



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 OCT -1 PM 2:42
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 1138165

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: April Stone

PETITIONER'S ADDRESS: 304 Harvard Street, Cambridge, MA 02139

LOCATION OF PROPERTY: 304 Harvard St, Cambridge, MA

TYPE OF OCCUPANCY: 4 Family Townhouse

ZONING DISTRICT: Residential C-1 Zone

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

304 Harvard Street is an interior unit on a 4-unit 1850 townhouse building on the corner of Harvard and Lee Street. The Variance relief is asking to make it possible for unit 304 to expand our existing deck by .71% or 100sf, well within the exterior wall of the building, the edge of the roof, and the boundary of the unit. The expansion has received unanimous condo approval.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.3 (Alteration or Enlargement of a Non-Conforming Structure).

Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

(Petitioner (s) / Owner)

April E. Stone

(Print Name)

Address:

304 Harvard St, Cambridge MA

Tel. No.

978 729 5321

E-Mail Address:

aprilstone28@gmail.com

02139

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We April Stone (OWNER)

Address: 304 Harvard Street, Cambridge MA 02139

State that I/We own the property located at 304 Harvard St., which is the subject of this zoning application.

The record title of this property is in the name of Michael M. Epstein and April E. Stone

*Pursuant to a deed of duly recorded in the date 4/26/2019, Middlesex South County Registry of Deeds at Book 64206, Page 111; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____

[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

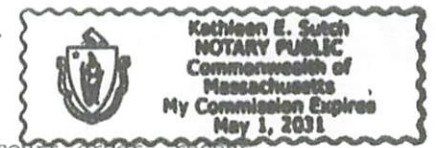
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name April Stone personally appeared before me, this 1st of October, 2021, and made oath that the above statement is true.

Kathleen E. Sutch Notary

My commission expires May 1, 2031 (Notary Seal).



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

f 2



Bk: 73912 Pg: 207 Doc: HOME
Page: 1 of 2 12/30/2019 10:13 AM

PROPERTY ADDRESS: 302-308 Harvard Street., #304, Cambridge, MA 02139

DECLARATION OF HOMESTEAD

We, **MICHAEL M. EPSTEIN and APRIL E. STONE**, both of Cambridge, Middlesex County, Massachusetts, as the trustees of the EPSTEIN-STONE REALTY TRUST, dated April 26, 2019 (see Trustee's Certificate pursuant to M.G.L. Ch. 184 §35 to be recorded herewith) declare a Homestead for the benefit of the beneficiaries of said trust as provided in Chapter 188 of the Massachusetts General Laws, as amended. We declare that we own the real estate at **302-308 Harvard Street., #304, in Cambridge, Middlesex County, in the Commonwealth of Massachusetts**, and that the beneficiaries listed herein occupy or intend to occupy the same as their principal residence.

We hereby certify that the sole present beneficiaries of said EPSTEIN-STONE REALTY TRUST are ourselves (being husband and wife) and that we by virtue of this declaration qualify under the homestead protection of M.G.L. Chapter 188, Section 3.

Title to the property was acquired by Deed dated April 26, 2019, to be recorded herewith.

We hereby certify that the beneficiaries of said EPSTEIN-STONE REALTY TRUST have the benefit of a Homestead previously declared and recorded with said Registry of Deeds in Book 64206, Page 111, and we desire the Homestead declaration contained herein to relate back under said Chapter 188, §5 to said previous filing.

Return to:
Fedele and Murray, P.C.
17 Walpole Street
Norwood, MA 02062-3318

LFR14312
File No. 19-0052

Signed under the pains and penalties of perjury this 26th day of April, 2019.

 (L.S.)
MICHAEL M. EPSTEIN, Trustee

 (L.S.)
APRIL E. STONE, Trustee

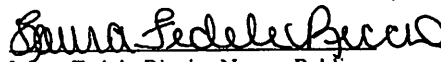
COMMONWEALTH OF MASSACHUSETTS

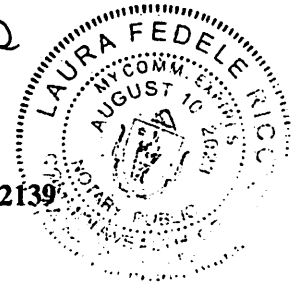
County of Norfolk, ss:

On this 26th day of April, 2019, before me, the undersigned notary public, personally appeared MICHAEL M. EPSTEIN and APRIL E. STONE, Trustees as aforesaid,

- personally known to me, or
- proved to me through satisfactory evidence of identification, which was
 - a driver's license
 - (other:)

to be the persons whose names are signed on the preceding or attached document, and swore or affirmed to me that the contents of the document are truthful and accurate to the best of their knowledge and belief.


Laura Fedele Riccio, Notary Public
My Commission Expires: 8/10/2023



PROPERTY ADDRESS: 302-308 Harvard Street., #304, Cambridge, MA 02139

From the Office of:
FEDELE AND MURRAY, P.C.
17 Walpole Street | Norwood, MA 02062
781-551-5900

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Yes, as design and structural fees amounting to \$9,150 have already been charged based on information shared from ISB and paid. This is on top of what Unit 304 Harvard Street has already contributed to the roof fund of the HOA. Unit 304 also has worked diligently for the past seven months with the ISB, with our HOA, and with outreach to the Zoning Board, to make sure we abided by what was required, yet as reported, we first learned of the non-conforming status of our building, 302-308 Harvard Street on Friday, September 20.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

n/a

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The variance relief will not be a detriment to the public good in any way as it will not be visible.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

- 1) the current roof decks have been accepted by ISD
- 2) the current decks are not to code requiring that they be replaced
- 3) the roof needs to be replaced as it is 25 years old, past it warranty, and unit's have experience leaks during the past 5 years at a minimum
- 4) the relief is for a small expansion (.71%) given the opportunity presented by the new roof and does not in any way exceed the impact of the "as is decks," if anything substantially less so, nor does it significantly impact the FAR (see attached FAR analysis).
- 5) finally, the condo was not made aware by the ISD during 7 months of communication (counter visits and emails about expanded deck, and overall requirements) that the the building was non-conforming until last Friday 9/20, once our roofers submitted for permitting. Likewise, Zoning & Development when asked for any information relevant to addressing the deck expansion did not reply but sent #304 Harvard Street to the ISB. Following the advice of ISD this past spring, Unit 304 obtained stamped drawings from an architect and structural engineer and to submit with the roofing permit. More recently, last Thursday 9/19 during a counter visit, 304 was also advised by a Zoning person with no mention of the non conforming status of the building.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Date: _____

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: April Stone
Location: 304 Harvard St., Cambridge, MA
Phone: 978 729 5321

Present Use/Occupancy: 4 Family Townhouse
Zone: Residential C-1 Zone
Requested Use/Occupancy: 4 Family Townhouse

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>
<u>TOTAL GROSS FLOOR AREA:</u>		10,500	10,600	7,500 (max.)
<u>LOT AREA:</u>		7500	no change	n/a (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.4	1.41	0.75
<u>LOT AREA OF EACH DWELLING UNIT</u>		2625	2725	1500
<u>SIZE OF LOT:</u>	WIDTH	89'6"	no change	50
	DEPTH	59'6"	no change	50
<u>SETBACKS IN FEET:</u>	FRONT	10'	no change	?
	REAR	20'9"	no change	?
	LEFT SIDE	10'	no change	?
	RIGHT SIDE	9'4"	no change	?
<u>SIZE OF BUILDING:</u>	HEIGHT	35 approx.	no change	35
	WIDTH	59'6"	no change	?
	LENGTH	89'6"	no change	?
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		FAR available	no change	?
<u>NO. OF DWELLING UNITS:</u>		4	4	4
<u>NO. OF PARKING SPACES:</u>		4	no change	?
<u>NO. OF LOADING AREAS:</u>		0	0	?
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		n/a	n/a	?

