendant Globe Light	4000 K	WHITE CAP, BRASS FINISH, FROSTED GLASS	PENDANT	28" DROP + 8" EXTENSION RODS - VIF CEILING HEIGHT
F-5	2X2 LED LIGHT FIXTURE	RAB LIGHTING	2 X 2 Edge-Lit Field Adjustable Panels - EZPAN® FA	4000 K		RECESSED	@ BOH
F-10	TRACK LIGHT KIT	JUNO	TRAC KIT R463600L-40K-97CRI-PDIM-UN-WH		WHITE	TRACK MOUNT	4000 K, @FOH
F-11	FLEX LIGHT		CONTINUOUS COB LIGHT WITH FLEX CHANNEL			SURFACE MOUNTED	4000K, UDER ARCHED SOFFIT



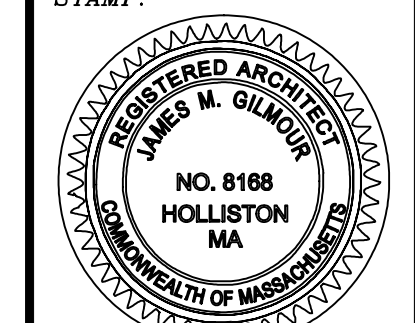
CLIENT INFORMATION:  
**CHIP CITY COOKIES**  
 278 7TH AVE, NEW YORK, NY 10001  
 CLIENT CONTACT:  
 NICHOLAOS MOSHOPOULOS  
 10-15 MALBA DRIVE  
 WHITESTONE, NY 11357  
 EMAIL: niko@chipcitycookies.com  
 TEL: 646-529-8885

DESIGN CONSULTANT:  
**dpb**  
 DESIGN SERVICES  
 100 SOUTH ROAD  
 ANDOVER, MA 01810  
 508-880-8460  
 DPBADD@AOL.COM

ARCHITECT:  
**JGA**  
 JAMES GILMOUR ARCHITECTURE  
 200 WINTER STREET  
 HOLLISTON, MA 01746  
 (7508.380.3105)

MEP ENGINEER:  
**MGE**  
 MG Engineering D.P.C. /  
 we engineer success  
 116 West 32nd Street, 12th Floor,  
 New York, N.Y. 10001  
 P 212.643.9055 www.mgedpc.net

PROJECT NAME:  
**CHIP CITY TENANT FIT-UP**  
 PROJECT LOCATION:  
 HARVARD SQUARE  
 ONE BRATTLE SQUARE  
 SUITE 104, SPACE 3A  
 CAMBRIDGE, MA 02138

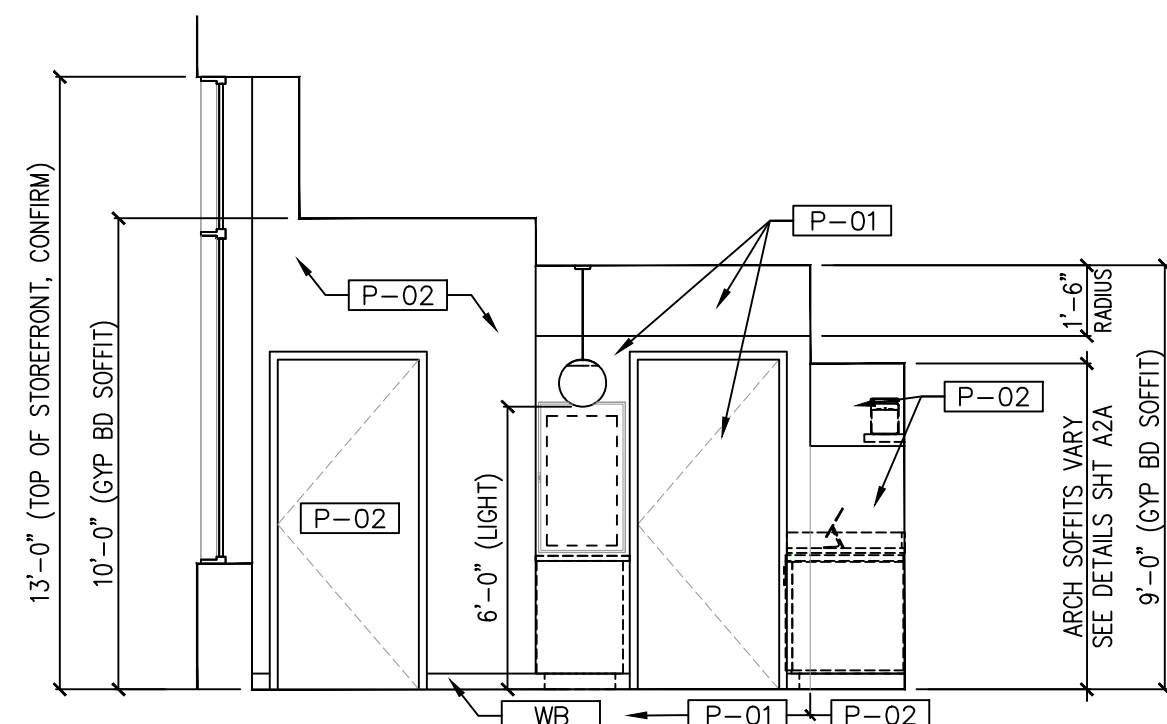


*James M. Gilmour*

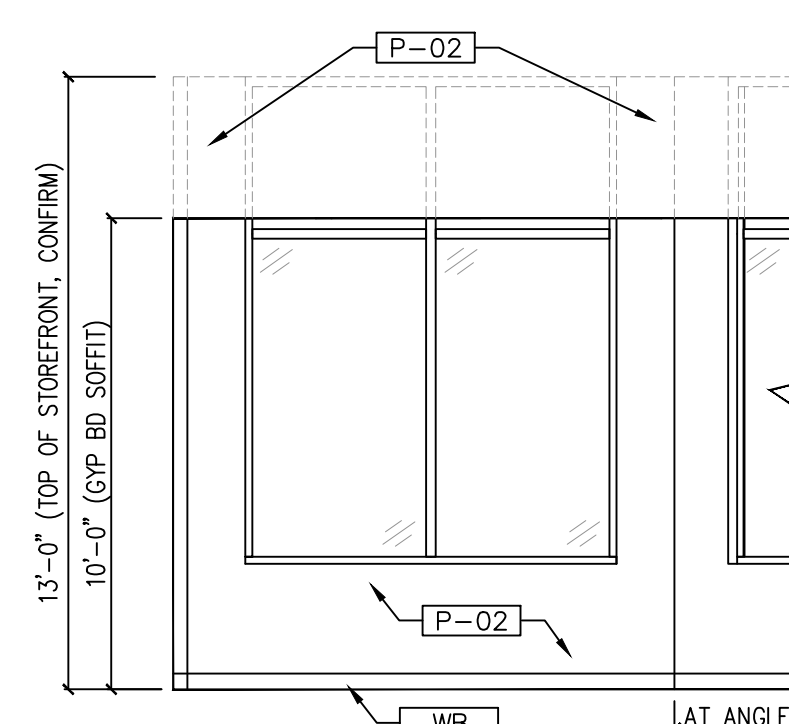
Checked by: DPB  
 Date: 12-08-23  
 Drawn by: MJC  
 No. 1  
 Revision: 1

12-08-23 PERMIT DOCUMENTS  
 11-08-23 ARCHITECTURAL COMPLETED  
 10-24-23 DRAWINGS TO ENGINEER

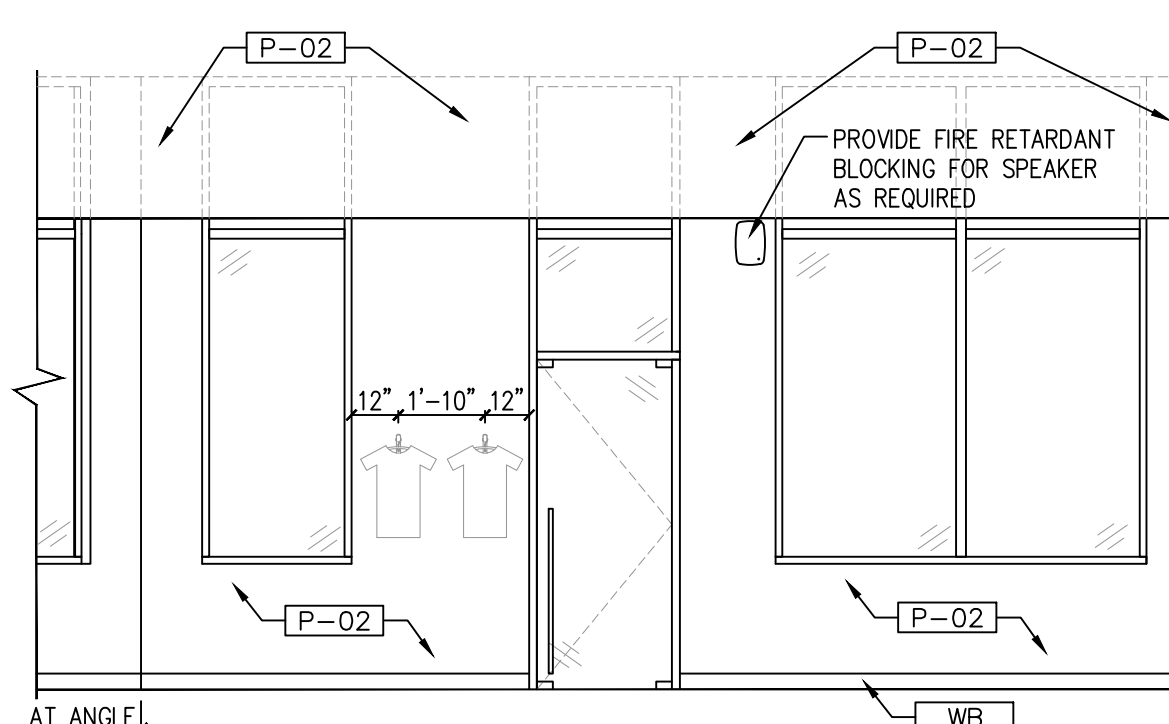
SHEET TITLE:  
**REFLECTED CEILING PLAN**  
 SHEET NO.  
 4 of 9  
 SHEET NO.  
**A2**  
 CHIP CITY CAMBRIDGE, MA



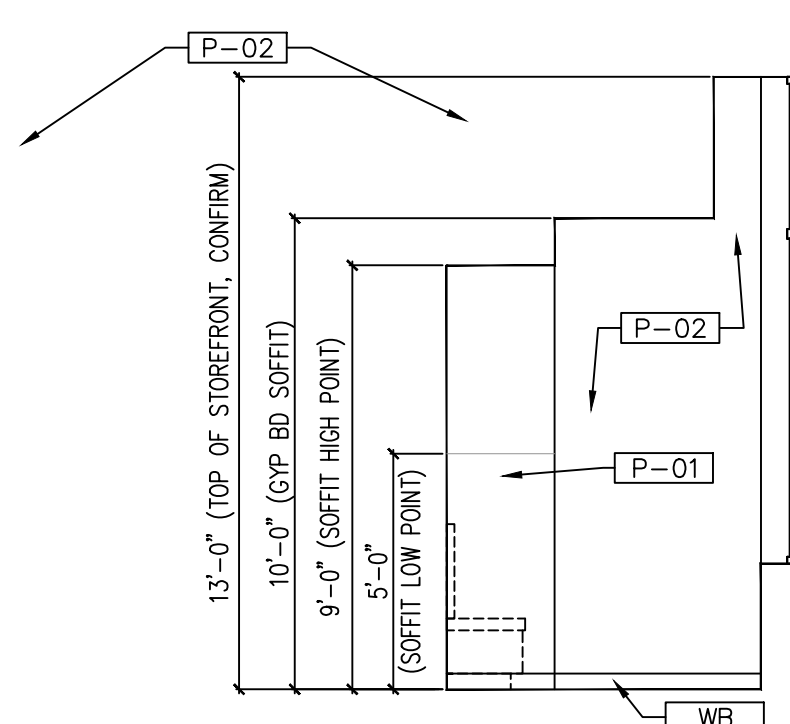
ELEVATION 1



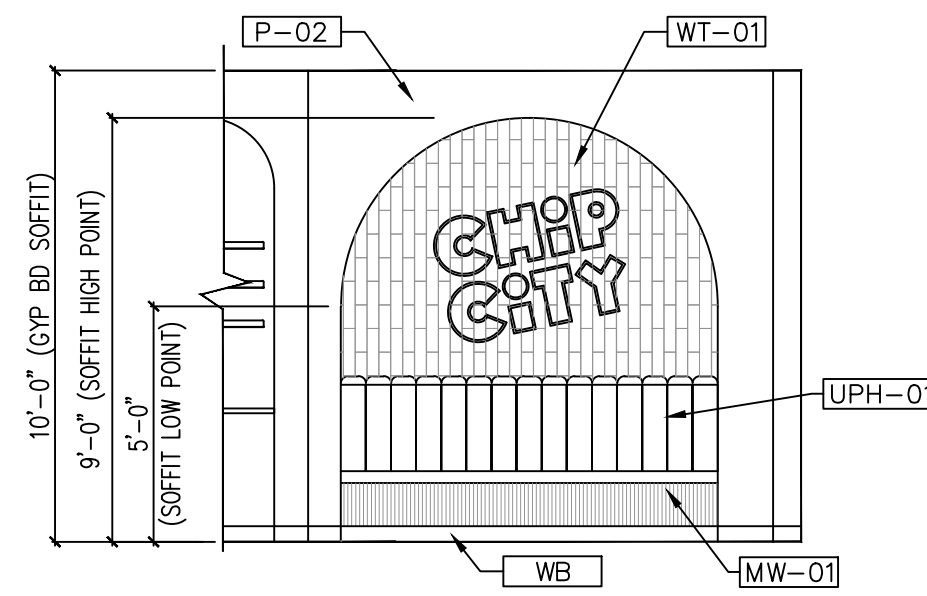
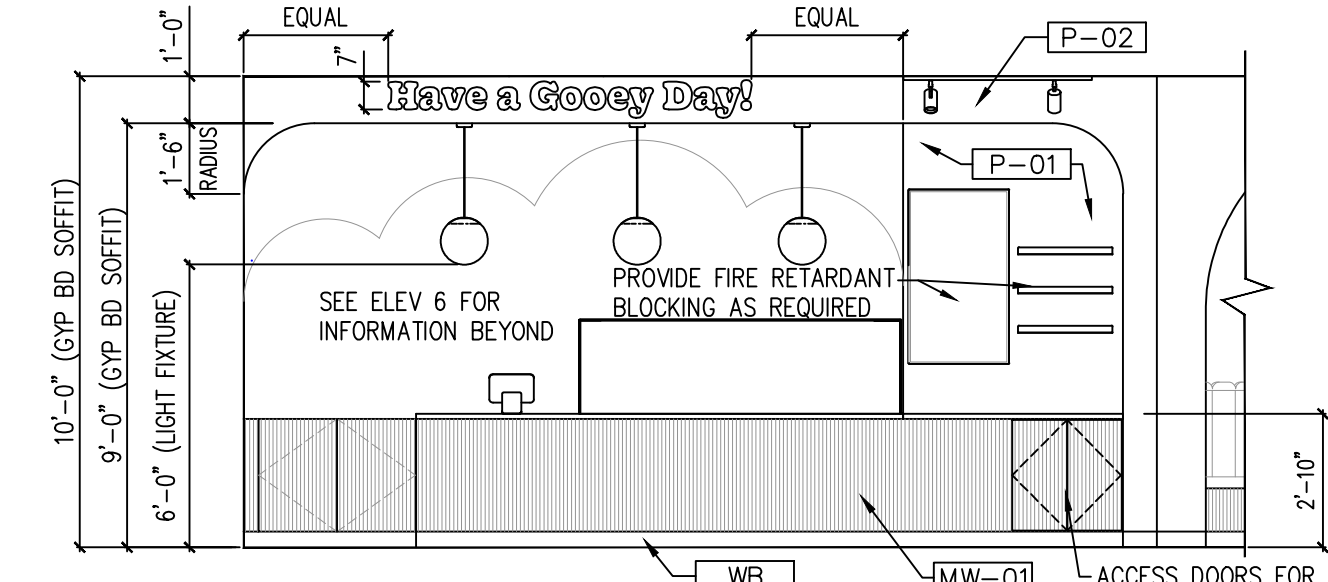
ELEVATION 2



