



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 JUN 20 PM 1:46

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 261307

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Dave Tinnery C/O Nicholaos Moshopoulos

PETITIONER'S ADDRESS: 200 State Street 5th Floor , Boston, MA 02109

LOCATION OF PROPERTY: 1 Brattle Sq., Cambridge, MA

TYPE OF OCCUPANCY: Bakery

ZONING DISTRICT: Business B Zone /HSOD

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

The district of 1 Brattle Sq is Business B and Harvard Square overlay. It would fall under a Special Permit if you would like to sell the other items that Chip City provides because that would make us a formula business quick service food establishment, under article 11.30

SECTIONS OF ZONING ORDINANCE CITED:

Article: 4.000 Section: 4.35.0 (Fast Order Food Establishment).
Article: 11.000 Section: 11.30 (Fast Order Food Establishment).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

Nicholaos Moshopoulos

(Print Name)

Address:

15-32 127th ST. College Point NY 11356

Tel. No.

617 457 0408

E-Mail Address:

DTinory@beaconcapital.com

Date: 6/10/24

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We BCSP 9 OBS Property LLC
(OWNER)

Address: c/o Beacn Capital Partners, LLC, 200 State Street, 5th Floor, Boston, MA 02109

State that I/We own the property located at One Brattle Square,
which is the subject of this zoning application.

The record title of this property is in the name of BCSP 9 OBS Property LLC

*Pursuant to a deed of duly recorded in the date December 14, 2022, Middlesex South
County Registry of Deeds at Book 81056, Page 381; ~~or~~ and
~~Middlesex Registry District of Land Court, Certificate No. _____~~
Book 81056 Page 390.

BCSP 9 OBS Property LLC

By:  Matthew Stegall
Managing Director
**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Suffolk

The above-name Matthew Stegall, Managing Director of BCSP 9OBS Property LLC personally appeared before me,
this 8 of March, 2024, and made oath that the above statements are true.

My commission expires August 10, 2029 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1 Brattle Sq., Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- zoning comppliance, building code adherence, health and safety regulations, environmental considerations, and accessibility standards.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- The proposed cookie store is located in an area with ample parking space and efficient traffic flow. Moreover, as a cookie store, the traffic generated would be intermittent and distributed throughout the day, preventing any sudden spikes in congestion. The design of the store is oriented around a "take-away" concept to facilitate smooth traffic flow, further mitigating any potential congestion hazards.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- This area is predominantly commercial establishments, including restaurants, cafes, and retail stores. The operation of a cookie store would complement these existing uses and contribute positively to the vibrancy of the area.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- The operation of a cookie store poses minimal risk to the health, safety, and welfare of occupants and citizens. The store will adhere to all health and safety regulations, maintaining cleanliness and hygiene standards in food preparation and service. Additionally, the store will implement appropriate safety measures to prevent accidents or hazards, such as proper equipment maintenance and staff training.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The proposed cookie store aligns with the intent and purpose of the zoning ordinance, which aims to promote diverse commercial activities while safeguarding the well-being of the community. Cookies are a popular and culturally accepted food item, and the store would contribute positively to the diversity of offerings within the district. As we already have approval to operate as a bakery, it

would not change the situation by simply adding other potential items such as milk, icecream or bottled beverages.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

DIMENSIONAL INFORMATION

Applicant: Dave Tinnery
Location: 1 Brattle Sq., Cambridge, MA
Phone: 617 457 0408

Present Use/Occupancy: Bakery
Zone: Business B Zone /HSOD
Requested Use/Occupancy: quick service food establishment

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		715	715	715	(max.)
<u>LOT AREA:</u>		N/A	N/A	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		N/A	N/A	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	N/A	N/A	N/A	
	DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	N/A	N/A	N/A	
	REAR	N/A	N/A	N/A	
	LEFT SIDE	N/A	N/A	N/A	
	RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>	HEIGHT	N/A	N/A	N/A	
	WIDTH	N/A	N/A	N/A	
	LENGTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>		N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>		N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

FINISH NOTES:

- ALL SURFACES THAT ARE SCHEDULED FOR PAINTING SHALL BE PROPERLY PREPARED (SEALED, SPACKLED, SANDED, ETC.) AS REQUIRED BEFORE PRIMING AND PAINTING WORK COMMENCES. CONTRACTOR SHALL PROVIDE MANUFACTURE REQUIRED SUBSTRATE UNDER ALL FINISHED SURFACES.
- ALL WALLS SHALL BE PROPERLY PREPARED, SPACKLED, SANDED, ETC. TO PROVIDE A SMOOTH FINISH. ALL EXISTING SURFACES SHALL BE REFINISHED WHERE NEW PARTITIONS, CEILINGS, ETC. ARE INSTALLED.
- CONTRACTOR SHALL INSURE THAT ALL SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES - DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING WORK SHALL INDICATE APPLICATORS ACCEPTANCE OF SUBSTRATE.
- PRIOR TO PAINTING ANY AND ALL DETAILS, CORNER BEADS, JOINTS & IRREGULARITIES ON PARTITIONS, CEILINGS, DOORS, FRAMES, ETC. SHALL BE FILLED WITH AN APPROPRIATE FILLER SUITABLE FOR THE MATERIAL BY CONTRACTOR.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE. PAINTS SHALL BE OF TYPE SPECIFICALLY MANUFACTURED FOR APPLICATION TO THE SURFACE TO WHICH IT IS TO BE APPLIED.
- ALL SURFACES THAT ARE TO BE PAINTED SHALL RECEIVE (1) ONE COAT OF PRIMER AND (2) COATS OF FINISH PAINT FOR A TOTAL OF (3) THREE COATS U.O.N.
- PRIOR TO PAINTING, CONTRACTOR SHALL REMOVE OR PROTECT ALL FINISHED SURFACES, HARDWARE, SWITCH OR OUTLET PLATES, ETC. THEN REPLACE OR UNCOVER SAME WHEN PAINTING WORK HAS BEEN COMPLETED. ALL WORK BY OTHERS SHALL BE ADEQUATELY PROTECTED BY SUB-CONTRACTOR AGAINST DAMAGE FROM ANY FINISH MATERIAL INSTALLATION.
- UPON COMPLETION OF THE PAINTING WORK, CONTRACTOR SHALL REMOVE ALL ADHESIVE AND PAINT SPILLS, SPLASHES AND SPATTERS ON ALL SURFACES INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, SLAB FITTINGS, ETC. AND SHALL LEAVE ALL SURFACES FREE OF DAUBS AND SPOTS. ANY WORK THAT CANNOT BE CLEANED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL INTERIOR OFFICE WALLS TO BE PAINTED WITH EGGSHELL FINISH, COLOR AS SCHEDULED U.O.N..
- ALL EXISTING CORE DOORS & FRAMES TO BE SANDED, PATCHED AND PREPPED AS REQUIRED AND PAINTED SEMI GLOSS FINISH. ALL DOORS & FRAMES TO BE PAINTED AS SPECIFIED IN FINISH AND DOOR SCHEDULES. WHERE SPECIFIC DESIGNATION IS NOT PROVIDED DOORS & FRAMES TO BE PAINTED THE COLOR OF THE ADJACENT WALL IN SEMI-GLOSS U.O.N. PROVIDE SPLIT FINISH PAINT (ON DOOR AND FRAME) IN CASES WHERE (2) ROOMS, OF DIFFERENT PAINT COLOR, ARE JOINED BY A DOOR OPENING.
- ALL CONVECTOR COVERS TO BE PAINTED ON HORIZONTAL AND VERTICAL SURFACES SEMI-GLOSS FINISH, COLOR AS SCHEDULED.
- PAINTING CONTRACTOR SHALL PAINT ALL GYPSUM BOARD CEILINGS, FASCIAS, AND SOFFITS. CEILING WHITE FLAT FINISH U.O.N.
- CONTRACTOR SHALL INSPECT THE FLOOR PRIOR TO ANY FINISHED FLOOR MATERIAL INSTALLATION AND SHALL NOTIFY MANCINI DUFFY IN WRITING OF ANY CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION OF ANY FLOOR FINISH MATERIAL. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FLOOR FINISH WORK DUE TO SUB FLOOR CONDITIONS.
- CONTRACTOR SHALL ENSURE THAT ALL FLOOR SLABS ARE FREE OF DUST, OIL, AND ALL FOREIGN MATTER PRIOR TO COMMENCEMENT OF WORK. ALL ITEMS PROJECTING FROM THE FLOOR (FASTENERS, PLATES, ETC.) SHALL BE EITHER REMOVED OR FLASH PATCHED FLUSH WITH THE FLOOR AS REQUIRED FOR SPECIFIED FLOOR FINISH AND AS REQUIRED FOR A SMOOTH, CONTINUOUS FINISH. PREP SUB FLOOR AND FLASH PATCH AS REQUIRED TO MAINTAIN LEVEL TRANSITIONS FROM ONE FLOOR MATERIAL TO ANOTHER.
- CONTRACTOR SHALL COORDINATE FLOORING WORK WITH ALL TRADES REGARDING ITEMS TO REMAIN PROJECTING FROM FLOOR (OUTLETS, EQUIPMENT SUPPORTS, ETC.). ALL CUTTING OF FLOORING MATERIALS SHALL BE THE RESPONSIBILITY OF THE FLOORING CONTRACTOR.
- SUBMIT SEAMING DRAWINGS TO ARCHITECT FOR APPROVAL OF ALL FLOORING PRIOR TO ORDER OF MATERIAL.
- CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AT ALL CHANGES TO FLOORING MATERIALS. WHEN CHANGE OCCURS AT A DOOR, THE LINE OF TRANSITION SHALL BE LOCATED UNDER THE CENTERLINE OF THE DOOR IN A CLOSED POSITION. FLOORING CONTRACTOR SHALL PROVIDE 1/8" THICK ALUMINUM METAL STRIP TRANSITION BETWEEN STONE FLOORING AND CARPET, U.O.N.. METAL STRIP ALSO TO BE PROVIDED BETWEEN STONE AND WOOD FLOORING, U.O.N.. SEE FLOOR TRANSITION DETAILS FOR ADDITIONAL INFORMATION.
- MAXIMUM HEIGHT DIFFERENCE BETWEEN FLOOR COVERING SURFACE SHALL BE 1/4".
- CONTRACTOR SHALL INSTALL NEW RESILIENT BASE ON ALL WALLS, COLUMNS, ETC. IN ALL INTERIOR ROOMS OR SPACES EXCEPT AS NOTED OTHERWISE.
- BASE SHALL BE INSTALLED STRAIGHT AND TRUE ON SURFACES THAT ARE PROPERLY CLEANED, DRY AND FREE FROM ALL FOREIGN MATTER. BASE SHALL NOT BE INSTALLED UNTIL ALL PAINTING WORK IS COMPLETE.
- BASE SHALL BE CONTINUOUS ROLL TYPE WITH SEAMING TO OCCUR ONLY AT INSIDE CORNERS OR AT LEAST 12" AWAY FROM OUTSIDE CORNERS. BASE CORNER SECTIONS SHALL BE PROVIDED IN LENGTHS NOT LESS THAN 6'-0" AS MEASURED FROM THE CORNER PROPER. RESILIENT BASE TO BE SUPPLIED IN 100'-0" CONTINUOUS LENGTHS.
- VINYL BASE TO BE STRAIGHT AT CARPET, COVE AT VINYL FLOORING. ALL VINYL BASE TO BE 4" MIN.
- CONTRACTOR SHALL PERFORM ALL FINISH MATERIAL INSTALLATION AS TO AVOID DAMAGE TO OTHER SURFACES. ALL DAMAGE TO ADJACENT SURFACES SHALL BE REPAIRED IN A MANNER SATISFACTORY TO THE OWNER AND MANCINI DUFFY.
- CONTRACTOR SHALL INSTALL FLOOR, WALLS AND BASE FINISHES IN ALL CLOSETS, ALCOVES, ETC. ACCORDING TO THE ROOM FINISHES SCHEDULE.
- ALL CLOSETS SHALL RECEIVE SAME FINISHES AS ADJACENT AREA, UNLESS OTHERWISE NOTED. ALL CLOSETS TO RECEIVE CLEAR LACQUERED BIRCH PLYWOOD SHELVES AND CHROME PLATED BRACKETS, STANDARDS AND COAT POLE, U.O.N.
- ALL TRANSITIONS BETWEEN MATERIALS SHALL BE SMOOTH.
- G.C. TO SUBMIT 3 SAMPLES OF EACH FINISH ON SCHEDULE FOR APPROVAL TO MANCINI DUFFY PRIOR TO ORDERING.
- G.C. TO REFER TO FINISH SCHEDULE AND PROJECT MANUAL FOR ALL ATTIC STOCK REQUIREMENTS PRIOR TO ORDER OF MATERIAL.
- THE CONTRACTOR AND MANCINI DUFFY SHALL EXAMINE THE AREAS OF CONSTRUCTION AFTER COMPLETION OR WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, FLOORING, ETC.) AND INDICATE ALL NECESSARY "TOUCH-UP" PAINTING AND/OR PATCHING.
- FOR ALL SCHEDULED FINISHES REFER TO SCHEDULE ON THIS SHEET. SEE PROJECT MANUAL FOR ADDITIONAL INSTRUCTION.
- CARPET INSTALLER TO MAINTAIN PATTERN ALIGNMENT FROM WIDTH TO WIDTH. A POWER STRETCHER MAY BE REQUIRED.
- CARPET INSTALLER TO PROVIDE ALL ADHESIVES AND SEAM SEALERS IN ACCORDANCE TO MANUFACTURER'S INSTRUCTION. ALL CARPET, CARPET TILE SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATION APPLICATION.
- FLOORING CONTRACTOR TO INSTALL ALL CARPET IN SAME DIRECTION, U.O.N.
- ALL ADHESIVES MUST BE LOW VOC.
- COORDINATE ALL INTERIOR FINISHES WHERE THEY MEET/TRANSITION WITH EXTERIOR WALL AND BASE BUILDING FINISHES. VERIFY SCOPE PRIOR TO INSTALLATION.
- G.C. TO PROVIDE SHOP DRAWINGS SHOWING STONE AND TILE LAYOUT PRIOR TO INSTALLATION, FOR ARCHITECT'S APPROVAL.
- DRAPERY CONTRACTOR TO PROVIDE ANTI FLAME TREATMENT IN ACCORDANCE WITH ALL APPLICABLE JURISDICTIONS FOR ALL DRAPERY LOCATIONS. GC TO COORDINATE.
- ALL WET LOCATIONS (BATHROOMS, PANTRIES) TO RECEIVE FULL WATERPROOFING AT FLOOR (TURN UP 6" AT WALLS); ALL SHOWERS TO RECEIVE CONTINUOUS VINYL SHOWER PAN INTEGRATED WITH SHOWER DRAIN AND WATERPROOFING UP ENTIRE HEIGHT OF SHOWER WALL. ALL SHOWER STALLS TO RECEIVE CONTINUOUS WATERPROOFING ON FLOORS AND FOR FULL HEIGHT OF TILED WALLS.
- ALL RECESSED/FLUSH BASE TO HAVE 20GA FLAT STOCK BLOCKING SECURED TO STUDS FOR BASE SUPPORT.
- SEE ELEVATIONS AND DETAIL DRAWINGS FOR ADDITIONAL INFORMATION. IF THERE ARE ANY CONFLICTS, CONTRACTOR MUST CONTACT ARCHITECT FOR CONFIRMATION BEFORE PROCEEDING.
- FLOORING SUB-CONTRACTOR IS RESPONSIBLE FOR FLOOR PREPARATION AND CONCRETE FLOOR RESTORATION. REFER TO PROJECT MANUAL AND MANDATORY WALK-THROUGH FOR FURTHER INFORMATION.
- ALL WALLS WITH VINYL OR FABRIC WALL COVERING SHALL BEGIN WITH FULL WIDTH PANEL IN CENTER OF EACH ELEVATION, U.O.N.
- ALL FINISHED MATERIALS SHALL MEET AND COMPLY WITH LOCAL AND FEDERAL FLAME SPREAD AND TOXICITY REGULATIONS.

FINISH SCHEDULE

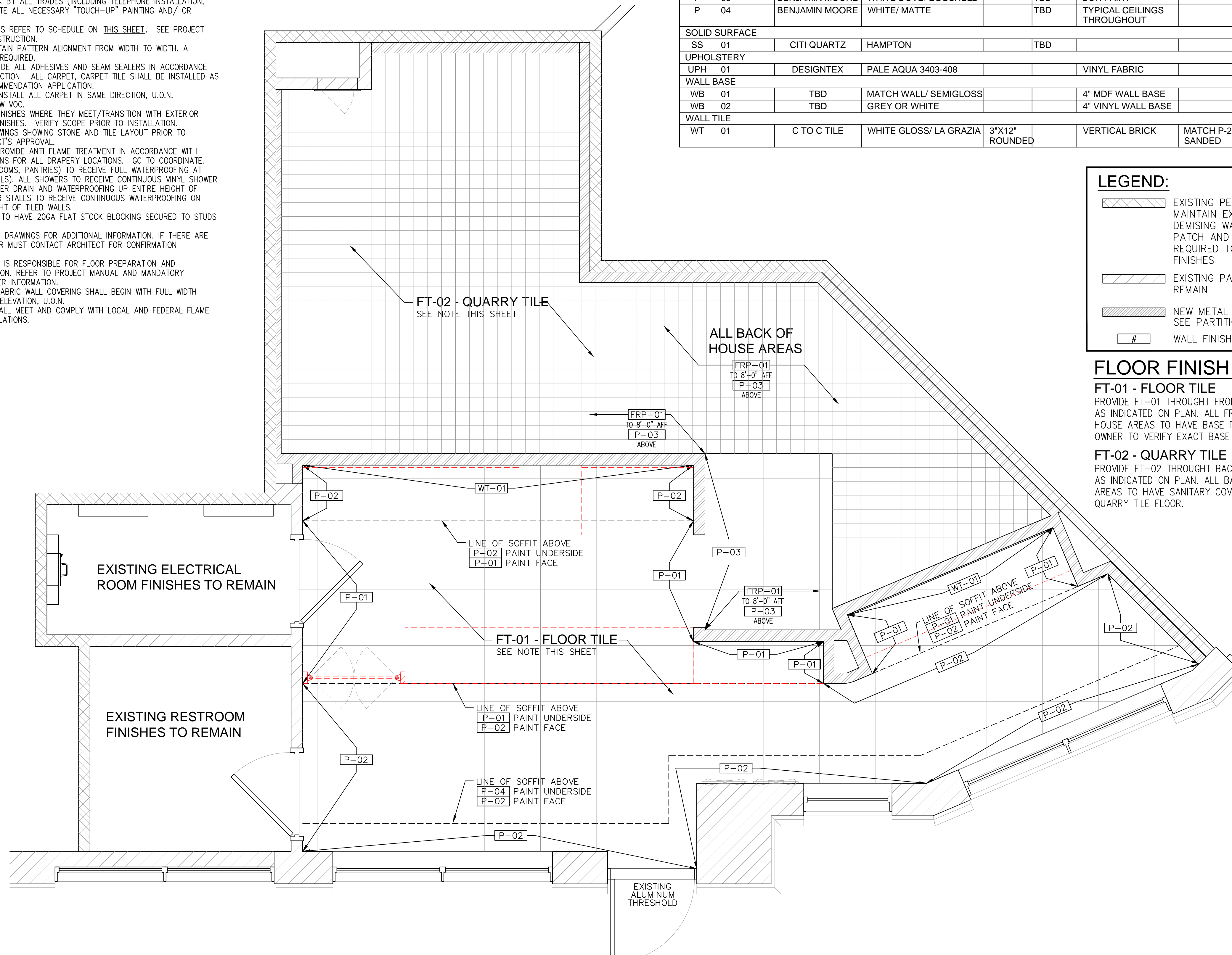
FINISH TYPE	MATERIAL #	MANUFACTURER	NAME/COLOR	SIZE	CONTACT	DESCRIPTION	NOTES
FIBERGLASS REINFORCED PANEL							
FRP	01	STABILIT OR EQ.	GLASLINER WHITE	4'X8'	TBD	TYPICAL CEILINGS THROUGHOUT	
FLOOR							
FL	01	KAREN PEARSE	PORTAL IVORY	24"		FOH TILE	ALMOND GROUT
FL	02	DALTILE	QUARRY TILE ARID GRAY	6"		BOH TILE	FROSTY GROUT
MILLWORK							
LT	02	FORMICA	WHITE 949-58			LAMINATE	
LT	03	FORMICA	NATURAL MAPLE 756-58			LAMINATE	
MW	01	OUTWATER INDUSTRIES	PROFILE 383			TAMBOUR	MAPLE MAPLE STAIN TO MATCH LT-03
PAINT							
P	01	BENJAMIN MOORE	SERENITY 2055-60/EGGSHELL		TBD	TYPICAL WALLS THROUGHOUT	
P	02	BENJAMIN MOORE	INNOCENCE 2055-70/EGGSHELL		TBD	ACCENT PAINT	
P	03	BENJAMIN MOORE	WHITE DOVE/EGGSHELL		TBD	BOH PAINT	
P	04	BENJAMIN MOORE	WHITE/MATTE		TBD	TYPICAL CEILINGS THROUGHOUT	
SOLID SURFACE							
SS	01	CITI QUARTZ	HAMPTON			TBD	
UPHOLSTERY							
UPH	01	DESIGNTEX	PALE AQUA 3403-408			VINYL FABRIC	
WALL BASE							
WB	01	TBD	MATCH WALL/ SEMIGLOSS			4" MDF WALL BASE	
WB	02	TBD	GREY OR WHITE			4" VINYL WALL BASE	
WALL TILE							
WT	01	C TO C TILE	WHITE GLOSS/LA GRAZIA	3"X12" ROUNDED		VERTICAL BRICK	MATCH P-2 COLOR GROUT 360 SANDED

LEGEND:

- EXISTING PERIMETER WALLS MAINTAIN EXISTING 1 HOUR DEMISING WALL RATING PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES
- EXISTING PARTITIONS TO REMAIN
- NEW METAL STUD PARTITION SEE PARTITION TYPES
- WALL FINISH

FLOOR FINISH NOTES:

- FT-01 - FLOOR TILE**
PROVIDE FT-01 THROUGH FRONT OF THE HOUSE AS INDICATED ON PLAN. ALL FRONT OF THE HOUSE AREAS TO HAVE BASE PER FINISH LEGEND. OWNER TO VERIFY EXACT BASE TO BE USED
- FT-02 - QUARRY TILE**
PROVIDE FT-02 THROUGH BACK OF THE HOUSE AS INDICATED ON PLAN. ALL BACK OF THE HOUSE AREAS TO HAVE SANITARY COVE BASE TO MATCH QUARRY TILE FLOOR.



FINISH FLOOR PLAN

SCALE: 1/4" = 1'-0"

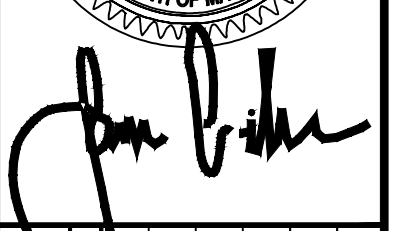


CLIENT INFORMATION:
CHIP CITY
 278 7TH AVE, NEW YORK, NY 10001
CLIENT CONTACT:
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 WHITESTONE, NY 11357
 EMAIL: niko@chipcitycookies.com
 TEL: 646-529-8885

DESIGN CONSULTANT:
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 ANDY ROAD, SUITE 1010
 508-380-8460
 DPB@ADD9A01.COM

ARCHITECT:
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 (7508.380.3105)
MEP ENGINEER:
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 MG Engineering D.P.C. /
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 New York, N.Y. 10001
 P 212.642.9055 www.mgedpc.net

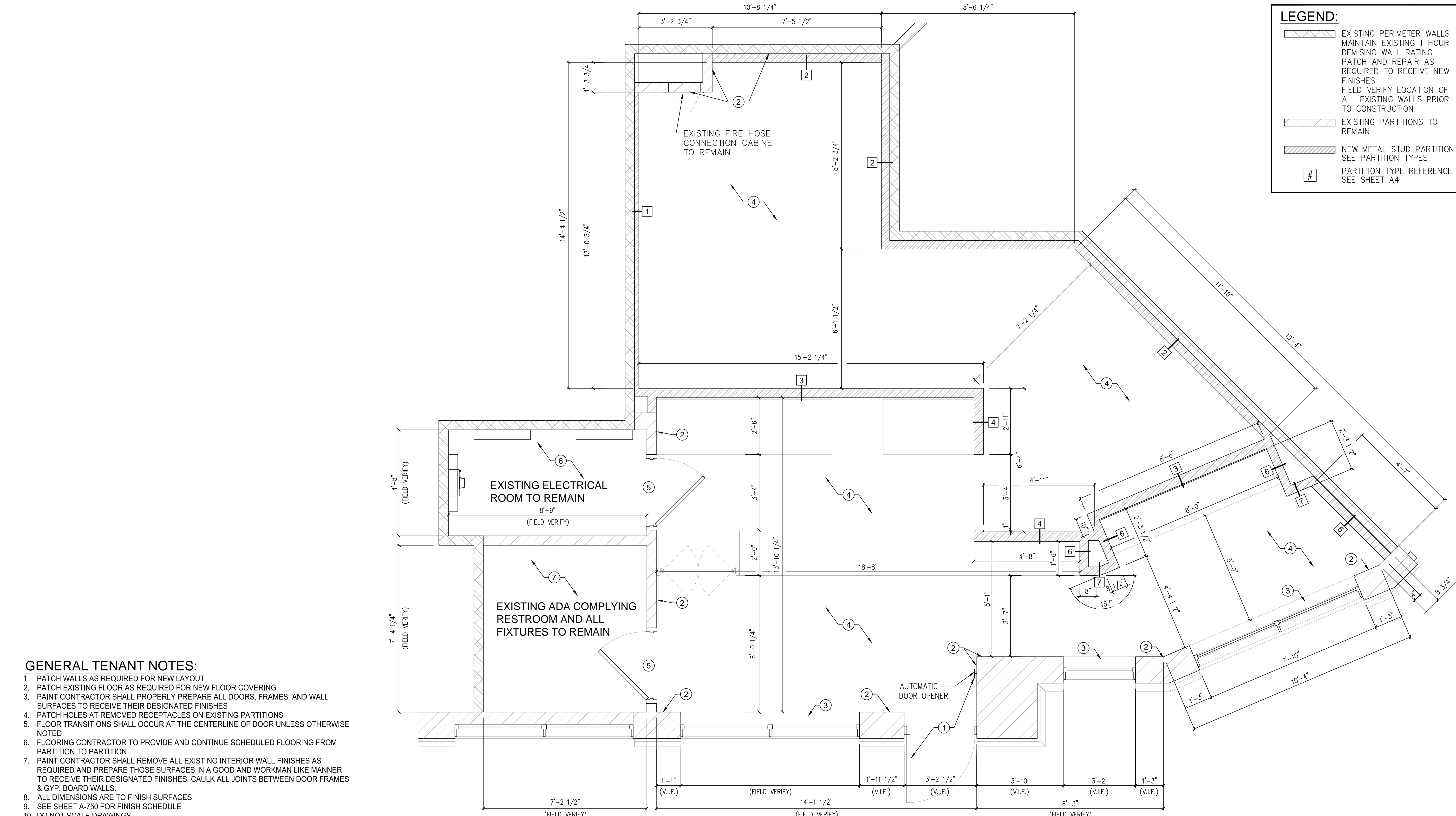
PROJECT NAME:
CHIP CITY TENANT FIT-UP
PROJECT LOCATION:
 HARVARD SQUARE
 ONE BRATTLE SQUARE
 SUITE 104, SPACE 3A
 CAMBRIDGE, MA 02138



STAMP:

Drawn by:	M.C.	Date:	12-08-23
Checked by:	DPB	Revision:	
SHEET TITLE:	FINISH FLOOR PLAN		
SHEET NO.	3 of 9		
SHEET NO.	A1A		
CHIP CITY CAMBRIDGE, MA			

12-08-23 PERMIT DOCUMENTS
 11-08-23 ARCHITECTURAL COMPLETED
 10-24-23 DRAWINGS TO ENGINEER



LEGEND:

- EXISTING PERIMETER WALLS MAINTAIN EXISTING 1 HOUR DEMISING WALL RATING PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES FIELD VERIFY LOCATION OF ALL EXISTING WALLS PRIOR TO CONSTRUCTION
- EXISTING PARTITIONS TO REMAIN
- NEW METAL STUD PARTITION SEE PARTITION TYPES
- PARTITION TYPE REFERENCE SEE SHEET A4

GENERAL TENANT NOTES:

1. PATCH WALLS AS REQUIRED FOR NEW LAYOUT
2. PATCH EXISTING FLOOR AS REQUIRED FOR NEW FLOOR COVERING
3. PAINT CONTRACTOR SHALL PROPERLY PREPARE ALL DOORS, FRAMES, AND WALL SURFACES TO RECEIVE THEIR DESIGNATED FINISHES
4. PATCH HOLES AT REMOVED RECEPTACLES ON EXISTING PARTITIONS
5. FLOOR TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS OTHERWISE NOTED
6. FLOORING CONTRACTOR TO PROVIDE AND CONTINUE SCHEDULED FLOORING FROM PARTITION TO PARTITION
7. PAINT CONTRACTOR SHALL REMOVE ALL EXISTING INTERIOR WALL FINISHES AS REQUIRED AND PREPARE THOSE SURFACES IN A GOOD AND WORKMAN LIKE MANNER TO RECEIVE THEIR DESIGNATED FINISHES. CAULK ALL JOINTS BETWEEN DOOR FRAMES & GYP. BOARD WALLS.
8. ALL DIMENSIONS ARE TO FINISH SURFACES
9. SEE SHEET A-750 FOR FINISH SCHEDULE
10. DO NOT SCALE DRAWINGS

GENERAL NOTES

- | | |
|--|---|
| <ol style="list-style-type: none"> A. REFER TO ENGINEERING DRAWINGS FOR ALL HVAC, PLUMBING, FIRE PROTECTION AND ELECTRICAL INFORMATION. B. DIMENSIONS ARE FROM FINISH FACE OF CONSTRUCTION C. FIREPROOF DOORS SHALL BEAR THE LABEL OF BOARD OF STANDARDS & APPEALS D. ALL INTERIOR WOOD TO BE USED AS PERMITTED BY FEDERAL, STATE AND LOCAL BUILDING CODES E. ALL INTERIOR FINISH MATERIAL TO BE INSTALLED AS PER FEDERAL, STATE AND LOCAL BUILDING CODES. F. ALL RATED PARTITIONS SHALL EXTEND TO DECK ABOVE. CEILING HIGH PARTITIONS SHALL BE BRACED TO DECK ABOVE G. ALL PENETRATIONS OF RATED CONSTRUCTION SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES H. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES J. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES. K. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED L. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING BUILDING CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL OF ALL INSTALLED MATERIALS. | <ol style="list-style-type: none"> M. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. SHOULD A DISCREPANCY OCCUR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK N. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRING AND/OR REPLACING HIS OWN DEFECTIVE WORK AS WELL AS PAY ALL COST INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS AND/OR EQUIPMENT DUE TO THE REPAIR WORK. P. DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. Q. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMAN AND GENERAL PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGE. R. THE GENERAL CONTRACTOR SHALL RECEIVE, STORE, AND PROTECT ALL EQUIPMENT, MATERIALS AND CASEWORK DELIVERED TO THE SITE. S. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES AT AREAS WHERE DEMOLITION & NEW WORK INTERFACES W/EXISTING CONDITIONS T. PROVIDE FIRE RETARDANT SOLID WOOD BLOCK AT ALL WALL MOUNTED ACCESSORIES |
|--|---|

ADDITIONAL NOTES:

ALL METAL STUDS TO BE 20 GAUGE (UNLESS OTHERWISE NOTED)

ALL PARTITIONS TO BE BRACED TO DECK ABOVE AS REQUIRED.