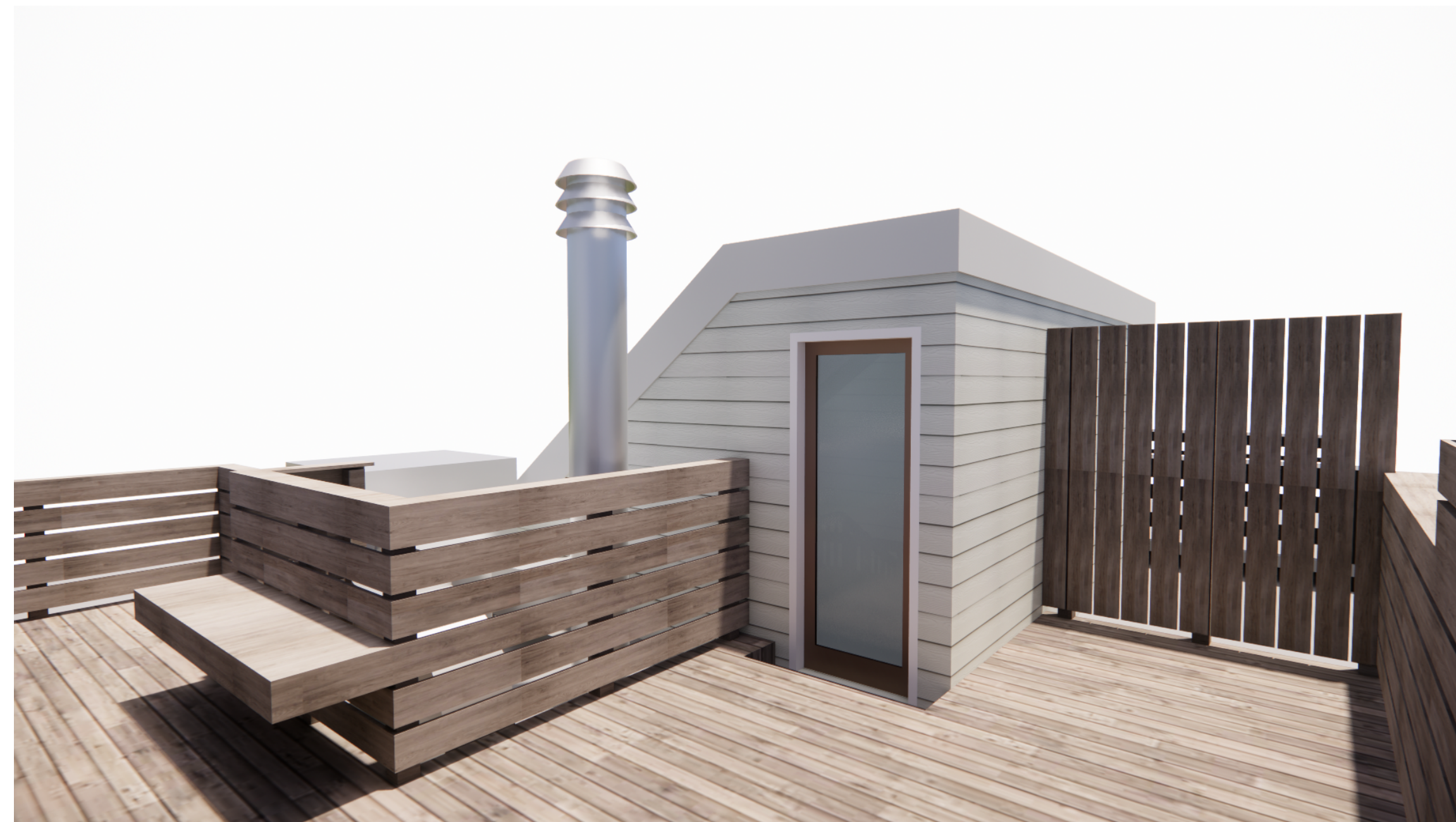
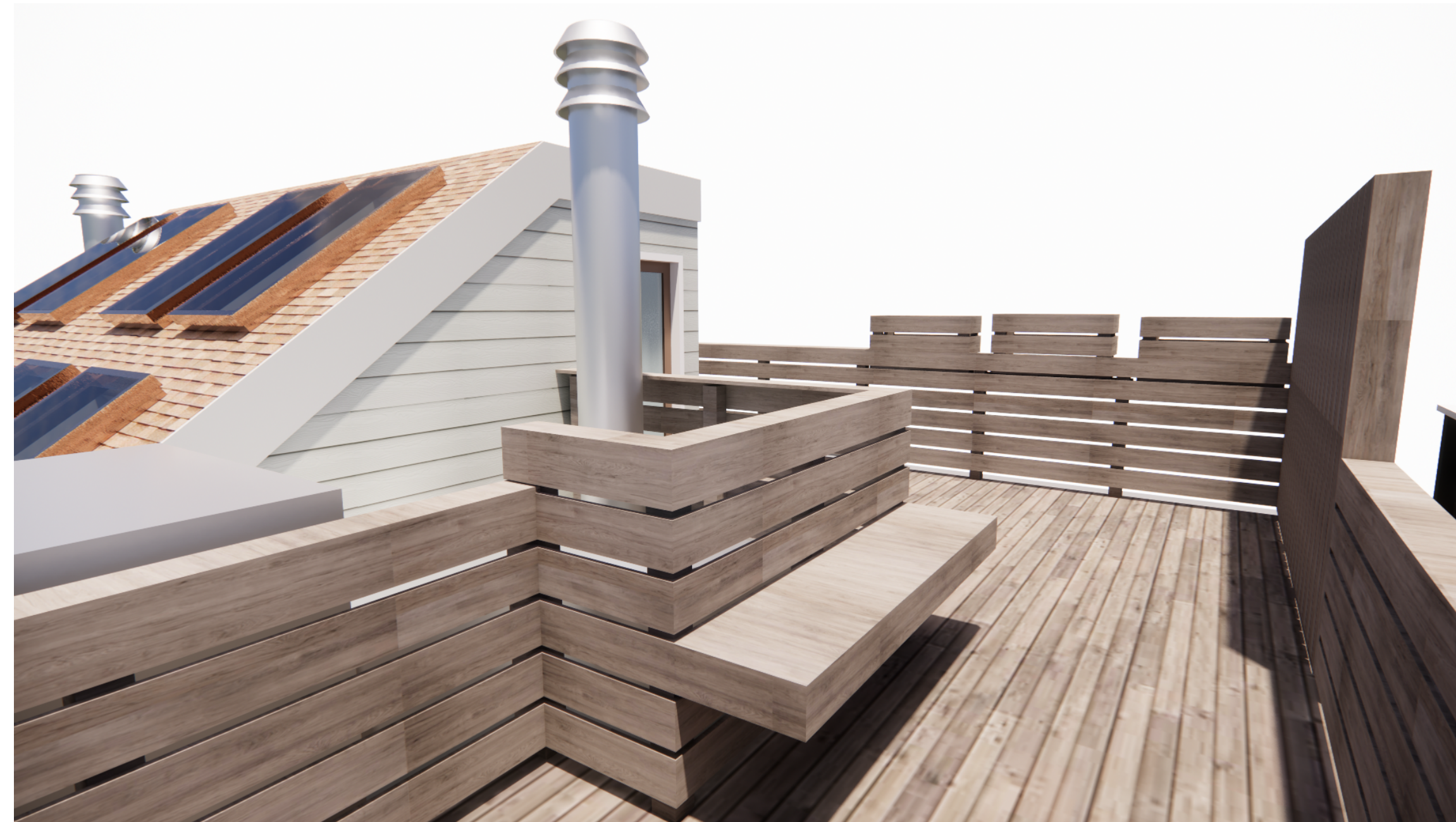
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