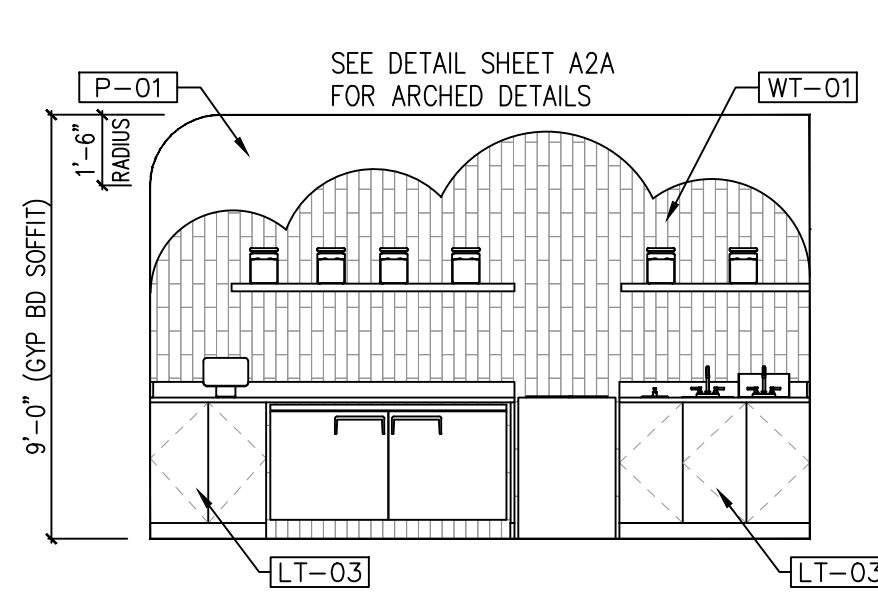
ELEVATION 3



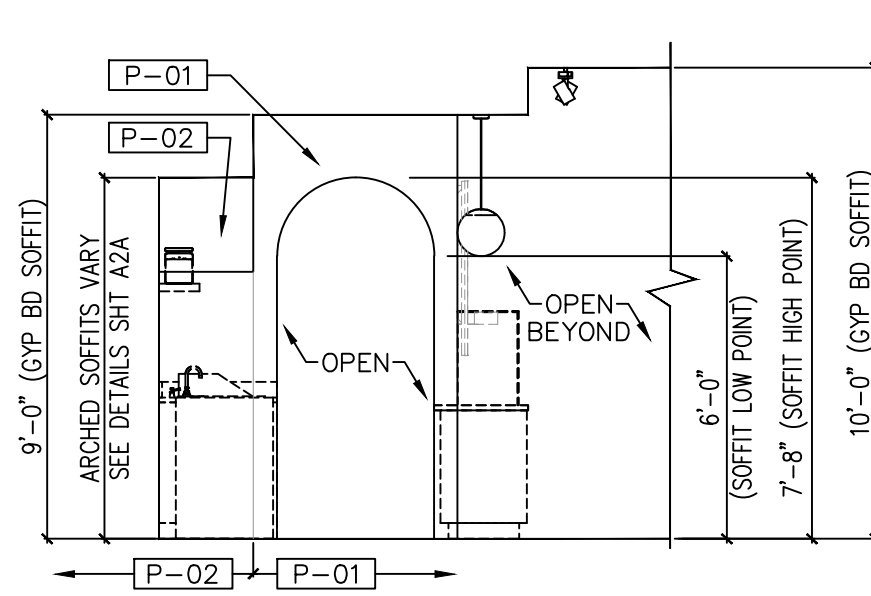
ELEVATION 4



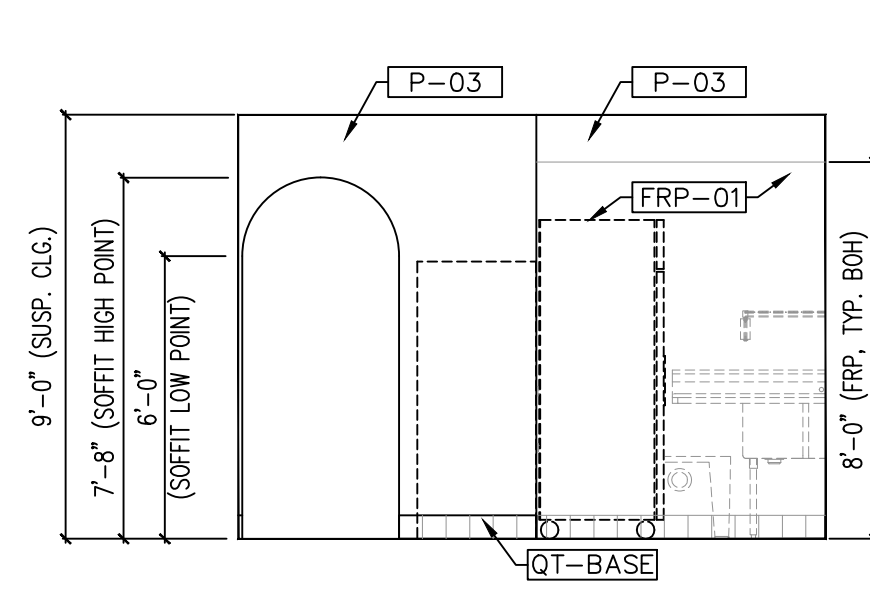
ELEVATION 6



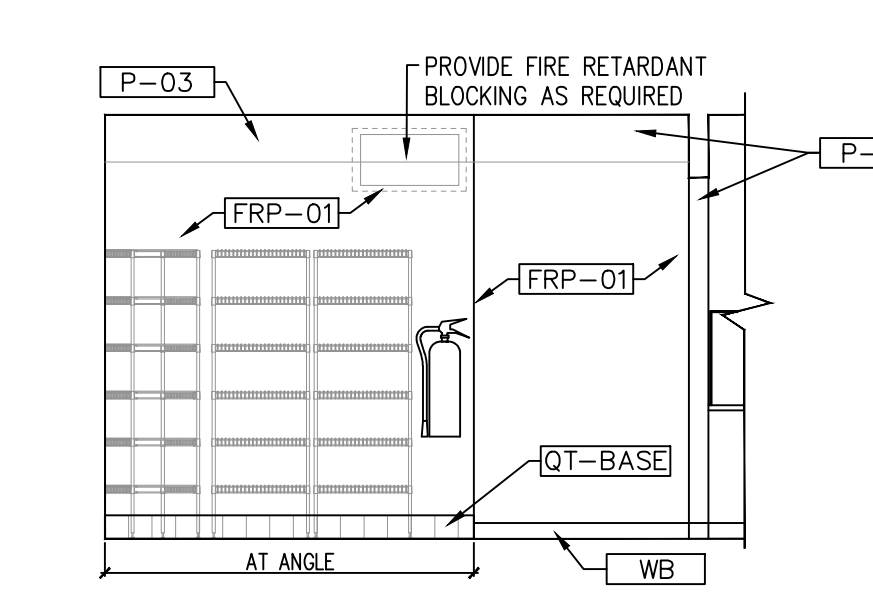
ELEVATION 7



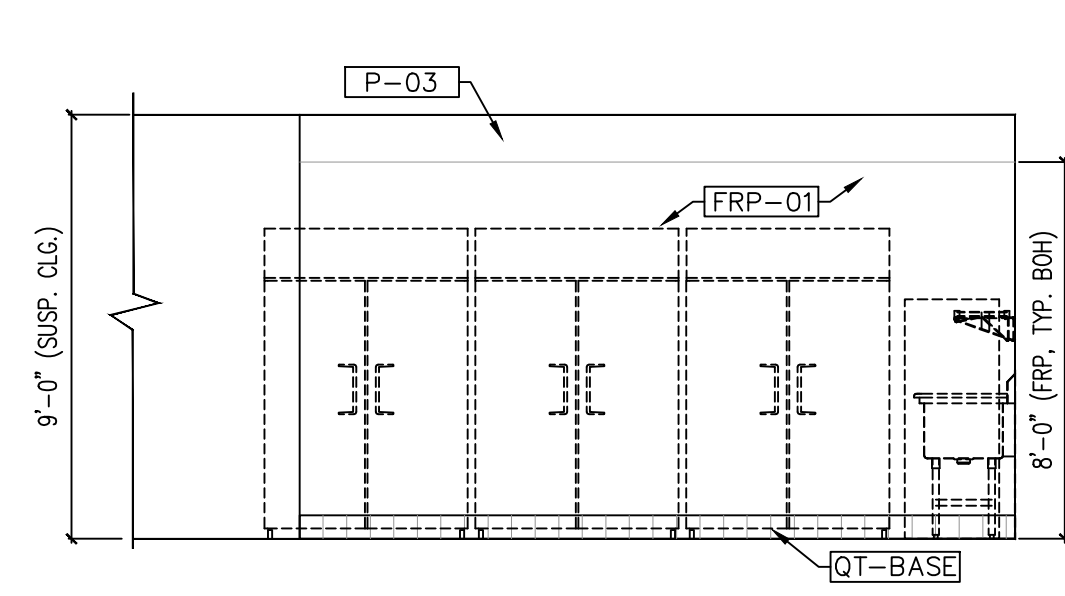
ELEVATION 8



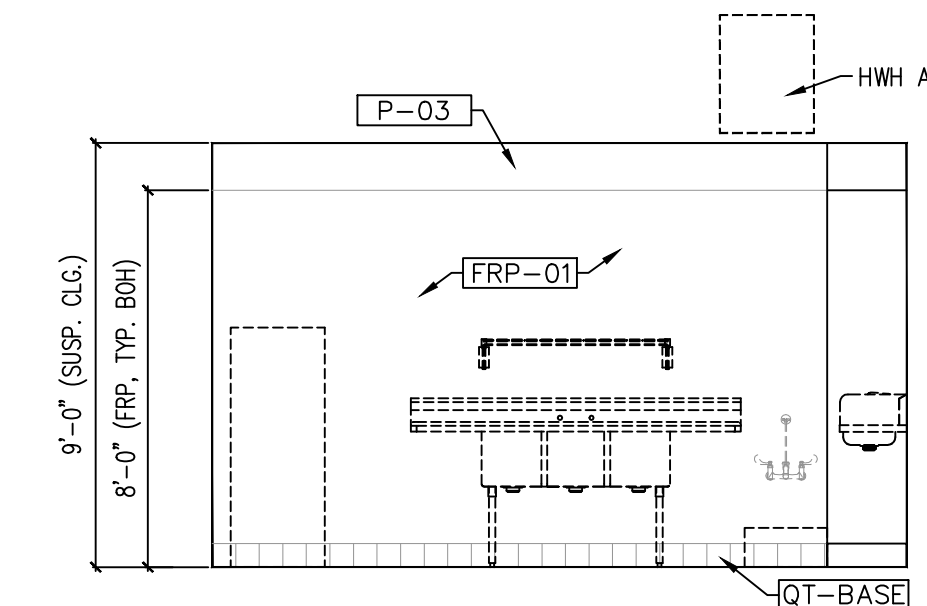
ELEVATION 9



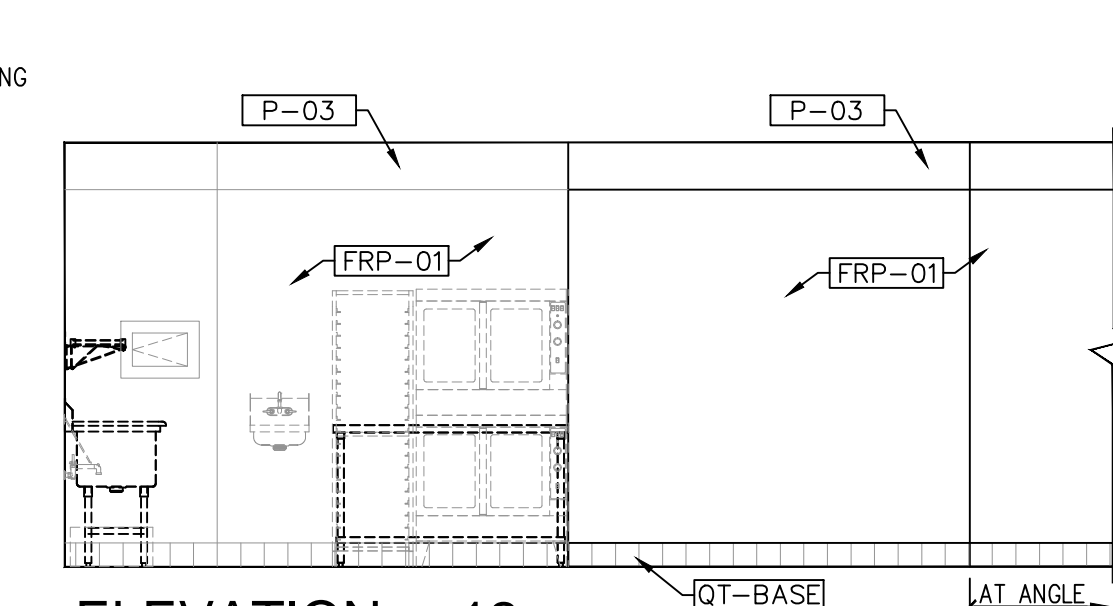
ELEVATION 10



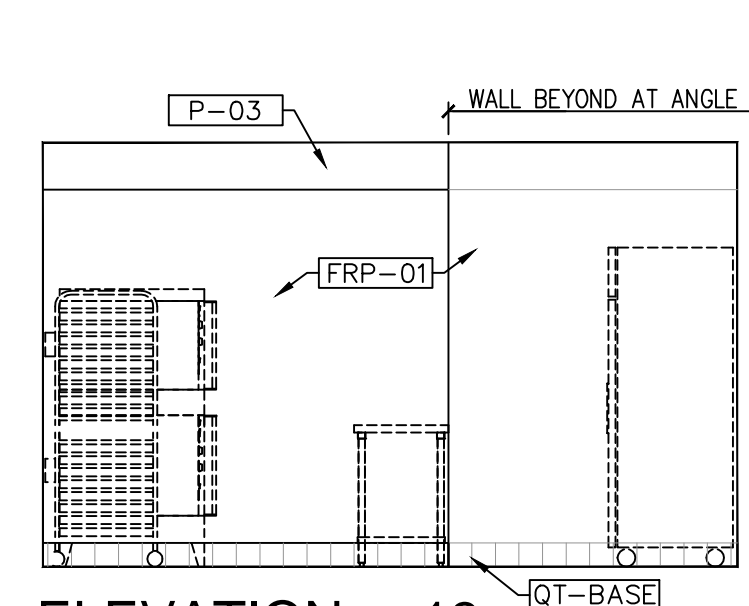
ELEVATION 11



ELEVATION 12

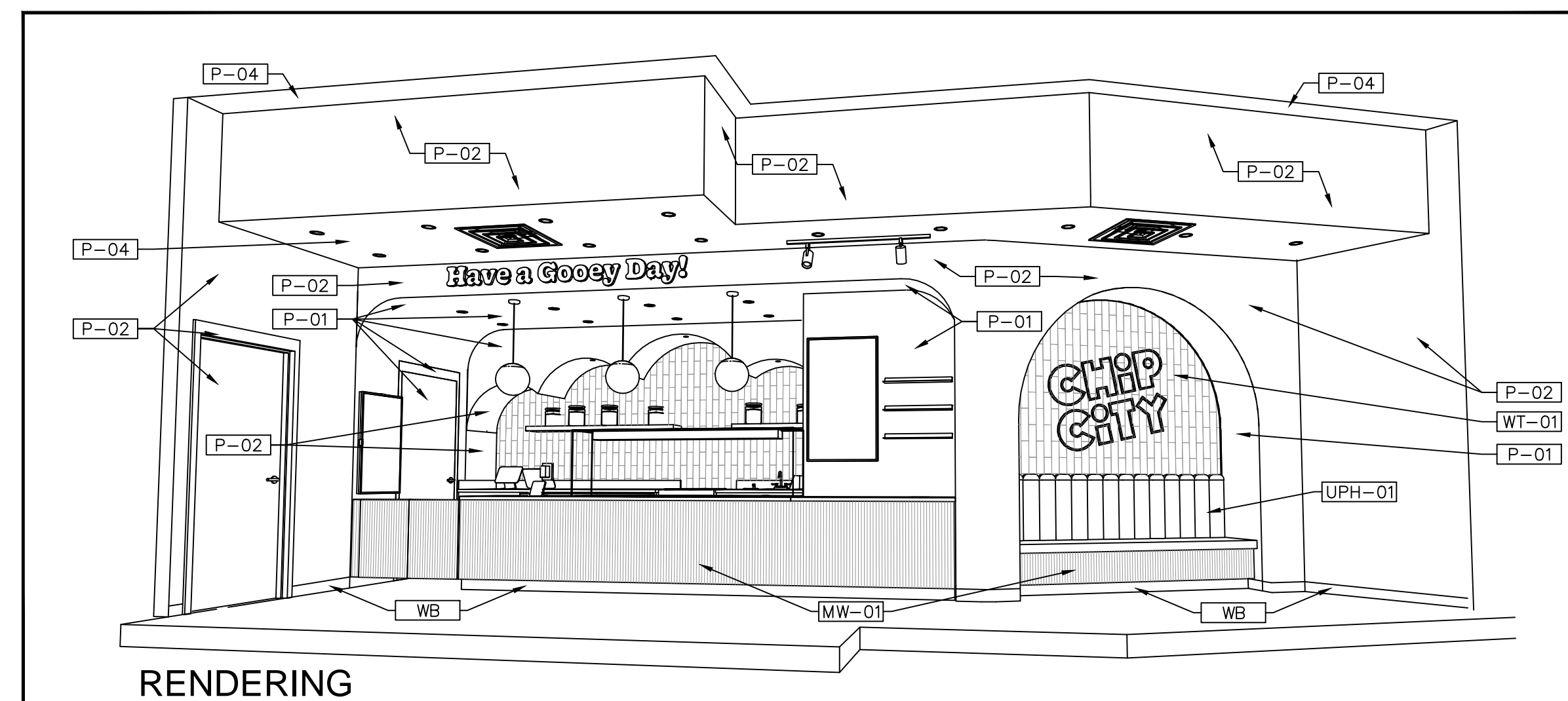


ELEVATION 13

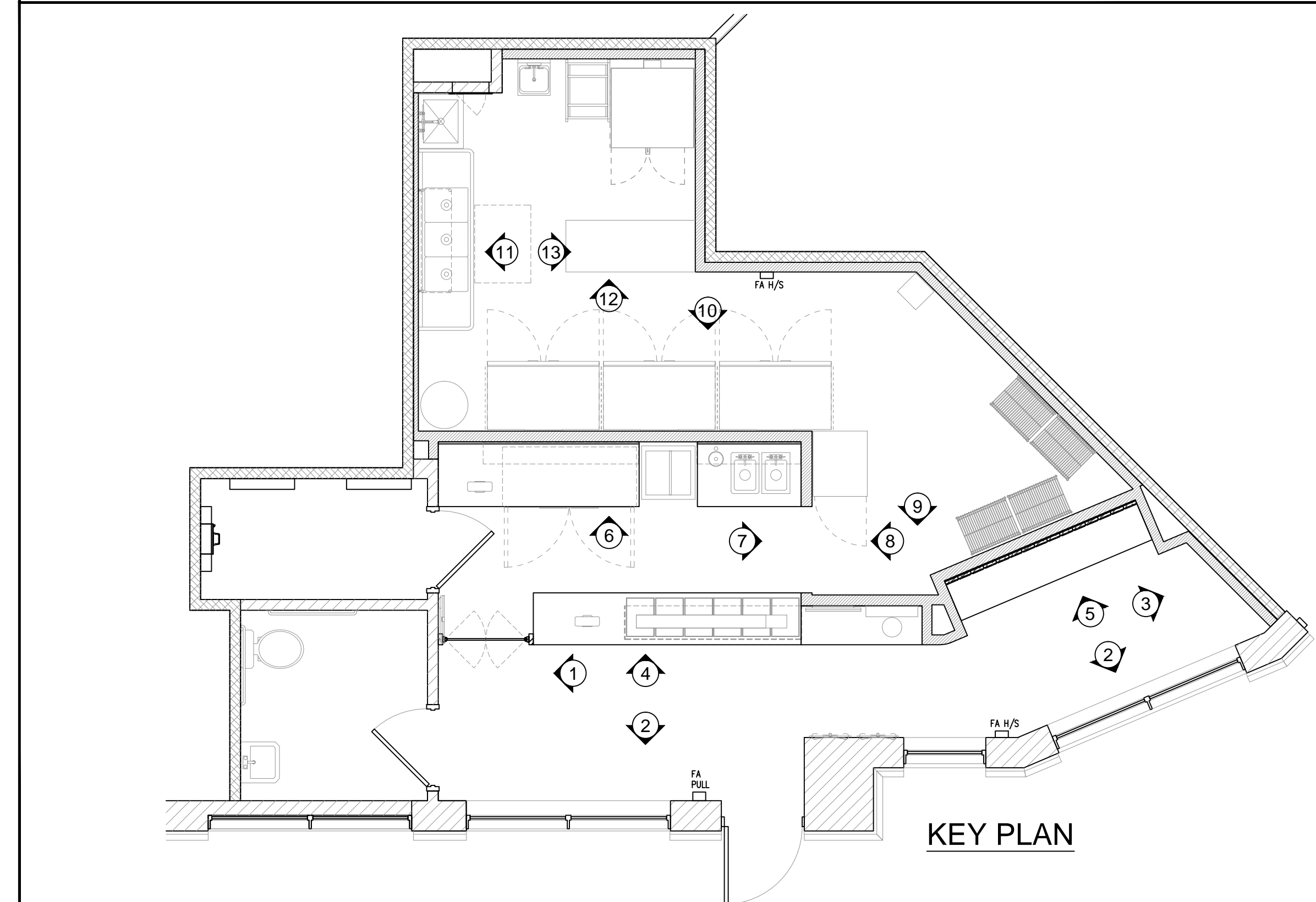


ELEVATION 14

SEE SHEET A2 FOR SOFFITS (FACE AND UNDERSIDE) PAINT COLORS



RENDERING



KEY PLAN

FINISH SCHEDULE							
FINISH TYPE	MATERIAL #	MANUFACTURER	NAME/COLOR	SIZE	CONTACT	DESCRIPTION	NOTES
FIBERGLASS REINFORCED PANEL							
FRP	01	STABILIT OR EQ.	GLASLINER WHITE	4'X8'	TBD	TYPICAL CEILINGS THROUGHOUT	
FLOOR							
FL	01	KAREN PEARSE	PORTAL IVORY	24"		FOH TILE	ALMOND GROUT
FL	02	DALTILE	QUARRY TILE ARID GRAY	6"		BOH TILE	FROSTY GROUT
MILLWORK							
LT	02	FORMICA	WHITE 949-58			LAMINATE	
LT	03	FORMICA	NATURAL MAPLE 756-58			LAMINATE	
MW	01	OUTWATER INDUSTRIES	PROFILE 383			TAMBOUR	MAPLE MAPLE STAIN TO MATCH LT-03
PAINT							
P	01	BENJAMIN MOORE	SERENITY 2055-60/EGGSHELL		TBD	TYPICAL WALLS THROUGHOUT	
P	02	BENJAMIN MOORE	INNOCENCE 2055-70/EGGSHELL		TBD	ACCENT PAINT	
P	03	BENJAMIN MOORE	WHITE DOVE/EGGSHELL		TBD	BOH PAINT	
P	04	BENJAMIN MOORE	WHITE/MATTE		TBD	TYPICAL CEILINGS THROUGHOUT	
SOLID SURFACE							
SS	01	CITI QUARTZ	HAMPTON		TBD		