PROVIDE 5/8" FIRE RETARDANT PLYWOOD IN ALL BACKROOM AREAS WHERE FRP IS TO BE INSTALLED TO BE USED AS SOLID WOOD BLOCKING FOR WALL MOUNTED EQUIPMENT

INSTALL DUROCK CEMENT BOARD TO 24" IN ALL BACKROOM AND KITCHEN AREAS

SEE SHEETS A3 (ELEVATIONS) AND SHEET A1A FOR ALL FINISHES.

SEE SHEET A4 FOR PARTITION TYPES

CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES:

1. ENTRANCE DOOR IS SHOWN IN REVERSE SWING FROM EXISTING. THIS WORK TO BE COMPLETED BY LANDLORD ALONG WITH ANY ADA ENTRANCE COMPLIANCE'S. PROVIDE AUTO DOOR OPENER AT INTERIOR SIDE OF ENTRANCE DOOR AS INDICATED
2. PATCH AND REPAIR ALL EXISTING DEMISING AND INTERIOR SIDE OF EXTERIOR WALLS EXPOSED TO TENANT SPACE TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A
3. PATCH AND REPAIR ALL EXISTING GYP BD SILLS TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A
4. PATCH AND REPAIR EXISTING CONCRETE SLAB TO RECEIVE NEW FINISHES AS INDICATED ON SHEET A1A
5. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. SURVEY EXISTING HARDWARE TO ENSURE PROPER WORKING ORDER AND REPLACE AS REQUIRED. PREP DOOR AND FRAME TO RECEIVE NEW FINISHES
6. EXISTING ELECTRICAL ROOM TO REMAIN IN ITS ENTIRETY. REPAIR ANY DAMAGE CEILING TILES, LIGHT FIXTURES AND EQUIPMENT AS REQUIRED
7. EXISTING REST ROOM TO REMAIN IN ITS ENTIRETY. REPAIR ANY DAMAGE CEILING TILES, LIGHT FIXTURES AND EQUIPMENT AS REQUIRED. SURVEY EXISTING FIXTURES AND EQUIPMENT TO ENSURE COMPLIANCE WITH ADA. SEE SHEET A4 FOR COMPLIANCE DETAILS



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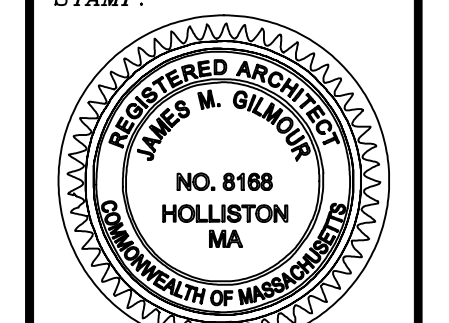
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PROJECT NAME:
**CHIP CITY
 TENANT FIT-UP**

PROJECT LOCATION:
 HARVARD SQUARE
 ONE BRATTLE SQUARE
 SUITE 104, SPACE 3A
 CAMBRIDGE, MA 02138



James M. Gilmour

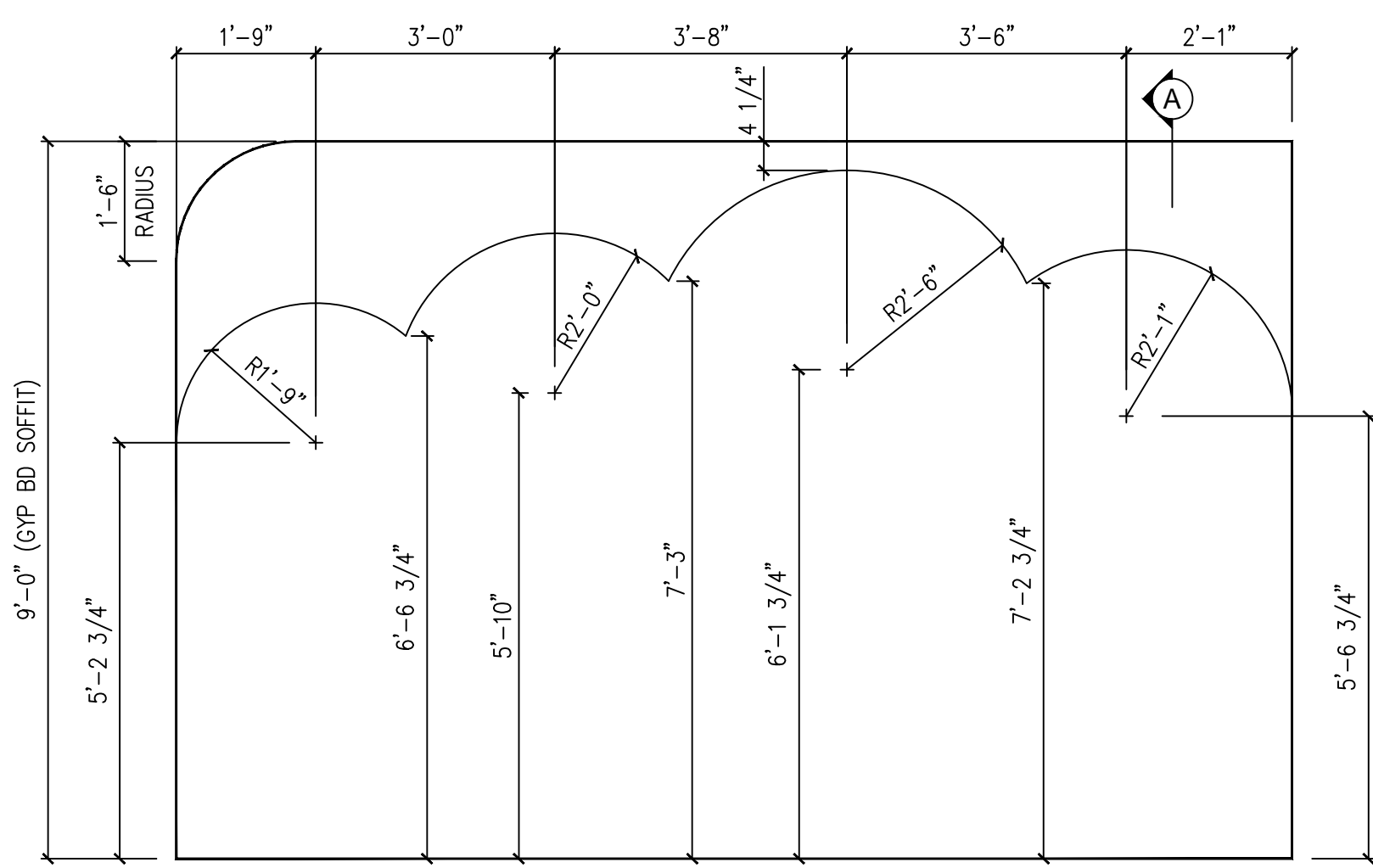
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MJC	12-08-23
Checked by:	Revision:
DPB	
No.:	
Date:	
12-08-23	PERMIT DOCUMENTS
11-08-23	ARCHITECTURAL COMPLETED
10-24-23	DRAWINGS TO ENGINEER

SHEET TITLE:
**CONSTRUCTION
 FLOOR PLAN**

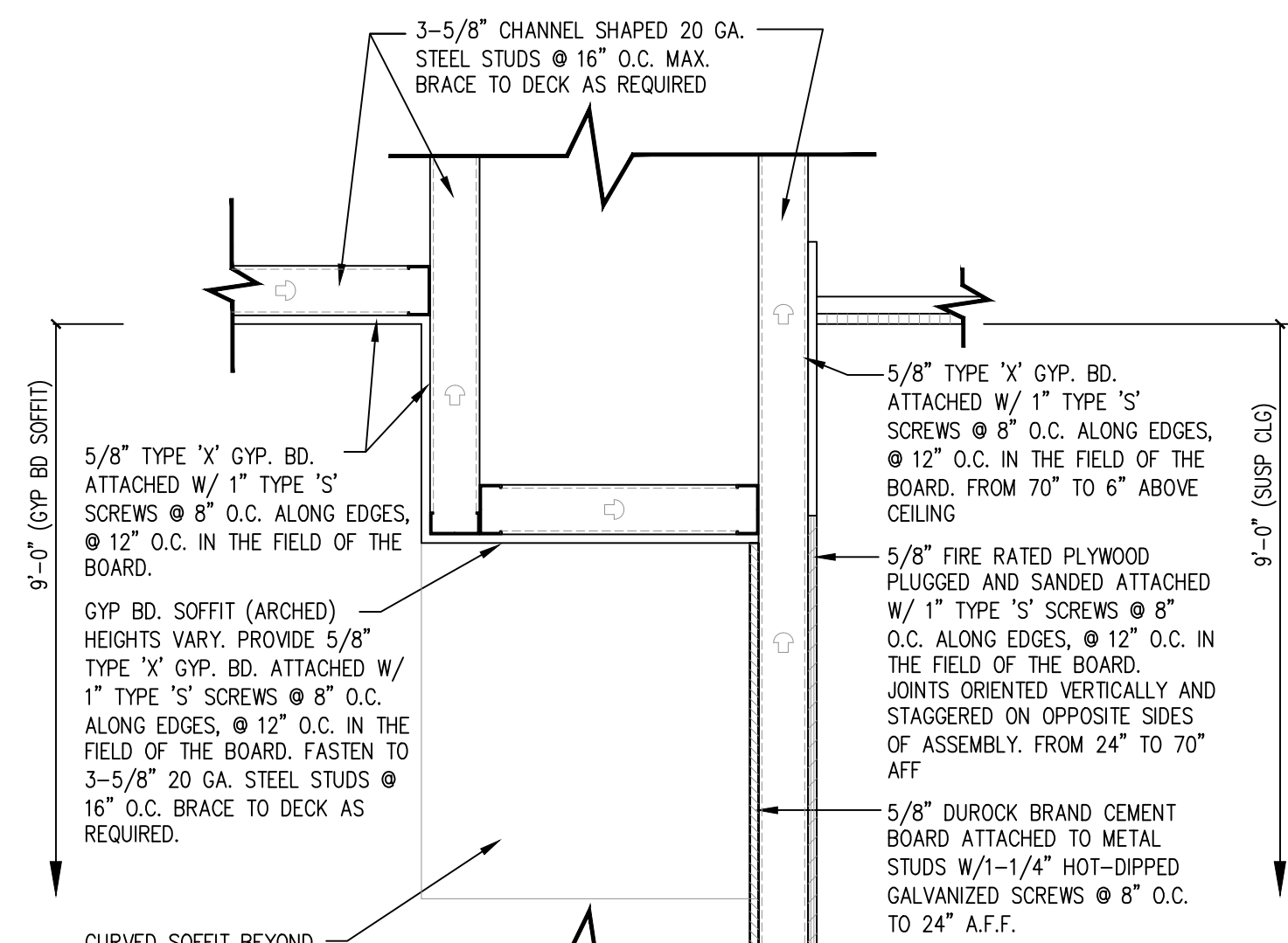
SHEET NO.
 2 of 9

SHEET NO.
A1

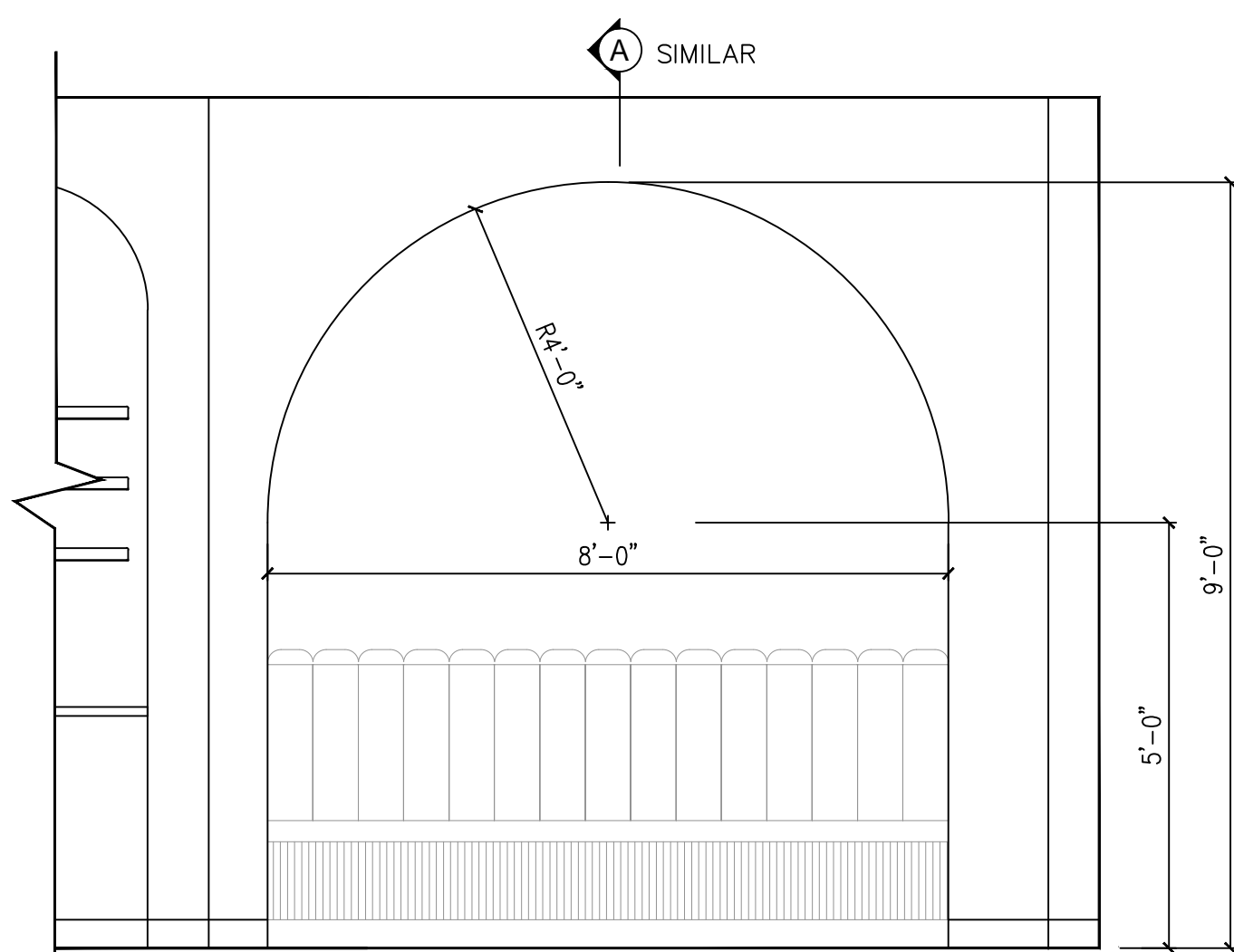
CHIP CITY
 CAMBRIDGE, MA



ELEVATION 1
SCALE: 1/2" = 1'-0"

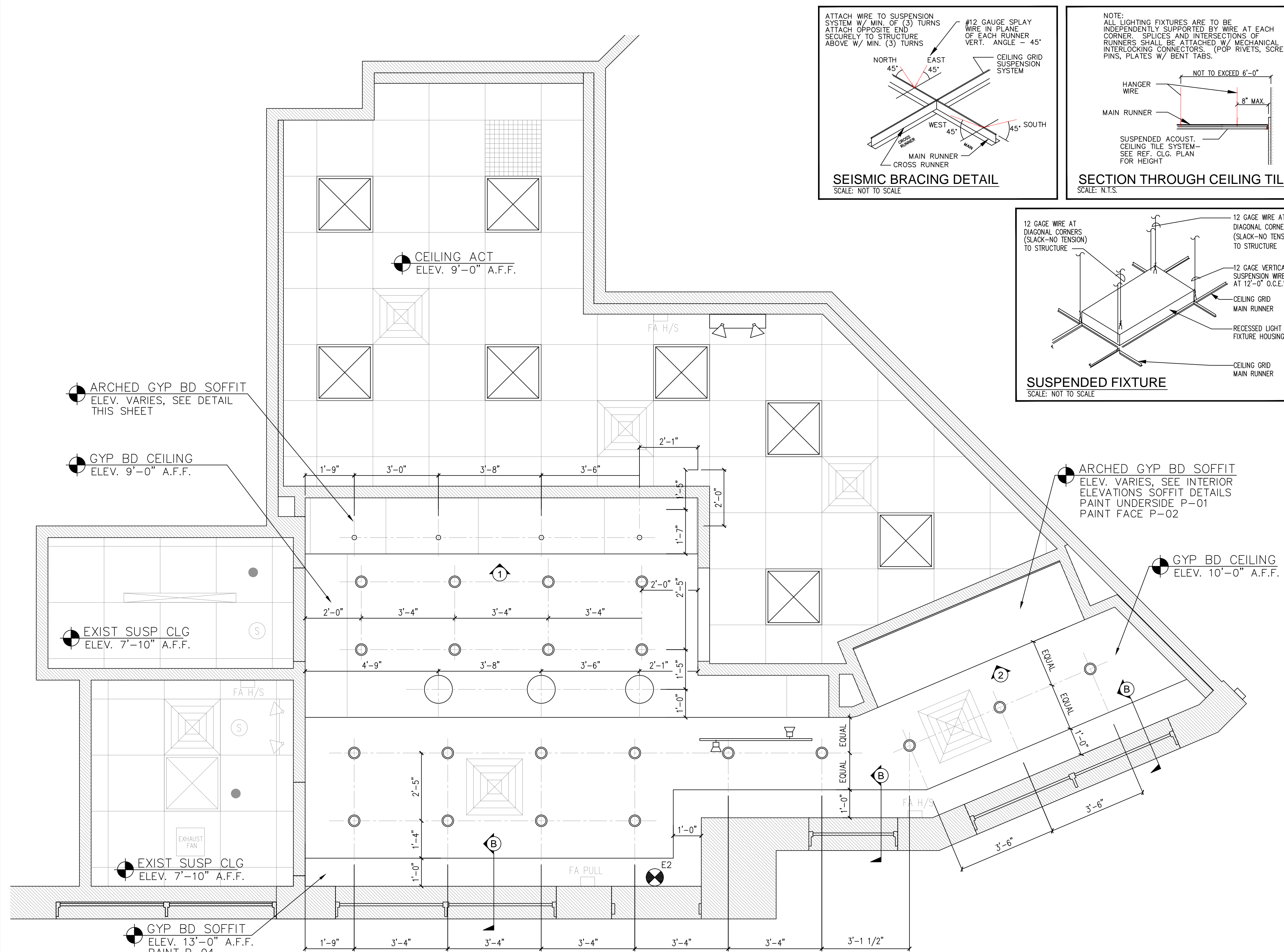


SECTION A
SCALE: 1" = 1'-0"



ELEVATION 2
SCALE: 1/2" = 1'-0"

CURVED SOFFIT DETAILS
SCALE: AS NOTED

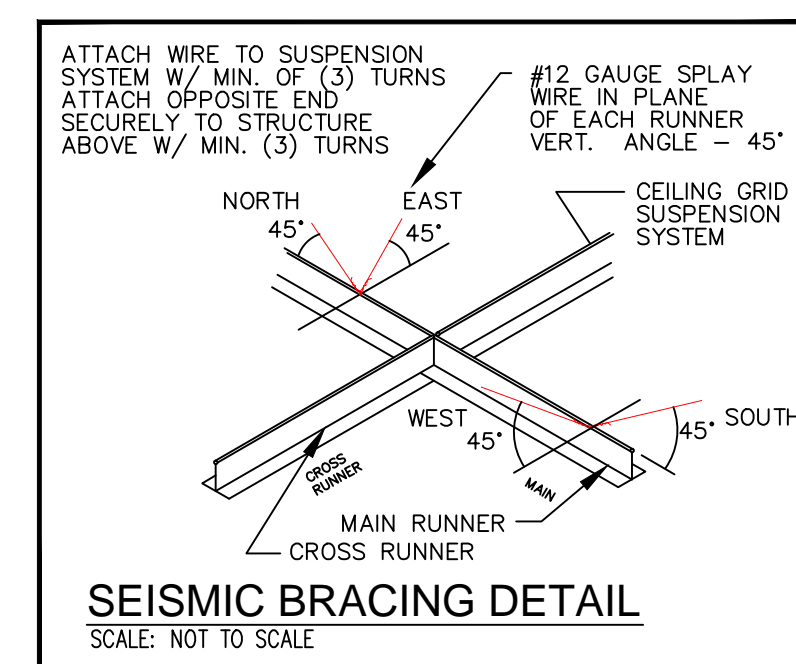


LIGHTING LOCATION CEILING PLAN

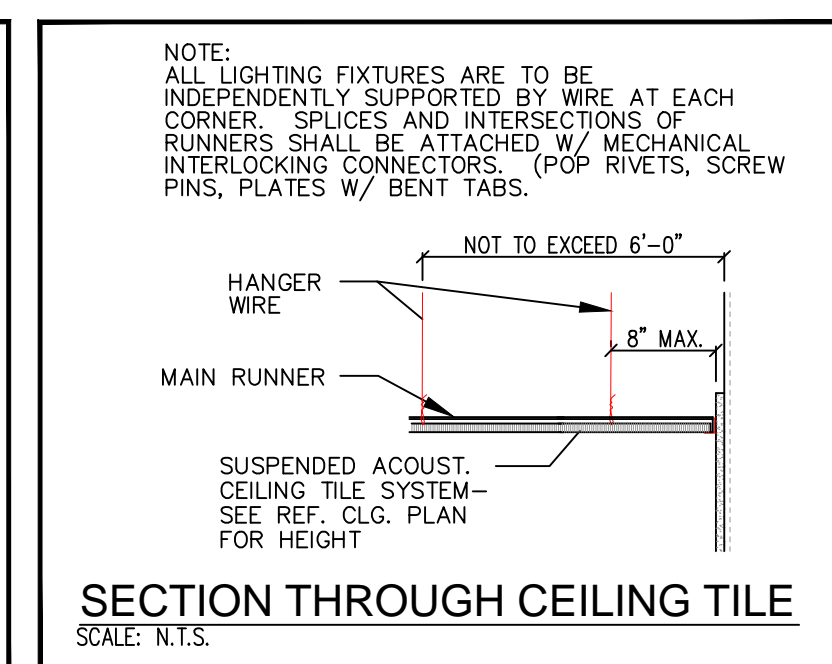
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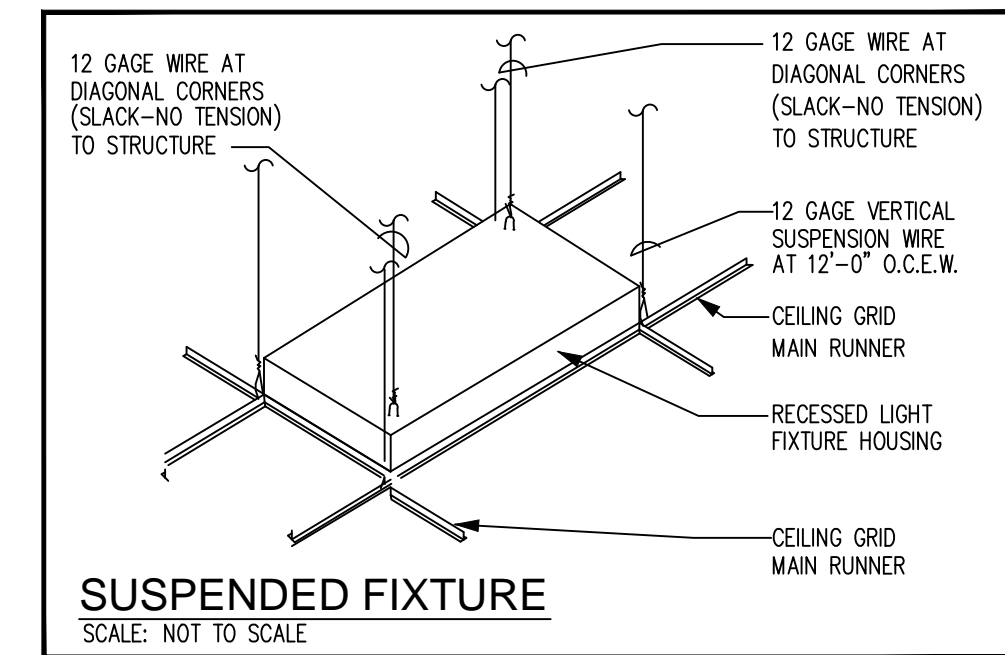
ALL CEILING CONDITIONS
IN ELECTRICAL CLOSET
AND EXISTING TOILET
ROOM TO REMAIN AS
INDICATED



SEISMIC BRACING DETAIL
SCALE: NOT TO SCALE



SECTION THROUGH CEILING TILE
SCALE: N.T.S.



