



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 AUG 29 PM 12:19

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 188958

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal: _____

PETITIONER: Lin Lin C/O Joseph Luna, AIA - Luna Design Group: Project Architect

PETITIONER'S ADDRESS: 100 Conifer Hill Drive , Danvers, MA 01923

LOCATION OF PROPERTY: 24 Union St., Cambridge, MA

TYPE OF OCCUPANCY: Multi-Family Townhouse ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Additions/ /Parking/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To convert the existing hip roof into a gable roof with dormers and windows on all four sides. To park within the front yard setback.

Special Permit: To create 2 curb cuts.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 6.000 Section: 6.43 (Curb Cuts).
- Article: 6.000 Section: 6.44.1.c (Front Yard Parking).
- Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
- Article: 10.000 Section: 10.30 (Variance) & Sec. 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

JOSEPH LUNA, RA for LL

(Print Name)

Lin Lin

100 CONIFER HILL DR #406
DANVERS, MA 01923

Address:

Tel. No.

E-Mail Address:

781-245-6530 ext. 14

jluna@lunadesign.com

STATE OF TEXAS
COUNTY OF [illegible]

[Faint, mostly illegible text, possibly a title or introductory paragraph]

[Faint, mostly illegible text, possibly the main body of a document]

[Handwritten signature]

22
[Handwritten notes and possibly a date]

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lin Lin (OWNER)

Address: 24 Union street Cambridge MA 02141

State that I/We own the property located at 24 Union street Cambridge MA 02141 which is the subject of this zoning application.

The record title of this property is in the name of Lin Lin

*Pursuant to a deed of duly recorded in the date August 8, Middlesex South County Registry of Deeds at Book 80097, Page 530; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

[Signature] 8/8 2022
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

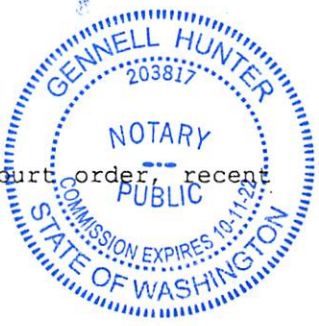
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Washington ~~Massachusetts~~, County of King

The above-name Lin Lin personally appeared before me, this 8 of August, 2022, and made oath that the above statement is true.

[Signature] Notary
My commission expires October 11, 2022 (Notary Seal).

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The appellant is trying to improve and enhance an existing dilapidated property by providing more interior offerings within the existing building footprint. To achieve this, the appellant is requesting zoning relief to build over the existing single floor building elements, and to completely rebuild the roof as necessary to gain more unit area. The existing building is nonconforming to current zoning bylaws and literal enforcement of the requested relief would preclude the appellant from making these improvements. To make the such a substantial investement into the property without the requested additional area would be a financial hardship for the appellant.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The appellant is renovating and adding to an existing nonconforming structure, The proposed addition does not add to the building footprint. The inability to conform to current zoning bylaws is due to the hardship of the existing site shape and building footprint.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

There is no substantial detriment to the public because:
There is no increase in building size/density.
This is a continuation of a preexisting permitted use.
There is no increase in the building footprint.
There is no increase in the building height/stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Additional off-street parking will be provided where there is none.
The building will be fully sprinklered as part of these improvements which is a significant lifesafety improvement to the neighborhood as a whole.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

There is no nullifying or substantially derogating from the intent frm the intent or purpose of this Ordinance because:
The addition and subsequent area increase are within the existing building footprint.
There is no increase in the building size/ density
This a continuation of a preexisting permitted use.
There is no increase in building height/ stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Hardship is due to existing site and building shape.

Attachment to ZBA Application

24 Union Street, Cambridge MA
BZA Number 18858
August 25, 2022

Special Permit: To create 2 curb cuts.

Brief description of work that requires Special Permit relief?

Per the City of Cambridge Zoning Ordinances:

6.43.3.C *No more than one curb cut per lot for lots with less than one hundred (100) feet of frontage shall be allowed. A maximum of one curb cut for every one hundred (100) feet of street frontage or portion thereof shall be allowed for lots having frontage in excess of one hundred feet.*

6.43.5 *The Board of Zoning Appeal may grant a special permit modifying the provisions of this subsections 6.43 in accordance with the following conditions:*

c) The maximum of one curb cut for every one hundred (100) feet of street frontage as required in paragraph 6.43.3 (c) may be modified if the Board determines that traffic and safety would be facilitated by exceeding this maximum.

There is currently no off-street parking available and no room for a perpendicular driveway to the rear yard. To provide a minimum of two off street parking stalls, the applicant is proposing two tandem parking stalls parallel to the front property line and the primary structure. Two curb cuts are necessary to provide access to these stalls. Frontage is less than 100 feet requiring a Special Permit for this work.

Requirements of the Ordinance can or will be met for the following reasons:

The existing front/ street property line is 66.5 feet. Per the City of Cambridge Zoning Ordinances, The two curb cuts provides access to two off-street parking spaces currently not available. The distance between the two curbs is also adequate to provide two on-street parking spaces for a net increase of one parking space. The applicant believes that traffic and safety are not compromised as a result of the additional curb cut.

Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

See notations above.

The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The additional curb cut increases the amount of available on and off-street parking then the existing site condition and does not adversely affect the use of the existing and adjacent uses.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

See notations above.

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

See notations above.

Date: _____

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

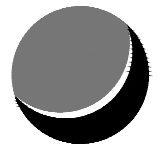
Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4129	7242	4745	(max.)
<u>LOT AREA:</u>		6327	6327 No Change	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		4129	7242	4745	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2109	2109	1500	
<u>SIZE OF LOT:</u>	WIDTH	66.5	No Change	50	
	DEPTH	N/A	No Change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	23.15	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
<u>SIZE OF BUILDING:</u>	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		2827	2973	1898	
<u>NO. OF DWELLING UNITS:</u>		3	3	3	
<u>NO. OF PARKING SPACES:</u>		0	2 tandem	3	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

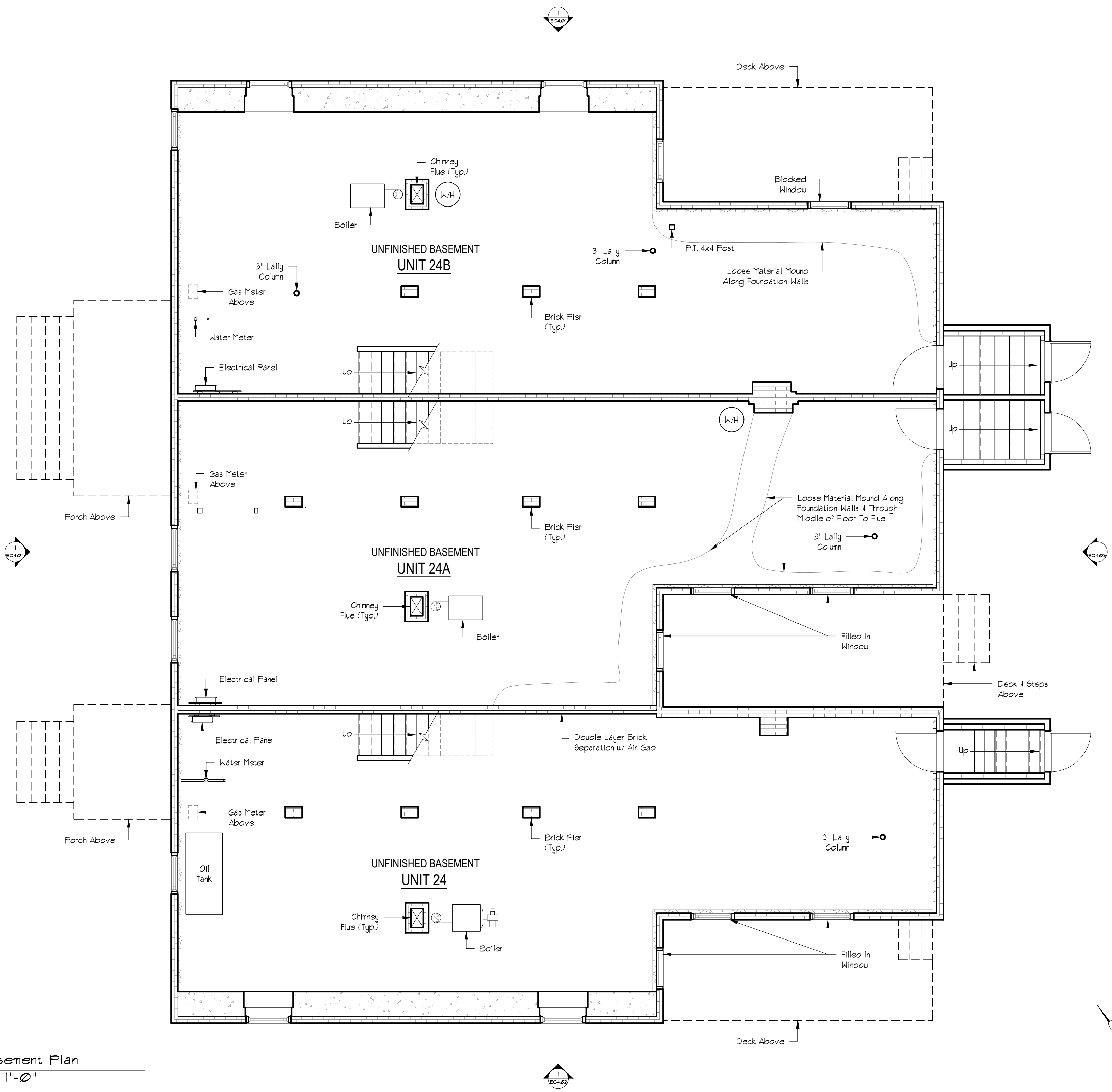
Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

**Existing
Basement Plan**

Sheet Number:

EC1.00



1 Existing Basement Plan
Scale: 1/4" = 1'-0"



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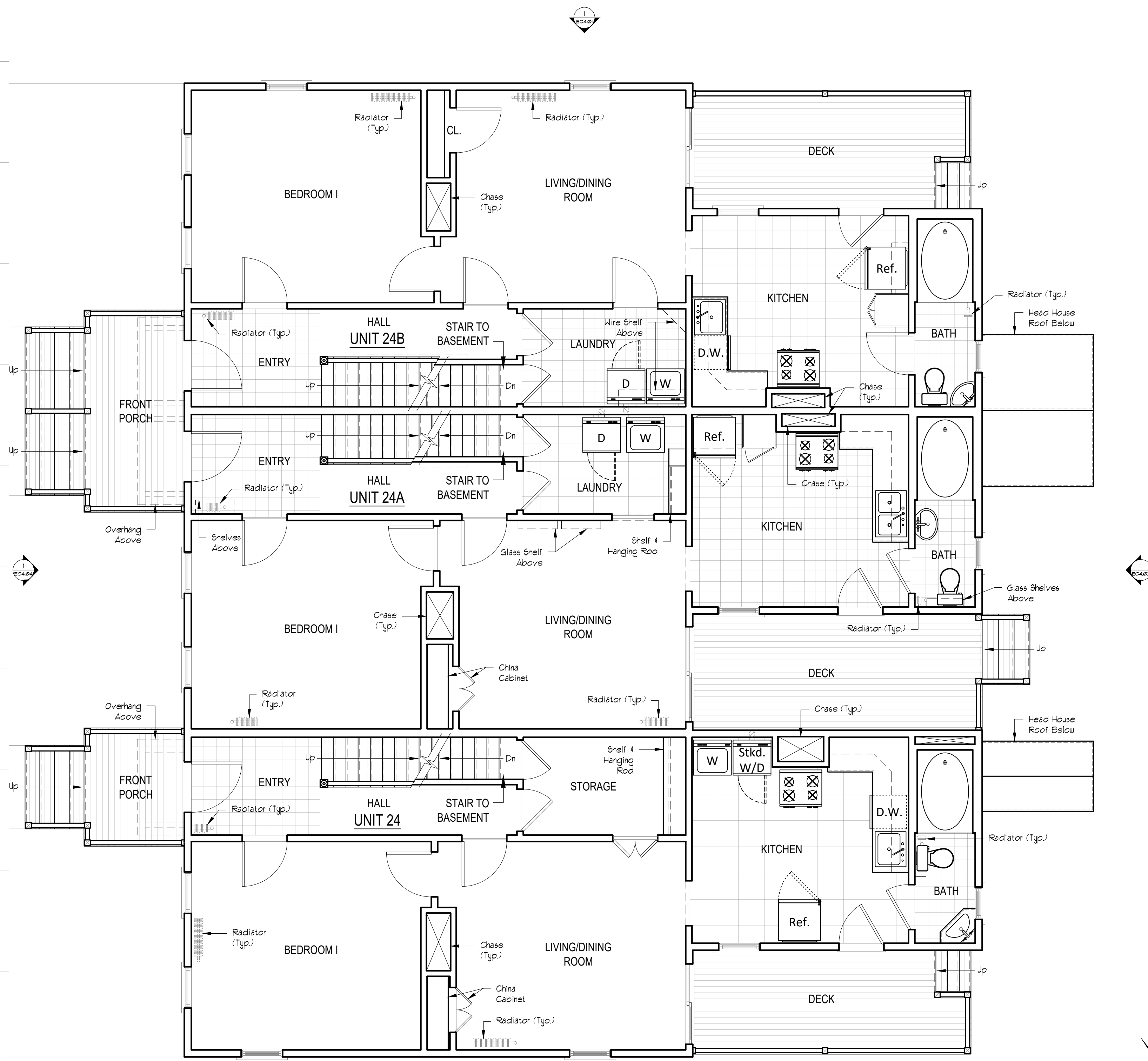
Date
 JULY 22, 2022
 Scale
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 Job No.
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 File
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Sheet Title:

**Existing First
 Floor Plan**

Sheet Number:

EC1.01



1 Existing First Floor Plan
 Scale: 1/4" = 1'-0"



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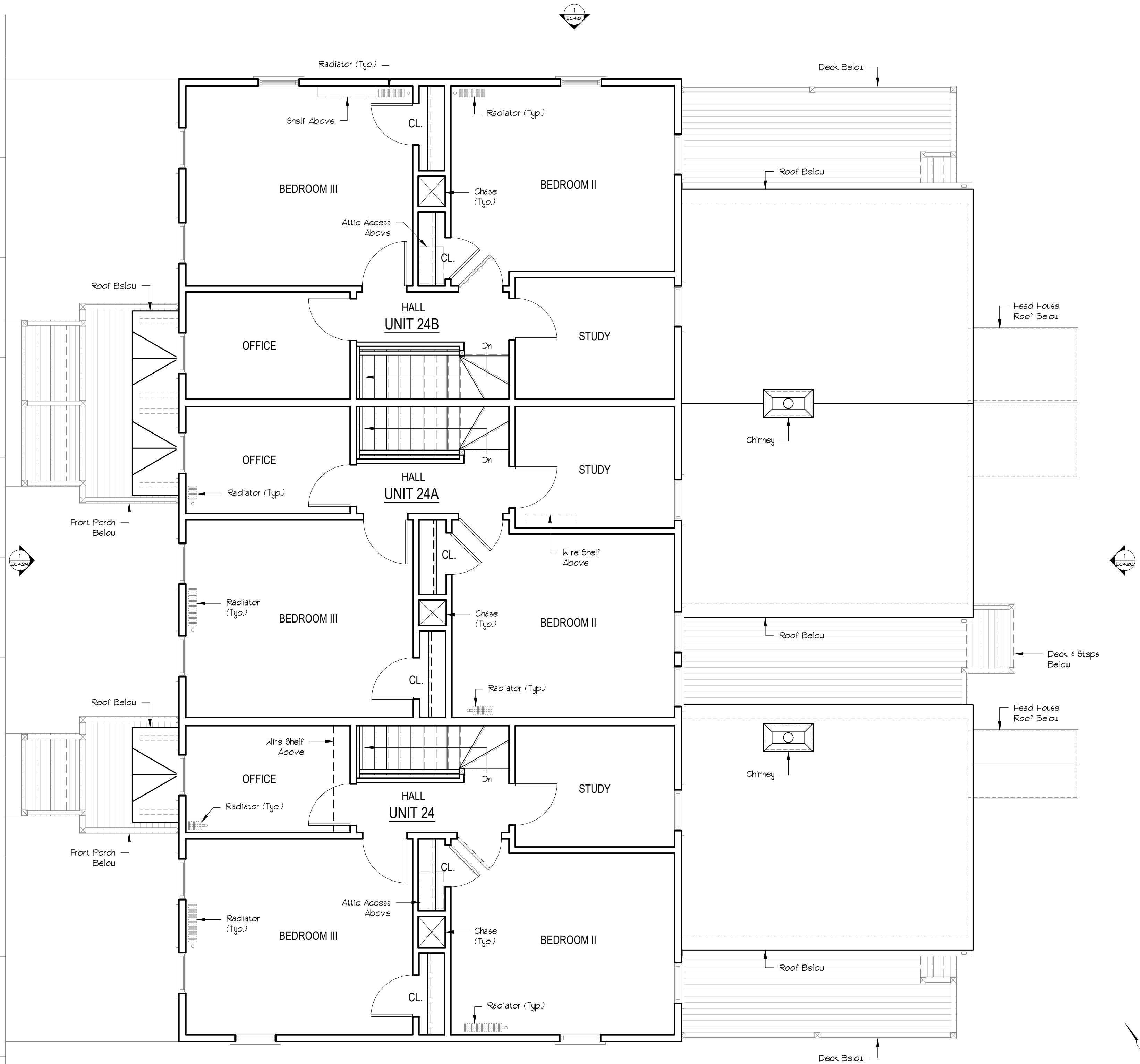
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Existing Second
 Floor Plan**

Sheet Number:
EC1.02



1 Existing Second Floor Plan
 Scale: 1/4" = 1'-0"

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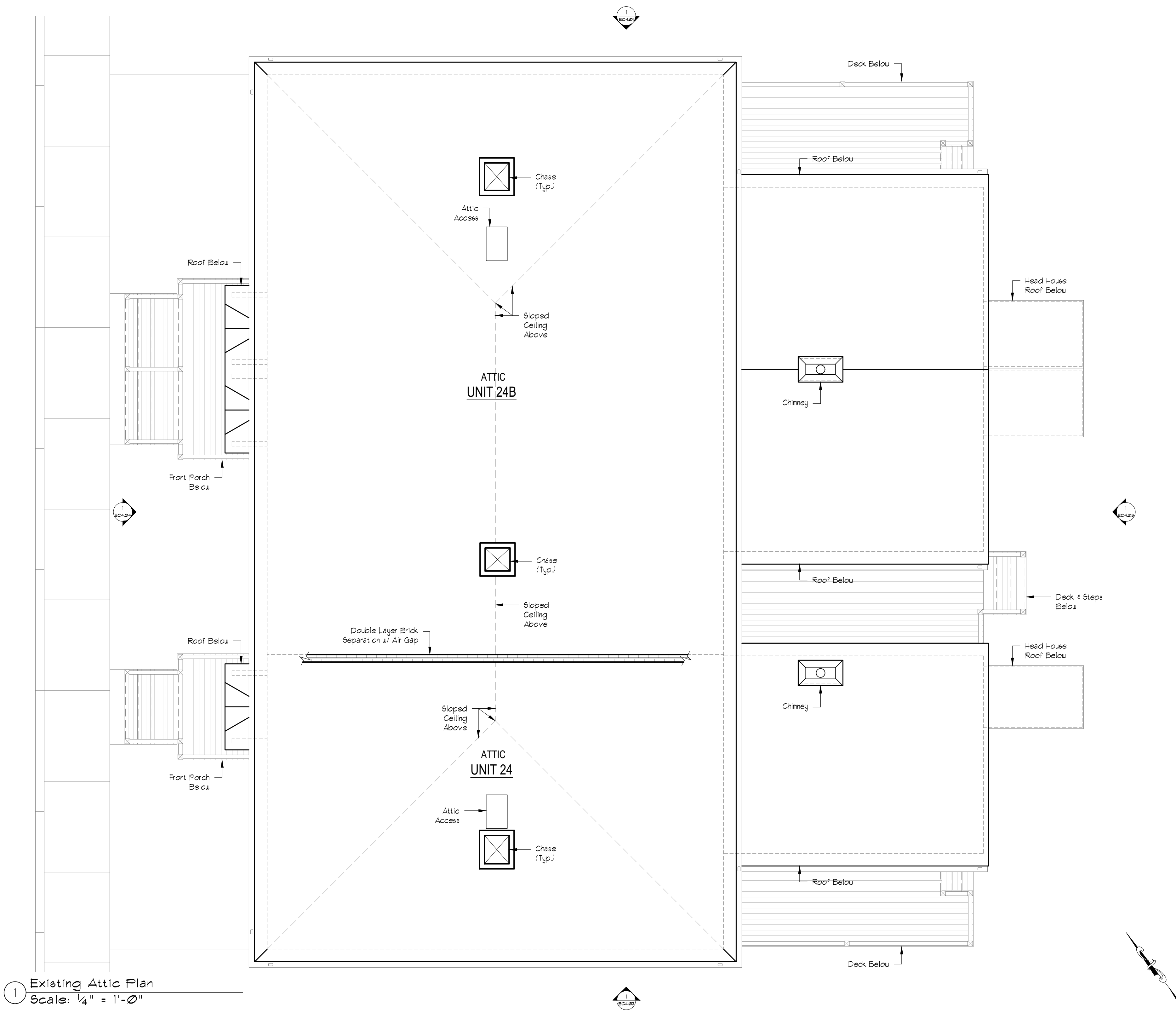
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing
 Attic Plan**

Sheet Number:
EC1.03



 Existing Attic Plan
 Scale: 1/4" = 1'-0"



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2	7.22.22	Proposed Addition

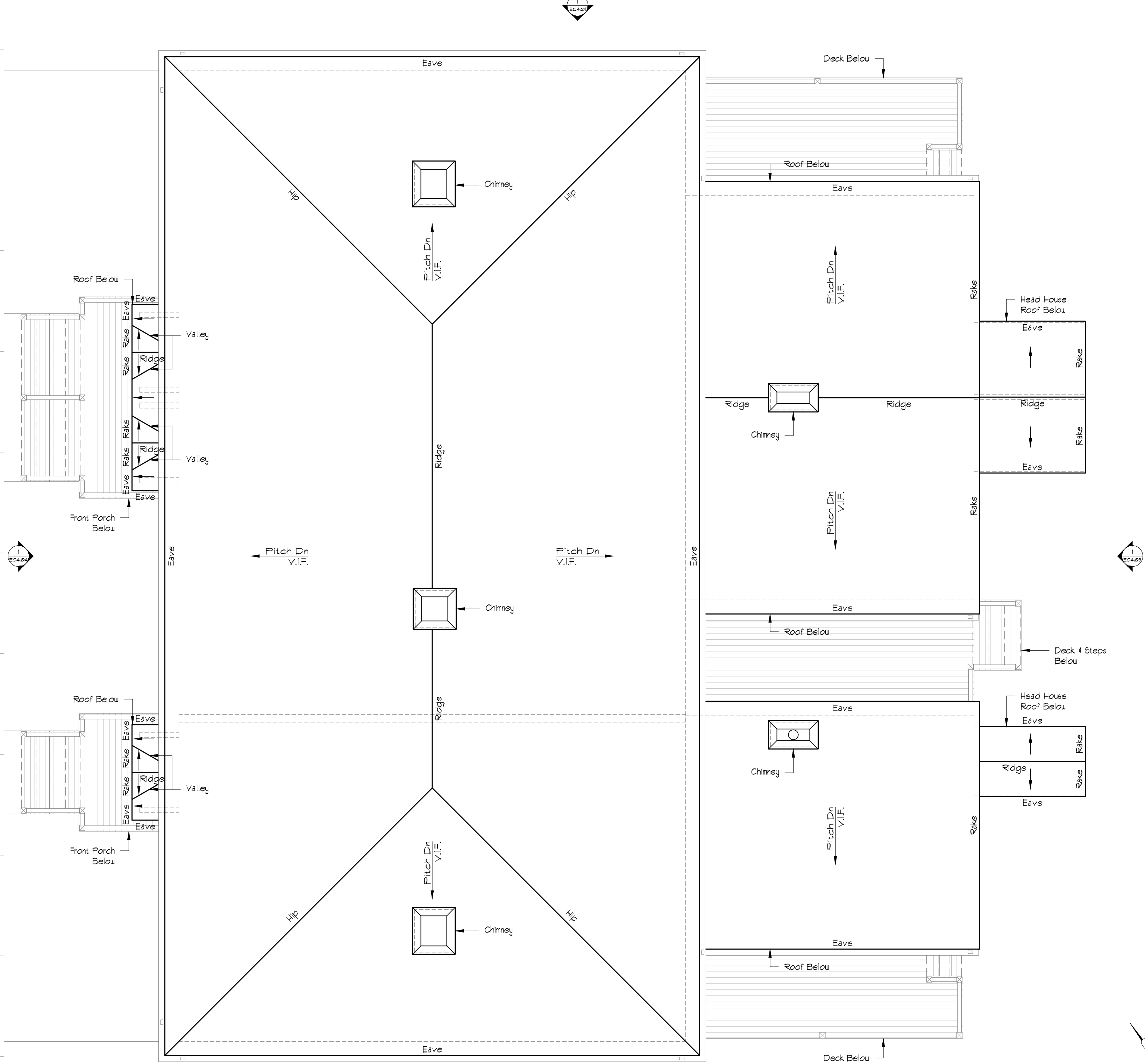
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	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing
 Roof Plan**

Sheet Number:

EC1.04



1 Existing Roof Plan
 Scale: 1/4" = 1'-0"

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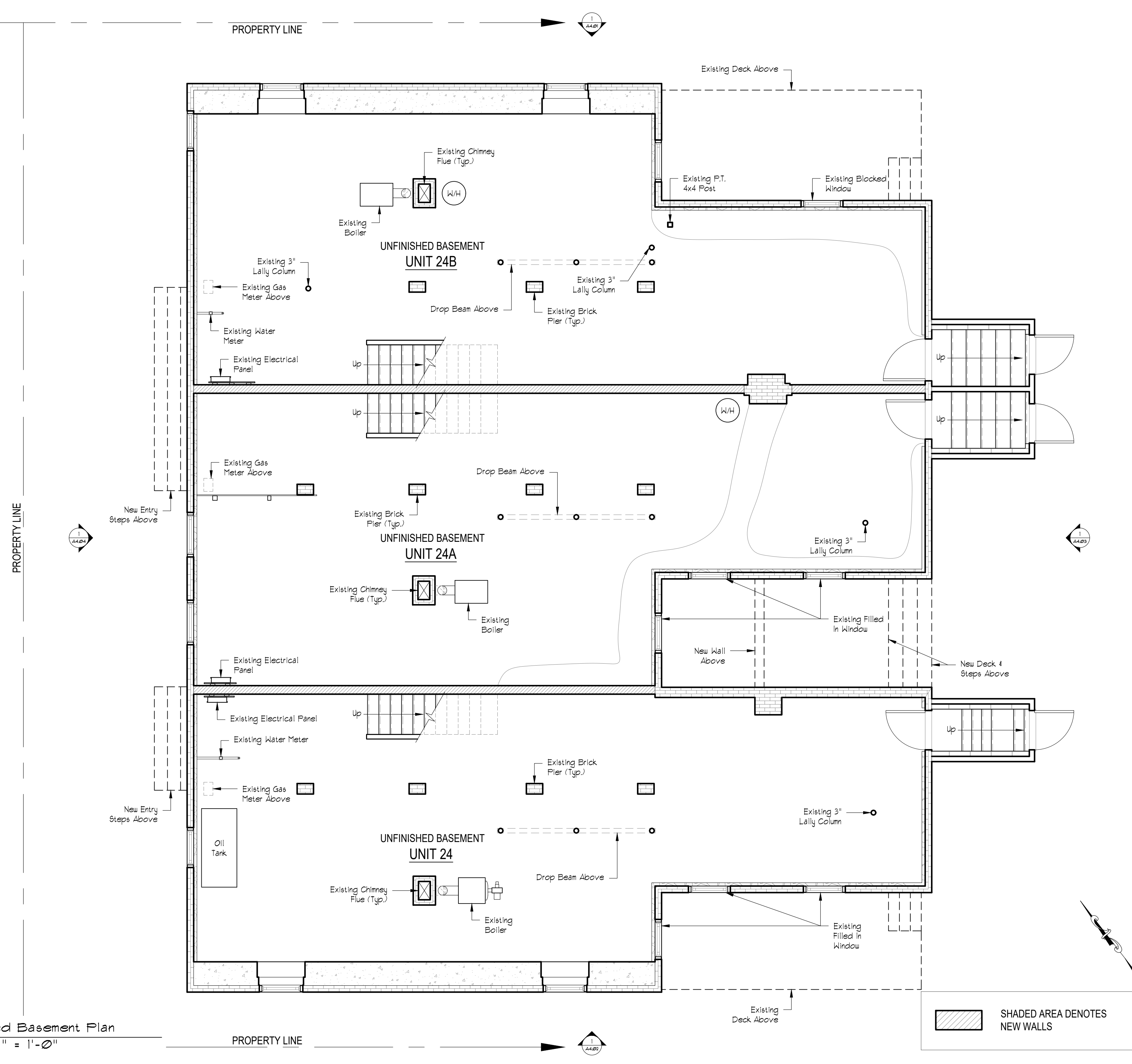
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No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed
 Basement Plan**

Sheet Number:
A1.00



1 Proposed Basement Plan
 Scale: 1/4" = 1'-0"

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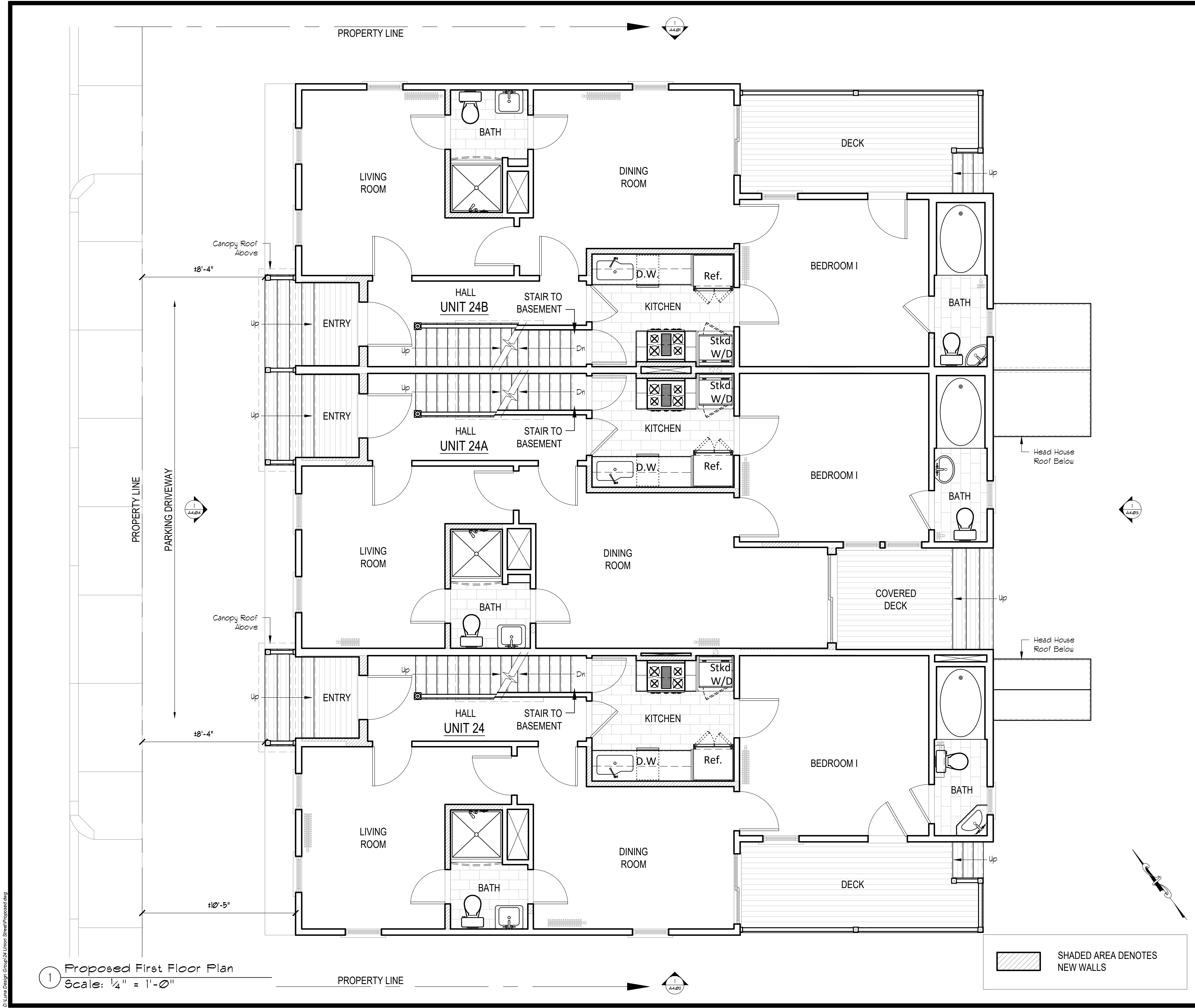
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp: _____ Date: JULY 22, 2022
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed First
 Floor Plan**

Sheet Number:
A1.01



1 Proposed First Floor Plan
 Scale: 1/4" = 1'-0"

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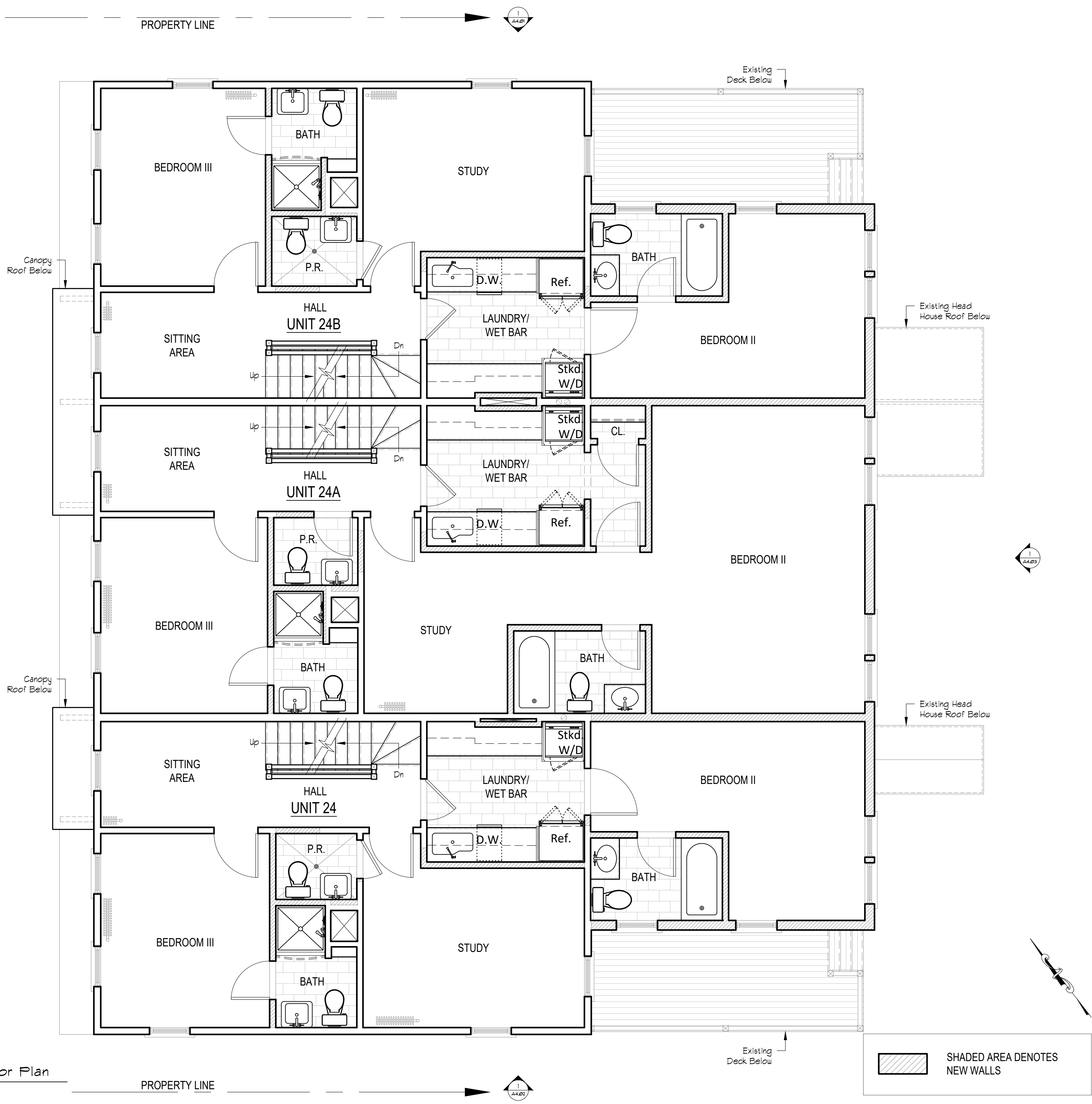
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed Second
 Floor Plan**

Sheet Number:
A1.02



1 Proposed Second Floor Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
 NEW WALLS

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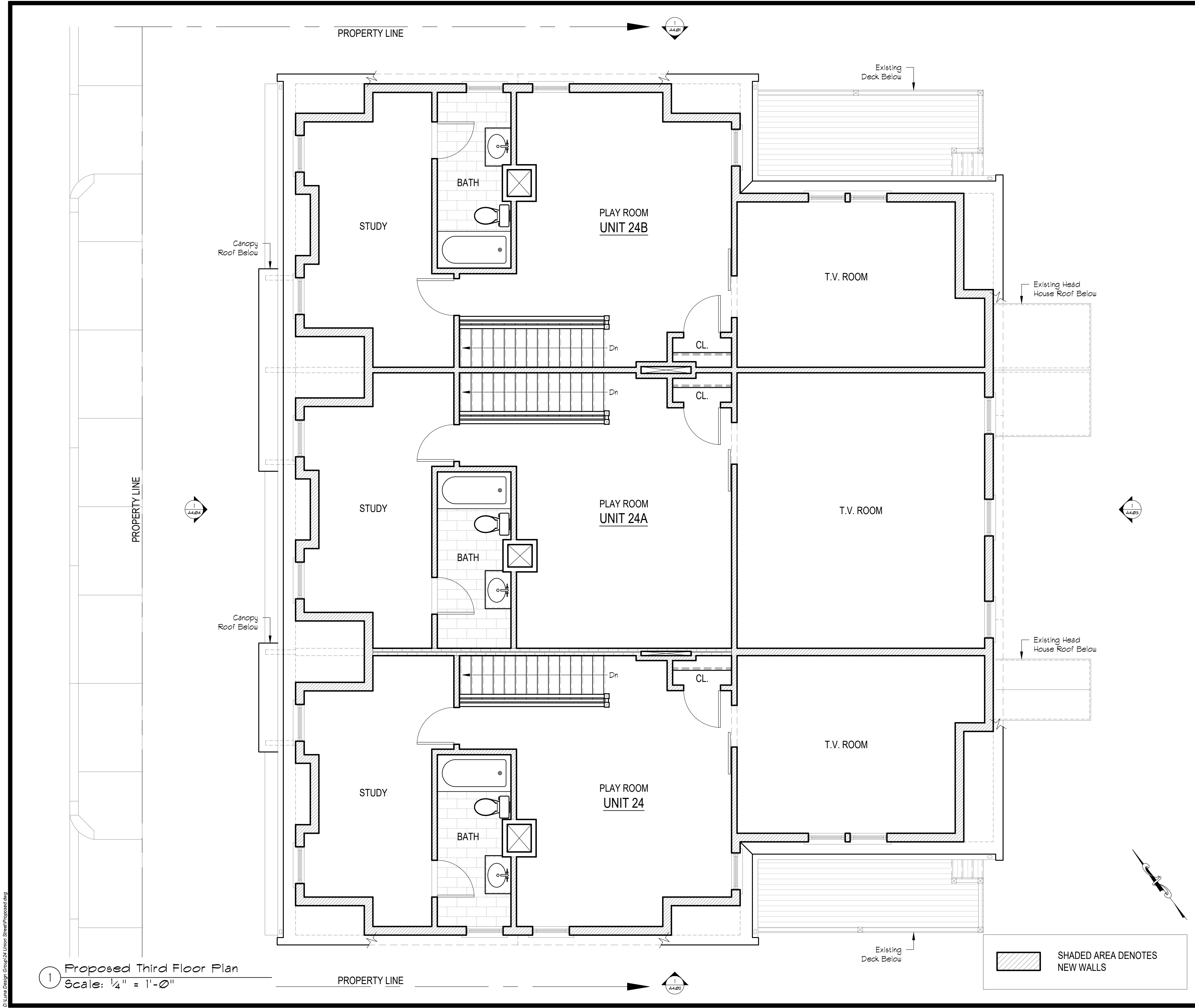
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed Third
 Floor Plan**

Sheet Number:
A1.03



1 Proposed Third Floor Plan
 Scale: 1/4" = 1'-0"



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Owner:

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24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

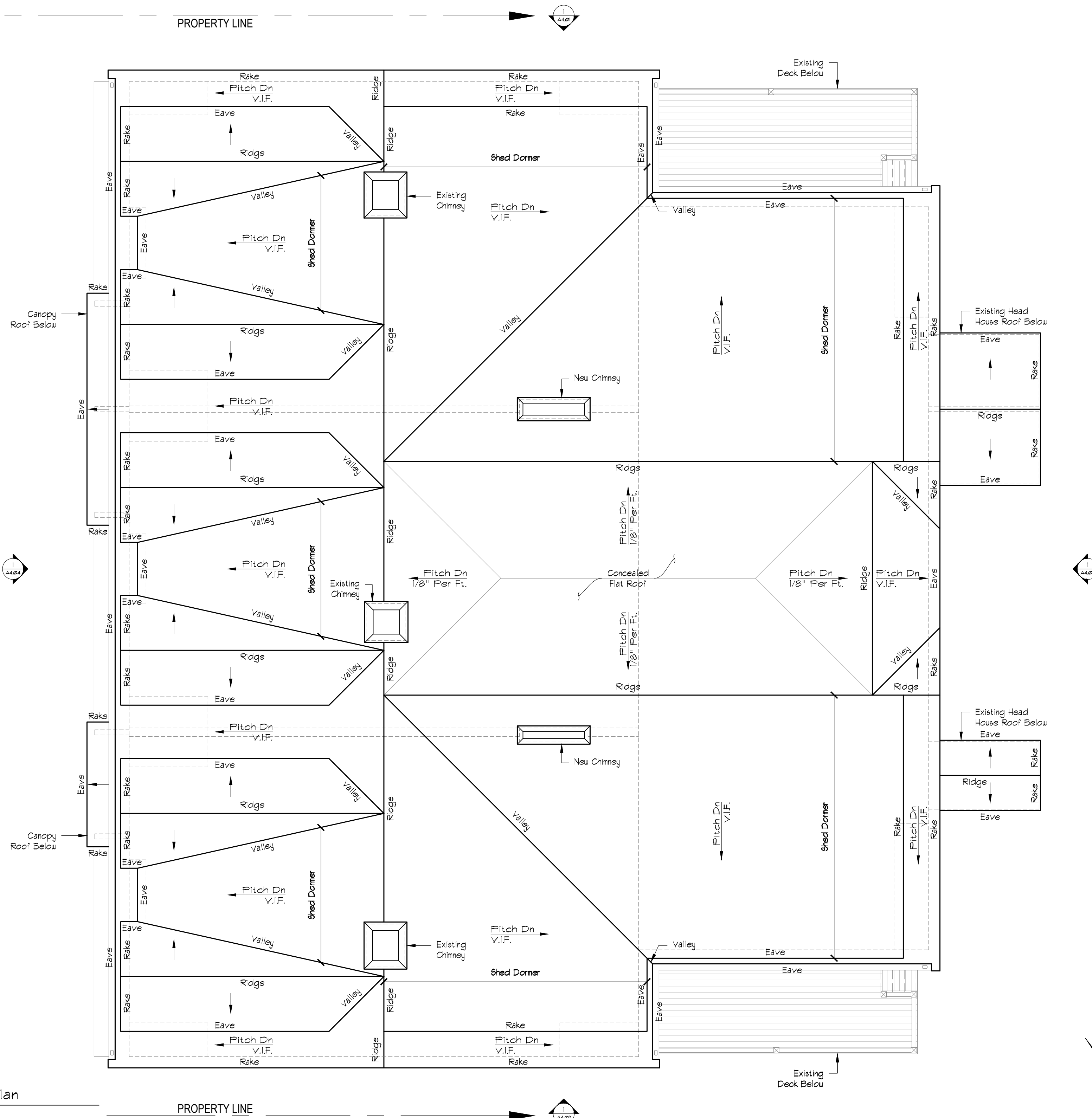
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Job No.	LIN210_a
File	PROPOSED

Sheet Title:

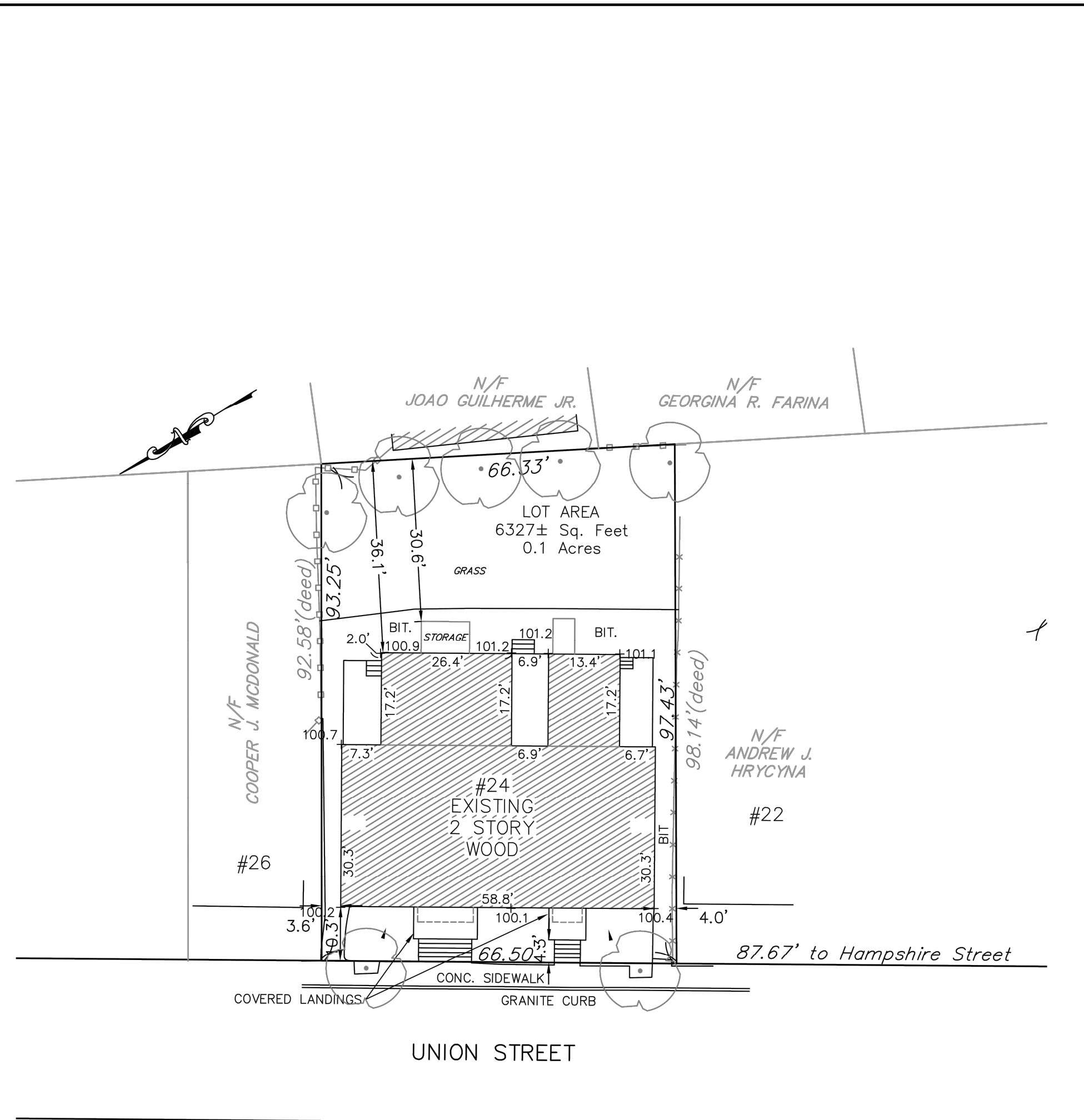
**Proposed
Roof Plan**

Sheet Number:

A1.04



1 Proposed Roof Plan
Scale: 1/4" = 1'-0"



UNION STREET

PLOT PLAN
FOR
24 UNION STREET
IN
CAMBRIDGE, MA.

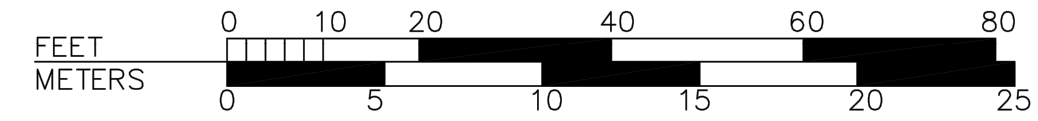
SCALE: 1"=20' OCTOBER 5, 2021

C & G SURVEY COMPANY
37 JACKSON ROAD
SCITUATE, MA. 02066
1-877-302-8440



PREPARED FOR:
LIN LIN
24 UNION STREET
CAMBRIDGE, MA. 02141

- NOTES:
- ZONING CLASSIFICATION - C-1
 - LOCUS DEED:
MIDDLESEX REGISTRY OF DEEDS BOOK 68506 PAGE 127
 - PLAN REFERENCES:
MIDDLESEX REGISTRY OF DEEDS LAND COURT PLAN 6816A
 - ASSESSORS PARCEL ID: 79-59
- DATE OF SURVEY NOVEMBER 2019



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Lin Lin
24B Union Street
Cambridge, MA 02141

Project:
**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	12.23.21	Proposed
3	12.28.21	Bathroom & Laundry/Wet Bar Revisions
4	1.21.22	Kitchen & Chase Revisions

Stamp: REGISTERED ARCHITECT
JOSEPH LUNA
No. 07010
BOSTON, MA

Date: JANUARY 21, 2022
Scale: 1" = 20'-0"
Job No.: LIN210_a
File: PROPOSED

Sheet Title:
Existing Plot Plan

Sheet Number:
SP1.01



LUNA | Design Group

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No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:

**Existing North
Elevation**

Sheet Number:

EC4.01



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

① Existing North Elevation
Scale: 1/4" = 1'-0"



LUNA | Design Group

100 Conifer Hill Road, Suite 406
Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com

Architecture Interiors Planning

These CAD documents are recorded on, or can be transmitted as, electronic media. They are therefore subject to undetectable alteration or erasure, either intentional or unintentional, due to, among other causes: transmission, conversion, media degradation, software error, or human alteration. Accordingly, Luna Design Group, Inc. shall not be held liable for any claims, losses, damages, or costs arising out of any such alteration or unauthorized re-use or modification of these CAD documents.

Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing South
Elevation**

Sheet Number:
EC4.02



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

① Existing South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Existing East
Elevation**

Sheet Number:
EC4.03



① Existing East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
 24B Union Street
 Cambridge, MA 02141

Project:

**The Residences At
 24 Union
 Street**
 Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing West
 Elevation**

Sheet Number:

EC4.04



① Existing West Elevation
 Scale: 1/4" = 1'-0"



LUNA | Design Group

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Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Proposed North
Elevation**

Sheet Number:
A4.01



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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Owner:
Lin Lin
24B Union Street
Cambridge, MA 02141

Project:
**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

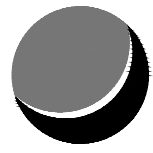
No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed South
Elevation**

Sheet Number:
A4.02

1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Proposed East
Elevation**

Sheet Number:

A4.03

Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"



1 Proposed East Elevation
Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed West
 Elevation**

Sheet Number:
A4.04



1 Proposed West Elevation
 Scale: 1/4" = 1'-0"

24 Union St.

















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Owner:

Lin Lin
 24B Union Street
 Cambridge, MA 02141

Project:

**The Residences At
 24 Union
 Street**
 Cambridge, Massachusetts 02141

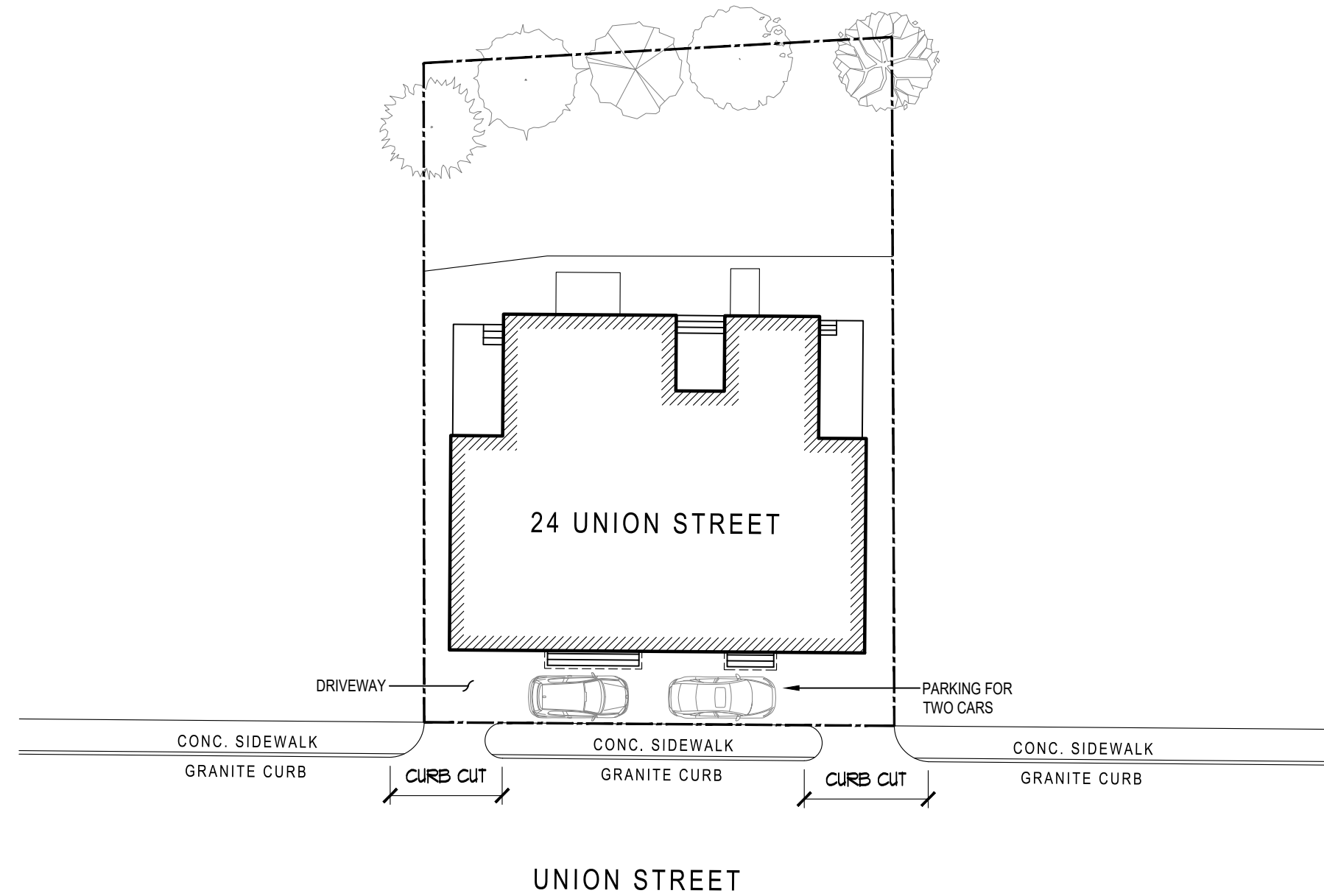
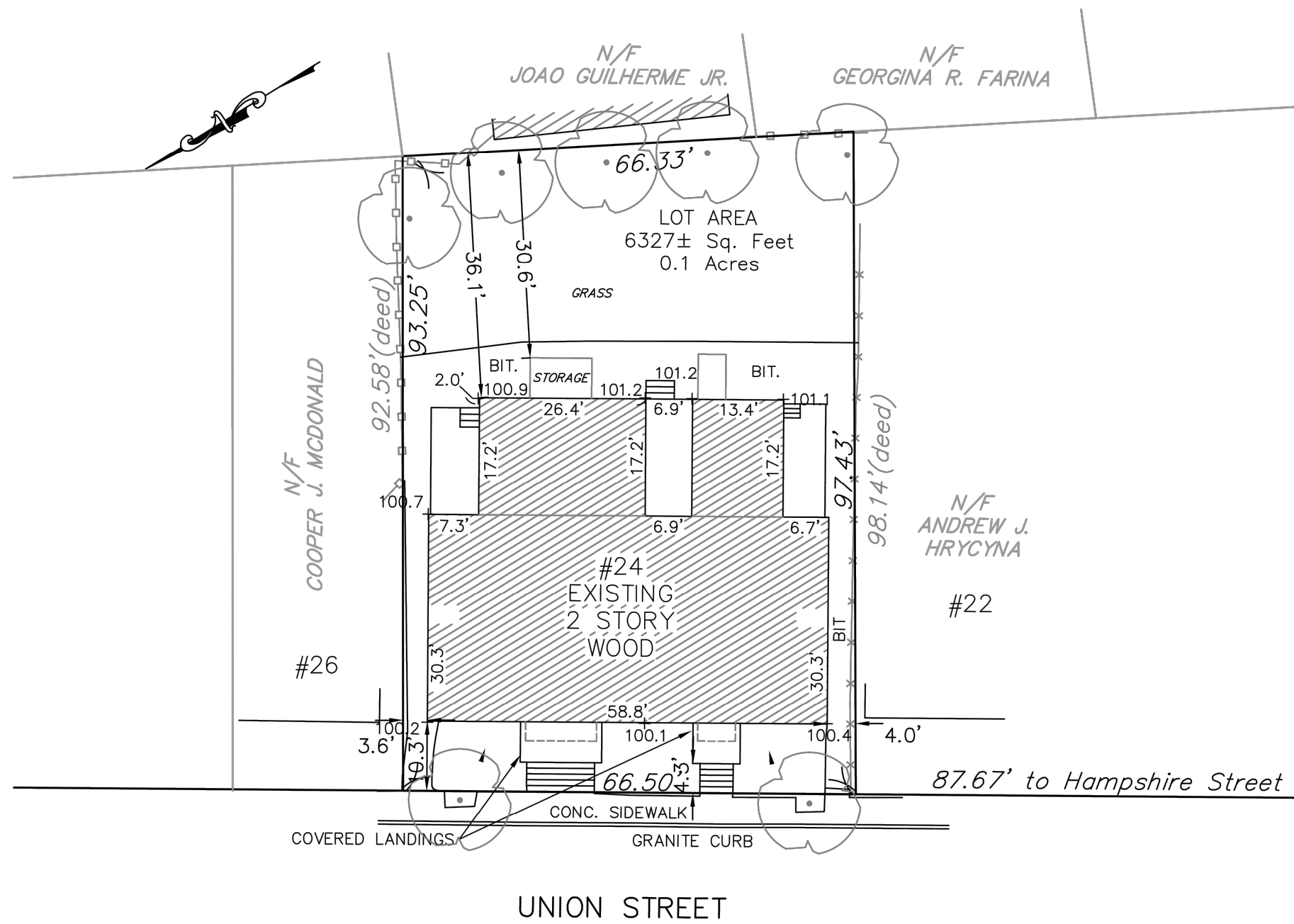
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing &
 Proposed
 Site Plan**

Sheet Number:
SP1.01



1 Existing Site Plan
 Scale: 1" = 20'-0"

2 Proposed Site Plan
 Scale: 1" = 20'-0"

8/23/2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Alonso Guzman residing at, 107 HAMPSHIRE ST Cambridge Massachusetts. I/We are sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Alonso Guzman
Signature:

8/23/2022
Date: 617-669-3566

10/23/83

ALAN S. COOPER

103 HAWTHORNE ST

Faded typed text, likely a letter or document header.

Alan S. Cooper

10/23/83

015-PPD-32PP

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are JOHN MANSON residing at,
359 WINDSOR ST. # 2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

978-401-7766

8/12/2022

Date:

Signature:

Date:

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Rachael Filer residing at,
30 Union St. Apt. 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature: _____ Date: 8/12/2022

Signature: _____ Date: _____

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Anne Odira residing at,
37 UNION Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

Aug 12, 2022
Date:

Signature:

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Andrea Sherbakov residing at, 389 Windsor St. Cambridge Massachusetts. I/We are sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17 2022

To: The City of Cambridge Zoning Board of Appeals


Dear Committee:

My/Our name(s) are MARTIN RIVERA residing at,
109 Hampshire St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

 8/17
Signature: Date:

Signature: Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

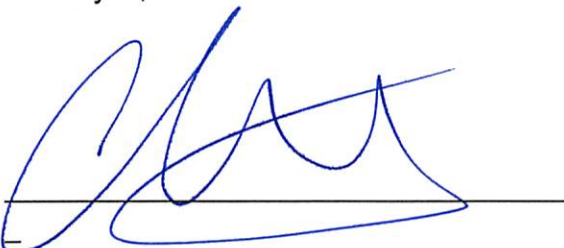
Dear Committee:

My/Our name(s) are ALEX FERRERO residing at,
18 UNION ST #1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are ANITA SINGH residing at, 359 Windsor St. #1 Cambridge Massachusetts. I/We are sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/2022

Date:

Anita Singh

N/A

617-299-0134

4/1/8

NAME ATINA

322 printer

SSOE/FI/8

Atina

A/N

Atina

PEIO-PPR-410

8 / 22 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Carol Mattes residing at,
330 WINDSOR ST, Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Carol Mattes

Signature:

8/22

Date:

8/22/2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Uebor residing at,
371 Windsor. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature:

Date:

8/22/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Kate Gregor residing at,
18 Union St Apt 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

8/22/22
Date:

08/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Jonathan Graham residing at, Unit 378 Windsor St Cambridge Massachusetts. I/We are sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature: 

Date: 08/23/22

-

8/23

2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Mathew Harbousen residing at, 371 Windsor St Apt 1 Cambridge Massachusetts. I/We are sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Mathew Harbousen
Signature:

8/23/22
Date:

Signature:

Date:

8/27/ 2022

To: The City of Cambridge Zoning Board of Appeals


Dear Committee:

My/Our name(s) are Gregory Hoffman residing at,
55 Union Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

8-25-2022
Date:

8/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Adam Bern residing at,
362 Windsor St Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Adam Bern
Signature:

8/23/22
Date:

Signature:

Date:

617 982 8510

Adam Bern

Adam@Guardian.ag

8-23-2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Henriqueta B. Resendes residing at,
371 Windsor St apt 2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Henriqueta B. Resendes
Signature:

8-23-2022
Date:

Signature:

Date:

✓

8-23-20

871 Windsor St apt 2
Haverhill, MA 01830

8-23-20
Haverhill, MA 01830

8/12 2022

To: The City of Cambridge Zoning Board of Appeals

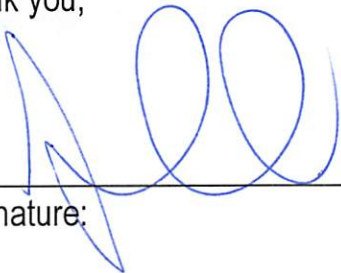
Dear Committee:

My/Our name(s) are Joshua & Maren Ladieu residing at,
315 Windsor St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/12/2022

Date:

Signature:

Date:

The Residences At

24 Union Street

Cambridge, Massachusetts 02141

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Owner:
Lin Lin
 24B Union Street
 Cambridge, MA 02141

Project:
**The Residences At
 24 Union
 Street**
 Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale N.T.S.
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
Title Sheet

Sheet Number:
T1.00

TYPICAL ABBREVIATIONS:

A.C.T. Acoustic Ceiling Tile	I.D. Inside Diameter
A.F.F. Above Finished Floor	IN. Inch
A.F.G. Above Finish Grade	INCAN. Incandescent
A.F.S. Above Finish Slab	INSUL. Insulation
ACOUS. Acoustic	INT. Interior
ADJ. Adjustable	INV. Invert
ALUM. Aluminum	J.B. Junction Box
ANCH. Anchor	JT. Joint
APPROX. Approximately	L.V.L. Laminated Veneer Lumber
ATTEN. Attenuation	LAV. Lavatory
B.O. Bottom of	M.D.F. Medium Density Fiberboard
BD. Board	M.D.O. Medium Density Overlay
BLDG. Building	M.H. Manhole
BLK. Block	M.L. Micro-Lam
BM. Beam	M.O. Masonry Opening
BOT. Bottom	MANUF. Manufacturer
C.B. Catch Basin	MAX. Maximum
C.I.P. Cast in Place	MECH. Mechanical
C.J. Control Joint	MIN. Minimum
C.M.U. Concrete Masonry Unit	MTL. Metal
C.O. Clean Out	N.I.C. Not In Contract
C.T. Counter Top	NOM. Nominal
CAB. Cabinet	O.C. On Center
CEM. Cement	O.D. Outside Diameter
CER. Ceramic	P. LAM. Plastic Laminate
CLG. Ceiling	P.S.L. Parallel Strand Lumber
CLR. Clear	P.T. Pressure Treated
COL. Column	PL. Plate
COMP. Composition	POLY V.B. Polyethylene Vapor Barrier
CONC. Concrete	PTD. Painted
CONST. Construction	Q.T. Quarry Tile
CONT. Continuous	R.R. Risers
D.S. Dish Spout	R.D. Roof Drain
D.W. Dish Washer	R.O. Rough Opening
DBL. Double	RAD. Radius
DET. Detail	REF. Refer
DIA. Diameter	REFRIG. Refrigerator
DIAG. Diagonal	REINF. Reinforced
DIM. Dimension	REQ. Required
DISP. Dispenser	RES. Resistant
DN. Down	RET. Retaining
DP. Deep	RM. Room
DWG. Drawing	S & P. Shelf and Pole
E.F. Each Face	S.S. Stainless Steel
E.J. Expansion Joint	SV. Sheet Vinyl
E.O. Edge of	SCHED. Schedule
E.W. Each Way	SECT. Section
EA. Each	SHEAT. Sheet
ELECT. Electrical	SIM. Similar
ELV. EL. Elevation	SPEC. Specification
ENAM. Enamel	SQ. Square
EQ. Equal	STD. Standard
EQUIP. Equipment	STL. Steel
EXIST. Existing	STRUCT. Structural
EXT. Exterior	SUSP. Suspended
F.D. Floor Drain	T. Treads
F.O. Face of	T. & B. Top and Bottom
F.W. Foundation Wall	T. & G. Tongue and Groove
FDN. Foundation	T.O. Top of
FIN. Finish	T.O.C. Top of Concrete
FLR. Floor	TEL. Telephone
FLUOR. Fluorescent	THRU. Through
FRM. Frame	TYP. Typical
FT. Feet	U.O.N. Unless Otherwise Noted
FTG. Footing	UR. Urinal
G.C. General Contractor	V.C.T. Vinyl Composition Tile
G.A. Gauge	V.I.F. Verify in Field
GALV. Galvanized	VERT. Vertical
GEN. General	W. Water Closet
GL. Glass	W.C. Water Closet
GRT. Grout	W.F. Wide Flange
GYP. Gypsum	W.P. Waterproof
H. High	W.W.F. Woven Wire Fabric
HD. Head	W.W.M. Welded Wire Mesh
HDWD. Hardwood	W. With
HORIZ. Horizontal	WD. Wood
HT. Height	WT. Weight

TYPICAL GRAPHIC SYMBOLS:

	Earth
	Gravel Fill
	Concrete
	Brick
	Concrete Masonry Unit
	Stone
	Granite
	Aluminum
	Steel
	Wood-Rough
	Wood-Blocking
	Plywood
	Plywood-M.D.O.
	Wood-Finish
	Batt Insulation
	Rigid Insulation
	Gypsum Wallboard

TYPICAL SYMBOLS:

	Exterior Elevation Designation
	Building Section Designation
	Wall Section Designation
	Enlarged Detail Designation
	Detail Section Designation
	Spot Elevation Designation
	Interior Elevation Designation
	Window Type Designation
	Door Type Designation
	Room Designation
	Wall Type Designation
	Floor/Ceiling Assembly Designation
	Column Grid Line Designation
	Revision Designation

LIST OF DRAWINGS:

T-1.00	Title Sheet
	Abbreviations
	Graphic Symbols
	Drawing List
SP-1.01	Existing & Proposed Site Plan
EC-1.00	Existing Basement Plan
EC-1.01	Existing First Floor Plan
EC-1.02	Existing Second Floor Plan
EC-1.03	Existing Attic Plan
EC-1.04	Existing Roof Plan
EC-4.01	Existing North Elevation
EC-4.02	Existing South Elevation
EC-4.03	Existing East Elevation
EC-4.04	Existing West Elevation
A-1.00	Proposed Basement Plan
A-1.01	Proposed First Floor Plan
A-1.02	Proposed Second Floor Plan
A-1.03	Proposed Third Floor Plan
A-1.04	Proposed Roof Plan
A-4.01	Proposed North Elevation
A-4.02	Proposed South Elevation
A-4.03	Proposed East Elevation
A-4.04	Proposed West Elevation



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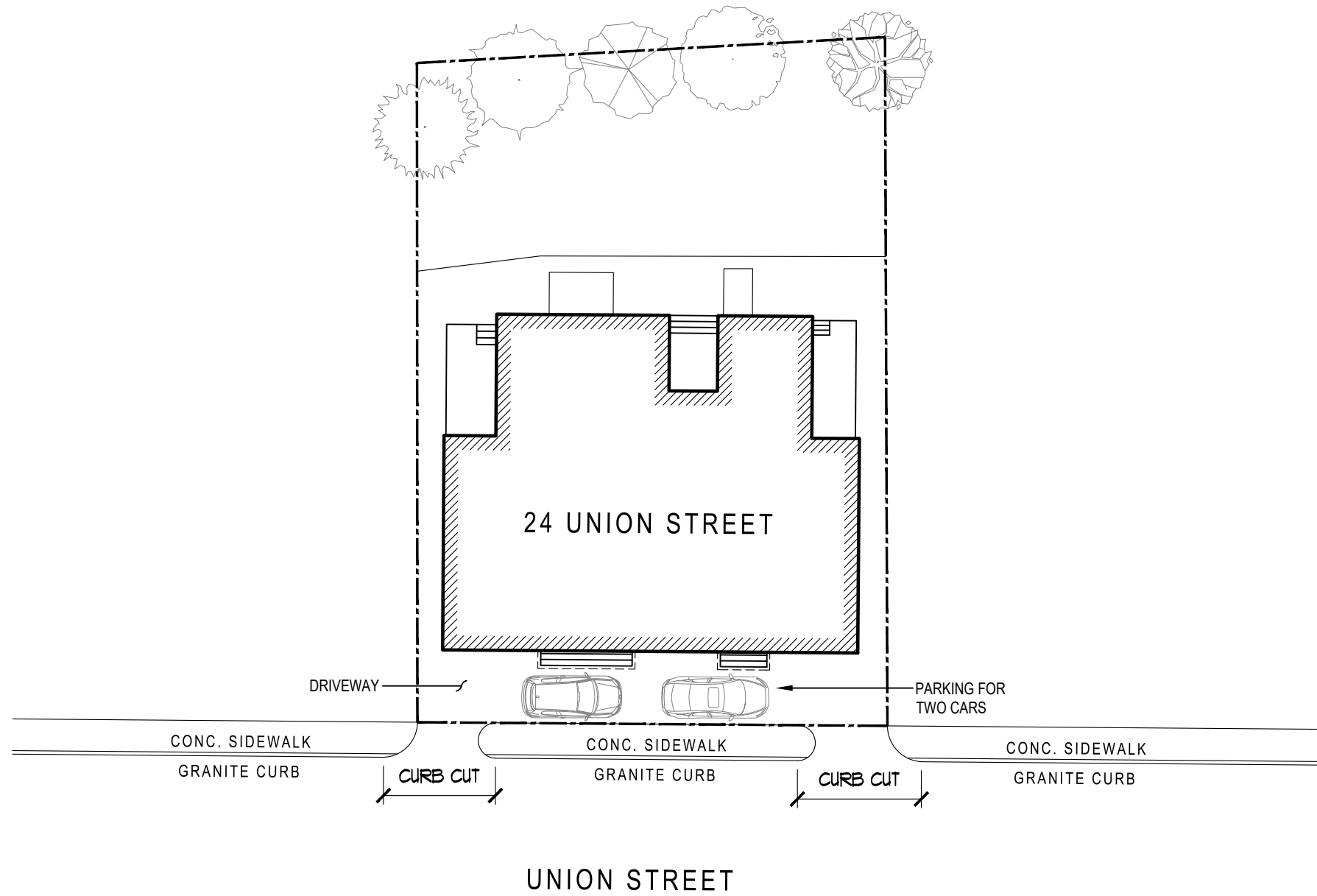
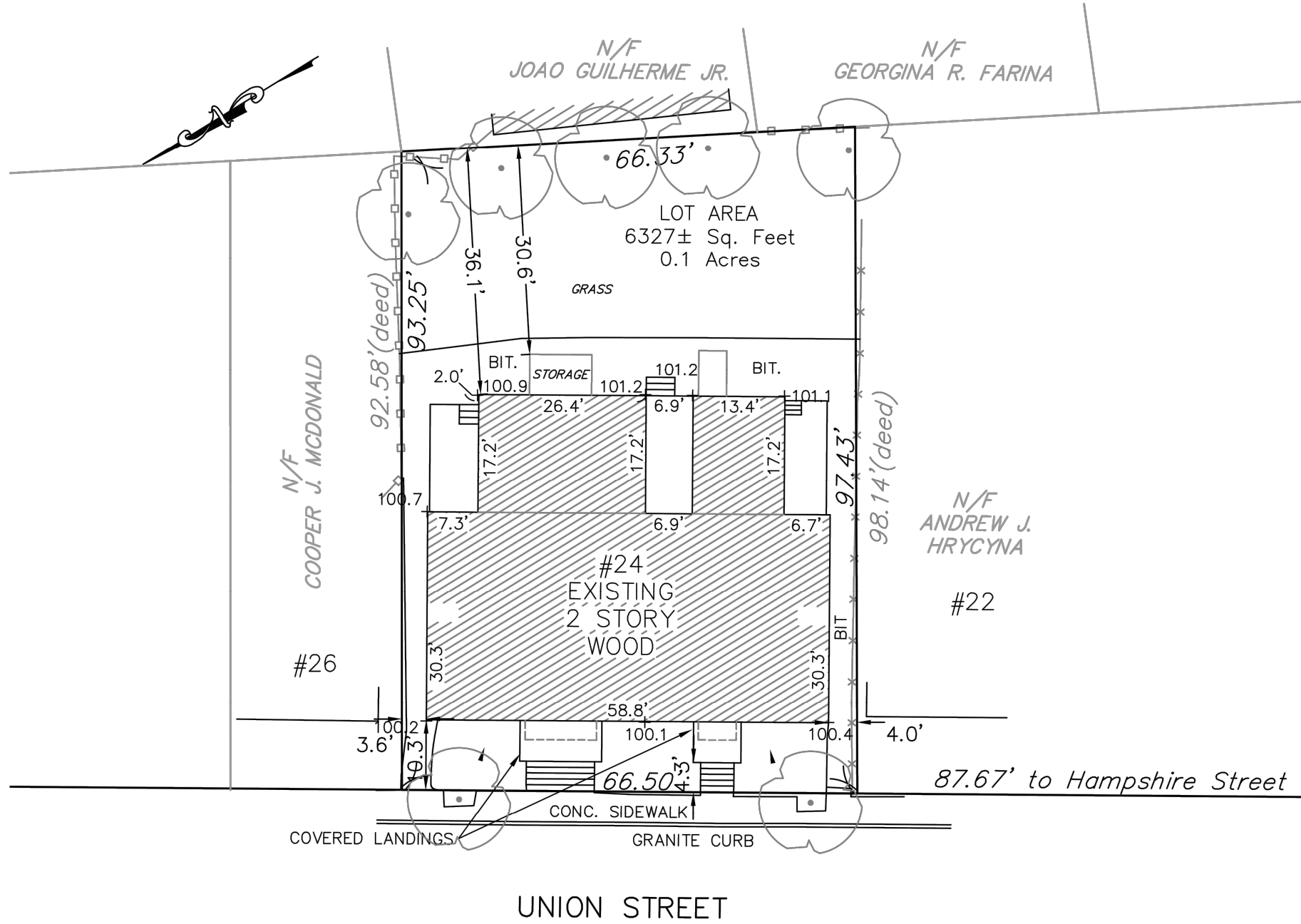
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1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing &
 Proposed
 Site Plan**

Sheet Number:
SP1.01



① Existing Site Plan
 Scale: 1" = 20'-0"

② Proposed Site Plan
 Scale: 1" = 20'-0"



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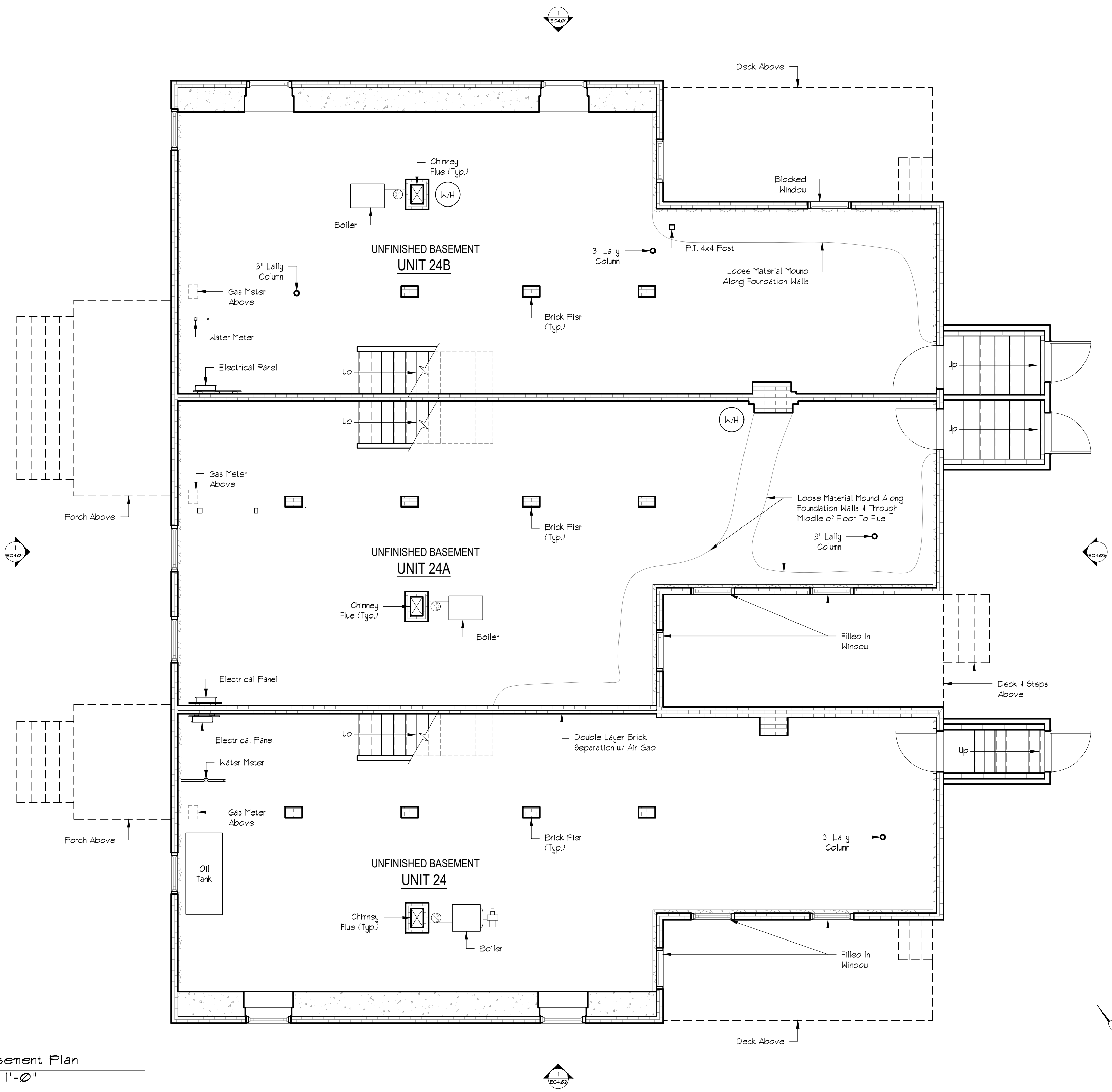
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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing
 Basement Plan**

Sheet Number:
EC1.00



1 Existing Basement Plan
 Scale: 1/4" = 1'-0"

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Stamp:

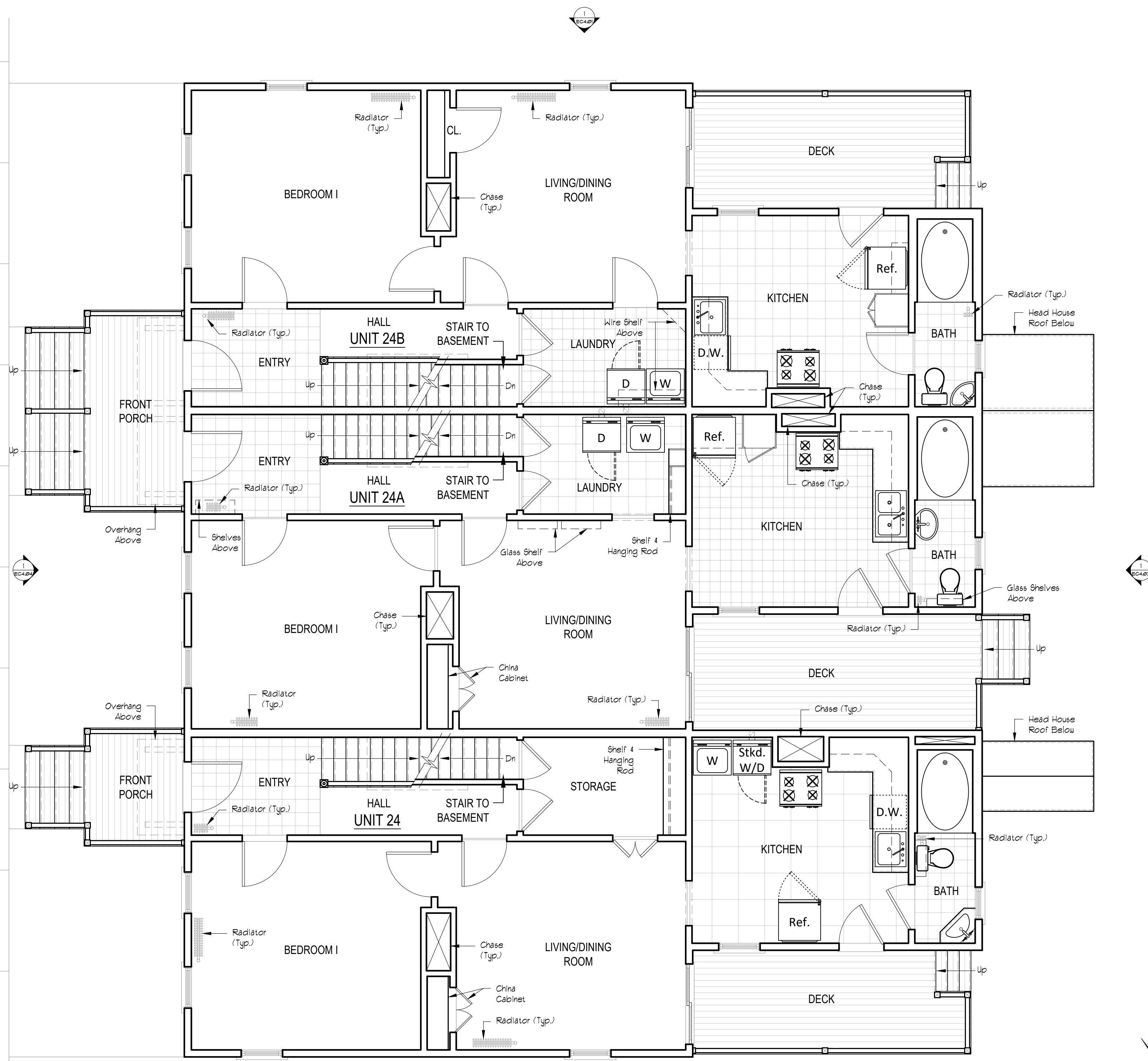
Date
 JULY 22, 2022
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Existing First
 Floor Plan**

Sheet Number:

EC1.01



1 Existing First Floor Plan
 Scale: 1/4" = 1'-0"

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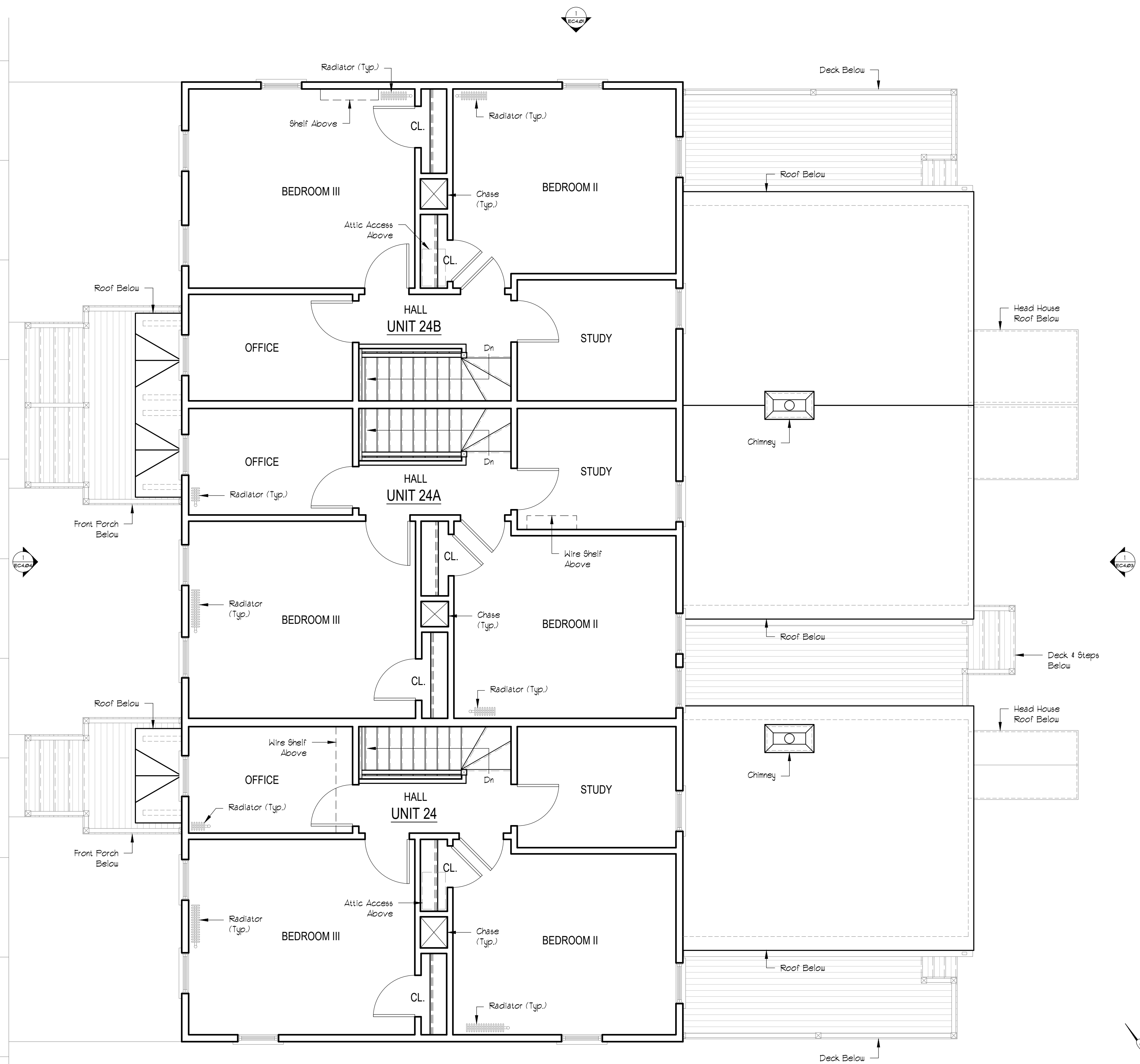
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Existing Second
 Floor Plan**

Sheet Number:
EC1.02



① Existing Second Floor Plan
 Scale: 1/4" = 1'-0"

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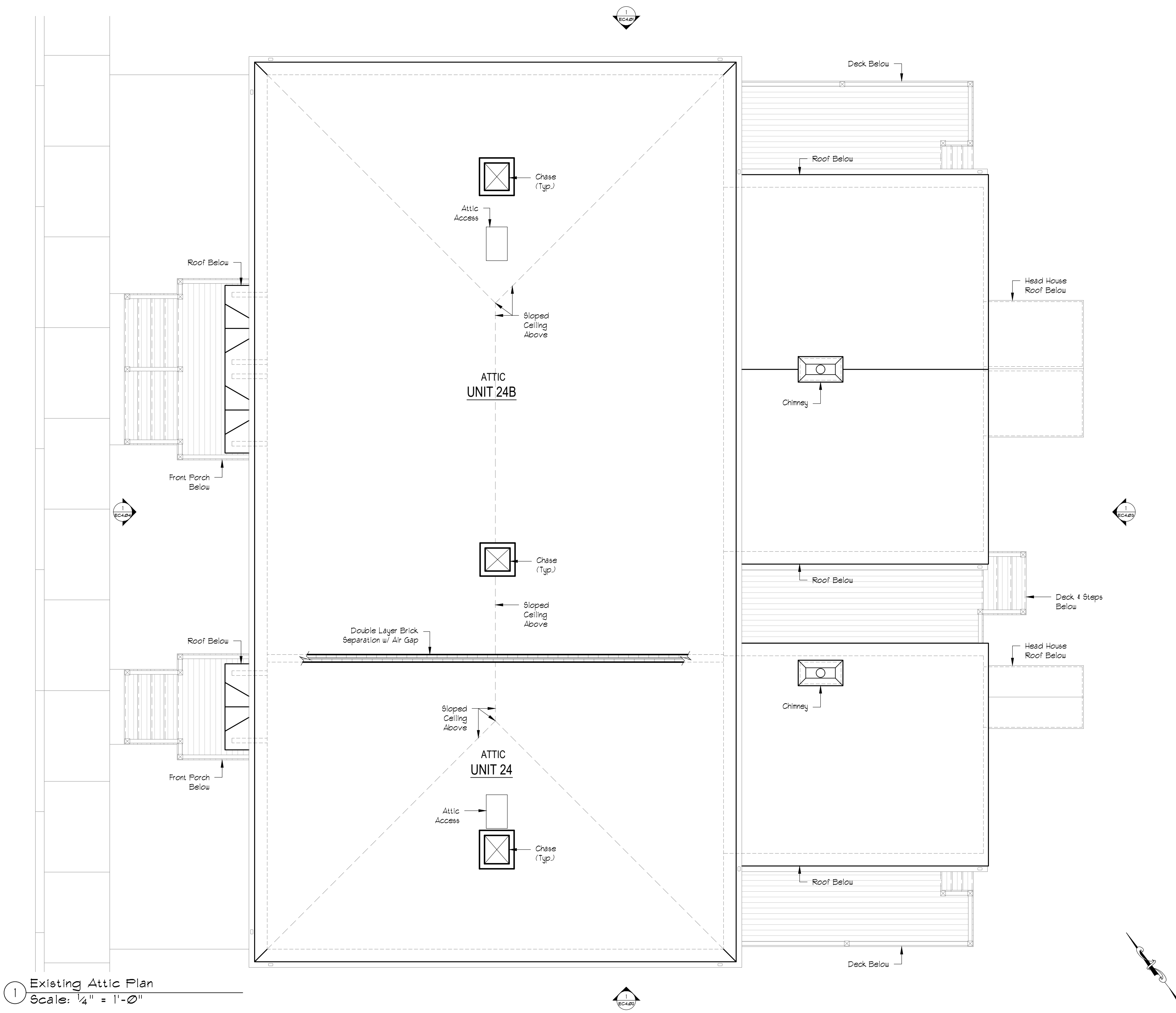
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp: 	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing
 Attic Plan**

Sheet Number:
EC1.03



1 Existing Attic Plan
 Scale: 1/4" = 1'-0"



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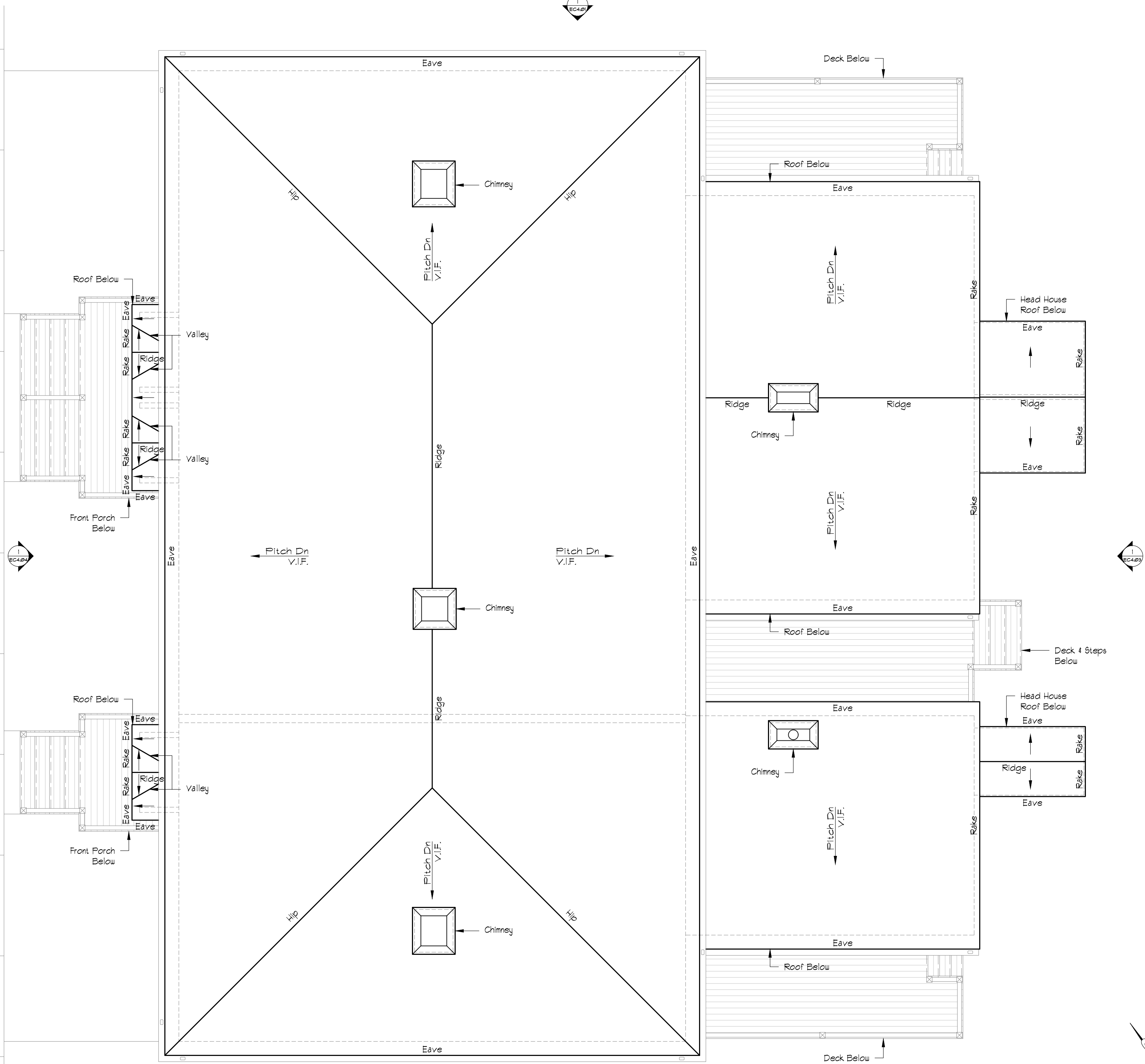
Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing
Roof Plan**

Sheet Number:

EC1.04



① Existing Roof Plan
Scale: 1/4" = 1'-0"



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Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Existing North
 Elevation**

Sheet Number:
EC4.01



① Existing North Elevation
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing South
Elevation**

Sheet Number:
EC4.02



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

① Existing South Elevation
Scale: 1/4" = 1'-0"



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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Existing East
Elevation**

Sheet Number:
EC4.03



① Existing East Elevation
Scale: 1/4" = 1'-0"



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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing West
 Elevation**

Sheet Number:

EC4.04



① Existing West Elevation
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
 JULY 22, 2022
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Proposed
 Basement Plan**

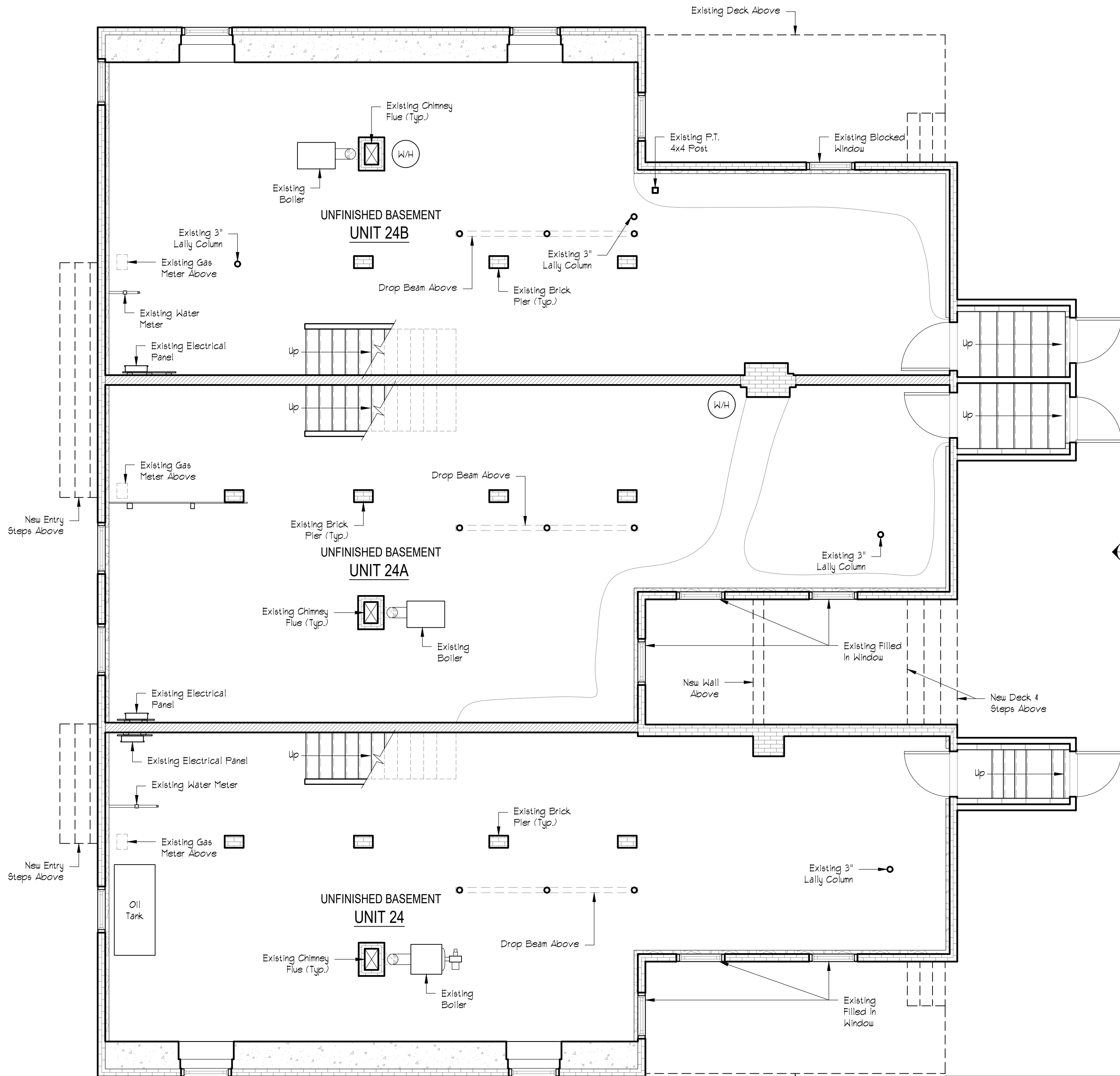
Sheet Number:

A1.00

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



1 Proposed Basement Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
 NEW WALLS

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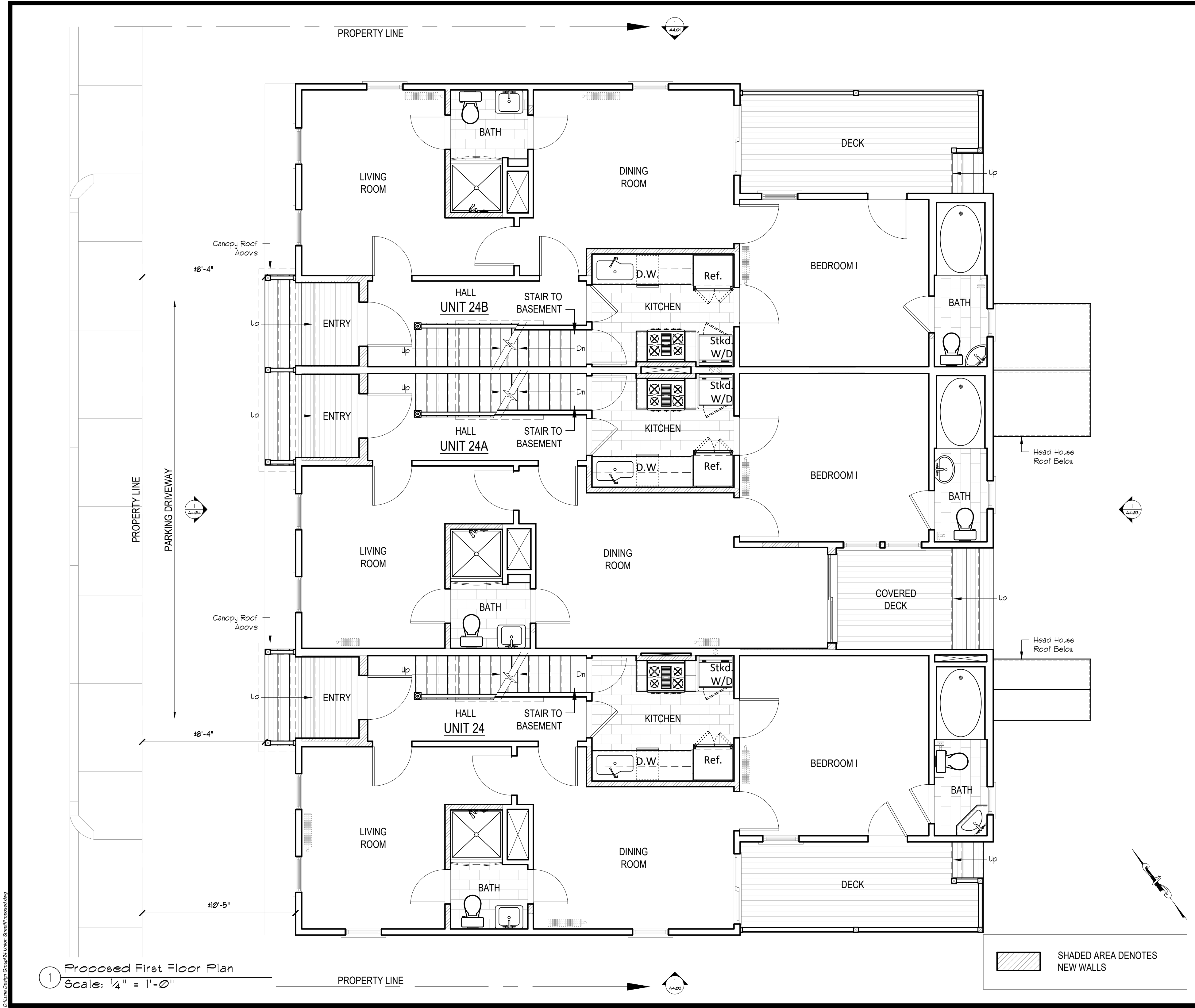
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp: _____ Date: JULY 22, 2022
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed First
 Floor Plan**

Sheet Number:
A1.01



1 Proposed First Floor Plan
 Scale: 1/4" = 1'-0"

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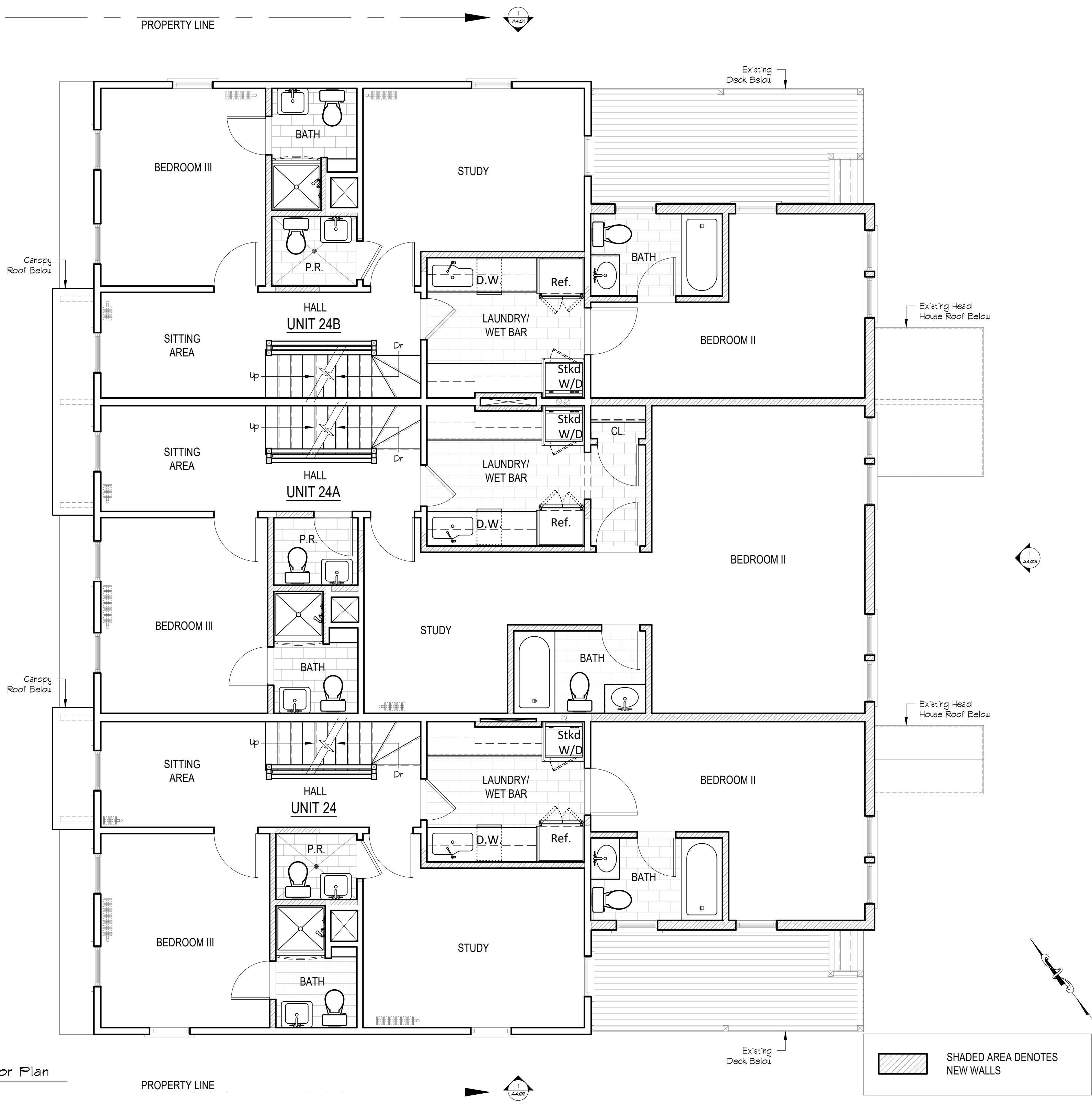
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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed Second
 Floor Plan**

Sheet Number:
A1.02



1 Proposed Second Floor Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
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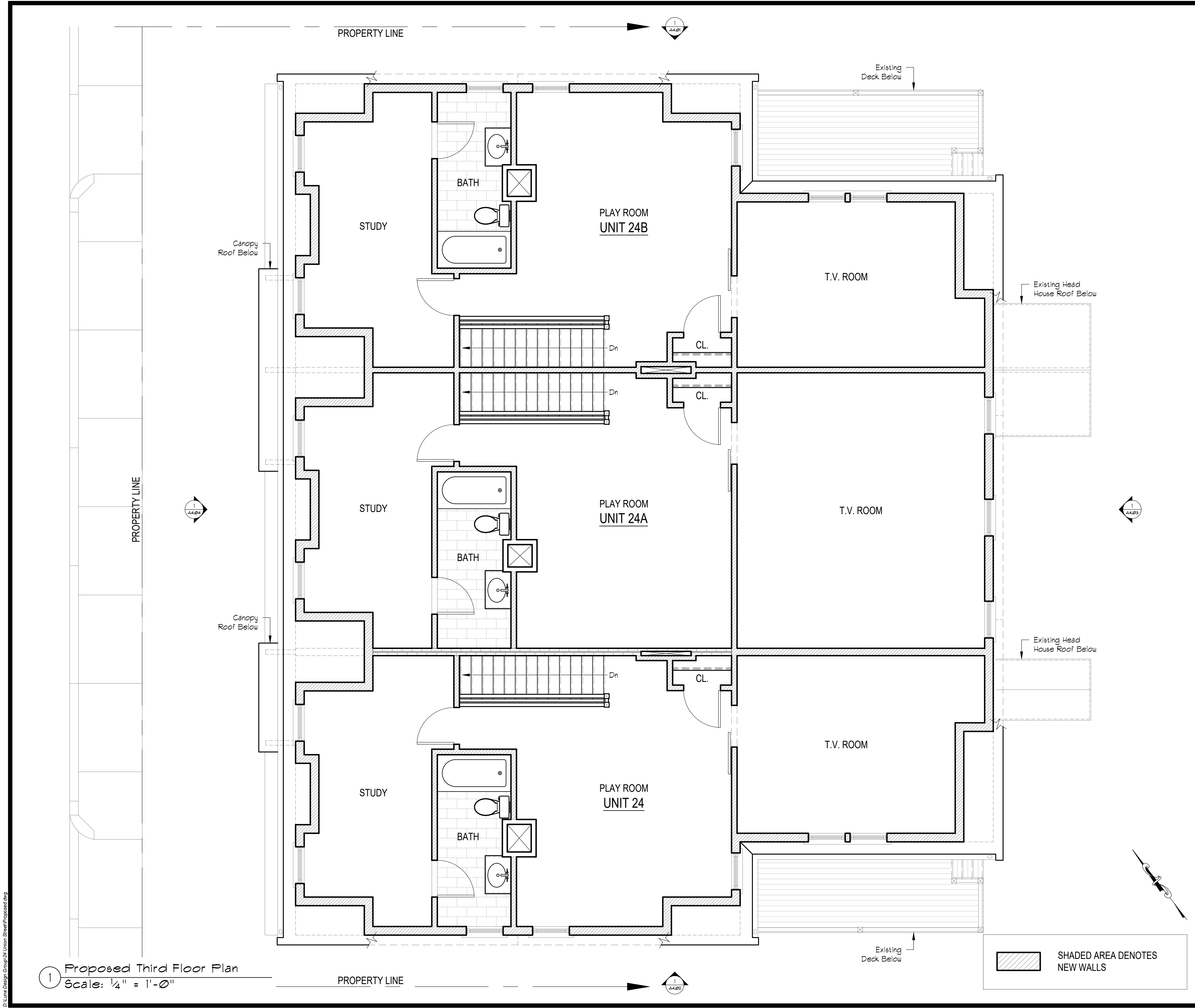
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No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed Third
 Floor Plan**