UPHOLSTERY							
UPH	01	DESIGNTEX	PALE AQUA 3403-408			VINYL FABRIC	
WALL BASE							
WB	01	TBD	MATCH WALL/ SEMIGLOSS			4" MDF WALL BASE	
WB	02	TBD	GREY OR WHITE			4" VINYL WALL BASE	
WALL TILE							
WT	01	C TO C TILE	WHITE GLOSS/ LA GRAZIA	3"X12" ROUNDED		VERTICAL BRICK	MATCH P-2 COLOR GROUT 360 SANDED



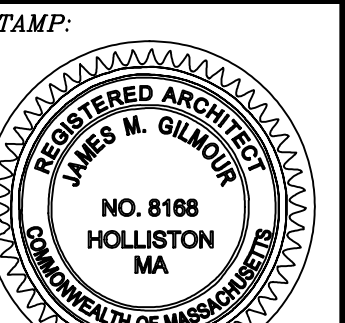
CLIENT INFORMATION:  
**CHIP CITY**  
 278 7TH AVE, NEW YORK, NY 10001  
 CLIENT CONTACT:  
 NICHOLAOS MOSHOPOULOS  
 10-15 MALBA DRIVE  
 WHITESTONE, NY 11357  
 EMAIL: nmk@chipycitybooks.com  
 TEL: 646-529-8885

DESIGN CONSULTANT:  
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 DESIGN SERVICES  
 50 HOLT ROAD  
 ANDOVER, MA 01810  
 508-380-8460  
 DPBADD@AOL.COM

ARCHITECT:  
**JGA**  
 JAMES GILMOUR ARCHITECTURE  
 200 WINTER STREET  
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MEP ENGINEER:  
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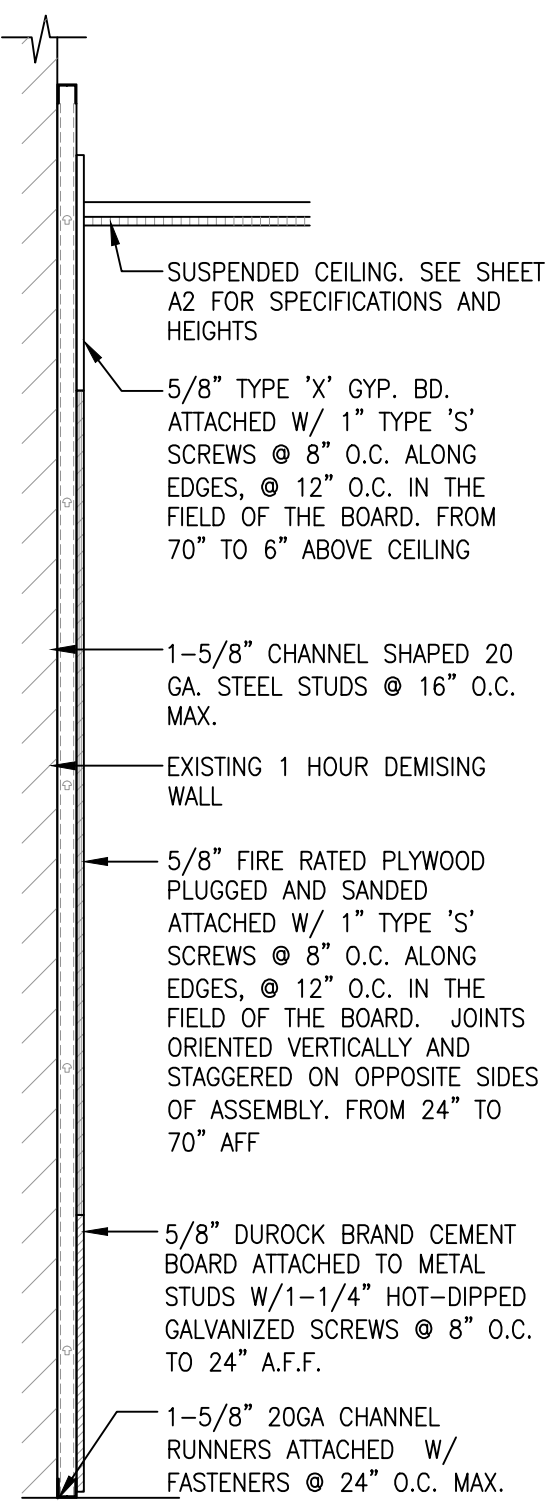
PROJECT NAME:  
**CHIP CITY**  
 TENANT FIT-UP  
 PROJECT LOCATION:  
 HARVARD SQUARE  
 ONE BRATTLE SQUARE  
 SUITE 104, SPACE 3A  
 CAMBRIDGE, MA 02138



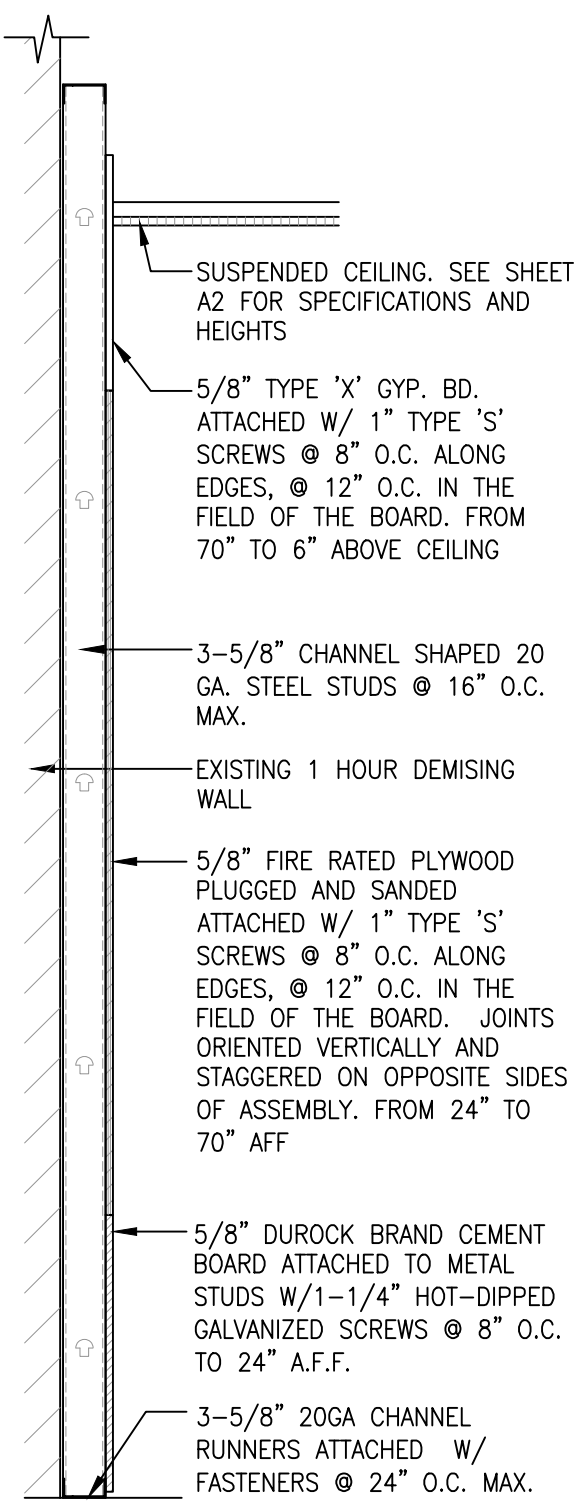
STAMP:  
 [Signature]

Drawn by: [Blank]  
 Checked by: [Blank]  
 Date: 12-08-23  
 Revisions: [Blank]  
 12-08-23 PERMIT DOCUMENTS  
 11-08-23 ARCHITECTURAL COMPLETED  
 10-24-23 DRAWINGS TO ENGINEER

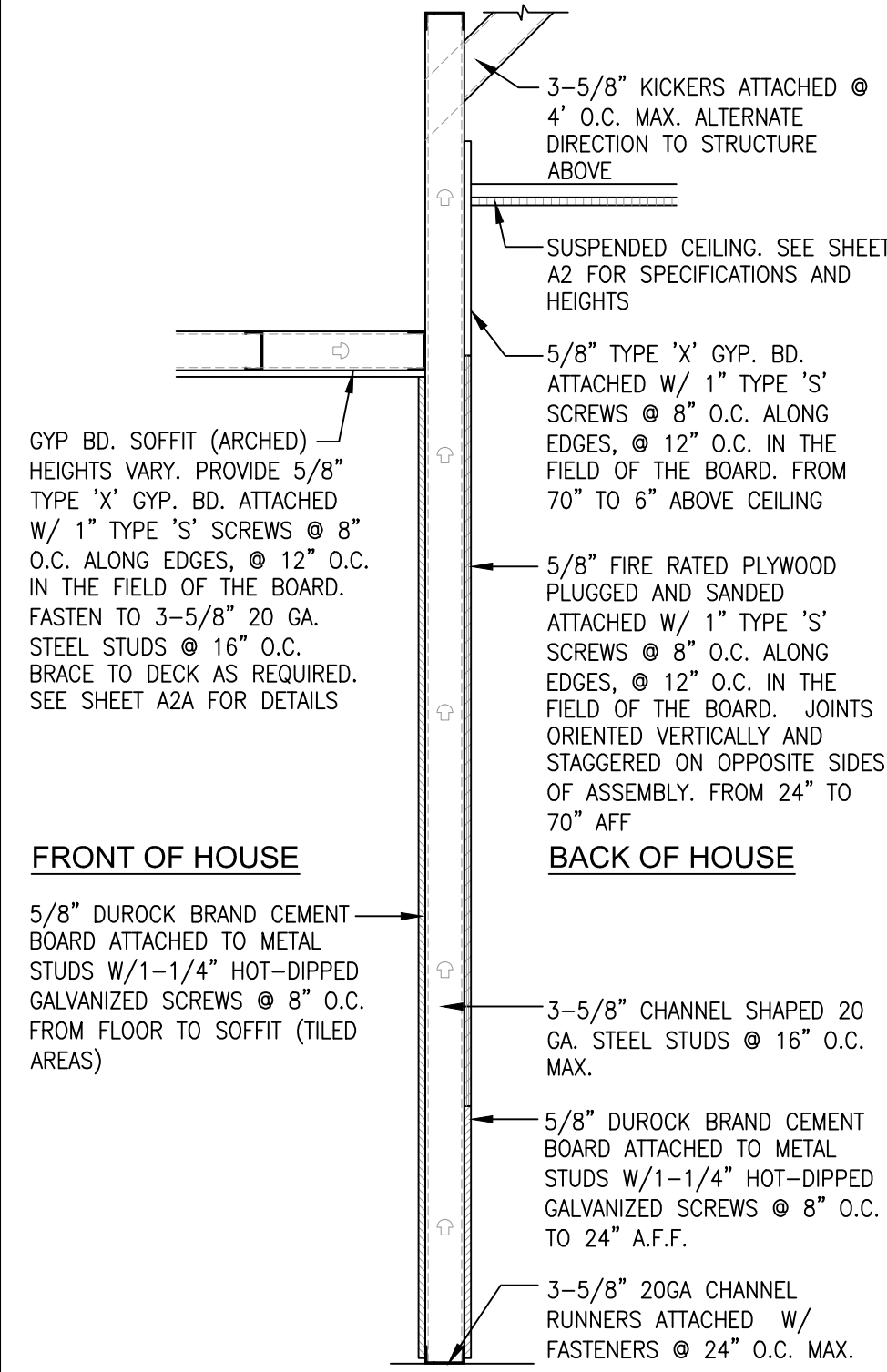
SHEET TITLE:  
**INTERIOR ELEVATIONS**  
 SHEET NO.  
 6 OF 9  
 SHEET NO.  
**A3**  
 CHIP CITY  
 CAMBRIDGE, MA