SUSPENDED FIXTURE
SCALE: NOT TO SCALE



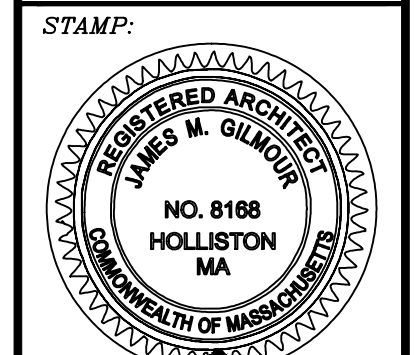
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CHIP CITY TENANT FIT-UP
PROJECT LOCATION:
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James M. Gilmour

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SHEET TITLE:
REFLECTED CEILING PLAN

SHEET NO.
5 of 9

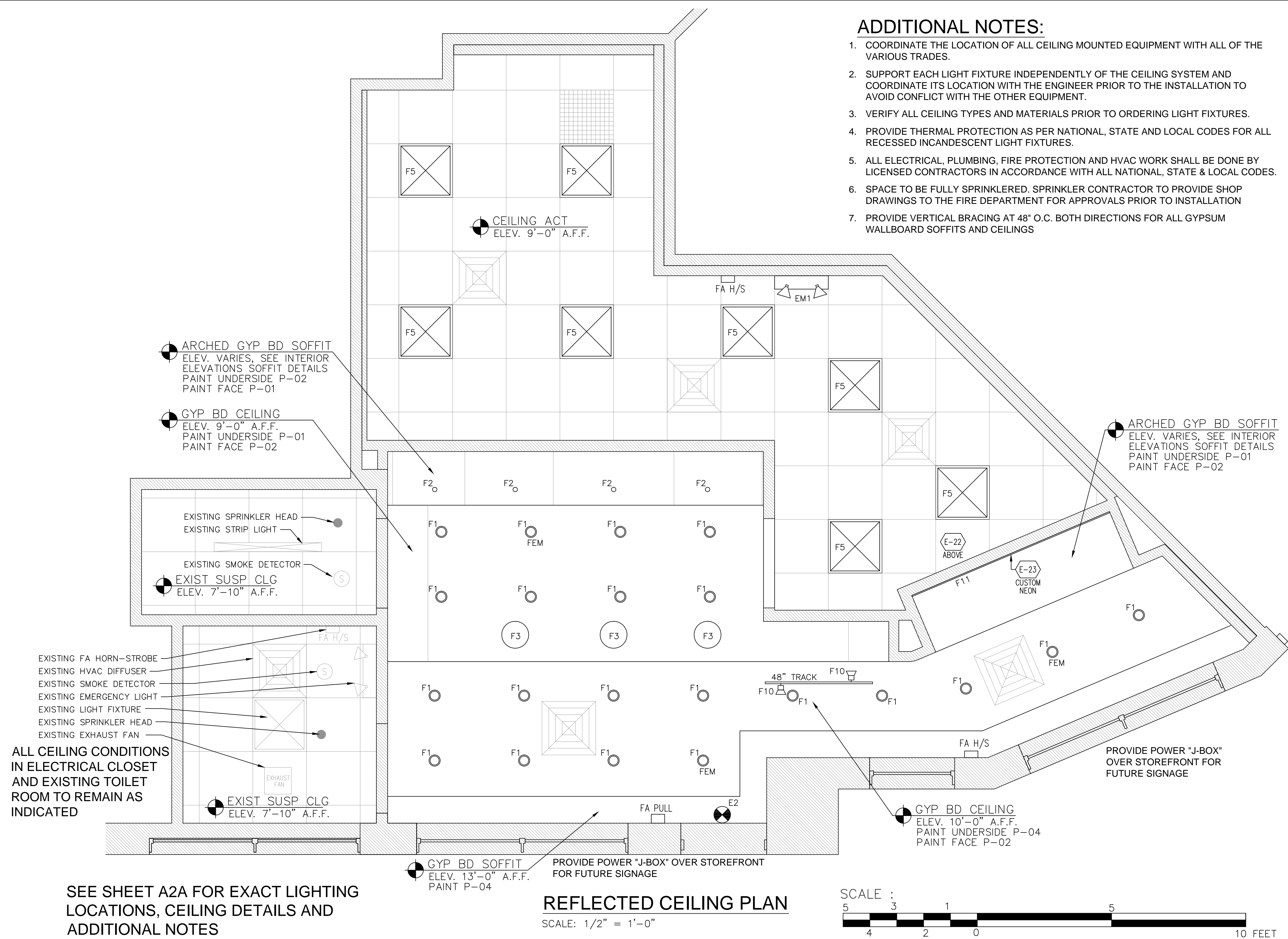
SHEET NO.
A2A
CHIP CITY
CAMBRIDGE, MA

GENERAL NOTES:

- GENERAL CONTRACTOR SHALL REFER TO CHIP CITY COOKIES DWGS FOR FIXTURE LOCATIONS AND TYPES ONLY. SEE ENGINEERING DRAWINGS FOR ALL LIGHT FIXTURE CIRCUITING, SWITCHING AND RELATED WORK AND FOR QUANTITIES OF ALL CEILING DIFFUSERS, DUCTWORK LAYOUTS.
- GENERAL CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR SPECIFICATIONS OF EXIT SIGNS, LIFE SAFETY DEVICES AND EMERGENCY LIGHTING. GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL DWGS FOR LOCATION.
- CEILING HEIGHT SHALL BE AS SPECIFIED ON REFLECTED CEILING PLAN. CEILING HEIGHT SHOWN IS ABOVE FINISHED FLOOR, U.O.N.
- GENERAL CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR LAMP SPECIFICATIONS AND BALLAST REQUIREMENTS. PROVIDE AND INSTALL APPROPRIATE LAMPS AS REQ'D BY SPECIFIED LIGHT FIXTURES.
- TEMPORARY LIGHTING TO BE PROVIDED DURING ALL PHASES OF PROJECT.
- ELECTRICAL CONTRACTOR TO VERIFY FIXTURE CLEARANCES AT DUCTWORK AND MUST INFORM CEILING CONTRACTOR & ARCHITECT OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- SEE ENGINEERING DRAWINGS FOR THERMOSTAT SPECIFICATIONS. GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL DWGS FOR LOCATION.
- ALL CEILING DEVICES INCLUDING LIGHT FIXTURES, SPEAKERS, SPRINKLERS, EXIT SIGNS, SMOKE DETECTORS, AND FIRE ALARM DEVICES ARE TO BE CENTERED IN CEILING TILE U.O.N. SPRINKLER HEAD LAYOUT SHALL FOLLOW THE GRID OF THE CEILING. ALL DEVICES SHOWN ON ARCH. DWGS. ARE FOR REFERENCE AND LOCATION ONLY. REFER TO MEP DRAWINGS FOR QUANTITIES AND TECHNICAL INFORMATION.
- THE LOCATIONS OF ANY ACCESS PANELS IN THE GYP. BD. CLGS. ARE TO BE COORDINATED WITH THE ARCHITECT IN THE FIELD. IF REQUIRED, ACCESS PANELS ARE TO BE RECESSED, FLUSH LAY-IN PANELS, NOT HINGED DOORS. SEE PROJECT MANUAL FOR MORE INFORMATION.
- REFER TO REFLECTED CEILING PLANS & POWER/COMMUNICATION PLANS FOR LIGHT FIXTURES UNDER OVERHEAD CABINETS AT MILLWORK AND CUSTOM FURNITURE.
- ALL EXPOSED CONCRETE CEILINGS TO BE PATCHED AND REPAIRED WHERE DAMAGED, CHIPPED OR WHERE CONCRETE COVER OF STRUCTURAL STEEL IS OTHERWISE COMPROMISED. EXPOSED CONCRETE CEILINGS TO BE PREPARED TO RECEIVE SCHEDULED FINISH.
- SWITCHES/DEVICES SHOWN ADJACENT TO DOORS SHALL BE INSTALLED 6" FROM THE EDGE OF THE ADJACENT DOOR OPENING TO THE CENTERLINE OF THE SWITCH OR DEVICE U.O.N.
- SEE DEVICE MOUNTING DIAGRAM FOR SWITCH MOUNTING HEIGHT. MULTIPLE SWITCHES/DIMMERS TO BE GANGED & PROVIDED WITH SINGLE GANG PLATE.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CEILING MOUNTED LIGHT FIXTURES, SMOKE DETECTORS, AND DIFFUSERS IN HALLWAYS SHALL BE CENTERED IN THE SHORT DIMENSION OF THE HALLWAY U.O.N.
- REFER TO FINISH SCHEDULE FOR CEILING MATERIAL.
- ALL EXPOSED NEW AND EXISTING CONDUIT, DUCTWORK, VALVES, ETC TO BE PAINTED TO MATCH STRUCTURE, U.O.N.
- DIMENSIONS ARE TO THE CENTERLINE OF FIXTURE U.O.N.
- CEILING GRID SHALL BE CENTERED ON ROOM OR SPACES U.O.N.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CEILING HEIGHTS AND CONDITIONS FOR CLEARANCE OF MECHANICAL UNITS, DUCTWORK, PIPING, LIGHT FIXTURES, ETC. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY COMPLICATIONS WITH HEIGHT PRIOR TO START OF CONSTRUCTION.
- APPROVAL FOR THE SPRINKLER SYSTEM SHALL BE FILED AND OBTAINED BY THE SPRINKLER CONTRACTOR USING HIS OWN SHOP DRAWINGS, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN APPLICABLE JURISDICTION. SPRINKLER CONTRACTOR SHALL SUBMIT SHOP DRAWING TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FILING WITH THE BUILDING DEPARTMENT.
- THE ARCHITECTURAL REFLECTED CEILING PLANS INDICATE THE PROPER LOCATIONS OF LIGHTING FIXTURES. DO NOT SCALE ELECTRICAL DRAWINGS FOR EXACT LOCATION OF THE LIGHTING FIXTURES. VERIFY DIMENSIONS IN FIELD.
- INSTALL EACH FIXTURE PROPERLY, PLUMB, TRUE, IN ALIGNMENT AND FREE OF DISTORTION. G.C. TO PROVIDE HANGERS, RODS, MOUNTING BRACKETS, MISCELLANEOUS FRAMING, SUPPORTING OR ATTACHING DEVICES, FRAMES AND OTHER COMPONENTS OR EQUIPMENT AS REQUIRED FOR A COMPLETE INSTALLATION, AND AS REQUIRED TO PROPERLY SUPPORT IMPOSED LOADS INCLUDING FIXTURE WEIGHT. SECURE LIGHTING FIXTURES TO SUPPORTS. SUPPORT ALL LIGHTING FIXTURES INDEPENDENTLY OF DUCT WORK, PIPING, CEILING SUPPORTS OR OTHER ITEMS OCCURRING WITHIN THE CEILING.
- G.C. TO COORDINATE WITH A/V AND SECURITY DRAWINGS FOR ALL RELATED WORK.

ADDITIONAL NOTES:

- COORDINATE THE LOCATION OF ALL CEILING MOUNTED EQUIPMENT WITH ALL OF THE VARIOUS TRADES.
- SUPPORT EACH LIGHT FIXTURE INDEPENDENTLY OF THE CEILING SYSTEM AND COORDINATE ITS LOCATION WITH THE ENGINEER PRIOR TO THE INSTALLATION TO AVOID CONFLICT WITH THE OTHER EQUIPMENT.
- VERIFY ALL CEILING TYPES AND MATERIALS PRIOR TO ORDERING LIGHT FIXTURES.
- PROVIDE THERMAL PROTECTION AS PER NATIONAL, STATE AND LOCAL CODES FOR ALL RECESSED INCANDESCENT LIGHT FIXTURES.
- ALL ELECTRICAL, PLUMBING, FIRE PROTECTION AND HVAC WORK SHALL BE DONE BY LICENSED CONTRACTORS IN ACCORDANCE WITH ALL NATIONAL, STATE & LOCAL CODES.
- SPACE TO BE FULLY SPRINKLERED. SPRINKLER CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE FIRE DEPARTMENT FOR APPROVALS PRIOR TO INSTALLATION
- PROVIDE VERTICAL BRACING AT 48" O.C. BOTH DIRECTIONS FOR ALL GYPSUM WALLBOARD SOFFITS AND CEILINGS



ALL CEILING CONDITIONS IN ELECTRICAL CLOSET AND EXISTING TOILET ROOM TO REMAIN AS INDICATED

SEE SHEET A2A FOR EXACT LIGHTING LOCATIONS, CEILING DETAILS AND ADDITIONAL NOTES

REFLECTED CEILING PLAN

SCALE: 1/2" = 1'-0"



CEILING TYPE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	TILE/ COLOR	GRID	REMARKS
ACT- 24x24	ACOUSTICAL CEILING TILE	USG	24" X 24" X 3/4"	9/16" SUPRAFINE XL GRID WHITE	
GWB CLG	GYP. BD. CEILING	-	PT # (FLAT) AS SCHEDULED	-	

LIGHT FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	COLOR TEMPERATURE	FINISH	MOUNTING TYPE / HEIGHT	REMARKS
F-1	4" DOWNLIGHT	RAB LIGHTING	4" Edge-Lit Wafer - Field Adjustable	4000 K		RECESSED	@ FOH
F-2	2" DOWNLIGHT	ASPECT LED	2.25" LED Recessed Light, Flood, White Trim	4000 K		RECESSED	UNDER ARCHES
F-3	12" COLOR CAP PENDANT	DUTTON BROWN	Pendant Globe Light	4000 K	WHITE CAP, BRASS FINISH, FROSTED GLASS	PENDANT	28" DROP + 8" EXTENSION RODS - VIF CEILING HEIGHT
F-5	2X2 LED LIGHT FIXTURE	RAB LIGHTING	2 X 2 Edge-Lit Field Adjustable Panels - EZPAN® FA	4000 K		RECESSED	@ BOH
F-10	TRACK LIGHT KIT	JUNO	TRAC KIT R463600L-40K-97CRI-PDIM-UN-WH		WHITE	TRACK MOUNT	4000 K, @FOH
F-11	FLEX LIGHT		CONTINUOUS COB LIGHT WITH FLEX CHANNEL			SURFACE MOUNTED	4000K, UDER ARCHED SOFFIT

EMERGENCY LIGHTING NOTES:

"FEM" EQUALS PROVIDE EMERGENCY LIGHT BATTERY BACKUP BALLAST
 EM1 EMERGENCY LIGHT
 MANUF: EMERGI-LITE
 MODEL #: DLM2
 2-HEAD EMERGENCY BATTERY UNIT; WHITE
 E1 ILLUMINATED EXIT SIGN
 MANUF: T.B.D.
 EMERGENCY LIGHT AND EXIT SIGN SPECS TO BE CONFIRMED BY OWNER

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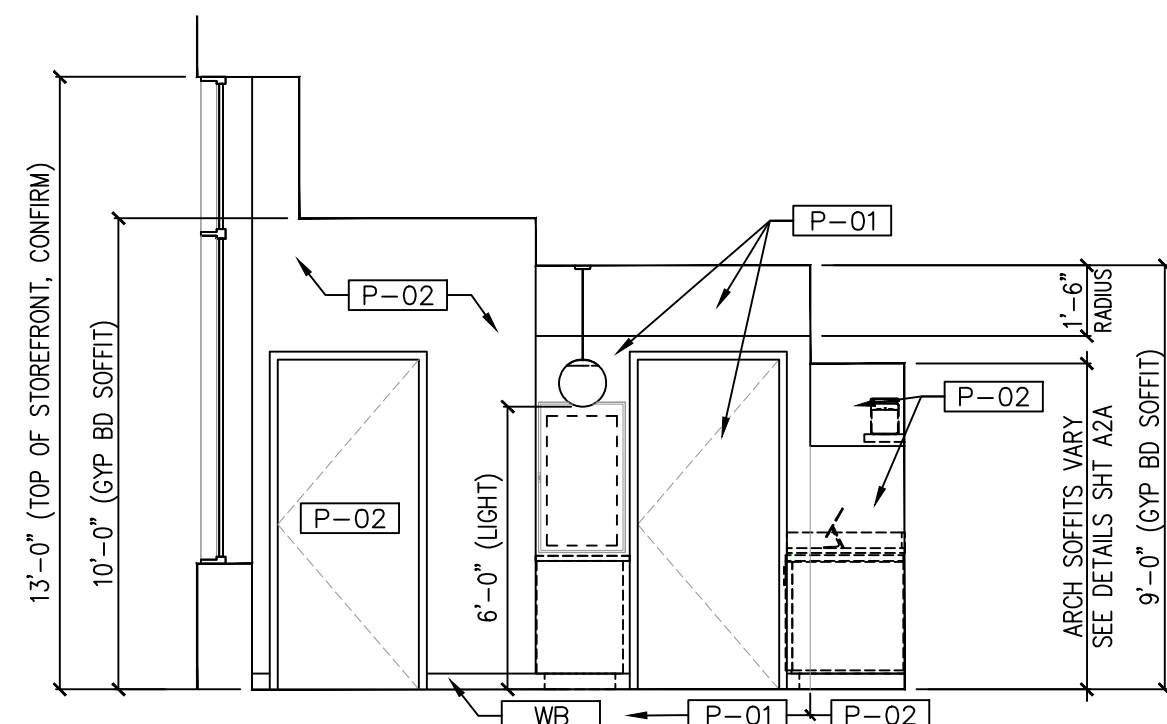
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PROJECT NAME: **CHIP CITY TENANT FIT-UP**
 PROJECT LOCATION: HARVARD SQUARE ONE BRATTLE SQUARE SUITE 104, SPACE 3A CAMBRIDGE, MA 02138

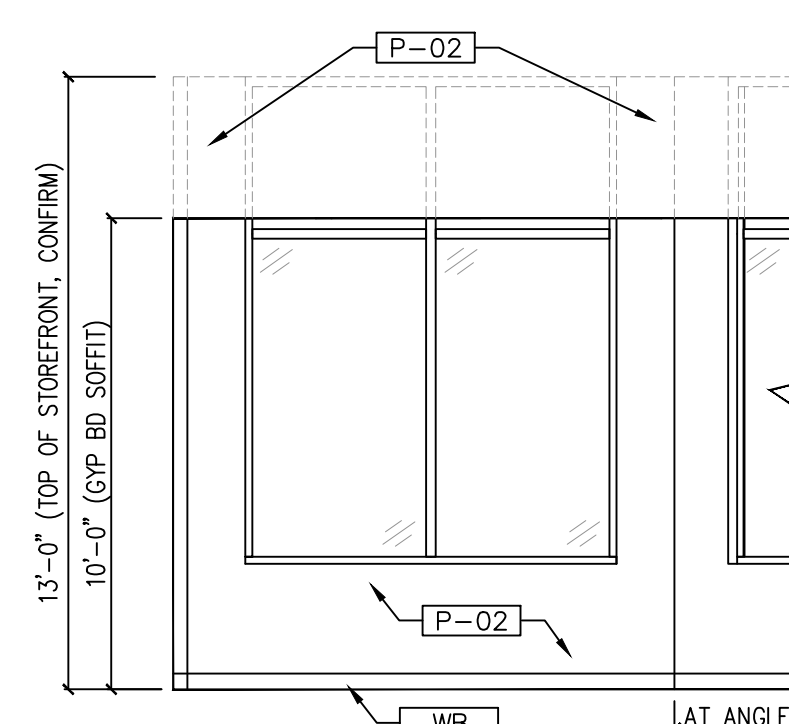
STAMP: REGISTERED ARCHITECT
 JAMES M. GILMOUR
 NO. 6168
 HOLLISTON MA
 STATE OF MASSACHUSETTS

Checked by: Date: 12-08-23
 DPB
 Revision: 12-08-23
 Drawn by: Date: 12-08-23
 M.C.
 No. 10-24-23
 12-08-23 PERMIT DOCUMENTS
 11-08-23 ARCHITECTURAL COMPLETED
 10-24-23 DRAWINGS TO ENGINEER

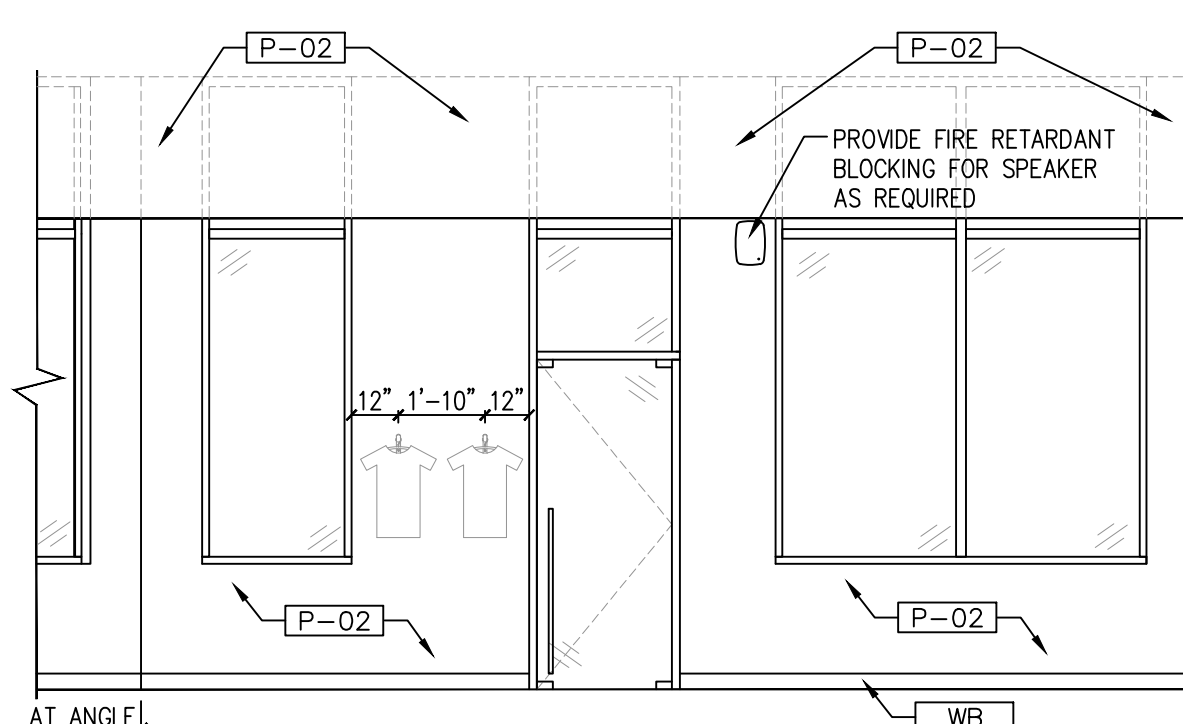
SHEET TITLE: **REFLECTED CEILING PLAN**
 SHEET NO. 4 of 9
 SHEET NO. **A2**
 CHIP CITY CAMBRIDGE, MA