wood frame roof deck

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

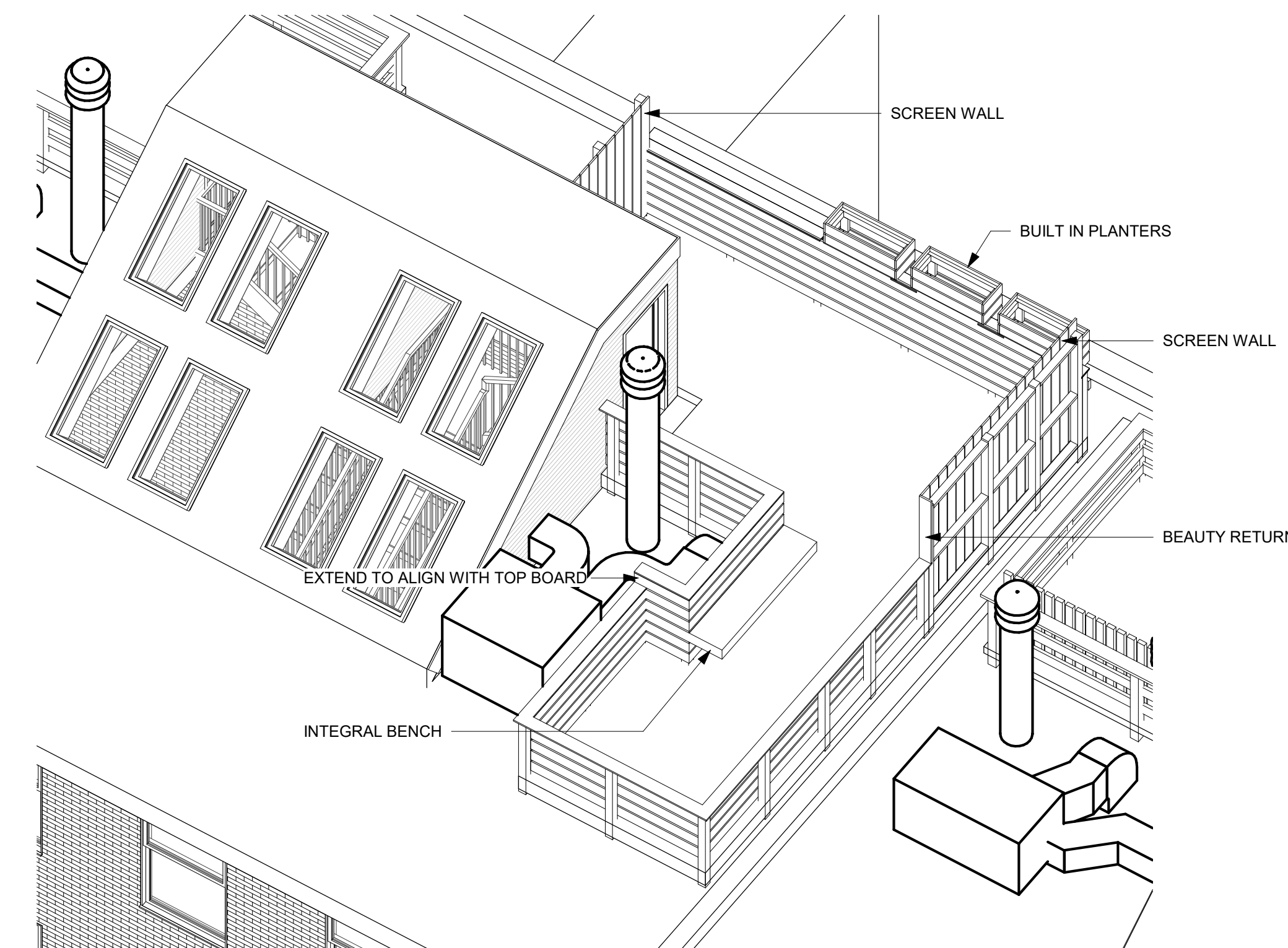
304 HARVARD ST DECK RENOVATION

304 Harvard Street, Cambridge MA 02139



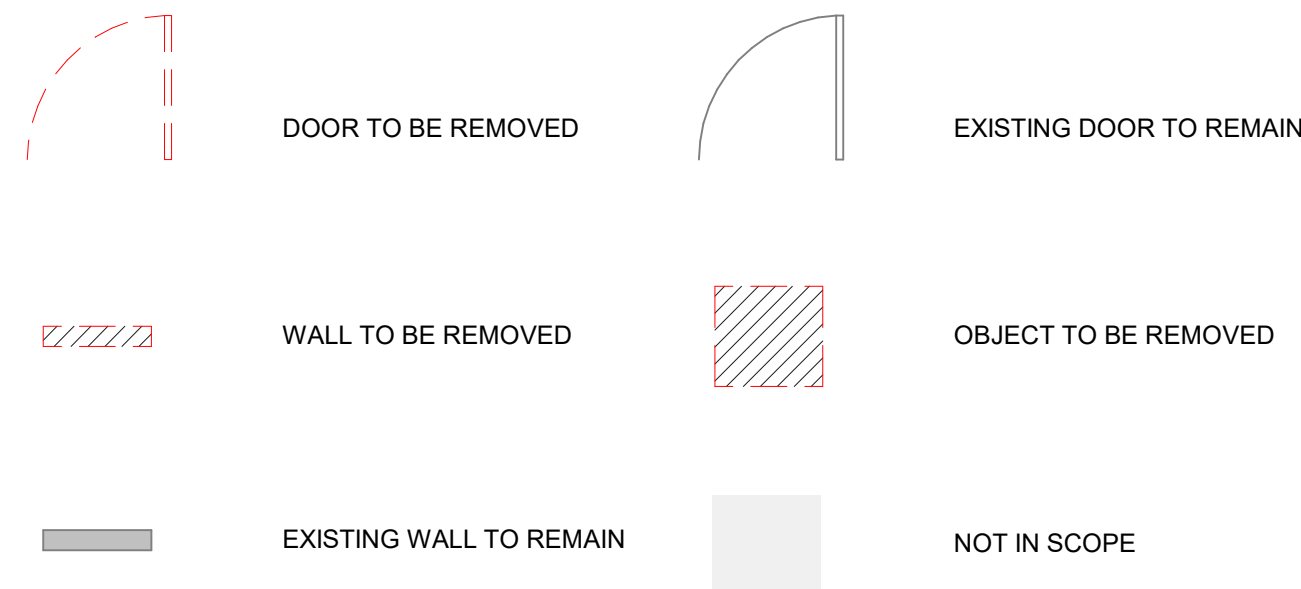
DRAWING LIST		
Sheet Number	Sheet Name	Sheet Issue Date
01_GENERAL		
G0.00	COVER	8/30/24
04_ARCHITECTURE		
AD1.10	DEMOLITION PLAN - ROOF	8/30/24
A3.10	EXTERIOR ELEVATIONS	8/30/24
A4.10	ENLARGED FLOOR PLAN - ROOF & SPECIFICATIONS	8/30/24
A4.20	ENLARGED DECK FRAMING PLAN	8/30/24
A9.60	TYPICAL DETAILS	8/30/24

Architect
 Avery Nackman
 1 Ross Pl
 Boston, MA 02127
 Tel: 908-285-5200



ISSUED FOR CONSTRUCTION

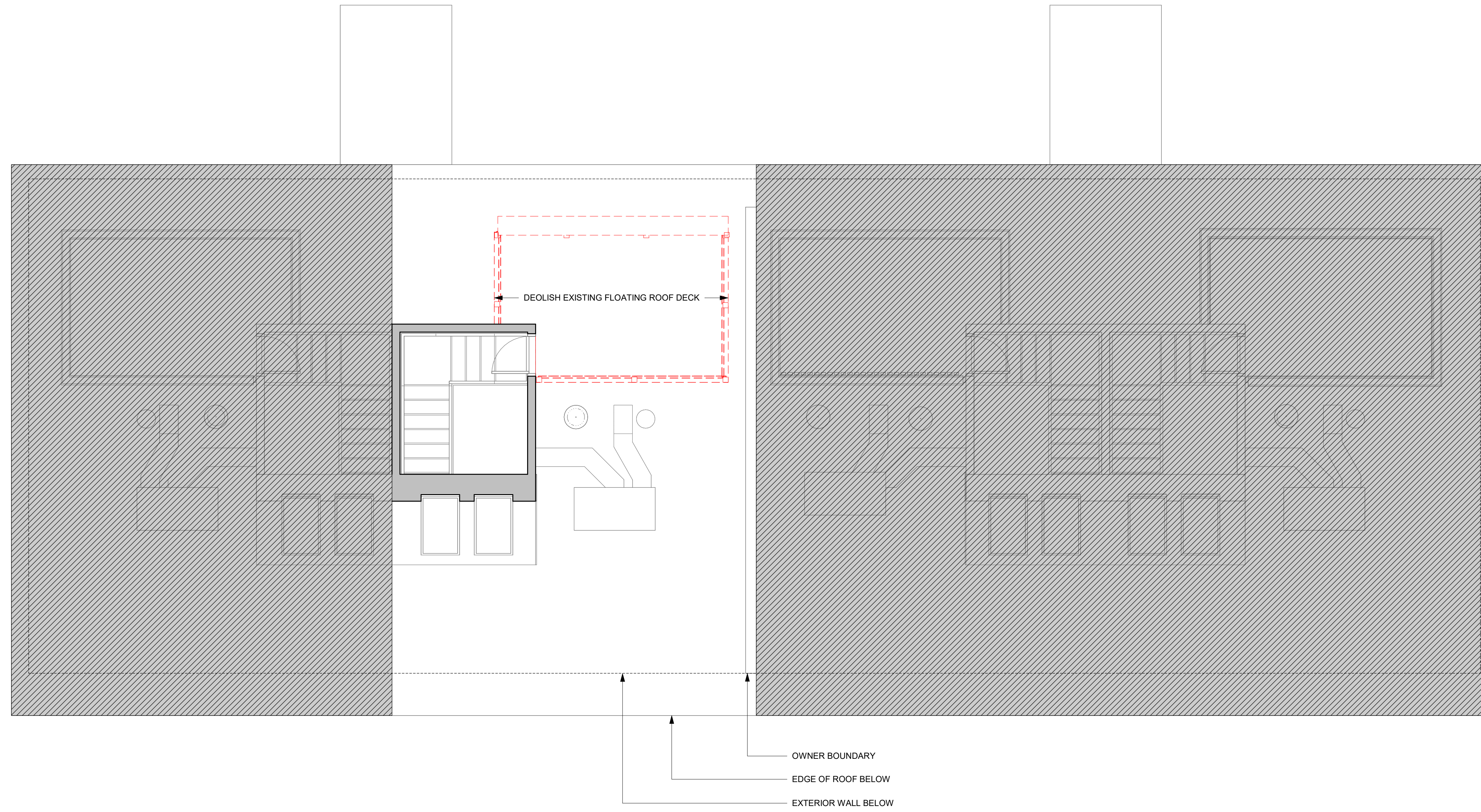
DEMO LEGEND



DEMOLITION NOTES

- SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN THE FIELD. SUBCONTRACTORS ARE TO REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION.
- PROTECT ALL ADJACENT STRUCTURES, FINISHES AND MATERIALS NOT INDICATED OR SCHEDULED FOR REMOVAL.
- ALL PENETRATIONS IN ANY EXISTING FIRE-RATED ENCLOSURE TO BE CAPPED AND FILLED TO MEET EXISTING FIRE RATING.
- DEMO ALL FLOOR FINISHES AND CEILINGS AS INDICATED. PATCH AND REPAIR ANY REMAINING FINISHES AND CEILINGS WHERE REQUIRED.
- EXISTING PLUMBING SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY PLUMBING SUBCONTRACTOR.
- EXISTING ELECTRICAL SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY ELECTRICAL SUBCONTRACTOR.
- EXISTING MECHANICAL SERVICES TO BE CUT AND MADE SAFE AND REMOVED BY MECHANICAL SUBCONTRACTOR.
- EXISTING SPRINKLERS TO REMAIN & BE REVIEWED BY ENGINEERS FOR POSSIBLE RELOCATION & MODIFICATIONS ONCE CLEARLY VISIBLE.
- IF NECESSARY, INSTALL TEMPORARY LIGHTING UPON COMPLETION OF DEMOLITION.
- EXISTING WALLS NOT TO BE DEMOLISHED ARE TO RECEIVE PLASTER & PATCH AS NECESSARY TO RECEIVE PAINT. EXISTING DOORS AND FRAMES NOT TO BE DEMOLISHED ARE TO BE PREPARED AND PAINTED PER FIT-OUT STANDARD WALL COLOR, U.O.N.