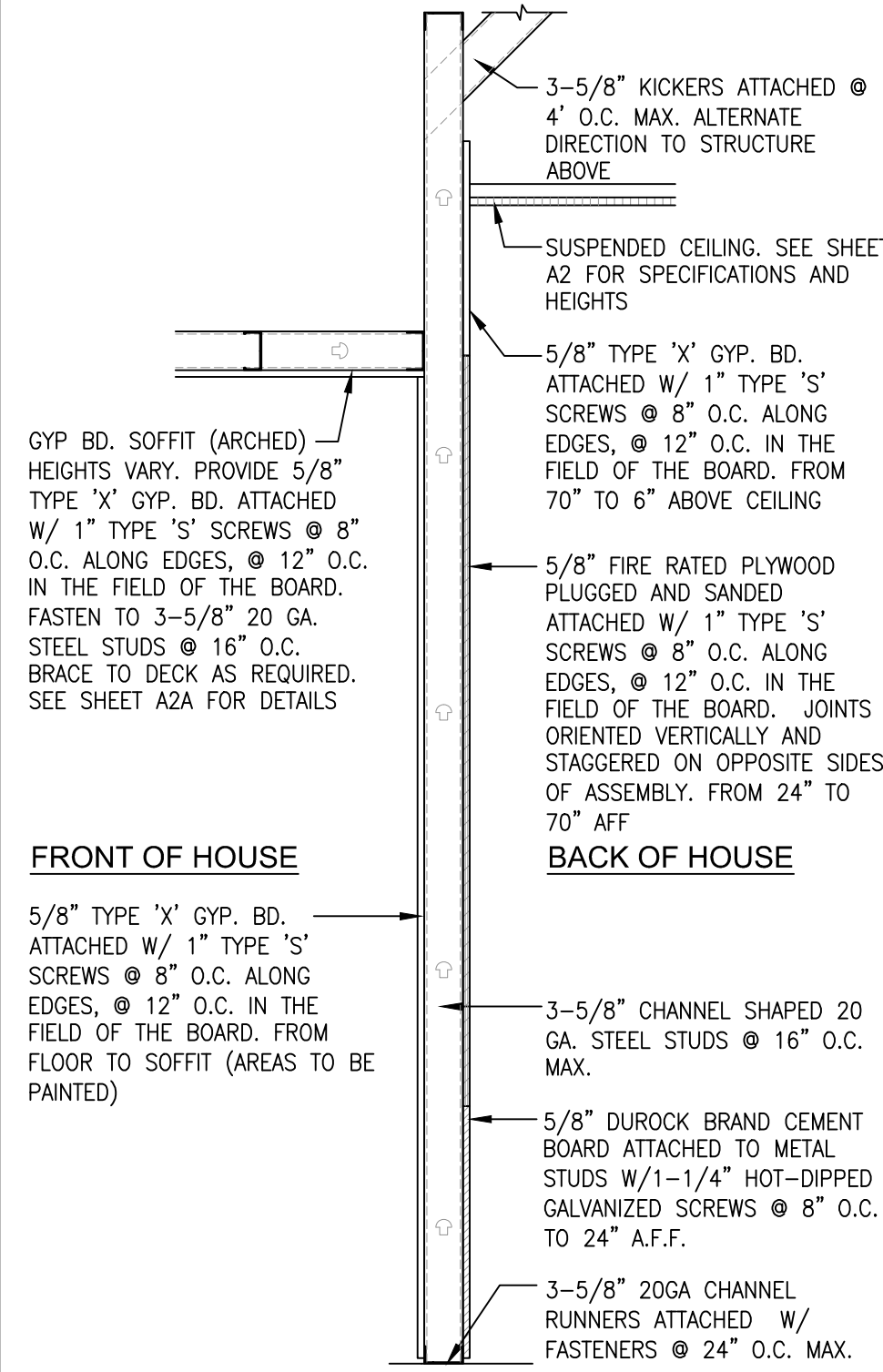
WALL TYPE 1



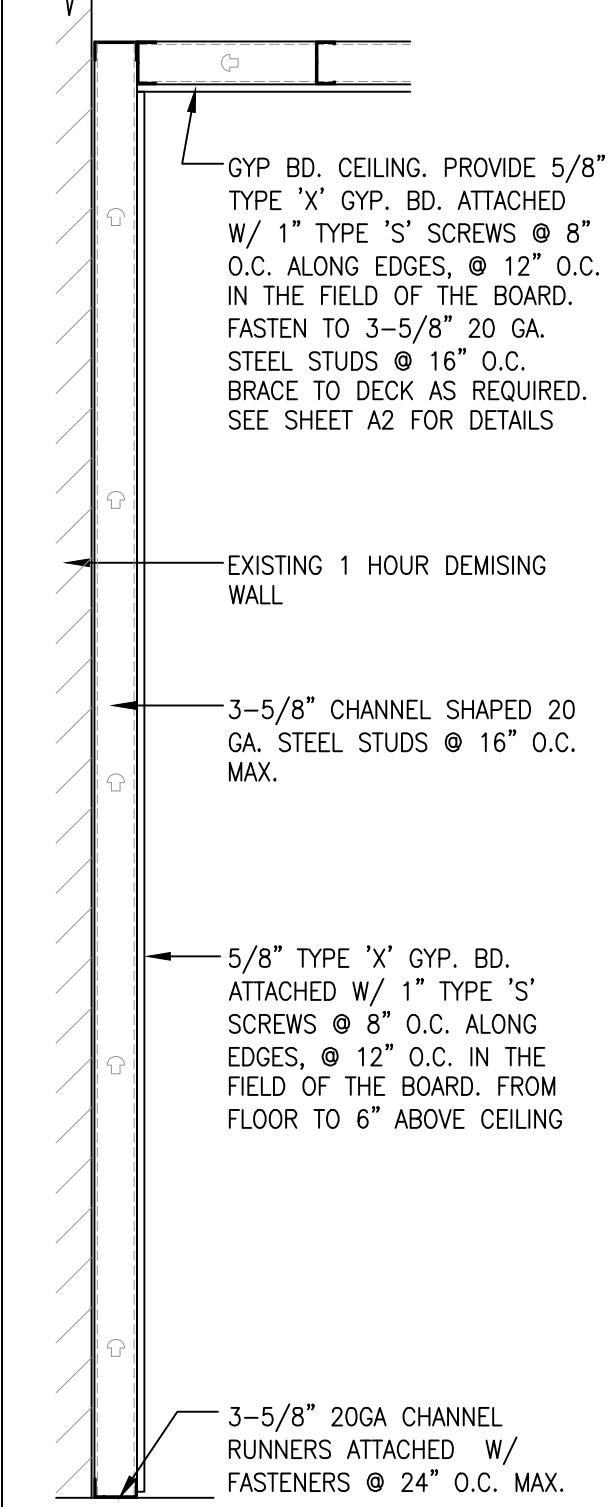
WALL TYPE 2



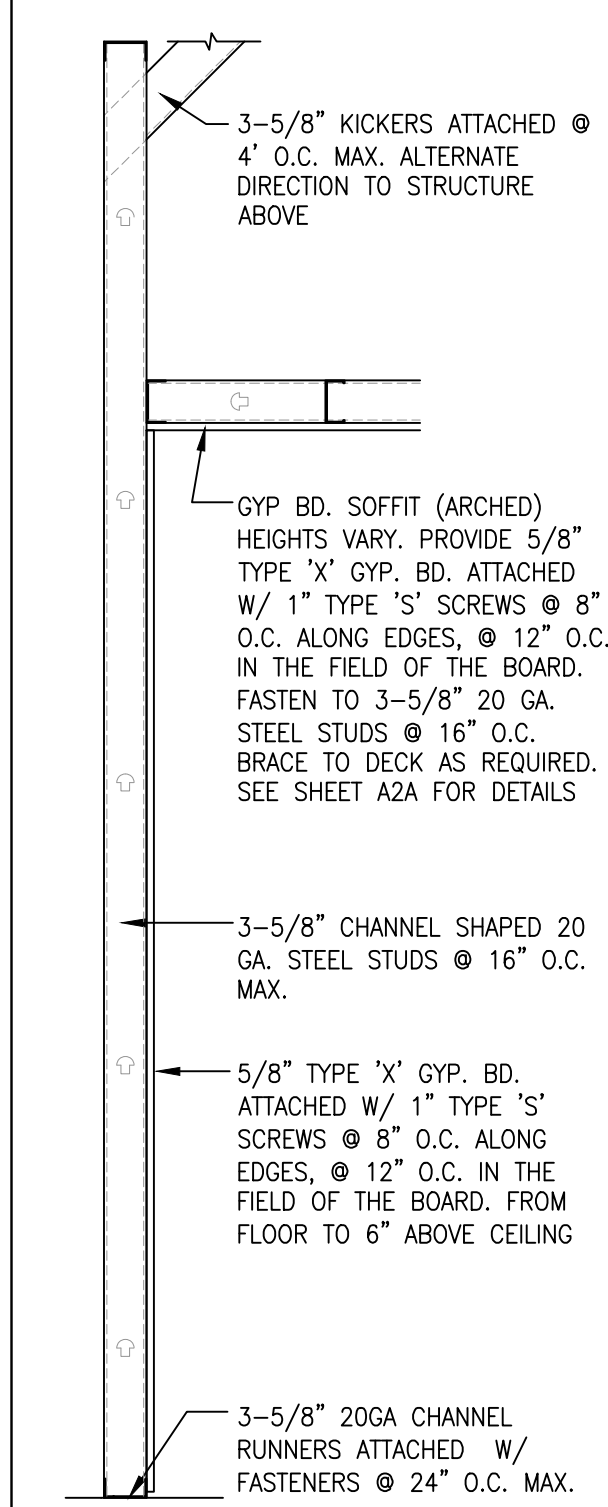
WALL TYPE 3



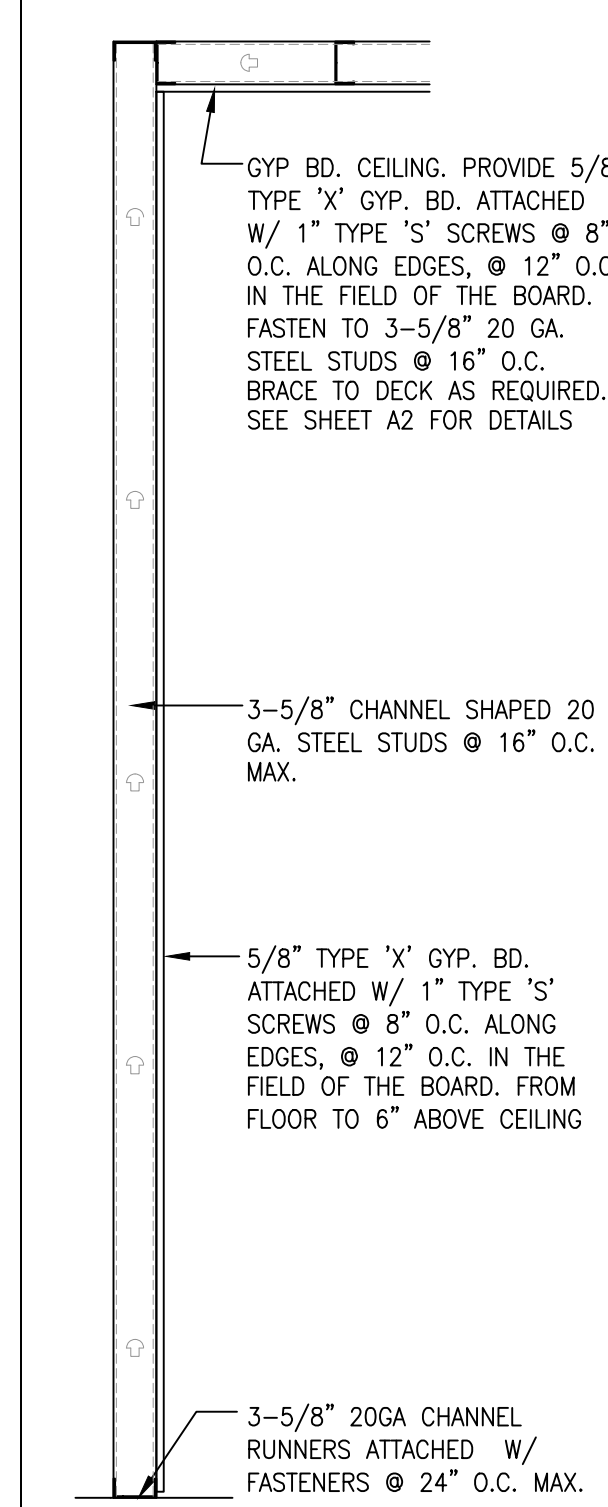
WALL TYPE 4



WALL TYPE 5



WALL TYPE 6

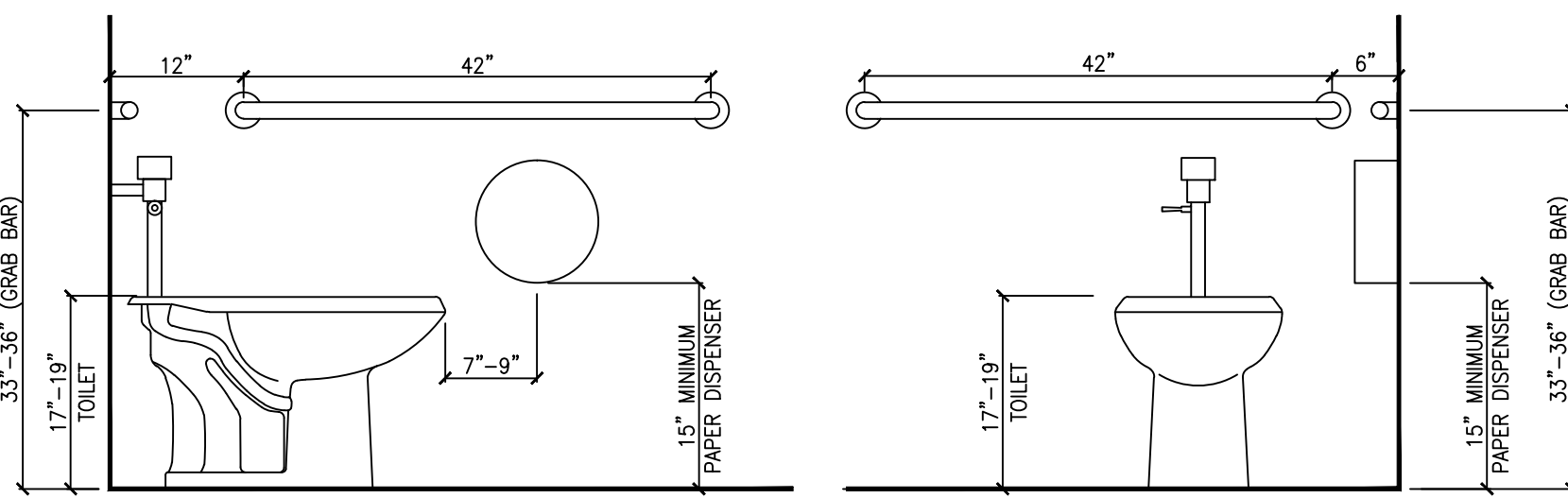


WALL TYPE 7

WALL TYPES 1 THRU 7 AT SCALE: 3/4" = 1'-0"

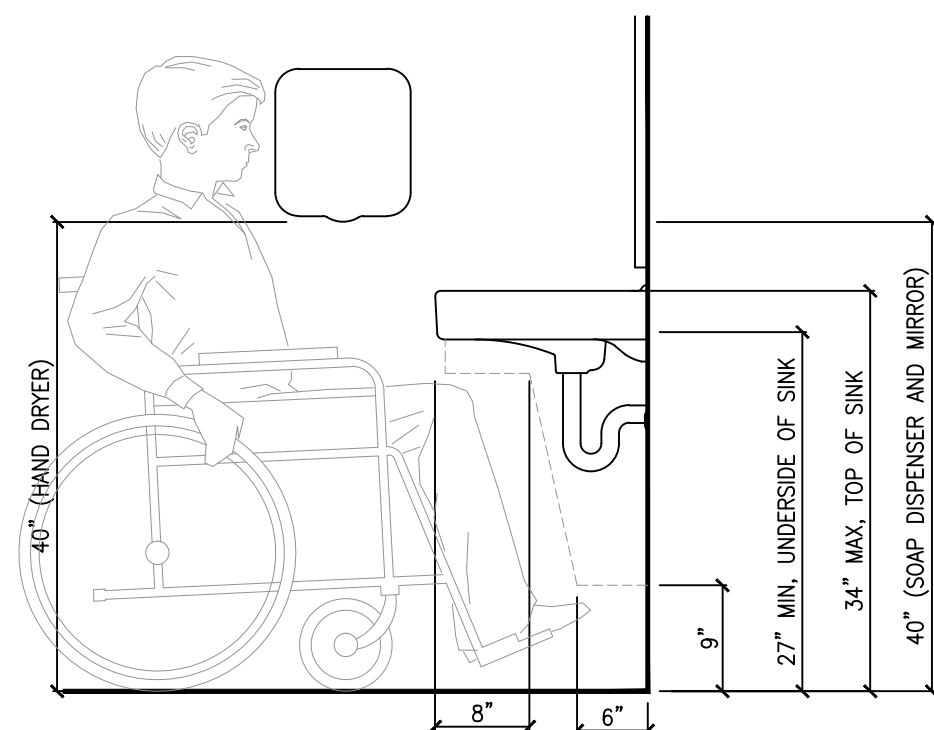
GENERAL WALL CONSTRUCTION NOTES:

ALL METAL STUDS TO BE 20 GAUGE (UNLESS OTHERWISE NOTED)  
 PROVIDE FIRE RETARDANT SOLID WOOD BLOCKING AT ALL WALL MOUNTED ACCESSORIES WHERE PLYWOOD IS NOT SHOWN AS SUBSTRATE  
 ALL PARTITIONS TO BE BRACED TO DECK ABOVE AS REQUIRED.  
 PROVIDE 5/8" FIRE RETARDANT PLYWOOD IN ALL BACKROOM AREAS WHERE FRP IS TO BE INSTALLED TO BE USED AS SOLID WOOD BLOCKING FOR WALL MOUNTED EQUIPMENT  
 INSTALL DUROCK CEMENT BOARD IN ALL BACKROOM AREAS TO 24" A.F.F.  
 SEE SHEET A3 (ELEV.) AND SHEET A1A FOR ALL FINISHES.  
 SEE SHEET A2 AND A2A FOR SOFFIT AND CEILING DETAILS



ADA TOILET DETAILS

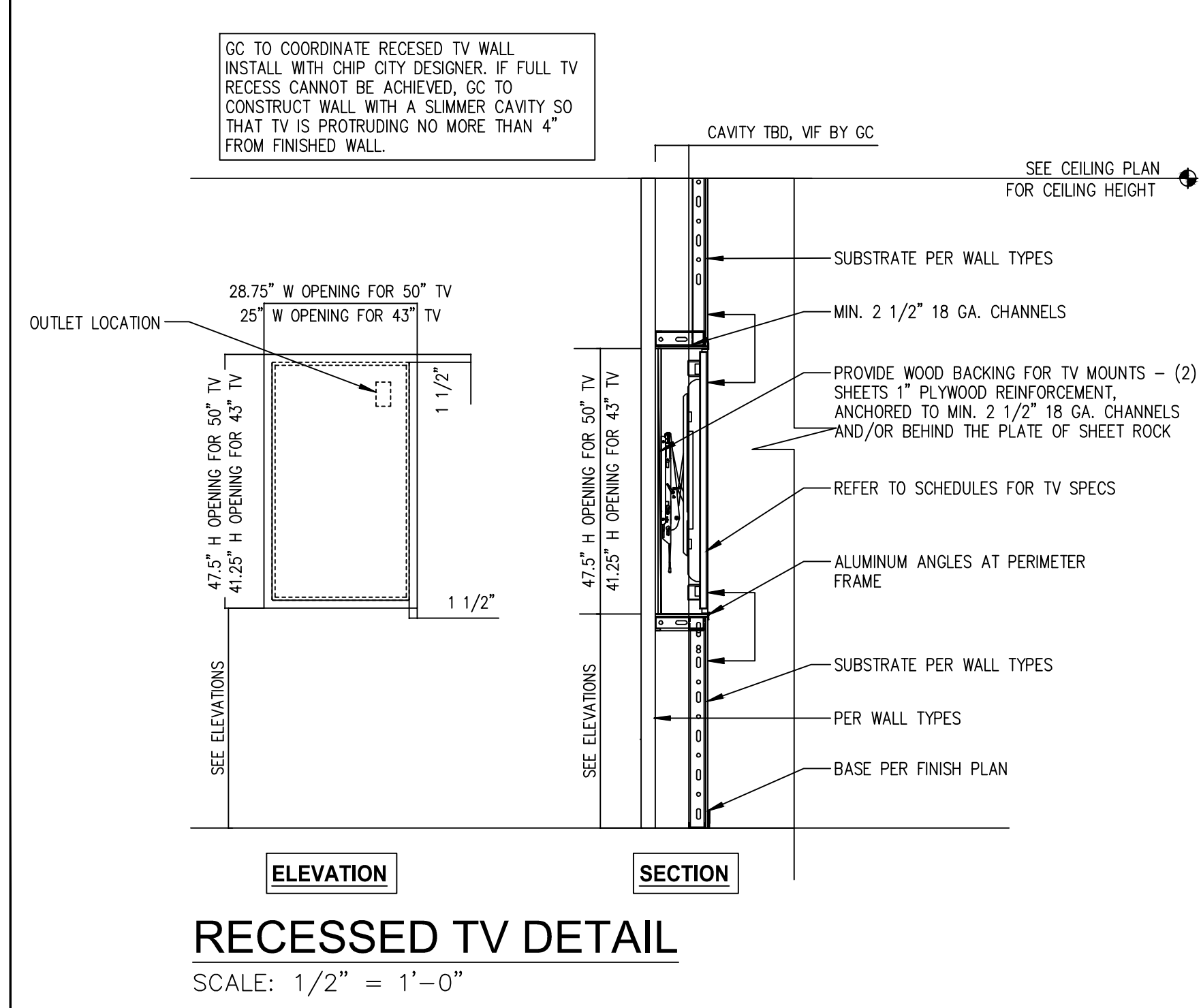
SCALE: 3/4" = 1'-0"



ADA LAVATORY DETAILS

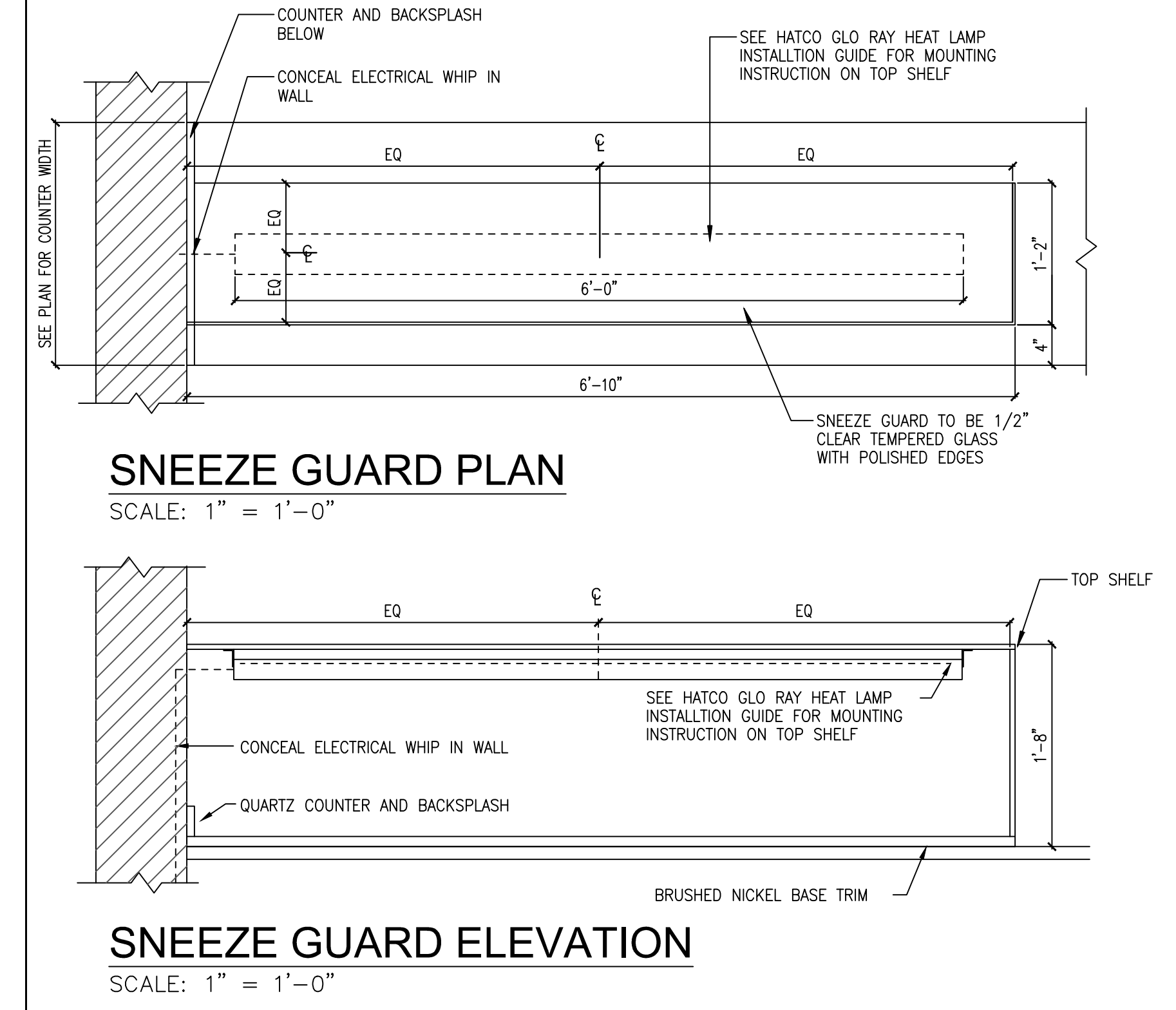
SCALE: 3/4" = 1'-0"

EXISTING REST ROOM TO REMAIN SURVEY EXISTING FIXTURES AND EQUIPMENT TO ENSURE COMPLIANCE WITH ADA. REFER TO THESE DETAILS FOR COMPLIANCE



RECESSED TV DETAIL

SCALE: 1/2" = 1'-0"

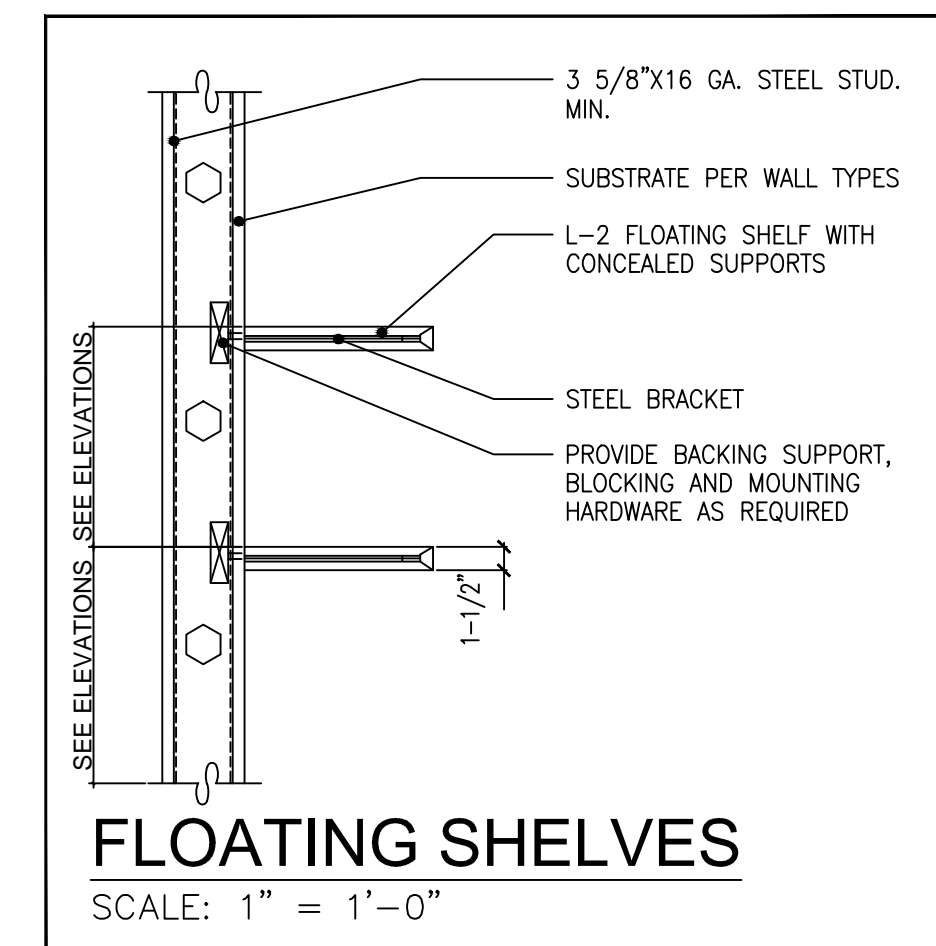


SNEEZE GUARD PLAN

SCALE: 1" = 1'-0"

SNEEZE GUARD ELEVATION

SCALE: 1" = 1'-0"



FLOATING SHELVES

SCALE: 1" = 1'-0"



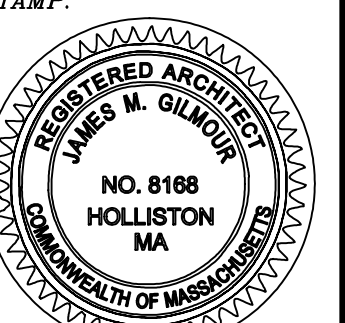
CLIENT INFORMATION:  
**CHIP CITY**  
 278 7TH AVE., NEW YORK, N.Y. 10001  
 CLIENT CONTACT:  
 NICHOLAOS MOSHOPOULOS  
 10-15 MALBA DRIVE  
 WHITESTONE, NY 11357  
 EMAIL: nmk@chipcitybooks.com  
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DESIGN CONSULTANT:  
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 50 HULL ROAD  
 ANDOVER, MA 01810  
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ARCHITECT:  
**JGA**  
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 ARCHITECTURE  
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MEP ENGINEER:  
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PROJECT NAME:  
**CHIP CITY**  
**TENANT FIT-UP**  
 PROJECT LOCATION:  
 HARVARD SQUARE  
 ONE BRATTLE SQUARE  
 SUITE 104, SPACE 3A  
 CAMBRIDGE, MA 02138



Signature of James M. Gilmour

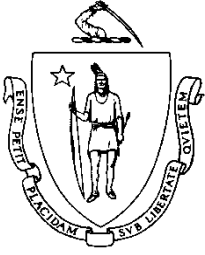
Drawn by:	M.C.	Date:	12-08-23
Checked by:	DPB	Revised:	
Scale:		Permit Documents:	12-08-23
Date:		Architectural Completed:	11-08-23
		Drawings to Engineer:	10-24-23

SHEET TITLE:  
**PARTITION TYPES AND DETAILS**

SHEET NO.  
 7 OF 9

SHEET NO.  
**A4**

CHIP CITY  
 CAMBRIDGE, MA



# Initial Construction Control Document

To be submitted with the building permit application by a  
**Registered Design Professional**  
for work per the 9<sup>th</sup> edition of the  
Massachusetts State Building Code, 780 CMR, Section 107

Project Title: **Chip City Tenant Fit-Up**

Date: December 8, 2023

Property Address: One Brattle Square, Cambridge, MA 02138

Project: Check (x) one or both as applicable:                      New construction                      Existing Construction **X**

Project description:      Minor Remodel to Existing Restaurant

I, **James Gilmour**, MA Registration Number: **8168** Expiration date: **08-31-24** , am a *registered design professional*, and I have prepared or directly supervised the preparation of all design plans, computations and specifications concerning<sup>1</sup>:

Architectural                      Structural                      Mechanical  
 Fire Protection                      Electrical                      Other:

for the above named project and that to the best of my knowledge, information, and belief such plans, computations and specifications meet the applicable provisions of the Massachusetts State Building Code, (780 CMR), and accepted engineering practices for the proposed project. I understand and agree that I (or my designee) shall perform the necessary professional services and be present on the construction site on a regular and periodic basis to:

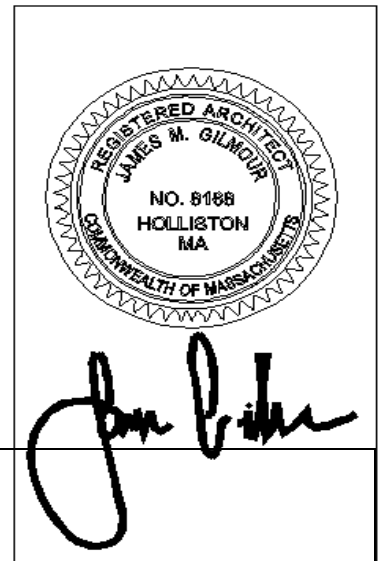
1. Review, for conformance to this code and the design concept, shop drawings, samples and other submittals by the contractor in accordance with the requirements of the construction documents.
2. Perform the duties for registered design professionals in 780 CMR Chapter 17, as applicable.
3. Be present at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the work and to determine if the work is being performed in a manner consistent with the approved construction documents and this code.

Nothing in this document relieves the contractor of its responsibility regarding the provisions of 780 CMR 107.

When required by the building official, I shall submit field/progress reports (see item 3.) together with pertinent comments, in a form acceptable to the building official.

Upon completion of the work, I shall submit to the building official a ‘Final Construction Control Document’.

Enter in the space to the right a “wet” or electronic signature and seal:



Phone number: **508.380.3105**

Email: **jgarchitecture88@gmail.com**

Building Official Use Only

Building Official Name:                      Permit No.:                      Date:

Note 1. Indicate with an ‘x’ project design plans, computations and specifications that you prepared or directly supervised. If ‘other’ is chosen, provide a description.