Sheet Number:
A1.03



1 Proposed Third Floor Plan
 Scale: 1/4" = 1'-0"



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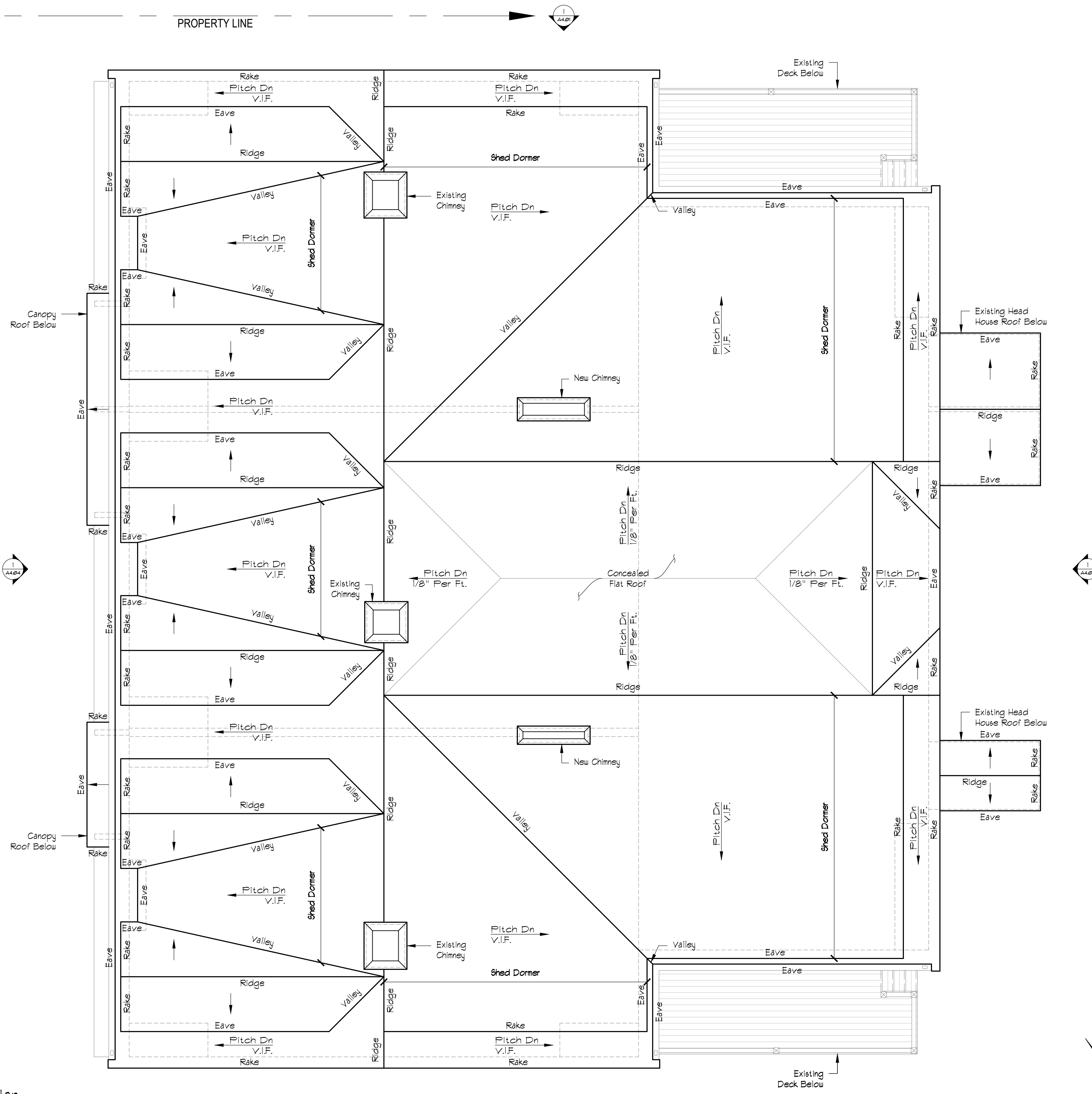
Date	JULY 22, 2022
Scale	1/4" = 1'-0"
Job No.	LIN210_a
File	PROPOSED

Sheet Title:

**Proposed
Roof Plan**

Sheet Number:

A1.04



1 Proposed Roof Plan
Scale: 1/4" = 1'-0"



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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:
**Proposed North
Elevation**

Sheet Number:
A4.01



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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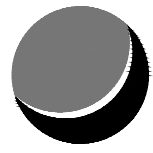
No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed South
Elevation**

Sheet Number:
A4.02

1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

**Proposed East
Elevation**

Sheet Number:

A4.03



Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
 24B Union Street
 Cambridge, MA 02141

Project:

**The Residences At
 24 Union
 Street**
 Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date	JULY 22, 2022
	Scale	1/4" = 1'-0"
	Job No.	LIN210_a
	File	PROPOSED

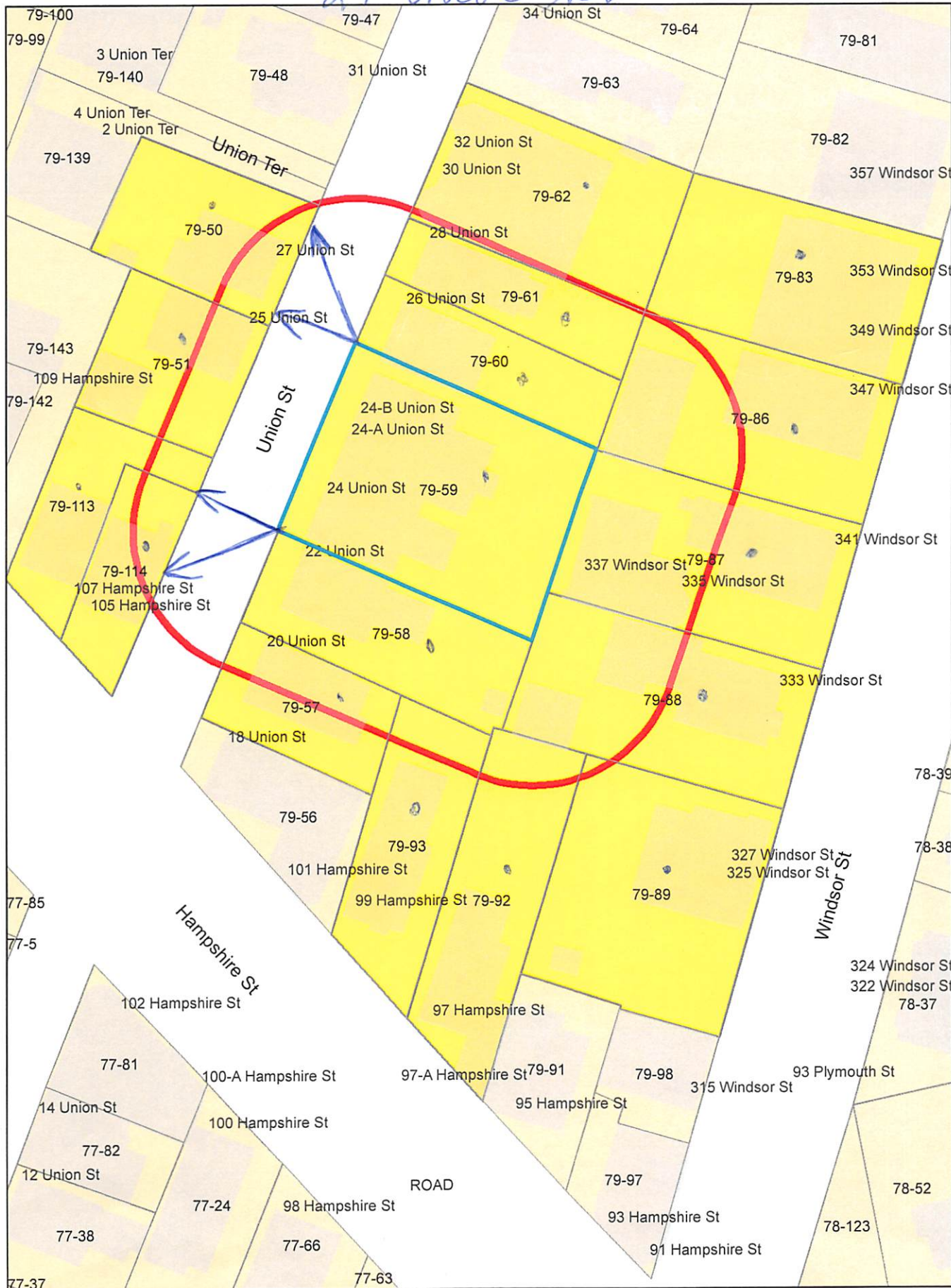
Sheet Title:
**Proposed West
 Elevation**

Sheet Number:
A4.04



1 Proposed West Elevation
 Scale: 1/4" = 1'-0"

24 Union St.



24 Union St.

Petitioner

79-114
TOME, MARIA A LIFE ESTATE
105 HAMPSHIRE ST
CAMBRIDGE, MA 02139

79-113
FINN, ANN MARGARET & ALONSO GUZMAN
107 HAMPSHIRE ST.
CAMBRIDGE, MA 02139-1505

LUNA DESIGN GROUP
C/O JOSEPH LUNA
100 CONIFER HILL DRIVE - SUITE 406
DANVERS, MA 01923

79-62
MINERVINO, JOHN S.
2344 WASHINGTON ST.
P.O. BOX 620031
NEWTON, MA 02462

79-57
THOMPSON, DORIAN
20 UNION ST
CAMBRIDGE, MA 02141

79-59
LIN, LIN
24 UNION ST., #24A
CAMBRIDGE, MA 02141

79-60
MCDONALD, J. COOPER &
26 UNION ST
CAMBRIDGE, MA 02141

79-62
CAMBRIDGE AFFORDABLE HOUSING CORP.
C/O CAMBRIDGE HOUSING AUTHORITY
362 GREEN ST., 3RD FLOOR
CAMBRIDGE, MA 02141

79-62
BIANCIARDI, MARTA
30 UNION ST, #5
CAMBRIDGE, MA 02141

79-62
BRUM, CESAR
30 UNION ST., UNIT #6
CAMBRIDGE, MA 02141

79-86
ANTHONY, BRIAN W.
347 WINDSOR
CAMBRIDGE, MA 02141-1339

79-51
STEIN, MATTHEW S.
25 UNION STREET
CAMBRIDGE, MA 02141-1331

79-58
HRYCYN, ANDREW J. & ALICE W. FLAHERTY
22 UNION ST.
CAMBRIDGE, MA 02141

79-62
LACEY, WILLIAM J. & MARCIA A. HERN-LACEY
30 UNION ST., #2
CAMBRIDGE, MA 02141

79-89
BURKE, DANIEL E., JR., PAUL G. STELLA M.,
BURKE REALTY TRUST
325-327 WINDSOR ST
CAMBRIDGE, MA 02141-1339

79-92
BOSEWLL, MARVINE & MARY LOUISE BOSWELL,
TRS. M & M BOSWELL REALTY TRUST
C/O ROBERT BOSWELL
789 LINCOLNVILLE AVE
SEARSMONT, ME 04973

79-62
MA, YUCI
30 UNION ST., #4
CAMBRIDGE, MA 02141

79-83
CREATIVE PROPERTIES ON CENTRE, LLC
56 JUNIPER RD
BELMONT, MA 02478

79-61
HADUCH NATHANIEL
28 UNION ST
CAMBRIDGE, MA 02141

79-93
RUIZ, ERIC EMILY RUIZ
99 HAMPSHIRE ST
CAMBRIDGE, MA 02139

79-87
GUILHERME, JOAO JR & EVA GUILHERME
TRS GUILHERME FAMILY REVOCABLE TR
337 WINDSOR ST
CAMBRIDGE, MA 02141

79-88
FARINA RICHARD JR
TRS. FARINA IRREV INCOME ONLY TRUST
2 ISABELLA LN
BEDFORD, MA 01730

79-50
WAHL, SARAH J. & ERIC M. WAHL
27 UNION ST
CAMBRIDGE, MA 02141

Date: _____

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES**BZA Application Form**

2022 SEP 33 A 10: 52

DIMENSIONAL INFORMATION

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		4129	7242	4745	(max.)
LOT AREA:		6327	6327 No Change	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		65%	114%	75%	
LOT AREA OF EACH DWELLING UNIT		2109	2109	1500	
SIZE OF LOT:	WIDTH	66.5	No Change	50	
	DEPTH	97.3	No Change	No Dimension Provided in Table 5-1	
SETBACKS IN FEET:	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	20.0	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
SIZE OF BUILDING:	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		47%	47%	30%	
NO. OF DWELLING UNITS:		3	3	3	
NO. OF PARKING SPACES:		0	2 tandem	3	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Lin Lin (Print) Date: 9/27/2022

Address: 24 Union St.

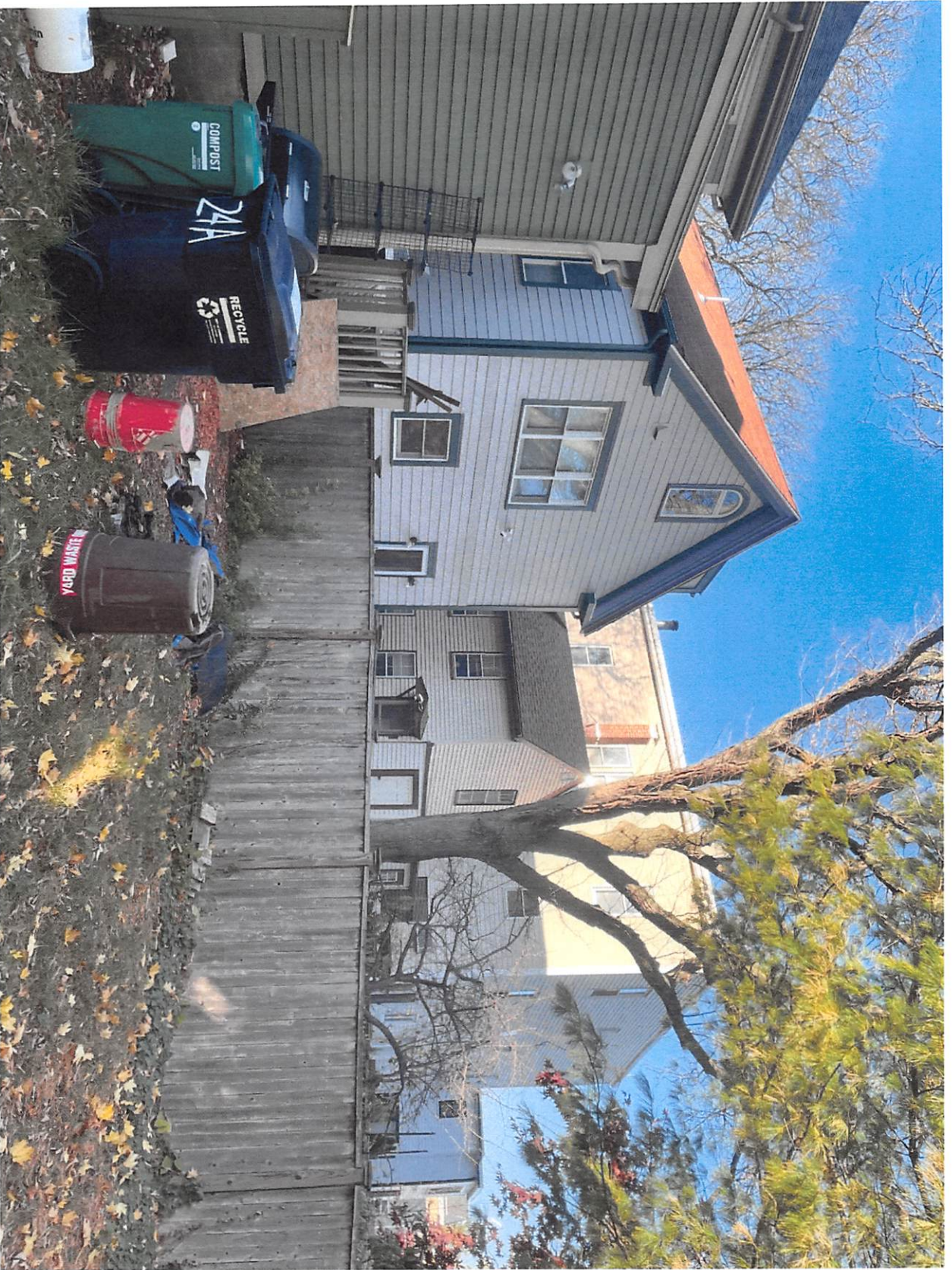
Case No. BZA-188958

Hearing Date: 10/6/22

Thank you,
Bza Members



24 UNION STREET – REAR YARD LOOKING SOUTH



24 UNION STREET – REAR YARD LOOKING NORTH



24 UNION STREET – REAR YARD LOOKING NORTHWEST



24 UNION STREET – REAR YARD LOOKING SOUTHEAST

Ratay, Olivia

From: marciaamyhern@gmail.com
Sent: Thursday, October 6, 2022 1:00 PM
To: Ratay, Olivia; Singanayagam, Ranjit
Subject: Fwd: BZA 188958

Forwarding as got out of office from Maria. Best,
Marcia

Begin forwarded message:

From: Marcia Hern <marciaamyhern@gmail.com>
Date: October 6, 2022 at 12:55:11 PM EDT
To: mpacheco@cambridgema.gov
Subject: BZA 188958

Hello,

I am writing in opposition to part of the appeal of changes to 24 Union St. I see no reason as to why they are not able to add a gabled roof to the main structure of the house to add third floor living. I am in opposition to adding a second and third floor to the rear addition. This would block and shade along with towering over the yards of the many small lots adjacent to 24 Union. In addition I am fearful that it would require cutting down or damaging a very mature tree located at 26 Union which provides shade to the properties at 28 & 30 Union Street. This lot like, so many on our street is built extremely close to the neighboring properties. While I am the third property to 24 Union Street I would guess their lot is less than 150-200 feet from my house.

While I am not necessarily opposed to the curb cuts request I would like the board to get details as to where/how cars to park as there is very little frontage on the property. I don't see in the proposal where cars would park. If they can explain to the board in a satisfactory way that a car of a normal size will not block sidewalk parking or impede existing street parking I would not be against the curb cuts. Sorry for the 12th hour delay-planned to attend meeting but realized I have conflicting PTO meeting for which as a new board member I cant miss.

Thank You,
Marcia Hern-Lacey
30 Union St, Ap2

Ratay, Olivia

From: Flaherty, Alice W.,MD, PhD <Flaherty.Alice@mgh.harvard.edu>
Sent: Sunday, October 16, 2022 11:29 PM
To: Ratay, Olivia
Subject: FW: BZA case 188958. Comments from an abutter of 24 Union St.

Dear Olivia Ratay,

I got an out-of-office message when I sent the following email to Maria Pacheco. Can you make sure my comments are distributed to the appropriate people in time for the zoning board meeting? In addition, can you tell me when it will be rescheduled? See below.

Alice Flaherty

From: "Pacheco, Maria" <mpacheco@cambridgema.gov>
Date: Sunday, October 16, 2022 at 11:20 PM
To: Alice Flaherty <Flaherty.Alice@mgh.harvard.edu>
Subject: Automatic reply: BZA case 188958. Comments from an abutter of 24 Union St.

External Email - Use Caution

I am currently out of the office and will return on October 19, 2022. If you need Zoning Assistance please call 617-349-6100 and ask for Olivia Ratay or email her at oratay@cambridgema.gov or ask for Commissioner Ranjit Singanayagam or email him at ranjits@cambridgema.gov.

Thank you.

Dear Zoning Board,

My family and I live at 22 Union St, and are the southern abutters of the 24 Union St. construction project, BZA case 188958. It was originally scheduled to be discussed on October 6, but during the meeting you announced that it would move to Thursday November 17. However we don't see a BZA meeting on the Cambridge Calendar for any Thursday that month. How can we attend the hearing?

We have four concerns.

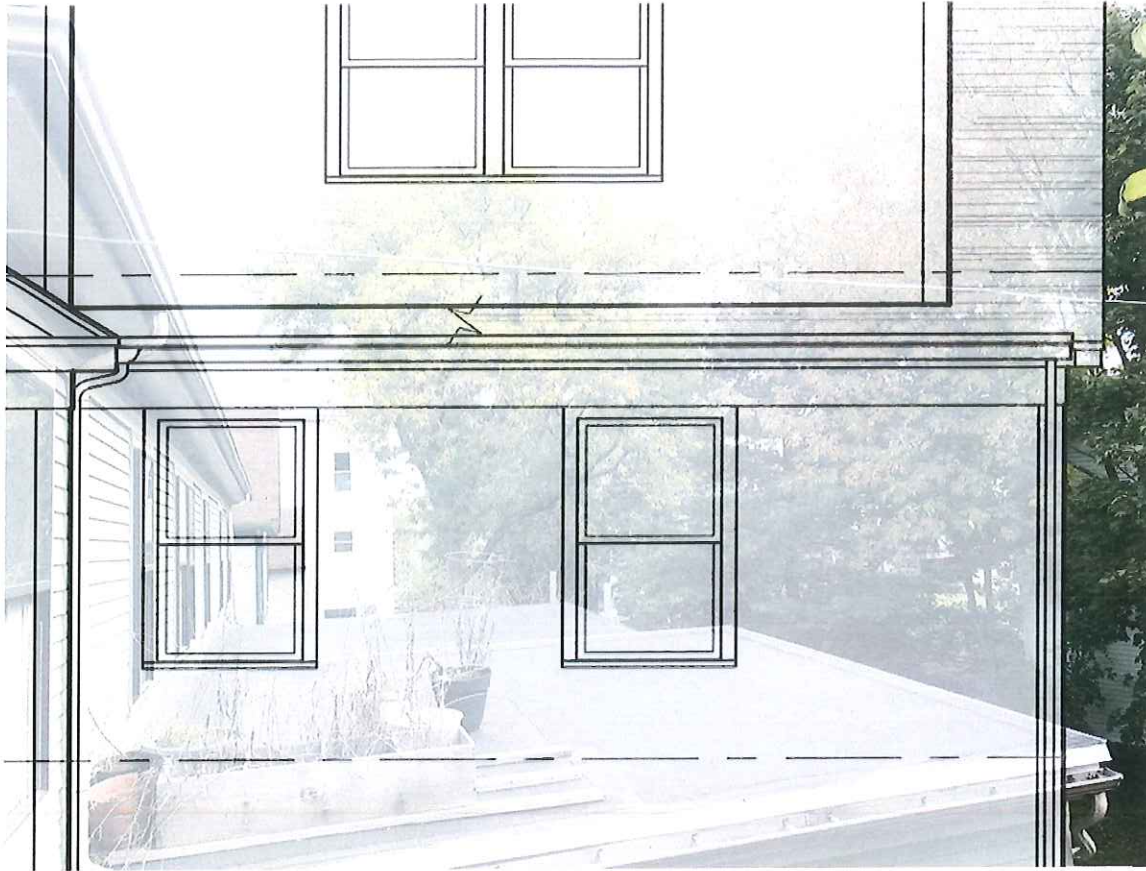
1. **Third story dormer additions.** Our attic story, where my daughters sleep, has a stairwell window that looks out on trees and the slanting hip roof of 24 Union. Their plans would add long double-wide dormers to the east and west roof that would remove our window's view of the trees. They would also change the shallow roof to a vertical gable end wall less than six feet from our own north wall. The gable wall would have two windows looking directly into our window. Either we would need to make our window opaque, or every time my

daughters go downstairs, they would have to make sure they are dressed for public viewing. We might have been willing to negotiate about this design, but no one from the project has ever tried to contact us. I found their drawing plans on the BZA website (<https://www.cambridgema.gov/-/media/Files/inspectionalservicesdepartment/bzadocuments/24unionstbza188958documents.pdf>), and have superimposed the relevant part on a photo of the current view out our window, below.



2. **Fencing is not specified.** Gentrifiers in East Cambridge typically install high white plastic fences that block neighborly sociability and decrease airflow around plants. When I first moved to Cambridge in 1981, I admit I thought our chain-link fence was tacky. But its low profile has allowed us to meet all our neighbors. We have made wonderful friends that way. Fences that impair backyard interactions detract from a sense of community.
3. **The additions wouldn't help the housing crisis.** The proposed plans double the size of each unit, but still have only three bedrooms. Instead, they use the extra space for non-essential things like upstairs wet bars, sitting areas, and TV rooms.
4. **The three-story additions over the kitchens would block neighbors' views of greenery.** Our house and several other neighbors have second and third floor roof decks from which we can see trees in six or seven back yards. I am often on my roof deck for hours at a time, working from home, exercising, or gardening. The view is the nicest part of being on the deck. If the 24 Union one-story kitchens become three stories high, they would almost completely block our longest vista. (See photo below.) For northern abutters, the three-story addition would dramatically block direct sunlight.

In addition, the former tenants at 24 Union often used their kitchen roofs as decks, and that is how I met and got to know them. They gave us great sourdough starter; we gave them currants and strawberries they grew on their roof. The current construction plans would replace human interaction with high walls. Why not make roof decks which would preserve the open, friendly character of the neighborhood?



Alice Flaherty
aflaherty@partners.org
cell 857-204-9964

The information in this e-mail is intended only for the person to whom it is addressed. If you believe this e-mail was sent to you in error and the e-mail contains patient information, please contact the Mass General Brigham Compliance HelpLine at <https://www.massgeneralbrigham.org/complianceline> .

Please note that this e-mail is not secure (encrypted). If you do not wish to continue communication over unencrypted e-mail, please notify the sender of this message immediately. Continuing to send or respond to e-mail after receiving this message means you understand and accept this risk and wish to continue to communicate over unencrypted e-mail.

Pacheco, Maria

From: JCOOPER MCDONALD <jcoopermcdonald@comcast.net>
Sent: Wednesday, November 9, 2022 7:12 PM
To: Pacheco, Maria
Subject: 24 Union Street Appeal

Dear Board of Zoning Appeal,

I am the owner/resident of 26 Union Street, which directly abuts the three units at 24 Union Street. I was unable to attend the previous meeting for this appeal and was not aware of the extent of the plans contemplated until recently. My neighbor did not reach out to me to discuss these plans prior to submission or approach me about signing a letter of support, even though we had previously discussed other potential renovations and parking solutions and even though my property will be the one most affected (I also note that none of the letters of support were signed by any of the neighboring properties). The notice further only indicated a change in the roof to be gabled and a request for curb cuts. The notice did not indicate that my neighbor intended to raise single story structures off the back of the house with fairly flat roofs to full three story structures. I am happy for her to update the property, but I am opposed to this increase in height on those portions of the property as it would shade my property unduly and also raises privacy concerns as more windows would be directly overlooking my yard and my neighbors' yards.

I have received a copy of a "shadow study" from the owner's architect. I am not aware of how these are normally done, but it shows projected shadows at sunrise, sunset, and midday. The study was presented in a way that minimizes any impact on my property (I am assuming this is a standard ploy). Obviously, in a high density residential neighborhood, everything is in shadow at sunrise and sunset, so those renderings show nothing. The midday renderings, however, show that the back of my house will be considerably more shaded, and midday is when shadows are the least because the sun is highest. When the sun is lower in the sky, the effect will be magnified. Parts of my yard that receive sun now would no longer do so under the proposed addition. I have communicated this concern to the owner.

I believe there are other options to improve my neighbor's property without impacting my property. The basement could be renovated into living space, as was done in many houses in the neighborhood. There is also deck space that could be turned into single story living space. In addition, the increase in space, per the plans, is not supposed to increase the number of residents, so perhaps a less ambitious increase in space is warranted. For example, a single three-bedroom unit may not need two kitchens, two studies, two washers and dryers, and six bathrooms.

In addition, I am concerned about the parking in front of the house. Generally, I am all for adding parking in the neighborhood. From the plans, however, the curb cuts would require removal of two city trees. Will this removal be mitigated? I am also concerned because it appears that the curb cut would partially extend in from of my property, and there is a giant city tree only a few feet away in front of my house. How will the curb cut impact that tree? The sidewalk has already been replaced with blacktop because of the tree. How will the new driveway impact that? There is also only 10 feet from the 24 Union foundation to the sidewalk. From the plans, there are stairs extending from the foundation towards the sidewalk. This makes me concerned that the cars will end up blocking the sidewalk because there isn't enough room to open doors next to the house.

Thank you for your consideration.

Sincerely,

J. Cooper McDonald

Pacheco, Maria

From: Nathaniel Haduch <nathaniel.haduch@gmail.com>
Sent: Friday, November 11, 2022 1:58 PM
To: Pacheco, Maria
Subject: 24 Union Street Appeal - Health concerns

Dear Board of Zoning Appeal,

I am the owner/resident of 28 Union Street, which sits just feet from 24 Union Street. I have not been notified about the plans for 24 Union Street until very recently - my neighbor did not reach out to me to discuss these plans prior to submission or approach me about signing a letter of support. I am opposed to any daytime construction at this time, as I have been seriously impacted by this in the past and have health issues that warrant further consideration.

External increase of the space will cause me to need to move from my home at 28 Union Street, which I purchased just two years ago. This is unacceptable to me. I have been working from home since I've moved in, and neighborhood construction has been extremely harmful to me and my neighbors in the last couple years. Without a place to go during the day, the noise from the construction is simply too much to handle.

Please do not allow the lives of our Wellington-Harrington neighbors to be ruined by this scourge. We need our sleep and our quiet in these uncertain times. Don't make me relocate because of this unnecessary construction.

Thank you for your consideration.

Sincerely,

Nathaniel Haduch

Nov 13 2022

Members of the Board,

I am writing to provide comments on BZA case 188958 regarding 24 Union St. My family and I have lived at 27 Union St for the past 10 years and now have two young children who walk and ride bikes on the street and sidewalks so traffic and safety are two concerns of mine.

I am supportive of the plan to renovate and expand the structure and I agree with other commenters that the design is attractive and compatible with scale and context of the surrounding homes. However, I am not supportive of the plan for the two curb cuts and the front yard parking for many reasons which I describe more below. Having read though the zoning regulations I have identified several issues with the parking and curb cut aspects of the proposal that are not adequately addressed.

One of my concerns is the impact on the neighborhood of paving what is now a yard with some shrubs and the removal of two significant (greater than 6 in) trees which is discouraged by 6.47.3. Losing this space would negatively impact our densely populated area since street facing open space and mature trees are not abundant.

Regarding the driveway and parking spots, the 8'4" proposed width is narrower than the 10ft set out in section 6.43.4 which in itself does not impact the neighborhood, but is a contributing factor to the issues below. While the front yard parking section of 6.44.1c is mentioned, sections 6.44.1a and 6.44.1b are also involved since the narrow driveway/parking area would not be set back 5ft from either the building wall or the property line. In addition, there is no mention in the proposal of how or if the separation between the parking area and the sidewalk required by Section 6.44.7 would be accomplished. In this case I think it is important to demarcate the parking space from the narrow sidewalk. Due to the narrowness of the driveway/parking spots, if a separation, say a fence, were built I question whether it is realistic for someone to be able to maneuver even a small car from the street into the parking spots without hitting the fence and/or house. This seems to go against section 6.43 and cars spending time struggling to park in these circumstances would be spending time impinging on the sidewalk and street, potentially impacting traffic and pedestrian safety. It is also worth mentioning that this issue would be exacerbated in the winter following snow storms since usable driveway space will be further reduced. I don't know if it is something that this board considers, but I'm concerned that this proposal would lead to the residents having no place to pile snow shoveled from the sidewalk and the newly created driveway and parking spots since the front yard where residents of 24 union currently put their snow will have virtually disappeared. This could lead to snow being shoveled into the street out of frustration where it would impact traffic.

Regarding the second curb cut, section 6.43.5c allows for special permits if the second cut would "facilitate" traffic and safety. The petition only asserts that traffic and safety would "not be compromised." This seems to me to be a lower standard and one which I do not think is met for all of the reasons set out above.

I would also like to note two inaccuracies in the petition regarding the curb cuts and front yard parking. First the petition states that the total amount of open space would not be changed, but under the proposal nearly the entire front setback would be changed from yards to driveways and parking. My understanding from the definitions in the zoning regulations, is that this should no longer be counted as open space, which as I mentioned above is a rare and valuable thing in our neighborhood's front yards. Secondly, the petition states that two on-street parking spaces will be available between the curb cutout and that there will be "increased on-street parking." This is not the case since no parking is allowed on the even numbered side of the street. While these mistakes are not the primary basis of my objections, they do indicate a basic lack of familiarity with the neighborhood which concerns me since there are other assertions in the petition about impacts to traffic, safety, and neighborhood character.

I sincerely understand the desire for the owner to have off-street parking and admit that my position could be seen as hypocritical since I am fortunate enough to have off-street parking on my property. However, it seems like the proposed front yard parking arrangement is not consistent with the letter or spirit of the several different regulations designed to protect the safety, livability, and character of our neighborhood. While any one of these issues might be able to be mitigated, taken together they are significant enough that I urge the board to not approve the front yard parking. I also urge the board to approve the other proposed changes and wish the owner the best of luck with the renovation.

Eric Wahl

27 Union St



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 OCT 19 PM 2:14
CITY OF CAMBRIDGE
BOARD OF ZONING APPEALS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-188958

Address: 74 Union Street

Owner, Petitioner, or Representative: Joseph Luna
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 10/11/22

Joseph Luna
Signature

* * * * *

(9:15 p.m.)

Sitting Members: Brendan Sullivan, Andrea A. Hickey, Wendy
Leiserson, Slater W. Anderson, and Matina
Williams

BRENDAN SULLIVAN: Let me call Case No. 188958 --
24 Union Street.

JOSEPH LUNA: Yes, Board. Can you hear me?

BRENDAN SULLIVAN: Yes.

JOSEPH LUNA: Okay. Very good. Good evening,
Board. Thank you for hearing our case. My name is Joseph
Luna. I am the Principal of Luna Design Group Architects at
100 Conifer Hill Drive in Danvers. We are the Project
Architect for this, and I'm speaking on behalf of my client,
Ms. Lin Lin, who's also here today.

The project in question --

BRENDAN SULLIVAN: I'm sorry, before you begin,
are you aware that there is correspondence that just came in
from Marcia Hern -- H-e-r-n -- dated today. And let me read
it just so that you know.

"I am writing in opposition to part of the appeal
of changes to 24 Union Street. I see no reason as to why

1 they are not able to add a gabled roof to the main structure
2 of the house, to add third floor living.

3 "I am in opposition to adding a second and third
4 floor to the rear addition. This would block and shade
5 along with towering over the yards of the many small lots
6 adjacent to 24 Union.

7 "In addition, I am fearful that it would require
8 cutting down or damaging a very mature tree located at 26
9 Union which provides shade to the properties at 28 and 30
10 Union.

11 "This lot, like so many on our street, is built
12 extremely close to the neighboring properties. While I am
13 the third property to 24 Union Street, I would guess their
14 lot is less than 150 to 200 feet from my house.

15 "While I am not necessarily opposed to the curb
16 cut request, I would like the Board to get details as to
17 where or how cars would park, as there is very little
18 frontage on the property. I don't see in the proposal where
19 cars would park.

20 "If they can explain to the Board in a
21 satisfactory way that a car of a normal size will not block
22 sidewalk parking or impede existing street parking, I would

1 not be against the curb cuts.

2 "Sorry for the twelfth-hour delay. I planned to
3 attend the meeting, but realized I have a conflicting PTO
4 meeting, for which as a new Board member I cannot miss.

5 "Thank you, Marcia Hern-Lacey

6 "30 Union Street, Apartment 2."

7 I don't know if you are aware of that letter or
8 not.

9 JOSEPH LUNA: If it just showed up, no, I'm not.

10 BRENDAN SULLIVAN: Yeah, okay. It's the second
11 and third floor rear additions and --

12 JOSEPH LUNA: Okay.

13 BRENDAN SULLIVAN: -- I don't know if there is no
14 shadow study and the other members of the Board, I guess
15 shall we proceed with it? Should the petitioner be allowed,
16 or should the petitioner address that concern?

17 I guess what I'm asking is whether or not we
18 should go forward as a case heard, or that it should be
19 continued, and have the petitioner address that particular
20 issue or two raised by the letter that just came in. The
21 parking, I think, has been addressed, because that is on the
22 drawing. It's the second and third floor addition.

1 Andrea, any thoughts on that?

2 ANDREA HICKEY: Yeah. I think we should give the
3 petitioner time to address those issues in the record.

4 BRENDAN SULLIVAN: Okay.

5 JOSEPH LUNA: Okay.

6 BRENDAN SULLIVAN: Wendy?

7 WENDY LEISERSON: I concur.

8 BRENDAN SULLIVAN: Okay, Slater?

9 SLATER ANDERSON: Agreed.

10 BRENDAN SULLIVAN: And Matina?

11 MATINA WILLIAMS: Also agree.

12 BRENDAN SULLIVAN: All right. And I guess I would
13 agree. So I guess, Mr. Luna, I guess what we're asking is
14 that a -- what we consider a serious issue that has been
15 raised by the petitioner regarding the effect of the
16 addition on the back and whether or not a shadow study would
17 be appropriate to address whether the concern is valid or
18 not.

19 The issue with going forward tonight and then
20 continuing it, which seems that the Board would want to do,
21 because it may not be able to get the adequate information
22 because you may not have it --

1 JOSEPH LUNA: A shadow study has not been
2 prepared.

3 BRENDAN SULLIVAN: -- right; is that it would be a
4 case heard, which means that it would have to get kicked
5 off.

6 JOSEPH LUNA: Can I -- the abutter with the
7 question about the amount of shadow, what addresses that?

8 BRENDAN SULLIVAN: The -- I'm sorry, the abutter
9 -- what was it?

10 JOSEPH LUNA: The abutter who just raised this
11 issue --

12 BRENDAN SULLIVAN: Yes, raised the issue about --

13 JOSEPH LUNA: -- about the shadows --

14 BRENDAN SULLIVAN: Yeah, block and shade along --

15 JOSEPH LUNA: All right, this is the first time I
16 heard of this concern, so I'd just like to have the name of
17 the abutter and the address, please.

18 BRENDAN SULLIVAN: Yeah. It's Marcia Hern; H-e-r-
19 n-Lacey, L-a-c-e-y, 30 Union Street, Apartment 2. And the
20 letter is in the file part of the record. It can be sent to
21 you, obviously, if you request it from the Staff.

22 JOSEPH LUNA: Yeah. I would just like to see in

1 proximity to 24 Union where 30 Union is, and is there any
2 net effect on the shadow study. That's my reason why I'm
3 asking for the address.

4 BRENDAN SULLIVAN: Right. Yep. So going back to
5 my statement is that if we open it up and the Board does
6 feel that information is necessary --

7 JOSEPH LUNA: Well, I think what is going to
8 happen -- it's been a long night so far -- is that we're
9 going to go through the next half-hour and then you're going
10 to come back to ask me the same question that we don't have
11 the answer for, right?

12 BRENDAN SULLIVAN: That's right. And then you
13 would have to reassemble the same five members, which kicks
14 it off into December. What would be the next date -- when
15 in the end of, where are we?

16 [Pause]

17 Yeah. I was going to say 11. 11 -- November 17
18 would be the next available date, as opposed to kicking it
19 off into December.

20 JOSEPH LUNA: Okay. And the shadow study would
21 have to be submitted by when, sir?

22 BRENDAN SULLIVAN: By the Monday -- 5:00 p.m. on

1 the Monday prior to the seventeenth.

2 JOSEPH LUNA: Okay. What we can do is we can do
3 this either through a Rabbit model or Google Sketch. I'll
4 prepare a shadow study for what the current condition is in
5 diagrammatic form, and then what the proposed condition is.

6 BRENDAN SULLIVAN: All right. And then I would
7 have conversation with Ms. Hern Lacey.

8 JOSEPH LUNA: Okay.

9 BRENDAN SULLIVAN: Let me make a motion, then, to
10 continue this matter to November 17, 2022, on the condition
11 that the petitioner change the posting sign to reflect the
12 new date of November 17, 2022, and the new time of 6:00 p.m.

13 That any changes to the current petition
14 that's in the file -- any changes be in the file by 5:00
15 p.m. on the Monday prior to the November 17 date.

16 That the petitioner -- would ask the petitioner to
17 sign a waiver to the statutory requirement for a decision --
18 for a hearing and a decision to be rendered thereof.

19 We would ask the petitioner to sign such waiver,
20 and that it be returned by no later than one week from
21 tonight, and then I would also ask the petitioner to provide
22 a shadow study addressing the concern of an abutter or a

1 neighbor regarding the addition on the back, second and
2 third floor.

3 Anything else, Board, that is -- should be
4 required?

5 [Pause]

6 So on the motion, then, to continue this matter to
7 November 17, Andrea Hickey?

8 ANDREA HICKEY: Yes, in favor.

9 BRENDAN SULLIVAN: Wendy Leiserson?

10 WENDY LEISERSON: Yes, in favor.

11 BRENDAN SULLIVAN: Slater Anderson?

12 [Pause]

13 Slater's on mute.

14 BRENDAN SULLIVAN: Sorry, I couldn't find my
15 screen. There we go. Slater, on the motion to continue?

16 SLATER ANDERSON: Yeah. I'm in agreement on
17 continuing.

18 BRENDAN SULLIVAN: And Matina Williams?

19 MATINA WILLIAMS: Yes, in favor.

20 BRENDAN SULLIVAN: And Brendan Sullivan yes.

21 [All vote YES]

22 Five affirmative votes; the matter is continued to

1 November 17. And again, just, Joe if you would get that
2 waiver in by a week from tonight.

3 JOSEPH LUNA: Okay, we can --

4 BRENDAN SULLIVAN: And you can get it -- yep.

5 JOSEPH LUNA: -- getting the form for the waiver,
6 where is that? Off of your --

7 BRENDAN SULLIVAN: Olivia will send it to you.

8 JOSEPH LUNA: Olivia will e-mail it to me.

9 BRENDAN SULLIVAN: Yes.

10 JOSEPH LUNA: Okay.

11 BRENDAN SULLIVAN: Yep.

12 JOSEPH LUNA: All right. Thank you for your time.

13 Sorry I missed dinner with my family, but --

14 BRENDAN SULLIVAN: Not at all. Yep. See you
15 then.

16 JOSEPH LUNA: We'll see you on the seventeenth.

17 Bye-bye.

18 BRENDAN SULLIVAN: All right. Thank you.

19

20

21

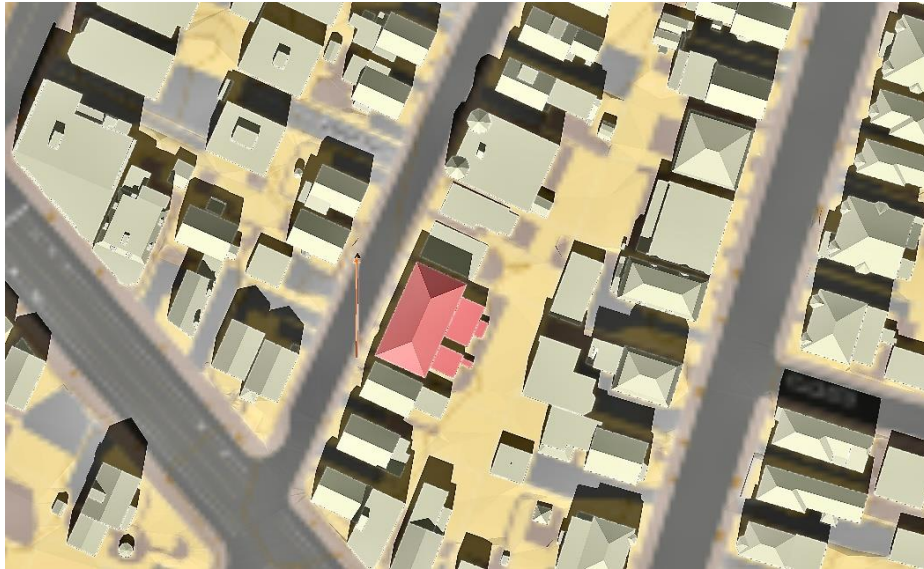
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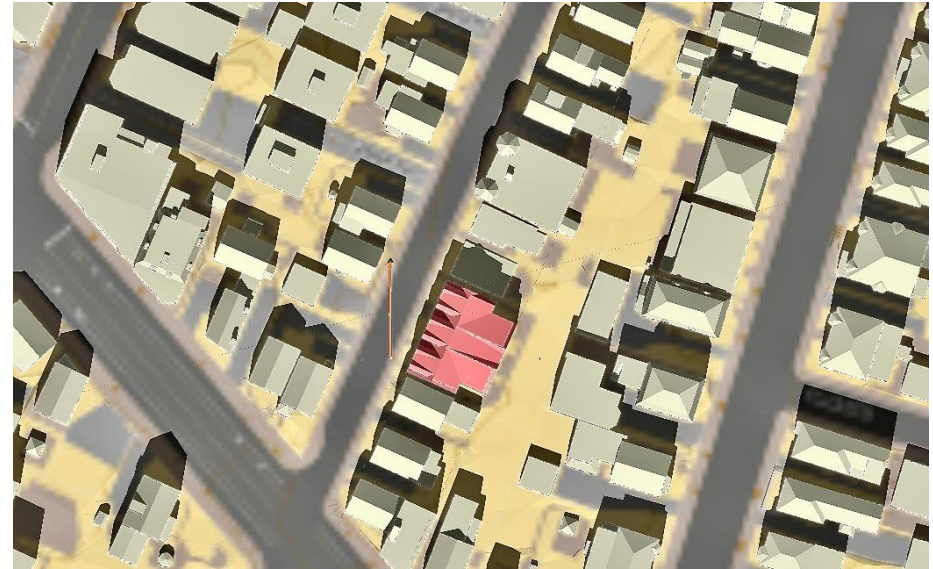
Existing Structure: One hour after sunrise – 06:30 EST



Proposed Structure: One hour after sunrise – 06:30 EST



Existing Structure: Midday – 12:00 EST



Proposed Structure: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed Structure: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,
October 21, 2023

MA


LUNA | Design Group
ARCHITECTURE INTERIORS PLANNING



Existing Structure: One hour after sunrise – 08:10 EST



Proposed Structure: One hour after sunrise – 08:10 EST



Existing Structure: Midday – 12:00 EST



Proposed Structure: Midday – 12:00 EST



Existing Structure: One hour before sunset – 15:14 EST



Proposed Structure: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



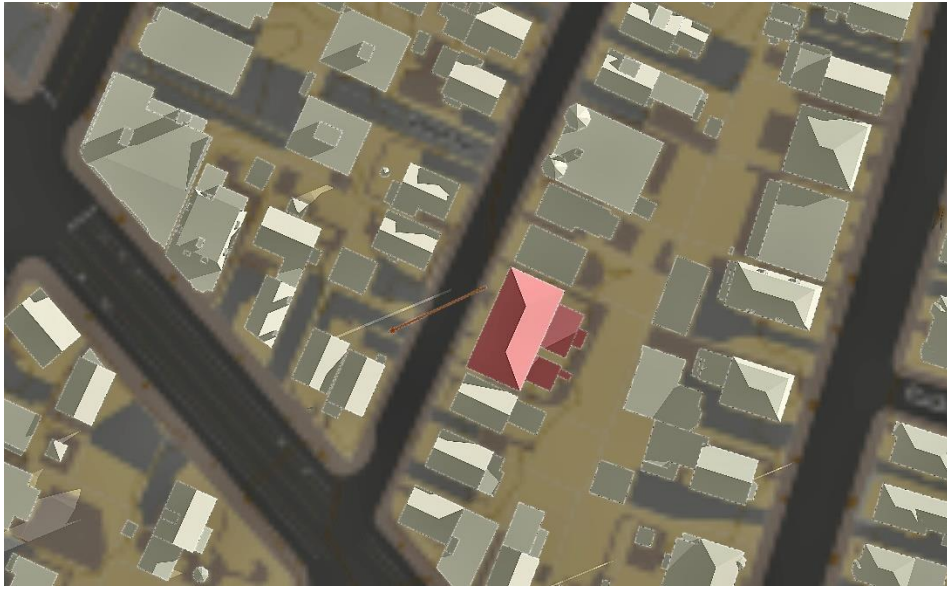
24 Union Street

Cambridge,
October 21, 2023

MA



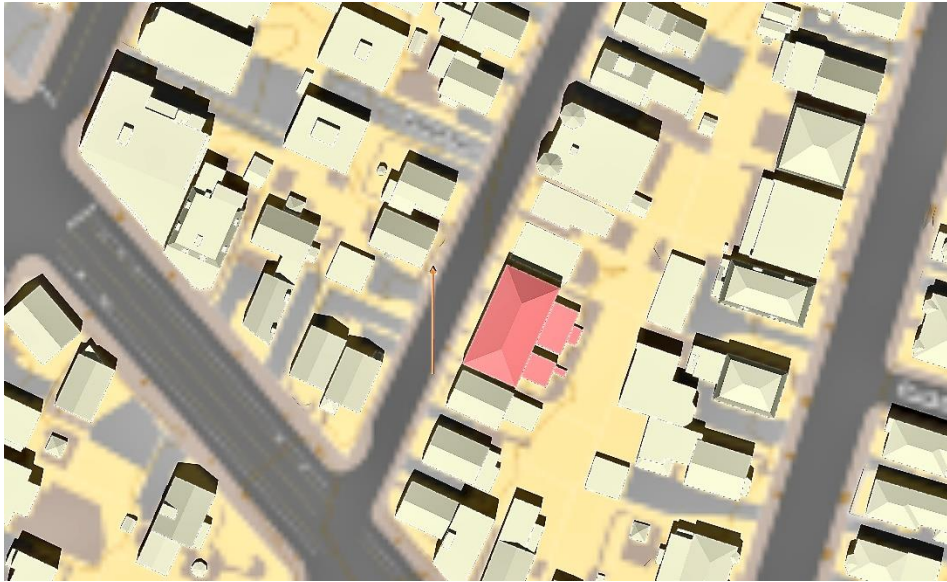
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ARCHITECTURE INTERIORS PLANNING



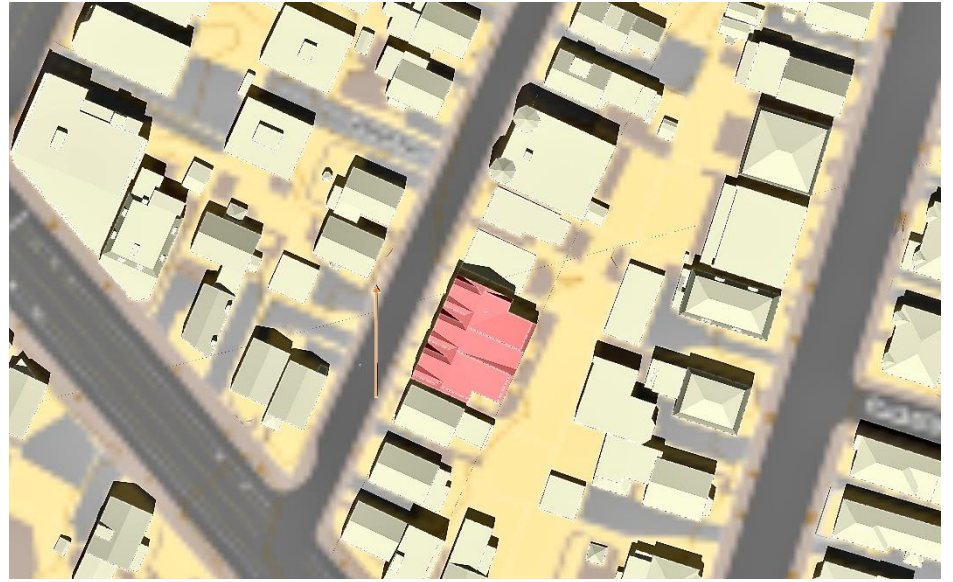
Existing Structure: One hour after sunrise – 05:07 EST



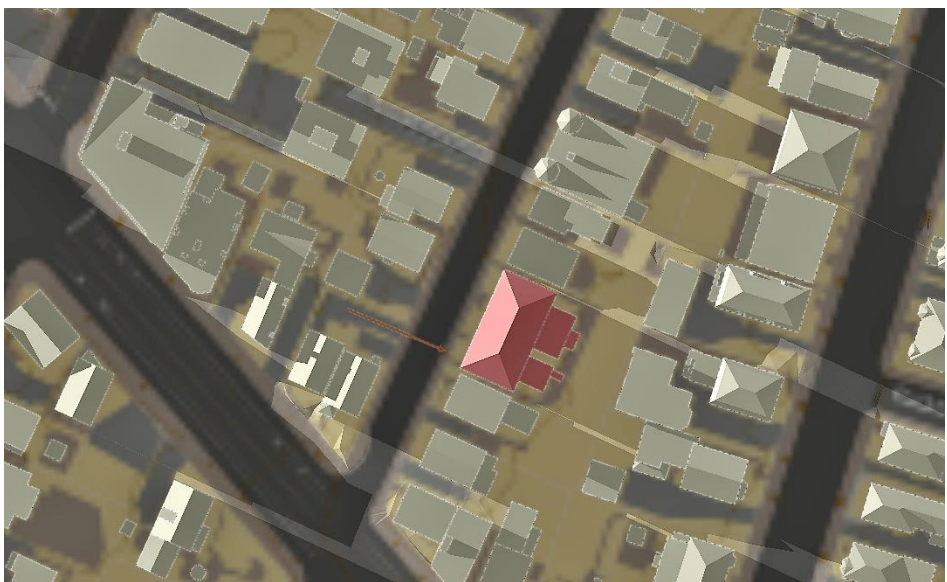
Proposed Structure: One hour after sunrise – 05:07 EST



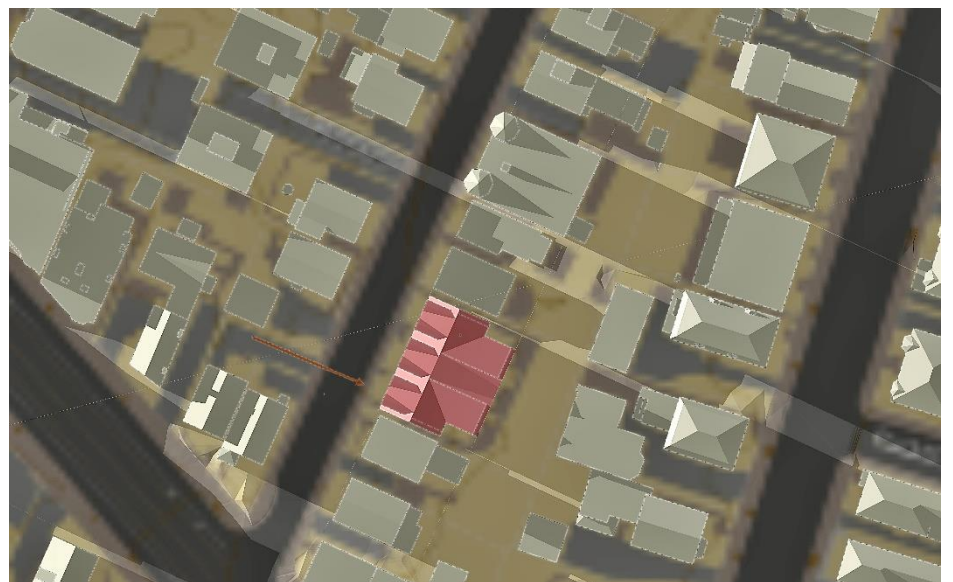
Existing Structure: Midday – 12:00 EST



Proposed Structure: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed Structure: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,
October 21, 2023

MA



9/12 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Matt Stern residing at, 25 Union Cambridge Massachusetts. I/We are

sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts. I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes in our neighborhood. I/We believe that proposed design will have no adverse effect on our property or the neighborhood as a whole. Therefore, I/we offer our support of this project for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Matt Stern
Signature:

13 Sep 2022
Date:

Signature:

Date:

Pacheco, Maria

From: Joseph Luna <jluna@lunadesign.com>
Sent: Tuesday, February 28, 2023 10:38 AM
To: Pacheco, Maria
Cc: Lin Lin
Subject: Request for Continuance - 24 Union Street

Ms. Pacheco:

Please be advised that my client Ms. Lin Lin will not be ready for the March 9th hearing as she needs more time to meet with the immediate abutters to discuss an acceptable redesign. For this reason, we are formally requesting a continuance to have our hearing be moved to the month of April. Please send confirmation of acceptance to the change of hearing date.