Architect
 Avery Nackman, AIA
 1 Ross Pl Unit 2
 Boston, MA 02127
 Tel: 908-285-5200



#	DATE	DESCRIPTION
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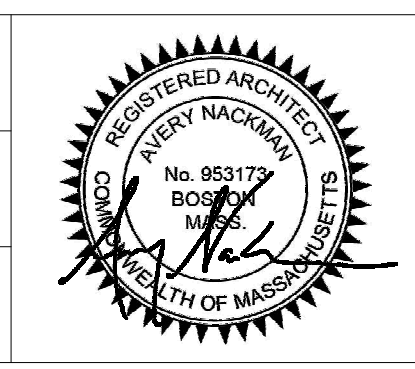
304 HARVARD ST DECK RENOVATION

DEMOLITION PLAN - ROOF

Drawing Scale
As indicated

Project Number
24-01

Date Issued
8/30/24



① ROOF - NEW DECK LAYOUT Copy 1
 1/4" = 1'-0"

AD1.10

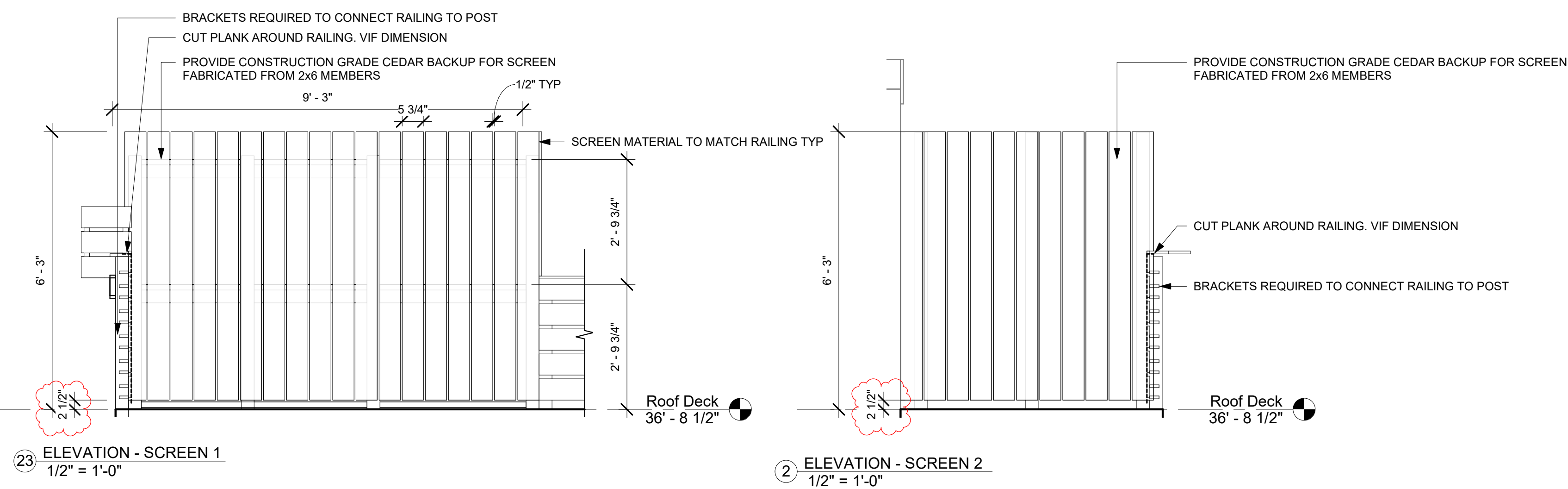
Architect
 Avery Nackman, AIA
 1 Ross Pl Unit 2
 Boston, MA 02127
 Tel: 908-285-5200

GENERAL NOTES AND SPECIFICATIONS

- SEE ROOFING DRAWINGS FOR ALL TRANSITIONS, PENETRATION WATERPROOFING, LAYERING, INSULATION THICKNESS, AND MISC ROOFING DETAILS. ARCHITECTURAL DRAWINGS ONLY DOCUMENT ROOF DECK EXPANSION.
- SEE STRUCTURAL DRAWINGS FOR ALL CONNECTIONS TO ROOF STRUCTURE AND SIZING OF MEMBERS. MEMBER SIZES ARE ONLY GIVEN FOR COORDINATION PURPOSES. BUY ALL MEMBER SIZES FROM STRUCTURAL DRAWINGS.
- PROVIDE BUTYL JOIST TAPE ABOVE ALL FLOORING JOISTS. BASIS OF DESIGN PRODUCT TREX PROTECT.
- BASIS OF DESIGN DECK MATERIAL TO BE RESAWN TIMBER THERMALLY MODIFIED OXFORD ACCOYA EXTERIOR DECKING 3/4" x 5 3/4". HORIZONTAL DECKING TO BE FASTENED UTILIZED CONCEALED FASTENER SYSTEM. INSTALL PER MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS. PROVIDE PLASTIC SPACERS BETWEEN DECKING MATERIAL AND JOISTS.
- RAILING MATERIAL TO BE RESAWN TIMBER THERMALLY MODIFIED OXFORD ACCOYA EXTERIOR DECKING 3/4" x 5 3/4". FASTEN RAILINGS WITH EXPOSED A2 STAINLESS STEEL FASTENERS. INSTALL FASTENERS PER MANUFACTURERS INSTRUCTIONS.
- VERTICAL POSTS TO BE STRUCTURAL GRADE WESTERN RED CEDAR. APPLY SEALING OIL OVER ALL CUT ENDS OF POSTS. ALL SCREWS INTERFACING WITH RED CEDAR TO BE A2 STAINLESS STEEL.
- INSTALL SEALING OIL COMPATIBLE WITH OXFORD ACCOYA OVER ALL EXPOSED CUT ENDS OF DECKING MATERIAL.

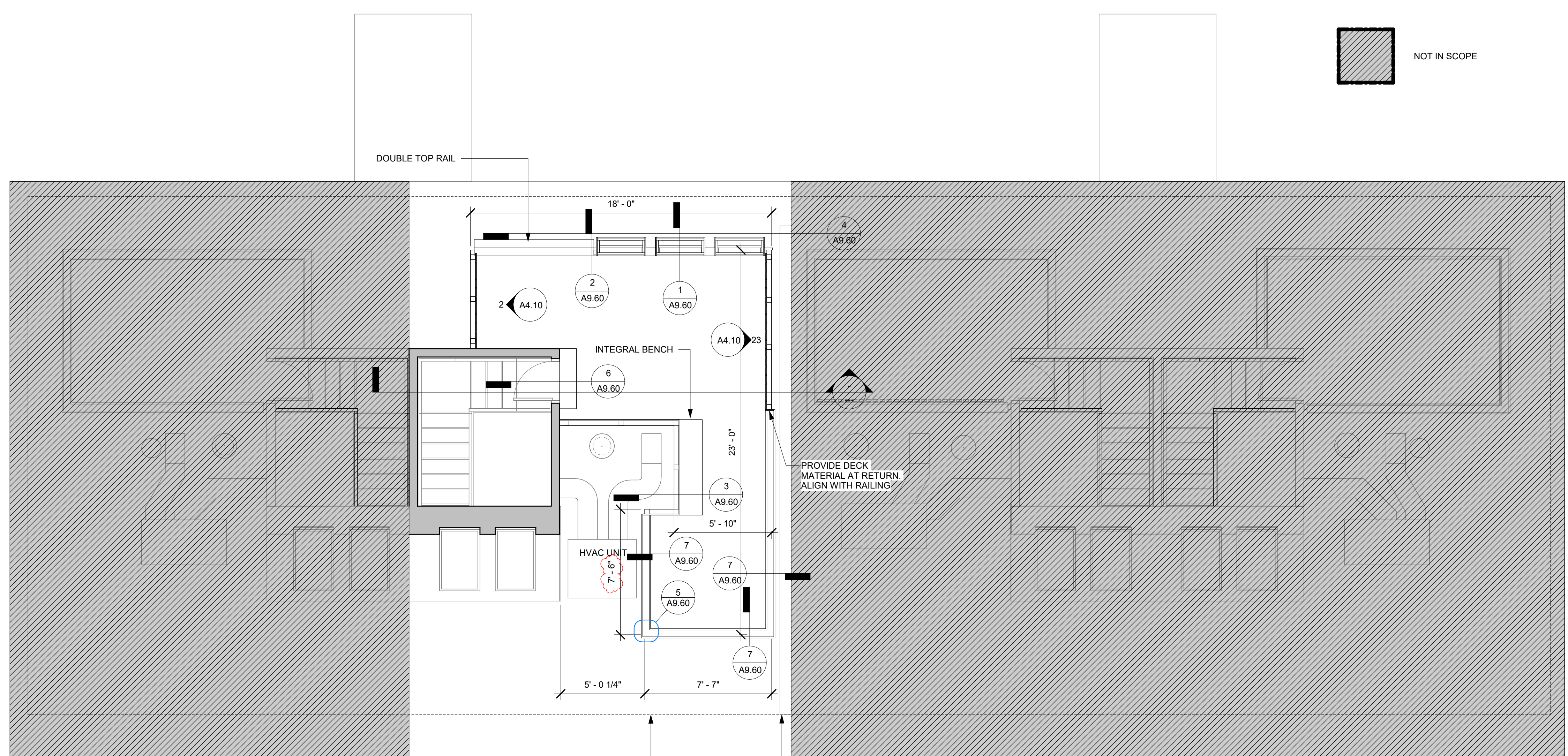
PARTITION LEGEND

- EXISTING WALL
- NOT IN SCOPE



②3 ELEVATION - SCREEN 1
 1/2" = 1'-0"