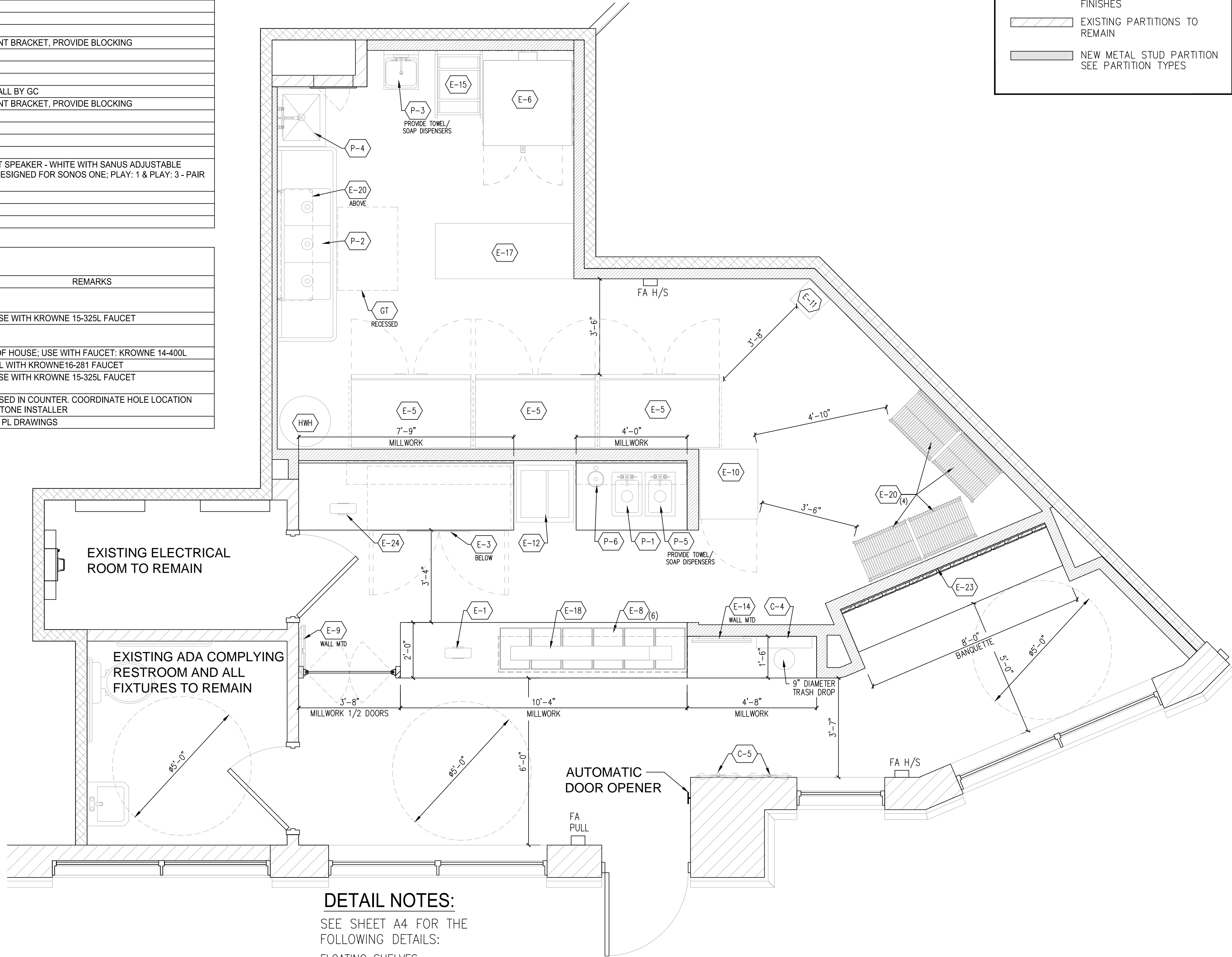
EQUIPMENT SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
E-1	POS/ REGISTER			
E-3	UNDERCOUNTER REFRIGERATOR	ATOSA	MGF8403GR	
E-5	REACH-IN FREEZER	ATOSA	MBF8002GR	
E-6	ELECTRIC CONVECTION OVEN	BLODGETT	SHO-100-E DOUBLE	
E-7	DISHWASHER	CMA	UC-50E	
E-8	COOKIE TRAYS	QUARTER SHEET		
E-9	TV SCREEN DISPLAY	NEC Display Solutions	NEC ME431 ME SERIES	INSTALL WITH FLUSH MOUNT BRACKET, PROVIDE BLOCKING
E-10	WARMING CABINET	METRO	C519-CFC-U	
E-11	METAL LOCKER	SALSBURY INDUSTRIES	4 TIER	
E-12	ICE CREAM FREEZER	EXCELLENCE INDUSTRIES	EDC-4HC	
E-13	SCOOPER WELL	CONSERVEWELL	87740	FURNISH BY OWNER, INSTALL BY GC
E-14	TV SCREEN MENU	NEC Display Solutions	NEC ME501 ME	INSTALL WITH FLUSH MOUNT BRACKET, PROVIDE BLOCKING
E-15	BUN RACK			
E-16	WIRE RACK SHELF	24X18		
E-17	PREP TABLE 24X60	REGENCY	24X60	UNDERSHELF
E-18	HEAT LAMP	GLO-RAY	GR5AL-60	
E-19	SPEAKER	SONOS	ONE SL	MICROPHONE FREE SMART SPEAKER - WHITE WITH SANUS ADJUSTABLE SPEAKER WALL MOUNTS DESIGNED FOR SONOS ONE. PLAY: 1 & PLAY: 3 - PAIR WHITE
E-20	GREENGUARD SHELF	Eagle Group		PROVIDE BLOCKING
E-23	CUSTOM NEON	YELLOW POP	LIGHT BLUE COLOR JACK	WALL MOUNTED
E-24	IPAD	APPLE		

PLUMBING FIXTURE SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
PLUMBING					
P-1	DROP IN DUMP SINK	REGENCY	10X14X10		FOH. USE WITH KROWNE 15-325L FAUCET
P-2	3-COMPARTMENT, 18" RIGHT & LEFT DRAINBOARDS, BOWL SIZE 16" X 20" X 14"	REGENCY	600S3162018X		
P-3	HAND SINK WITH SIDE GUARDS	KCS SUPPLY	KCS-HS3		BACK OF HOUSE; USE WITH FAUCET: KROWNE 14-400L
P-4	MOP SINK	REGENCY	20X16		INSTALL WITH KROWNE16-281 FAUCET
P-5	DROP-IN HANDSINK	REGENCY	10X14X10 WITH SPLASHGUARDS		FOH. USE WITH KROWNE 15-325L FAUCET
P-6	DIPPER WELL & FAUCET	KROWNE	16-149		RECESSED IN COUNTER. COORDINATE HOLE LOCATION WITH STONE INSTALLER
WH	ELECTRIC WATER HEATER	BRADFORD WHITE	E32 80R3 40 GAL		SEE EL PL DRAWINGS

FURNITURE SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
C-4	SHELVING	SHELFOLGY	BENDER FM 1 FLOATING SHELF - 24" WHITE	WHITE GLOSS	PROVIDE BLOCKING
C-5	HOOKS	SHELFOLGY	POPSICLE	WHITE GLOSS	
C-6	PLASTIC LETTERS	WOODLAND MANUFACTURING	"HAVE A GOOEY DAY" X" ACRYLIC LETTERS	WHITE	

**EQUIPMENT NOTES:**

- ALL EQUIPMENT MUST MEET "NATIONAL SANITATION FOUNDATION" STANDARDS FOR CONSTRUCTION AND INSTALLATION CRITERIA.
- THE GC SHALL CLEAN WHERE EQUIPMENT IS TO BE INSTALLED, AT THE START OF INSTALLATION.
- THE GC SHALL BE RESPONSIBLE FOR SECURITY OF EQUIPMENT ON THE JOB SITE.
- THE GC SHALL BE RESPONSIBLE FOR CLEANUP AND DISPOSAL OF DEBRIS AFTER INSTALLATION.
- CONDENSATE FROM REFRIGERATORS (OR FACTORY MOUNTED EVAPORATOR) AND SIMILAR EQUIPMENT SHALL BE DRAINED TO A FLOOR SINK AT 1/4" PER 12" SLOPE WITH A LEGAL AIR GAP.
- MOP SINK SHALL BE PROVIDED WITH HOT (120 DEGREE MINIMUM) AND COLD WATER THROUGH A MIXING FAUCET WITH AN APPROVED BACK FLOW PREVENTION DEVICE.
- ALL SINKS, LAVATORIES, AND HAND SINKS SHALL HAVE COMBINATION FAUCETS OR PREMIXING FAUCETS WITH HOT (120 DEGREE MINIMUM) AND COLD WATER UNDER PRESSURE.
- ALL CURB MOUNTED EQUIPMENT SHALL BE SEALED TO THE WALL AND CURB ON APPROVED MANNER. BUILDING SHALL BE FULL ENCLOSED AND RODENT PROOF.
- ALL WALLS AND CEILINGS IN THE FOOD PREPARATION AND STORAGE AREAS SHALL BE SMOOTH, DURABLE, AND NON-ABSORBENT.
- ALL EQUIPMENT AND COUNTERS SHALL BE SUPPORTED BY STAINLESS STEEL ROUND, 6" HIGH METAL LEGS OR CASTERS.
- CONTRACTOR TO INSTALL THE FOLLOWING ITEMS FURNISHED BY TENANT:
  - INTERIOR SIGN PACKAGE, CUP DISPENSERS, MOP RACK, AND WASTE CONTAINER
- EMPLOYEE WORK AREAS SHALL BE PROVIDED WITH MAIN AISLE NOT LESS THAN 36" IN CLEAR WIDTH, G.C. TO COORDINATE AND PROVIDE ALL BLOCKING FOR EQUIPMENT, MILLWORK, AND FIXTURES. REFER TO INTERIOR ELEVATIONS FOR BLOCKING LOCATIONS.
- ALL MOUNTING HEIGHTS SHALL COMPLY WITH ALL LOCAL AND STATE ACCESSIBILITY AND BUILDING CODE REQUIREMENTS.
- THE GC SHALL INSTALL ALL SOAP AND PAPER TOWEL DISPENSERS, AS FOLLOWS: SOAP DISPENSERS SHALL BE LOCATED DIRECTLY OVER THE SINK AND PAPER TOWEL DISPENSERS SHALL BE LOCATED TO THE RIGHT SIDE OF THE SINK, WITHIN REACHING DISTANCE, BUT NOT DIRECTLY OVER THE SINK. REFER TO THE ENLARGED RESTROOM PLAN FOR RESTROOM FIXTURES / EQUIPMENT.



**DETAIL NOTES:**

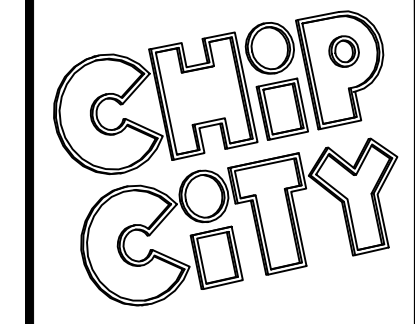
- SEE SHEET A4 FOR THE FOLLOWING DETAILS:
- FLOATING SHELVES
  - SNEEZE GUARD
  - RECESSED MONITOR

**EQUIPMENT FLOOR PLAN**  
SCALE: 1/2" = 1'-0"



**LEGEND:**

- EXISTING PERIMETER WALLS MAINTAIN EXISTING 1 HOUR DEMISING WALL RATING PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES
- EXISTING PARTITIONS TO REMAIN
- NEW METAL STUD PARTITION SEE PARTITION TYPES



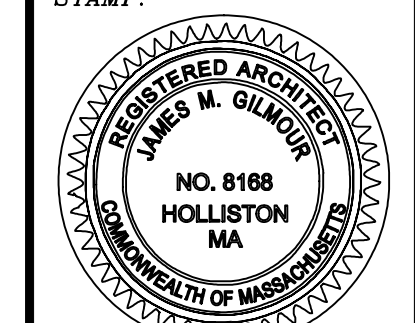
**CLIENT INFORMATION:**  
**CHIP CITY**  
 278 7TH AVE, NEW YORK, NY 10001  
**CLIENT CONTACT:**  
 NICHOLAOS MOSHOPOULOS  
 10-15 MALBA DRIVE  
 WHITESTONE, NY 11357  
 EMAIL: niko@chipcitycookies.com  
 TEL: 646-529-8885

**DESIGN CONSULTANT:**  
**dpb**  
 DESIGN SERVICES  
 10 SOUTH ROAD  
 ANDOVER, MA 01810  
 508-880-8460  
 DPBCADD@AOL.COM

**ARCHITECT:**  
**JGA**  
**JAMES GILMOUR ARCHITECTURE**  
 200 WINTER STREET  
 HOLLISTON, MA 01746  
 (7508.380.3105)

**MEP ENGINEER:**  
**MGE**  
 MG Engineering D.P.C. /  
 we engineer success  
 116 West 32nd Street, 12th Floor,  
 New York, N.Y. 10001  
 P 212.643.9055 www.mgedpc.net

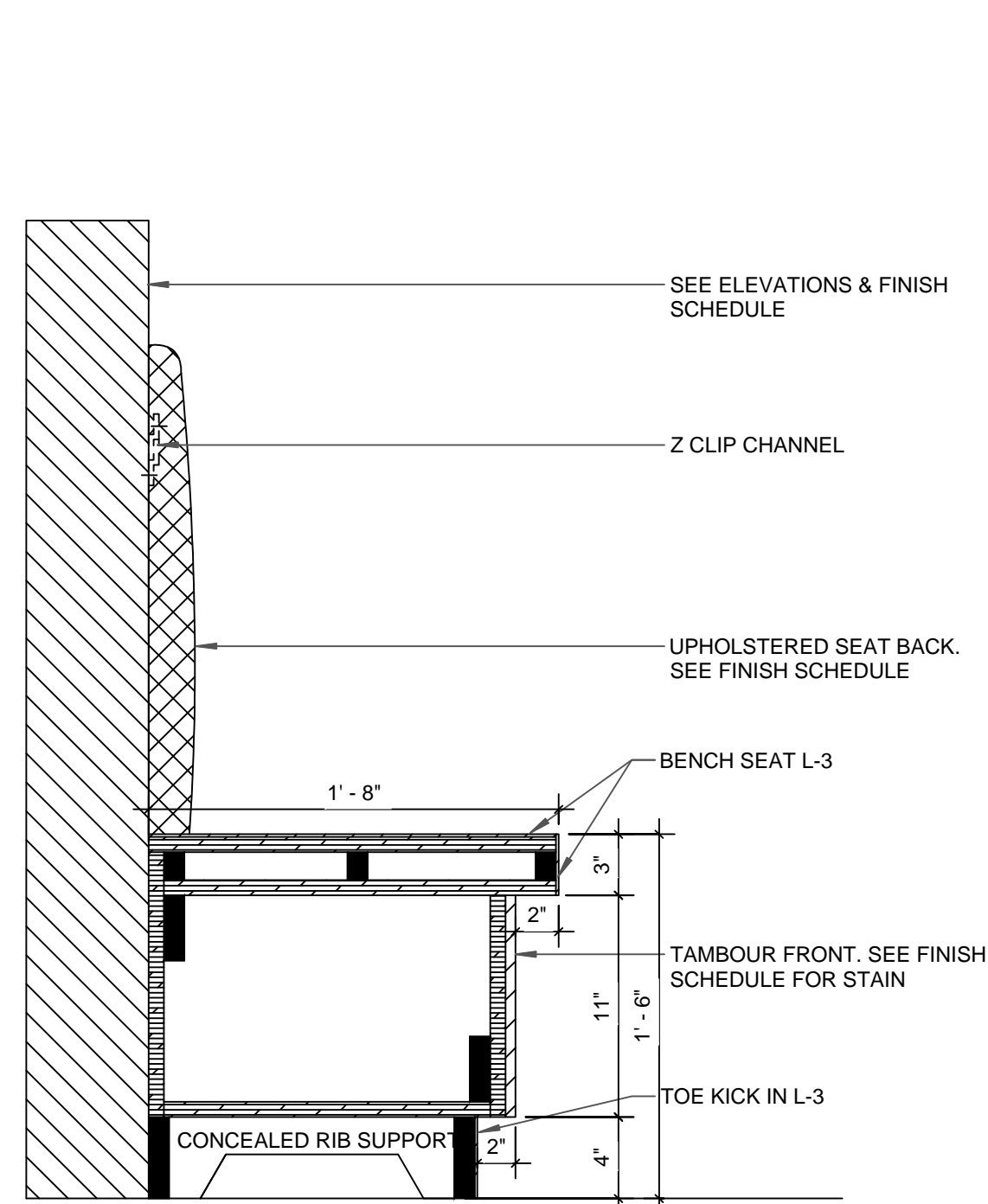
**PROJECT NAME:**  
**CHIP CITY TENANT FIT-UP**  
**PROJECT LOCATION:**  
 HARVARD SQUARE  
 ONE BRATTLE SQUARE  
 SUITE 104, SPACE 3A  
 CAMBRIDGE, MA 02138