Thank you for your assistance.

Joseph Luna
Project Architect



100 Conifer Hill Drive, Suite 406
Danvers, MA 01923
tel: 781.245.6530 (ext. 11)
fax: 781.245.6508

Cell: 508.523.6881

www.lunadesign.com

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<http://www.houzz.com/pro/lunadesigngroup/lunadesigngroup>

Follow and LIKE our Facebook profile at:

<https://www.facebook.com/Luna-Design-Group-261631274548517/>

* * * * *

(6:32 p.m.)

Sitting Members: Brendan Sullivan, Andrea A. Hickey, Jim Monteverde, Laura Wernick, and Jason Marshall

BRENDAN SULLIVAN: The Board will now hear Case Number No. 188958 -- 24 Union Street. Mr. Luna, are you on?

JOSEPH LUNA: Yes, I am. Okay, thank you, members of the Board. My name is Joseph Luna. I am the Principal of Luna Design Group Architects from Danvers, and I'm speaking on behalf of my client, Ms. Lin Lin, who's also here today.

The project in question is 24 Union Street, which is a two-story hip roof townhouse with unfinished attic and basement. At the rear of the building are single-story smaller blocks that house existing bedroom and bathroom, and the property preliminary has no on-street parking.

Ms. Lin lives in Unit 24 and rents the other two units. The building is non-conforming to current Cambridge Zoning bylaws for parking and side yard setback.

Ms. Lin wishes to renovate and add to the building and has currently pulled a building permit for Phase 1,

1 Interior Building Renovations. It requires zoning relief to
2 add to the property, because of existing non-conformities
3 and additional non-conformities as a result of this
4 addition.

5 As part of the current Phase 1 renovation, a new
6 fire alarm and sprinkler system are being installed. The
7 system is designed to accommodate the proposed addition if
8 the requested zoning relief is granted.

9 Specifically, Ms. Lin wishes to build on top of
10 the existing single-story rear elements to add additional
11 living space upstairs, completely rebuild the roof to create
12 a usable attic and connect the attic over the proposed
13 second-floor additions.

14 As part of the roof rebuild, the roof would
15 eliminate this and change it to a primary gate at the rear,
16 and then individual shed dormers with bookend gables at the
17 front of each unit.

18 There will be no change in the height of the
19 primary roof or change in its roof pitch. Care was taken
20 not to overwhelm the front façade and the scale of the
21 dormer during contact with the neighborhood, and we believe
22 provide an attractive design, while gaining much-needed

1 attic living space.

2 Ms. Lin also plans on making cosmetic improvements
3 by eliminating the unattractive asphalt shingles to the
4 front façade and residing the house.

5 She is also seeking a special permit. As I
6 mentioned before, the property has no off-street parking.
7 She is allowed by right to put a single curb cut in;
8 however, there is no side yard to get a driveway to any rear
9 parking.

10 In order to get her some amount of off-street
11 parking, we are requesting to provide two 10-foot-wide curb
12 cuts at the east and west corners of the property. And then
13 there would be tandem parking along the front. As necessary
14 to do this, the existing stair stoops will be pushed into
15 the building.

16 There are two trees that will be affected by this,
17 and Ms. Lin is planning on replacing those trees. One could
18 be considered a significant tree; the other doesn't meet
19 that requirement, but she would put at least the major tree
20 back toward the center of the property.

21 We were asked too at the last meeting to present
22 shadow studies. We submitted a series of studies for the

1 project that shows the extent of the shadows at both
2 equinoxes. And each study shows one hour after sunrise
3 midday and one hour before sunset. And we did studies for
4 both the winter and summer equinox.

5 If you've had a chance to review these studies, we
6 do not see any substantial increase in the amount of shadows
7 being cast on the adjacent properties.

8 The two-story element that's added off the back
9 will cast a shadow, but since there's no increase of height
10 of the building, any increases in shadow casting is
11 negligible. I'd be happy to answer any questions the Board
12 may have on this project, and Ms. Lin is also here to answer
13 any questions as well.

14 BRENDAN SULLIVAN: Okay. With the Board's
15 indulgence, I think I would like to walk through the
16 existing and what is proposed. I could have Ms. Ratay pull
17 up EC1.01, which is the existing first-floor plan.

18 JOSEPH LUNA: There you go.

19 BRENDAN SULLIVAN: So a typical -- I think each
20 unit is a mirror image of the other one. Is that correct?

21 JOSEPH LUNA: That's correct. They're townhouse-
22 style units.

1 BRENDAN SULLIVAN: Okay. So a typical unit has a
2 bedroom, living room, dining room. There's a deck, there's
3 a kitchen, there's a bath off of the kitchen, and there's a
4 laundry area. And that is sort of typical.

5 JOSEPH LUNA: That's correct.

6 BRENDAN SULLIVAN: So the first floor -- and then
7 we go to EC1.02. The --

8 JOSEPH LUNA: You can see the roof; right.

9 BRENDAN SULLIVAN: And again --

10 JOSEPH LUNA: You can see the roof of the one-
11 story element in the back.

12 BRENDAN SULLIVAN: Right. There is a bedroom,
13 bedroom, a study, and an office.

14 JOSEPH LUNA: Correct.

15 BRENDAN SULLIVAN: And then there is no three
16 (sic), because that's what you're requesting, basically:
17 Change the roofline so that you can access and make use of
18 the attic space?

19 JOSEPH LUNA: Yes.

20 BRENDAN SULLIVAN: Now, if I would ask Ms. Ratay
21 to go to what is proposed, which would be A1.02?

22 JOSEPH LUNA: A1.01 to A1.03.

1 BRENDAN SULLIVAN: Right. And basically, you're
2 leaving the -- as an unfinished basement?

3 JOSEPH LUNA: Yes.

4 BRENDAN SULLIVAN: Okay.

5 JOSEPH LUNA: The existing basement is old masonry
6 construction. We're doing necessary structural reinforcing,
7 but it's not great space down there.

8 BRENDAN SULLIVAN: What is the floor to ceiling
9 height now? Do you know?

10 JOSEPH LUNA: Off the top of my head I couldn't
11 tell you. I believe it's around 7' -- 7'4".

12 BRENDAN SULLIVAN: Okay.

13 JOSEPH LUNA: I can get that information, but I
14 don't have it on these drawings right now.

15 BRENDAN SULLIVAN: All right. But there's no
16 desire or you feel --

17 JOSEPH LUNA: There's no desire or --

18 BRENDAN SULLIVAN: -- or worthwhile to even use
19 the basement? Okay. So on A1.01, first floor, what you're
20 proposing is -- again, a kitchen, a living room, a full
21 bathroom, dining room --

22 JOSEPH LUNA: Correct.

1 BRENDAN SULLIVAN: -- deck off of that, a bedroom

2 --

3 JOSEPH LUNA: Bathroom in the back -- the bathroom
4 in the back was preexisting; that will stay.

5 BRENDAN SULLIVAN: Okay. Let me just run through
6 it --

7 JOSEPH LUNA: Okay.

8 BRENDAN SULLIVAN: -- Joe, and you'll have a
9 chance to speak at the end. I just interrupt my thoughts
10 and I lose -- which may very well be pertinent. So again, a
11 typical unit: Living room, full bathroom, dining room, and
12 a deck off of that.

13 And then there's a bedroom, full bath off of that
14 and then a kitchen?

15 JOSEPH LUNA: Yep.

16 BRENDAN SULLIVAN: Going to 1.02, there is a
17 bedroom, full bath and a study, then a laundry and a wet
18 bar, which I would characterize as a kitchenette, and a
19 bedroom in the back with a full bath.

20 JOSEPH LUNA: Right.

21 BRENDAN SULLIVAN: And again, typical of those
22 units. Third floor: A study, full bath, a playroom and a

1 TV room.

2 I guess my impression on this is it's a big ask
3 because you're asking each unit would be a kitchen and --
4 again a kitchenette or a web bar, however -- five bathrooms
5 and one powder room, two study rooms, a playroom, and two
6 studies.

7 So you're asking for 13 rooms plus a living room,
8 a dining room and a sitting room brings it up to 16 rooms
9 per unit in the building. 16 rooms x three is 48 -- 48
10 rooms in what is a three-family structure.

11 To me it's a big ask. I think that it is
12 maximizing the property to the fullest extent. The parking
13 in the front to me is a nonstarter. Absolutely parking in
14 the front yard setback requesting two curb cuts is to me
15 just a nonstarter.

16 So those are my thoughts. Let me turn it back
17 over to the Board.

18 Jim Monteverde, your thoughts, comments?

19 JIM MONTEVERDE: I had the same response you did
20 regarding the parking in the front yard. I would not be in
21 favor of that. And beside the overall amount of the new
22 development being significant -- perhaps too significant to

1 the lot or for the building.

2 I was also curious about: I didn't find -- I
3 couldn't scale dimensions for the dormers and understand how
4 this complied or didn't comply with the Dormer Guidelines.
5 That was just one question I had.

6 And just from the visual appearance of it, it
7 appeared the dormers were significantly beyond the Dormer
8 Guidelines. So those are my three concerns in particular.

9 BRENDAN SULLIVAN: Okay. And I guess the ultimate
10 question, which I know one of the members of the Board will
11 bring up, is the hardship, and why is it a hardship for such
12 a -- more than just a renovation or repurposing of the
13 building, but a -- quite an expansion of the living space.
14 That's the other thought that I would have.

15 Laura Wernick, your thoughts at this time,
16 questions?

17 LAURA WERNICK: Yeah. I don't have much in
18 addition to what's been said to date. I did have a question
19 on the second-floor plan. I just had a question of your --
20 of the Chair's description. Because I thought it was -- is
21 it a -- it has a wet bar; I thought it was a laundry.

22 JOSEPH LUNA: It is a laundry with a refrigerator

1 wet bar inside. It's a shared space.

2 LAURA WERNICK: Okay. Yeah, no, it does seem like
3 a large quantity of space for this -- given the parking,
4 given the situation and the non-conforming use. So I think
5 I would disagree with the issues that have been raised to
6 date.

7 BRENDAN SULLIVAN: Okay. Jason Marshall? Your
8 thoughts, comments, questions?

9 JASON MARSHALL: Yeah. I mean, I think I
10 generally adopt the questions and concerns that have been
11 raised so far. It does strike me as quite an oversized ask
12 in terms of an exemption from the Zoning bylaws. It's
13 several thousand square feet over the allowable GFA.

14 And then to the Chair's point about hardship, it's
15 -- I'm not persuaded by the narrative in the application
16 that it meets the hardship standard -- this type of an
17 extension renovation. Those are my early thoughts.

18 BRENDAN SULLIVAN: Okay thank you. Andrea Hickey?
19 Questions? Thoughts? Comments?

20 ANDREA HICKEY: Yes. Mr. Chair, you've sort of
21 hit on all the points that are important to me, the first
22 being parking. The parking as proposed in the front of the

1 house from my perspective is not acceptable. It's too close
2 to the house.

3 The two curb cuts, if I'm recalling correctly,
4 were an issue with a neighbor or an abutter, and I just --
5 the parking is, as you said, a nonstarter, and I'm in
6 agreement with that.

7 Secondly, the hardship I would invite and
8 encourage the petitioner's representative to speak more to
9 that issue, because I've not really heard anything that's
10 convincing on the issue of hardship. I turn it back to you,
11 Mr. Chair.

12 BRENDAN SULLIVAN: Thank you. Let me open it to
13 public comment. And Joe, you'll have a chance to rebut any
14 comments or add to them in a moment. Let me open it to
15 public comment.

16 Any member of the public who wishes to speak
17 should now click the button that says, "Participants," and
18 then click the button that says, "Raise hand."

19 If you are calling in by phone, you can raise your
20 hand by pressing *9 and unmute or mute by pressing *6, and
21 you'll have up to three minutes in which to comment.

22 OLIVIA RATAY: Cooper McDonald?

1 COOPER MCDONALD: Hello. Cooper McDonald from 26
2 Union Street. I'm the owner and resident at 26 Union
3 Street.

4 I would like to object to basically the entire
5 plans. I have objections to the increase in the height of
6 the single square portions at the rear of the house, the
7 massive increase in FAR, the change of the roofline and also
8 the curb cuts. And I believe those are City trees in front
9 of the house. They're within the sidewalk.

10 With respect to the increase in the number of
11 stories at the rear of the property, the architect confirmed
12 to me that this increase in height would decrease the
13 available sun in my yard, and also at the back of my house.

14 As sunlight is a premium in an urban environment,
15 I object to this increase in height and increase in shading.
16 The addition of more windows directly aligned to overlook my
17 yard also raises privacy concerns for me. The increase in
18 height is also not needed to increase living space in the
19 unit.

20 My neighbor has requested use of the attic as
21 living space. This should be sufficient for any increase
22 needed. That said, the plan is to increase -- far exceed

1 the FAR for this neighborhood going from 0.65 to 1.14,
2 nearly doubling.

3 I object because all this does is create three-
4 bedroom units with six bathrooms, two kitchens and multiple
5 studies. I understand that improvements are desired, but
6 considerable improvements can be made in a smaller space.

7 With respect to the change in roofline, I may be
8 amenable to a change in style, however the windows in the
9 gable ends abutting at least my property, they're very close
10 to the property line and this -- however incrementally --
11 increases the risk of fire.

12 And then finally, I don't know how much I need to
13 say about the parking. I just don't think it's workable,
14 because it's -- there's gas meters on the front of the
15 house. It's too close to the sidewalk. It will end up
16 blocking the sidewalk. Thank you.

17 BRENDAN SULLIVAN: Thank you.

18 OLIVIA RATAY: Alice Flaherty?

19 ALICE FLAHERTY: Alice Flaherty. I'm at 22 Union
20 Street, the south side of the proposed buildings. My
21 objections are primarily the ones that were in my letter
22 that I sent, which is that it changes very much the

1 character of the back yards that stand.

2 Like right now I can see six or seven yards from
3 my roof deck, and we've often interacted with neighbors that
4 way. That's how we met people in the next door.

5 What that's going to do for the three-story
6 addition is, like, in the kitchen addition is put a big wall
7 that shuts off my view of a bunch of trees, and there will
8 no longer be the opportunity to talk to neighbors in that
9 way.

10 BRENDAN SULLIVAN: Thank you for calling in.

11 OLIVIA RATAY: Marcia Hern-Lacey?

12 MARCIA HERN-LACEY: I wrote an initial appeal, and
13 then I wrote an additional e-mail --

14 THE REPORTER: Can you give your name and address,
15 please?

16 MARCIA HERN-LACEY: Sure. My name is Marcia Hern-
17 Lacey, and I live at 30 Union Street, Apartment 2. I am the
18 third house after this proposed property. I had sent an e-
19 mail earlier today, and just because I was unsure if I'd
20 make the meeting.

21 But I am sharing the concerns of Alice and Cooper
22 in particular. I'm against the expansion of the rear

1 addition that is currently the kitchen up to the third
2 floor, basically due to light, due to privacy, due to view.

3 And again, it's just, as was pointed out already,
4 we're still a three-bedroom. We're still three units with a
5 three-bedroom, just with a ton of extras that I question
6 whether are needed.

7 And I did question the parking, and I think we are
8 all in agreement and concerned that it would just block the
9 sidewalk and be unattainable.

10 So that's all I have to say. Thank you for
11 listening.

12 BRENDAN SULLIVAN: Thank you. The sum and
13 substance of anybody calling in. We are in receipt of
14 correspondence. Marcia Hern-Lacey sent it a letter and
15 spoke. It was dated actually today, November 17. And she
16 also sent in one previous.

17 There is correspondence from Eric Wahl -- W-a-h-l,
18 27 Union Street; Nathaniel Haduch -- H-a-d-u-c-h, and he
19 lives at 28 Union Street. There is, again, correspondence
20 from Mr. McDonald, who spoke. There is correspondence to
21 the Board of Zoning Appeal.

22 "Dear Committee, my name is --" and it's filled in

1 with the resident residing at 25 Union Street.

2 Other people who signed are 359 Windsor Street,
3 107 Hampshire Street; 30 Union Street, Apartment 1, 37 Union
4 Street, 109 Hampshire Street; 18 Union Street, 330 Windsor,
5 371 Windsor; 18 Union Apartment 1, 55 Union, 362 Windsor,
6 371 Windsor, 315 Windsor.

7 Basically, they are saying that they find the
8 design attractive and compatible with scale and context of
9 the surrounding homes. "We believe that the proposed design
10 will have no adverse effect on our property or the
11 neighborhood as a whole." Therefore, the following addresses
12 of people offer their support of the project for the
13 requested variances.

14 And that is the sum and substance of any
15 communication. I will close the public comment part and
16 send it back to you, Mr. Luna, for comments and thoughts.

17 JOSEPH LUNA: Okay. My client, Ms. Lin, is here.
18 As far as the number of rooms, I think she would be -- would
19 like to speak as far as why she's asking what she's asking.
20 She could raise her hand and be allowed to speak, and then I
21 can address that afterwards.

22 BRENDAN SULLIVAN: Okay.

1 JOSEPH LUNA: Lin, you can raise your hand.

2 LIN LIN: Oh, hi. Oh, yeah, sorry. One second.
3 Give me one second.

4 BRENDAN SULLIVAN: Okay, Lin Lin, if you could
5 just - again, just state, restate your name and your address
6 for the record.

7 LIN LIN: Yeah. My name is Lin Lin, and my
8 address is 24 Union Street. So thank you so much for
9 everyone coming to the hearing for my property line.

10 But I want to say something after I hear all my
11 neighbors say everything, because I live in this area -- I
12 live in 24 Union Street over six years. And I know
13 everything about this area.

14 And before I did this plan and reached my
15 architect, we took a visit around all the buildings,
16 [unclear]. And I can answer all the questions now.

17 So for firstly, for 26, Cooper: Cooper, he did
18 the same job last year. He [unclear] more room on the roof
19 at his house, and the shadows go to the 28 Union Street.

20 So but he did everything, same my job. But he
21 never say anything. He did a letter, but he disagree. I do
22 everything same thing. So that's probably feels a little

1 bit unfair. That's very unfair.

2 Because I'm not an American citizen, but I'm also
3 pay the six years' public taxes and the income taxes to
4 Americans. I think I need to have the same rights. I have
5 to get the same rights. So I feel maybe a little bit
6 unfair.

7 Because he did the same. When I do -- I'm next to
8 his house. When he do this, I never say anything, and also
9 neighbor 28, he told me the same. His shadow also goes to
10 his house. He built the same last year and this year when I
11 do, he disagrees. I'm feeling very, very unfair. That's how
12 it feel on this.

13 And 22 Union Street: Yes, my house is next to her
14 house. And yes, when I build my house a little bit, we are
15 changing a little bit of the [unclear] of the side. Of
16 course. But 70 or 97 -- I went to 97 I went to 97 house
17 yesterday. 97 is next to his yard, it's the same. 97 built
18 the same job. He did the same job. They built the same in
19 the back way.

20 The building, the third floor, they built a really
21 tall fence. The fence is higher than me. My house never
22 had any fence. But the Cooper did -- fence is higher than

1 me. So every of my neighbors did the same job.

2 But when I planned this and -- because of my roof
3 is very, very old, this is the house built in 1996. And the
4 roof almost -- done the work, and now I have to change. So
5 then I just -- the same time, I just make a bid a little
6 bit.

7 And also, my basement, the basement is a bare wall
8 [phonetic], it's crashed. It's unsafe for living. So just
9 to use this, I just made the same time for change a little
10 bit, and make each unit be more comfortable a little bit.

11 Because for -- after the pandemic, so every people
12 need that to almost 80 percent of the people work at home.
13 For me, I'm at work at home every day. And every people
14 need a bedroom with a bathroom, with a TV room for their --
15 for example about now, we're meeting; the same.

16 Before, we can just have a one bedroom each
17 person. For example, a family has three people.

18 BRENDAN SULLIVAN: Okay.

19 LIN LIN: Mostly people work at home. We need one
20 study room or one room for the office. We need this space.

21 BRENDAN SULLIVAN: Okay.

22 LIN LIN: I think that's very normal.

1 BRENDAN SULLIVAN: Good.

2 LIN LIN: And all my life I did the same job. I
3 feel -- I really feel unfair. I feel a little bit worried
4 about this, and also, they -- for the parking, I think
5 that's not a parking. But we can say it's the parking. But
6 I think it's not the parking. Only it's that I drive my car
7 into my property.

8 Because all my neighbors, they don't say parking,
9 but they did a fence like this, and they drive the car in,
10 and they get the fence closed.

11 So my property no fence. I just say this is
12 parking. But we can say not a parking. I can just same,
13 get a fence and drive my car inside, close --

14 BRENDAN SULLIVAN: Okay.

15 LIN LIN: -- my fence -- only drive my car into my
16 parking.

17 BRENDAN SULLIVAN: Okay. All right, all right. I
18 think we understand what you're trying to say.

19 LIN LIN: All my life is the same.

20 BRENDAN SULLIVAN: Okay.

21 LIN LIN: Yeah. I really feel I'm taking the fall
22 for all the neighbors. This is the 97 Hampshire Street.

1 This is next to 22, Alice's house.

2 BRENDAN SULLIVAN: Okay. All right.

3 LIN LIN: Are you saying --

4 BRENDAN SULLIVAN: All right.

5 LIN LIN: -- and also please --

6 BRENDAN SULLIVAN: Okay.

7 JOSEPH LUNA: Okay, Lin Lin.

8 BRENDAN SULLIVAN: Thank you.

9 LIN LIN: -- also, all my neighbors --

10 JOSEPH LUNA: Lin.

11 BRENDAN SULLIVAN: Thank you, thank you.

12 LIN LIN: Yeah.

13 BRENDAN SULLIVAN: Okay.

14 JOSEPH LUNA: Okay.

15 BRENDAN SULLIVAN: One question I have to answer,
16 Mr. Monteverde, if Olivia could pull up A4.04, which is the
17 front of the structure and the length of those dormers. Do
18 you have those off the top of your -- it was difficult in
19 the plan to --

20 JOSEPH LUNA: I don't have -- I'm only looking at
21 11 by 17. I don't have the spare drawings --

22 BRENDAN SULLIVAN: Okay.

1 JOSEPH LUNA: -- in front of me. Essentially,
2 what we did with the dormers, we held them two feet from
3 each end of the party walls and the end walls. The dormers
4 were designed, we did not want to have a continuance shed
5 dormer go around like a giant thumb up on the roof.

6 BRENDAN SULLIVAN: You wouldn't be allowed to.

7 JOSEPH LUNA: Yeah. Yeah. Yeah.

8 BRENDAN SULLIVAN: It wouldn't --

9 JOSEPH LUNA: We broke --

10 BRENDAN SULLIVAN: It's not a question of whether
11 you want to or not.

12 JOSEPH LUNA: We broke --

13 BRENDAN SULLIVAN: You're not allowed to.

14 JOSEPH LUNA: -- we broke the dormer -- nor did we
15 do individual sheds. We broke the dormers into sheds, but
16 then did the bookend doghouse dormers tied into that. So
17 feel it is, you know, in context. We're trying to maximize
18 area up in the roof.

19 Obviously, the shed dormer provides the solution,
20 but we -- and, you know, these -- if you look at the roof
21 plan, the roof rims on this is quite complicated to make all
22 these dormers work.

1 But we tried to really make a major effort along
2 the front façade to break down the scale of the dormer by
3 doing individual dormers at each one of the townhouses, and
4 then doing the bookends.

5 The parking -- with respect to the parking, this
6 is the only remote solution that can get any off-street
7 parking on this. There's -- as I mentioned before, there's
8 no space between the property line and the building in order
9 to get a driveway to park in back.

10 The stoops have to be pushed back and we knew,
11 honesty, it was going to be able to a big ask. But this is
12 the only workable solution that can work for parking and run
13 short of just backing your car up, and having it stick onto
14 the sidewalk.

15 So -- well, it's not an ideal solution, but it is
16 really the only solution to provide off-street parking. And
17 there's no net effect on losing parking spaces with the two
18 curb cuts, because there's no parking on that side of the
19 street.

20 BRENDAN SULLIVAN: All right. And again, I go
21 back to the purpose of the ordinance, which is 1.30, which
22 shall be the purpose of the ordinance to lessen the

1 congestion in the street and serve the health to secure fire
2 and secure safety from prior flood panic and other dangers,
3 to provide adequate light and to prevent overcrowding of
4 land to avoid undue concentration of population, and to
5 encourage housing or persons of all income levels.

6 But also, I think the purpose of the ordinance is
7 to alleviate unwarranted overdevelopment. I think that this
8 is way overdevelopment of this particular structure. And I
9 can't get my head around all of the number of bathrooms and
10 bedrooms that you're proposing.

11 I would be opposed to the proposal that is before
12 us. I think you've heard from members of the Board. You
13 have to get four affirmative votes, and I don't think we
14 have them right now, so that there are two options -- either
15 we take it to a vote, and if it was not a favorable vote to
16 you, that you would be precluded for two years coming back
17 with the same or similar proposal, but you would have to if
18 it was in two years.

19 There's somewhat of a couple of bureaucratic
20 hurdles that has to go before the Planning Board, and they
21 would have to determine whether it was a similar or
22 dissimilar proposal.

1 If it was ruled similar, then that ends it; you
2 have to wait two years. If they said that it was materially
3 different, it then comes back to us to decide whether or not
4 it is -- that we concur with them that it is a materially
5 different proposal.

6 And then you would then have to file for a review
7 by this Board. That eats up weeks and eats up months.

8 The other option would be to consider what the
9 Board has said, letters in the file from neighbors of
10 adjoining properties, and to come back with a different
11 proposal; keep this proposal alive by continuing it and come
12 back with something that is something similar -- I'm sorry,
13 say something different, something possibly scaled back.

14 JOSEPH LUNA: We do not want to take it to the
15 vote tonight. Nor do I want to withdraw the application
16 without prejudice. I respectfully request the Board for a
17 continuance, so I can sit down with my client, see if we can
18 find a more workable solution and have another dialogue with
19 the neighbors.

20 I will say my client has been very diligent about
21 talking to the neighbors. You saw the letters of support.
22 Although there were objections, she did make a conscientious

1 effort to speak with the neighbors.

2 That being said, we'd like to see if we could come
3 back with a retooled plan and see if we can come to some
4 compromise with the neighbors.

5 I understand that the issue with the front
6 driveway based on everything I'm hearing, and there's no
7 other solutions would be a nonstarter, but perhaps with the
8 expansion of the attic, we can come to some meeting of the
9 minds and find an acceptable solution to the immediate
10 neighbors.

11 BRENDAN SULLIVAN: Yeah. You know, and again it's
12 -- each five bedrooms and, you know, the kitchen,
13 kitchenette, you know, powder room, playroom, study, sitting
14 area -- it's just -- it's -- you're asking for an awful lot.
15 Anyhow, that's my thought. Any other member of the Board
16 would like to chime in at all?

17 JIM MONTEVERDE: I think we've covered it all.

18 BRENDAN SULLIVAN: Okay. Thank you.

19 ANDREA HICKEY: Mr. Chair, it's Andrea Hickey
20 speaking. I would just ask that the petitioner and her
21 representative at the continued case really be prepared to
22 address hardship. It -- you're -- there just is no evidence

1 that I've heard so far regarding hardship. So if you'd be
2 sure to address that when you're before us.

3 BRENDAN SULLIVAN: That is an excellent point,
4 Andrea. And I think Joe, you will pay attention to that.

5 JOSEPH LUNA: Yeah. I mean, it's not -- with all
6 due respect, Chairman Sullivan, the property is
7 underutilized. Ms. Lin is trying to maximize her investment
8 in this property.

9 The property is adequate in many, many ways.
10 She's trying to do the right thing. She is willing, you
11 know -- she is bringing up the life safety, but she needs to
12 make this more financially viable for her. The investment
13 it's going to take in doing all of this work, to be able to
14 provide the necessary spaces and areas that she can increase
15 the value of the building. So.

16 BRENDAN SULLIVAN: Okay. I'm going to go to
17 January 12.

18 JOSEPH LUNA: That's too soon.

19 BRENDAN SULLIVAN: Too soon?

20 JOSEPH LUNA: Too soon.

21 BRENDAN SULLIVAN: Okay. Fine. So --

22 JOSEPH LUNA: I would like to push it into

1 February.

2 BRENDAN SULLIVAN: Yeah. Okay.

3 JOSEPH LUNA: Because it's the end of the
4 holidays, and --

5 BRENDAN SULLIVAN: Then because of my being away,
6 this is a case heard. So we have to empanel the same five
7 members February 23.

8 JOSEPH LUNA: That would be acceptable.

9 BRENDAN SULLIVAN: Okay. Of the members of the
10 Board, Jim Monteverde February 23?

11 JIM MONTEVERDE: That's fine.

12 JASON MARSHALL: Mr. Chair, I cannot do that date.

13 BRENDAN SULLIVAN: The next date after that would
14 be March 9. Jim Monteverde, March 9?

15 JIM MONTEVERDE: That's fine.

16 BRENDAN SULLIVAN: Laura Wernick, March 9?
17 Andrea, March 9, and Jason?

18 LAURA WERNICK: Hold on a second.

19 BRENDAN SULLIVAN: I'm sorry, yes, Laura.

20 LAURA WERNICK: I'm just trying to check --

21 BRENDAN SULLIVAN: Okay.

22 JOSEPH LUNA: We're not going to get the two years

1 on the availability, are we?

2 BRENDAN SULLIVAN: Yeah.

3 LAURA WERNICK: I think March 9 is okay --

4 BRENDAN SULLIVAN: Okay.

5 LAURA WERNICK: -- for me.

6 BRENDAN SULLIVAN: Andrea, March 9?

7 ANDREA HICKEY: Yes. That looks fine, Mr. Chair.

8 BRENDAN SULLIVAN: Okay, Jason?

9 JASON MARSHALL: Yep. Good here.

10 BRENDAN SULLIVAN: Okay. So March 9, 2023 at 6:00
11 p.m. On the motion, then, to continue this matter to March
12 9, 2023 --

13 JOSEPH LUNA: Right. That will give us time to
14 talk to the neighbors about the new design.

15 BRENDAN SULLIVAN: All right. Okay. I'm going to
16 make a motion, then, to continue this matter to March 9,
17 2023 on the condition that the petitioner change the posting
18 sign to reflect the new date of March 9, 2023.

19 The posting sign must be maintained at least 14
20 days prior to the March 9 meeting, and change the time to
21 6:00 p.m.

22 JOSEPH LUNA: Okay.

1 BRENDAN SULLIVAN: That any new submittals not
2 currently in the file be submitted by 5:00 p.m. on the
3 Monday prior to the March 9 meeting.

4 That also the Board would request an updated
5 supporting statement addressing the nature of the legal
6 standard for granting a variance; also any new dimensional
7 forms reflecting any new drawings to be submitted prior to
8 the March 9 -- sorry, must be submitted by 5:00 p.m. on the
9 Monday prior to the march 9 meeting.

10 On the motion, then, to continue this matter until
11 March 9, 2023, Jim Monteverde?

12 JIM MONTEVERDE: In favor.

13 BRENDAN SULLIVAN: Laura Wernick?

14 LAURA WERNICK: In favor.

15 BRENDAN SULLIVAN: Jason Marshall?

16 JASON MARSHALL: In favor.

17 BRENDAN SULLIVAN: Andrea Hickey?

18 ANDREA HICKEY: Yes, in favor.

19 BRENDAN SULLIVAN: Brendan Sullivan yes.

20 [All vote YES]

21 BRENDAN SULLIVAN: So on the five affirmative
22 votes, this matter is continued to March 9, 2023. Thank

1 you, Joe.

2 JOSEPH LUNA: All right. Thank you. Good luck.

3 Have a good evening.

4 BRENDAN SULLIVAN: See you then.

5 JOSEPH LUNA: And Happy Thanksgiving.

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Pacheco, Maria

From: Ratay, Olivia
Sent: Thursday, November 17, 2022 3:14 PM
To: Pacheco, Maria
Subject: FW: BZA 188958

Regards,

Olivia Ratay
Zoning Specialist
Inspectional Services
617-349-6110

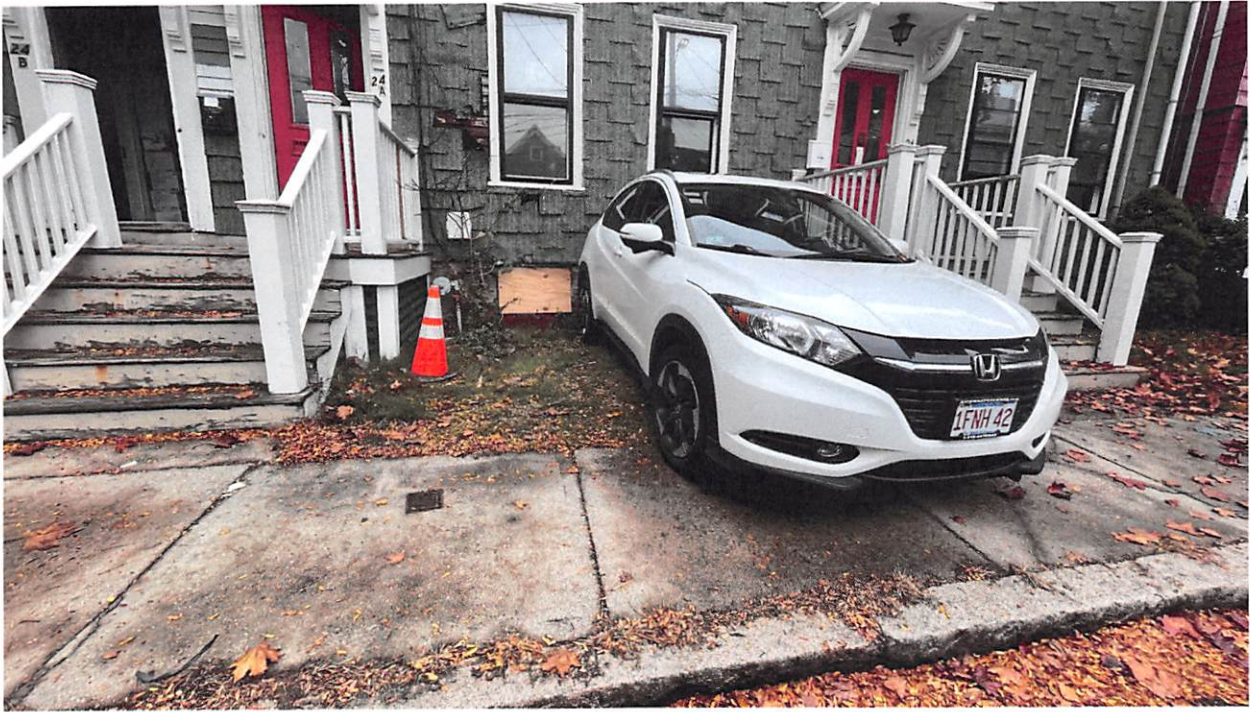
From: marciaamyhern@gmail.com <marciaamyhern@gmail.com>
Sent: Thursday, November 17, 2022 3:00 PM
To: Ratay, Olivia <oratay@cambridgema.gov>; Maria Gutierrez <magutierrez@cpsd.us>
Cc: Singanayagam, Ranjit <ranjits@cambridgema.gov>
Subject: Re: BZA 188958

Hello,

I am in still opposition to adding two stories to the rear addition. I asked Lin Lin to consider enclosing 1st floor decks and using basement instead of expanding upwards. I feel that the ambitions of this project could be scaled back as well. This is currently a three bedroom-they want to drastically increase the footprint yet it will still remain a three bedroom according to plans however assuming I am reading the plans correctly there is to be-SIX bathrooms, a washer and dryer on both the second and first floor two studies, a playroom and a tv room added. This seems excessive for the number of bedrooms/occupants. Also regarding the parking-in general I am not adding parking. Unfortunately my only option is street parking and with two small children I understand the gamble that comes with it to find a space (assuming this is being built for families.) However I cannot for the life of me understand how you can park on this space without blocking the sidewalks. The plans do show curb cuts-but a car is to park perpendicular as this car was on the property in question recently you will block the sidewalk. If you are to parallel park you would have to be so close I don't think you could open driver side door. I have asked Lin Lin for explanation as to how a car would fit and received no explanation-just that cars would be within property line. Please see attached pictures or front of house and circled in rear picture is rear of house from my property.

Thank you
Marcia Hern-Lacey
30 Union St #2





On Nov 17, 2022, at 3:00 PM, marciaamyhern@gmail.com wrote:

Hello,

I am in still opposition to adding two stories to the rear addition. I asked Lin Lin to consider enclosing 1st floor decks and using basement instead of expanding upwards. I feel that the ambitions of this project could be scaled back as well. This is currently a three bedroom-they want to drastically increase the footprint yet it will still remain a three bedroom according to plans however assuming I am reading the plans correctly there is to be SIX bathrooms, a washer and dryer on both the second and first floor two studies, a playroom and a tv room added. This seems excessive for the number of bedrooms/occupants.

Also regarding the parking-in general I am not adding parking. Unfortunately my only option is street parking and with two small children I understand the gamble that comes with it to find a space (assuming this is being built for families.) However I cannot for the life of me understand how you can park on this space without blocking the sidewalks. The plans do show curb cuts-but a car is to park perpendicular as this car was on the property in question recently you will block the sidewalk. If you are to parallel park you would have to be so close I don't think you could open driver side door. I have asked Lin Lin for explanation as to how a car would fit and received no explanation-just that cars would be within property line. Please see attached pictures or front of house and circled in rear picture is rear of house from my property.

Thank you

Marcia Hern-Lacey

30 Union St #2

Date: 04/12/2023

BZA Application Form**DIMENSIONAL INFORMATION**

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2023 APR 18 A 10:31

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		4129	7,242 - Nov 2022 5,975 - April 2023	4745	(max.)
LOT AREA:		6327	6327 No Change	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		65%	114% -Nov 2022 94% - April 2023	75%	
LOT AREA OF EACH DWELLING UNIT		2109	2109	1500	
SIZE OF LOT:	WIDTH	66.5	No Change	50	
	DEPTH	97.3	No Change	No Dimension Provided in Table 5-1	
SETBACKS IN FEET:	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	20.0	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
SIZE OF BUILDING:	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		47%	47%	30%	
NO. OF DWELLING UNITS:		3	3	3	
NO. OF PARKING SPACES:		0	2 tandem- Nov 2022 0 - April 2023	3	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

The Residences At

24 Union Street

Cambridge, Massachusetts 02141

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2023 APR 18 A 10:31



LUNA Design Group
100 Conifer Hill Road, Suite 406
Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com
Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10/27/21	Existing Conditions
2	7/22/22	Proposed Addition
3	4/12/23	Proposed Addition Revision

Stamp:	Date	APRIL 12, 2023
	Scale	N.T.S.
	Job No.	LIN210_a
	File	PROPOSED

Sheet Title:

Title Sheet

Sheet Number:

T1.00

TYPICAL ABBREVIATIONS:

AC.T. Acoustic Ceiling Tile	I.D. Inside Diameter
A.F.F. Above Finished Floor	IN. Inch
A.F.G. Above Finish Grade	INCAN. Incandescent
A.F.S. Above Finish Slab	INSUL. Insulation
ACOUS. Acoustic	INT. Interior
ADJ. Adjustable	INV. Invert
ALUM. Aluminum	J.B. Junction Box
ANCH. Anchor	JT. Joint
APPROX. Approximately	L.V.L. Laminated Veneer Lumber
ATTEN. Attenuation	LAV. Lavatory
B.O. Bottom of	M.D.F. Medium Density Fiberboard
BD. Board	M.D.O. Medium Density Overlay
BLDG. Building	M.H. Manhole
BLK. Block	M.L. Micro-Lam
BM. Beam	M.O. Masonry Opening
BOT. Bottom	MANUF. Manufacturer
CC.B. Catch Basin	MAX. Maximum
CC.I.P. Cast in Place	MECH. Mechanical
CC.J. Control Joint	MIN. Minimum
CC.M.U. Concrete Masonry Unit	MTL. Metal
CC.O. Clean Out	N.I.C. Not in Contract
CC.T. Counter Top	NOM. Nominal
CC.CAB. Cabinet	O.C. On Center
CC.CRM. Ceramic	O.D. Outside Diameter
CC.CGL. Ceiling	P.LAM. Plastic Laminate
CC.COL. Column	P.S.L. Parallel Strand Lumber
CC.CMP. Composition	P.T. Pressure Treated
CC.CONC. Concrete	PL. Plate
CC.CONST. Construction	POLY V.B. Polyethylene Vapor Barrier
CC.CONT. Continuous	PTD. Painted
CC.DBL. Dish Washer	Q.T. Quarry Tile
CC.DET. Detail	R. Risers
CC.DIA. Diameter	R.D. Roof Drain
CC.DIAG. Diagonal	R.O. Rough Opening
CC.DIM. Dimension	RAD. Radius
CC.DISP. Dispenser	REF. Refrigerator
CC.DP. Down	REFRIG. Refrigerator
CC.DWG. Drawing	REIN. Reinforced
CC.E.F. Each Face	REQ. Required
CC.E.J. Expansion Joint	RES. Resistant
CC.E. Edge of	RET. Retaining
CC.E.W. Each Way	RM. Room
CC.EA. Electrical	S & P. Shelf and Pole
CC.ELEV. Elevation	S.S. Stainless Steel
CC.ENAM. Enamel	S.V. Sheet Vinyl
CC.EQ. Equipment	SCHED. Schedule
CC.EXIST. Existing	SECT. Section
CC.F.D. Floor Drain	SHT. Sheet
CC.F. Face of	SIM. Similar
CC.F.F. Foundation Wall	SPEC. Specification
CC.FDN. Foundation	SQ. Square
CC.FIN. Finish	STD. Standard
CC.FLOOR. Floor	STL. Steel
CC.FLUOR. Fluorescent	STRUCT. Structural
CC.FR. Frame	SUSP. Suspended
CC.F.T. Footing	T. Top and Bottom
CC.G.C. General Contractor	T & B. Tongue and Groove
CC.GA. Gauge	T & G. Top of
CC.GEN. Galvanized	T.O.C. Top of Concrete
CC.GL. Glass	TEL. Telephone
CC.GRT. Grit	THRU. Through
CC.GYP. Gypsum	TYP. Typical
CC.H. Head	U.O.N. Unless Otherwise Noted
CC.HDWD. Hardwood	UR. Urinal
CC.HORIZ. Horizontal	V.C.T. Vinyl Composition Tile
CC.HT. Height	V.F. Verify in Field
	VERT. Vertical
	W. Wide
	WC. Water Closet
	WF. Wide Flange
	WP. Waterproof
	W.W.F. Woven Wire Fabric
	W.W.M. Woven Wire Mesh
	W. With
	WD. Wood
	WT. Weight

TYPICAL GRAPHIC SYMBOLS:

	Earth
	Gravel Fill
	Concrete
	Brick
	Concrete Masonry Unit
	Stone
	Granite
	Aluminum
	Steel
	Wood-Rough
	Wood-Blocking
	Plywood
	Plywood-M.D.O.
	Wood-Finish
	Batt Insulation
	Rigid Insulation
	Gypsum Wallboard

TYPICAL SYMBOLS:

	DRAWING NO.
	SHEET NO.
	DRAWING NO.
	SHEET NO.
	DRAWING NO.
	SHEET NO.
	AREA of DETAIL DRAWING
	DRAWING NO.
	SHEET NO.
	DRAWING NO.
	SHEET NO.
	LEVEL
	DRAWING NO.
	SHEET NO.
	WINDOW TYPE
	DOOR NO.
	ROOM NAME
	ROOM NUMBER
	ROOM NUMBER
	WALL TYPE
	FLOOR/CEILING ASSEMBLY TYPE
	COLUMN LINE DESIGNATION
	AREA of REVISION
	REVISION NO.

LIST OF DRAWINGS:

T-1.00	Title Sheet
	Abbreviations
	Graphic Symbols
	Drawing List
SP-1.01	Existing & Proposed Site Plan
EC-1.00	Existing Basement Plan
EC-1.01	Existing First Floor Plan
EC1.02	Existing Second Floor Plan
EC-1.03	Existing Attic Plan
EC-1.04	Existing Roof Plan
EC-4.01	Existing North Elevation
EC-4.02	Existing South Elevation
EC-4.03	Existing East Elevation
EC-4.04	Existing West Elevation
A-1.00	Proposed Basement Plan
A-1.01	Proposed First Floor Plan
A-1.02	Proposed Second Floor Plan
A-1.03	Proposed Third Floor Plan
A-1.04	Proposed Roof Plan
A-4.01	Proposed North Elevation
A-4.02	Proposed South Elevation
A-4.03	Proposed East Elevation
A-4.04	Proposed West Elevation



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 Architecture Interiors Planning

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 Street**
 Cambridge, Massachusetts 02141

Locus:

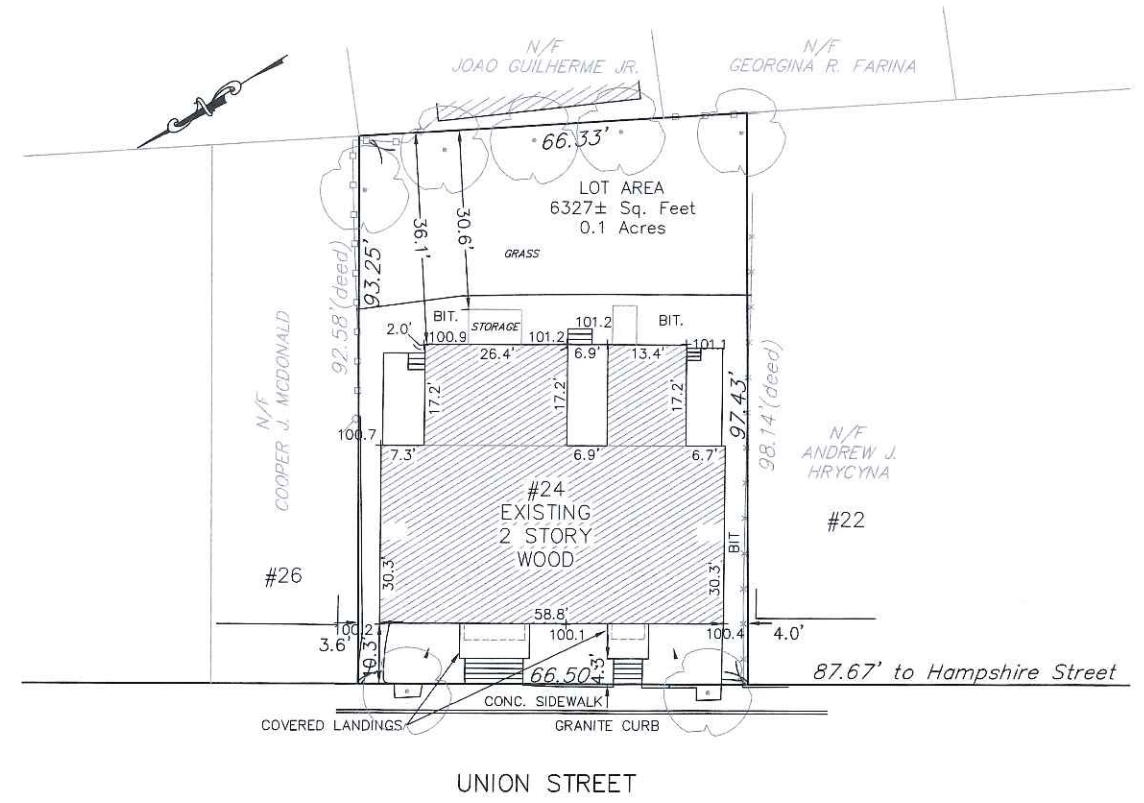
No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1" = 20'-0"
 Job No.: LN210_a
 File: PROPOSED

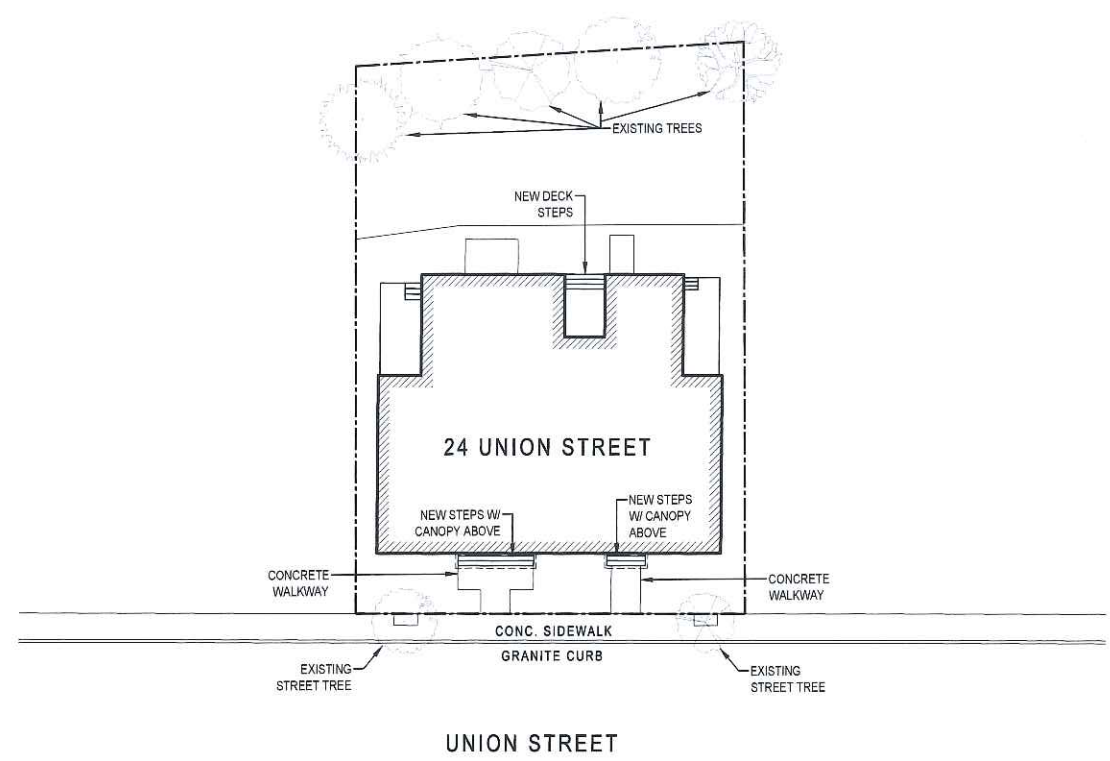
Sheet Title:
**Existing &
 Proposed
 Site Plan**

Sheet Number:
SP1.01

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① Existing Site Plan
 Scale: 1" = 20'-0"



② Proposed Site Plan
 Scale: 1" = 20'-0"

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LOCUS:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:

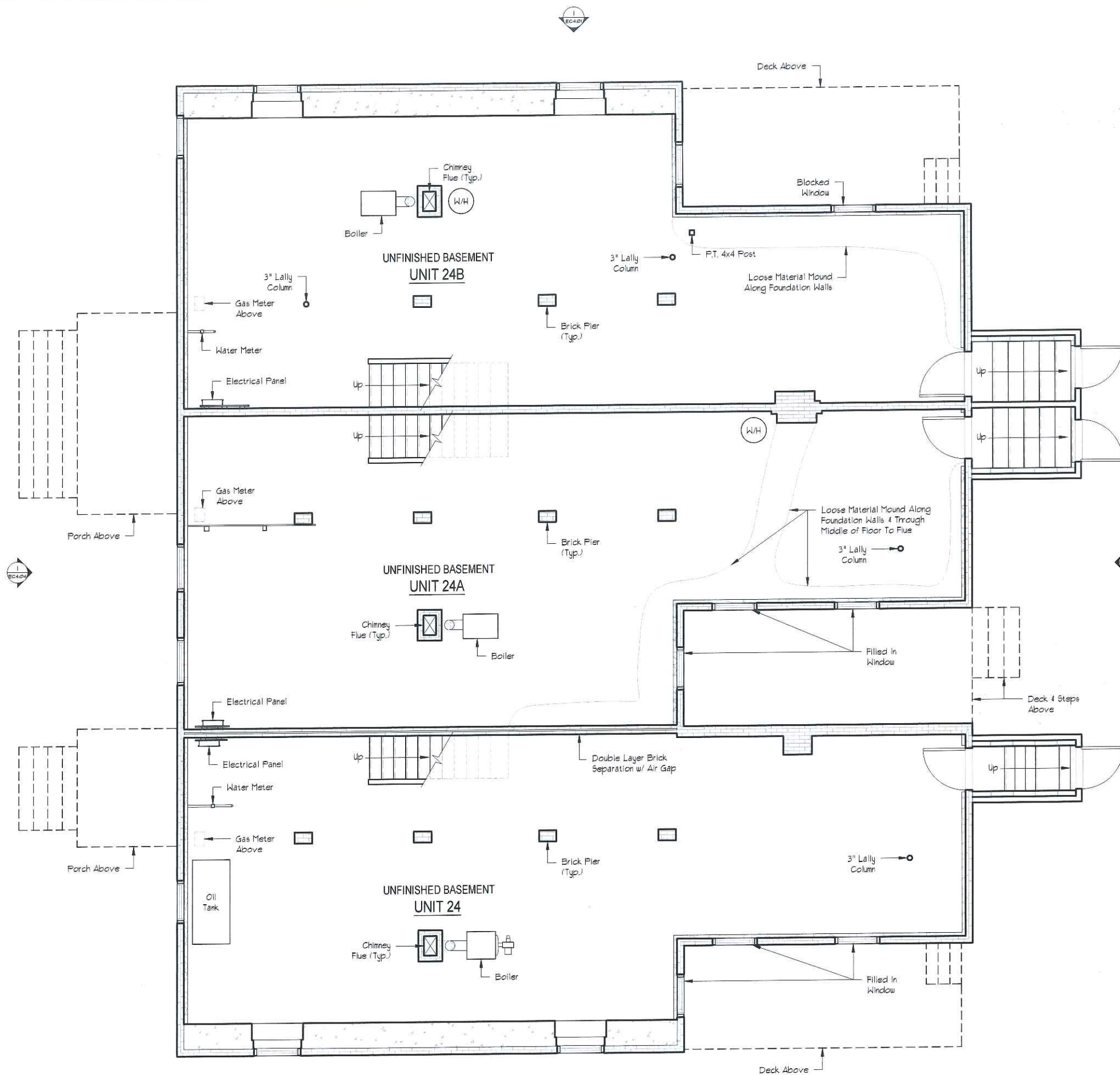
Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Existing
 Basement Plan**