② ELEVATION - SCREEN 2
 1/2" = 1'-0"



① ROOF - NEW DECK LAYOUT
 1/4" = 1'-0"

#	DATE	DESCRIPTION
1	8/31/24	ADDENDUM 1

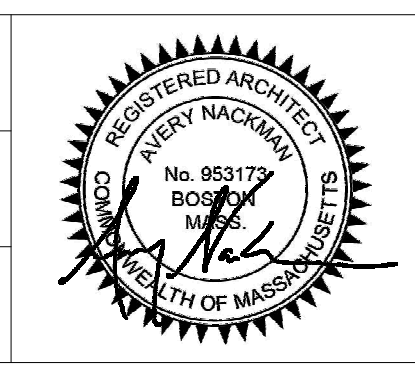
304 HARVARD ST DECK RENOVATION

ENLARGED FLOOR PLAN - ROOF & SPECIFICATIONS

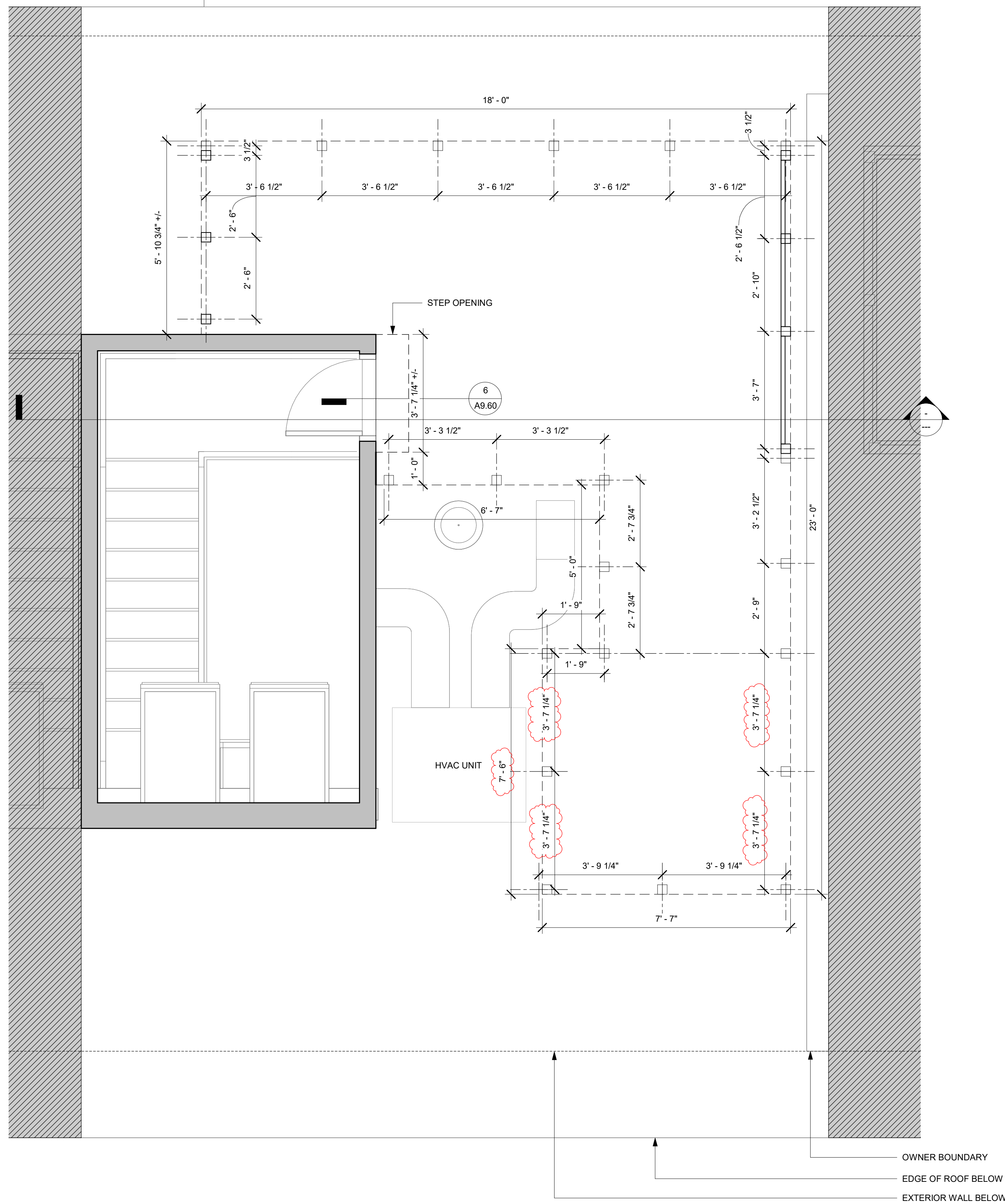
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Project Number
 24-01

Date Issued
 8/30/24



A4.10


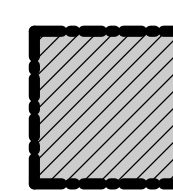


1 ENLARGED DECK FRAMING PLAN
1/2" = 1'-0"

GENERAL NOTES AND SPECIFICATIONS

- SEE ROOFING DRAWINGS FOR ALL TRANSITIONS, PENETRATION WATERPROOFING, LAYERING, INSULATION THICKNESS, AND MISC ROOFING DETAILS. ARCHITECTURAL DRAWINGS ONLY DOCUMENT ROOF DECK EXPANSION
- SEE STRUCTURAL DRAWINGS FOR ALL CONNECTIONS TO ROOF STRUCTURE AND SIZING OF MEMBERS. MEMBER SIZES ARE ONLY GIVEN FOR COORDINATION PURPOSES. BUY ALL MEMBER SIZES FROM STRUCTURAL DRAWINGS.
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- INSTALL SEALING OIL COMPATIBLE WITH OXFORD ACCOYA OVER ALL EXPOSED CUT ENDS OF DECKING MATERIAL.

PARTITION LEGEND

-  EXISTING WALL
-  NOT IN SCOPE

Architect
Avery Nackman, AIA
1 Ross Pl Unit 2
Boston, MA 02127
Tel: 908-285-5200

#	DATE	DESCRIPTION
1	8/31/24	ADDENDUM 1

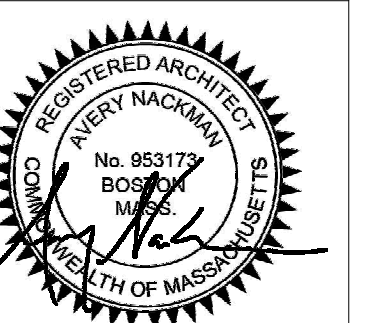
304 HARVARD ST DECK RENOVATION

ENLARGED DECK FRAMING PLAN

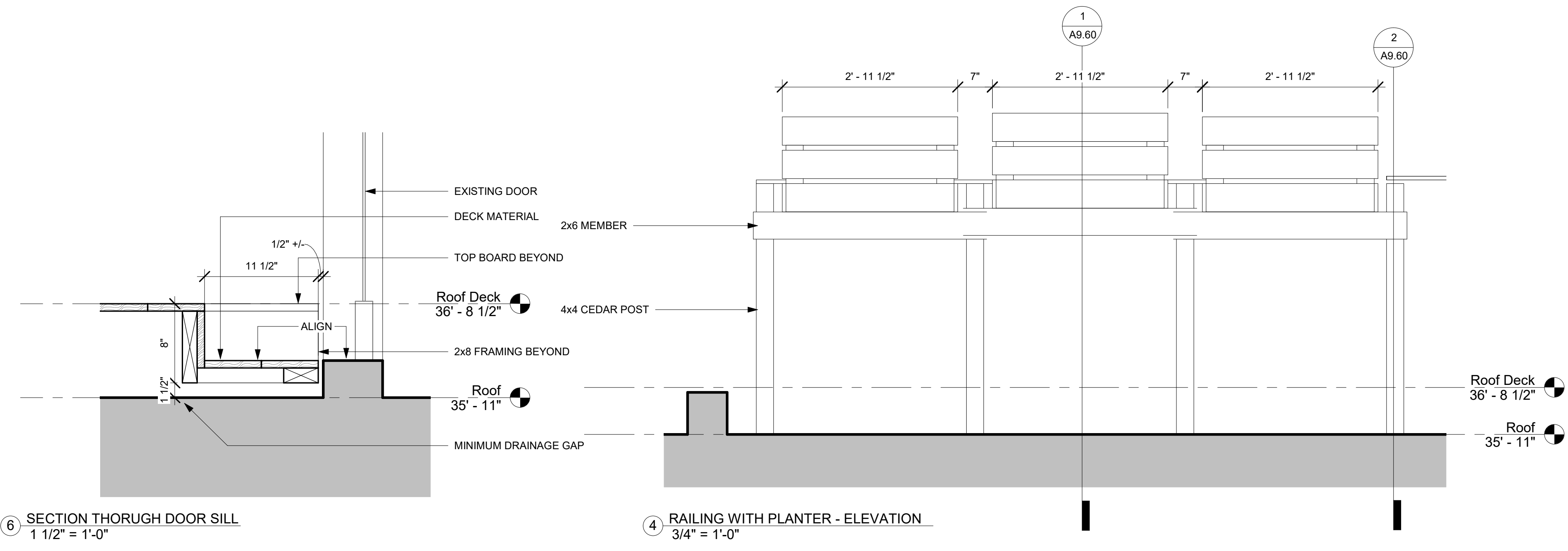
Drawing Scale
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Project Number
24-01