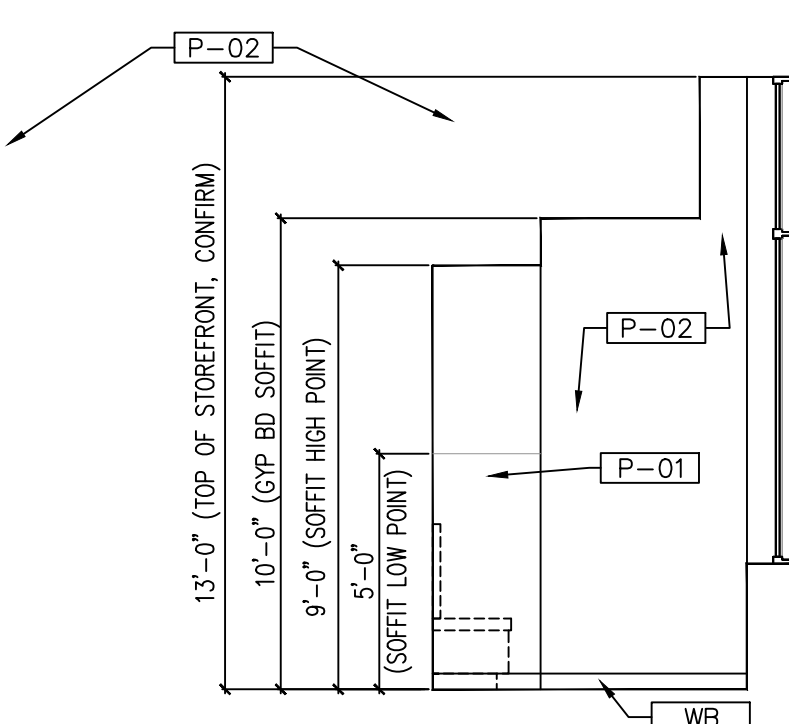
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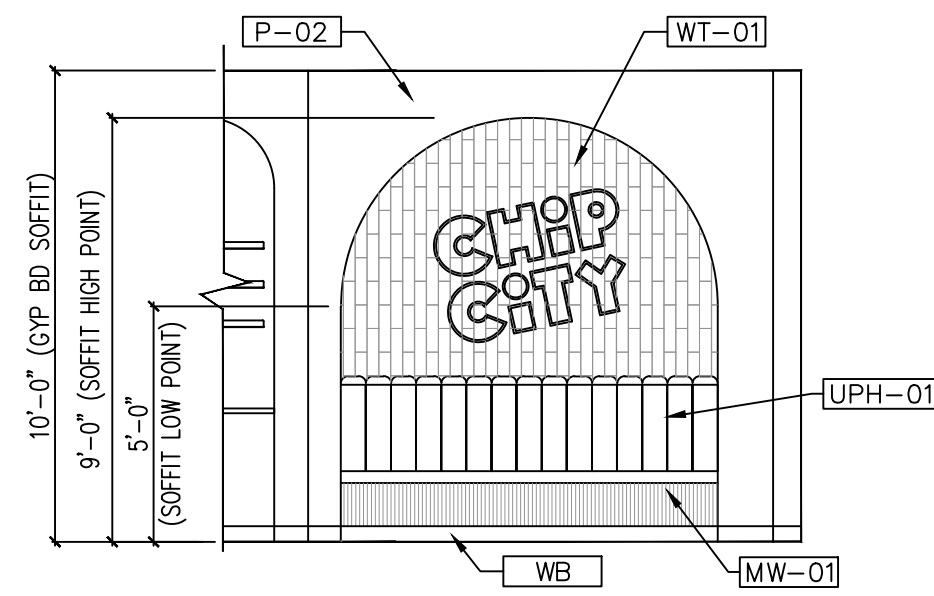
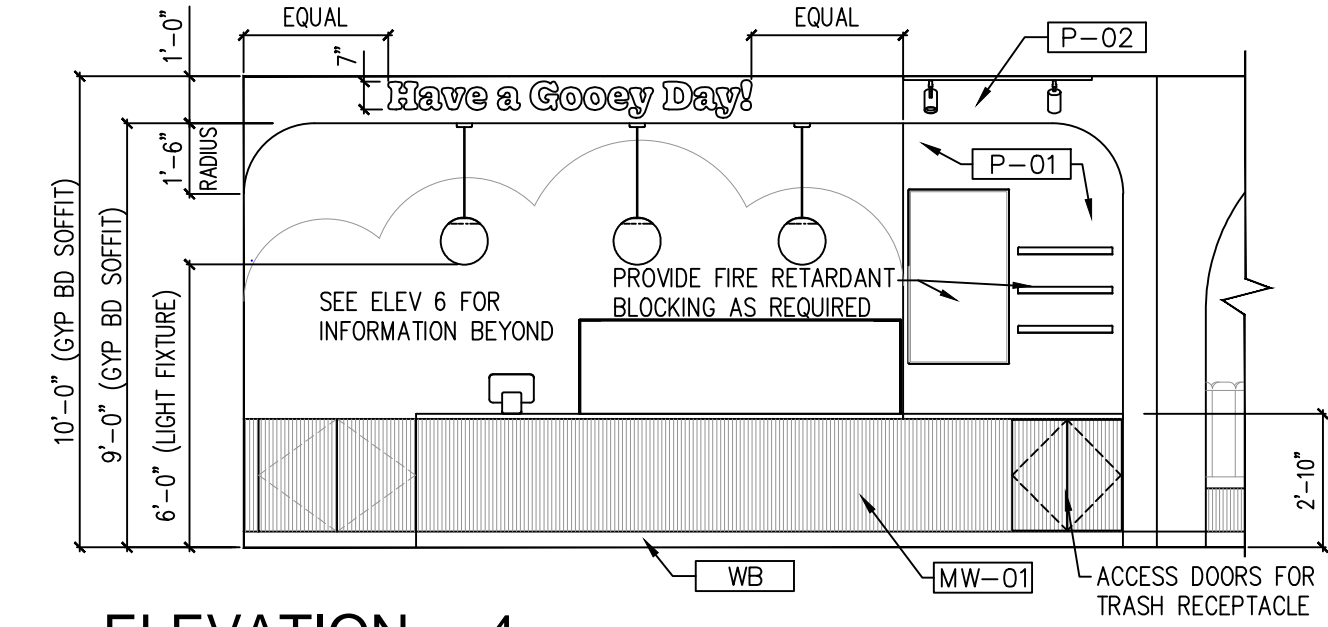
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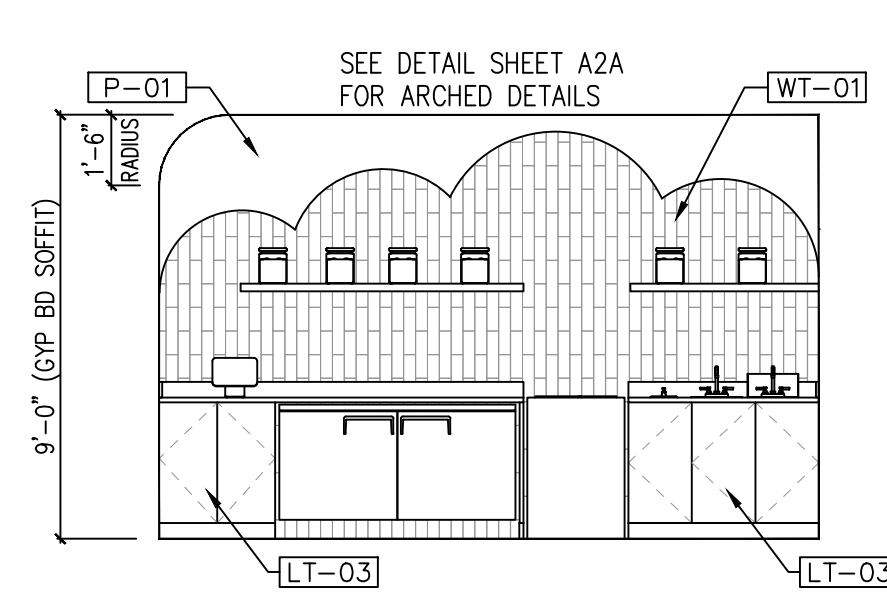
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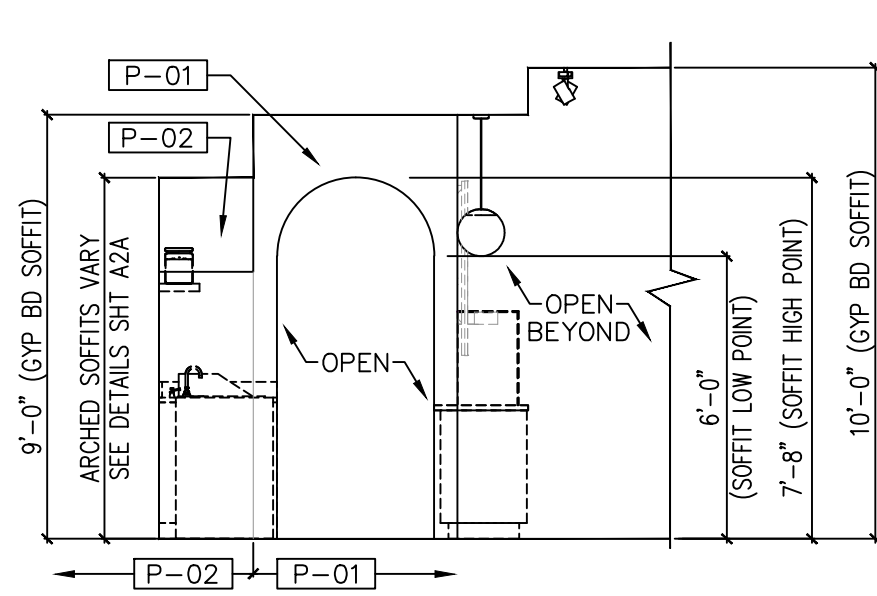
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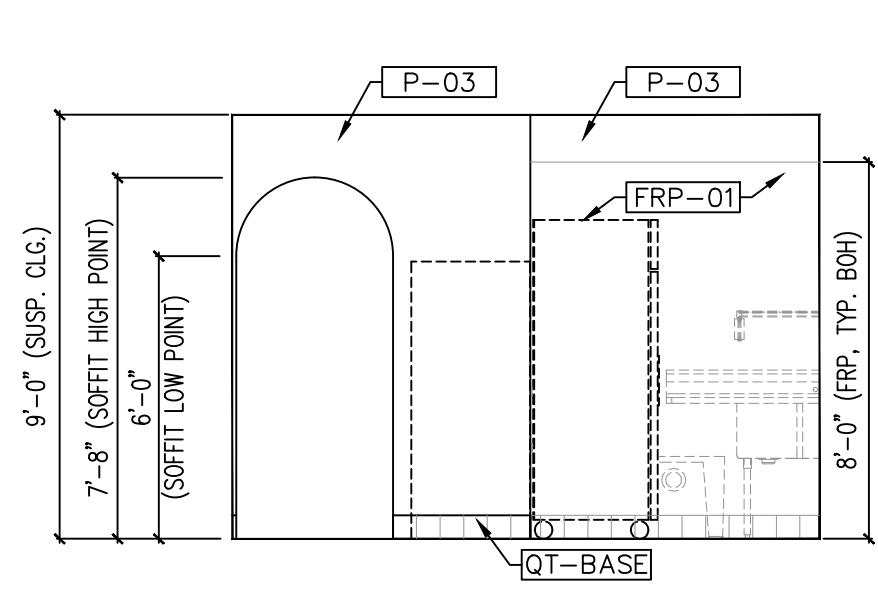
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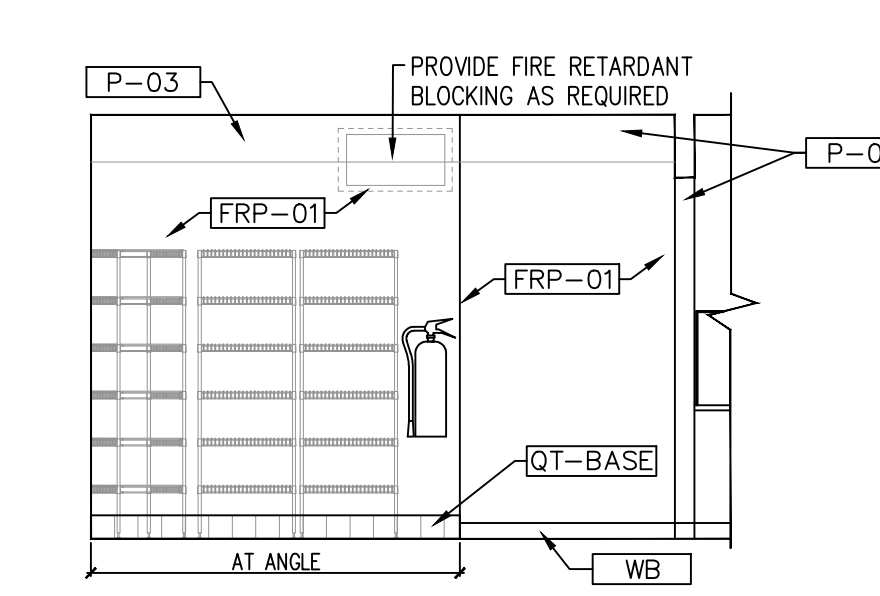
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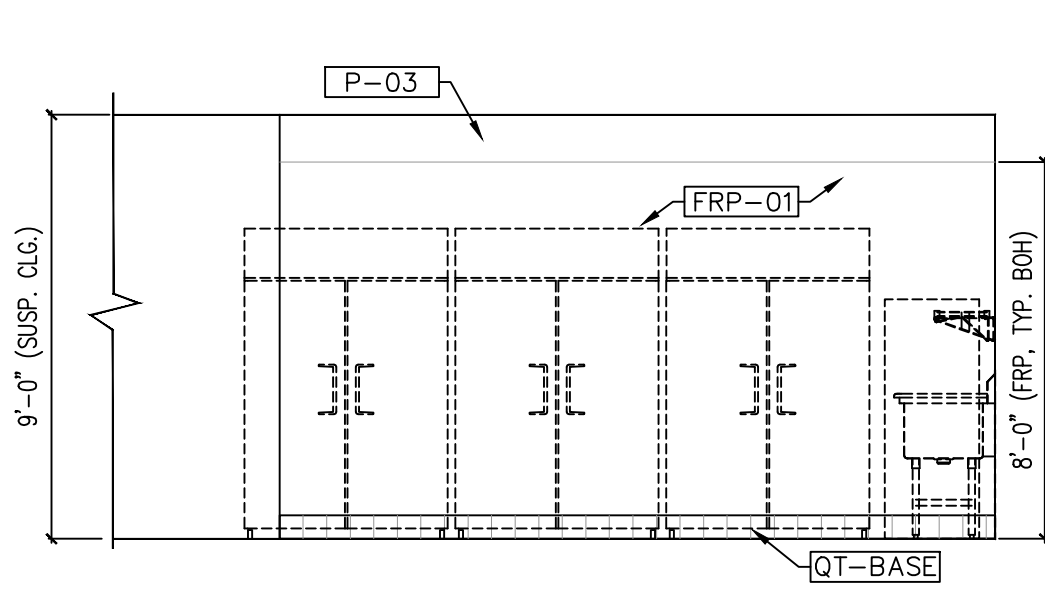
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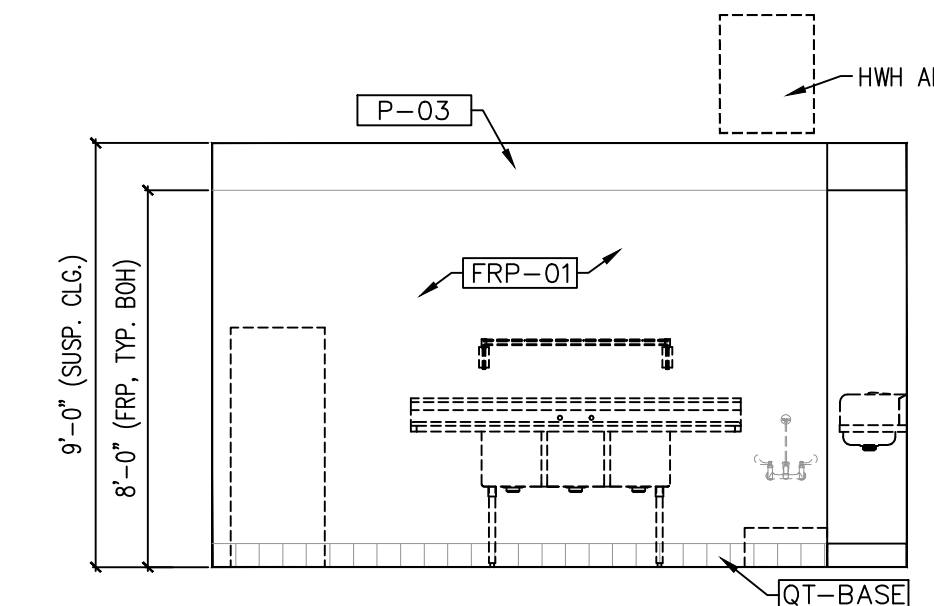
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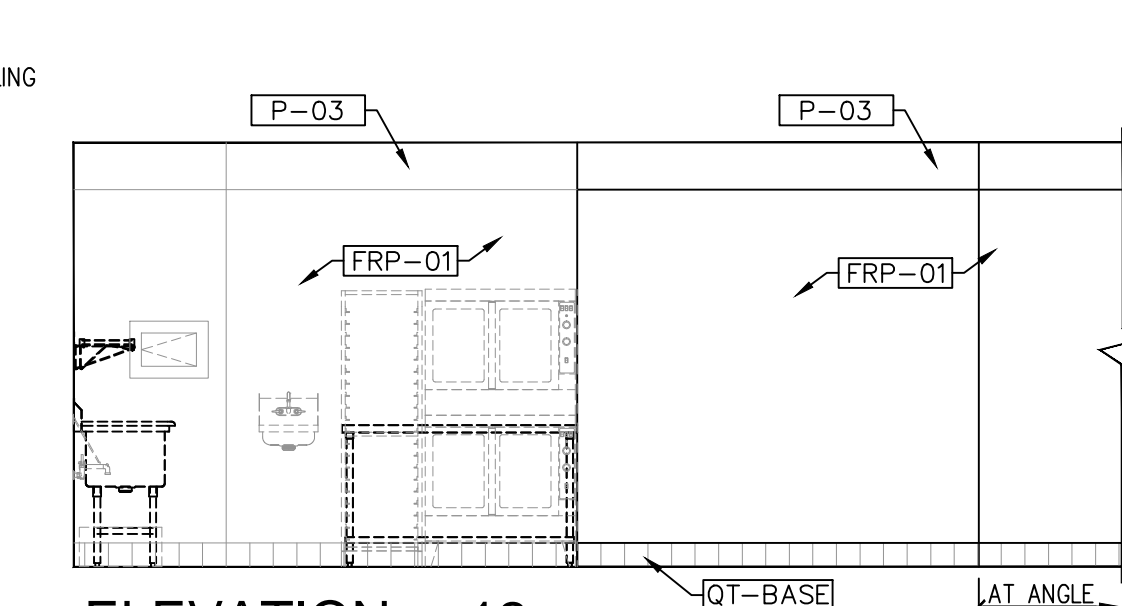
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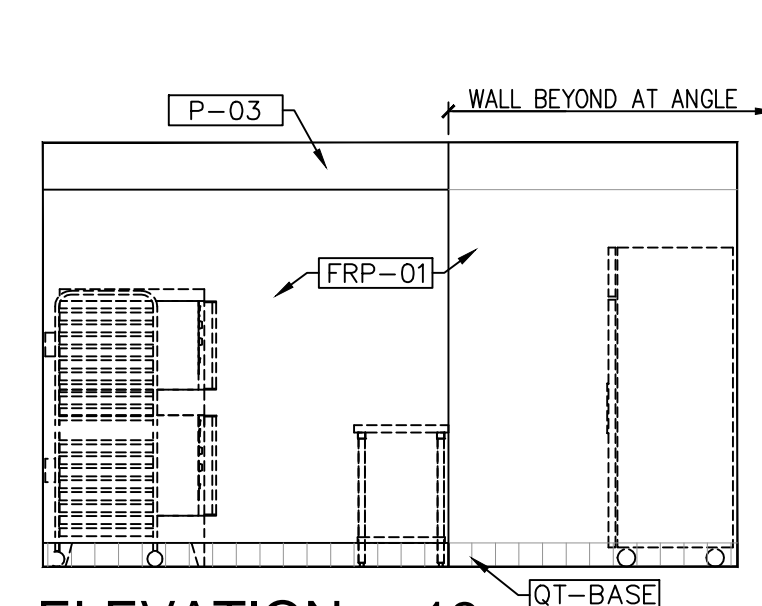
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ELEVATION 12

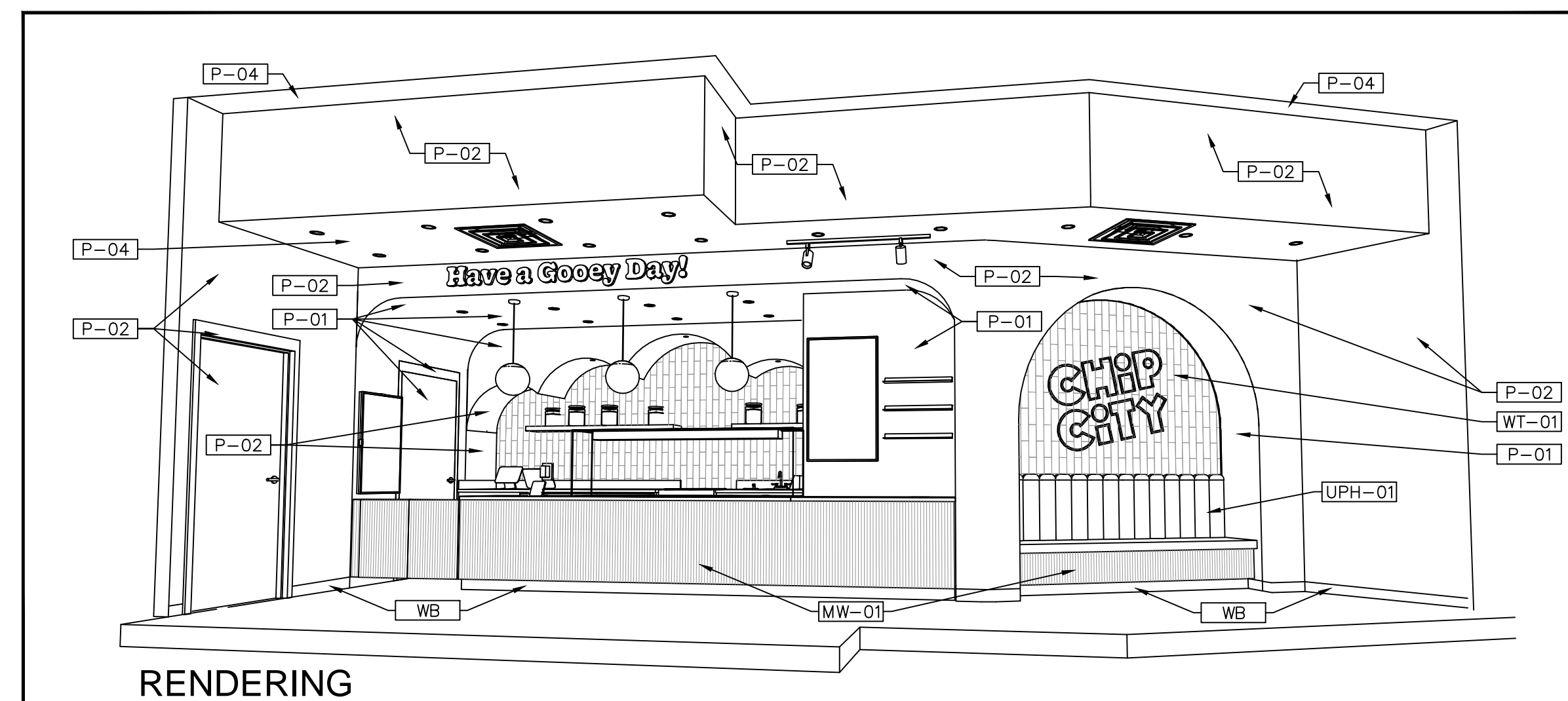


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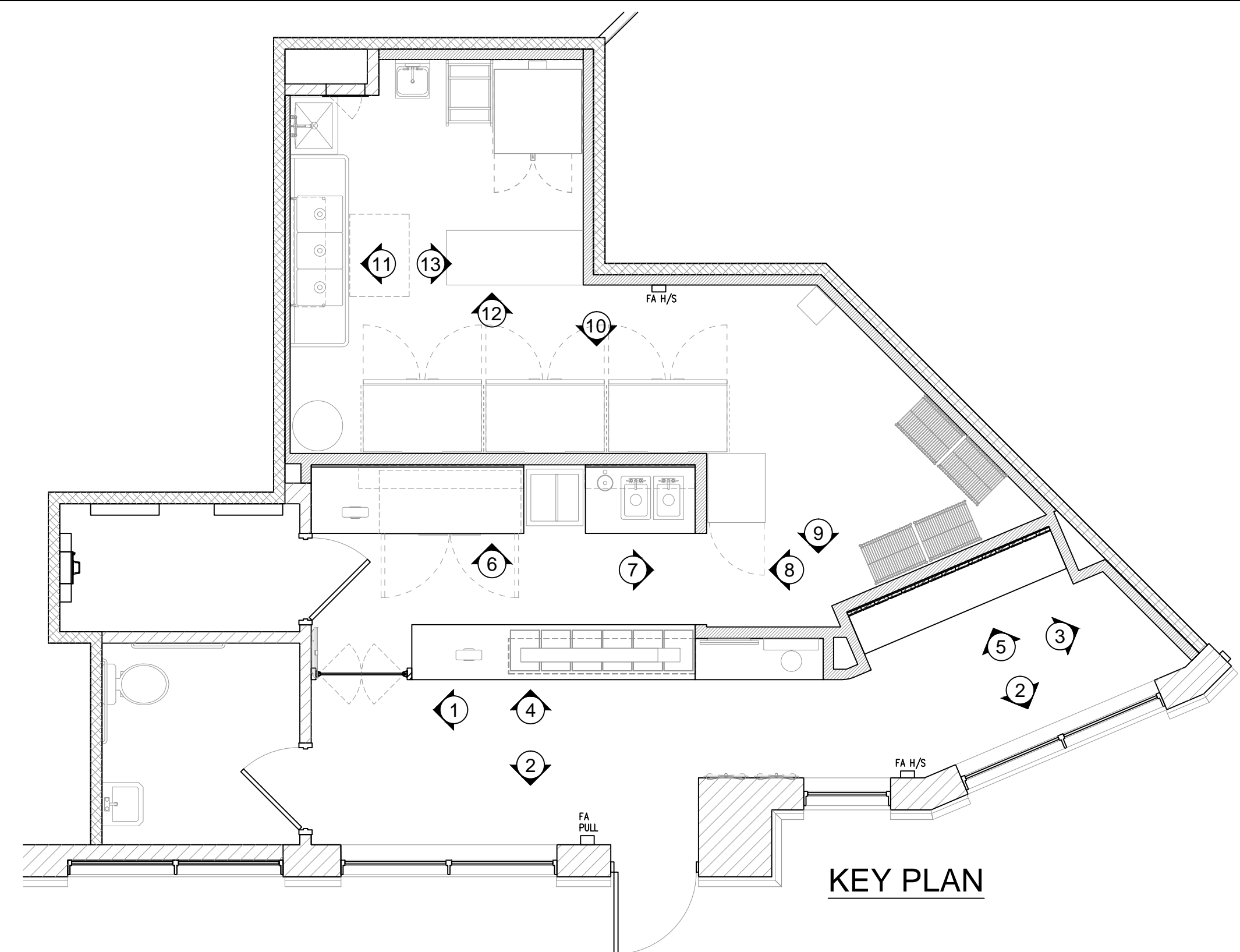


ELEVATION 14

SEE SHEET A2 FOR SOFFITS (FACE AND UNDERSIDE) PAINT COLORS



RENDERING



KEY PLAN

FINISH SCHEDULE							
FINISH TYPE	MATERIAL #	MANUFACTURER	NAME/COLOR	SIZE	CONTACT	DESCRIPTION	NOTES
FIBERGLASS REINFORCED PANEL							
FRP	01	STABILIT OR EQ.	GLASLINER WHITE	4'X8'	TBD	TYPICAL CEILINGS THROUGHOUT	
FLOOR							
FL	01	KAREN PEARSE	PORTAL IVORY	24"		FOH TILE	ALMOND GROUT
FL	02	DALTILE	QUARRY TILE ARID GRAY	6"		BOH TILE	FROSTY GROUT
MILLWORK							
LT	02	FORMICA	WHITE 949-58			LAMINATE	
LT	03	FORMICA	NATURAL MAPLE 756-58			LAMINATE	
MW	01	OUTWATER INDUSTRIES	PROFILE 383			TAMBOUR	MAPLE MAPLE STAIN TO MATCH LT-03
PAINT							
P	01	BENJAMIN MOORE	SERENITY 2055-60/EGGSHELL		TBD	TYPICAL WALLS THROUGHOUT	
P	02	BENJAMIN MOORE	INNOCENCE 2055-70/EGGSHELL		TBD	ACCENT PAINT	
P	03	BENJAMIN MOORE	WHITE DOVE/EGGSHELL		TBD	BOH PAINT	
P	04	BENJAMIN MOORE	WHITE/MATTE		TBD	TYPICAL CEILINGS THROUGHOUT	
SOLID SURFACE							
SS	01	CITI QUARTZ	HAMPTON		TBD		
UPHOLSTERY							
UPH	01	DESIGNTEX	PALE AQUA 3403-408			VINYL FABRIC	
WALL BASE							
WB	01	TBD	MATCH WALL/ SEMIGLOSS			4" MDF WALL BASE	
WB	02	TBD	GREY OR WHITE			4" VINYL WALL BASE	
WALL TILE							
WT	01	C TO C TILE	WHITE GLOSS/ LA GRAZIA	3"X12" ROUNDED		VERTICAL BRICK	MATCH P-2 COLOR GROUT 360 SANDED