Sheet Number:

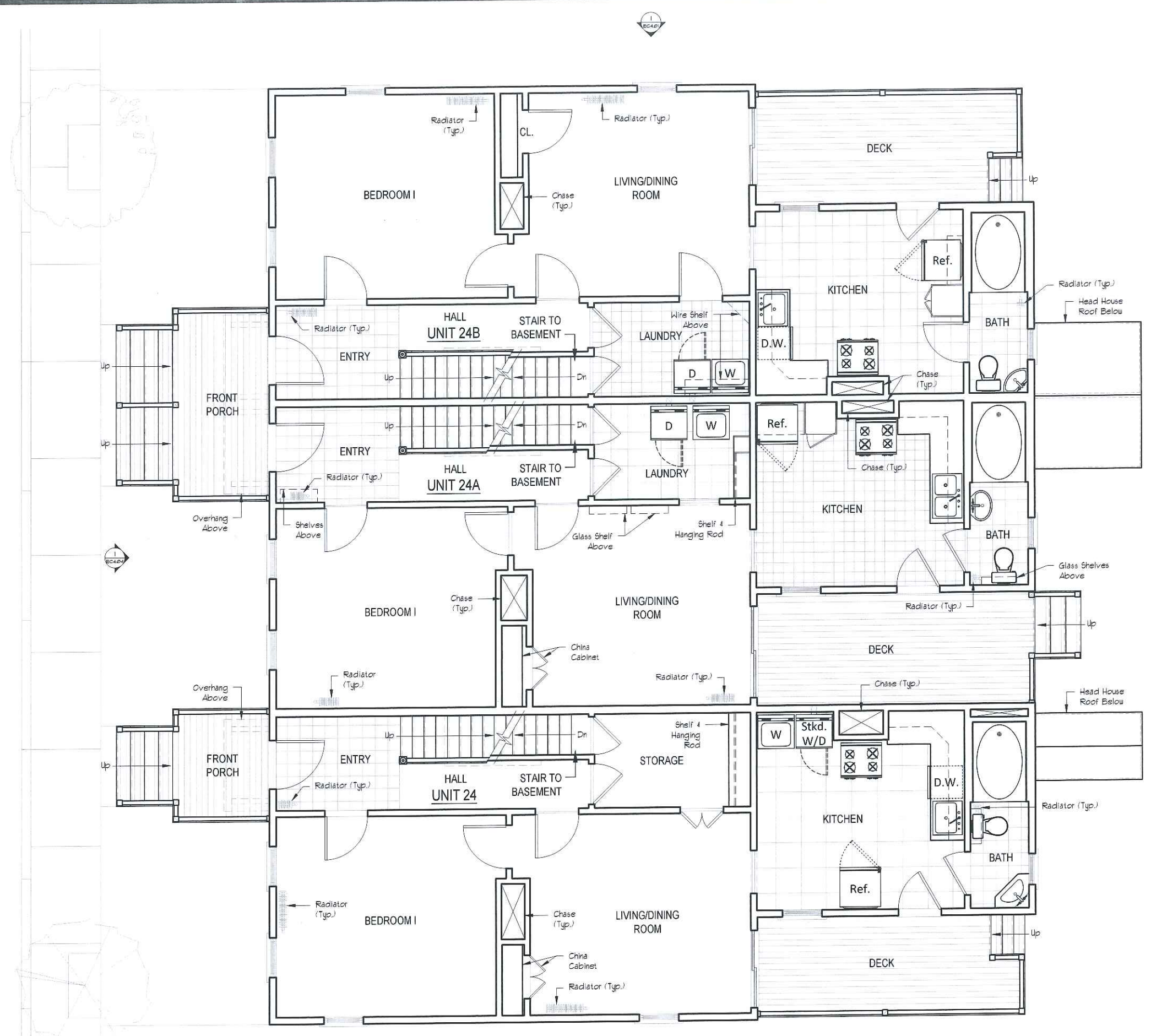
EC1.00



Existing Basement Plan
 Scale: 1/4" = 1'-0"

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Existing First Floor Plan
 Scale: 1/4" = 1'-0"

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No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp: Date
APRIL 12, 2023
 Scale
1/4" = 1'-0"
 Job No.
LN210_a
 File
PROPOSED

Sheet Title:
**Existing First
 Floor Plan**

Sheet Number:
EC1.01

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Locus:

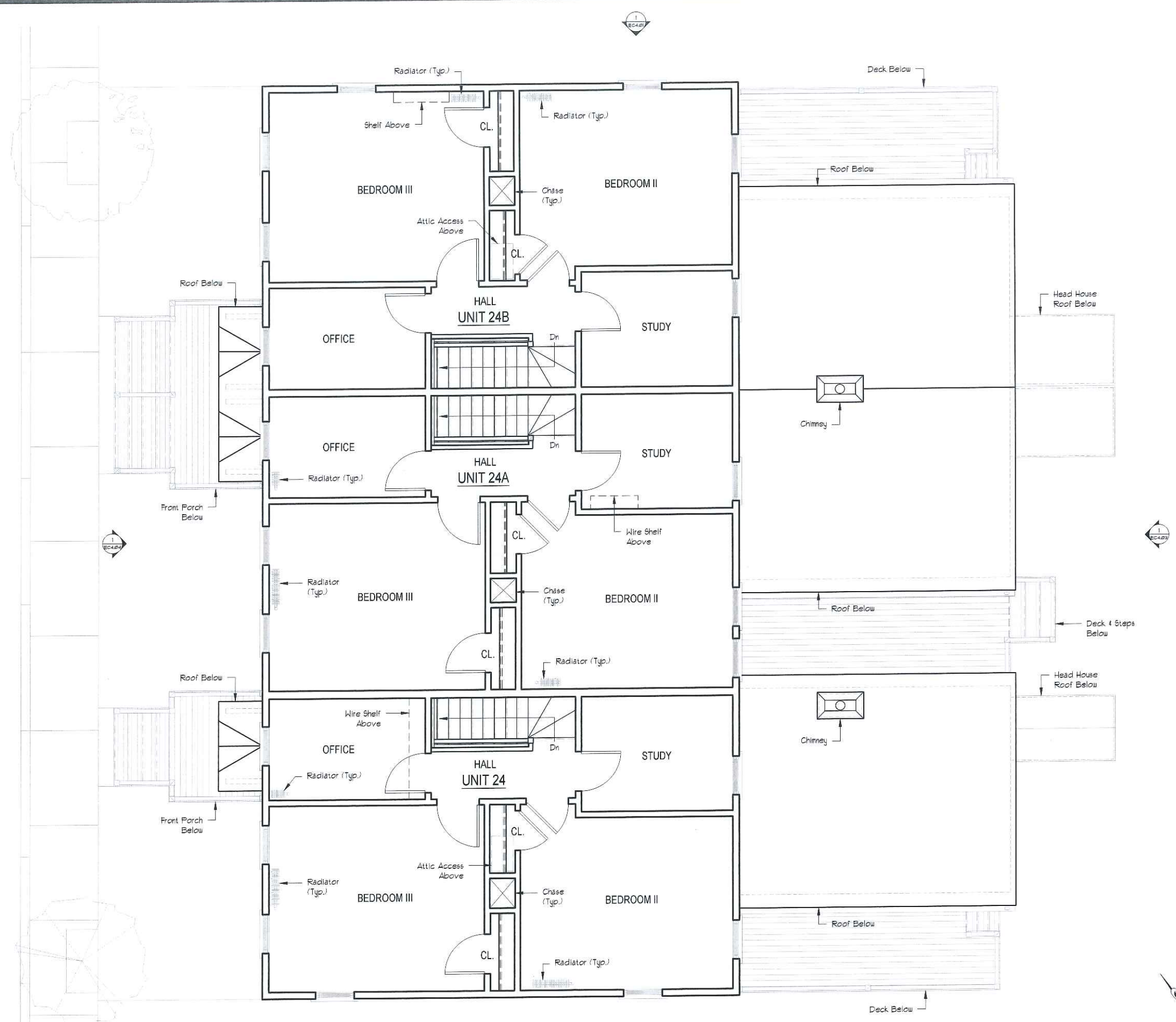
No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp: _____ Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No. LIN210_a
 File: PROPOSED

Sheet Title:
**Existing Second
 Floor Plan**

Sheet Number:
EC1.02

① Existing Second Floor Plan
 Scale: 1/4" = 1'-0"



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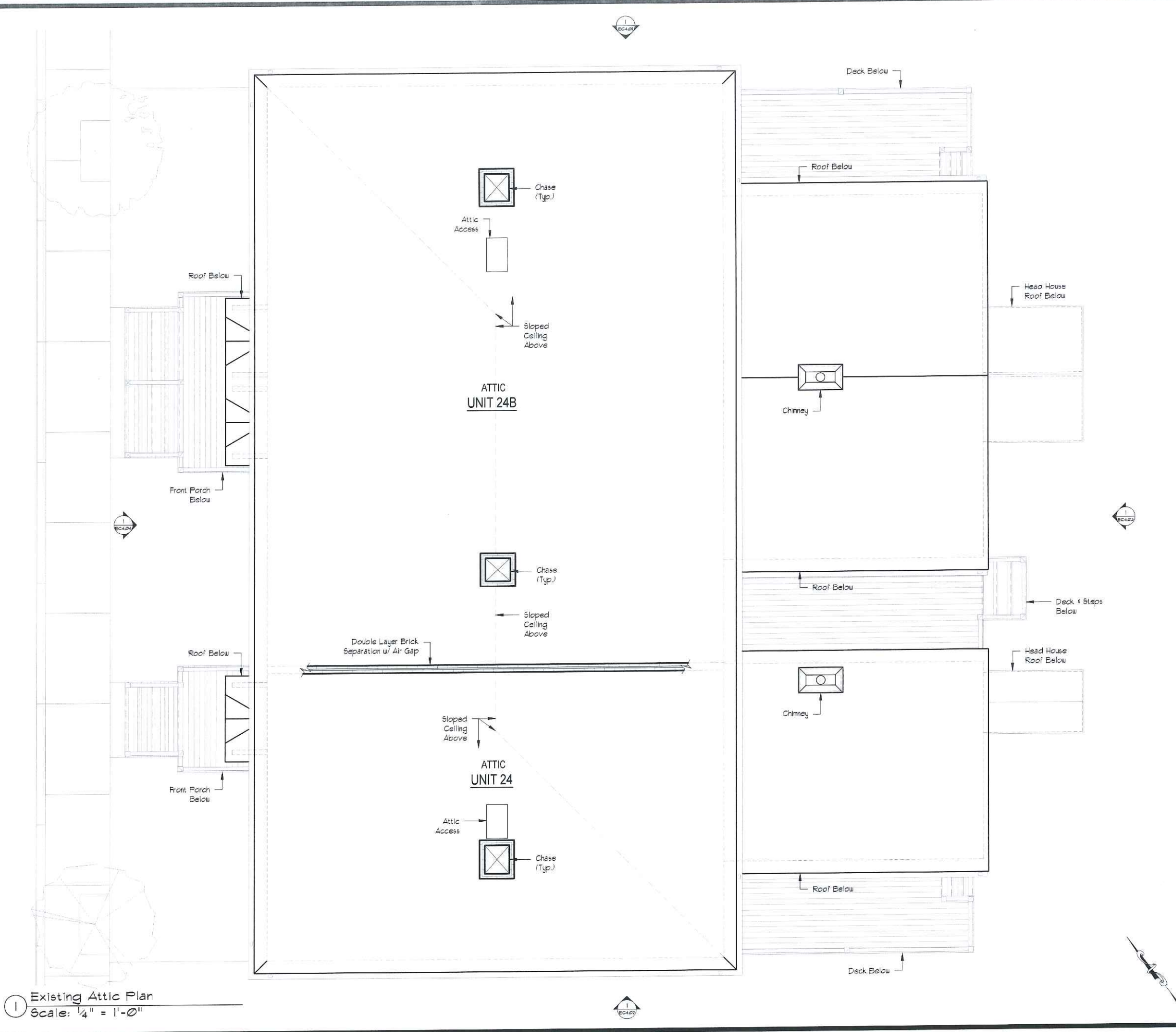
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LN210_a
 File: PROPOSED

Sheet Title:
**Existing
 Attic Plan**

Sheet Number:
EC1.03



Existing Attic Plan
 Scale: 1/4" = 1'-0"

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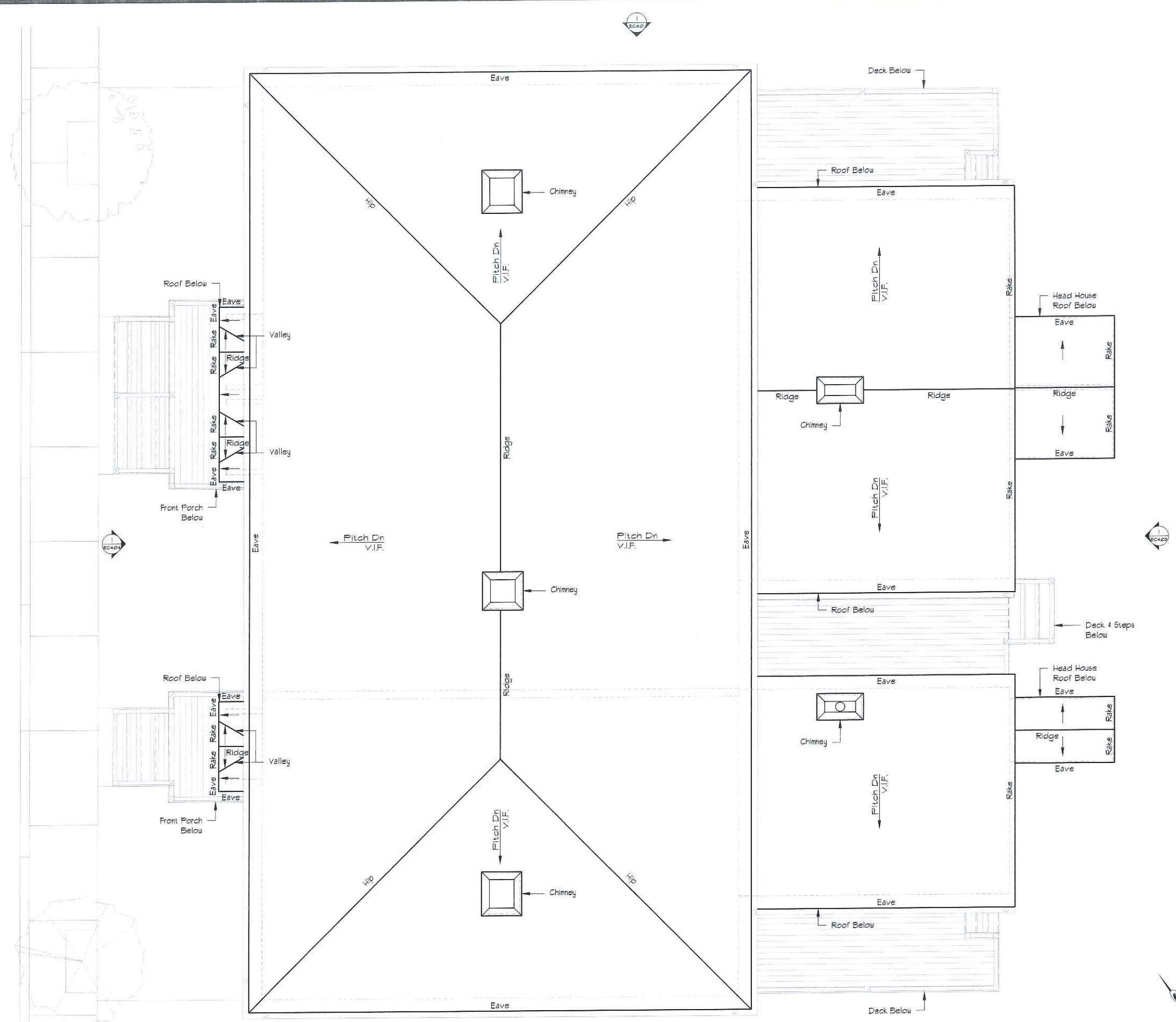
LOCUS:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Existing
 Roof Plan**

Sheet Number:
EC1.04



Existing Roof Plan
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:

Date
 APRIL 12, 2023

Scale
 1/4" = 1'-0"

Job No.
 LIN210_a

File
 PROPOSED

Sheet Title:

**Existing North
 Elevation**

Sheet Number:

EC4.01



① Existing North Elevation
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
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Stamp:

Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Existing South
 Elevation**

Sheet Number:

EC4.02



① Existing South Elevation
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
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3	4.12.23	Proposed Addition Revision

Stamp:

Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Existing East
 Elevation**

Sheet Number:

EC4.03



① Existing East Elevation
 Scale: 1/4" = 1'-0"



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2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:

Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
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Sheet Title:

**Existing West
 Elevation**

Sheet Number:

EC4.04



① Existing West Elevation
 Scale: 1/4" = 1'-0"



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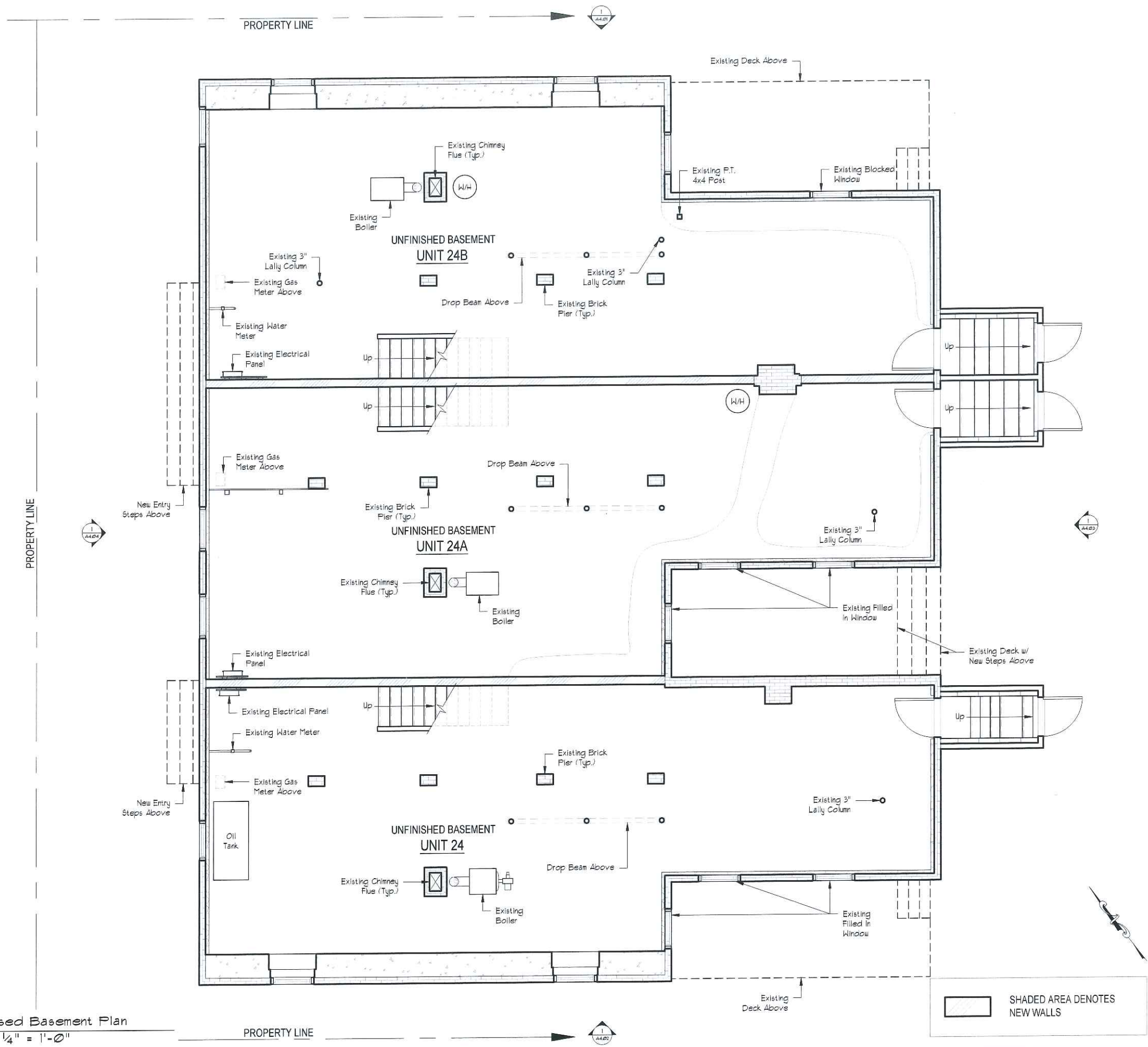
LOCUS:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LN210_a
 File: PROPOSED

Sheet Title:
**Proposed
 Basement Plan**

Sheet Number:
A1.00



1 Proposed Basement Plan
 Scale: 1/4" = 1'-0"



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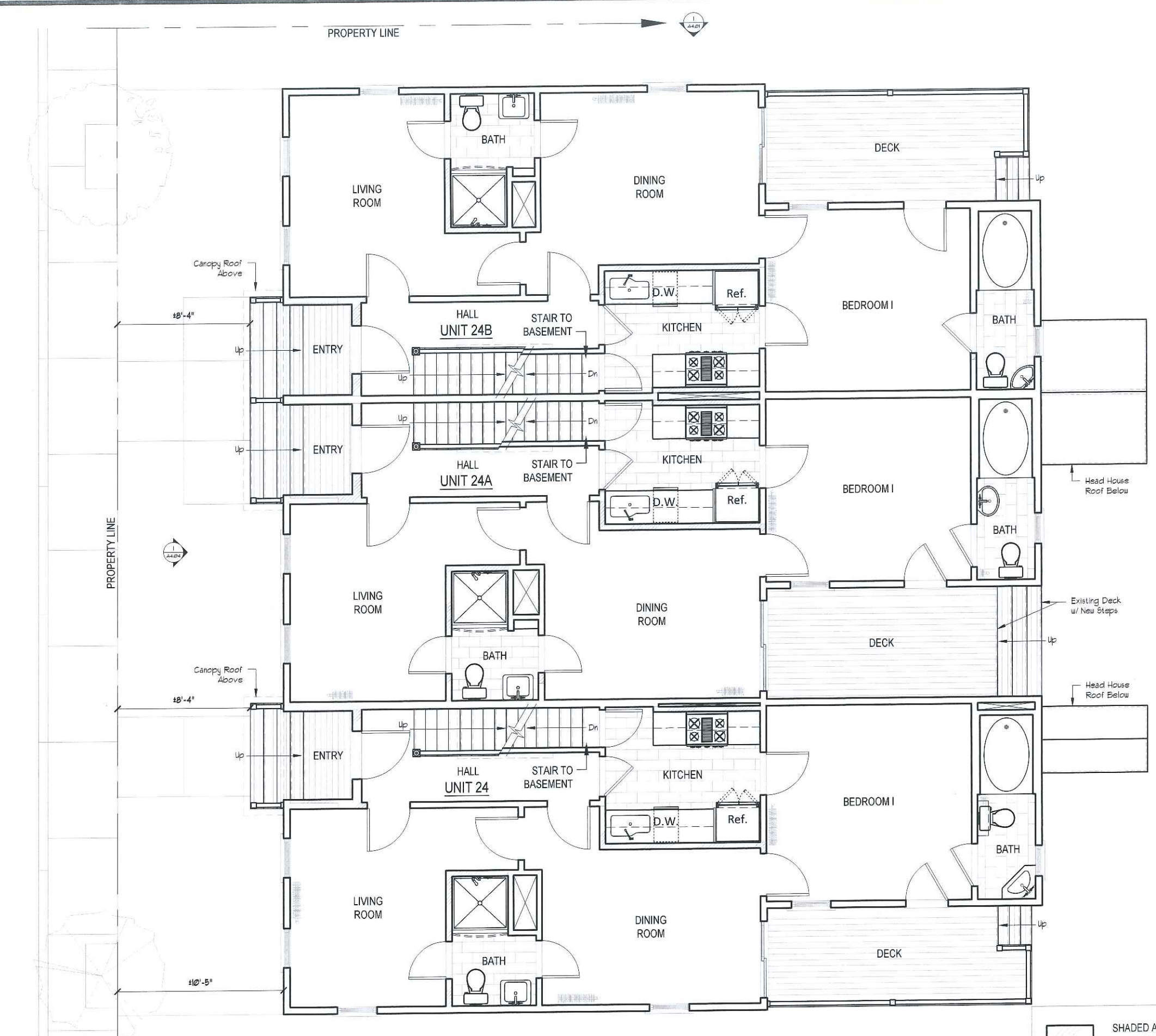
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp: Date
APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:
**Proposed First
 Floor Plan**

Sheet Number:
A1.01



1 Proposed First Floor Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
 NEW WALLS

D:\Current Projects\24 Union Street\Proposed.dwg

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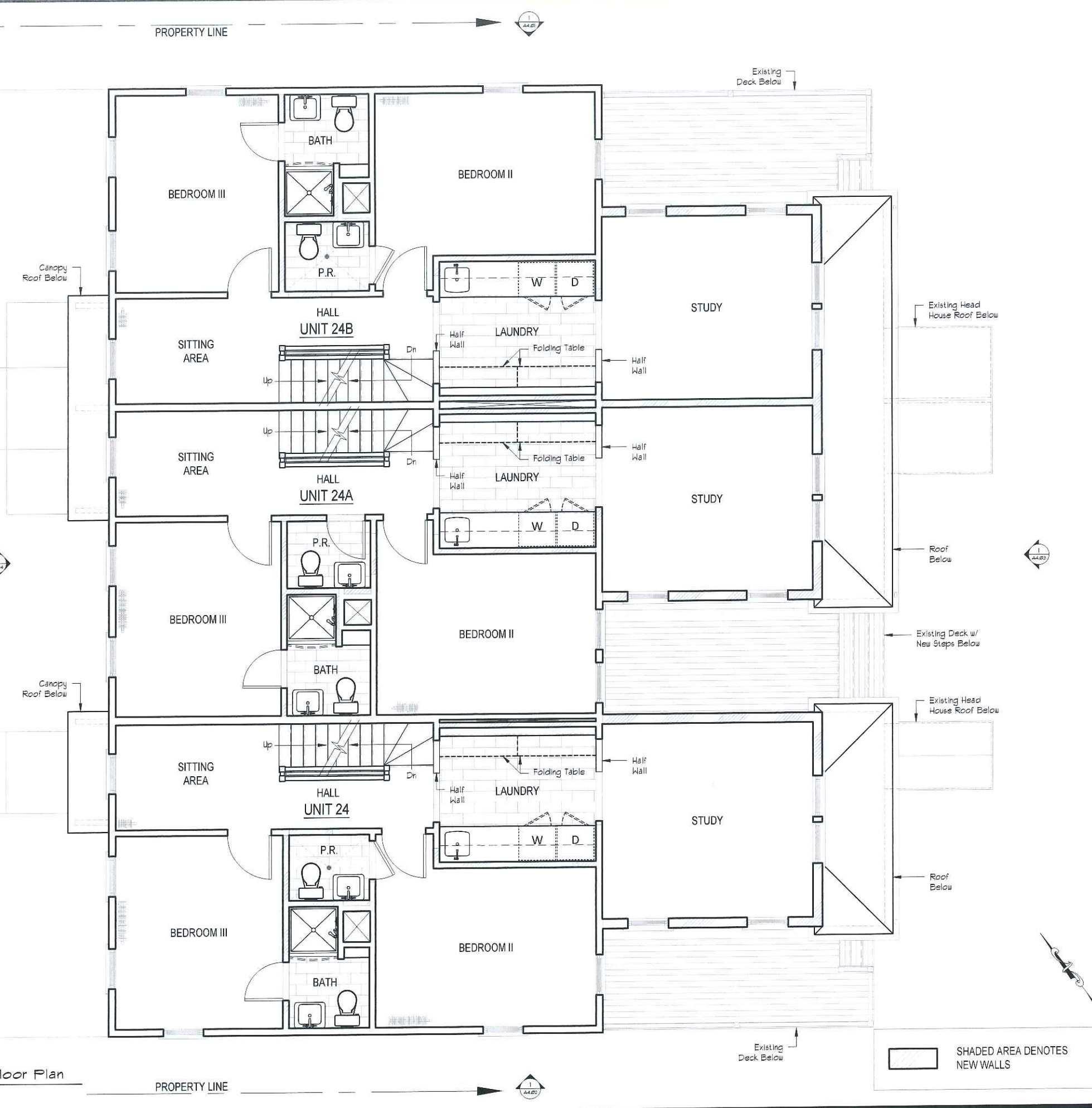
No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp: _____ Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No. UN210_a
 File: PROPOSED

Sheet Title:
**Proposed Second
 Floor Plan**

Sheet Number:
A1.02

1 Proposed Second Floor Plan
 Scale: 1/4" = 1'-0"



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 NEW WALLS

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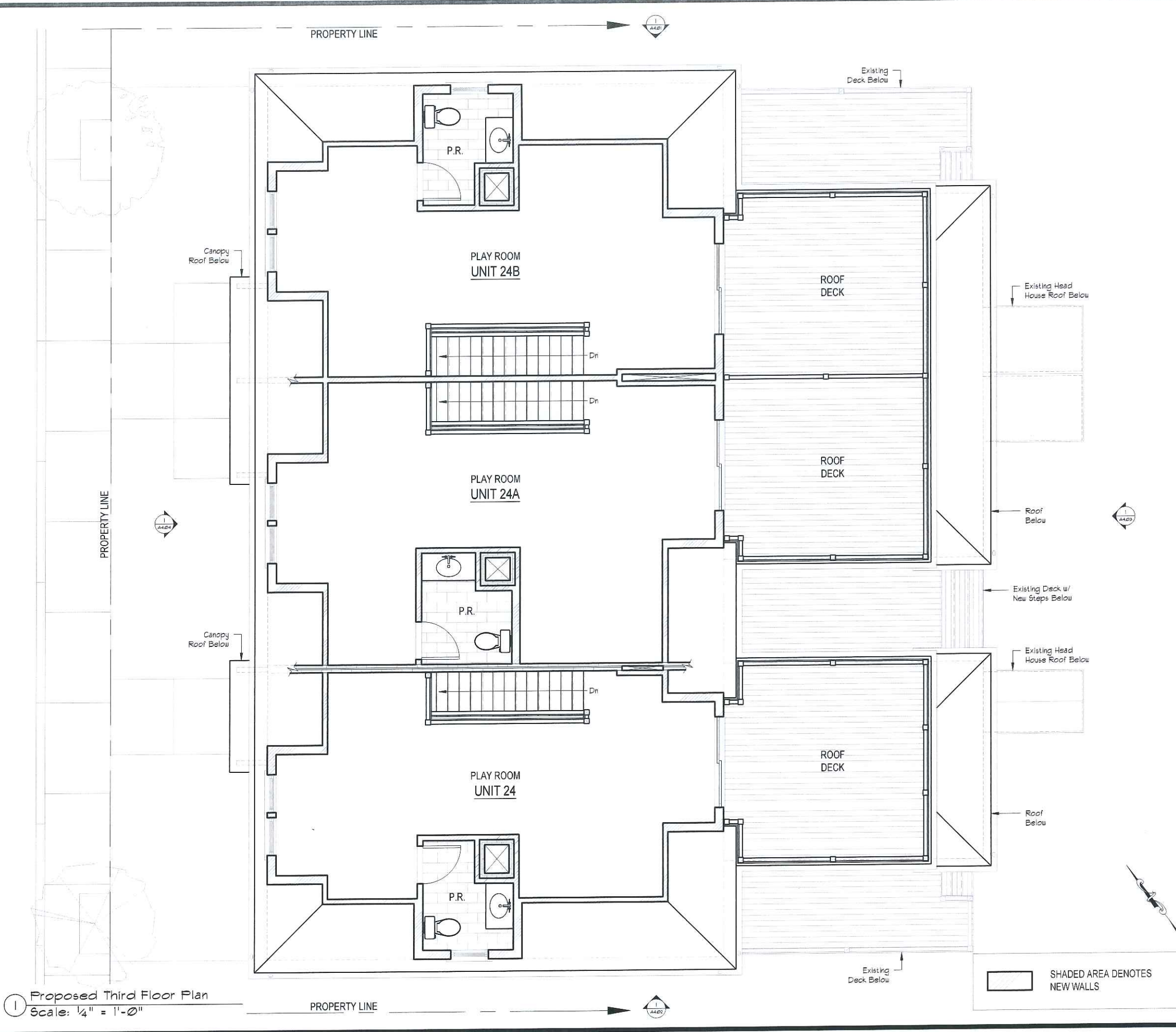
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LN210_a
 File: PROPOSED

Sheet Title:
**Proposed Third
 Floor Plan**

Sheet Number:
A1.03



1 Proposed Third Floor Plan
 Scale: 1/4" = 1'-0"



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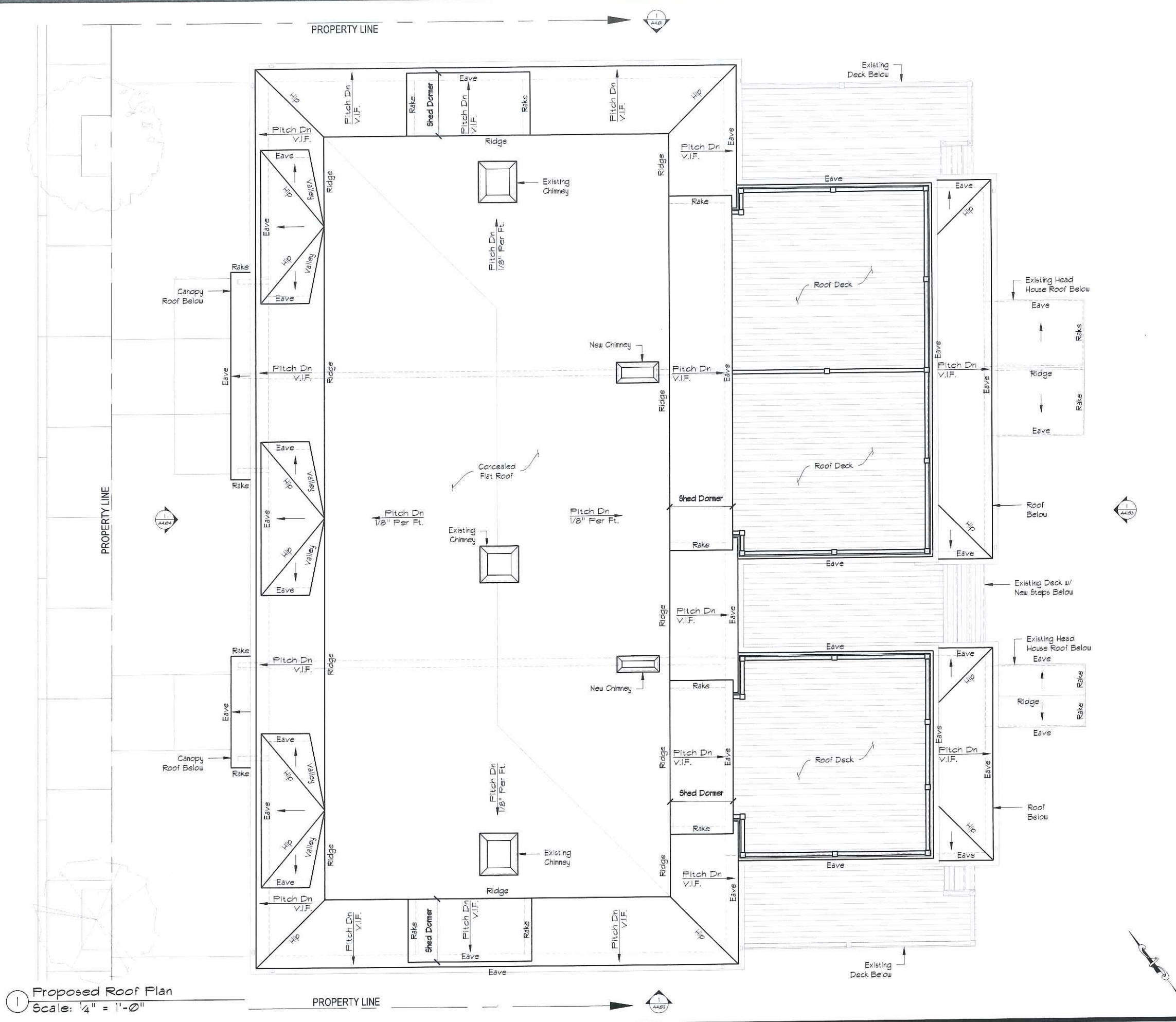
LOUIS:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp: _____ Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed
 Roof Plan**

Sheet Number:
A1.04



1 Proposed Roof Plan
 Scale: 1/4" = 1'-0"



Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"



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1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:

Date
APRIL 12, 2023
Scale
1/4" = 1'-0"
Job No.
LN210_a
File
PROPOSED

Sheet Title:


**Proposed North
Elevation**

Sheet Number:

A4.01

1 Proposed North Elevation
Scale: 1/4" = 1'-0"




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Stamp:

Date	APRIL 12, 2023
Scale	1/4" = 1'-0"
Job No.	LIN210_a
File	PROPOSED

Sheet Title:
**Proposed South
 Elevation**

Sheet Number:
A4.02

① Proposed South Elevation
 Scale: 1/4" = 1'-0"



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Locus:

No.	Date	Revision/Issue
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Stamp:

Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Proposed East
 Elevation**


Sheet Number:

A4.03



① Proposed East Elevation
 Scale: 1/4" = 1'-0"




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Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No. LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed West
 Elevation**

Sheet Number:
A4.04

① Proposed West Elevation
 Scale: 1/4" = 1'-0"



Existing Structure: One hour after sunrise – 06:30 EST



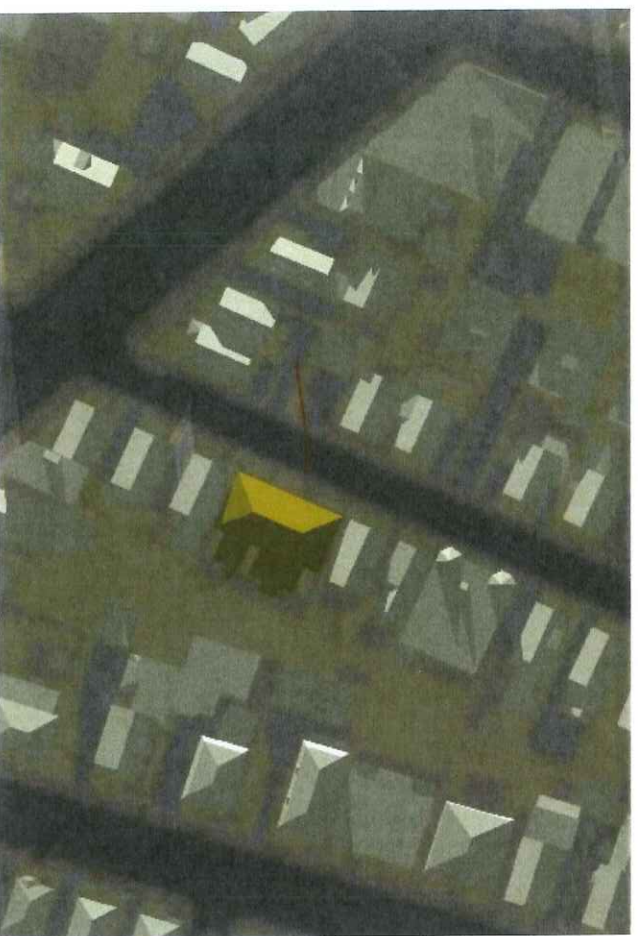
Proposed 11/17/22: One hour after sunrise – 06:30 EST



Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 11/17/22: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,

MA

November 17, 2022

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Existing Structure: One hour after sunrise – 06:30 EST



Proposed 03/27/23: One hour after sunrise – 06:30 EST



Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 03/27/23: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,
March 27, 2023

MA

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Design Group
ARCHITECTURE INTERIORS PLANNING



Existing Structure: One hour after sunrise – 05:07 EST



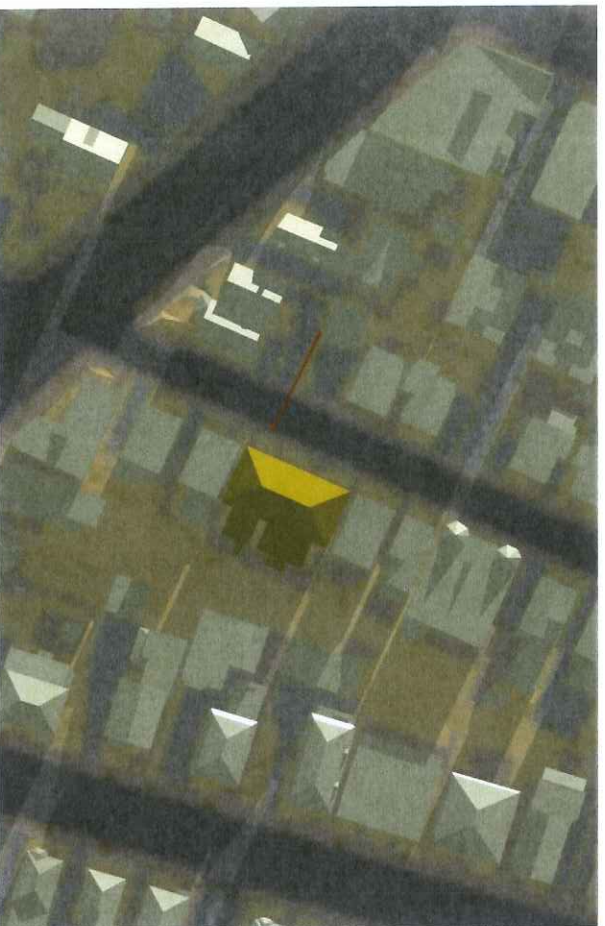
Proposed 11/17/22: One hour after sunrise – 05:07 EST



Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 11/17/22: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street
Cambridge,
November 17, 2022

LUNNA | **Design Group**
ARCHITECTURE INTERIORS PLANNING



Existing Structure: One hour after sunrise – 05:07 EST



Proposed 03/27/23: One hour after sunrise – 05:07 EST



Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 03/27/23: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



LUNA | Design Group

ARCHITECTURE INTERIORS PLANNING

24 Union Street

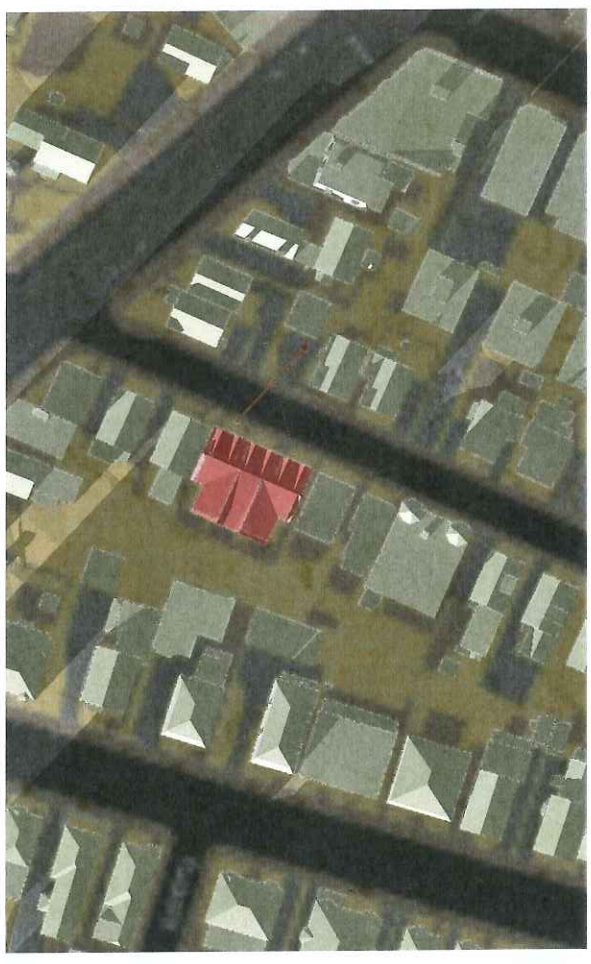
Cambridge,

MA

March 27, 2023



Existing Structure: One hour after sunrise – 08:10 EST



Proposed 11/17/22: One hour after sunrise – 08:10 EST



Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 15:14 EST



Proposed 11/17/22: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



LUNNA | Design Group
ARCHITECTURE INTERIORS PLANNING

24 Union Street

Cambridge,

MA

November 17, 2022



Existing Structure: One hour after sunrise – 08:10 EST



Proposed 03/27/23: One hour after sunrise – 08:10 EST



Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 15:14 EST



Proposed 03/27/23: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane. Refer to arrow on each study for sun azimuth angle.



LUNA | Design Group
ARCHITECTURE | INTERIORS | PLANNING

24 Union Street

Cambridge,

MA

March 27, 2023



Existing Structure: 14:00 EST



Proposed 03/27/23: 14:00 EST

Shadow Studies – Winter Solstice Longest Shadow 14:00

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



LUNA

Design Group

ARCHITECTURE INTERIORS PLANNING

24 Union Street

Cambridge,

MA

March 27, 2023

1 * * * * *

2 (6:13 p.m.)

3 Sitting Members: Brendan Sullivan, Jim Monteverde, Andrea
4 A. Hickey, Laura Wernick, and Slater
5 Anderson

6 BRENDAN SULLIVAN: The next case I'll call is Case
7 No. 188958 -- 24 Union Street. Sitting on this matter is
8 myself, Jim Monteverde, Andrea Hickey, Laura Wernick and
9 Slater, who's sitting in for Jason Marshall.

10 So Mr. Luna?

11 JOSEPH LUNA: Yes. Good evening, Board. My name
12 is Joseph Luna. I'm the Principle of Luna Design group. We
13 are the Project Architects for this project representing our
14 client, Ms. Lin Lin, 424 Union Street.

15 BRENDAN SULLIVAN: Just before you start, thank
16 you for your introduction. Slater Anderson is sitting in
17 place of Jason Marshall. And let me enter into the record a
18 correspondence from Slater Anderson dated Thursday, April
19 27:

20 "This e-mail is to certify that I have reviewed
21 the Cambridge BZA files with respect to 24 Union Street,
22 Case No. 188958. These files include transcripts of prior

1 proceedings, the application, plans and correspondence.

2 "Thank you,

3 "Slater Anderson."

4 As such, I will authorize Slater Anderson to sit
5 as a fifth member of this particular case. Any objection
6 from any members of the Board?

7 [Pause]

8 Hearing none, so Slater Anderson has been
9 empaneled to sit in place of Jason Anderson (sic) and the
10 fifth member of this case.

11 Okay. Ready to go.

12 JOSEPH LUNA: Okay. We originally presented in --
13 actually last year, November 17, 2022. Since then, the
14 Board should be in possession of three new exhibits
15 submitted by my office -- new plans dated 04/12/2023,
16 additional shadow studies dated 03/27/2023, and a new
17 dimensional information form revising our prior ZBA
18 application form.

19 Just to bring the Board up to speed again, this is
20 a three-unit townhouse building on Union Street. Each unit
21 consists of three bedrooms. There is currently a building
22 permit already in place for improvements beginning done on

1 the first floor.

2 Ms. Lin resides in unit 20 -- in 24d. Her intent
3 is to keep this as a three -- each unit as three bedrooms
4 for long-term rentals but do project upgrades within the
5 building in order to increase the value of her investment
6 and ultimately provide for better tenants and better rent
7 rule.

8 I would like to walk the Board through the changes
9 that we made since November 22. Ms. Lin has done her best
10 to go and contact the neighbors with respect to what the
11 changes were.

12 So I'll walk you through the site changes, the
13 building massing, and the size, and then some concerns o
14 that were addressed about the -- what was going on in the
15 interior of the building.

16 So we'll start my first site changes since
17 November 22. November 22 submittal, we actually had two
18 curb cuts and a parking drive that looped on that. That has
19 been completely removed from the project, and in its
20 entirety. We're not asking for any relief regarding the
21 curb cuts.

22 More importantly, the size of the building was a

1 major concern at the last meeting. Since then, we have
2 reduced the size of the addition.

3 Originally, we were adding 3093 square feet of
4 space to the building. That number has been reduced to
5 1826. The November submittal had our proposed plan 2497
6 square feet over the allowable FAR: basically 39 percent
7 over the allowable. That has been reduced.

8 We are still over the allowable by 1230 square
9 feet, but this represents now going from 39 percent to 19
10 percent. So there's been a substantial reduction inside the
11 building area, okay?

12 The next concern was just about the overall size
13 of the project and the massing, and what we were doing in
14 terms of the overall bulk of the building. Since the
15 November submittal, we have pared back the building
16 significantly.

17 We'll start at the second floor. You can pull
18 that up on the proposed plans, please? You're in the
19 existing -- still going. We'll go Sheet A102, please.

20 Next one? Yes.

21 Okay. The original intent was to build over an
22 existing first-floor addition. We are still building over

1 that addition, but rather than extend the proposed second-
2 floor addition all the way to the end walls -- in order to
3 minimize the impact on her side neighbors, we've held that
4 addition to just 12 feet off of the building.

5 So you can see the roof below in both units. You
6 can see this again on the southeast side of the building;
7 that the addition does not extent all the way to the first-
8 floor addition.

9 We can go to the next now, to A103, please?

10 At the third floor, originally in our November
11 submission, we were building all the way up and
12 incorporating the addition into the existing roofline. We
13 are stopping the roof at the second floor. At the third
14 floor is still the intent to renovate the attic.

15 The November original proposal was to construct
16 the roof as a gable roof and then do a series of shed --
17 basically Nantucket-style dormers along Union Street and a
18 long shed dormer along the rear and side.

19 We have since redesigned the project that we now
20 have a mansard roof with three simple gable dormers along
21 Union Street and then separate shed dormers on the side, and
22 we're to provide headroom inside the bathroom space and then

1 access to the rear terrace.

2 Within these spaces will be an open playroom.

3 With respect now, I should also point out to the
4 Board there is no change in height or increase in footprint
5 within these proposed additions. We're working within the
6 existing footprint of the building. But again, as I
7 mentioned the second floor we're not even maximizing at that
8 point.

9 There were concerns on the plan -- could we go
10 back to the second floor, please?

11 There were concerns about the number of rooms that
12 were inside the building. As I mentioned, there's a current
13 permit in place for the first floor. There have been no
14 changes to that since then. But at the second floor, the
15 wet bars that were shown in that plan had been removed in
16 the laundry. The study space, again, is smaller.

17 But I want to point out that access into the study
18 space is -- there is not a door either into the laundry area
19 or the study space.

20 And if you look at the opening into the study, it
21 is a very large opening. So it precludes putting in a
22 future door at that opening. So we wanted to make sure that

1 it was an open floor plan.

2 There was also an additional bathroom that was put
3 in place on the second floor. That bathroom in its entirety
4 has been removed.

5 Could we go to the third floor, please? In the
6 original November proposal at the third floor, we have a
7 full bathroom. That has been now changed to a simple powder
8 room and an open plan. Again, similar to what we're doing
9 downstairs, there will be no doors to provide privacy on
10 this, so this space cannot be construed as a bedroom. It is
11 strictly a playroom with inside the unit.

12 Can we go to the elevations, please?

13 Keep going.

14 Is that the back of the presentation? It'll be
15 the last sheet for the front elevation.

16 Okay. Let's back up.

17 JOSEPH LUNA: There you go. There you go. Right
18 there. So this is the revised front. Originally, the
19 building was a hip roof. And again, we tried to maximize
20 the area before with a series of much larger dormers. It
21 has been pared back now, as you can see from the mansard
22 roof.

1 Go up, please.

2 This gives you an idea of what's going on with the
3 rear of the property. You see in the lower floor the
4 existing first-floor additions that are placed, and then the
5 setback for the second floor and then just a flat roof that
6 we've incorporated into a balcony.

7 Next, I want to just review the shadow studies
8 with you.

9 Keep going, please.

10 JOSEPH LUNA: There you go. They're right after
11 our presentation. Here we go. Okay, we did a series of
12 shadow studies, and I submitted to the Board both the
13 original ones, which the yellow building represents the
14 existing. The orange was our proposal in November. And
15 then if you go down, you'll see compared to the current
16 design.

17 In reviewing the studies, just to give you an idea
18 of the context of those studies, we did studies for both
19 equinoxes and for the summer and winter solstices. The
20 studies are representative of the shadows that are cast one
21 hour after sunrise at noontime and one hour before sunset.

22 The study -- if you study the impact of the

1 proposed additions on this, it has very minimal impact to
2 the property to the west. We even went so far to do the
3 worst-case shadow study, which was at 1600 on the winter
4 solstice. And again, it's negligible between what is
5 existing and what is proposed.

6 Overall, we feel this is a much -- much more in
7 context with the neighborhood. My client has spent some
8 time going and showing first the preliminary sketches and
9 then our submittal to the Board.

10 I should also remind the Board that as part of the
11 work they're going to be making this building much safer by
12 installing a new NFPA 13D fire suppression system inside
13 this, so it'll bring this up to more current life safety
14 standards.

15 Overall, I think we've done the best we can to
16 address what the Board brought up about the scale of the
17 project, the number of rooms inside that, and I believe that
18 we've addressed that. It has minimal impact on the
19 surrounding neighborhood with respect to shadows. I'd be
20 happy to answer any questions at this point.

21 BRENDAN SULLIVAN: All right. Let me open it up
22 to the Board. Jim Monteverde, any questions?

1 JIM MONTEVERDE: Yeah. Can you go to the -- is
2 there a new application form?

3 JOSEPH LUNA: We did not submit a new application
4 form. We submitted a new BZA dimension -- application for
5 the dimension information.