Date Issued
8/30/24

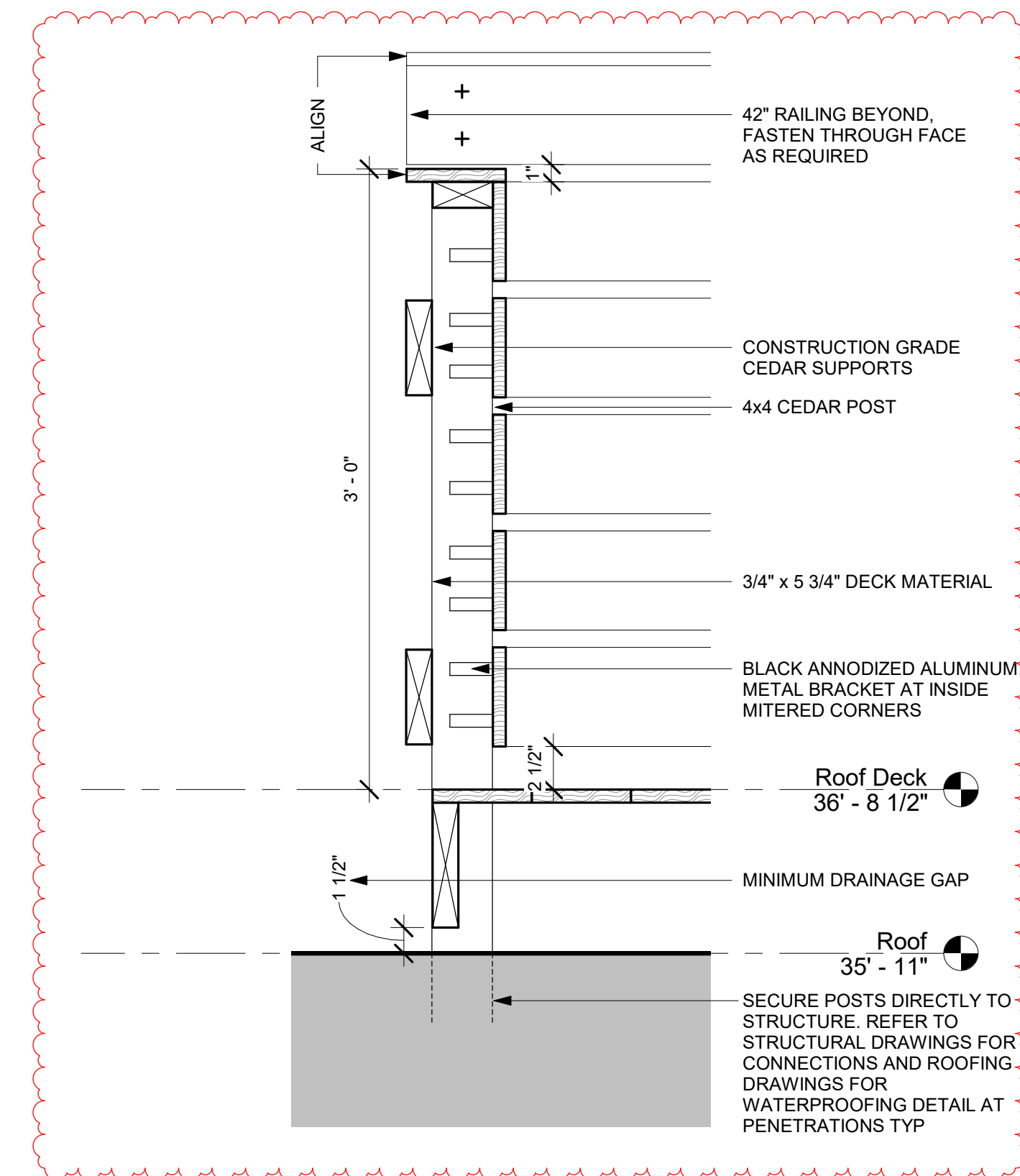


A4.20

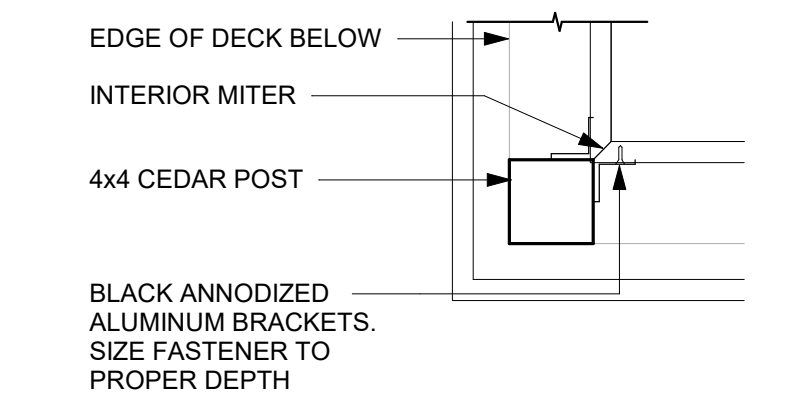


6 SECTION THOROUGH DOOR SILL
 1 1/2" = 1'-0"

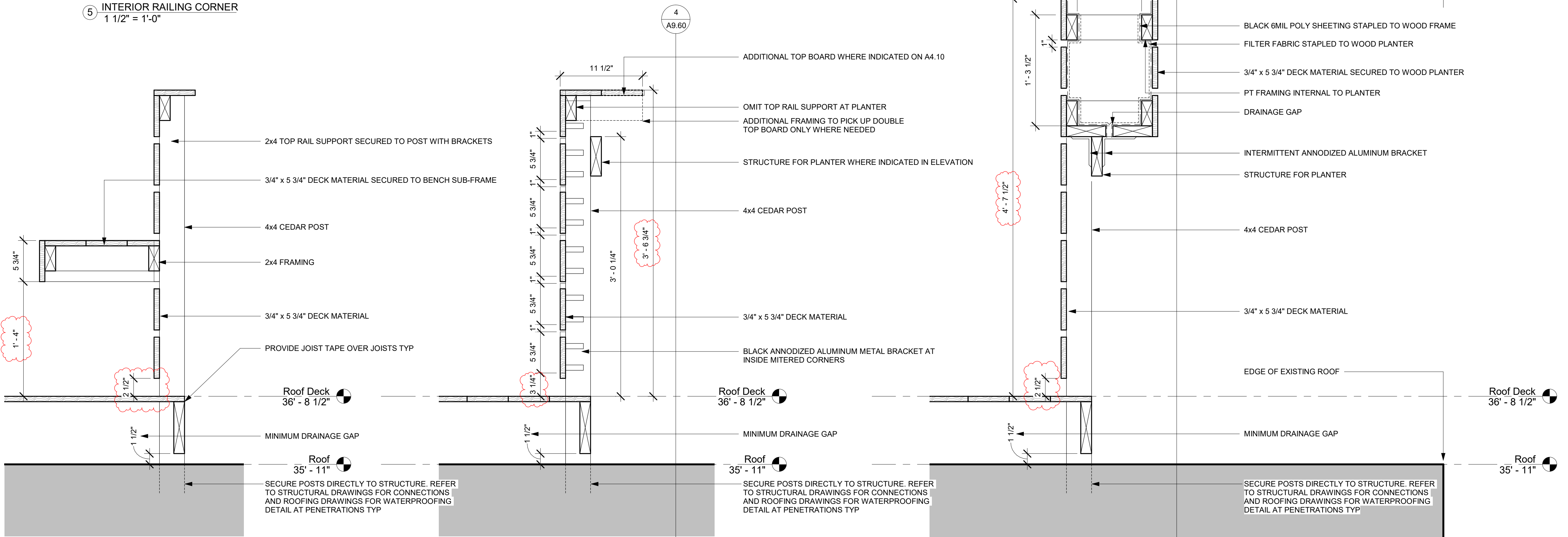
4 RAILING WITH PLANTER - ELEVATION
 3/4" = 1'-0"



7 DECK RAILING AT 36" AFF
 1 1/2" = 1'-0"



5 INTERIOR RAILING CORNER
 1 1/2" = 1'-0"



3 BENCH - SECTION
 1 1/2" = 1'-0"

2 DECK RAILING WITHOUT PLANTER - SECTION
 1 1/2" = 1'-0"

1 DECK RAILING WITH PLANTER - SECTION
 1 1/2" = 1'-0"

#	DATE	DESCRIPTION
1	8/31/24	ADDENDUM 1

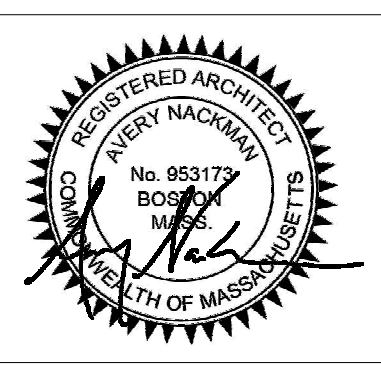
304 HARVARD ST DECK RENOVATION

TYPICAL DETAILS

Drawing Scale
 As indicated

Project Number
 24-01

Date Issued
 8/30/24



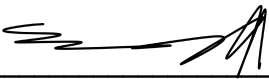
A9.60



302 - 308 Harvard Street Condominium Trust

Date: September 30, 2024

We, Trustees, unanimously approve of the deck expansion of unit 304 per the drawings by Avery Nackman dated 8/31/24.