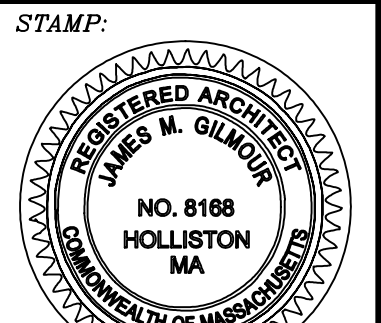
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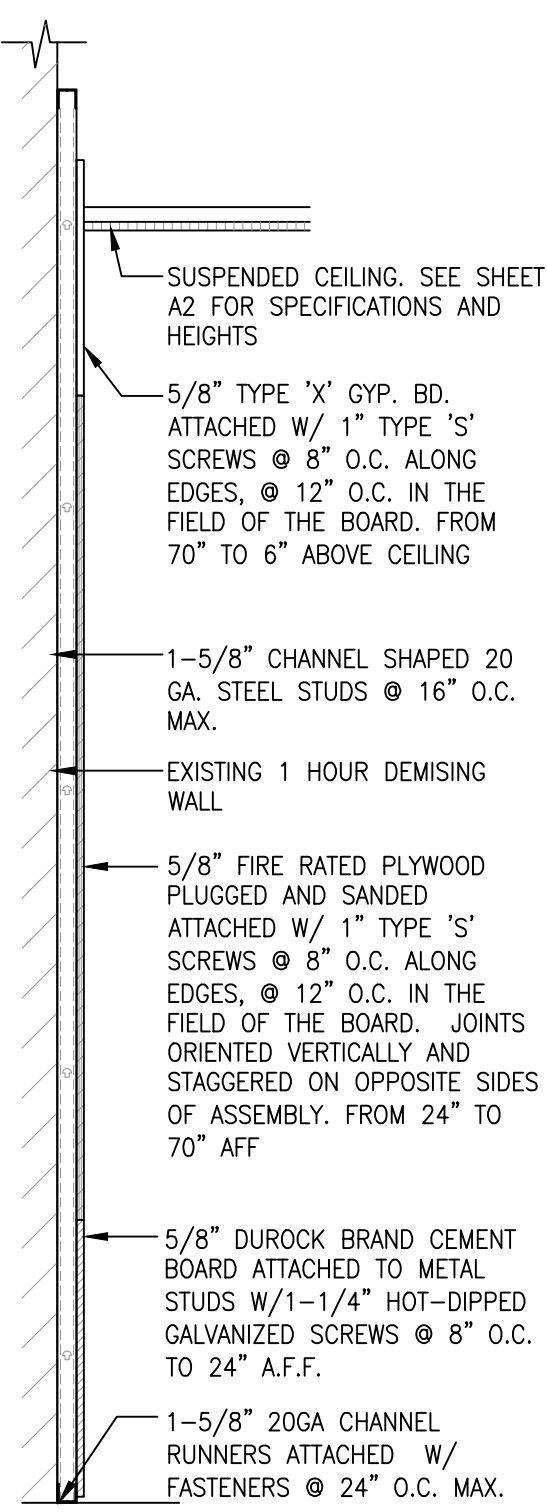
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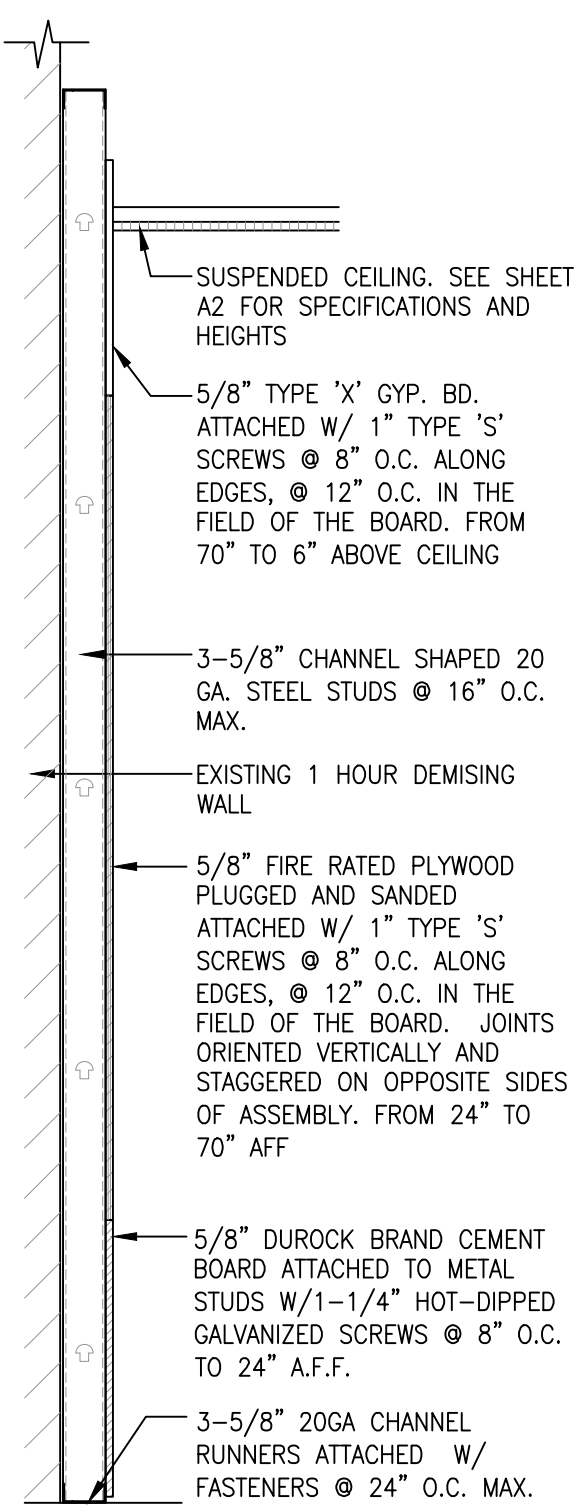
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 11-08-23 ARCHITECTURAL COMPLETED
 10-24-23 DRAWINGS TO ENGINEER

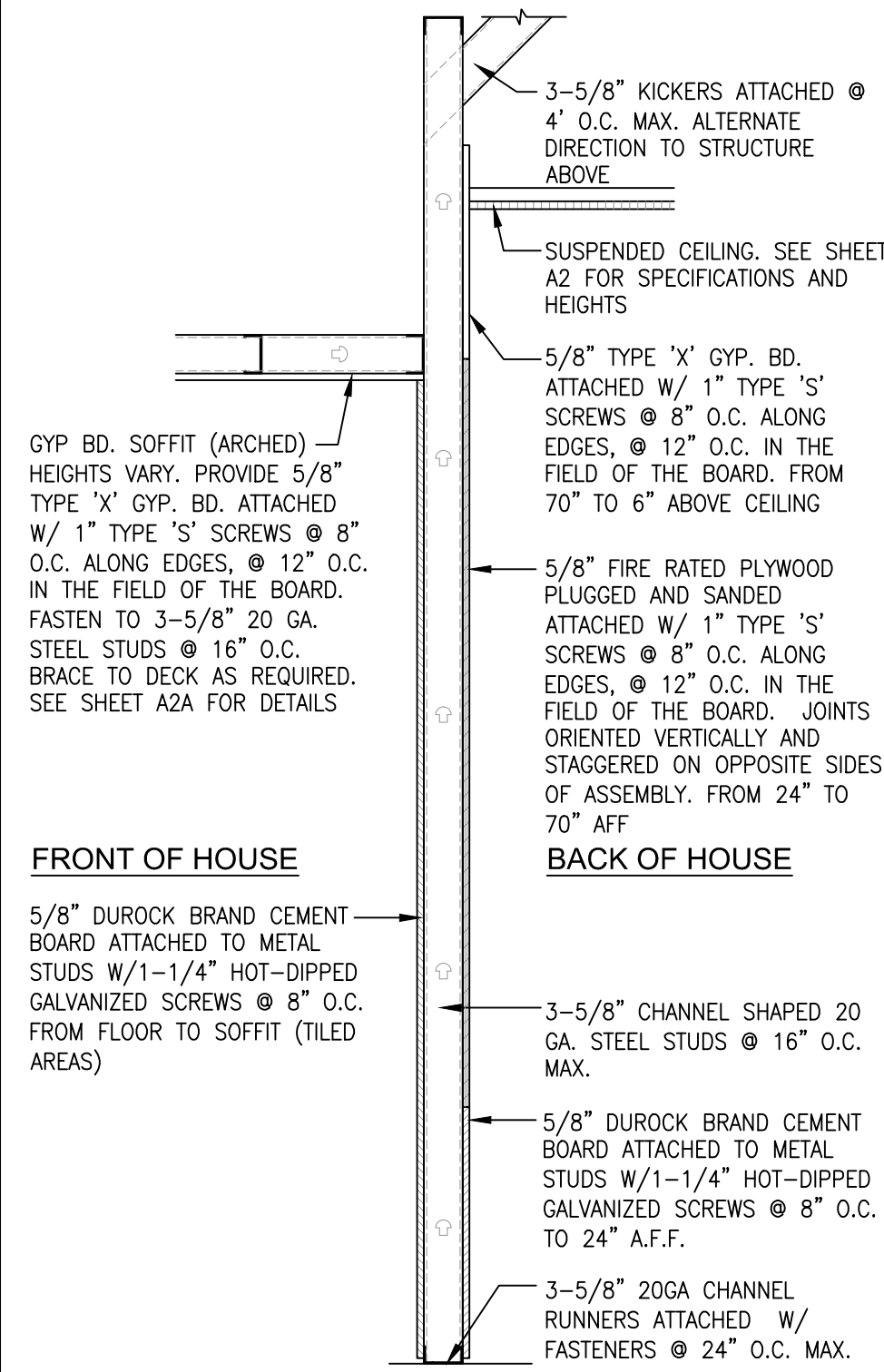
SHEET TITLE:
INTERIOR ELEVATIONS
 SHEET NO.
 6 OF 9
 SHEET NO.
A3
 CHIP CITY
 CAMBRIDGE, MA



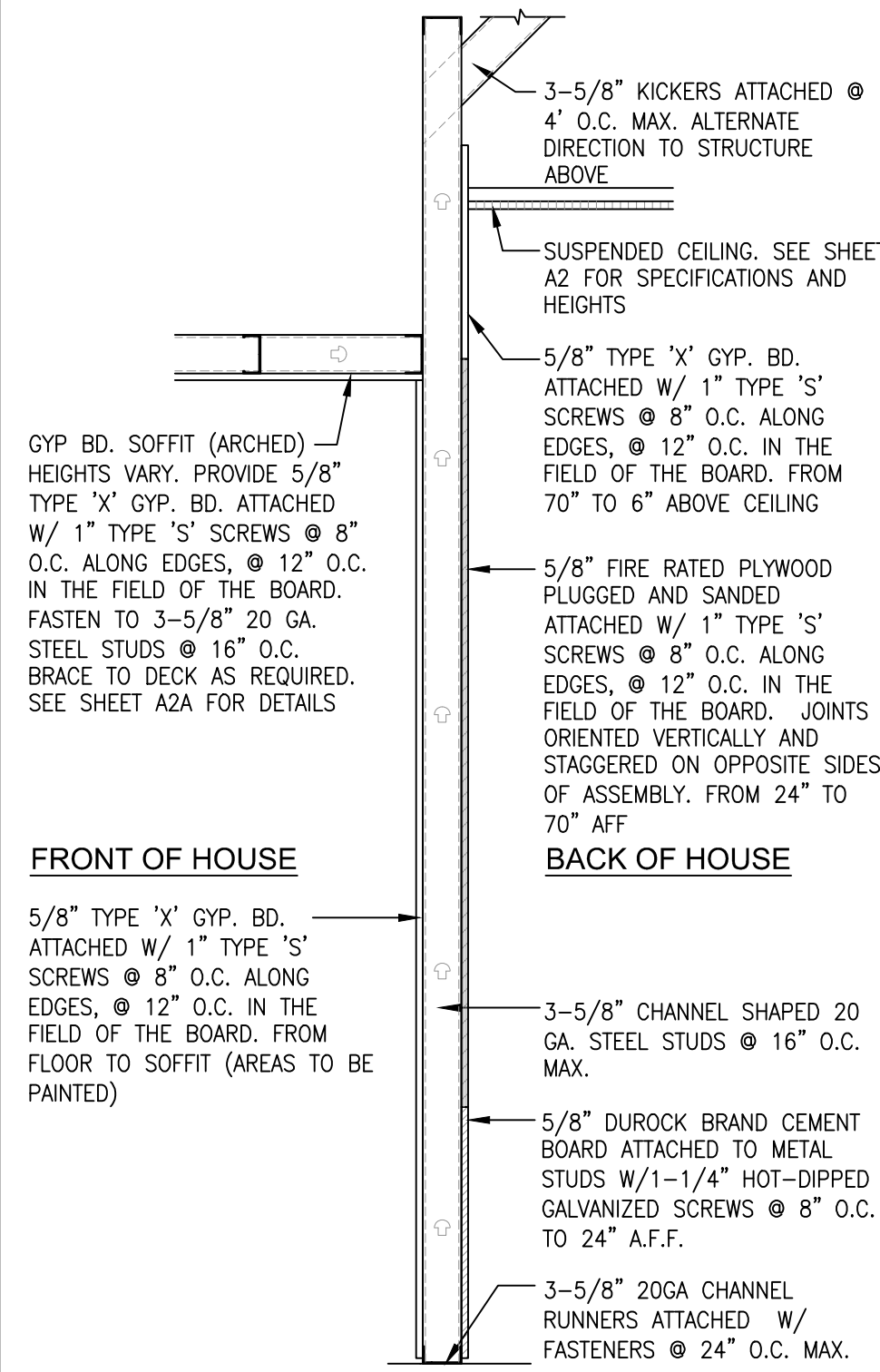
WALL TYPE 1



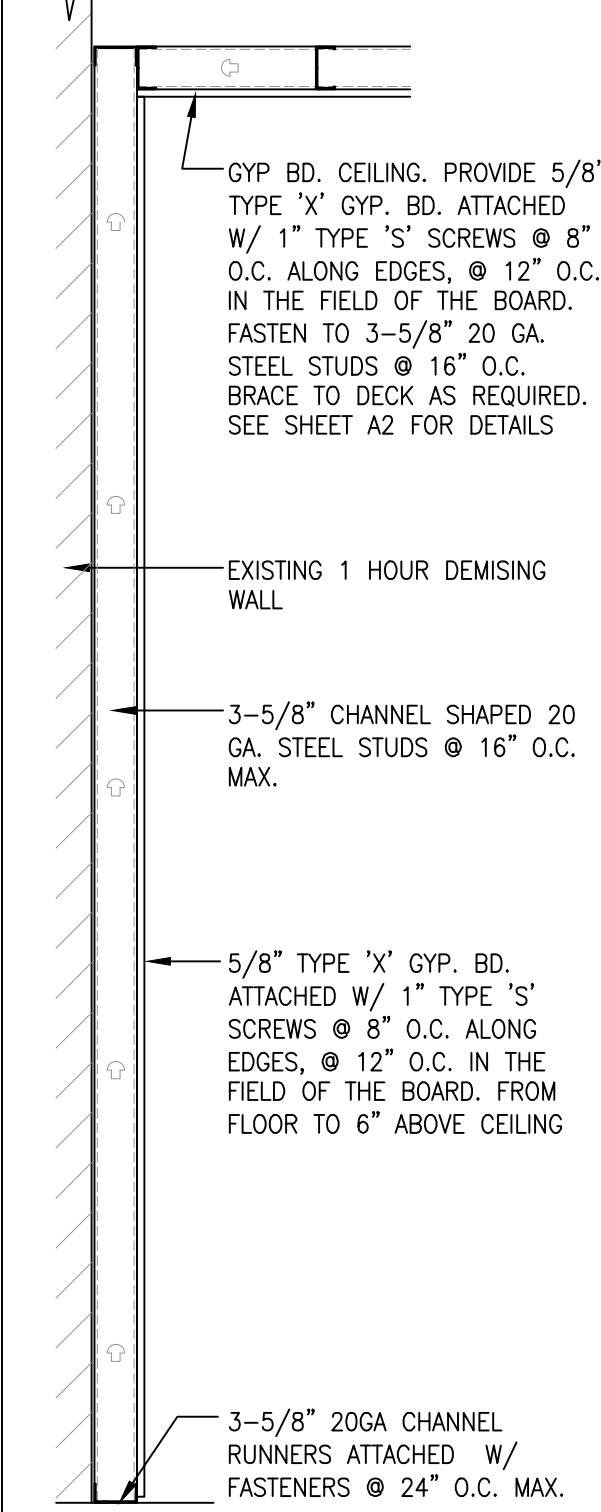
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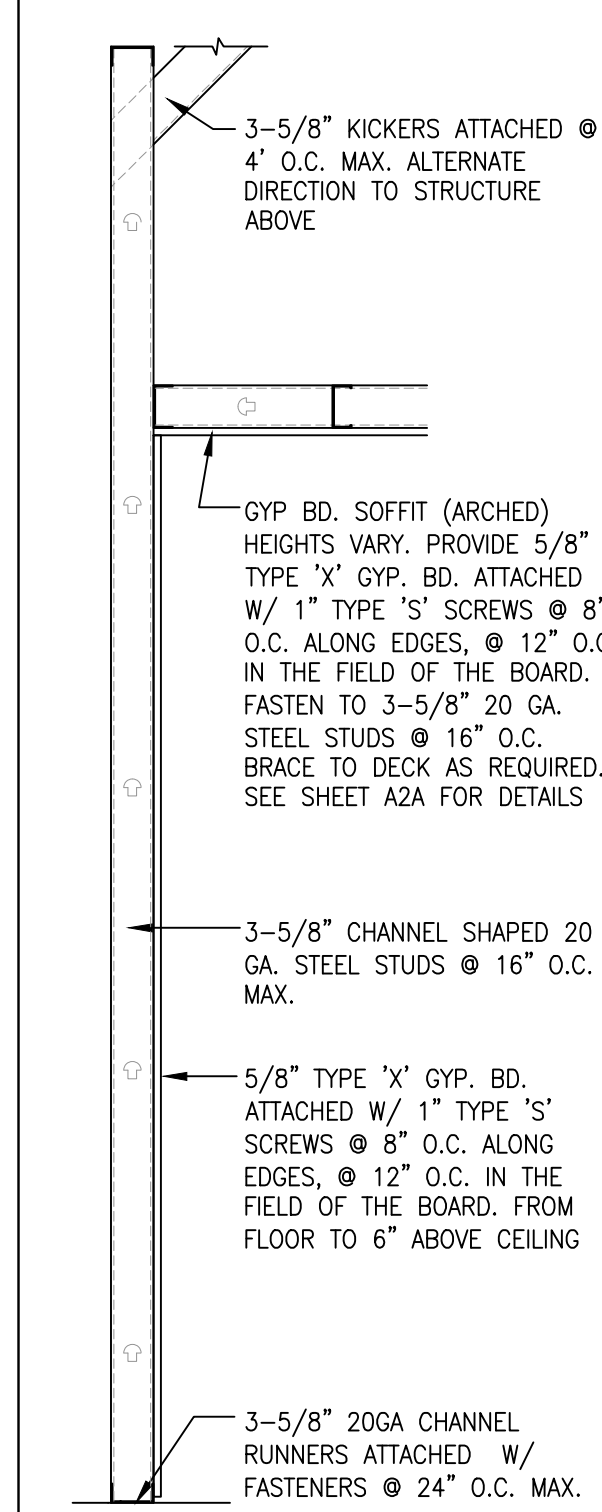
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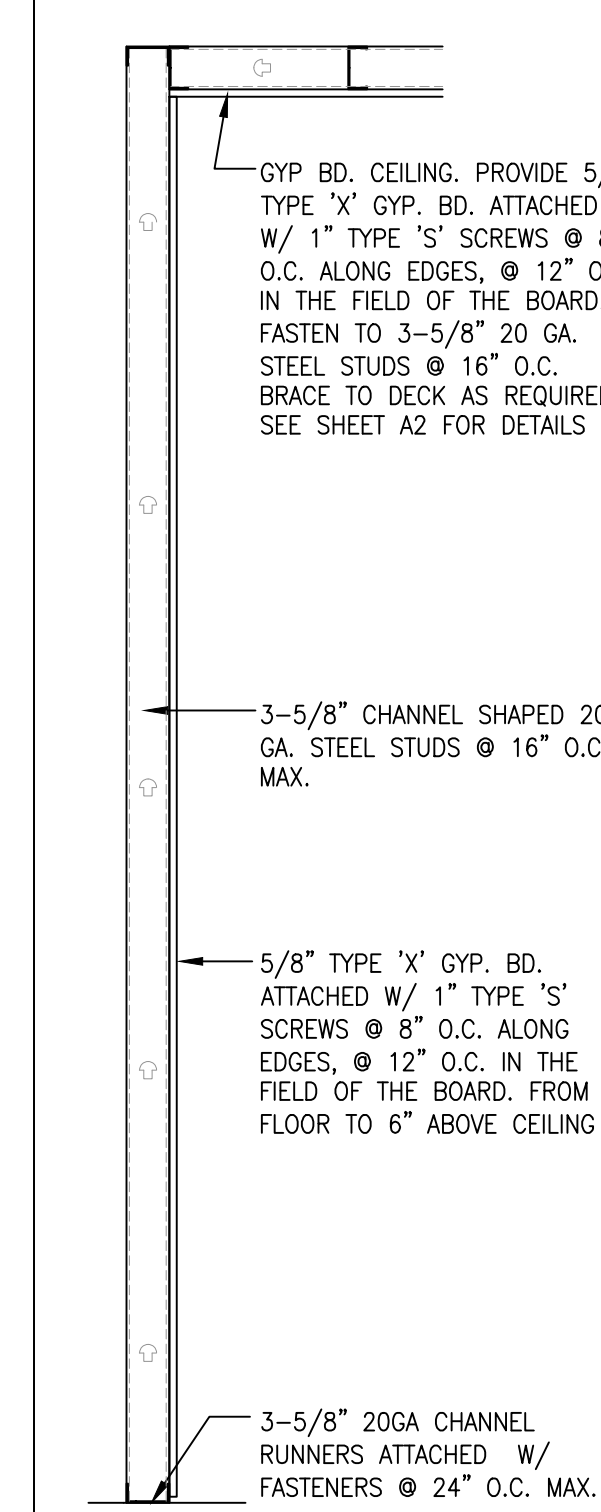
WALL TYPE 4



WALL TYPE 5



WALL TYPE 6

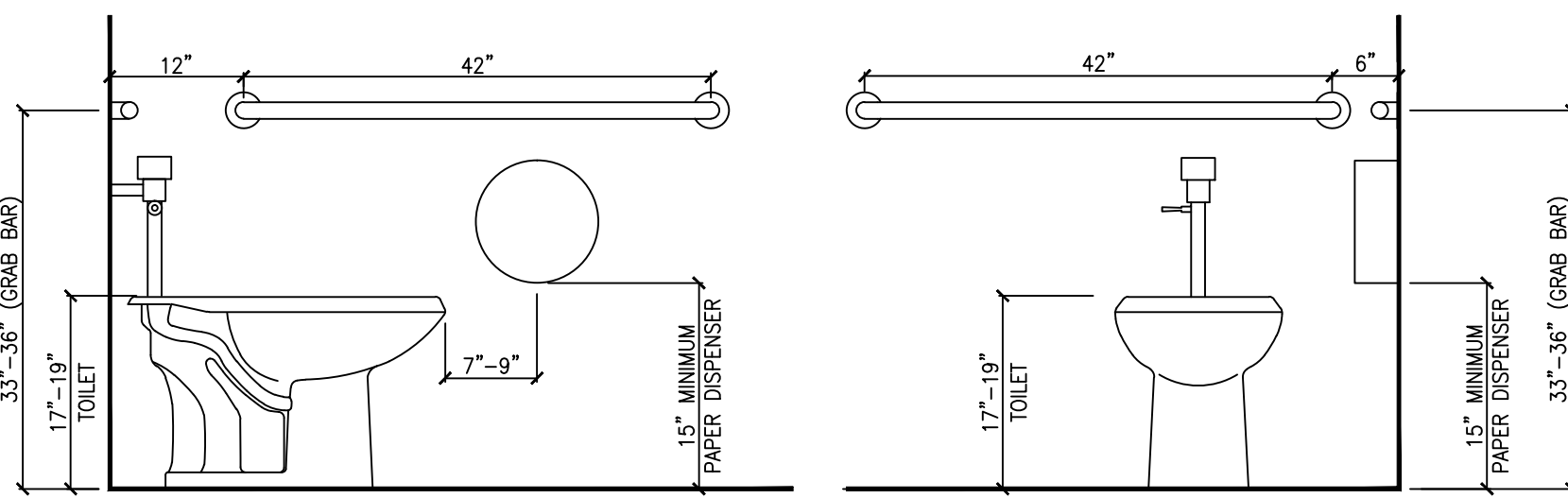


WALL TYPE 7

WALL TYPES 1 THRU 7 AT SCALE: 3/4" = 1'-0"

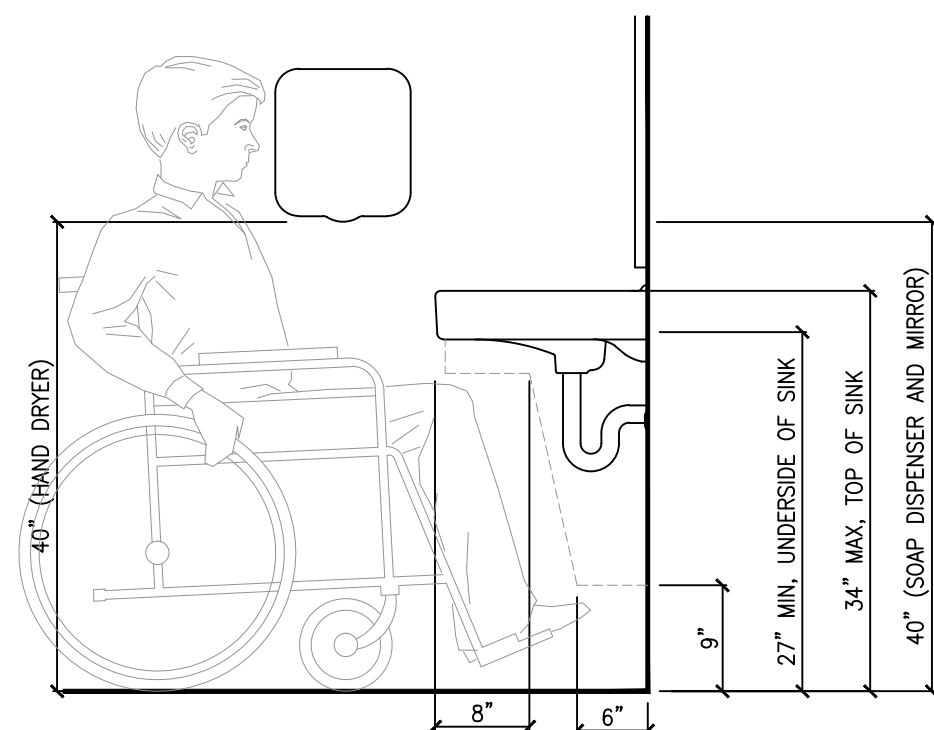
GENERAL WALL CONSTRUCTION NOTES:

ALL METAL STUDS TO BE 20 GAUGE (UNLESS OTHERWISE NOTED)
 PROVIDE FIRE RETARDANT SOLID WOOD BLOCKING AT ALL WALL MOUNTED ACCESSORIES WHERE PLYWOOD IS NOT SHOWN AS SUBSTRATE
 ALL PARTITIONS TO BE BRACED TO DECK ABOVE AS REQUIRED.
 PROVIDE 5/8" FIRE RETARDANT PLYWOOD IN ALL BACKROOM AREAS WHERE FRP IS TO BE INSTALLED TO BE USED AS SOLID WOOD BLOCKING FOR WALL MOUNTED EQUIPMENT
 INSTALL DUROCK CEMENT BOARD IN ALL BACKROOM AREAS TO 24" A.F.F.
 SEE SHEET A3 (ELEV.) AND SHEET A1A FOR ALL FINISHES.
 SEE SHEET A2 AND A2A FOR SOFFIT AND CEILING DETAILS