6 JIM MONTEVERDE: Okay.

7 JOSEPH LUNA: And if you look at --

8 JIM MONTEVERDE: Yep. I'm sorry. The reason I'm
9 asking is on our agenda, it still lists as, "Special permit"
10 for the --

11 JOSEPH LUNA: The curb cut has been --

12 JIM MONTEVERDE: -- curb cut.

13 JOSEPH LUNA: -- eliminated. So we'll withdraw
14 that.

15 JIM MONTEVERDE: So that's not in front of us?
16 Okay.

17 JOSEPH LUNA: Yes.

18 JIM MONTEVERDE: and then you can -- on --

19 JOSEPH LUNA: Yes.

20 JIM MONTEVERDE: -- this one as you said, the
21 square footage, the FAR now at 0.94, right? To --

22 JOSEPH LUNA: Yeah.

1 JIM MONTEVERDE: --0.65, that's 40 percent,
2 correct?

3 JOSEPH LUNA: No, 65 --

4 JIM MONTEVERDE: 65 to 94.

5 JOSEPH LUNA: 65 to -- That's existing, yes.

6 JIM MONTEVERDE: Yeah. Okay.

7 JOSEPH LUNA: Yeah, that's existing. Yep.

8 JIM MONTEVERDE: All right. Thank you.

9 JOSEPH LUNA: 75 percent is -- yes.

10 JIM MONTEVERDE: And then reading the transcript
11 from the previous presentation, there was a question raised
12 to you or to the owner about the hardship relative to the
13 variance. Can you recap what the hardship is?

14 JOSEPH LUNA: Ms. Lin is trying to maximize the
15 property. The -- it's a small site with respect to the
16 length of it. The side yard setbacks, she's already
17 nonconforming with respect to that. We look at the site
18 shape as being the primary factor as far as what she needs a
19 variance for.

20 Ms. Lin is -- again -- from a financial standpoint
21 trying to maximize the use of her property. We cannot go
22 into the basement, because the basement doesn't have

1 adequate headroom, so we are taking the attic space.

2 The attic space incorporates the bulk of what
3 we're doing in terms of being over the allowable FAR. That
4 adds 1326 square feet, and that bumps us over what is
5 allowed by zoning. So --

6 JIM MONTEVERDE: Right. And that additional
7 space, has that third floor --

8 JOSEPH LUNA: Yes.

9 JIM MONTEVERDE: -- is a playroom?

10 JOSEPH LUNA: Yes.

11 JIM MONTEVERDE: And that's what the hardship is,
12 that the building doesn't have a playroom, correct?

13 JOSEPH LUNA: No. The hardship is she's trying to
14 maximize her investment on a relatively small townhouse
15 here, and trying to -- and trying to get the most use out of
16 her property with its footprint that she has available to
17 her.

18 JIM MONTEVERDE: Okay, thank you. And then one
19 last question: If on the rear elevation of the proposed --

20 JOSEPH LUNA: Yes.

21 JIM MONTEVERDE: I couldn't find a dimension or
22 notion that says how long the dormer is.

1 JOSEPH LUNA: I can give you that information
2 right now.

3 JIM MONTEVERDE: It's the paired dormer, and
4 whether that's in compliance with the guidelines.

5 JOSEPH LUNA: Paired dormer length is 22.5'.

6 JIM MONTEVERDE: Okay. Thank you. No further
7 questions.

8 BRENDAN SULLIVAN: A couple of things in reading
9 back through the transcripts and further dialogue tonight
10 regarding the hardship.

11 And I think that the use of the words, you know,
12 "maximize the potential" that's fine if you can maximize it
13 within the existing zoning ordinance, but coming down and
14 asking for relief from the ordinance so that you can
15 maximize it sort of is not really part of our charge.

16 I will go back and recite again Hoffman v. the
17 Cambridge Board of Zoning Appeal, and the judge there quoted
18 Bruzzese v. the Board of Appeal of Hingham, where the judge
19 ruled that an inability to maximize the theoretical
20 potential of a parcel of land is not a hardship within the
21 meaning of the zoning law.

22 And also -- and I go back again to Blackman v. the

1 Board of Zoning Appeal of Barnstable, where the court there
2 said that the power to vary the application of the zoning
3 ordinance must be sparingly exercised, and only in rare
4 instances, and under exceptional circumstances peculiar in
5 their nature, and with due regard to the main purpose of the
6 zoning ordinance, which is to preserve the property rights
7 of others.

8 And there is testimony from some abutters who are
9 basically opposed to this for a variety of reasons that it
10 will impact their enjoyment, use of the property and have
11 detrimental effect. And basically, they're asking us, as in
12 Blackman, basically to uphold their property rights to not
13 have this particular development impinge upon that.

14 So those are two kinds of things that are hanging
15 out there, that I haven't been able to reconcile with the
16 proposal. However, I will grant, and I was pleased to see
17 that it has been dramatically scaled back.

18 The third floor, you know, sort of a playroom,
19 open room, what have you, again just sort of begets that.
20 Eventually that will become either a bedroom or put to a
21 better use than just a playroom.

22 And is, again, maximizing as much square footage

1 as you can to get it, you know, an approval from the Board.
2 I haven't come to yes yet on that, so let me -- Andrea
3 Hickey, any thoughts or comments at this time?

4 ANDREA HICKEY: Yes, although I think they have
5 been covered, Mr. Chair, by you and by Mr. Monteverde.

6 So in the last hearing, I was the one that asked
7 the petitioner to be prepared tonight to discharge hardship.
8 Hoffman, Mr. Chair, I agree is directly on point. And using
9 Hoffman as my guide, I've not heard anything that would
10 allow me to vote in favor here and be able to articulate a
11 hardship.

12 I can -- I would like to go back to the petitioner
13 and give him or them another opportunity to address that,
14 because I did ask them to be prepared tonight to speak to
15 that. And maximizing profit just doesn't meet the bar.

16 So I am not in favor of this petition. I agree
17 that a reduction from 114 GFA -- percent GFA to 94 -- is an
18 improvement, but it's not enough, absent any hardship.
19 Thank you, Mr. Chair.

20 BRENDAN SULLIVAN: Thank you. Laura Wernick
21 comments, questions at this time?

22 LAURA WERNICK: Again, I'm going to pile on on the

1 hardship aspect of this. But I would like to ask my fellow
2 Board members and the Chair if there is a -- there is an
3 outdoor balcony off of that third-story playroom?

4 JOSEPH LUNA: Uncovered, yes.

5 LAURA WERNICK: So there is a benefit that
6 accrues to the family unit that they have se are private
7 outdoor space on the third floor. Is that worthy of
8 consideration to achieve that as overcoming the hardship?
9 Does anyone feel that is a worthy goal?

10 BRENDAN SULLIVAN: Laura, it's -- you touched on a
11 point too that I sort of thought of too when I -- you know,
12 look at decks and I have a deck off the back of my house and
13 we use it all the time -- and for, again, outdoor space and
14 fresh air and all the other amenities that come with it and
15 just to be able to go and sit in solitude sometimes is a
16 health benefit.

17 And this particular development, I think, does
18 lend itself to that. However -- and again, I think in the
19 age of the COVID and people seeking outdoor space, and we've
20 had a plethora of people coming down and finally recognize
21 the benefit of outdoor space -- and again, whether it be a
22 couple of people sitting together or, again, or in solitude,

1 could be a great health benefit.

2 So the -- there is a plus to that outdoor space.
3 But again, the -- at what cost to the supposedly next-door
4 neighbor who says it is impinging upon their privacy, and
5 also casting shadows and having an adverse effect upon their
6 property.

7 So it's sort of a balancing act as to, you know,
8 does the benefit outweigh potential perceived adverse
9 effect? So I'm not sure if that answers your question, but
10 those are the thoughts that I sort of had on that particular
11 --

12 LAURA WERNICK: Yeah. Are the people here who --
13 from the -- neighbors -- are there neighbors here who want
14 to address this?

15 BRENDAN SULLIVAN: Well, in public comment maybe
16 they will. There are two letters in the file which recently
17 came in which address that issue, which I will read into the
18 record.

19 JOSEPH LUNA: I do believe, Board, that if you
20 really study those shadow studies that we submitted -- and I
21 also want to point out the shadow studies do not take into
22 account any vegetation or topography on this, just strictly

1 the massing of the building space based on the GIS map for
2 the City of Cambridge.

3 There really is not any negligible effect on the
4 adjacent properties, looking at those shadow studies at
5 these various times.

6 I'm going to talk a little bit about the hardship,
7 because this is something that's been in significant
8 discussion with myself and my client, as far as what the
9 hardship is.

10 Because, again, I try to -- Ms. Lin is trying to
11 maximize the value of her property by making a substantial
12 investment into it. That also means cleaning up a rather
13 dilapidated front façade, and she has to be paid for it.

14 But is that in and of itself a hardship as far as
15 what she wants to do?

16 The big number that really pushes us over the FAR
17 is the attic addition. And I asked Ms. Lin specifically,
18 given that this is going to be the concern, what is more
19 important to you, doing the second-floor additions over the
20 existing first-floor footprint, or doing the attic?

21 She wants to make this improvement to the
22 property. She wants to be a good neighbor. But she doesn't

1 want to have to give up the attic, but she'd be willing to
2 give up the attic space just to get the second-floor
3 addition to put in place.

4 That would actually -- those additions only
5 represent 500 square feet, which would keep us below the
6 allowable FAR of 4475. So we would be at 4629, but we still
7 would need side yard setback relief for those. And that
8 would just be the addition of the small study.

9 I know we're doing a balancing act here.

10 BRENDAN SULLIVAN: All right. Laura, anything
11 else or --

12 LAURA WERNICK: I think that kind of proposal
13 would be very -- I'd be much more positive than -- I think
14 it's the -- to my mind it's the third floor that seems --

15 JOSEPH LUNA: It's the third floor, it's the third
16 floor that's making that number skewed, that we're 19
17 percent over the allowable.

18 BRENDAN SULLIVAN: Okay. Laura, any other
19 comments?

20 LAURA WERNICK: I feel you're -- with the second
21 floor, you're making it a reasonable unit for a family
22 that's beneficial to the community, and that that's worth

1 considering on this small lot. So I'd be -- I think I'd
2 still like to invite the other members' opinions, but that
3 seems to be a more reasonable approach.

4 BRENDAN SULLIVAN: Okay. And again, in
5 furtherance of that, and maybe on the same line, Laura,
6 members of the Board: Being in the business, and I know
7 what it costs and the burden it can be to rehabilitate
8 properties -- this is a four-family. It has --

9 JOSEPH LUNA: Three-family.

10 BRENDAN SULLIVAN: -- is it? A three-family,
11 sorry.

12 LAURA WERNICK: Three-family.

13 BRENDAN SULLIVAN: Three-family. Is in great need
14 of upgrading and all systems -- mechanical and, obviously,
15 interior space and so on and so forth. And that the cost to
16 do that can be quite burdensome and how do I pay for it
17 number one as a property owner, and then how can I best
18 justify, even if I can pay for it? And that's all on an
19 individual basis. How can I justify that expenditure in a
20 limited space?

21 And that if I could expand on that space and the
22 price per square feet tends to go down -- doesn't mean it's

1 less money, it's just that the price per square feet number
2 comes down -- that it becomes more doable and it becomes
3 more usable space. Is that sort of what you were thinking,
4 Laura, along that line?

5 And more attractive, I think, for -- you know,
6 more than two or three people?

7 LAURA WERNICK: Yes, I think it becomes --
8 hopefully it becomes more -- I think it's an important
9 investment in the community, and I think it becomes
10 presumably that gives the owner some significant return on
11 their investment, and still provides a good unit for a
12 family, and hopefully is not quite as -- the neighbors may
13 have less concern about it.

14 So I think it could be a good -- hopefully it
15 would be a good compromise.

16 BRENDAN SULLIVAN: Okay. Mr. Luna, is this
17 property going to be -- is it condos, or is it --

18 JOSEPH LUNA: No, they're rentals. Ms. Lin, as I
19 stated at the beginning of the presentation, resides at 24B.
20 Her intent is to rent long-term rentals out to the rooms, to
21 provide rents for individuals, graduate students living
22 inside the three -- each three-bedroom unit.

1 She only has permission to rent this as three-
2 bedroom per unit, nine bedrooms total. So there was never
3 the intent because she did not have the permission.

4 I can understand the Board's concern about the
5 attic space, which is why we did the best we could by not
6 putting any privacy barriers up there that could be
7 converted at a later time. And I insisted with Ms. Lin do
8 not put a tub up there, that it could be used for future use
9 as a bedroom.

10 With respect to the third floor, this is honestly
11 the best we can do with it. But again, this is the one that
12 is putting us -- just by the amount of area, that -- the
13 footprint of the house, this is the one that puts us over
14 the top on the FAR.

15 So -- and again, in speaking to Ms. Lin, if you
16 had a chance to make a choice between doing the second-floor
17 improvements and the third, she is more inclined to go with
18 doing the second-floor additions, forgoing the attic at the
19 risk of -- with only a five-person Board listening to us at
20 this time, we need to get four votes. So it's a very slim
21 margin for us. So we're willing to do some degree of
22 compromise.

1 This is ultimately, I think, a much better
2 proposal than we did back in November. But we don't want to
3 run the risk of getting rejected on it either, and then
4 having to come back in two years.

5 BRENDAN SULLIVAN: Okay. Slater, any comments,
6 questions?

7 SLATER ANDERSON: Well, you know, having not been
8 on the first case, but having reviewed the correspondence
9 and the dimensional form and the commentary and the letters
10 of opposition, I mean, I'm definitely trending in the right
11 direction, though I don't -- I'm not a fan of this sort of
12 come in and ask for something outrageous and then scale it
13 back and say, "Look how much we've given up," when you're
14 still somewhere that is well beyond what I think is a
15 reasonable proposal.

16 But what --

17 JOSEPH LUNA: With all due respect, Mr. Anderson,
18 I -- this point has been made numerous times by myself to my
19 client; is that you need to be reasonable on this. This was
20 not some -- I want to just be clear on this, this was not
21 some ploy to get it back to this.

22 Ms. Lin really wanted to do this the first time

1 and thought that she had a legitimate chance of getting it.
2 So there was no politics involved in trying to get -- trying
3 to get it to where we are right now in this presentation.

4 SLATER ANDERSON: Okay. I appreciate that.

5 JOSEPH LUNA: Okay.

6 SLATER ANDERSON: So I think the conversation was
7 just going on about, you, giving up the third floor, which
8 would eliminate the dormer that's out of compliance in one
9 case, and also -- you know, I don't know what the neighbors
10 think about the decks.

11 Now, the decks are not necessarily part of the
12 application, or the permitting, can be they would
13 technically I think be permitted if the greater project was
14 approved, but scaling back the third floor, and the fact
15 that you've eliminated the parking in the front yard and the
16 curb cuts and got, you know, to scale the mass in the back,
17 you've done a lot of good things here. I agree with that.

18 I'm more in -- of the mind when you talk the --
19 whatever it was, the 4600 square feet, you know, within that
20 4700 square feet envelope I think, you know, that starts to
21 make a lot more sense. And then we're giving more modest
22 relief on the side yard setback I think it was.

1 And I -- I am -- I've always been supportive.
2 People who want to invest in residential properties in
3 Cambridge because -- you know, every home has a life cycle,
4 and it needs to have reinvestment. And if we don't want to
5 dissuade people from investing in their property, so I
6 balance that against you know, our obligations to meet the
7 standard of the zoning ordinance and our limitations within,
8 you know, recognizing hardship.

9 So I'm -- I appreciate warehouse this is go. I'm
10 not supportive of the application that's in front of us
11 today, I would say. So, you know, a revised plan that
12 eliminates the third floor is much more palatable. Thank
13 you.

14 BRENDAN SULLIVAN: Okay. Let me open it to public
15 comment and let Mr. Luna digest what he's heard. Any member
16 of the public who wishes to speak should now click the icon
17 at the bottom of your Zoom screen that says, "Raise hand."

18 If you are calling in by phone, you can raise your
19 hand by pressing *9 and unmute or mute by pressing *6. And
20 you will have up to three minutes in which to speak.

21 STEPHEN NATOLA: Alice Flaherty?

22 ALICE FLAHERTY: Hi. This is Alice Flaherty. Can

1 you guys hear me?

2 BRENDAN SULLIVAN: Yes.

3 ALICE FLAHERTY: I was one of the -- I'm one of
4 the two abutters. I'm on the south side, and I had a lot of
5 objections the first time. I have retracted them. I think
6 Lin Lin has been very, very flexible. I'm very happy about
7 the changes she made.

8 In particular, I was actually distressed that they
9 were losing decks. Like, the people that lived in the house
10 before used the roof -- the first-floor roofs as decks. And
11 it was sort of a neighborly way of talking to people. So
12 I'm quite in favor of those third-floor decks.

13 If the only difference between what they can get
14 approved and, you know, what they want is the third-floor
15 playroom, to me it seems like a giant waste of space to have
16 that -- you know, that space up there and not be in use by
17 people.

18 So I just want to say that all my objections were
19 very clearly met by her. She was -- you know, she added
20 stuff that I suggested. And so I endorse the project. I
21 don't think it changes -- before it was this monolithic
22 thing that did loom over both my house and Cooper up on the

1 north side, and I don't think that's true anymore.

2 BRENDAN SULLIVAN: Thank you, Alice. There's
3 nobody else calling in. There are two letters of
4 correspondence from Marcia Hern, H-e-r-n, dated April 16 to
5 the Board.

6 "I have a conflict which will preclude me from
7 making the meeting on the twenty-seventh. Lin Lin is asking
8 for a considerable increase in living space. She has asked
9 for my support in the project, and subject, but I am still
10 against expansion of the second floor in the rear.

11 "She did reduce her initial plan by proposing only
12 going up to the second floor, and setting back slightly, but
13 by then adding a third-floor roof deck doesn't feel like a
14 large concession. And the property already has a deck for
15 each unit on the first floor.

16 "As I have expressed to her myself how I feel --
17 that the expansion in back will very much negatively affect
18 my view, privacy and light from my building and also my
19 light and privacy in the yard, and that the surrounding
20 neighbors as well.

21 "I have lived in Cambridge for a long time now in
22 different areas. What appealed to me about this

1 neighborhood is that they're quite dense, the properties
2 have small yards, so there is some greenery. I enjoy and
3 use my back yard often.

4 "I have been quite forthright with her that I am
5 not opposed to expansion type of roof and the dormers, but
6 do not support expansion upward of the rear addition. I
7 feel like -- and I feel it is unfortunate that I think
8 expanding the attic would create much more desirable living
9 space and it has support from more neighbors.

10 "Thank you.

11 "Marcia Hern.

12 "30 Union Street, Unit 2."

13 Correspondence from J. Cooper McDonald:

14 "I am the owner and resident of 26 Union Street,
15 the northern neighbor of 24. I have lived and paid taxes on
16 this property since 2005. I am unable to attend the April
17 27 meeting. I continue to oppose my neighbor's desired
18 expansion beyond the allowable FAR.

19 "As last described to me, she wishes to add a
20 partial second story with a roof deck on the single-story
21 portion at the back of the house. She also wishes to
22 enclose most of the attic and the living space.

1 "The addition would reduce my enjoyment of my
2 property, since there would now be a much larger structure
3 literally looming over mine.

4 "As I have explained to my neighbors on multiple
5 occasions, I am opposed to any expansion at the back of the
6 house. Such an expansion would both reduce sunlight in my
7 yard and also increase privacy concerns."

8 "Furthermore, the sheer size of the renovation is,
9 in my view, well beyond what makes sense for a three-bedroom
10 apartment.

11 "Nonetheless, I have repeatedly stated that I
12 would be willing to support some form of enlargement limited
13 to the third floor, as this would allow her more space and
14 minimize its impact on me.

15 "Given the proposed addition is a negative for my
16 property, I have considered why I would support such an
17 addition. I appreciate that she strongly wishes to add this
18 additional space to her property. Her property is an
19 investment property; thus the sole reason for the addition
20 is to increase the value of her property."

21 And it sort of goes on for another page.

22 "Finally, I wish to address the false equivalency

1 that was raised at the November meeting" -- well, that's not
2 pertinent to what we're discussing tonight. So I will leave
3 it at that.

4 "Sincerely,

5 "Cooper McDonnell."

6 And that is the sum and substance of any
7 correspondence. I will close public comment, send it back
8 to Mr. Luna for any further comment.

9 JOSEPH LUNA: We're somewhat stuck between a rock
10 and a hard place on this.

11 If we go and incorporate what Mr. Cooper wants,
12 and that's the renovation of the attic, which is
13 uninhabitable now, that's the big increase in the FAR,
14 because as I mentioned before, the additions only add 500
15 square feet, but the renovation of the attic space adds 1326
16 square feet, which then we would need FAR with.

17 If we scale the project back that we don't have
18 FAR relief, which only adds 500 square feet, then the
19 immediate neighbor, Mr. Cooper to Lin's property, isn't
20 happy about this, which is why -- as I mentioned earlier,
21 when I asked Ms. Lin what was more important to her, she
22 really wanted to do the study off of the second floor.

1 But this seems to be the major objection -- the
2 increase in mass of the back of that. As I said before, the
3 roof is not any higher than it is currently. It just
4 requires that we go to a gambrel style -- or excuse me
5 Mansard style on that, and then it's -- again add the
6 dormers along the front and some smaller dormers on the
7 side, and toward the rear.

8 So again, I'm trying to -- trying to thread the
9 needle as far as what each neighbor wants, but then that
10 puts me at odds with what the Board wants, which is a
11 smaller-scale project with respect to the FAR, and the
12 amount that we're asking for and the area increase.

13 BRENDAN SULLIVAN: All right. Let me take it back
14 to the Board. Jim, what would -- what, if anything, you
15 would approve?

16 JIM MONTEVERDE: I understand Mr. Luna's
17 suggestion to reduce, not to the third floor, but the
18 expansion on the second-floor as it's drawn. Was there a
19 deck on top of that, or was it just --

20 JOSEPH LUNA: Well, if the deck -- if the upstairs
21 attic space is eliminated and uninhabitable, there is no
22 decks at that point.

1 JIM MONTEVERDE: Okay.

2 JOSEPH LUNA: Because we can't increase that area
3 in order to access that. So --

4 JIM MONTEVERDE: Right. So if it's the second-
5 floor extension with a roof on it --

6 JOSEPH LUNA: Yes.

7 JIM MONTEVERDE: -- that --

8 JOSEPH LUNA: It would just gable back, or we'd
9 have --

10 JIM MONTEVERDE: Right.

11 JOSEPH LUNA: to the transition to move back into
12 it.

13 JIM MONTEVERDE: Yep, that --

14 JOSEPH LUNA: Or make it --

15 JIM MONTEVERDE: -- that I would support. And
16 looking at the shadow studies, understanding the neighbors'
17 concerns, I don't see that it increases the shadows to any
18 significant effect.

19 JOSEPH LUNA: No, I think we proved that.

20 JIM MONTEVERDE: Right. And looking at the
21 neighborhood in context, there's a nice strand of trees that
22 separates the back of Ms. Lin's property and the neighbor

1 behind that offers shade, et cetera that -- you know, in
2 terms of the view and in terms of blocking the sunlight,
3 it's actually the trees that are casting shadows on the
4 neighbors' potentially property.

5 So I don't think the shadows are an issue, or a
6 great issue with that second-floor addition. So that I
7 could support.

8 BRENDAN SULLIVAN: Andrea Hickey?

9 ANDREA HICKEY: I just have a couple of sort of
10 numerical questions, calculation questions for Mr. Luna. So
11 if you don't do the third floor, keep it as attic and just
12 do sort of what's proposed to the second floor, how does
13 that change current FAR? From 65 to what?

14 JOSEPH LUNA: All right. We have currently right
15 now 4129 square feet. If we add 500 square feet, because
16 that's what we're -- that's what the three study spaces add
17 up to; one appendage is 324, the other is 175.5.

18 ANDREA HICKEY: Mm-hm.

19 JOSEPH LUNA: It's 500 square feet.

20 ANDREA HICKEY: Okay.

21 JOSEPH LUNA: You add that to the 4129, that
22 brings us up to 4629. The allowable is 4745. So we would

1 not require zoning relief for FAR. But because the
2 additions are being constricted on a preexisting,
3 nonconforming for the side yards, we would need relief
4 because --

5 ANDREA HICKEY: All right.

6 JOSEPH LUNA: -- now we're increase the
7 nonconformity.

8 ANDREA HICKEY: Understood. I just wanted to make
9 sure that I was processing that correctly.

10 JOSEPH LUNA: Right. Right.

11 ANDREA HICKEY: If I heard Mr. Monteverde
12 correctly, he seems to support the work on the second floor.
13 Jim, is that accurate?

14 JIM MONTEVERDE: That's correct.

15 ANDREA HICKEY: I would support that. If I could
16 ask Mr. Luna to then do the opposite calculation: So if no
17 expansion of the second floor was done, but --

18 JOSEPH LUNA: Certainly.

19 ANDREA HICKEY: -- we gave you the third floor,
20 what is FAR?

21 JOSEPH LUNA: Okay, let me pull out my calculator.
22 All right. The attic adds 1326 square feet to the

1 preexisting 4129. That is 5455 square feet. I deduct that
2 from what is allowable -- 4745. That puts us 710 square
3 feet above the allowable FAR.

4 ANDREA HICKEY: Okay. So you would need relief
5 for FAR for that?

6 JOSEPH LUNA: It -- without a doubt, any expansion
7 of the attic space requires FAR relief.

8 ANDREA HICKEY: Okay. Mr. Chair, I just need a
9 minute to kind of mull over --

10 JOSEPH LUNA: Right.

11 ANDREA HICKEY: -- in my head where I am. I think
12 there's --

13 JOSEPH LUNA: So the problem --

14 ANDREA HICKEY: I'm sorry --

15 JOSEPH LUNA: -- let me just interject but the
16 problem with that is then her abutter, Mr. Cooper, is more -
17 - doesn't care about the third floor, he cares about the
18 second floor.

19 ANDREA HICKEY: Right. Right. It -- Mr. Chair,
20 I'll yield to you. I think there's something here I can
21 support; I'm just deciding which.

22 JOSEPH LUNA: I know we're making Sophie's Choice

1 here, so.

2 ANDREA HICKEY: It sort of --

3 JOSEPH LUNA: Trying to figure out what's the
4 right --

5 ANDREA HICKEY: -- it feels that way. Mr. Chair,
6 I'll yield back to you for the moment.

7 BRENDAN SULLIVAN: All right. I'm sort of
8 thinking about what is the right thing to do for this
9 property. To allow for rehabilitation of it? To bring it
10 up to current standards? To have better mechanics? Better
11 living space?

12 JOSEPH LUNA: Better life safety.

13 BRENDAN SULLIVAN: Which obviously is a plus for
14 the neighborhood. And if we are saying, "Okay, we -- the
15 Board is amenable to the second-floor work, but not the
16 third floor" then what does that limit the third floor to?
17 It just becomes unusable space. Is that correct, Joe?

18 JOSEPH LUNA: Yes, it is, sir.

19 BRENDAN SULLIVAN: And -- and yet, you know, we
20 have an awful lot of cases where people come down before us
21 and say, you know, "I think I have --" so in Cambridge,
22 everybody's sort of house-rich and cash poor. And that

1 "I've got this big house, and the property values are the
2 property values, and I have this area that is useless to me,
3 and I need more space for --" usually, again, it's a
4 bedroom, bathroom, you know, that type of thing because of a
5 growing family or just the need to acquire a usable sum
6 square footage somewhere, so that it can be used."

7 And, you know, is it -- is it right, is it the
8 right thing to then commit this area in the attic to a
9 lifetime going forward of being unusable and having no value
10 at all to the occupants of the structure?

11 So I guess where I'm at in all of this is that
12 coming down to either yes or a no, I would say I would
13 support the present application that is before us. So.

14 Laura, any -- do you want to chime in anymore? Or
15 Slater, any more further comments?

16 LAURA WERNICK: I just -- I would like to see the
17 rear elevations again, comparing the existing to the
18 proposed --

19 JOSEPH LUNA: Yes, certainly. Let's go to the
20 very beginning of the drawings. All right. There's the
21 existing rear. You can see the two kind of thumb additions
22 on it.

1 LAURA WERNICK: Mm-hm.

2 JOSEPH LUNA: Let's go all the way up. There it
3 is. There is existing rear. And at the second to the last
4 sheet of the proposed is the proposed rear. You're still in
5 the EZ drawings. And then you can see the hip roof on the
6 front.

7 LAURA WERNICK: Mm-hm.

8 JOSEPH LUNA: So this is the proposed. So you can
9 see the second floor is set back from the primary wall --

10 LAURA WERNICK: Right.

11 JOSEPH LUNA: -- of the rear. The eave line
12 matches the edge of the deck, and then we have the dormers
13 that provide access to a roof deck on there. And then two
14 small shed dormers.

15 LAURA WERNICK: But am I right in that the --
16 those small, the additions on the second floor create the
17 opportunity for the --

18 JOSEPH LUNA: -- for the roof deck, right. For
19 the roof deck.

20 LAURA WERNICK: Yeah. So if you did the third
21 floor without the second floor, you wouldn't have the
22 balconies.

1 JOSEPH LUNA: Yes. Unless we did some kind of
2 insert --

3 LAURA WERNICK: Structural --

4 JOSEPH LUNA: -- we'd have to do some kind of
5 insert balcony on that, but then that poses all sorts of
6 issues for snow --

7 LAURA WERNICK: Sure.

8 JOSEPH LUNA: -- as well. So.

9 LAURA WERNICK: Yeah. So I -- yes, I'm amenable
10 to -- certainly I agree with -- your light studies were
11 persuasive to me that this won't have an impact on --

12 JOSEPH LUNA: Right.

13 LAURA WERNICK: -- our neighbors in terms of
14 shadows. The --

15 JOSEPH LUNA: I mean we really have --

16 LAURA WERNICK: -- second floor.

17 JOSEPH LUNA: -- I've spent a lot of time with my
18 client on this, trying to get a reasonable proposal.

19 LAURA WERNICK: Okay.

20 JOSEPH LUNA: And again, I go back to this was not
21 a bait and switch that we were just trying to throw
22 something --

1 LAURA WERNICK: No, I get it.

2 JOSEPH LUNA: -- grossly out of scale on that. I
3 think this is a reasonable proposal. She's trying to use
4 the existing attic space into livable space.

5 LAURA WERNICK: Mm-hm.

6 JOSEPH LUNA: We've kept it at three bedrooms.
7 We've done our best. So additional bedrooms can't be added
8 on in the study by making a five-foot wide opening directly
9 off of the laundry room, and then just making an open space
10 with a powder room upstairs on the attic space for the play
11 area. It's not the playroom. It could be called --

12 LAURA WERNICK: No, I get you. I'm totally with
13 you. I'm with you. I was just --

14 JOSEPH LUNA: Yep.

15 LAURA WERNICK: -- seeing if there was an
16 opportunity to not do the second-floor additions and do the
17 third floor, but it doesn't -- that doesn't seem to be
18 reasonable to me.

19 So I think I would go -- I'm amenable to either
20 the second-floor addition or the second-floor addition with
21 the third-floor fit-out as well, with your original -- your
22 proposed --

1 JOSEPH LUNA: The proposed plan that you see in
2 front of you tonight?

3 LAURA WERNICK: Yes. Whatever --

4 BRENDAN SULLIVAN: Slater? Anything else to add?
5 Your comments?

6 SLATER ANDERSON: Well, what about the 22' dormer
7 there on the third floor?

8 BRENDAN SULLIVAN: Yeah, well --

9 JOSEPH LUNA: That -- yeah, that 22' dormer is
10 just because of how the unit is set up. It mirrors it on
11 the other side. So that gives the overall length of the
12 dormer -- the unit separation runs right through the middle
13 of that.

14 SLATER ANDERSON: Yeah. So I get that. Yeah.
15 You can -- it's not that one unit's getting the benefit of
16 the 22 feet?

17 JOSEPH LUNA: No, no, no, right? You basically --

18 SLATER ANDERSON: That's not unreasonable.

19 JOSEPH LUNA: Yeah. You bisect that down the
20 middle. You have --

21 SLATER ANDERSON: Yeah.

22 JOSEPH LUNA: -- one unit to one side, one unit to

1 the other.

2 SLATER ANDERSON: Yeah.

3 JOSEPH LUNA: And that creates the mass.

4 SLATER ANDERSON: Yeah. That's a reasonable
5 response. I appreciate that.

6 JOSEPH LUNA: Okay.

7 SLATER ANDERSON: That's all I have right now.

8 BRENDAN SULLIVAN: Okay. So Andrea, we throw the
9 ball back into your court.

10 ANDREA HICKEY: I do not support the entire ask.
11 I can live with the second-floor work. That's where I am
12 right now.

13 BRENDAN SULLIVAN: And there would be no work on
14 the third floor? You would support that motion?

15 ANDREA HICKEY: Yes, unless one of my colleagues
16 has something else to add that might persuade me.

17 BRENDAN SULLIVAN: Okay.

18 SLATER ANDERSON: I have a question about the
19 third floor. So the existing third floor, I'm looking at
20 these elevations. And, you know, we don't really have a
21 section here to give us a call GSD sense. But, you know,
22 I'm looking at Sheet EC4.02.

1 JOSEPH LUNA: Mm-hm.

2 SLATER ANDERSON: It's one of the side elevations.
3 You know, and I'm seeing roughly 10.5' to the ridge for that
4 third -- for the attic space, right? At the center.

5 JOSEPH LUNA: Yes.

6 SLATER ANDERSON: And I know -- yeah, there's --
7 there's a ridge pole. But, you know, that's -- that's a
8 fairly high center space that you could pop some dormers off
9 of. I just don't necessarily see that the existing gable or
10 hipped roof, third floor, isn't usable.

11 JOSEPH LUNA: Well, the problem is the hip
12 compromises that; compromises it at that point. The center
13 would get the benefit, but because the hip -- the two end
14 units have virtually no remaining space when you factor the
15 hip in, it would have to be a complete reframe of the upper
16 -- of the upper floor and eliminating the hip to a gable.

17 But it -- at that point then, the --

18 SLATER ANDERSON: Yep. Yep. No, you're -- I see
19 what you're saying. So there really -- the benefit accrues
20 to the central unit, not to the end unit?

21 JOSEPH LUNA: Yeah. And again, we're trying to
22 get parity between all the units.

1 SLATER ANDERSON: Okay. Thank you.

2 BRENDAN SULLIVAN: If this was a suicide house
3 with a single open attic, then the dormers would make sense.
4 But it's really three units up there sharing that space.

5 JOSEPH LUNA: Right. And if you take a look at
6 Sheet EC402, if you see where the attic door line is in
7 relationship to the E, to a 7'-height, that -- to where the
8 other side of the frame is, that would essentially only give
9 you about a 5'-6' usable area space inside that.

10 You can see where the attic floor line is in
11 relationship to the E. If you take that and accommodate the
12 structure, it only gives you roughly 5' to 6' of usable head
13 room that is 7' or higher. Then it's going to be sloping
14 down rather quickly.

15 So the attic as it stands without a reframe of the
16 roof doesn't-- or substantial dormers, which then poses
17 other problems, which is why we went with the Mansard roof -
18 - excuse me, yeah.

19 SLATER ANDERSON: Thank you.

20 BRENDAN SULLIVAN: Okay. So Jim and Andrea, what
21 would get you to if we -- if I were to make a motion, well,
22 first of all we'd make a motion to accept the proposal, you

1 would not support that, Jim and Andrea you would not support
2 that? Okay.

3 So if I were to make a motion, then, to accept the
4 plan except for the third floor, that no addition to the
5 third floor would be part of this relief, would you support
6 that?

7 JIM MONTEVERDE: Yes.

8 BRENDAN SULLIVAN: Andrea, would you support that?

9 ANDREA HICKEY: Yes.

10 BRENDAN SULLIVAN: Okay. Laura, would you support
11 that motion?

12 LAURA WERNICK: Yes.

13 BRENDAN SULLIVAN: And Slater?

14 SLATER ANDERSON: Yes.

15 BRENDAN SULLIVAN: All right. Joe, I think that -
16 -

17 JOSEPH LUNA: I think it's a fait accompli.

18 BRENDAN SULLIVAN: Okay. Let me make a --

19 JOSEPH LUNA: I think it's --

20 BRENDAN SULLIVAN: -- let me make a motion, then,
21 to grant the relief requested as per the revised drawings
22 submitted dated April 18, 2023, that the work on the second

1 floor is to be accepted as granting relief from the
2 ordinance.

3 That the work on the third floor would not be
4 allowed relief from the ordinance, so that no work on the
5 third floor would be allowed.

6 That also regarding the special permit that the
7 parking in the front yard as the initial proposal has been
8 withdrawn by the petitioner and is no longer part of this
9 relief.

10 So on the motion, then, to grant that on those
11 conditions, the Board finds that a literal enforcement of
12 the provisions of the ordinance would involve a substantial
13 hardship to the petitioner because it would preclude the
14 petitioner from making necessary changes and additions to
15 the property to upgrade the services to allow for more up-
16 to-date housing spaces that would be a great attribute to
17 anybody who lives in the space.

18 Also that a refurbished exterior would also be a
19 positive effect on the streetscape and to the adjoining
20 neighborhood.

21 The Board finds that the hardship is owing to the
22 fact of the size of the building on the lot, which predates

1 the existing ordinance, and as such is encumbered by the
2 ordinance and any addition of this nature, which the Board
3 finds is fair and reasonable, would require some relief from
4 the ordinance due to the siting of the house and the size of
5 the house on the lot.

6 The Board finds that desirable relief may be
7 granted without substantial detriment to the public good.

8 The Board finds that it would not nullify or
9 substantially derogate from the intent and purpose of the
10 ordinance to allow the homeowners to upgrade their property
11 to potentially put on additions to align better size of
12 rooms to accommodate families, and that to encourage by way
13 of variance and the authority of this Board to allow for
14 fair and reasonable development.

15 On the motion, then, to grant the variance for the
16 work as proposed without any work being done on the third
17 floor, Jim Monteverde?

18 JIM MONTEVERDE: In favor.

19 BRENDAN SULLIVAN: Andrea Hickey?

20 ANDREA HICKEY: Yes, in favor.

21 BRENDAN SULLIVAN: Laura Wernick?

22 LAURA WERNICK: Yes, no favor.

1 BRENDAN SULLIVAN: And Slater Anderson?

2 SLATER ANDERSON: In favor.

3 BRENDAN SULLIVAN: And Brendan Sullivan yes.

4 [All vote YES]

5 BRENDAN SULLIVAN: Now, in furtherance I'm going
6 to mark up the proposed third-floor plan. And I'm going to
7 basically X that as saying not approved. And that would be
8 Sheet 103.

9 And we'll initial the other on Sheet 102, which is
10 the second floor. And I have addressed the special permit;
11 that that is not part of the application; that has been
12 withdrawn.

13 Okay. So on the --

14 JOSEPH LUNA: And --

15 BRENDAN SULLIVAN: Yes?

16 JOSEPH LUNA: Go ahead, sir.

17 BRENDAN SULLIVAN: No, go ahead you. I was just
18 basically going to say that on the five affirmative votes,
19 the motion to grant the selective variance has been granted.

20 JOSEPH LUNA: Okay. Board, I have a request
21 please?

22 BRENDAN SULLIVAN: Yes?

1 JOSEPH LUNA: Given the length of how long we've
2 gone on with this continuance, I'm scheduled for another
3 hearing in the 8:00 time slot.

4 BRENDAN SULLIVAN: Yep.

5 JOSEPH LUNA: I'm actually talking to you right
6 now on a cruise ship. And I have a dinner that I have to be
7 at; it will be 8:30 your time. I'm hoping that I can still
8 keep that 8:00 time slot. If that means that I have to --
9 if I could possibly be moved ahead of another hearing, if
10 possible?

11 BRENDAN SULLIVAN: Which one is that, Joe? That's
12 --

13 JOSEPH LUNA: It's the Washington Street, sir.
14 It's a very simple one.

15 BRENDAN SULLIVAN: Oh, okay. That's on for 8:15?

16 JOSEPH LUNA: 8:15. This should be a very
17 straightforward presentation. But given the fact that we've
18 gone quite a bit longer on this, I'm hoping that -- we were
19 the last for 23 Washington Street. I would just hope that I
20 could go on at 8:00 on this your time?

21 BRENDAN SULLIVAN: Okay. Well, let me --

22 JOSEPH LUNA: I would like to keep my wife happy,

1 sir.

2 BRENDAN SULLIVAN: Okay. Let me plow through the
3 agenda, and at the Chair's discretion, at around of 8:15
4 keep an eye on that, and if we can call it then, then
5 potentially extend that courtesy.

6 JOSEPH LUNA: Okay. Thank you very much. Okay.

7 ANDREA HICKEY: Mr. Chair, I think Mr. Luna was
8 asking to be heard prior to 8:15?

9 JOSEPH LUNA: Yes. 8:00 would be preferable.

10 BRENDAN SULLIVAN: No, yeah, I'm sorry. I --

11 ANDREA HICKEY: I'm not sure that we can do that,
12 because members of the public think that case will start no
13 --

14 JOSEPH LUNA: Okay.

15 ANDREA HICKEY: -- earlier than 8:15. I would love
16 to accommodate you, Mr. Luna. Mr. Chair, I don't know what
17 your feelings are, but I'm not sure we can hear it before
18 8:15. We could hear it --

19 BRENDAN SULLIVAN: If --

20 ANDREA HICKEY: -- 8:15.

21 BRENDAN SULLIVAN: -- yeah, it cannot come any
22 sooner than 8:15.

1 JOSEPH LUNA: I think we'll need 15 minutes to get
2 through this one. It's a very straightforward case.

3 BRENDAN SULLIVAN: Yeah. Okay. So right around
4 8:15, if we're in between cases, I would call it.

5 JOSEPH LUNA: Okay. I appreciate your time.
6 Thank you.

7 BRENDAN SULLIVAN: All right.

8 JOSEPH LUNA: I'll see you a little later on in
9 the evening.

10 BRENDAN SULLIVAN: All right. Maybe we'll have to
11 talk fast. All right. So --

12 ANDREA HICKEY: We'll see you on the --

13 JOSEPH LUNA: Thank you.

14 ANDREA HICKEY: -- Lido deck.

15 SLATER ANDERSON: Sorry, Andrea?

16 JOSEPH LUNA: We have a very tight time slot for
17 dinner, so.

18 ANDREA HICKEY: I said we'll see you on the Lido
19 deck. Thank you.

20 JOSEPH LUNA: Okay. Very good. Bye-bye.

21

22



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

Replacement Board

BZA

POSTING NOTICE - PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Lin Lin Date: 03/24/2023
(Print)

Address: 24 Union St.

Case No. BZA - 188958

Hearing Date: 4/27/23

Thank you,
Bza Members

1 * * * * *

2 (6:03 p.m.)

3 Sitting Members: Brendan Sullivan, Andrea A. Hickey,
4 Jim Monteverde, and Laura Wernick

5 BRENDAN SULLIVAN: I'm going to call tonight a
6 continued matter, No. 188958 -- 24 Union Street. Mr. Luna?

7 JOSEPH LUNA: Yes, Board. My client has not been
8 able to work through the issues yet with the immediate
9 abutters regarding the property, and what would be an
10 acceptable compromise.

11 He and she actually did meet with them beginning
12 of the work, but we are requesting a continuance into next
13 month so we can formulate a new design strategy and have
14 time to present it to the Board.

15 So we sent notice to Ms. Maria Pacheco last week
16 that would be to ask for a time for continuance, but I'm
17 just here to ask for one more month so we can work through
18 these issues.

19 BRENDAN SULLIVAN: All right. The available --
20 this is a case heard: Myself -- Brendan Sullivan -- Jim
21 Monteverde, Andrea Hickey, Laura Wernick and Jason Marshall
22 sat on it. Now, Mr. Marshall is relinquishing his

1 membership from the Board as of tonight --

2 JOSEPH LUNA: Okay.

3 BRENDAN SULLIVAN: -- so that it will only be four
4 members of the original five that will hear this case.
5 There is an option that you can proceed with four members.

6 At that point you would need four affirmative
7 votes or if you wish -- and the law does not require this,
8 but it's a courtesy that the Board extends -- we could
9 empanel another member to be the fifth member. That member
10 would have to review all of the documents up to date and be
11 comfortable that they could hear the case at a further date.

12 So I would ask you, Joseph, if you want to go with
13 four members, or that if you wish that we would empanel a
14 fifth member to hear the case?

15 JOSEPH LUNA: Considering that I've urged my
16 client that we have to make a dramatic change in the design
17 in order to meet the concerns of the neighbors and the Board
18 as a whole, it would essentially be presenting almost a new
19 design.

20 So that being the case, I would like to include a
21 new member on this.

22 BRENDAN SULLIVAN: All right. So the first

1 available date would be April 27. So may I ask the other
2 members of the Board, Jim Monteverde are you available on
3 the twenty-seventh of April?

4 JIM MONTEVERDE: Yes, I am.

5 BRENDAN SULLIVAN: Andrea Hickey, would be
6 available?

7 ANDREA HICKEY: I need one moment to check, Mr.
8 Chair.

9 BRENDAN SULLIVAN: Laura, I'll ask you the same
10 question.

11 LAURA WERNICK: Yeah. I'm just -- I am available
12 on the twenty-second.

13 BRENDAN SULLIVAN: Okay.

14 ANDREA HICKEY: Yes. I am available on the
15 twenty-seventh.

16 BRENDAN SULLIVAN: You are available?

17 ANDREA HICKEY: Yes.

18 BRENDAN SULLIVAN: Okay. And so, what I will do,
19 Joe, is I will continue this matter to April 27, 2023 at
20 6:00 p.m. --

21 JIM MONTEVERDE: Okay.

22 BRENDAN SULLIVAN: -- on the condition that the

1 petitioner, you as representative, change the posting sign
2 to reflect the new date of April 27, 2023 and the time of
3 6:00 p.m.

4 JOSEPH LUNA: Okay.

5 BRENDAN SULLIVAN: Any new decision, plans,
6 supporting statements, dimensional forms be in the file by
7 5:00 p.m. on the Monday prior to the April 27, 2023 meeting.

8 Now, in the interim, we will reach out to some
9 other members of the Board to see their availability on the
10 twenty-seventh and ask if someone's available if they will
11 then read the transcripts and join us as a fifth member on
12 that particular night.

13 JOSEPH LUNA: Okay.

14 BRENDAN SULLIVAN: So that's -- we're not 100
15 percent certain of that, but we will put it down for the
16 twenty-seventh. And hopefully, again, this will be the last
17 continuance on this matter.

18 JOSEPH LUNA: Okay. Thank you.

19 BRENDAN SULLIVAN: So on the matter, then to -- on
20 the motion, then, to continue this matter to April 27, Jim
21 Monteverde?

22 JIM MONTEVERDE: In favor.

1 BRENDAN SULLIVAN: Andrea Hickey?

2 ANDREA HICKEY: Yes, in favor.

3 BRENDAN SULLIVAN: Laura Wernick?

4 LAURA WERNICK: In favor.

5 BRENDAN SULLIVAN: And Brendan Sullivan yes.

6 [All vote YES]

7 BRENDAN SULLIVAN: Four affirmative votes; this
8 matter is continued to April 27, 2023 at 6:00 p.m. See you
9 then, Joe.

10 JOSEPH LUNA: All right. I appreciate your help.
11 Thank you very much. Have a good evening.

12

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The Residences At

24 Union Street

Cambridge, Massachusetts 02141

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Locus:
 No. Date Revision/Issue
 1 10.27.21 Existing Conditions
 2 7.22.22 Proposed Addition
 3 4.12.23 Proposed Addition Revision

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: N.T.S.
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
Title Sheet

Sheet Number:
T1.00

TYPICAL ABBREVIATIONS:

A.C.T. Acoustic Ceiling Tile	I.D. Inside Diameter
A.F.F. Above Finished Floor	IN. Inch
A.F.S. Above Finish Slab	INCAN. Incandescent
ACOUS. Acoustic	INSUL. Insulation
ADJ. Adjustable	INT. Interior
ALUM. Aluminum	INV. Invert
ANCH. Anchor	J.B. Junction Box
APPROX. Approximately	JT. Joint
ATTEN. Attenuation	L.V.L. Laminated Veneer Lumber
B.O. Bottom of	LAV. Lavatory
BD. Board	M.D.F. Medium Density Fiberboard
BLDG. Building	M.D.O. Medium Density Overlay
BLK. Block	M.H. Manhole
BM. Beam	M.L. Micro-Lam
BOT. Bottom	M.O. Masonry Opening
C.B. Catch Basin	MANUF. Manufacturer
C.I.P. Cast in Place	MAX. Maximum
C.M.U. Concrete Masonry Unit	MECH. Mechanical
C.O. Clean Out	MIN. Minimum
C.T. Counter Top	MTL. Metal
CAB. Cabinet	N.I.C. Not In Contract
CEM. Cement	NOM. Nominal
CER. Ceramic	O.C. On Center
CLG. Ceiling	O.D. Outside Diameter
CLR. Clear	P.LAM. Plastic Laminate
COL. Column	P.S.L. Parallel Strand Lumber
COMP. Composition	P.T. Pressure Treated
CONC. Concrete	PL. Plate
CONST. Construction	POLY V.B. Polyethylene Vapor Barrier
CONT. Continuous	PTD. Painted
D.S. Dish Washer	Q.T. Quarry Tile
D.W. Double	R.R. Risers
DBL. Detail	R.D. Roof Drain
DET. Diameter	R.O. Rough Opening
DIA. Diagonal	RAD. Radius
DIM. Dimension	REF. Refer
DISP. Dispenser	REFRIG. Refrigerator
DN. Down	REINF. Reinforced
DP. Deep	REQ. Required
DWG. Drawing	RES. Resistant
E.F. Each Face	RET. Retaining
E.J. Expansion Joint	RM. Room
E.O. Edge of	S & P. Shelf and Pole
E.W. Each Way	S.S. Stainless Steel
EA. Each	SV. Sheet Vinyl
ELECT. Electrical	SCHED. Schedule
ELV. EL. Elevation	SECT. Section
ENAM. Enamel	SH. Sheet
EQ. Equal	SIM. Similar
EQUIP. Equipment	SPEC. Specification
EXIST. Existing	SO. Square
EXT. Exterior	STD. Standard
F.D. Floor Drain	STL. Structural
F.O. Face of	SUSP. Suspended
F.W. Foundation Wall	T. Treads
FDN. Foundation	T & B. Top and Bottom
FIN. Finish	T & G. Tongue and Groove
FLR. Floor	T.O. Top of
FLUOR. Fluorescent	T.O.C. Top of Concrete
FRM. Frame	TEL. Telephone
FT. Feet	THRU. Through
FTG. Footing	TYP. Typical
G.C. General Contractor	U.O.N. Unless Otherwise Noted
GA. Gauge	UR. Urinal
GALV. Galvanized	V.C.T. Vinyl Composition Tile
GEN. General	V.I.F. Verify in Field
GRT. Grout	VERT. Vertical
GYP. Gypsum	W. Water Closet
H. High	W.F. Wide Flange
HD. Head	W.P. Waterproof
HDWD. Hardwood	W.W.F. Woven Wire Fabric
HORIZ. Horizontal	W.W.M. Welded Wire Mesh
HT. Height	W. With
	WD. Wood
	WT. Weight

TYPICAL GRAPHIC SYMBOLS:

	Earth
	Gravel Fill
	Concrete
	Brick
	Concrete Masonry Unit
	Stone
	Granite
	Aluminum
	Steel
	Wood-Rough
	Wood-Blocking
	Plywood
	Plywood-M.D.O.
	Wood-Finish
	Batt Insulation
	Rigid Insulation
	Gypsum Wallboard

TYPICAL SYMBOLS:

	Exterior Elevation Designation
	Building Section Designation
	Wall Section Designation
	Enlarged Detail Designation
	Detail Section Designation
	Spot Elevation Designation
	Interior Elevation Designation
	Window Type Designation
	Door Type Designation
	Room Designation
	Wall Type Designation
	Floor/Ceiling Assembly Designation
	Column Grid Line Designation
	Revision Designation

LIST OF DRAWINGS:

T-1.00	Title Sheet
SP-1.01	Existing & Proposed Site Plan
EC-1.00	Existing Basement Plan
EC-1.01	Existing First Floor Plan
EC-1.02	Existing Second Floor Plan
EC-1.03	Existing Attic Plan
EC-1.04	Existing Roof Plan
EC-4.01	Existing North Elevation
EC-4.02	Existing South Elevation
EC-4.03	Existing East Elevation
EC-4.04	Existing West Elevation
A-1.00	Proposed Basement Plan
A-1.01	Proposed First Floor Plan
A-1.02	Proposed Second Floor Plan
A-1.03	Proposed Third Floor Plan
A-1.04	Proposed Roof Plan
A-4.01	Proposed North Elevation
A-4.02	Proposed South Elevation
A-4.03	Proposed East Elevation
A-4.04	Proposed West Elevation