Siena Scarff

Signature
302 Trustee /President



Signature
304 Trustee

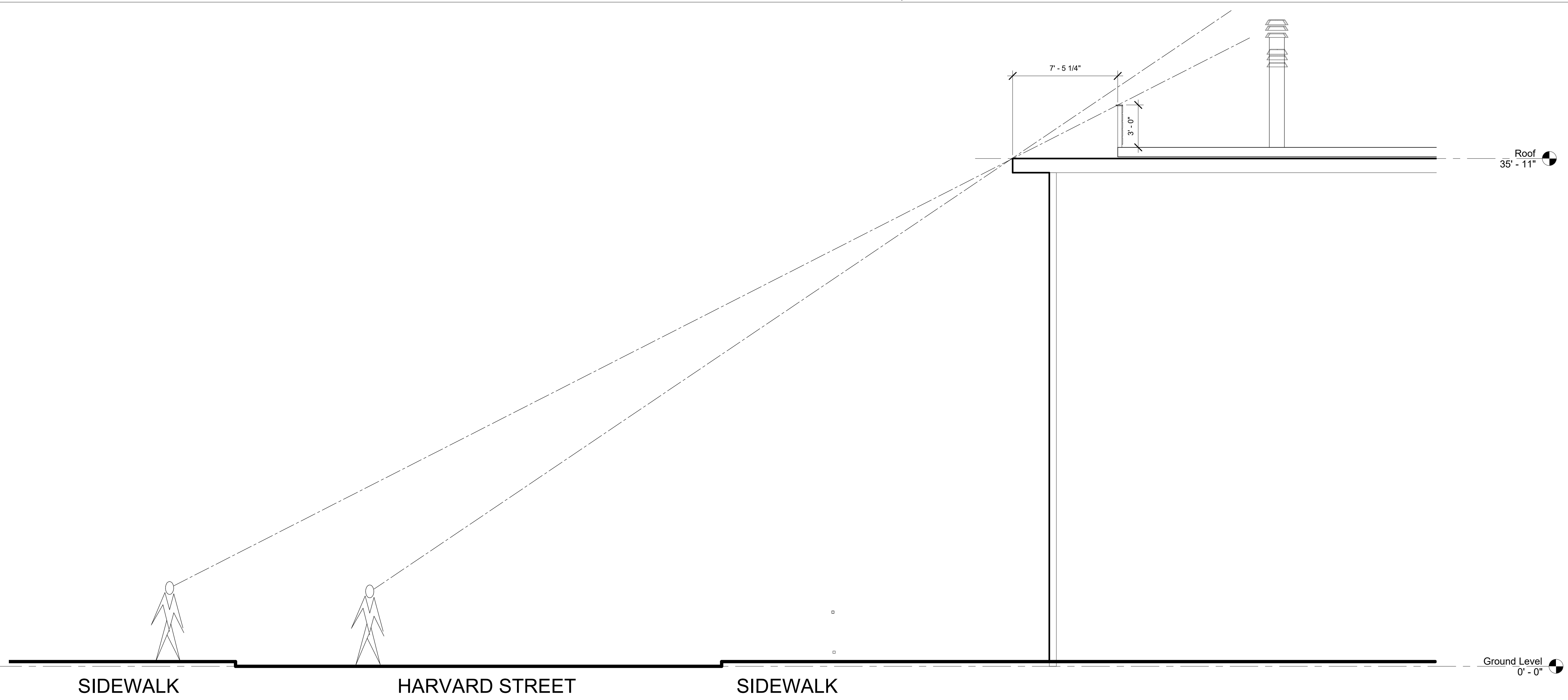


Signature
306 Trustee /Treasurer



Signature
308 Trustee

Architect
 Avery Nackman, AIA
 1 Ross Pl Unit 2
 Boston, MA 02127
 Tel: 908-285-5200



① SECTION THROUGH HARVARD STREET
 1/4" = 1'-0"



VIEW FROM SIDEWALK



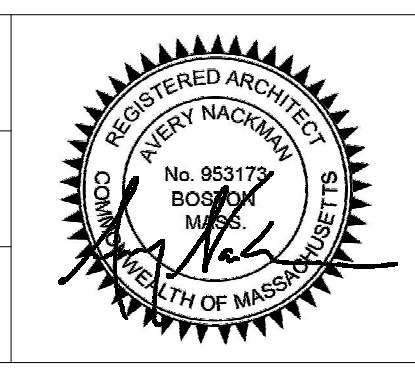
VIEW FROM HARVARD STREET

#	DATE	DESCRIPTION
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304 HARVARD ST DECK RENOVATION

VIEW FROM HARVARD STREET

Drawing Scale
 1/4" = 1'-0"
 Project Number
 24-01
 Date Issued
 08/29/24



P0.00

ZONING DISTRICT C-1

District	(1) Max. Ratio of Floor Area to Lot Area	(2) Minimum Lot Size in Sq. Ft.	(3) Min. Lot Area for Each D.U. in Sq. Ft.	(4) Minimum Lot Width in Feet	(5) Minimum Yard in Feet			(6) Maximum Height in Feet	(7) Min. Ratio of Private Op. Sp. to Lot Area
					Front	Side	Rear		
Res. C-1	0.75	5,000	1,500	50	H+L (a) 4	H+L ^(b) 5	H+L (c) 4	35	30%

Building Height approx. **35ft**
 Building Length on Harvard St. **89ft - 6in**
 Building Length on Lee St. **30ft 6in**

Front Setback (Harvard) - $(35ft + 89.5ft)/6 = 20ft\ 9in$ from centerline < 10ft from street min
 Front Setback (Lee) - $(35ft + 30.5ft)/6 = 10ft\ 10in$ from centerline < 10ft from street min
 Side Setback- $(35ft + 30.5ft)/7 = 9ft\ 4in$
 Rear Setback - $(35ft + 89.5ft)/6 = 20ft\ 9in$

5.24.4 Measurements for minimum yards which are determined by formula shall be made in the following manner:

(1) "H" is the height of the building. "L" is the length of the wall measured parallel to the corresponding lot or street line. The front yard is measured from the street line, or building line where such has been established, except where otherwise indicated herein. For buildings of forty (40) feet or less in height the denominator in the yard formulas in the Tables in Section 5.30 may be increased by two subject to the minimum yard requirements set forth in footnotes a, b and c of Tables 5-1 and 5-2.

2. Footnotes:

(a) Measured from the centerline of the street, but in no case may a building be nearer the street than ten (10) feet.

(c) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, and B districts, no building may be nearer the rear lot line than twenty-five (25) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line.

(n) In a Residence C-1 District, no building plane (excluding projections as permitted by Section 5.24.2) may be nearer than seven feet, six inches (7'6") to a side lot line.

EXISTING FAR (All Units)

625 per floor x 3 floors = 1875sf
 600sf basement
 150sf roof deck

1875sf + 600sf + 150sf = 2625sf total

2625sf x four units = 10,500sf

buildable lot area = 7,500sf

FAR - 10,500sf / 7,500sf = 1.4

PROPOSED FAR (All Units)

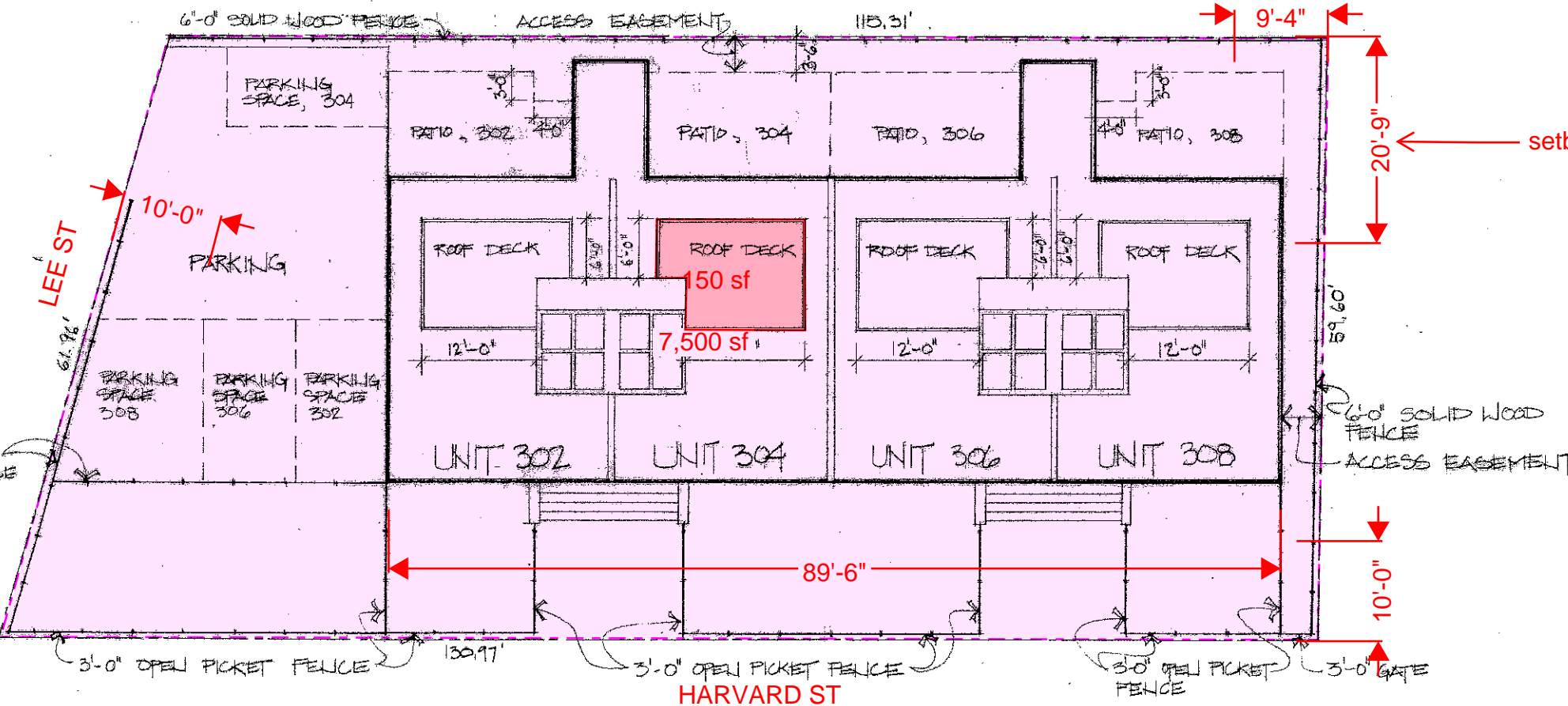
625 per floor x 3 floors = 1875sf
 600sf basement
 250sf roof deck ← proposed new roof deck expanded by 100sf