ADA TOILET DETAILS

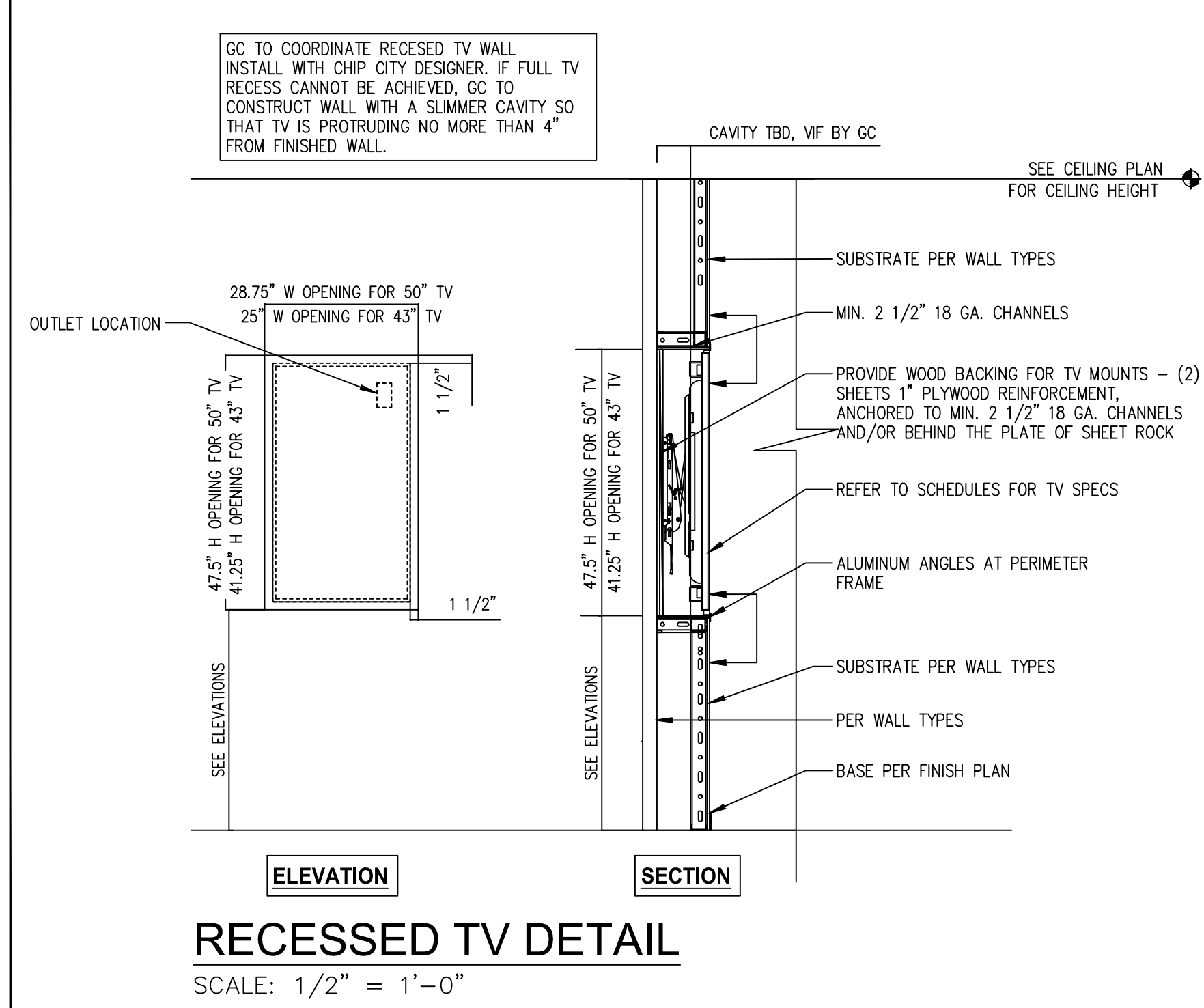
SCALE: 3/4" = 1'-0"



ADA LAVATORY DETAILS

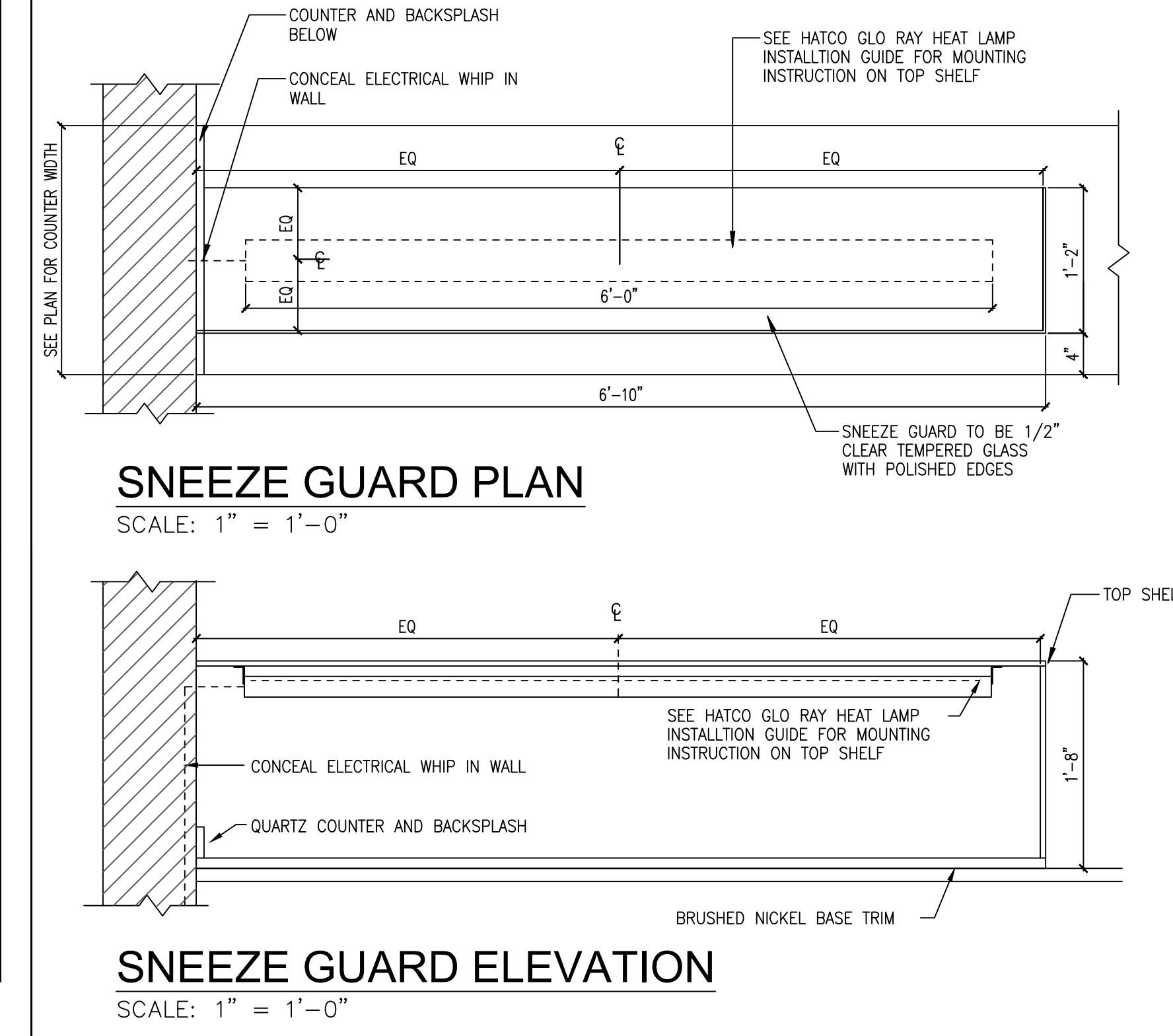
SCALE: 3/4" = 1'-0"

EXISTING REST ROOM TO REMAIN SURVEY EXISTING FIXTURES AND EQUIPMENT TO ENSURE COMPLIANCE WITH ADA. REFER TO THESE DETAILS FOR COMPLIANCE



RECESSED TV DETAIL

SCALE: 1/2" = 1'-0"

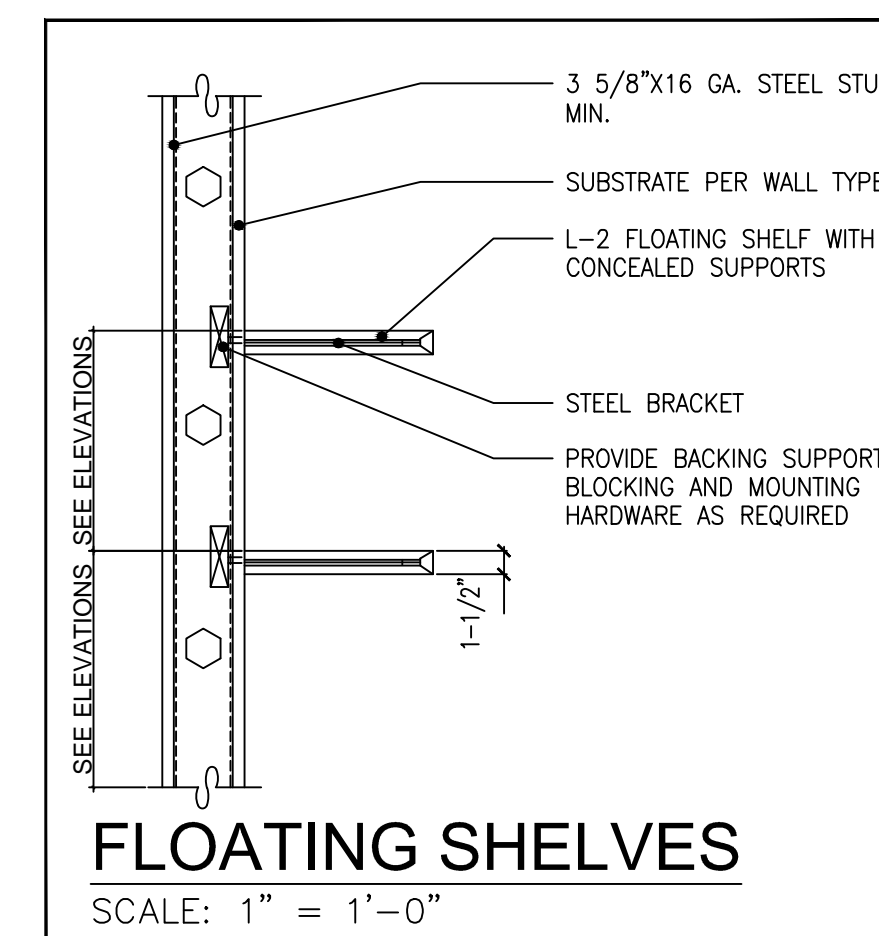


SNEEZE GUARD PLAN

SCALE: 1" = 1'-0"

SNEEZE GUARD ELEVATION

SCALE: 1" = 1'-0"



FLOATING SHELVES

SCALE: 1" = 1'-0"

CHIP CITY

CLIENT INFORMATION: **CHIP CITY**, 278 7TH AVE., NEW YORK, N.Y. 10001
 CLIENT CONTACT: **NICHOLAOS MOSHOPOULOS**, 10-15 MALBA DRIVE, WHITESTONE, NY 11357
 EMAIL: mik@chipcitybooks.com, TEL: 646-529-8885

DESIGN CONSULTANT: **dpb** DESIGN SERVICES, 50 HULLY ROAD, ANDOVER, MA 01810
 508-380-8460, DPBCADD@AOL.COM

ARCHITECT: **JGA** JAMES GILMOUR ARCHITECTURE, 200 WINTER STREET, HOLLISTON, MA 01746
 (7508.380.3105)

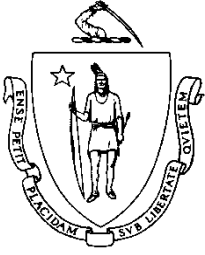
MEP ENGINEER: **MGE** MG Engineering D.P.C., we engineer success, 116 West 32nd Street, 12th Floor, New York, N.Y. 10001
 P 212.643.9055 www.mgedpc.net

PROJECT NAME: **CHIP CITY TENANT FIT-UP**
 PROJECT LOCATION: HARVARD SQUARE ONE BRATTLE SQUARE SUITE 104, SPACE 3A CAMBRIDGE, MA 02138

STAMP: REGISTERED ARCHITECT, JAMES M. GILMOUR, NO. 8168, HOLLISTON, MA

Drawn by: M.C. No. Date: 12-08-23
 Checked by: DFB Revisions:
 Date: 12-08-23 PERMIT DOCUMENTS
 11-08-23 ARCHITECTURAL COMPLETED
 10-24-23 DRAWINGS TO ENGINEER

SHEET TITLE: **PARTITION TYPES AND DETAILS**
 SHEET NO. 7 OF 9
A4
 CHIP CITY CAMBRIDGE, MA



Initial Construction Control Document

To be submitted with the building permit application by a
Registered Design Professional
for work per the 9th edition of the
Massachusetts State Building Code, 780 CMR, Section 107

Project Title: **Chip City Tenant Fit-Up**

Date: December 8, 2023

Property Address: One Brattle Square, Cambridge, MA 02138

Project: Check (x) one or both as applicable: New construction Existing Construction **X**

Project description: Minor Remodel to Existing Restaurant

I, **James Gilmour**, MA Registration Number: **8168** Expiration date: **08-31-24** , am a *registered design professional*, and I have prepared or directly supervised the preparation of all design plans, computations and specifications concerning¹:

Architectural Structural Mechanical
 Fire Protection Electrical Other:

for the above named project and that to the best of my knowledge, information, and belief such plans, computations and specifications meet the applicable provisions of the Massachusetts State Building Code, (780 CMR), and accepted engineering practices for the proposed project. I understand and agree that I (or my designee) shall perform the necessary professional services and be present on the construction site on a regular and periodic basis to:

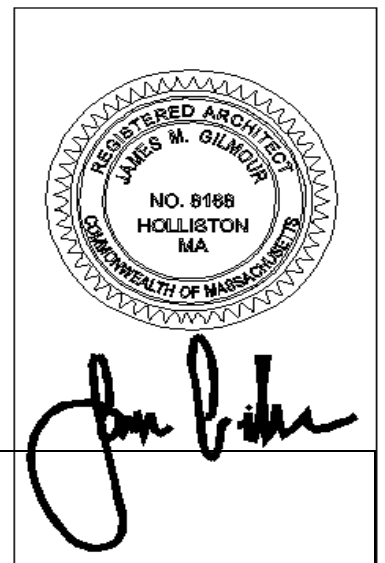
1. Review, for conformance to this code and the design concept, shop drawings, samples and other submittals by the contractor in accordance with the requirements of the construction documents.
2. Perform the duties for registered design professionals in 780 CMR Chapter 17, as applicable.
3. Be present at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the work and to determine if the work is being performed in a manner consistent with the approved construction documents and this code.

Nothing in this document relieves the contractor of its responsibility regarding the provisions of 780 CMR 107.

When required by the building official, I shall submit field/progress reports (see item 3.) together with pertinent comments, in a form acceptable to the building official.

Upon completion of the work, I shall submit to the building official a ‘Final Construction Control Document’.

Enter in the space to the right a “wet” or electronic signature and seal:



Phone number: **508.380.3105**

Email: **jgarchitecture88@gmail.com**

Building Official Use Only

Building Official Name: Permit No.: Date:

Note 1. Indicate with an ‘x’ project design plans, computations and specifications that you prepared or directly supervised. If ‘other’ is chosen, provide a description.

TENANT FIT-UP

FOR

CHIP CITY

AT

ONE BRATTLE SQUARE

CAMBRIDGE, MA 02138

BUILDING CODE INFORMATION

COUNTY:	SUFFOLK
BUILDING CODE	MASSACHUSETTS BUILDING CODE, NINTH ADDITION WITH 2015 IBC
PLUMBING CODE	MASSACHUSETTS PLUMBING CODE 248-CMR 10 WITH 2015 IPC
ELECTRICAL CODE	MASSACHUSETTS ELECTRIC CODE 527-CMR 12 WITH 2023 NFPA 70
MECHANICAL CODE	NATIONAL MECHANICAL CODE 2015 IMC
FIRE PREVENTION	MASS FIRE PREVENTION REGULATIONS 527-CMR WITH 2016 NFPA 13
ENERGY CODE	2018 IECC
ACCESSIBILITY CODE:	MASS ACCESSIBILITY CODE BOARD 521 CMR
USE GROUP:	M - MERCANTILE
CONSTRUCTION TYPE:	III-B SPRINKLED
SQUARE FOOTAGE:	710
OCCUPANCY LOAD:	12 MAXIMUM CUSTOMERS 4 EMPLOYEES 16 TOTAL OCCUPANTS



CLIENT INFORMATION:
CHIP CITY
278 7TH AVE, NEW YORK, NY 10001

CLIENT CONTACT:
NICHOLAOS MOSHOPOULOS
10-15 MALBA DRIVE
WHITESTONE, NY 11357
EMAIL: miko@chipcitycookies.com
TEL: 646-529-8885

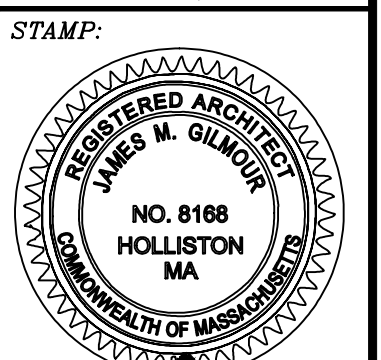
DESIGN CONSULTANT:
dpb
DESIGN SPRITICES
60 HOLT ROAD
ANDOVER, MA 01810
508-380-8460
DPBCADD@AOL.COM

ARCHITECT:
JGA
JAMES GILMOUR
ARCHITECTURE
200 WINTER STREET
HOLLISTON, MA 01748
(7508.380.3105

MEP ENGINEER:
MGE
MG Engineering D.P.C. 7
we engineer success
New York, NY 10001
P 212.643.9055 www.mgedpc.net

PROJECT NAME:
**CHIP CITY
TENANT FIT-UP**

PROJECT LOCATION:
HARVARD SQUARE
ONE BRATTLE SQUARE
SUITE 104, SPACE 3A
CAMBRIDGE, MA 02138



Signature of James M. Gilmour

Project No.:	025	Date:	12-08-23
Revision:		Permitted:	
Drawn by:		Permit No.:	
Checked by:		Permit Date:	
Scale:		Architectural Completed:	
		Drawings to Engineer:	

SHEET TITLE:
COVER SHEET

SHEET NO.
1 of 9

SHEET NO.
G-CS

CHIP CITY
CAMBRIDGE, MA

GENERAL NOTES:

- ALL ROUGH FRAMING MUST BE METAL STUDS OR STAMPED U.L. APPROVED FRAMING AS REQUIRED BY CODE.
- ALL FINISH HARDWARE SHALL BE APPROVED BY THE TENANT.
- CONSTRUCTION SHALL CONFORM WITH THE LATEST LOCAL BUILDING CODE (THEREIN AFTER REFERRED TO AS THE CODE AND ALL OTHER APPLICABLE ORDINANCES AND REGULATIONS AND THE SPECIFICATIONS AND DRAWINGS). THE GENERAL CONTRACTOR SHALL REPORT HIS OWN OR ANY OF HIS SUBCONTRACTOR'S FINDINGS OF ANY AND ALL INCONSISTENCIES OR OMISSIONS WITHIN THE CONTRACT DOCUMENTS AND APPLICABLE CODES IMMEDIATELY AND DIRECTLY TO THE ARCHITECT.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE.
- ALL DIMENSIONS INDICATED ON THE DRAWINGS SHALL BE FIELD VERIFIED. CLARIFICATIONS, IF REQUIRED, SHALL BE OBTAINED FROM THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL SHOP DRAWINGS AND SAMPLES AS REQUIRED AND SHALL OBTAIN THE CLIENT/LANDLORD REVIEW PRIOR TO ORDERING AND INSTALLATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING TO MATCH WORK IN THEIR RESPECTIVE GRADE FOR A COMPLETE INSTALLATION.
- COOPERATION WITH OTHER TRADES: CONTRACTORS SHALL COOPERATE WITH THE OTHER TRADES IN THE INTEREST OF OBTAINING THE MOST PRACTICAL OVERALL ARRANGEMENTS OF EQUIPMENT, PIPING, CONDUIT AND DUCTS TO MAINTAIN MAXIMUM HEADROOM, ACCESSIBILITY, PERMITS, FEES AND INSPECTIONS. OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEE ASSESSMENTS AND COMPLIMENTARY DRAWINGS REQUIRED BY ANY LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. ARRANGE FOR ANY REQUIRED INSPECTIONS OR EXAMINATIONS, AND DELIVER CERTIFICATES OF SUCH INSPECTIONS TO THE OWNER.
- ACCURACY OF DATA: THE DATA GIVEN HEREIN AND ON THE DRAWINGS ARE AS EXACT AS COULD BE SECURED BUT THEIR ACCURACY CANNOT BE GUARANTEED. THE DRAWINGS AND SPECIFICATIONS ARE FOR ASSISTANCE AND GUIDANCE ONLY. CONTRACTOR AND LOCATIONS, DISTANCES, LEVELS, ETC. WILL BE GOVERNED BY THE BUILDING. ALL DATA CONCERNING EXISTING CONDITIONS, UTILITIES, ETC. SHALL BE FIELD VERIFIED.
- ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL HAVE QUALIFIED SUPERINTENDENTS ON JOB SITE AT ALL TIMES DURING CONSTRUCTION.

PLUMBING NOTES:

- CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIALS SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR (EXCEPT FIRE SPRINKLER PIPING) IN A FIRST CLASS MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- VERIFY LOCATION, SIZE, INVERTS AND ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- WATER PIPING SHALL BE TYPE "L" COPPER FOR 2" AND UNDER AND TYPE "K" FOR 2" AND ABOVE.
- SOIL, WASTE AND VENT PIPING SHALL BE AS PER PLUMBING DRAWINGS

PLUMBING NOTES cont:

- ALL FIXTURES MUST BE PROVIDED WITH READY ACCESSIBLE STOPS AND MARKED ACCESS PANEL.
- FURNISH AND INSTALL APPROVED AIR CHANGERS AT EACH FIXTURE AND P.D.I. APPROVED SHOCK ARRESTERS ON MAIN LINES OR RISERS.
- DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS. TO BE SIMILAR TO E.P.C.D.
- FILL VOIDS BETWEEN PIPE AND WALL/FLOOR SLEEVES WITH FIRE RATED FOAM. CHASE TECHNOLOGY CORP. CTO PR-855.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.

ELECTRICAL NOTES:

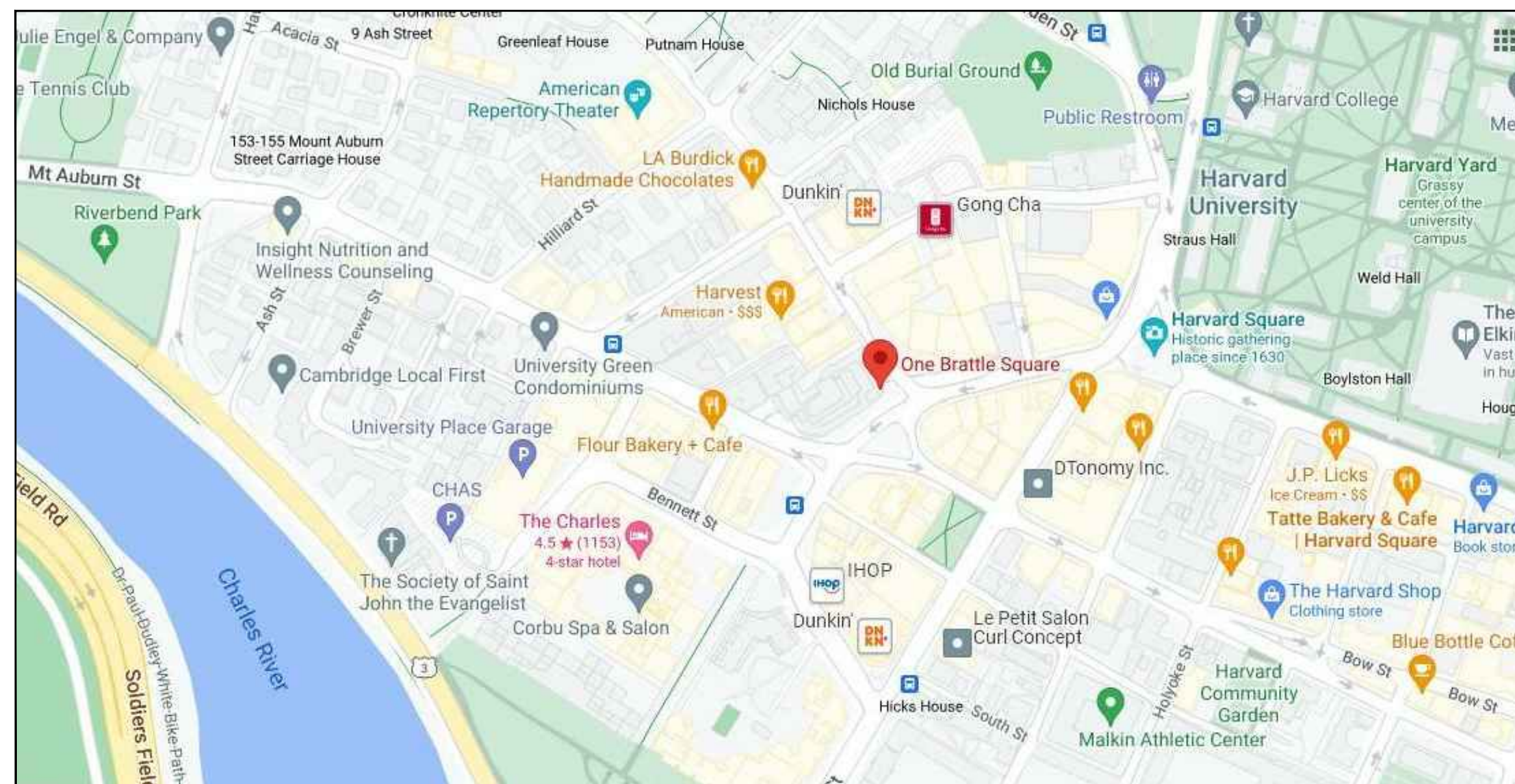
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY FOR 480 VOLT EQUIPMENT AND GENERAL DUTY FOR 240 VOLT EQUIPMENT, QUICK-MADE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE OPERATIVE.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. DISCONNECTS AND CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES OR TANDEM WILL BE ACCEPTED.
- ALL FUSES SHALL BE TYPE AND SIZE REQUIRED BY EQUIPMENT MANUFACTURER.

H.V.A.C. NOTES:

- HVAC CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATING A/C SYSTEM.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- EQUIPMENT SHALL BE OF THE CAPACITIES SCHEDULED ON PLAN.
- COMPLY WITH NFPA-90A AND ALL APPLICABLE CODES.
- FLEXIBLE DUCT SHALL BE FULLY ANNEALED, CORRUGATED ALUMINUM WITH 1- 3/4 LB. DENSITY FIBERGLASS INSULATION AND SHALL BE U.L. LISTED. SHEET METAL DUCT SHALL BE LINED WITH 1" MATT FACED DUCTLINER. FLEX DUCT TO BE USED ONLY FOR FINAL CONNECTION TO SUPPLY GRILL FROM BRANCH DUCT AND SHALL NOT EXCEED 6'-0" IN LENGTH.
- ALL AIR DEVICES SHALL BE ALUMINUM CONSTR.
- CONTRACTOR SHALL TEST AND BALANCE TO THE AIR QUANTITIES ON THE PLAN. PROVIDE T&B REPORT IN ACCORDANCE WITH AIR BALANCE COUNCIL STANDARDS, SIGNED AND SEALED BY A REGISTERED ENGINEER.
- FURNISH ALL CONTRACTORS, RELAYS, FUSED DISCONNECTS, THERMOSTATS AND CONTROL WIRING. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES AND DISCONNECTS. THERMOSTATS SHALL BE APPROVED BY EQUIPMENT MANUFACTURER.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.
- COORDINATE LOCATION OF CEILING DIFFUSERS, SLOT DIFFUSERS, GRILLES, REGISTERS, IN THE FIELD WITH ELECTRICIAN, LIGHTS AND ARCHITECTURAL ELEMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

FIRE ALARM NOTES:

- ALARM SYSTEM TO BE TIED IN TO LANDLORD'S NEW WORK
- COMPLY WITH NFPA AND ALL APPLICABLE CODES.
- ADD SPEAKERS, RELOCATE OR ADD HEAT DETECTORS AS REQUIRED.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOL AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATING ALARM SYSTEM.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.