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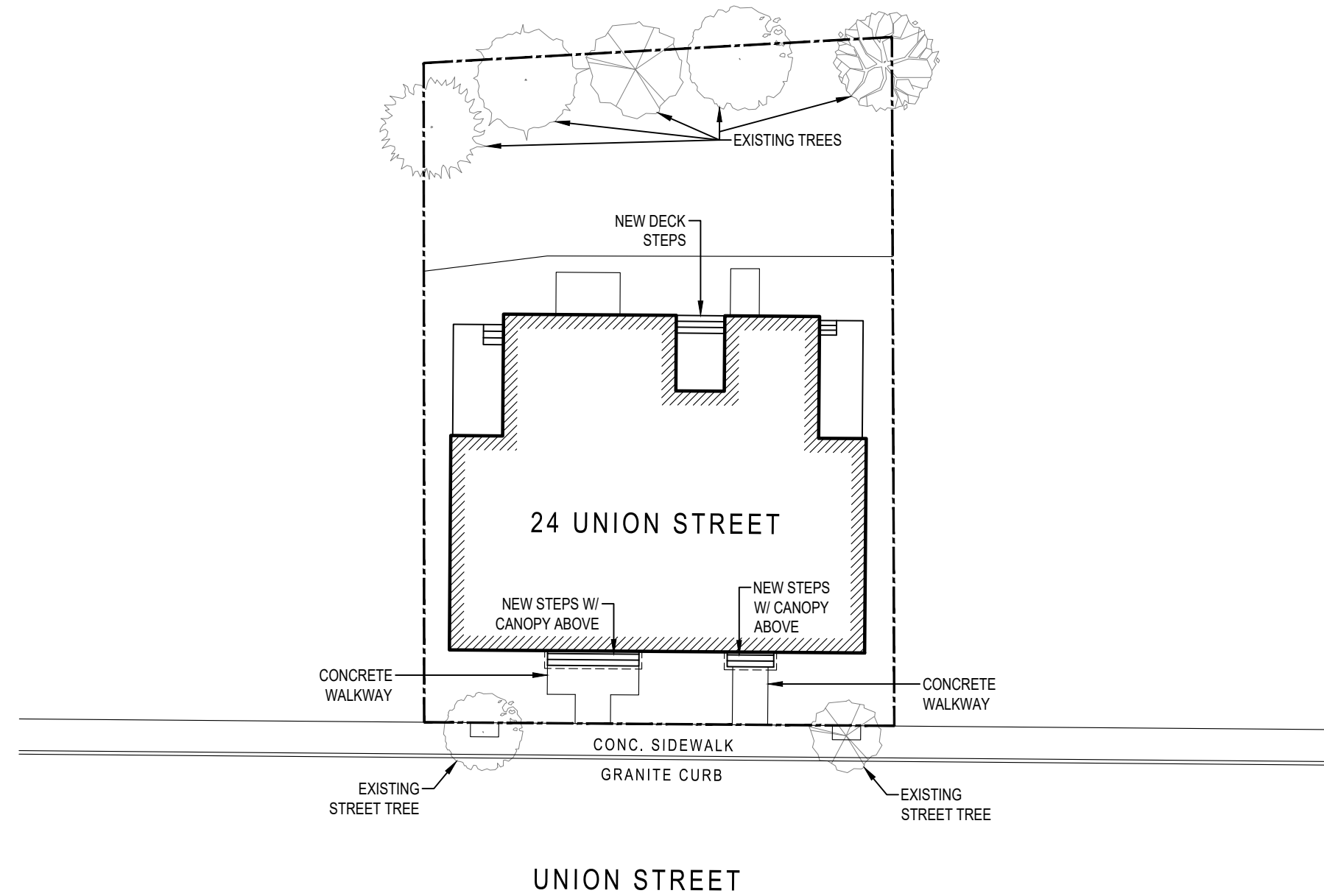
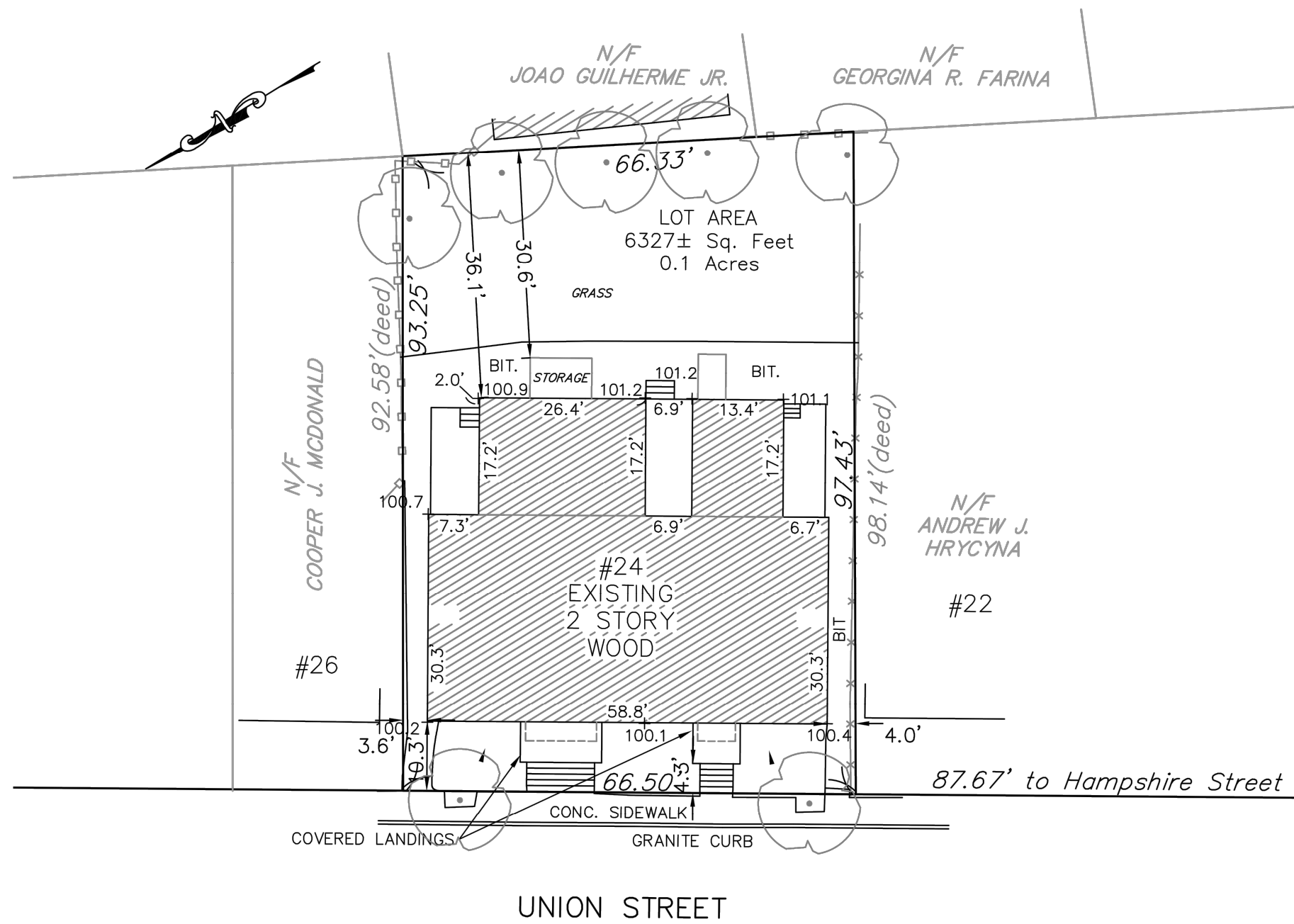
Locus:

No.	Date	Revision/Issue
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2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:	Date APRIL 12, 2023
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

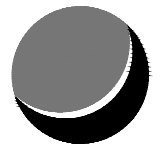
Sheet Title:
**Existing &
 Proposed
 Site Plan**

Sheet Number:
SP1.01



① Existing Site Plan
 Scale: 1" = 20'-0"

② Proposed Site Plan
 Scale: 1" = 20'-0"



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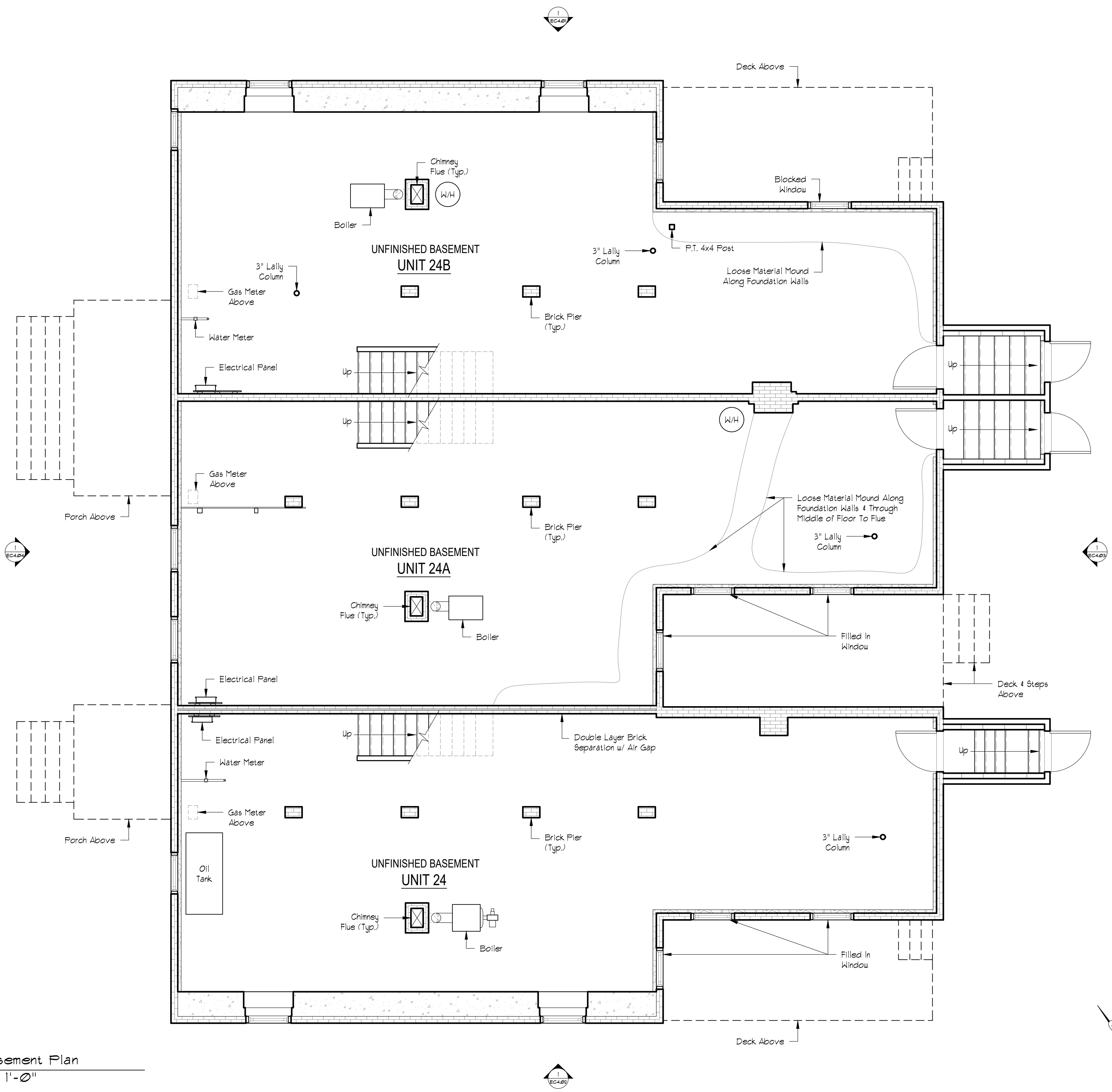
Date
 APRIL 12, 2023
 Scale
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 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Existing
 Basement Plan**

Sheet Number:

EC1.00



1 Existing Basement Plan
 Scale: 1/4" = 1'-0"

D:\Current Projects\24 Union Street\Proposed.dwg

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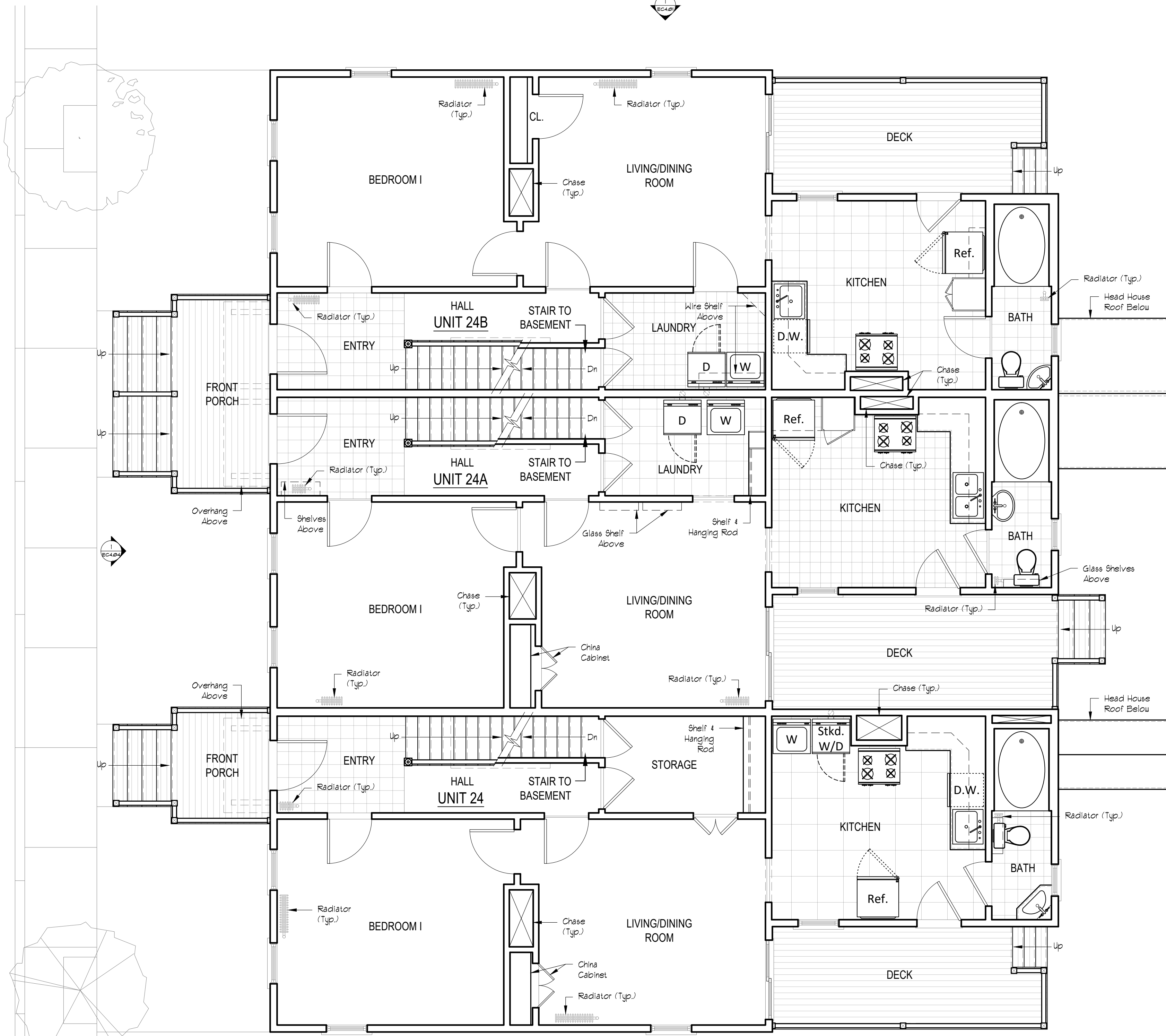
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Sheet Title:

**Existing First
 Floor Plan**

Sheet Number:

EC1.01



① Existing First Floor Plan
 Scale: 1/4" = 1'-0"

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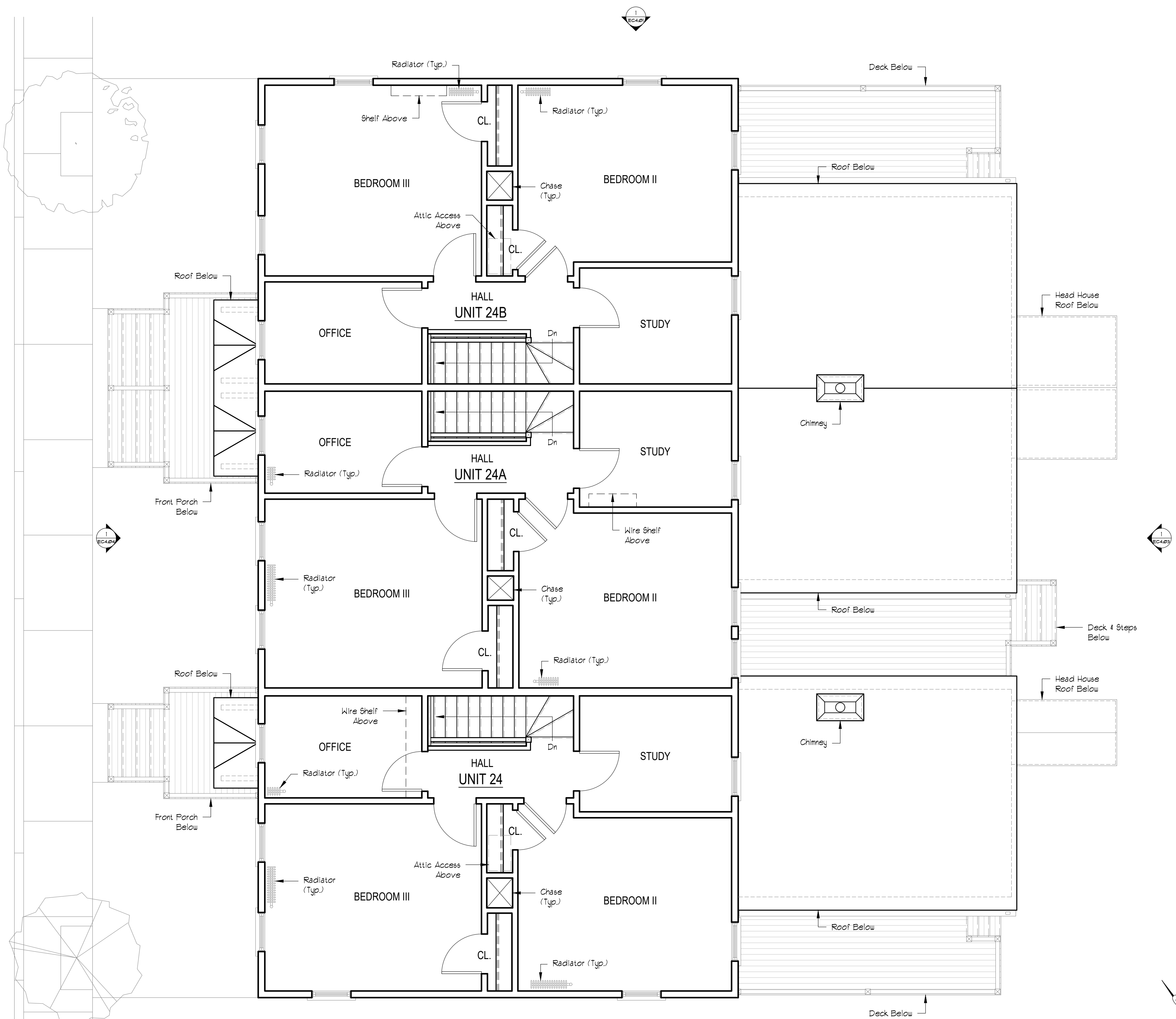
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Sheet Title:
**Existing Second
 Floor Plan**

Sheet Number:
EC1.02



① Existing Second Floor Plan
 Scale: 1/4" = 1'-0"

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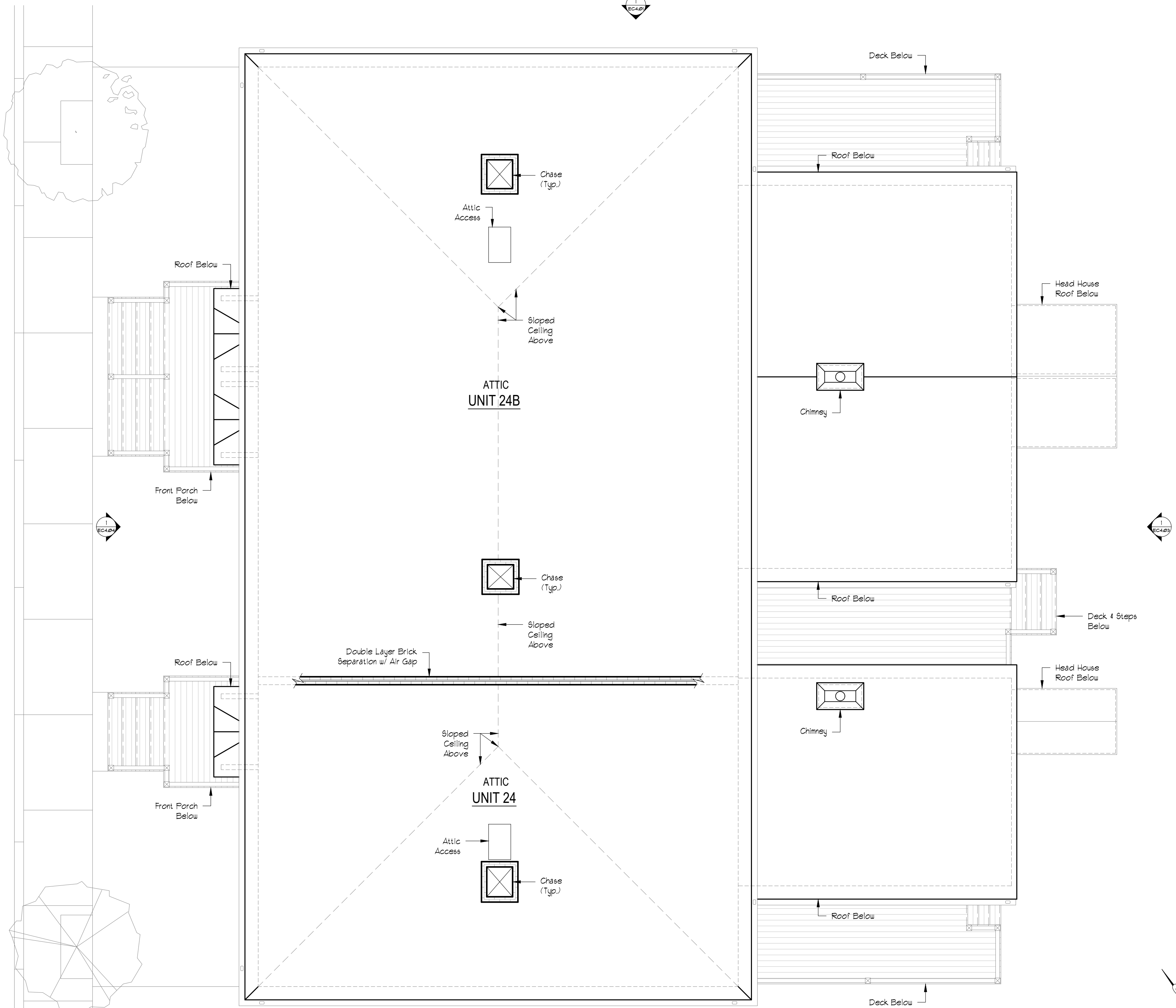
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Sheet Title:
**Existing
 Attic Plan**

Sheet Number:
EC1.03



① Existing Attic Plan
 Scale: 1/4" = 1'-0"



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Stamp:

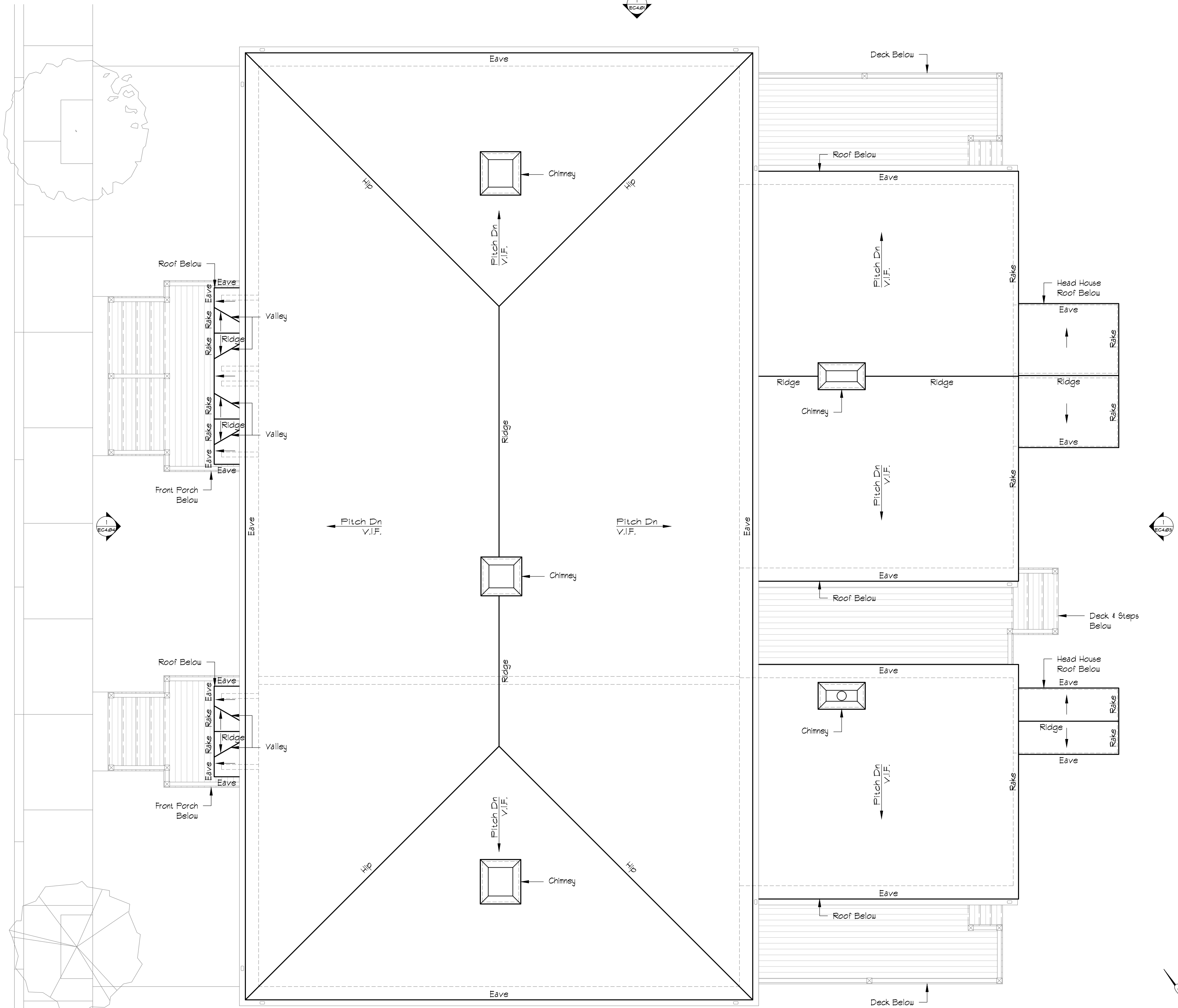
Date
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 Scale
 1/4" = 1'-0"
 Job No.
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Sheet Title:

**Existing
 Roof Plan**

Sheet Number:

EC1.04



1 Existing Roof Plan
 Scale: 1/4" = 1'-0"



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	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing North
Elevation**

Sheet Number:

EC4.01



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Existing North Elevation
Scale: 1/4" = 1'-0"



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Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Existing South
Elevation**

Sheet Number:
EC4.02



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

① Existing South Elevation
Scale: 1/4" = 1'-0"



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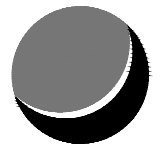
Existing East
Elevation

Sheet Number:

EC4.03



1 Existing East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
 24B Union Street
 Cambridge, MA 02141

Project:

**The Residences At
 24 Union
 Street**
 Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing West
 Elevation**

Sheet Number:

EC4.04



① Existing West Elevation
 Scale: 1/4" = 1'-0"

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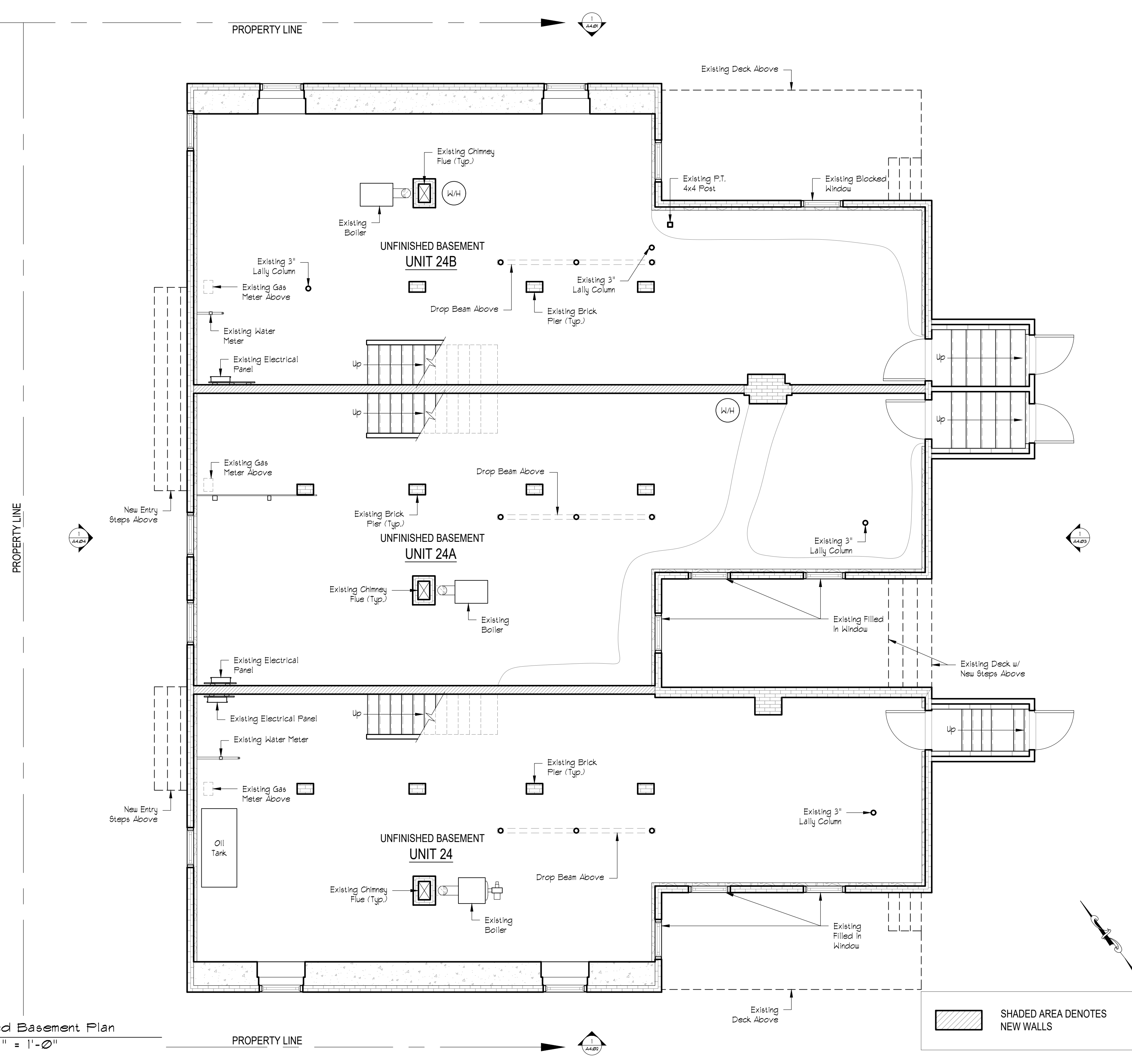
Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition
3	4.12.23	Proposed Addition Revision

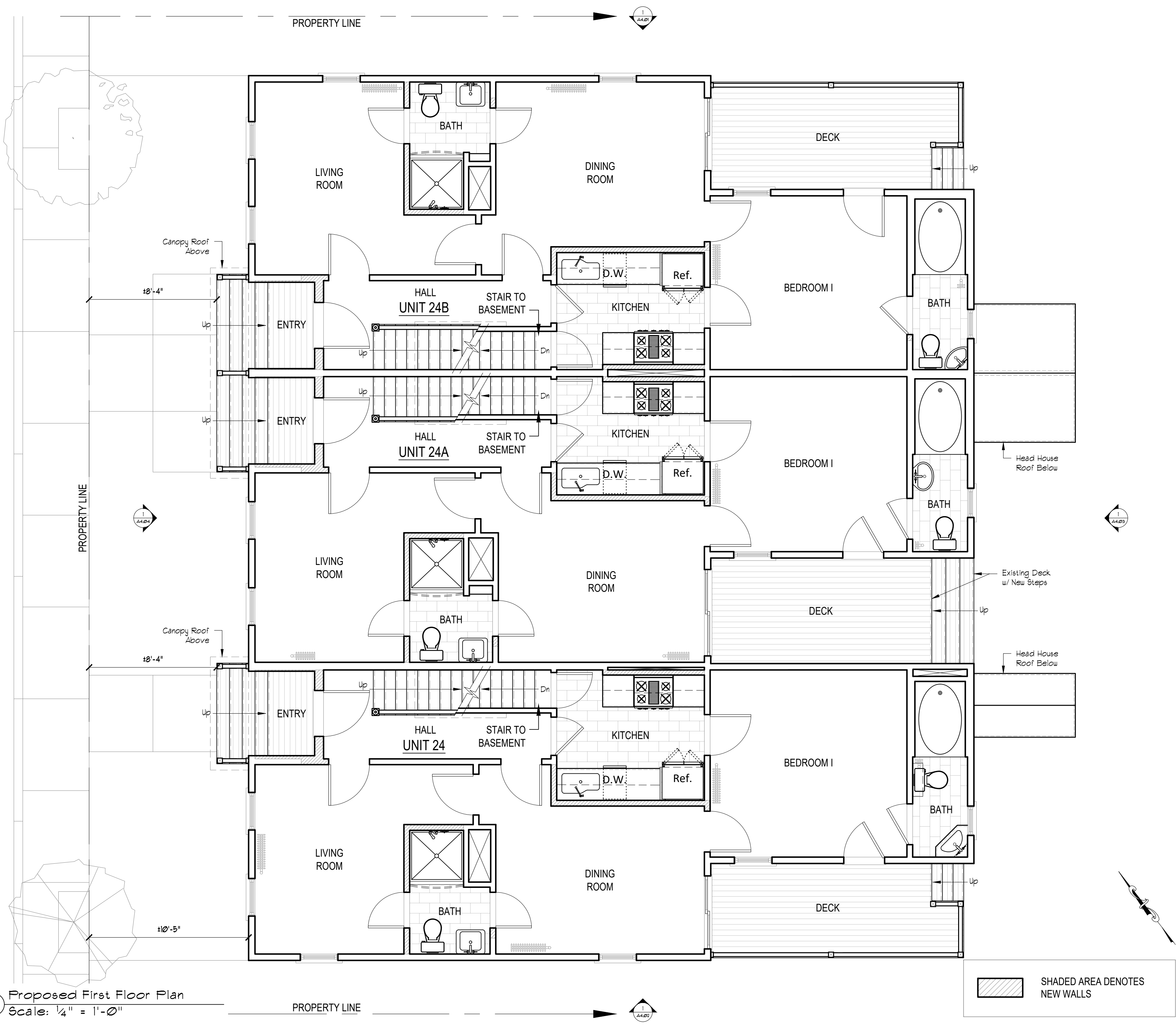
Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed
 Basement Plan**

Sheet Number:
A1.00



1 Proposed Basement Plan
 Scale: 1/4" = 1'-0"



1 Proposed First Floor Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
 NEW WALLS

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 Danvers, MA 01923-3376
 781.245.6530 fax 781.245.6508
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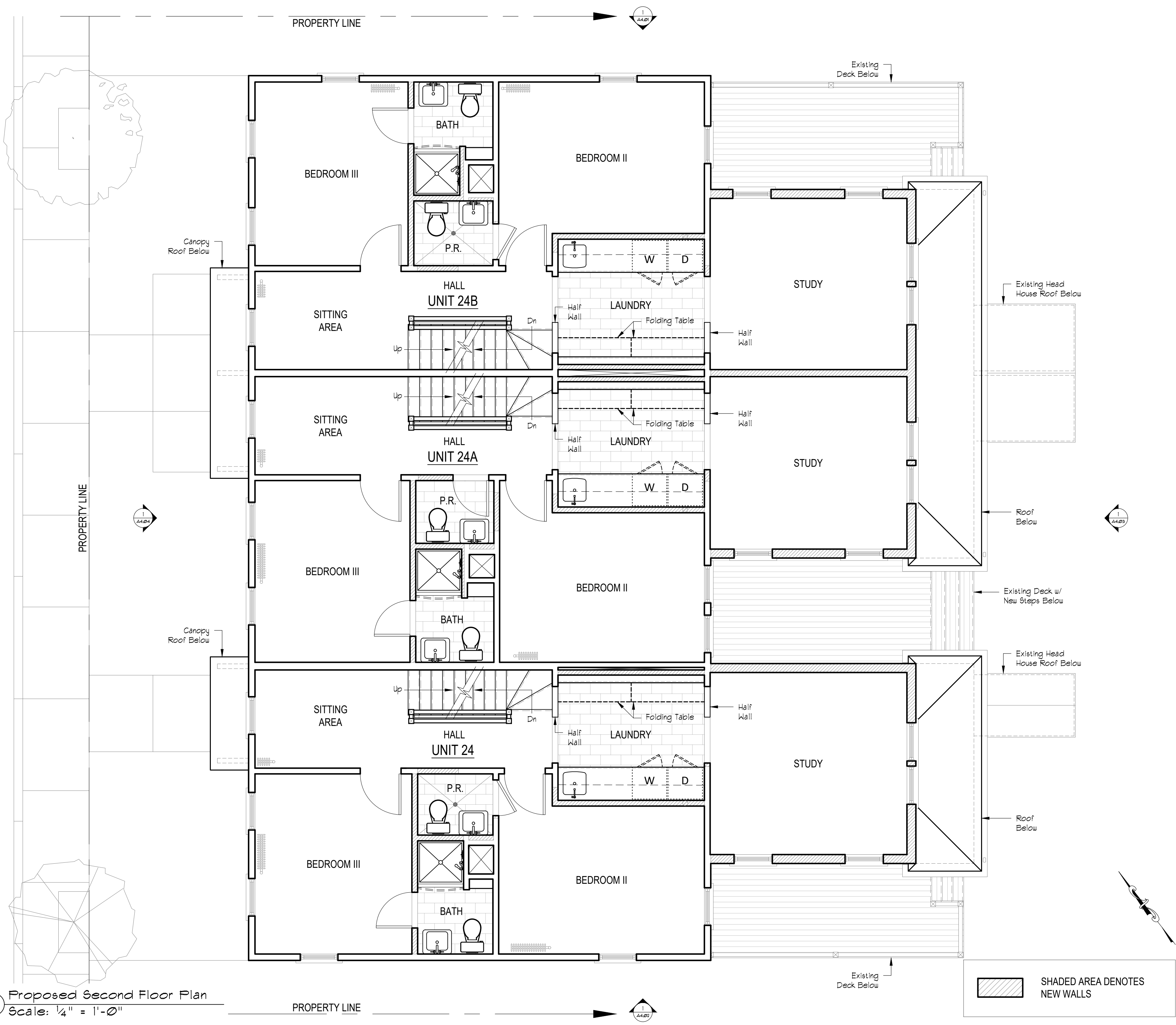
Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed First
 Floor Plan**

Sheet Number:
A1.01

D:\Current Projects\24 Union Street\Proposed.dwg

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1 Proposed Second Floor Plan
 Scale: 1/4" = 1'-0"

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Locus:

No.	Date	Revision/Issue
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3	4.12.23	Proposed Addition Revision

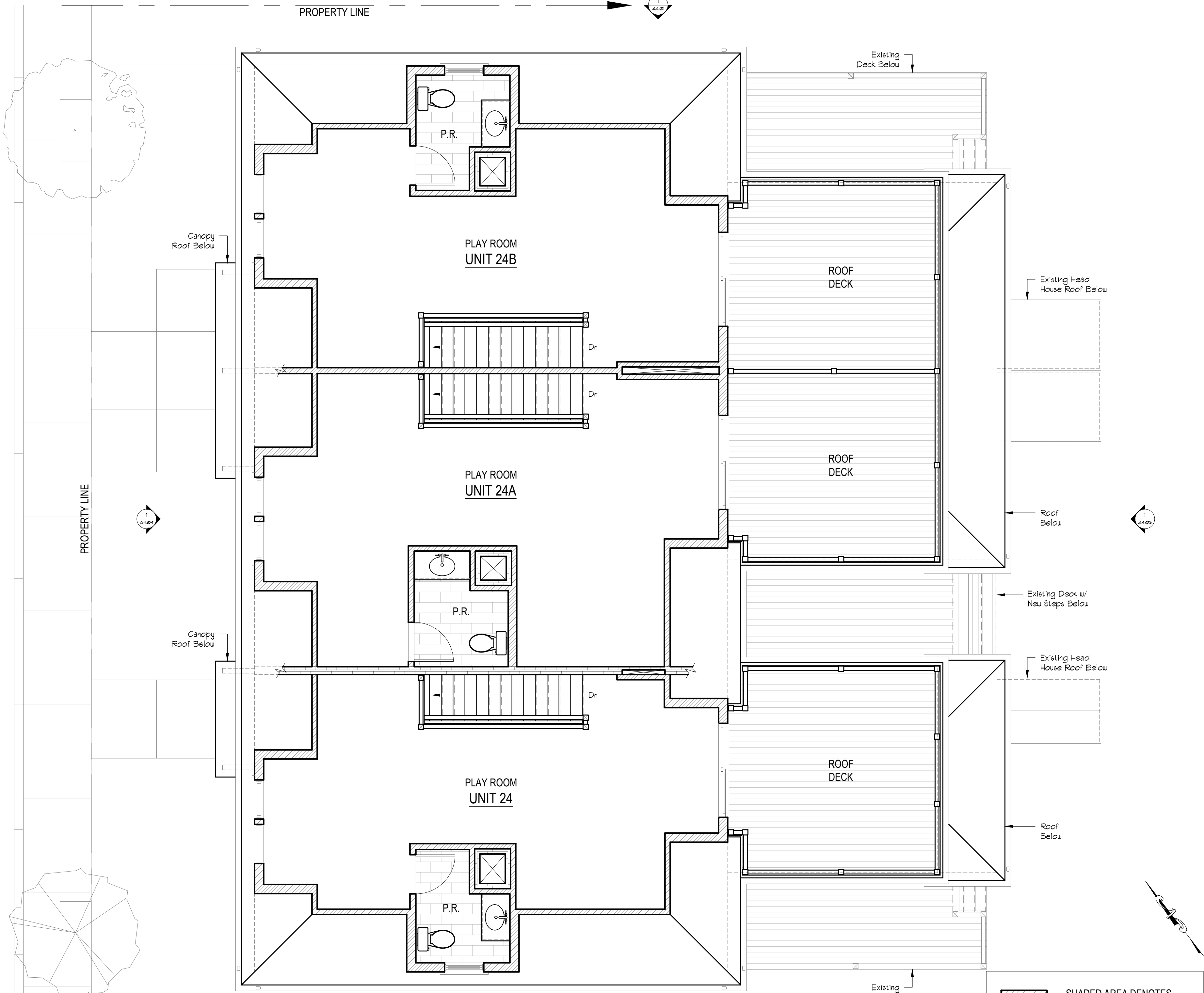
Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed Second
 Floor Plan**

Sheet Number:
A1.02

D:\Current Projects\24 Union Street\Proposed.dwg

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1 Proposed Third Floor Plan
 Scale: 1/4" = 1'-0"

SHADED AREA DENOTES
 NEW WALLS

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 Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
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3	4.12.23	Proposed Addition Revision

Stamp:
 Date: APRIL 12, 2023
 Scale: 1/4" = 1'-0"
 Job No.: LIN210_a
 File: PROPOSED

Sheet Title:
**Proposed Third
 Floor Plan**

Sheet Number:
A1.03

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No.	Date	Revision/Issue
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3	4.12.23	Proposed Addition Revision

Stamp:

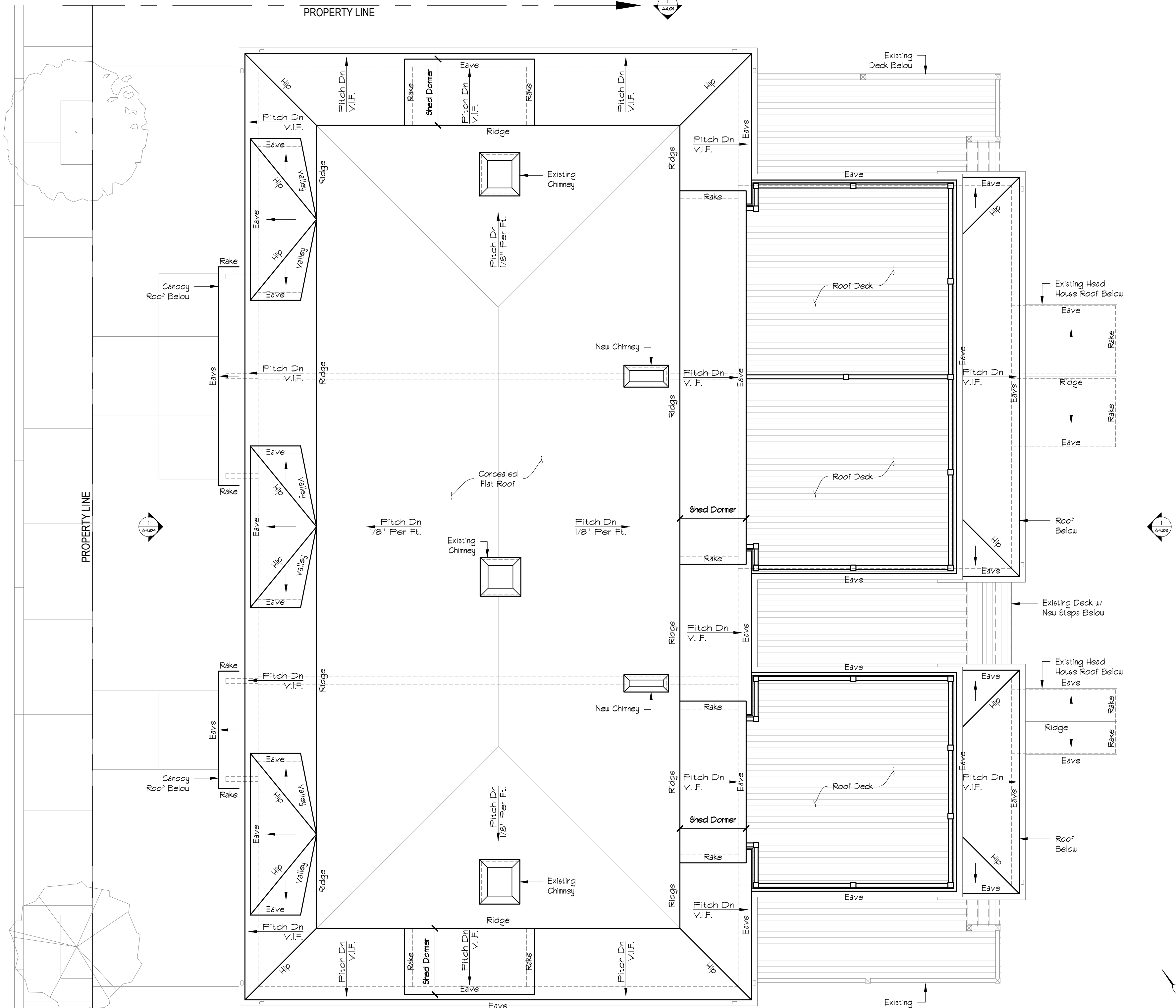
Date
 APRIL 12, 2023
 Scale
 1/4" = 1'-0"
 Job No.
 LIN210_a
 File
 PROPOSED

Sheet Title:

**Proposed
 Roof Plan**

Sheet Number:

A1.04



1 Proposed Roof Plan
 Scale: 1/4" = 1'-0"



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3	4.12.23	Proposed Addition Revision

Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed North
Elevation**

Sheet Number:
A4.01



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



1 Proposed South Elevation
 Scale: 1/4" = 1'-0"

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3	4.12.23	Proposed Addition Revision

Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed South
 Elevation**

Sheet Number:
A4.02



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**The Residences At
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Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
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Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed East
Elevation**

Sheet Number:
A4.03



1 Proposed East Elevation
Scale: 1/4" = 1'-0"



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Owner:
Lin Lin
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 Cambridge, MA 02141

Project:
**The Residences At
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 Street**
 Cambridge, Massachusetts 02141

Locust:

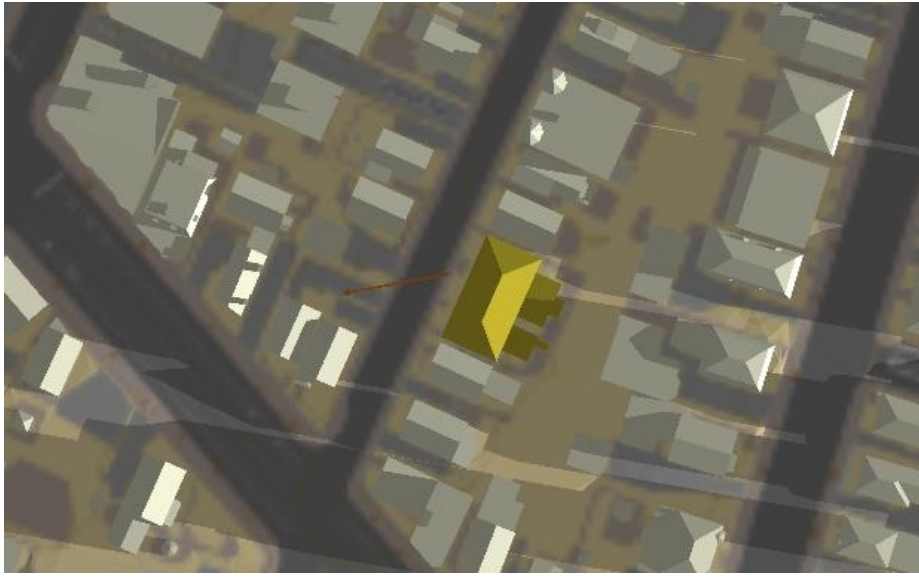
No.	Date	Revision/Issue
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Stamp:	Date APRIL 12, 2023
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

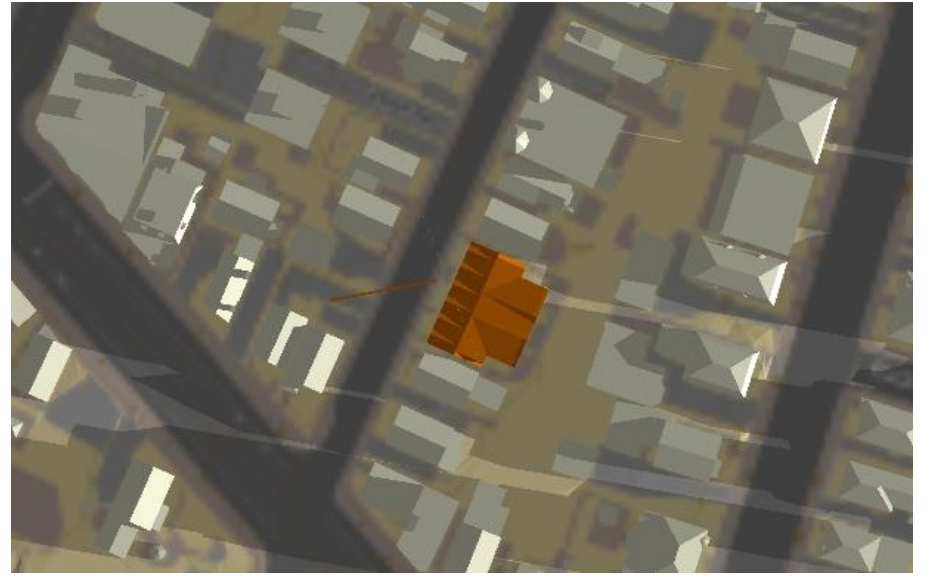
Sheet Title:
**Proposed West
 Elevation**

Sheet Number:
A4.04

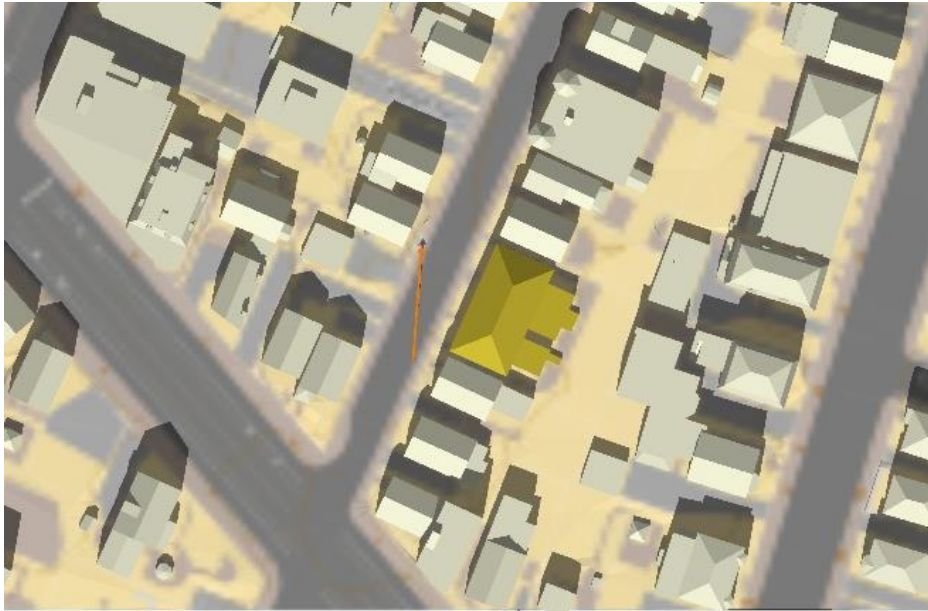
1 Proposed West Elevation
 Scale: 1/4" = 1'-0"



Existing Structure: One hour after sunrise – 06:30 EST



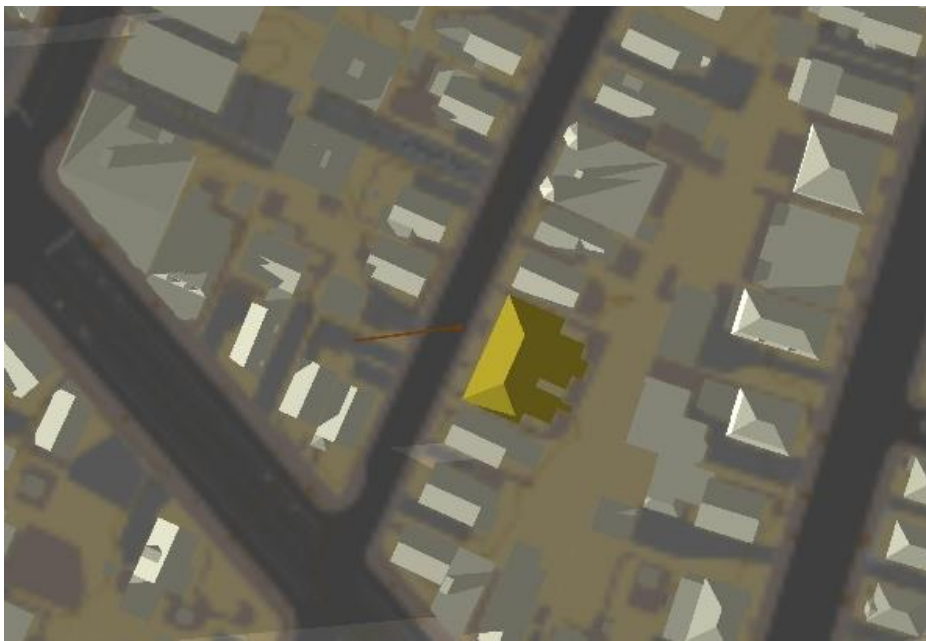
Proposed 11/17/22: One hour after sunrise – 06:30 EST



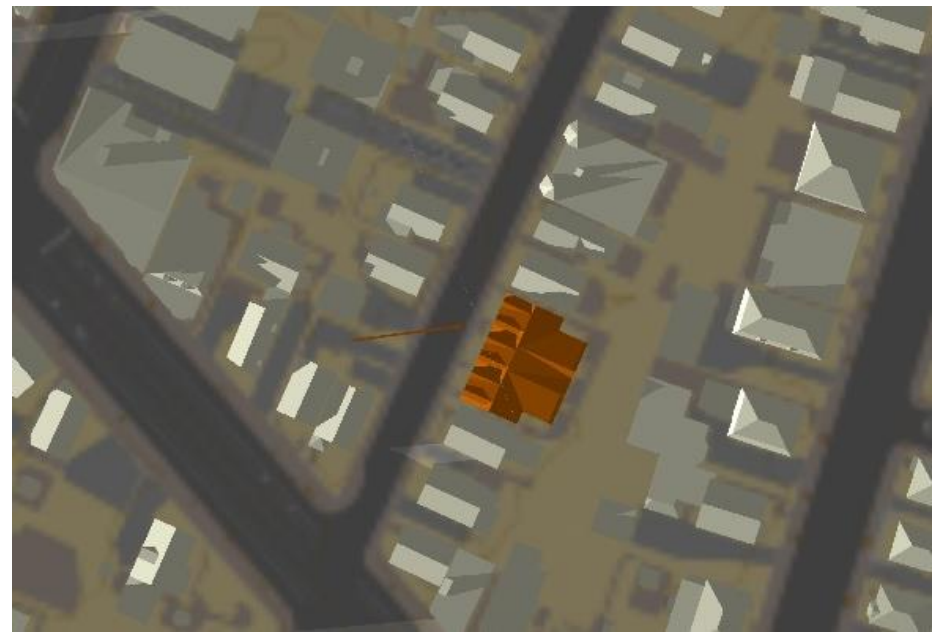
Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 11/17/22: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane. Refer to arrow on each study for sun azimuth angle.