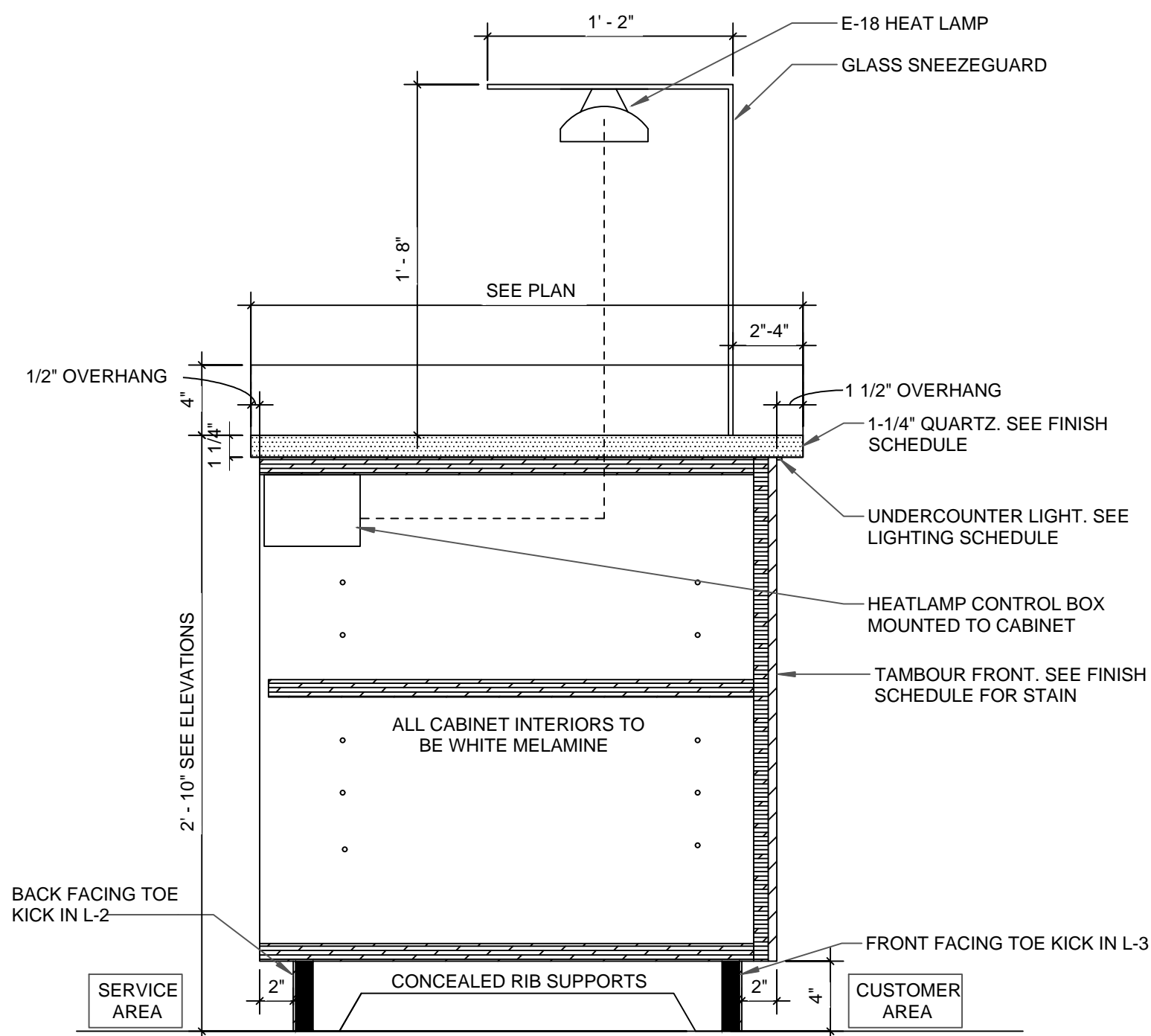
*James M. Gilmour*

Drawn by:	M.C.	Date:	12-08-23
Checked by:	DPB	Revision:	
Permit Documents:		Architectural Completed:	
Drawings to Engineer:			

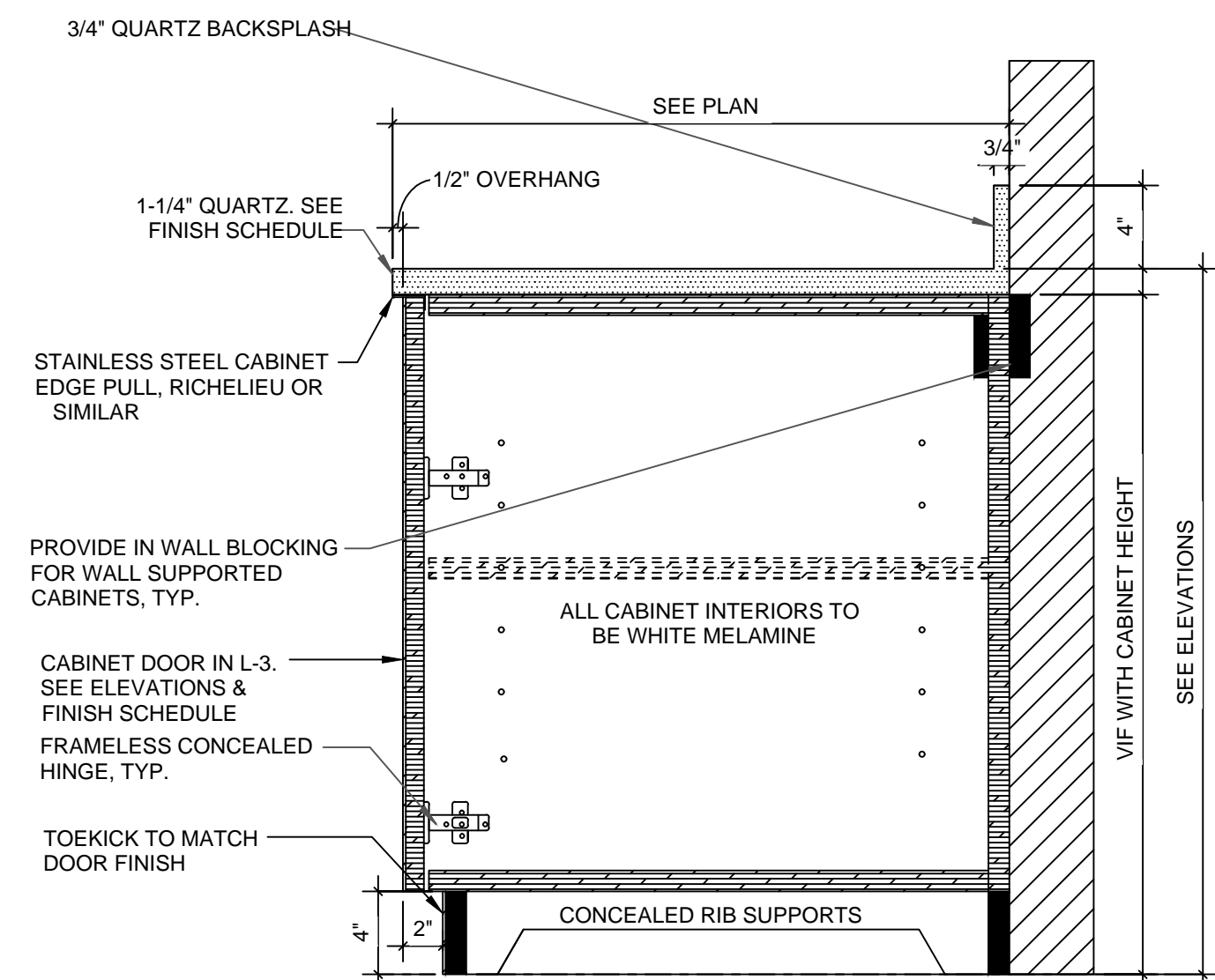
**SHEET TITLE:**  
**EQUIPMENT FLOOR PLAN**  
**SHEET NO.**  
 8 of 9  
**SHEET NO.**  
**EQ1**  
 CHIP CITY  
 CAMBRIDGE, MA



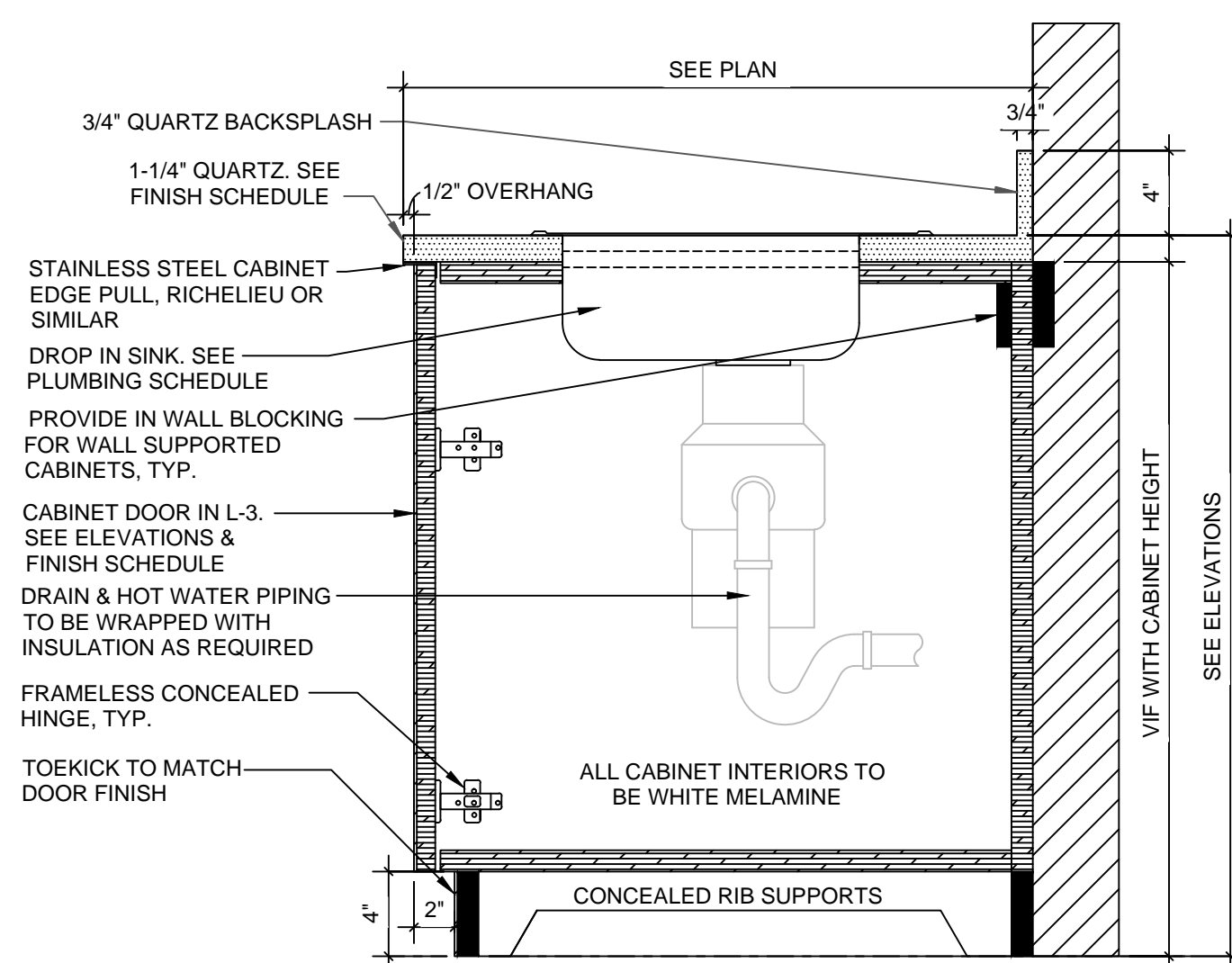
**SECTION 10**  
SCALE: 1-1/2" = 1'-0"



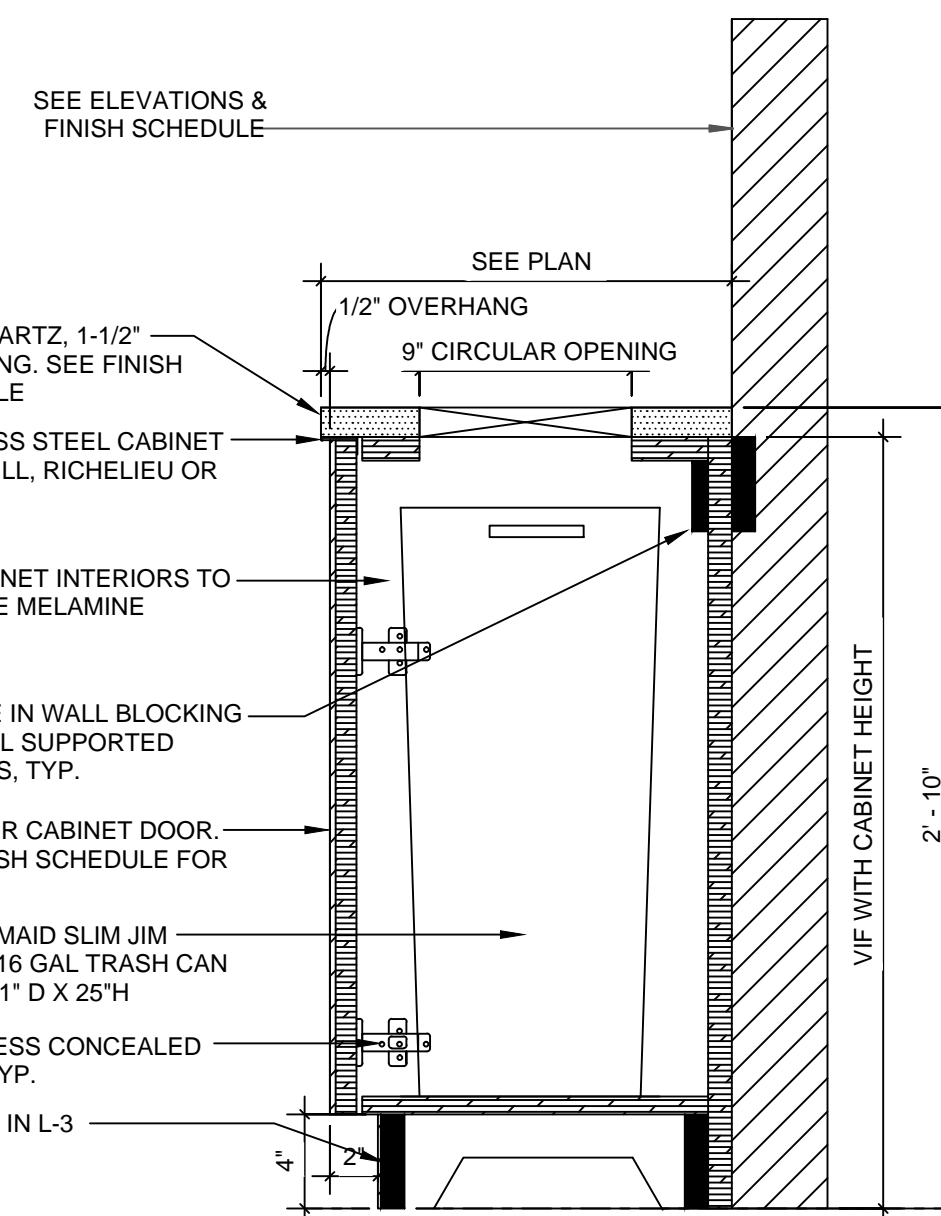
**SECTION 11**  
SCALE: 1-1/2" = 1'-0"



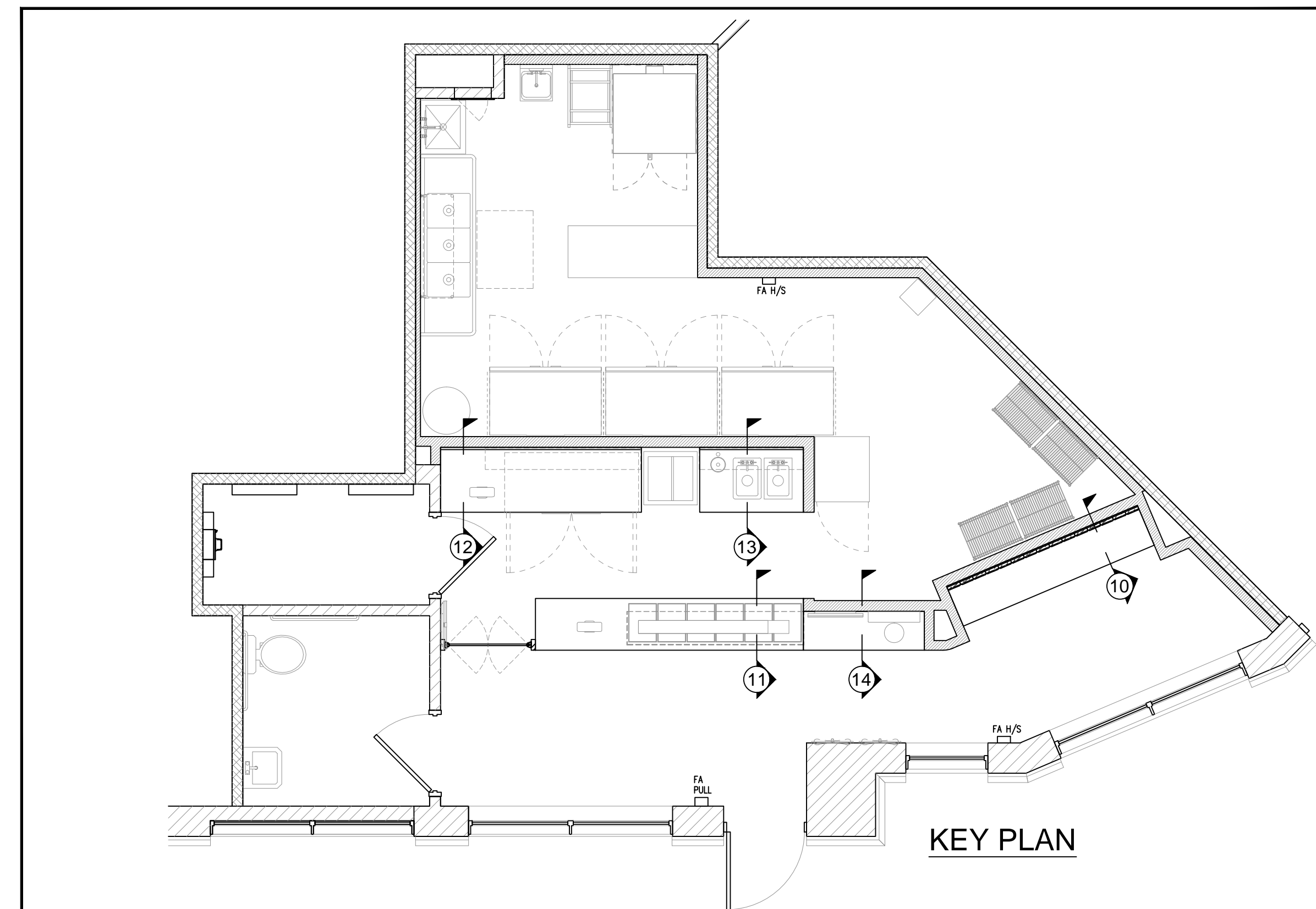
**SECTION 12**  
SCALE: 1-1/2" = 1'-0"