STREET MAP:



AERIAL MAP:

LIST OF DRAWINGS

- ARCHITECTURAL**
- G-CS COVER SHEET
 - A1 CONSTRUCTION FLOOR PLAN
 - A1A FINISH FLOOR PLAN
 - A2 REFLECTED CEILING PLAN & SCHEDULE
 - A2A LIGHTING LOCATION PLAN AND DETAILS
 - A3 INTERIOR ELEVATIONS
 - A4 PARTITION TYPES AND DETAILS
 - EQ1 EQUIPMENT FLOOR PLAN
 - EQ2 MILLWORK DETAILS
- MECHANICAL**
- M-001 MECHANICAL NOTES, SYMBOLS AND DRAWING LIST
 - M-101 MECHANICAL FLOOR PLAN
 - M-501 MECHANICAL DETAILS & SCHEDULES
 - M-801 MECHANICAL SPECIFICATIONS
 - M-901 MECHANICAL DEMOLITION PLAN
- ELECTRICAL**
- E-001 ELECTRICAL SYMBOLS, ABBREVIATIONS AND DRAWING LIST
 - E-002 ENERGY ANALYSIS COMPLIANCE SHEET
 - E-101 ELECTRICAL LIGHTING PLAN
 - E-201 ELECTRICAL POWER PLAN
 - E-501 ELECTRICAL DETAILS
 - E-601 ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES
 - E-801 ELECTRICAL SPECIFICATIONS I
 - E-802 ELECTRICAL SPECIFICATIONS II
 - E-803 ELECTRICAL SPECIFICATIONS III
- PLUMBING**
- P-001 PLUMBING NOTES, SYMBOLS, ABBREVIATIONS AND DRAWING LIST
 - P-101 DOMESTIC PLUMBING PLAN
 - P-102 SANITARY AND VENT PLUMBING PLAN
 - P-501 PLUMBING DETAILS & RISER DIAGRAM
 - P-801 PLUMBING SPECIFICATIONS
- FIRE PROTECTION**
- SP-001 SPRINKLER NOTES, SYMBOLS, ABBREVIATIONS AND DRAWING LIST
 - SP-101 SPRINKLER PLAN
 - SP-501 SPRINKLER DETAILS
 - SP-801 SPRINKLER SPECIFICATIONS
 - FA-101 FIRE ALARM FLOOR PLAN
 - FA-601 FIRE ALARM RISER AND SPECIFICATIONS

EQUIPMENT SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
E-1	POS/ REGISTER			
E-3	UNDERCOUNTER REFRIGERATOR	ATOSA	MGF8403GR	
E-5	REACH-IN FREEZER	ATOSA	MBF8002GR	
E-6	ELECTRIC CONVECTION OVEN	BLODGETT	SHO-100-E DOUBLE	
E-7	DISHWASHER	CMA	UC-50E	
E-8	COOKIE TRAYS	QUARTER SHEET		
E-9	TV SCREEN DISPLAY	NEC Display Solutions	NEC ME431 ME SERIES	INSTALL WITH FLUSH MOUNT BRACKET, PROVIDE BLOCKING
E-10	WARMING CABINET	METRO	C519-CFC-U	
E-11	METAL LOCKER	SALSBURY INDUSTRIES	4 TIER	
E-12	ICE CREAM FREEZER	EXCELLENCE INDUSTRIES	EDC-4HC	
E-13	SCOOPER WELL	CONSERVEWELL	87740	FURNISH BY OWNER, INSTALL BY GC
E-14	TV SCREEN MENU	NEC Display Solutions	NEC ME501 ME	INSTALL WITH FLUSH MOUNT BRACKET, PROVIDE BLOCKING
E-15	BUN RACK			
E-16	WIRE RACK SHELF	24X18		
E-17	PREP TABLE 24X60	REGENCY	24X60	UNDERSHELF
E-18	HEAT LAMP	GLO-RAY	GR5AL-60	
E-19	SPEAKER	SONOS	ONE SL	MICROPHONE FREE SMART SPEAKER - WHITE WITH SANUS ADJUSTABLE SPEAKER WALL MOUNTS DESIGNED FOR SONOS ONE. PLAY: 1 & PLAY: 3 - PAIR WHITE
E-20	GREENGUARD SHELF	Eagle Group		PROVIDE BLOCKING
E-23	CUSTOM NEON	YELLOW POP	LIGHT BLUE COLOR JACK	WALL MOUNTED
E-24	IPAD	APPLE		

PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
PLUMBING					
P-1	DROP IN DUMP SINK	REGENCY	10X14X10		FOH. USE WITH KROWNE 15-325L FAUCET
P-2	3-COMPARTMENT, 18" RIGHT & LEFT DRAINBOARDS, BOWL SIZE 16" X 20" X 14"	REGENCY	600S3162018X		
P-3	HAND SINK WITH SIDE GUARDS	KCS SUPPLY	KCS-HS3		BACK OF HOUSE; USE WITH FAUCET: KROWNE 14-400L
P-4	MOP SINK	REGENCY	20X16		INSTALL WITH KROWNE16-281 FAUCET
P-5	DROP-IN HANDSINK	REGENCY	10X14X10 WITH SPLASHGUARDS		FOH. USE WITH KROWNE 15-325L FAUCET
P-6	DIPPER WELL & FAUCET	KROWNE	16-149		RECESSED IN COUNTER. COORDINATE HOLE LOCATION WITH STONE INSTALLER
WH	ELECTRIC WATER HEATER	BRADFORD WHITE	E32 80R3 40 GAL		SEE EL PL DRAWINGS

FURNITURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
C-4	SHELVING	SHELFOLGY	BENDER FM 1 FLOATING SHELF - 24" WHITE	WHITE GLOSS	PROVIDE BLOCKING
C-5	HOOKS	SHELFOLGY	POPSICLE	WHITE GLOSS	
C-6	PLASTIC LETTERS	WOODLAND MANUFACTURING	"HAVE A GOOEY DAY" X" ACRYLIC LETTERS	WHITE	

EQUIPMENT NOTES:

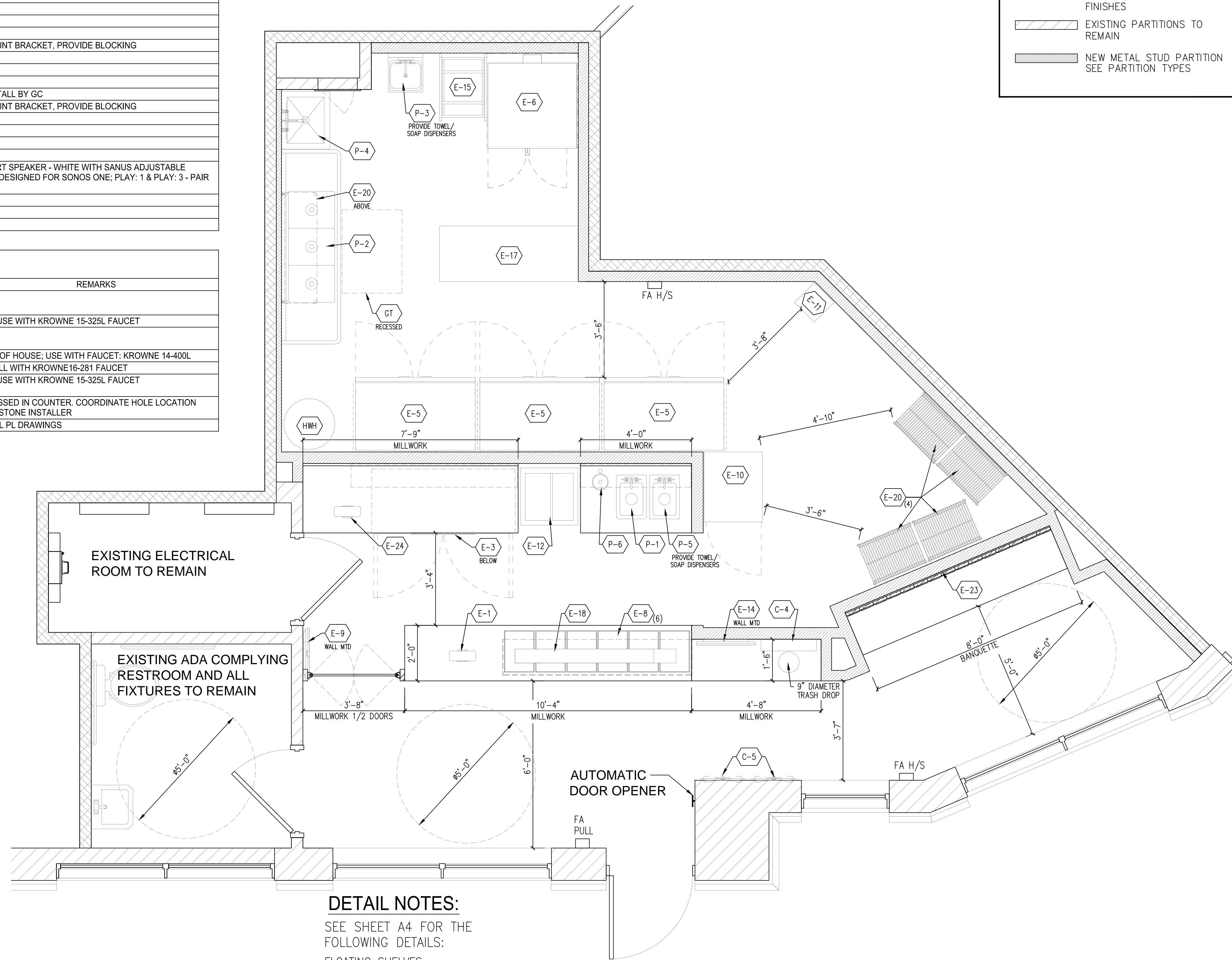
- ALL EQUIPMENT MUST MEET "NATIONAL SANITATION FOUNDATION" STANDARDS FOR CONSTRUCTION AND INSTALLATION CRITERIA.
- THE GC SHALL CLEAN WHERE EQUIPMENT IS TO BE INSTALLED, AT THE START OF INSTALLATION.
- THE GC SHALL BE RESPONSIBLE FOR SECURITY OF EQUIPMENT ON THE JOB SITE.
- THE GC SHALL BE RESPONSIBLE FOR CLEANUP AND DISPOSAL OF DEBRIS AFTER INSTALLATION.
- CONDENSATE FROM REFRIGERATORS (OR FACTORY MOUNTED EVAPORATOR) AND SIMILAR EQUIPMENT SHALL BE DRAINED TO A FLOOR SINK AT 1/4" PER 12" SLOPE WITH A LEGAL AIR GAP.
- MOP SINK SHALL BE PROVIDED WITH HOT (120 DEGREE MINIMUM) AND COLD WATER THROUGH A MIXING FAUCET WITH AN APPROVED BACK FLOW PREVENTION DEVICE.
- ALL SINKS, LAVATORIES, AND HAND SINKS SHALL HAVE COMBINATION FAUCETS OR PREMIXING FAUCETS WITH HOT (120 DEGREE MINIMUM) AND COLD WATER UNDER PRESSURE.
- ALL CURB MOUNTED EQUIPMENT SHALL BE SEALED TO THE WALL AND CURB ON APPROVED MANNER. BUILDING SHALL BE FULL ENCLOSED AND RODENT PROOF.
- ALL WALLS AND CEILINGS IN THE FOOD PREPARATION AND STORAGE AREAS SHALL BE SMOOTH, DURABLE, AND NON-ABSORBENT.
- ALL EQUIPMENT AND COUNTERS SHALL BE SUPPORTED BY STAINLESS STEEL ROUND, 6" HIGH METAL LEGS OR CASTERS.
- CONTRACTOR TO INSTALL THE FOLLOWING ITEMS FURNISHED BY TENANT:
 - INTERIOR SIGN PACKAGE, CUP DISPENSERS, MOP RACK, AND WASTE CONTAINER
- EMPLOYEE WORK AREAS SHALL BE PROVIDED WITH MAIN AISLE NOT LESS THAN 36" IN CLEAR WIDTH, G.C. TO COORDINATE AND PROVIDE ALL BLOCKING FOR EQUIPMENT, MILLWORK, AND FIXTURES. REFER TO INTERIOR ELEVATIONS FOR BLOCKING LOCATIONS.
- ALL MOUNTING HEIGHTS SHALL COMPLY WITH ALL LOCAL AND STATE ACCESSIBILITY AND BUILDING CODE REQUIREMENTS.
- THE GC SHALL INSTALL ALL SOAP AND PAPER TOWEL DISPENSERS, AS FOLLOWS: SOAP DISPENSERS SHALL BE LOCATED DIRECTLY OVER THE SINK AND PAPER TOWEL DISPENSERS SHALL BE LOCATED TO THE RIGHT SIDE OF THE SINK, WITHIN REACHING DISTANCE, BUT NOT DIRECTLY OVER THE SINK. REFER TO THE ENLARGED RESTROOM PLAN FOR RESTROOM FIXTURES / EQUIPMENT.

DETAIL NOTES:

- SEE SHEET A4 FOR THE FOLLOWING DETAILS:
- FLOATING SHELVES
 - SNEEZE GUARD
 - RECESSED MONITOR

LEGEND:

- EXISTING PERIMETER WALLS
- MAINTAIN EXISTING 1 HOUR DEMISING WALL RATING
- PATCH AND REPAIR AS REQUIRED TO RECEIVE NEW FINISHES
- EXISTING PARTITIONS TO REMAIN
- NEW METAL STUD PARTITION
- SEE PARTITION TYPES



EQUIPMENT FLOOR PLAN

SCALE: 1/2" = 1'-0"

SCALE :



CLIENT INFORMATION:
CHIP CITY
 278 7TH AVE, NEW YORK, NY 10001
CLIENT CONTACT:
 NICHOLAOS MOSHOPOULOS
 10-15 MALBA DRIVE
 WHITESTONE, NY 11357
 EMAIL: niko@chipcitycookies.com
 TEL: 646-529-8885

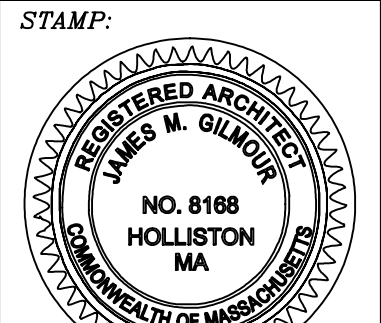
DESIGN CONSULTANT:
dpb
 DESIGN SERVICES
 100 SOUTH ROAD
 ANDOVER, MA 01810
 508-880-8460
 DPBCADD@AOL.COM

ARCHITECT:
JGA
 JAMES GILMOUR
 ARCHITECTURE
 200 WINTER STREET
 HOLLISTON, MA 01746
 (7508.380.3105)

MEP ENGINEER:
MGE
 MG Engineering D.P.C. /
 we engineer success
 116 West 32nd Street, 12th Floor,
 New York, N.Y. 10001
 P 212.643.9055 www.mgepc.net

PROJECT NAME:
**CHIP CITY
 TENANT FIT-UP**

PROJECT LOCATION:
 HARVARD SQUARE
 ONE BRATTLE SQUARE
 SUITE 104, SPACE 3A
 CAMBRIDGE, MA 02138



James M. Gilmour

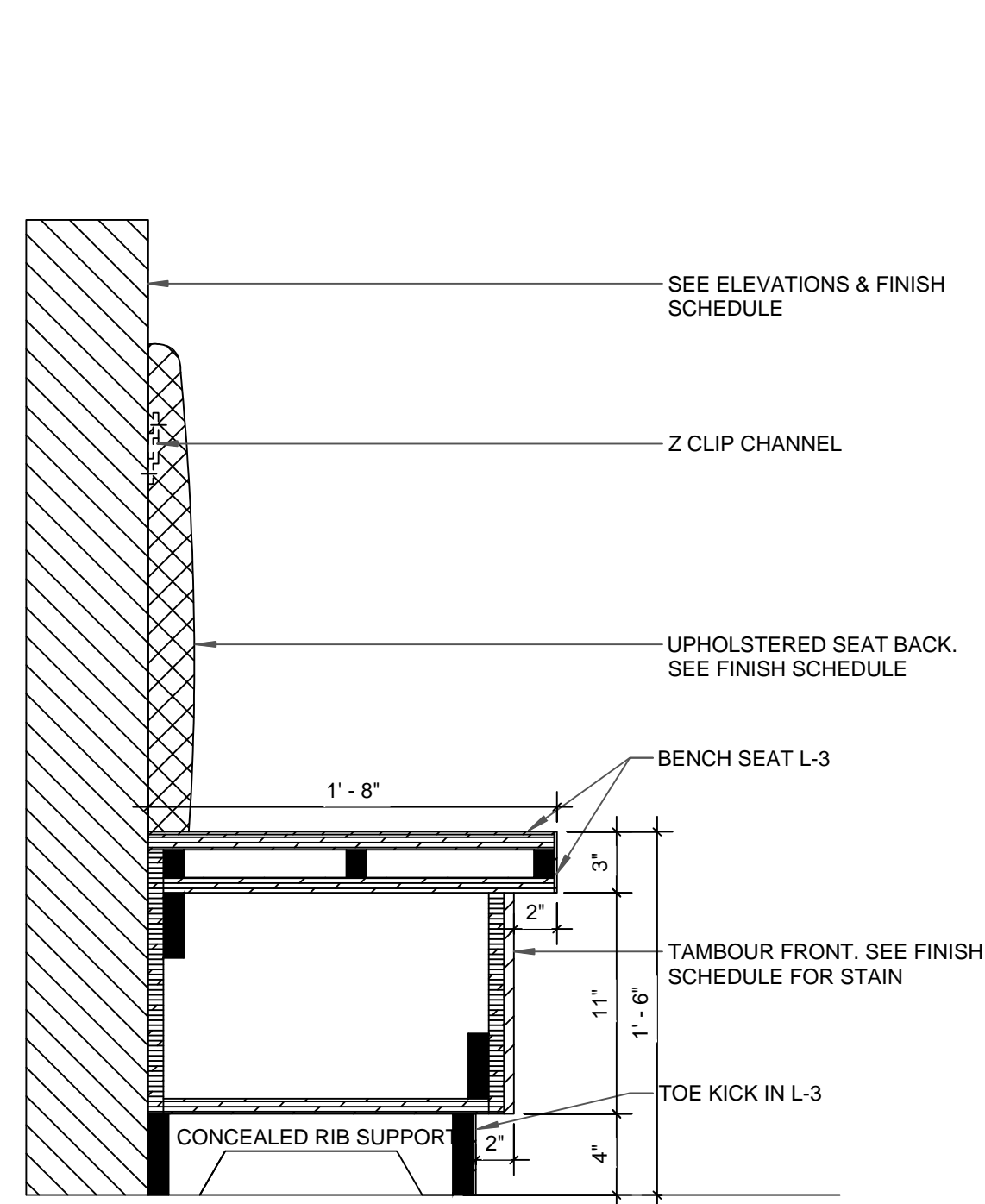
Drawn by:	M.C.	Date:	12-08-23
Checked by:	DPB	Revision:	
No.:		Permit Documents:	12-08-23
		Architectural Completed:	11-08-23
		Drawings to Engineer:	10-24-23