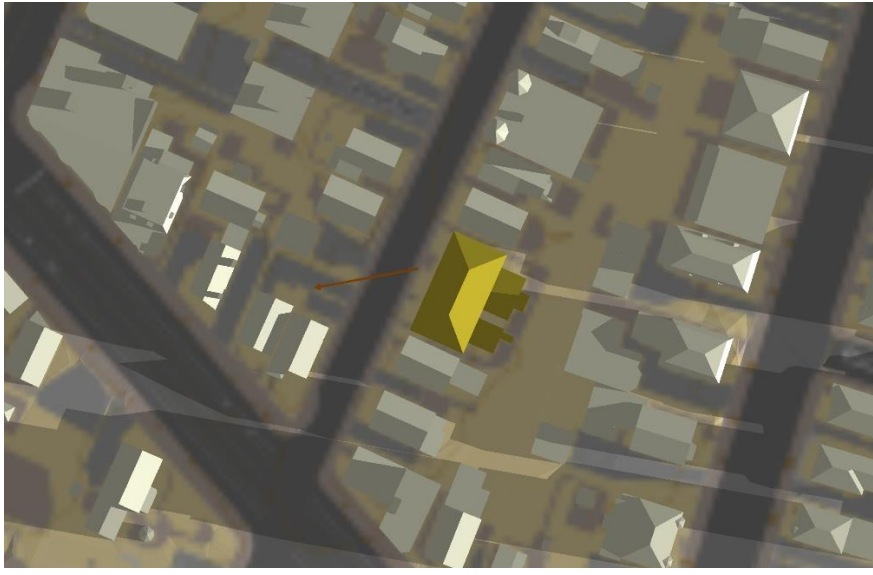


24 Union Street

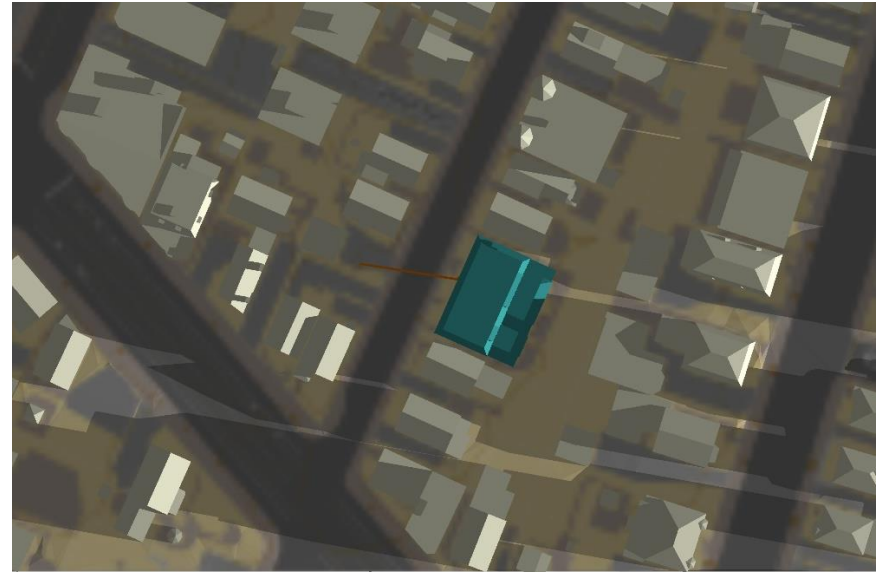
Cambridge, MA
November 17, 2022



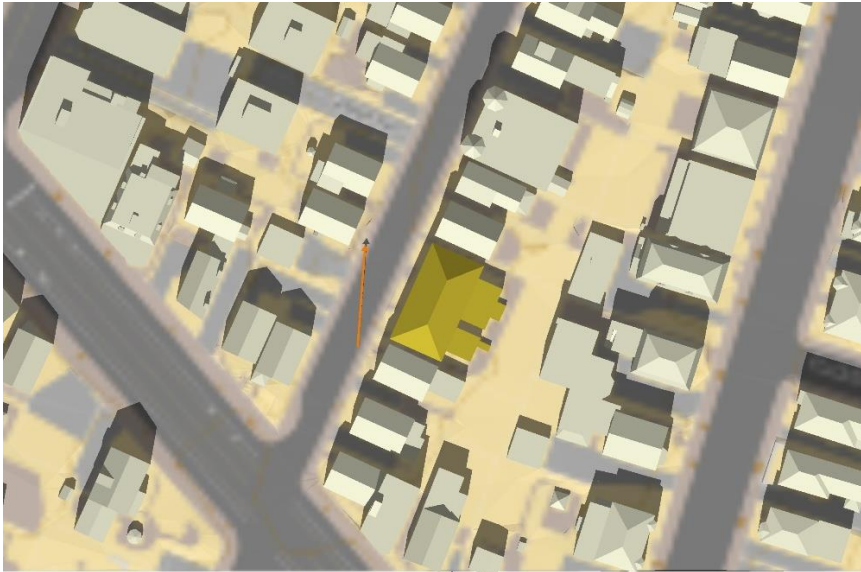
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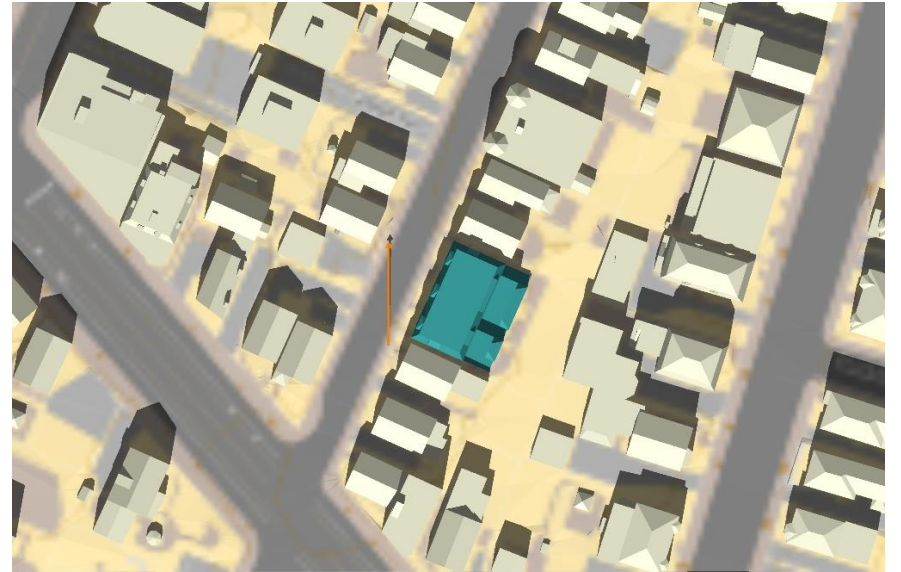
Existing Structure: One hour after sunrise – 06:30 EST



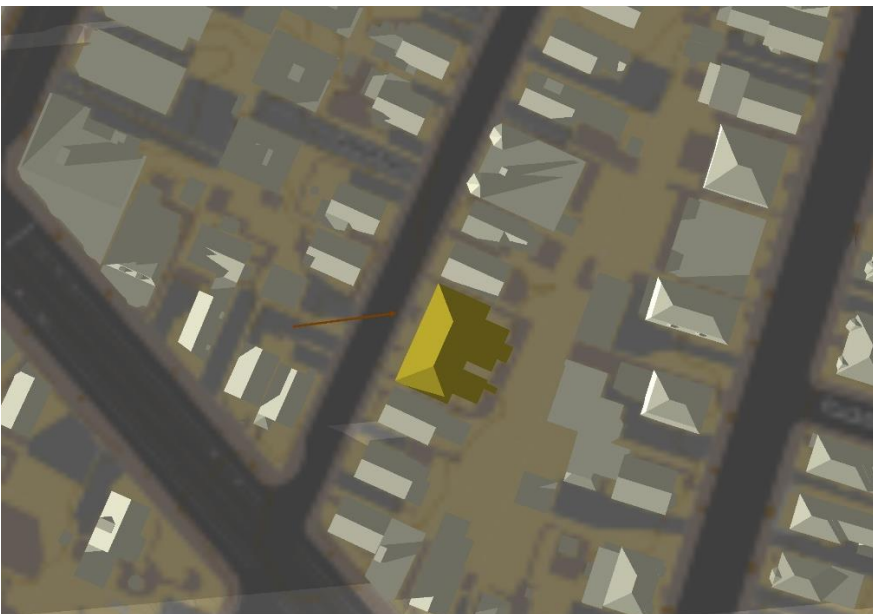
Proposed 03/27/23: One hour after sunrise – 06:30 EST



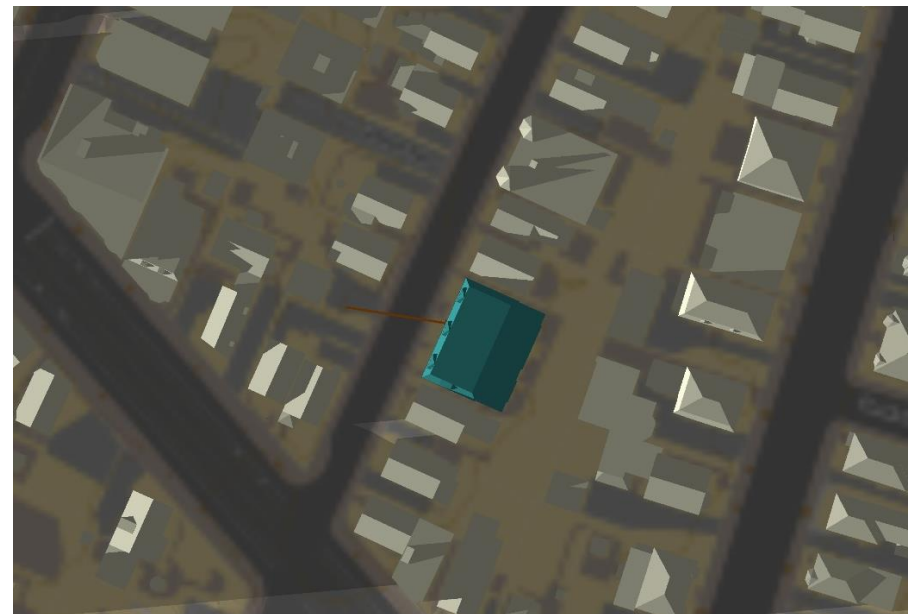
Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 03/27/23: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



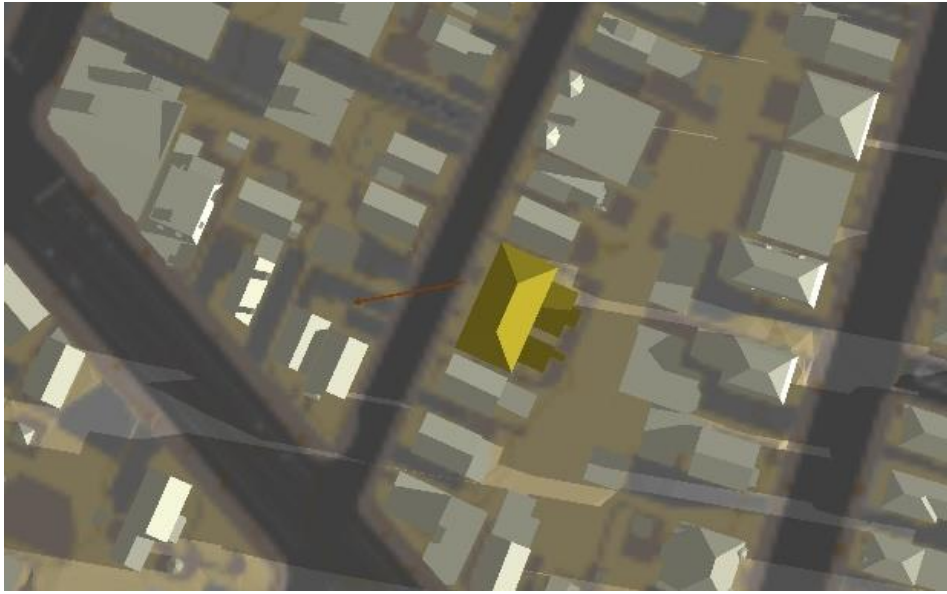
24 Union Street

Cambridge,
March 27, 2023

MA



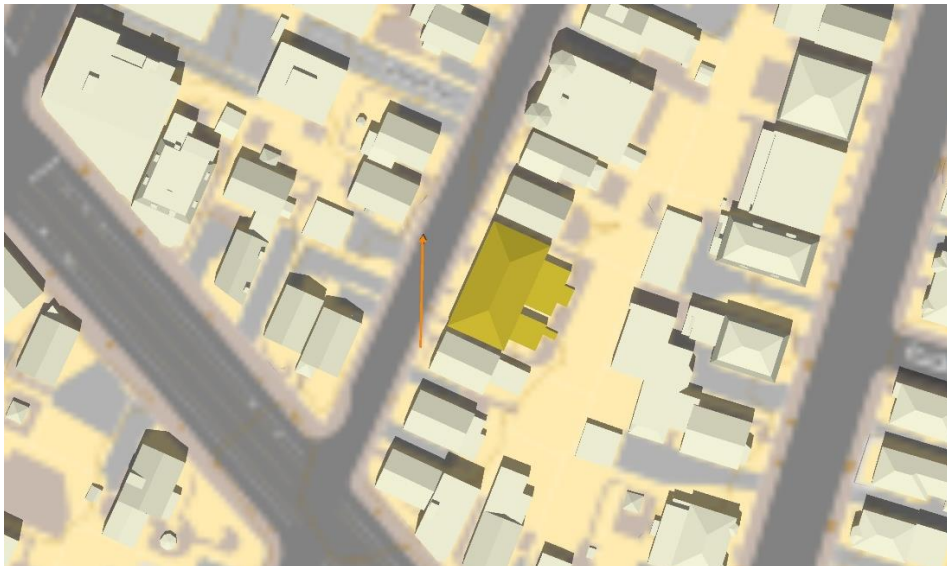
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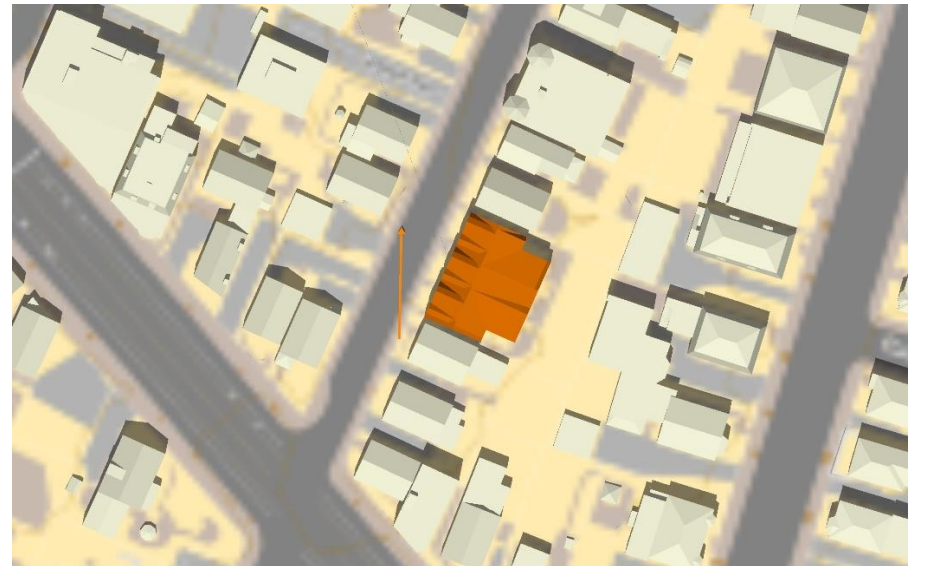
Existing Structure: One hour after sunrise – 05:07 EST



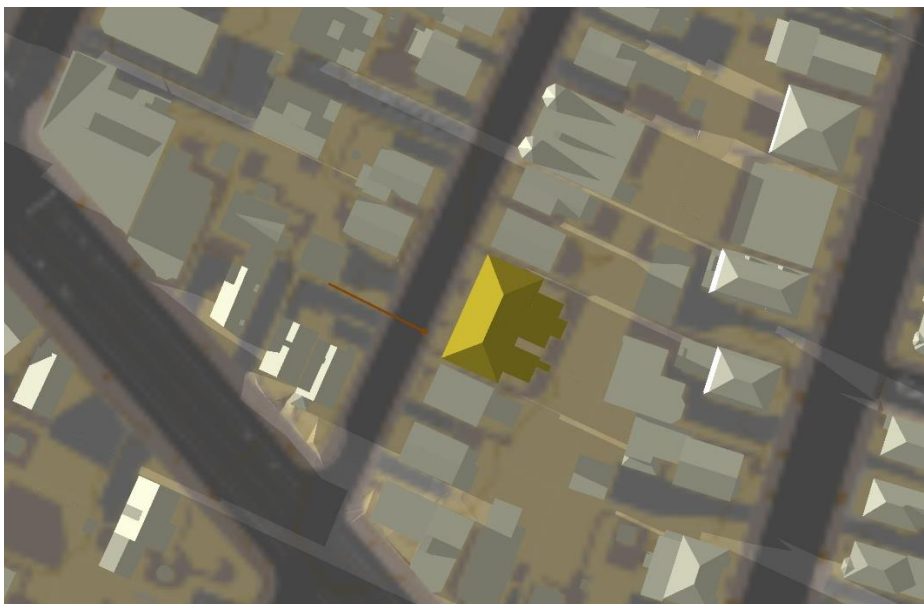
Proposed 11/17/22: One hour after sunrise – 05:07 EST



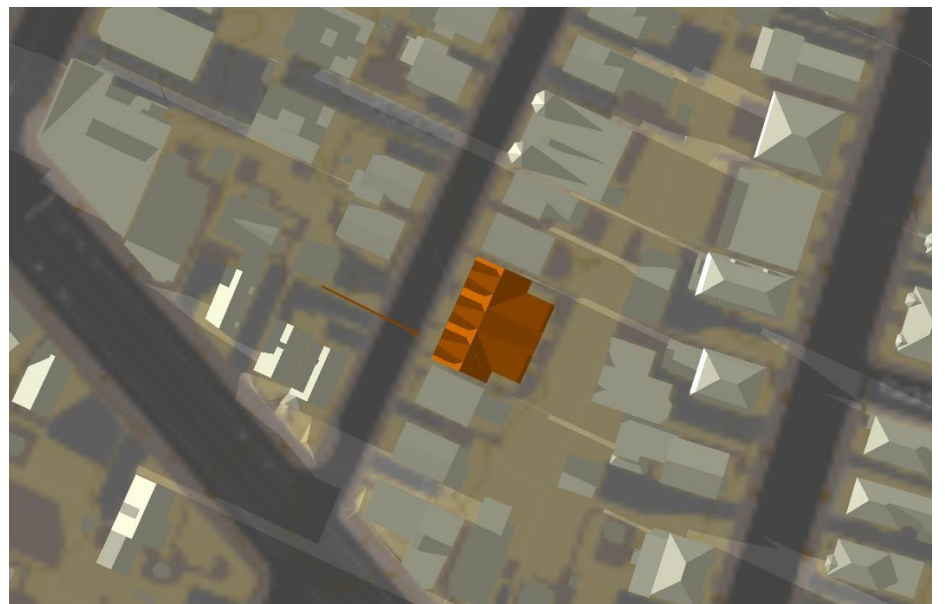
Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 11/17/22: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

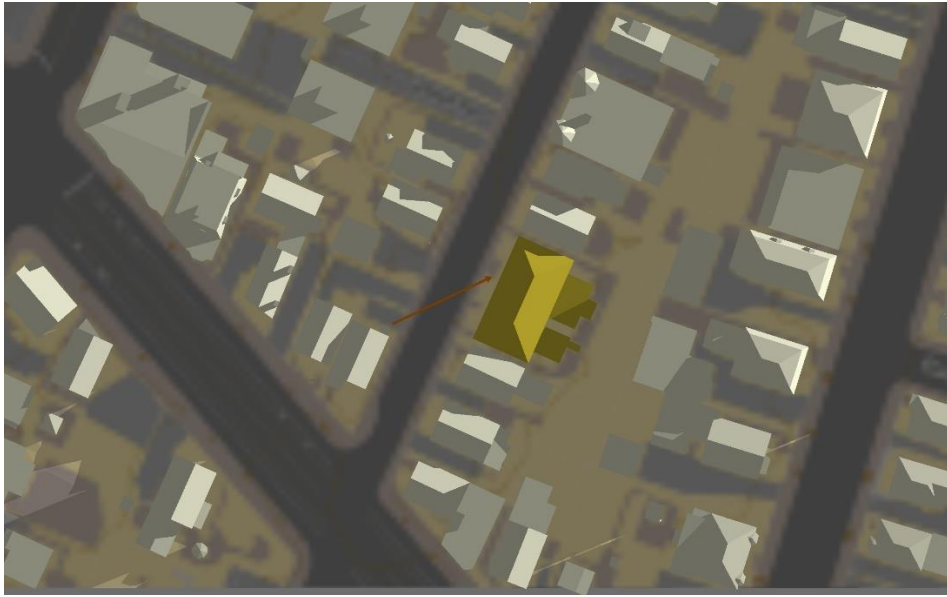
Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



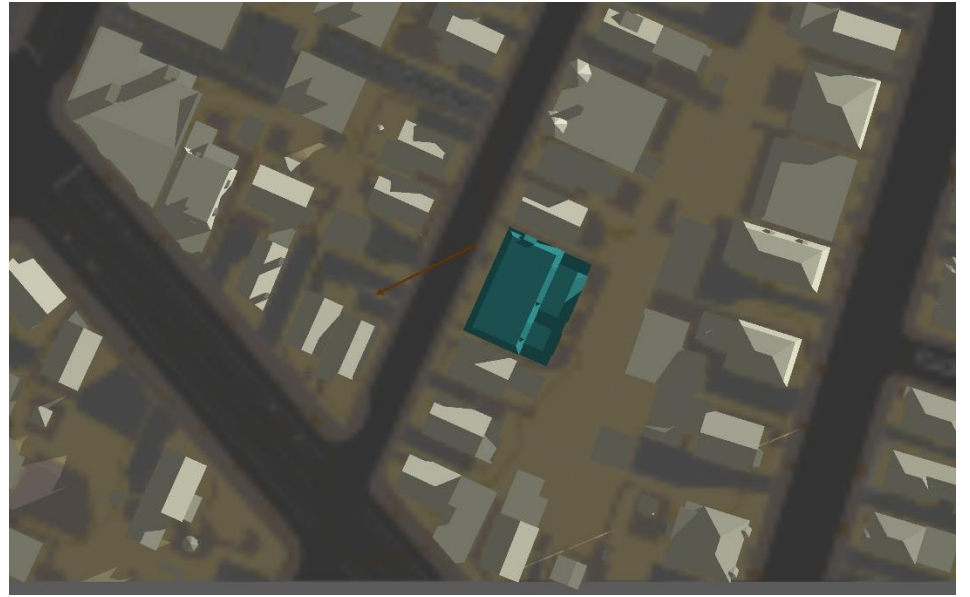
24 Union Street

Cambridge, MA
November 17, 2022

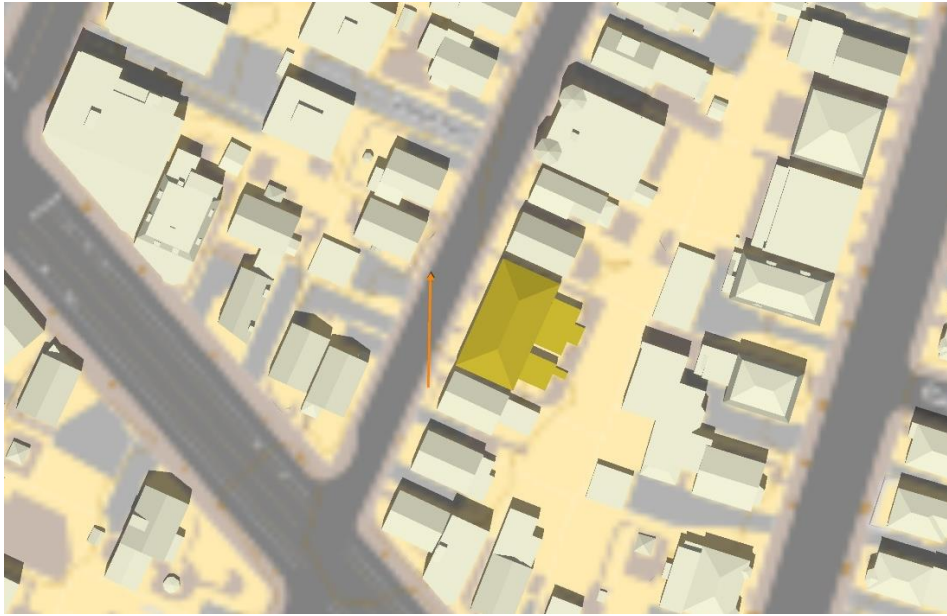




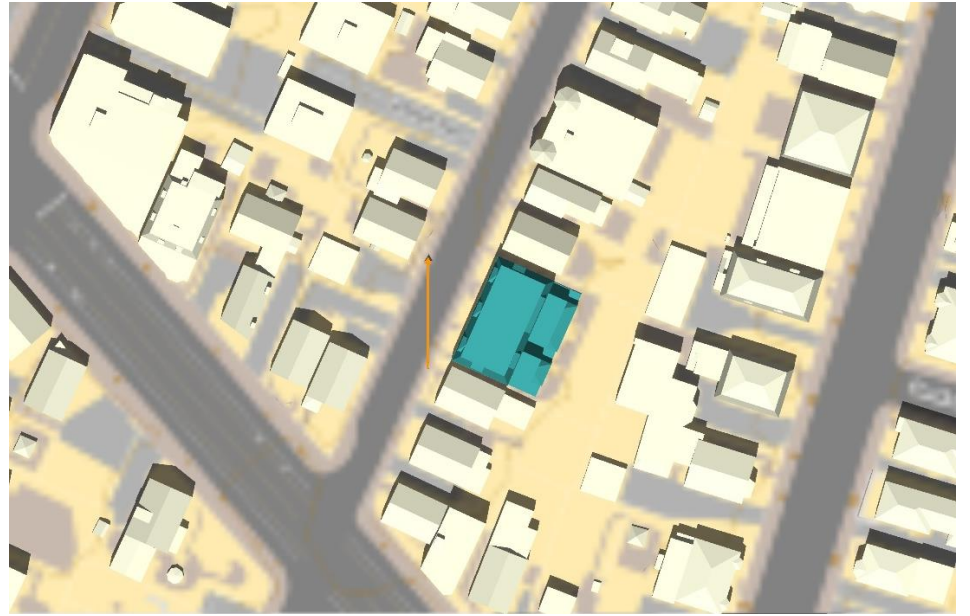
Existing Structure: One hour after sunrise – 05:07 EST



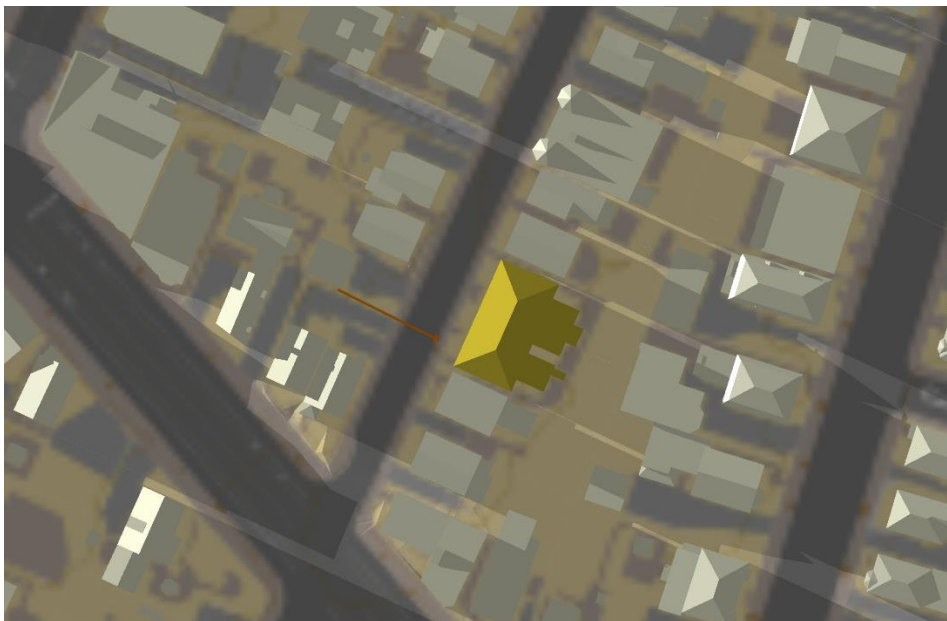
Proposed 03/27/23: One hour after sunrise – 05:07 EST



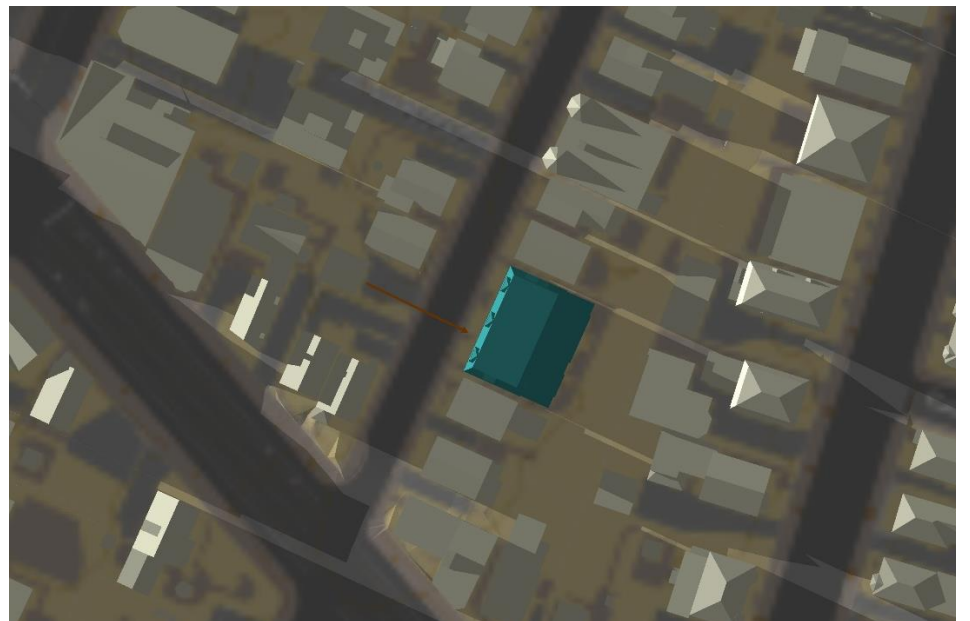
Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed 03/27/23: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane. Refer to arrow on each study for sun azimuth angle.

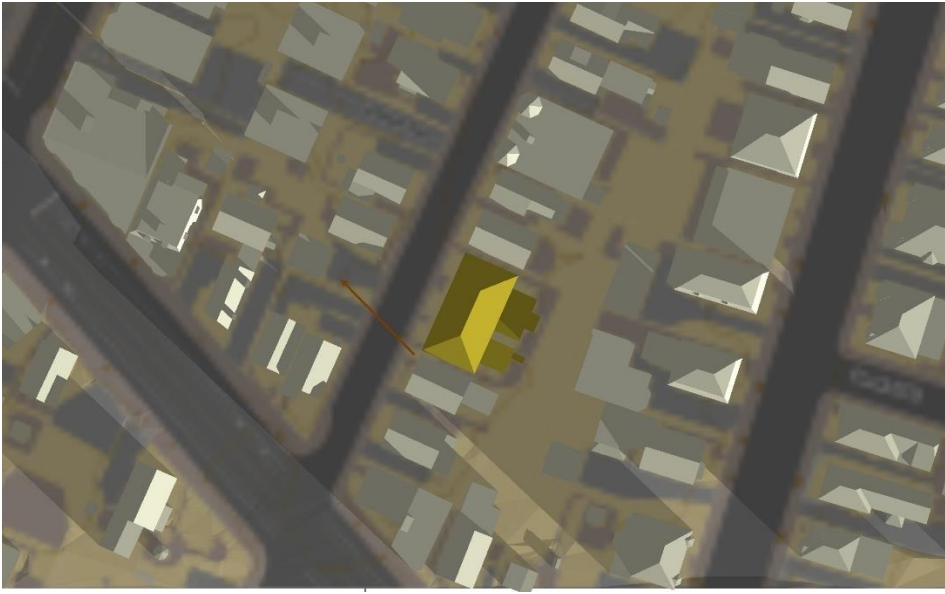


24 Union Street

Cambridge,
March 27, 2023

MA





Existing Structure: One hour after sunrise – 08:10 EST



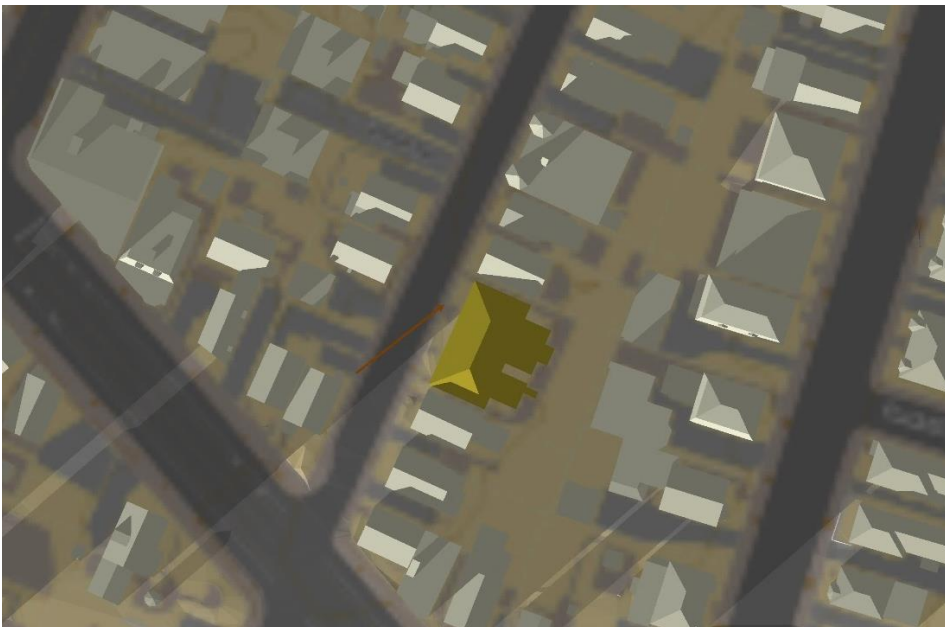
Proposed 11/17/22: One hour after sunrise – 08:10 EST



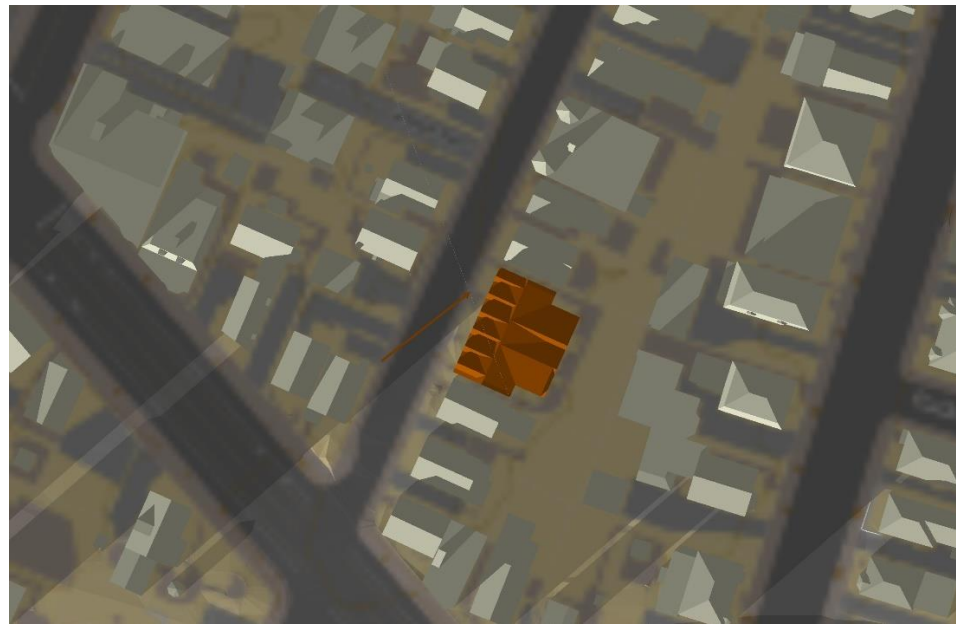
Existing Structure: Midday – 12:00 EST



Proposed 11/17/22: Midday – 12:00 EST



Existing Structure: One hour before sunset – 15:14 EST



Proposed 11/17/22: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane. Refer to arrow on each study for sun azimuth angle.



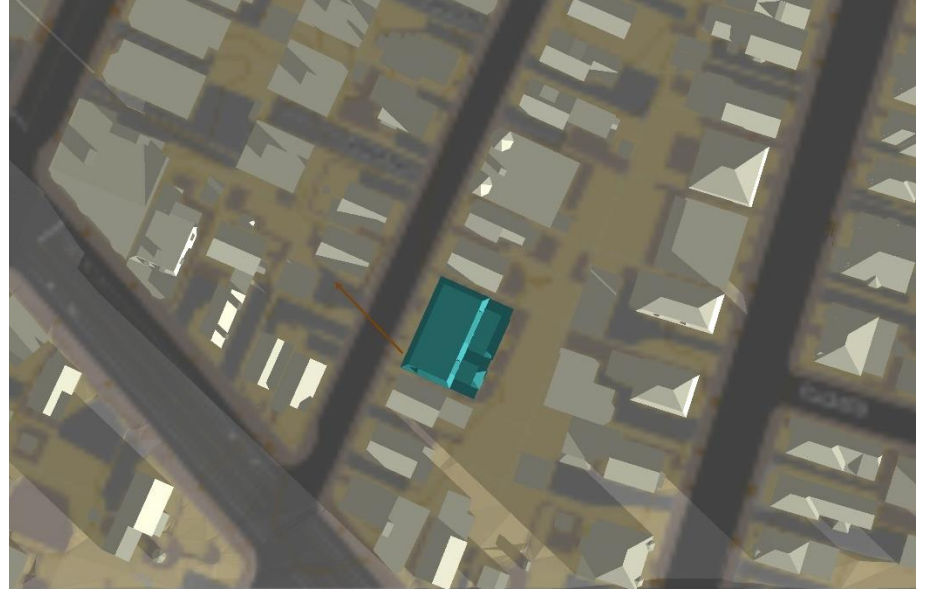
24 Union Street

Cambridge, MA
November 17, 2022





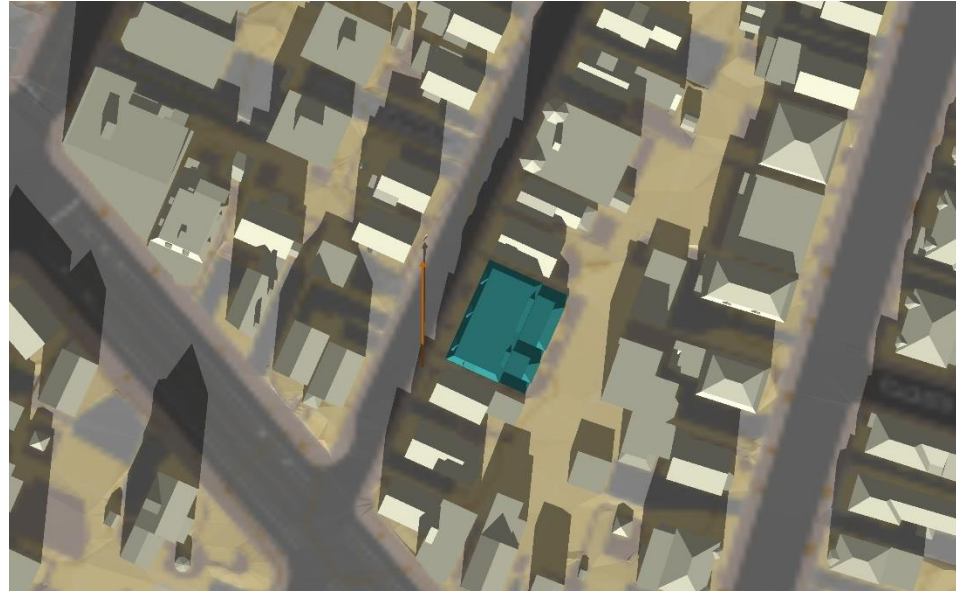
Existing Structure: One hour after sunrise – 08:10 EST



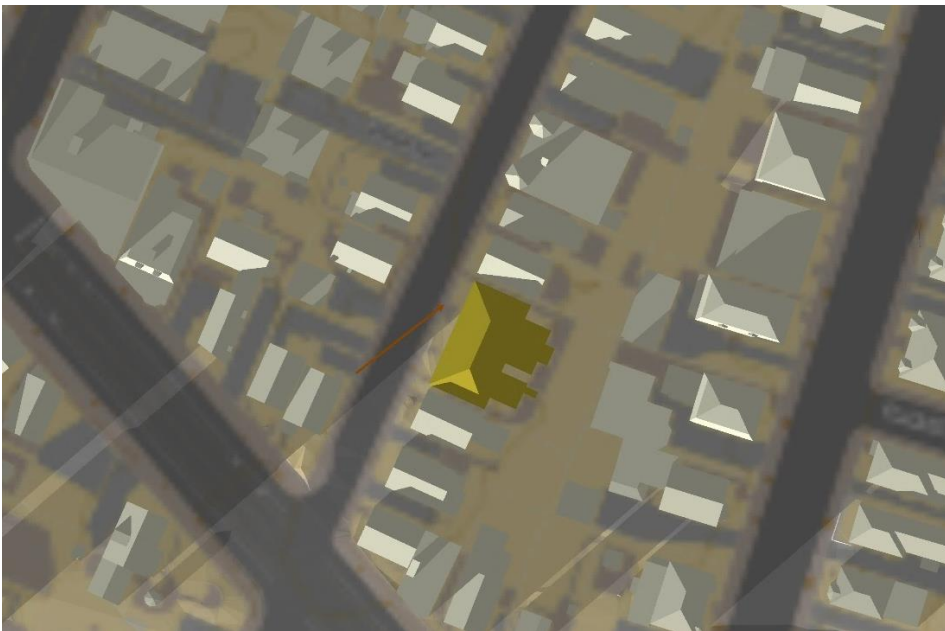
Proposed 03/27/23: One hour after sunrise – 08:10 EST



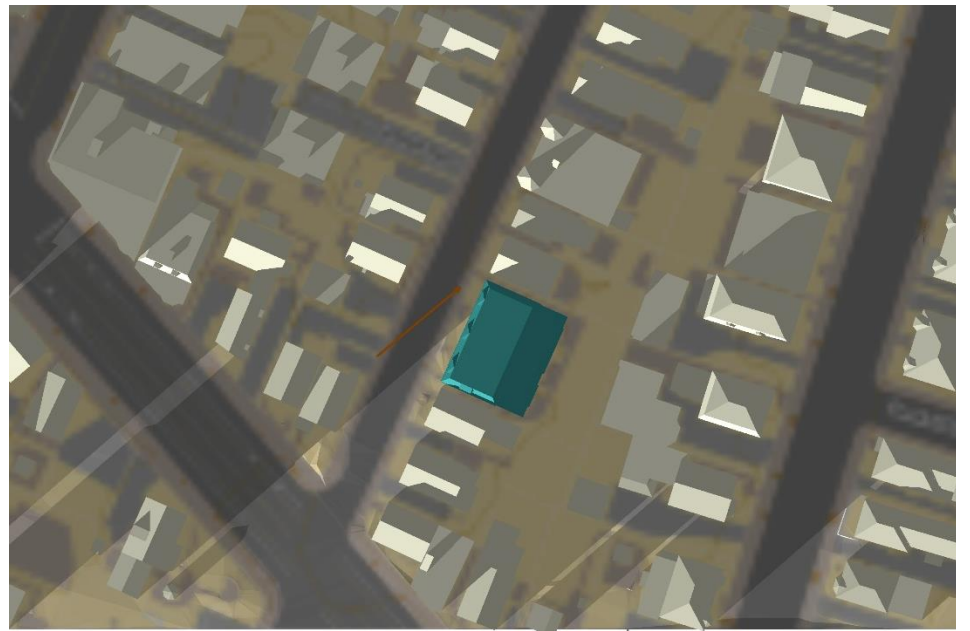
Existing Structure: Midday – 12:00 EST



Proposed 03/27/23: Midday – 12:00 EST



Existing Structure: One hour before sunset – 15:14 EST



Proposed 03/27/23: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane. Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,

MA

March 27, 2023



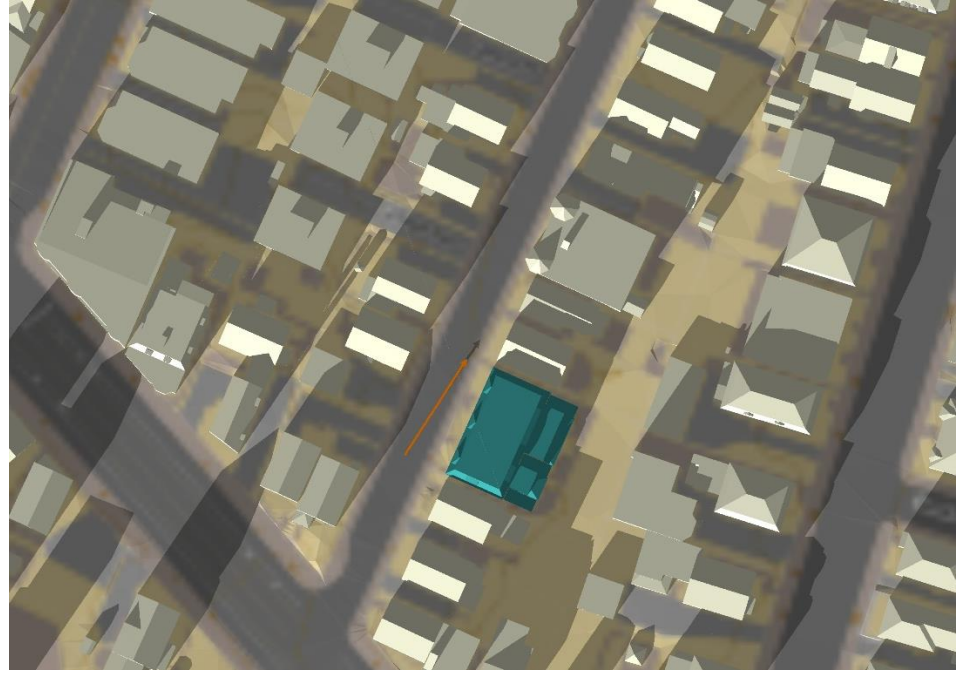
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Existing Structure: 14:00 EST



Proposed 03/27/23: 14:00 EST

Shadow Studies – Winter Solstice Longest Shadow 14:00

Note:

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Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge,
March 27, 2023

MA

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Date: 04/12/2023**BZA Application Form****DIMENSIONAL INFORMATION**

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		4129	7,242 - Nov 2022 5,975 - April 2023	4745	(max.)
LOT AREA:		6327	6327 No Change	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		65%	114% -Nov 2022 94%- April 2023	75%	
LOT AREA OF EACH DWELLING UNIT		2109	2109	1500	
SIZE OF LOT:	WIDTH	66.5	No Change	50	
	DEPTH	97.3	No Change	No Dimension Provided in Table 5-1	
SETBACKS IN FEET:	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	20.0	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
SIZE OF BUILDING:	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		47%	47%	30%	
NO. OF DWELLING UNITS:		3	3	3	
NO. OF PARKING SPACES:		0	2 tandem- Nov 2022 0 - April 2023	3	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Dear Maria !

2024 JUN 17 AM 11:05

My name is lin lin, my property address is 24 union st, Cambridge MA 02141.

I have had a hearing case for my property the roof and back plan last year

the Case number is :188958, the time is 2023 June 22 pm3:09 on the page of the Board of zoning appeal report.

Because the first plan the construction company delayed for over two years to do all the work and many problems still need to be fixed first .so I cannot start to build it now.

I want to request to start building it later, could you give me a new Extension Day please?

Thank you so much!

Property owner: lin lin

A3



CITY OF CAMBRIDGE

Massachusetts

BOARD OF ZONING APPEAL
831 Mass Avenue, Cambridge, MA.
617) 349-6100

2023 JUN 22 PM 3:09
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

CASE NO: 188958

LOCATION: 24 Union Street Residence C-1 Zone
Cambridge, MA



2023 00109828

Bk: 82044 Pg: 284 Doc: DECIS
Page: 1 of 3 09/28/2023 02:21 PM

PETITIONER: Lin Lin – C/o Joseph Luna, Architect

PETITION: Variance: To convert the existing hip roof into a gable roof with dormers and windows on all four sides. To park within the front yard setback.

Special Permit: To create 2 curb cuts.

VIOLATIONS Art. 5.000, Sec. 5.31 (Table of Dimensional Requirements).
Art. 8.000, Sec. 8.22.3 (Non-Conforming Structure).
Art. 6.000, Sec. 6.44.1.c (Front Yard Parking) & Sec. 6.43 (Curb Cuts).
Art. 10.000, Sec. 10.30 (Variance). & Sec. 10.40 (Special Permit).

DATE OF PUBLIC NOTICE: September 22 & 29 2022

DATE OF PUBLIC HEARING: October 6, 2022, November 17, 2022 & April 27, 2023

MEMBERS OF THE BOARD:

BRENDAN SULLIVAN – CHAIR ✓
JIM MONTEVERDE – VICE-CHAIR ✓
CONSTANTINE ALEXANDER _____
ANDREA A. HICKEY ✓
LAURA WERNICK ✓

ASSOCIATE MEMBERS:

SLATER W. ANDERSON ✓
ALISON HAMMER _____
JASON MARSHALL _____
MATINA WILLIAMS _____
WENDY LEISERSON _____

Members of the Board of Zoning Appeal heard testimony and viewed materials submitted regarding the above request for relief from the requirements of the Cambridge Zoning Ordinance. The Board is familiar with the location of the petitioner’s property, the layout, and other characteristics as well as the surrounding district.

68506-127

Case No. BZA-188958
Location: 24 Union Street, Cambridge, MA
Petitioner: Lin Lin – c/o Joseph Luna, Architect

On October 6, 2022, the hearing was opened and then continued to November 17, 2022, and then continued to March 9, 2023, and then continued again to April 27, 2023. On April 27, 2023, Petitioner's architect Joseph Luna appeared before the Board of Zoning Appeal requesting a variance in order to convert the existing hip roof into a gable roof with dormers and windows on all four sides and to park within the front yard setback, and a special permit in order to create two curb cuts. The Petitioner requested relief from Article 5, Section 5.31, Article 6, Sections 6.43 and 6.44.1.c, Article 8, Section 8.22.3, and Article 10, Sections 10.30 and 10.40 of the Cambridge Zoning Ordinance ("Ordinance"). The Petitioner submitted materials in support of the application including information about the project, plans, and photographs.

Mr. Luna stated that the proposal had been pared down and that the special permit requests for parking and for the curb cuts were being withdrawn. He stated that the property contained a two and a half story, three-unit townhouse with one story additions to the rear. He stated that the proposal was to build over the footprint of those rear additions and to expand the existing attic by replacing the hip roof with a dormered mansard. He stated that shadow studies show minimal impact on neighbors. He stated that the hardship related to the shape of the lot.

Neighbors spoke or wrote in both support and in opposition to the proposal.

Board members indicated support for building over the rear additions, but not for the expanded attic/third floor.

After discussion, the Chair moved that the Board make the following findings based upon the application materials submitted and all evidence before the Board and that based upon the findings the Board grant the requested relief as described in the Petitioner's submitted materials and the evidence before the Board: that the Board find that the request for relief for parking was withdrawn and was not part of any relief to be granted; that the Board find that the proposed work on the attic was not being granted relief from the Ordinance; that the Board find that a literal enforcement of the provisions of the Ordinance would involve a substantial hardship to the petitioner because it would preclude the petitioner from making necessary changes and additions to the property in order to upgrade the services and to allow for more up-to-date housing spaces, which would be a great attribute to anybody who lived in the space; that the Board find that a refurbished exterior would also have a positive effect on the streetscape and the adjoining neighborhood; that the Board find that the hardship owed to the size of the building on the lot, which predated the Ordinance, and as such was encumbered by the Ordinance, so that any addition of this nature would require relief from the Ordinance due to the siting of the house and the size of the house on the lot; that the Board find that the request was fair and reasonable; that the Board find that desirable relief could be granted without substantial detriment to the public good; that the Board find that granting relief would not nullify or substantially derogate from the intent and purpose of the Ordinance to allow the homeowners to upgrade their property to potentially put on additions to accommodate families.

The Chair further moved that based upon all the information presented the Board grant the requested relief for work on the second floor, but not the third floor, as described in the Petitioner's submitted materials and the evidence before the Board on the condition that the work proceed as per the revised drawings submitted dated April 18, 2023, for the work on the second floor, but not for work on the third floor, which is not allowed.

The five member Board voted unanimously in favor of granting the variance with the above condition (Sullivan, Monteverde, Hickey, Wernick, and Anderson). Therefore, the variance is granted as conditioned.

The Board of Zoning Appeal is empowered to waive local zoning regulations only. This decision therefore does not relieve the petitioner in any way from the duty to comply with local ordinances and regulations of the other local agencies, including, but not limited to the Historical Commission, License Commission and/or compliance with requirements pursuant to the Building Code and other applicable codes.



Brendan Sullivan, Chair

Attest: A true and correct copy of decision filed with the offices of the City Clerk and Planning Board on 6-22-2023 by Prayers McDonald, Clerk.

Twenty days have elapsed since the filing of this decision.

No appeal has been filed _____

Appeal has been filed and dismissed or denied.

Date: September 25, 2023 Doris C. Haber City Clerk.



CITY OF CAMBRIDGE

Massachusetts
BOARD OF ZONING APPEAL
831 Mass Avenue, Cambridge, MA.
617) 349-6100

2023 JUN 22 PM 3:08
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

CASE NO: 188958

LOCATION: 24 Union Street Residence C-1 Zone
Cambridge, MA

PETITIONER: Lin Lin – C/o Joseph Luna, Architect

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DATE OF PUBLIC NOTICE: September 22 & 29 2022

DATE OF PUBLIC HEARING: October 6, 2022, **November 17, 2022** & April 27, 2023

MEMBERS OF THE BOARD:

BRENDAN SULLIVAN – CHAIR	<input checked="" type="checkbox"/>
JIM MONTEVERDE – VICE-CHAIR	<input checked="" type="checkbox"/>
CONSTANTINE ALEXANDER	<input type="checkbox"/>
ANDREA A. HICKEY	<input checked="" type="checkbox"/>
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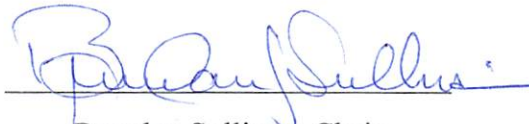
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Brendan Sullivan, Chair

Attest: A true and correct copy of decision filed with the offices of the City Clerk and Planning Board on 6-22-2023 by Razee McDonald, Clerk.

Twenty days have elapsed since the filing of this decision.

No appeal has been filed _____.

Appeal has been filed and dismissed or denied.

Date: _____ City Clerk.