**SECTION 13**  
SCALE: 1-1/2" = 1'-0"



**SECTION 14**  
SCALE: 1-1/2" = 1'-0"



FINISH SCHEDULE							
FINISH TYPE	MATERIAL #	MANUFACTURER	NAME/COLOR	SIZE	CONTACT	DESCRIPTION	NOTES
FIBERGLASS REINFORCED PANEL							
FRP	01	STABILIT OR EQ.	GLASLINER WHITE	4'X8'	TBD	TYPICAL CEILINGS THROUGHOUT	
FLOOR							
FL	01	KAREN PEARSE	PORTAL IVORY	24"		FOH TILE	ALMOND GROUT
FL	02	DALTILE	QUARRY TILE ARID GRAY	6"		BOH TILE	FROSTY GROUT
MILLWORK							
LT	02	FORMICA	WHITE 949-58			LAMINATE	
LT	03	FORMICA	NATURAL MAPLE 756-58			LAMINATE	
MW	01	OUTWATER INDUSTRIES	PROFILE 383			TAMBOUR	MAPLE MAPLE STAIN TO MATCH LT-03
PAINT							
P	01	BENJAMIN MOORE	SERENITY 2055-60/EGGSHELL		TBD	TYPICAL WALLS THROUGHOUT	
P	02	BENJAMIN MOORE	INNOCENCE 2055-70/EGGSHELL		TBD	ACCENT PAINT	
P	03	BENJAMIN MOORE	WHITE DOVE/EGGSHELL		TBD	BOH PAINT	
P	04	BENJAMIN MOORE	WHITE/ MATTE		TBD	TYPICAL CEILINGS THROUGHOUT	
SOLID SURFACE							
SS	01	CITI QUARTZ	HAMPTON		TBD		
UPHOLSTERY							
UPH	01	DESIGNTEX	PALE AQUA 3403-408			VINYL FABRIC	
WALL BASE							
WB	01	TBD	MATCH WALL/ SEMIGLOSS			4" MDF WALL BASE	
WB	02	TBD	GREY OR WHITE			4" VINYL WALL BASE	
WALL TILE							
WT	01	C TO C TILE	WHITE GLOSS/ LA GRAZIA	3'X12" ROUNDED		VERTICAL BRICK	MATCH P-2 COLOR GROUT 360 SANDED



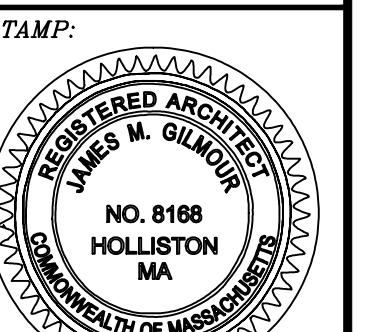
CLIENT INFORMATION:  
**CHIP CITY**  
278 7TH AVE, NEW YORK, NY 10001  
CLIENT CONTACT:  
**NICHOLAOS MOSHOPOULOS**  
10-15 MALBA DRIVE  
WHITESTONE, NY 11357  
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ARCHITECT:  
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JAMES GILMOUR ARCHITECTURE  
200 WINTER STREET  
HOLLISTON, MA 01746  
(7508.380.3105)

MEP ENGINEER:  
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MG Engineering D.P.C. /  
we engineer success  
116 West 32nd Street, 12th Floor,  
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PROJECT NAME:  
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SUITE 104, SPACE 3A  
CAMBRIDGE, MA 02138



*James M. Gilmour*

Checked by:	Date:
DPB	12-08-23
Revision:	
Drawn by:	Date:
M.C.	12-08-23
No.:	11-08-23
Revision:	10-24-23

SHEET TITLE:  
**MILLWORK DETAILS**  
SHEET NO.  
9 of 9  
SHEET NO.  
**EQ2**  
CHIP CITY  
CAMBRIDGE, MA

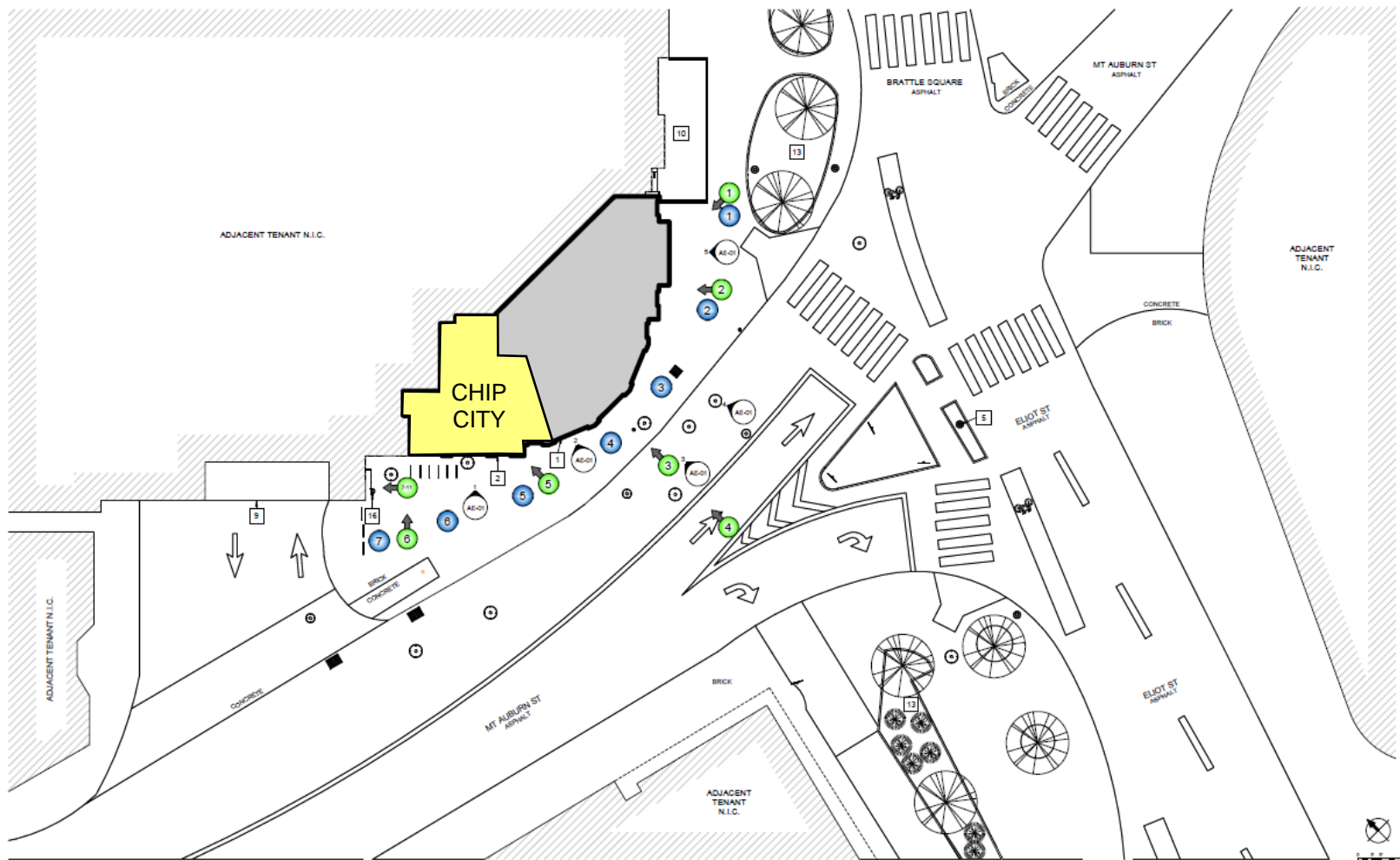
# PROJECT INFORMATION

## ARCHITECTURAL PLANS

360 BUBBLE PHOTO BUBBLE



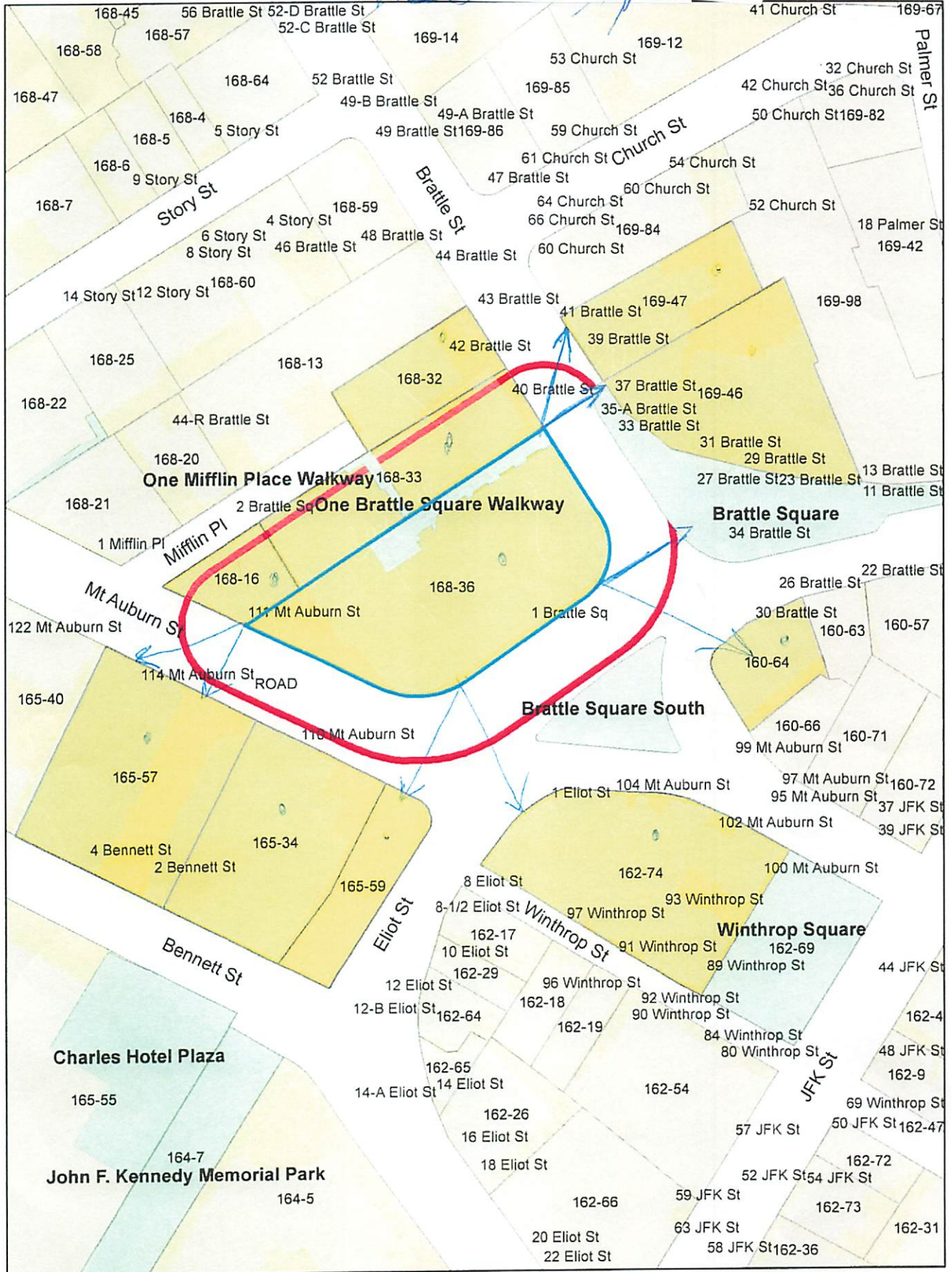
YOU MAY CLICK ON THESE SYMBOLS AND THE 360 DEGREE IMAGE, OR HD PHOTO WILL OPEN THROUGH YOUR WEB BROWSER



SITE PLAN



# 1 Brattle Square



1 Brattle Square

Petitimer

168-33  
BRATTLE SQUARE ASSOCIATES  
C/O BRATTLE SQUARE MANAGEMENT CORP  
P.O. BOX 380828  
CAMBRIDGE, MA 02238

168-33  
COHEN, SAUL B. & MARC E. GOLDBERG  
TRS. OF HARVARD YEARBOOK REALTY TRUST  
2 BRATTLE SQUARE  
CAMBRIDGE, MA 02138

CHIP CITY COOKIES  
C/O NICHOLAOS MOSHOPOULOS  
15-32 127<sup>TH</sup> STREET  
COLLEGE POINT, NY 11356

168-16  
TARRAGON, LLC  
1188 CENTRE STREET  
NEWTON, MA 02459

168-33  
B & J BRATTLE REALTY, LLC.  
2 BRATTLE SQ  
CAMBRIDGE, MA 02138

DAVE TINNERY  
200 STATE STREET - 5<sup>TH</sup> FLOOR  
BOSTON, MA 02109

168-33  
UNION OF CONCERNED SCIENTISTS, INC.  
2 BRATTLE SQUARE  
CAMBRIDGE, MA 02138

168-33  
GRESS, WILLIAM E.,  
TR OF TWO BRATTLE SQUARE TR. C/O BRATTLE  
WALK INC HAMMOND PRP MGMT INC  
TWO BRATTLE SQUARE  
CAMBRIDGE, MA 02138

169-46-47  
AP BRATTLE SQUARE, LP  
C/O ASANA PARTNERS, LP  
1616 CAMDEN RD SUITE 210  
CHARLOTTE, NC 28203

168-33  
UNION OF CONCERNED SCIENTISTS, INC.  
40C BRATTLE STREET UNIT 1/4  
CAMBRIDGE, MA 02138

168-32  
CAMBRIDGE CENTER FOR ADULT  
EDUCATION  
P.O. BOX 9113  
CAMBRIDGE, MA 02238-9113

162-74  
ELIOT SQUARE ENTERPRISES INC.,  
TR. ELIOT SQUARE ENTERPRISES TRUST  
1270 SOLDIERS FIELD RD  
BRIGHTON, MA 02135

162-74  
JUNIPER ENTERPRISES LIMITED  
PARTNERSHIP  
1270 SOLDIERS FIELD RD  
BRIGHTON, MA 02135

162-74  
LAURELWOOD, LLC  
1188 CENTRE ST.  
NEWTON, MA 02458

165-57  
CONDUCTOR'S BUILDING LLC  
20 UNIVERSITY RD.  
CAMBRIDGE, MA 02138

162-74  
KOAWOOD LLC  
PO BOX 590179  
NEWTON, MA 02459

162-74  
BORDEN, PHILIP A. & CATHERINE J. TURCO  
95 WINTHROP ST UNIT WSR7  
CAMBRIDGE, MA 02138

165-34  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O HARVARD REAL ESTATE INC.  
HOLYOKE CENTER ROOM 1017  
1350 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02138-3895

162-74  
DF CAMBRIDGE HOLDINGS, LLC  
55 HUDSON YARDS FL 29  
NEW YORK, NY 10001

162-74  
BALL, VALERIE & ROBERT BRAUNS  
93 WINTHROP ST - UNIT WSR 5B  
CAMBRIDGE, MA 02138

162-74  
HUEBNER, ALEXANDRA  
93 WINTHROP ST UNIT 5A  
CAMBRIDGE, MA 02138

160-64  
HADLEY, LILLIAN H.,  
HARRY LEBARON SAMPSON, TR.  
C/O THOMAS HADLEY TRUST  
411 WALNUT ST PMB 17806  
GREEN COVE SPRINGS, FL 32043

162-74  
BORDEN, PHILIP A. CATHERINE J. TURCO  
93 WINTHROP STREET, UNIT WSR 5C  
CAMBRIDGE, MA 02138

165-59  
COMMONWEALTH OF MASSACHUSETTS  
20 SOMERSET STREET  
BOSTON, MA 02108

168-36  
BCSP 9 OBS PROPERTY LLC  
200 STATE ST  
BOSTON, MA 02109