SHEET TITLE:
 EQUIPMENT FLOOR PLAN

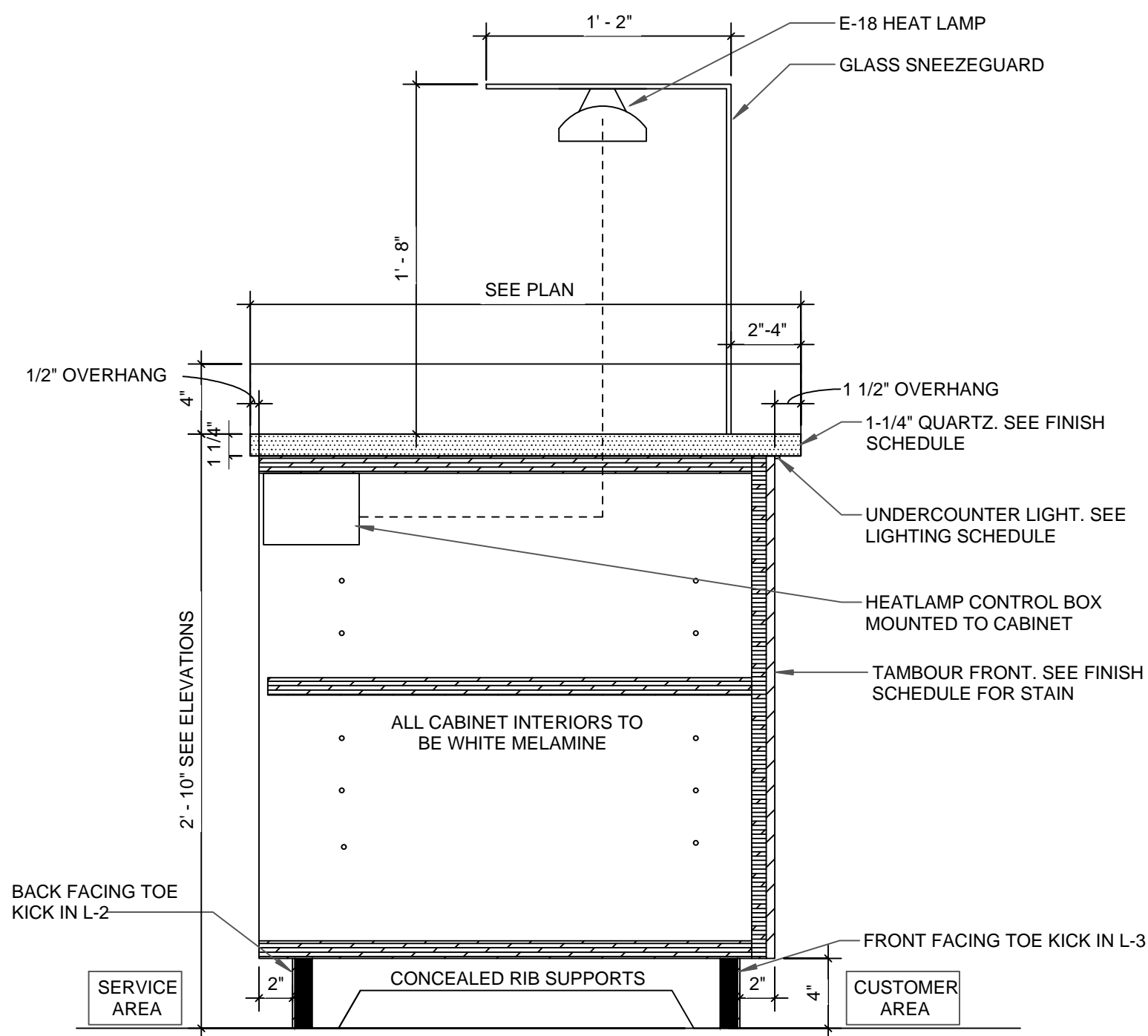
SHEET NO.
 8 of 9

SHEET NO.
 EQ1

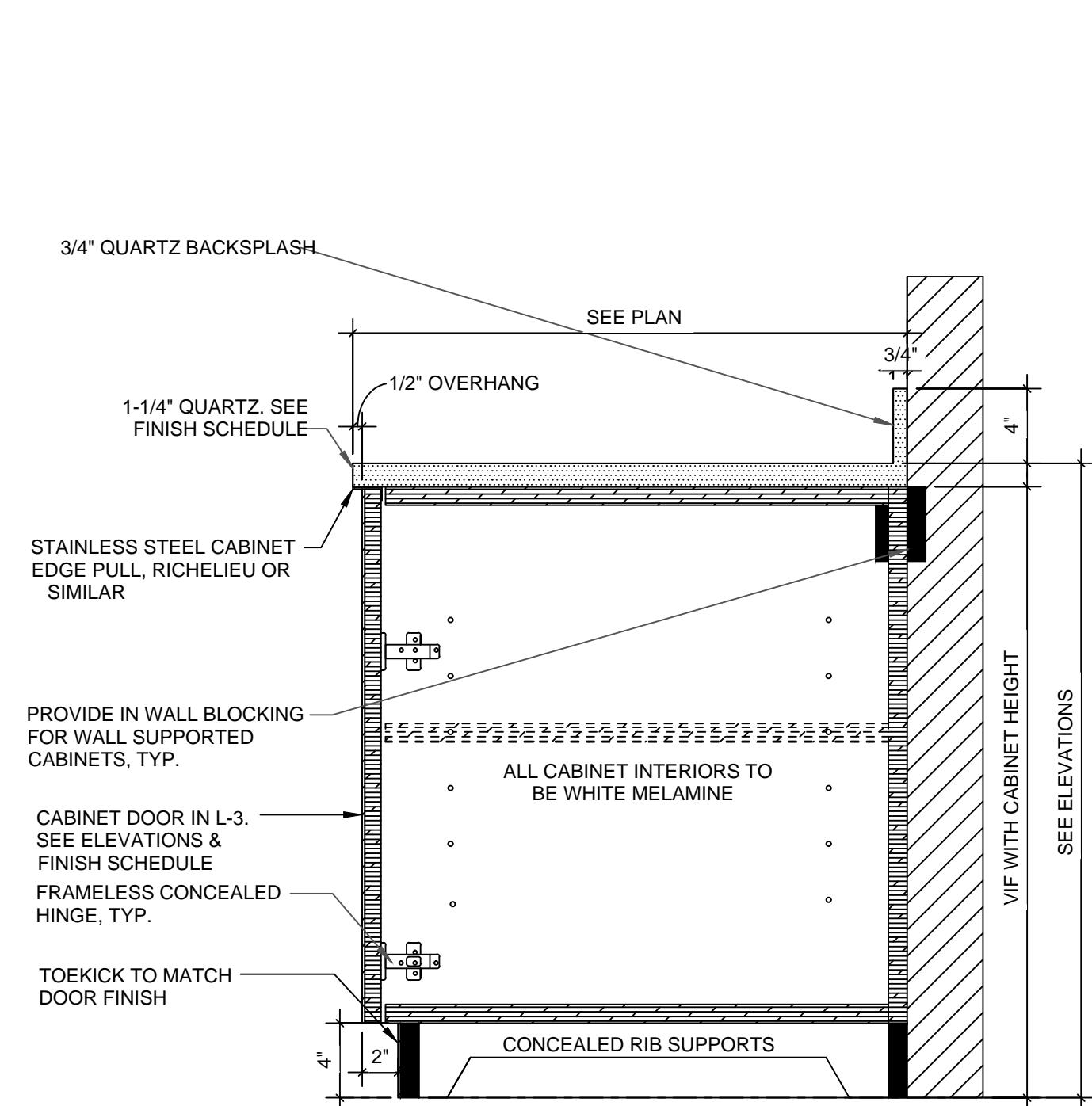
CHIP CITY
 CAMBRIDGE, MA



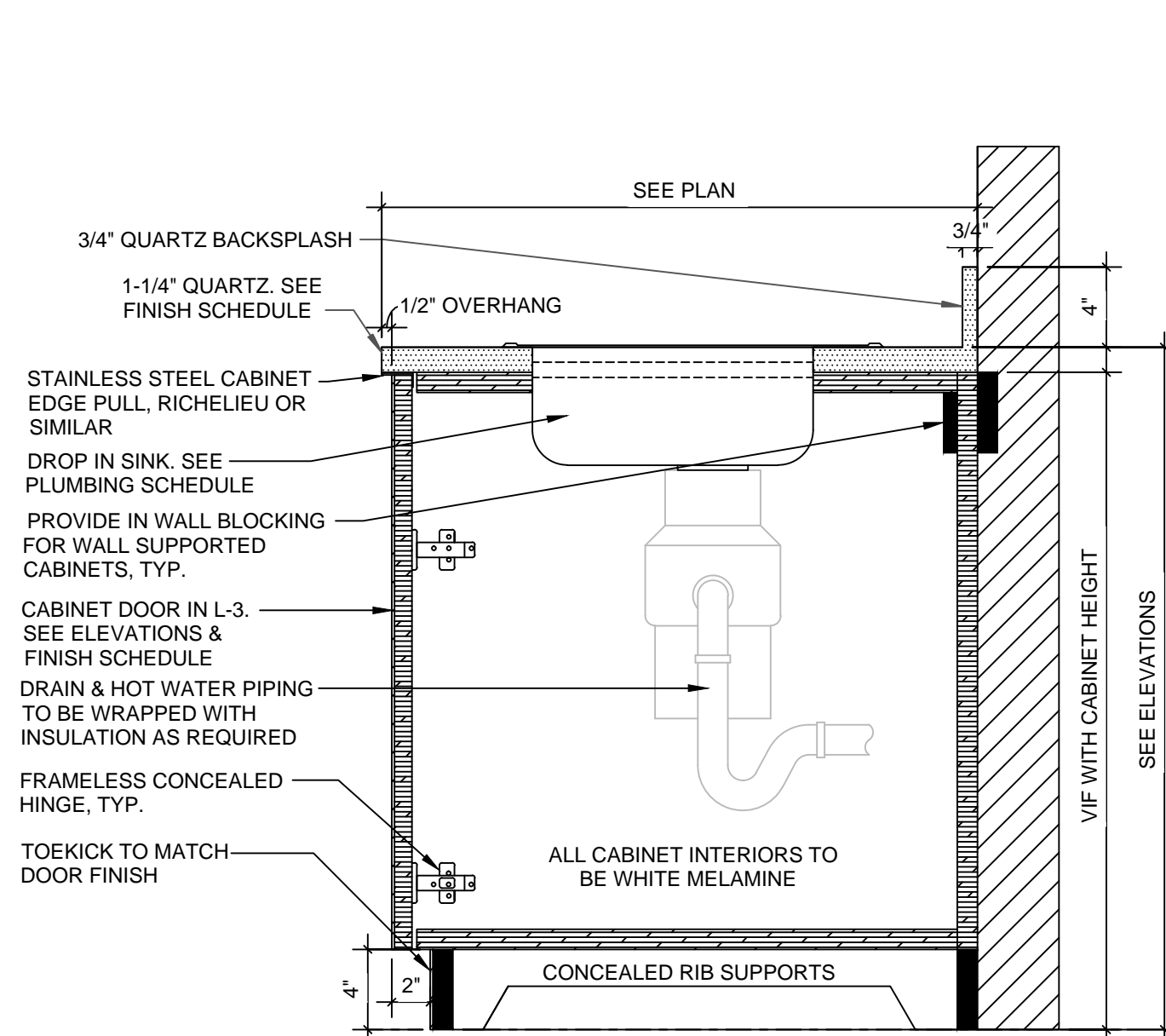
SECTION 10
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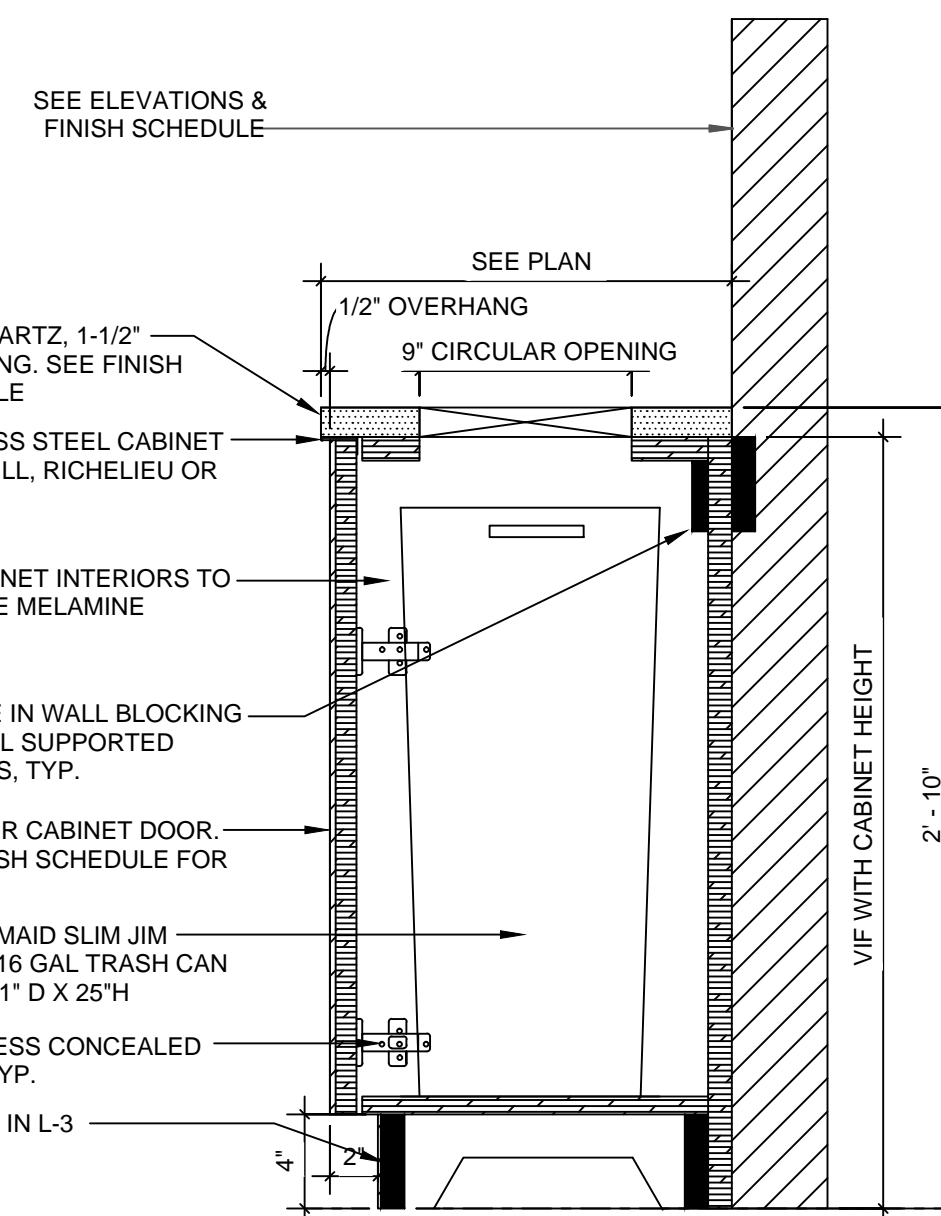
SECTION 11
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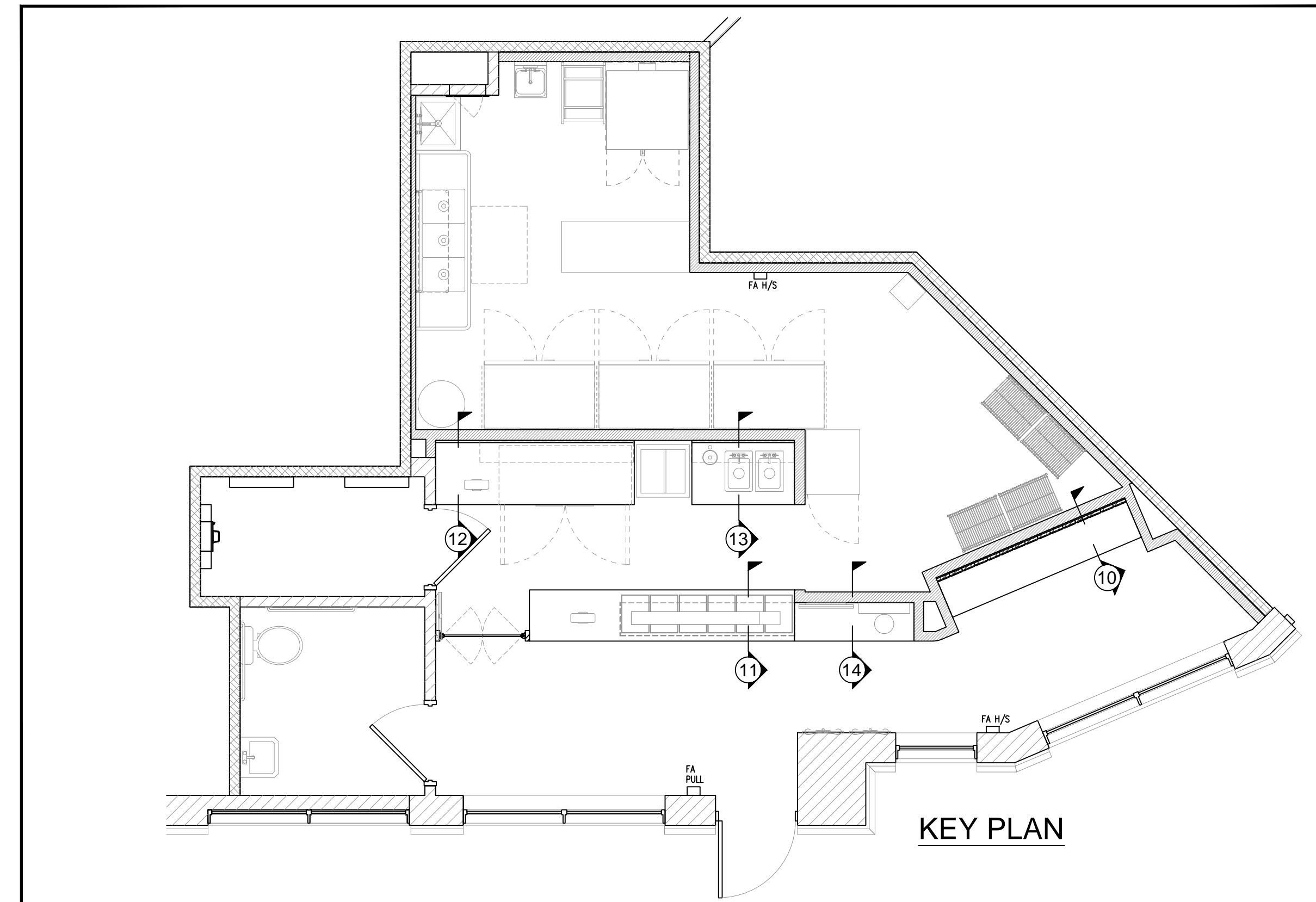
SECTION 12
SCALE: 1-1/2" = 1'-0"



SECTION 13
SCALE: 1-1/2" = 1'-0"



SECTION 14
SCALE: 1-1/2" = 1'-0"



FINISH SCHEDULE							
FINISH TYPE	MATERIAL #	MANUFACTURER	NAME/COLOR	SIZE	CONTACT	DESCRIPTION	NOTES
FIBERGLASS REINFORCED PANEL							
FRP	01	STABILIT OR EQ.	GLASLINER WHITE	4'X8'	TBD	TYPICAL CEILINGS THROUGHOUT	
FLOOR							
FL	01	KAREN PEARSE	PORTAL IVORY	24"		FOH TILE	ALMOND GROUT
FL	02	DALTILE	QUARRY TILE ARID GRAY	6"		BOH TILE	FROSTY GROUT
MILLWORK							
LT	02	FORMICA	WHITE 949-58			LAMINATE	
LT	03	FORMICA	NATURAL MAPLE 756-58			LAMINATE	
MW	01	OUTWATER INDUSTRIES	PROFILE 383			TAMBOUR	MAPLE MAPLE STAIN TO MATCH LT-03
PAINT							
P	01	BENJAMIN MOORE	SERENITY 2055-60/EGGSHELL		TBD	TYPICAL WALLS THROUGHOUT	
P	02	BENJAMIN MOORE	INNOCENCE 2055-70/EGGSHELL		TBD	ACCENT PAINT	
P	03	BENJAMIN MOORE	WHITE DOVE/EGGSHELL		TBD	BOH PAINT	
P	04	BENJAMIN MOORE	WHITE/ MATTE		TBD	TYPICAL CEILINGS THROUGHOUT	
SOLID SURFACE							
SS	01	CITI QUARTZ	HAMPTON		TBD		
UPHOLSTERY							
UPH	01	DESIGNTEX	PALE AQUA 3403-408			VINYL FABRIC	
WALL BASE							
WB	01	TBD	MATCH WALL/ SEMIGLOSS			4" MDF WALL BASE	
WB	02	TBD	GREY OR WHITE			4" VINYL WALL BASE	
WALL TILE							
WT	01	C TO C TILE	WHITE GLOSS/ LA GRAZIA	3'X12" ROUNDED		VERTICAL BRICK	MATCH P-2 COLOR GROUT 360 SANDED



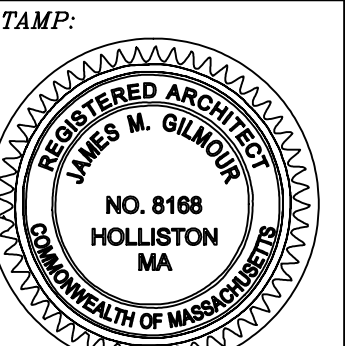
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PROJECT NAME:
CHIP CITY TENANT FIT-UP
PROJECT LOCATION:
HARVARD SQUARE ONE BRATTLE SQUARE SUITE 104, SPACE 3A CAMBRIDGE, MA 02138



James M. Gilmour


Checked by:	Date:
DPB	12-08-23
Revision:	
Drawn by:	Date:
M.C.	12-08-23
No.	11-08-23
	10-24-23

SHEET TITLE:
MILLWORK DETAILS
SHEET NO.
9 of 9
SHEET NO.
EQ2
CHIP CITY
CAMBRIDGE, MA

PROJECT INFORMATION

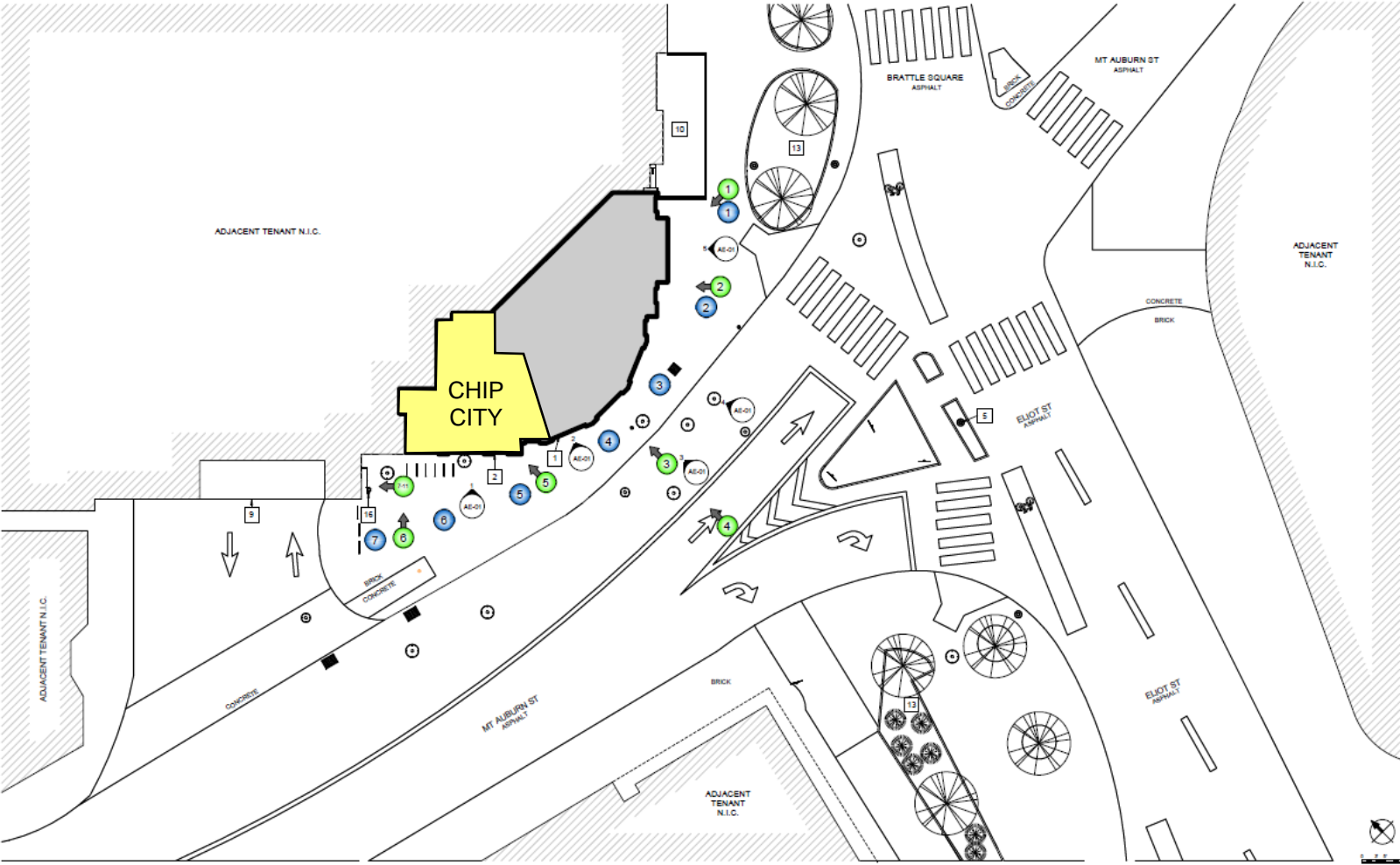
ARCHITECTURAL PLANS

360 BUBBLE PHOTO BUBBLE



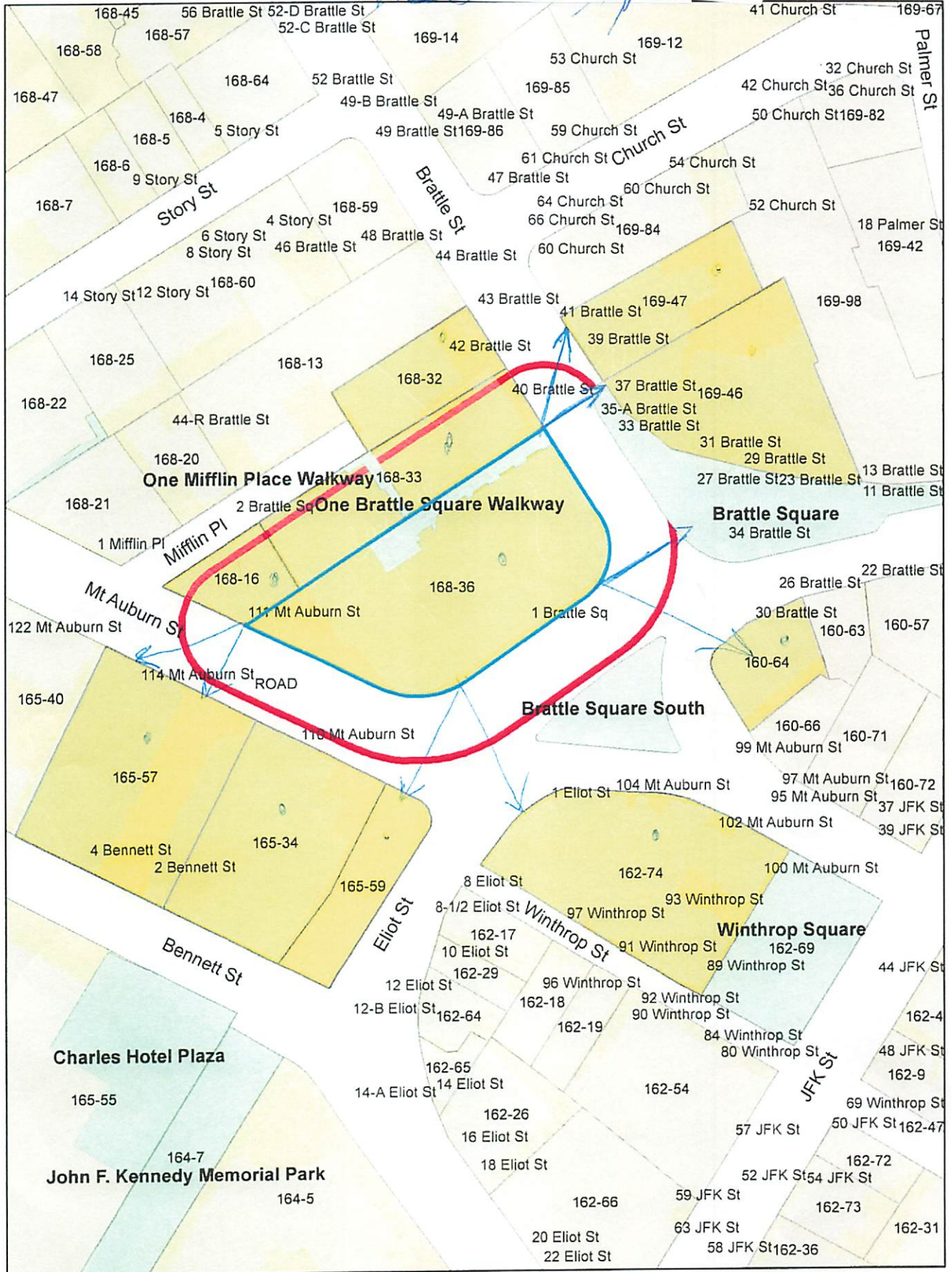
The legend shows a blue circle with the number '1' labeled '360 BUBBLE' and a green circle with the number '1' labeled 'PHOTO BUBBLE'. A hand icon with a pointing finger is positioned between the two circles, indicating that clicking on either symbol will open a corresponding image.

YOU MAY CLICK ON THESE SYMBOLS AND THE 360 DEGREE IMAGE, OR HD PHOTO WILL OPEN THROUGH YOUR WEB BROWSER



SITE PLAN

1 Brattle Square



1 Brattle Square

Petitimer

168-33
BRATTLE SQUARE ASSOCIATES
C/O BRATTLE SQUARE MANAGEMENT CORP
P.O. BOX 380828
CAMBRIDGE, MA 02238

168-33
COHEN, SAUL B. & MARC E. GOLDBERG
TRS. OF HARVARD YEARBOOK REALTY TRUST
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

CHIP CITY COOKIES
C/O NICHOLAOS MOSHOPOULOS
15-32 127TH STREET
COLLEGE POINT, NY 11356

168-16
TARRAGON, LLC
1188 CENTRE STREET
NEWTON, MA 02459

168-33
B & J BRATTLE REALTY, LLC.
2 BRATTLE SQ
CAMBRIDGE, MA 02138

DAVE TINNERY
200 STATE STREET – 5TH FLOOR
BOSTON, MA 02109

168-33
UNION OF CONCERNED SCIENTISTS, INC.
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

168-33
GRESS, WILLIAM E.,
TR OF TWO BRATTLE SQUARE TR. C/O BRATTLE
WALK INC HAMMOND PRP MGMT INC
TWO BRATTLE SQUARE
CAMBRIDGE, MA 02138

169-46-47
AP BRATTLE SQUARE, LP
C/O ASANA PARTNERS, LP
1616 CAMDEN RD SUITE 210
CHARLOTTE, NC 28203

168-33
UNION OF CONCERNED SCIENTISTS, INC.
40C BRATTLE STREET UNIT 1/4
CAMBRIDGE, MA 02138

168-32
CAMBRIDGE CENTER FOR ADULT
EDUCATION
P.O. BOX 9113
CAMBRIDGE, MA 02238-9113

162-74
ELIOT SQUARE ENTERPRISES INC.,
TR. ELIOT SQUARE ENTERPRISES TRUST
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

162-74
JUNIPER ENTERPRISES LIMITED
PARTNERSHIP
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

162-74
LAURELWOOD, LLC
1188 CENTRE ST.
NEWTON, MA 02458

165-57
CONDUCTOR'S BUILDING LLC
20 UNIVERSITY RD.
CAMBRIDGE, MA 02138

162-74
KOAWOOD LLC
PO BOX 590179
NEWTON, MA 02459

162-74
BORDEN, PHILIP A. & CATHERINE J. TURCO
95 WINTHROP ST UNIT WSR7
CAMBRIDGE, MA 02138

165-34
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE INC.
HOLYOKE CENTER ROOM 1017
1350 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138-3895

162-74
DF CAMBRIDGE HOLDINGS, LLC
55 HUDSON YARDS FL 29
NEW YORK, NY 10001

162-74
BALL, VALERIE & ROBERT BRAUNS
93 WINTHROP ST - UNIT WSR 5B
CAMBRIDGE, MA 02138

162-74
HUEBNER, ALEXANDRA
93 WINTHROP ST UNIT 5A
CAMBRIDGE, MA 02138

160-64
HADLEY, LILLIAN H.,
HARRY LEBARON SAMPSON, TR.
C/O THOMAS HADLEY TRUST
411 WALNUT ST PMB 17806
GREEN COVE SPRINGS, FL 32043

162-74
BORDEN, PHILIP A. CATHERINE J. TURCO
93 WINTHROP STREET, UNIT WSR 5C
CAMBRIDGE, MA 02138

165-59
COMMONWEALTH OF MASSACHUSETTS
20 SOMERSET STREET
BOSTON, MA 02108

168-36
BCSP 9 OBS PROPERTY LLC
200 STATE ST
BOSTON, MA 02109



CITY OF CAMBRIDGE
Community Development Department

IRAM FAROOQ
Assistant City Manager for
Community Development

SANDRA CLARKE
Deputy Director
Chief of Administration

To: Board of Zoning Appeal
From: Harvard Square Advisory Committee
Date: May 15, 2024
Re: **1 Brattle Square (Chip City)**

Overview

The Harvard Square Advisory Committee (the "Committee") met on Wednesday, May 15, 2024 to discuss a special permit application for Chip City locations at 1 Brattle Square. The meeting was conducted pursuant to the provisions of Section 20.50 of the Cambridge Zoning Ordinance in advance of the applicant's request for a special permit from the Board of Zoning Appeal (BZA). Committee members present were Allison Crosbie, John DiGiovanni, Frank Kramer, Kari Kuelzer, Alexandra Offiong, and Matt Simitis (Chair). Absent was Lauren Curry, Jemel Derbali, Steven Ng, and Nicola Williams. After discussion, John DiGiovanni moved and Alexandra Offiong seconded the motion to forward a report to the BZA with a positive recommendation. Six (6) members present voting in favor and none (0) against.

Proposal Description

The Applicant is proposing a formula business quick service food establishment in an approximately 715 square foot retail space on the ground floor of the 1 Brattle Square building in Harvard Square. The business is expected to sell baked goods, as well as ice cream and beverages. Fast Order/Quick-Service Food Establishments in the Harvard Square Overlay District require a special permit from the Board of Zoning Appeal (BZA) if they are considered a Formula Business. Chip City is a nationwide chain with approximately 38 locations that qualifies as a Formula Business. In considering applications for Special Permits for Fast Order or Quick-Service Food Establishments, the BZA shall find that in addition to other criteria specified in Zoning Section 10.40, that the requirements of Section 11.31(a)-(g) are also met. HSAC has reviewed the application and prepared this recommendation to be submitted to the BZA

Public Comments

No public comment.

Committee Comments

The Committee voted to recommend that the application be approved by the BZA and to transmit the below summary of comments:

- Alexandra Offiong –
 - Why is this applicant before HSAC? Is it just to be able to serve ice cream and drinks? Staff confirmed that because these new menu items would result in a different use classification a special permit was required.
- John DiGiovanni –

- Expressed frustration with the amount of time spent reviewing quick service formula businesses in Harvard Square.
- Supportive of the applicant providing outdoor seating in front of the business. The applicant likes the idea of outdoor seating and noted indoor seating space available at an inside banquet.
- Supportive of the applicant remaining open for as many hours as feasible and maintaining a lit store front during off hours to support street activity. The applicant initially plans to close around 10pm. Depending on the area and activity on the street, there might be interest in staying open until 11pm or midnight.

Recommendation

Members of the Committee were supportive of the applicant's proposal.

Respectfully submitted for the Committee,



Mason Wells
Community Development Department



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

3 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Soto Varocentoy Date: 7/10/24
(Print)

Address: 1 Brattle Square

Case No. BZA-261307

Hearing Date: 7/25/24

Thank you,
Bza Members