1875sf + 600sf + 250sf = 2725sf total

2725sf + (2625sf x three units) = 10,600sf

buildable lot area = 7,500sf

FAR - 10,600sf / 7,500sf = 1.41
 Percentage increase of 0.71%

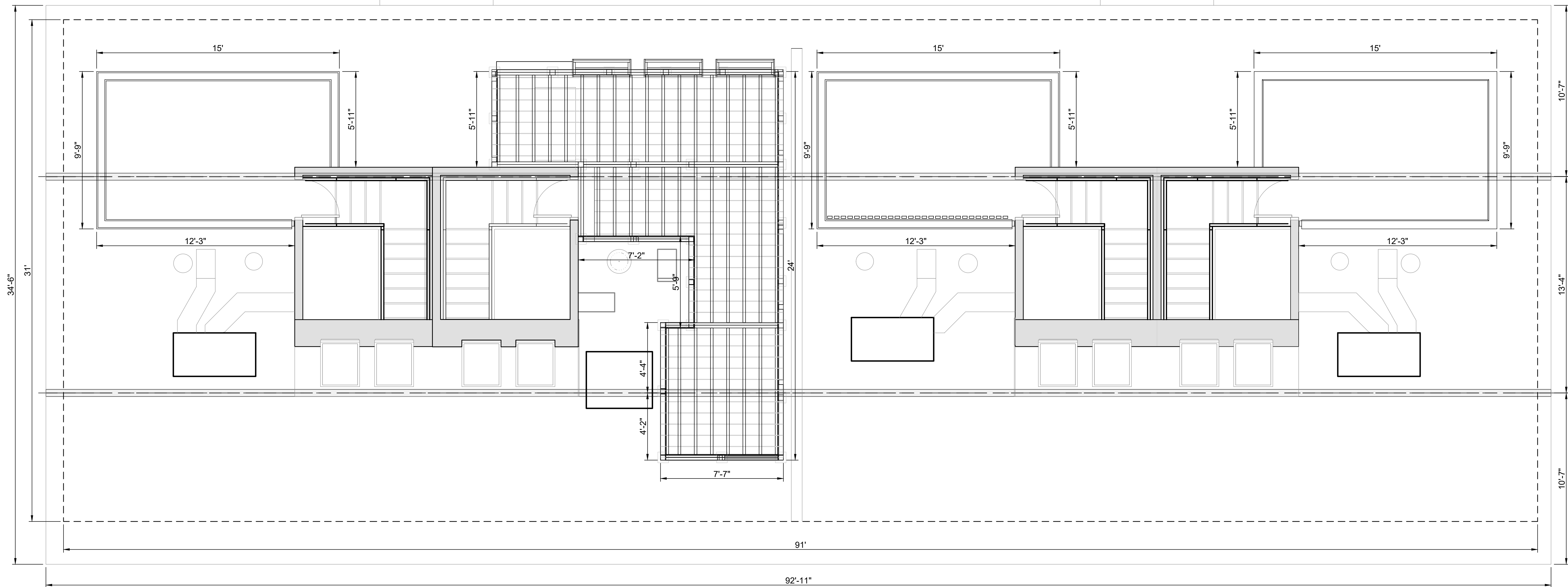


I CERTIFY THAT THIS SITE PLAN INDICATES THE LOCATION OF COMMON AREAS, DESIGNATED PARKING SPACES, ACCESS EASEMENTS, AND EXTERIOR AREAS ASSOCIATED WITH PARTICULAR UNITS AS BUILT. THE SITE BOUNDARY LINES ARE BASED ON 20 PLAN BOOK 586 MIDDLESEX REGISTRY OF DEEDS, SOUTH DISTRICT, DRAWN BY BAY STATE SURVEYING CO, NOVEMBER 24, 1926



I CERTIFY THAT THESE PLANS ARE IN COMPLIANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.





PLAN
ROOF DECK

1/3" = 1'-0"

NOTES

NO

DRAWING

REFERENCE DRAWING



REG. PROFESSIONAL

REVISION

0

08/27/2024

ISSUED FOR CONSTRUCTION

REVISION DESCRIPTION

HM

FM

HM

FM

PROJECT

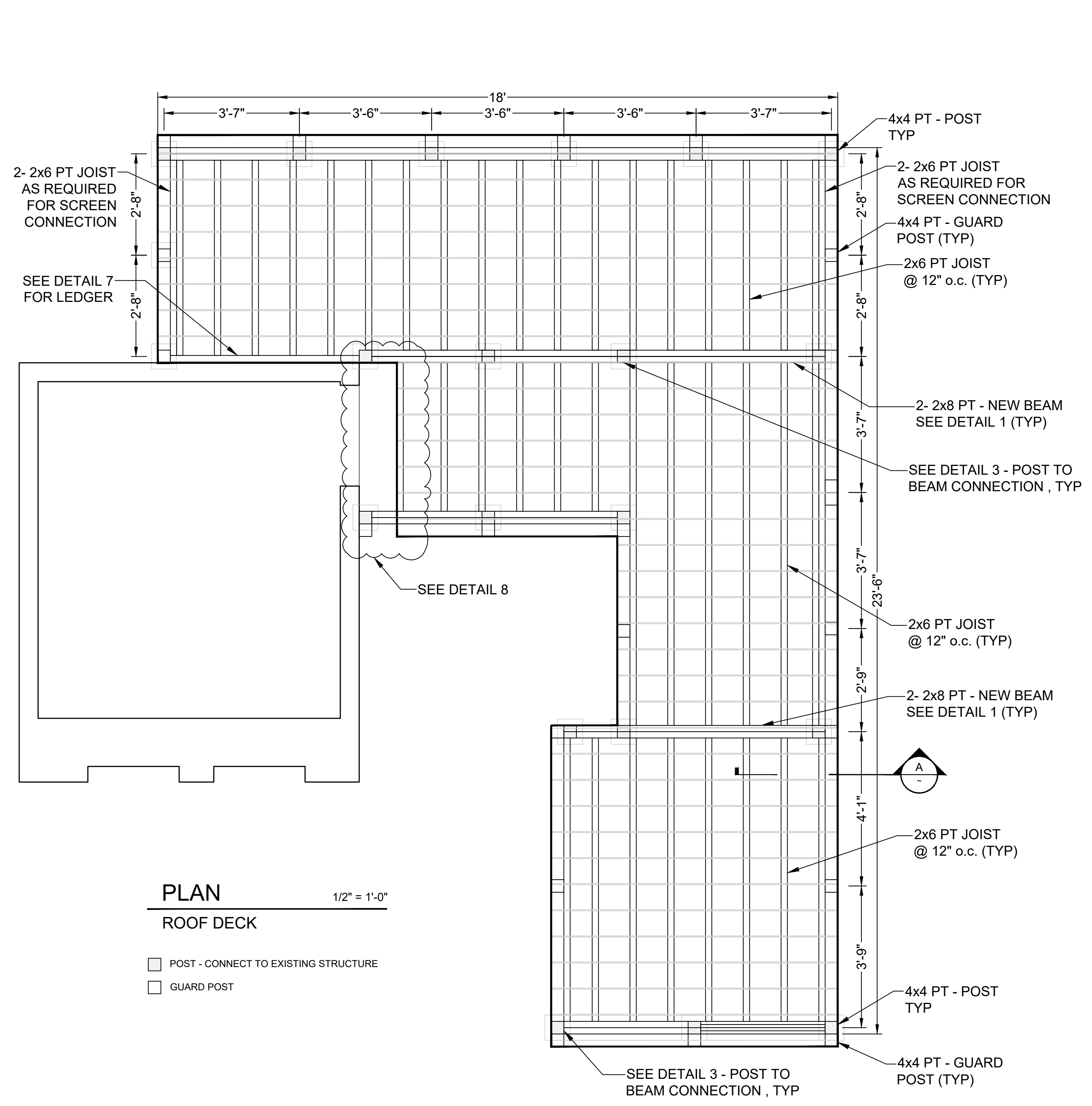
APPROVAL



ORDERED BY: 302-308 HARVARD STREET CONDO TRUST

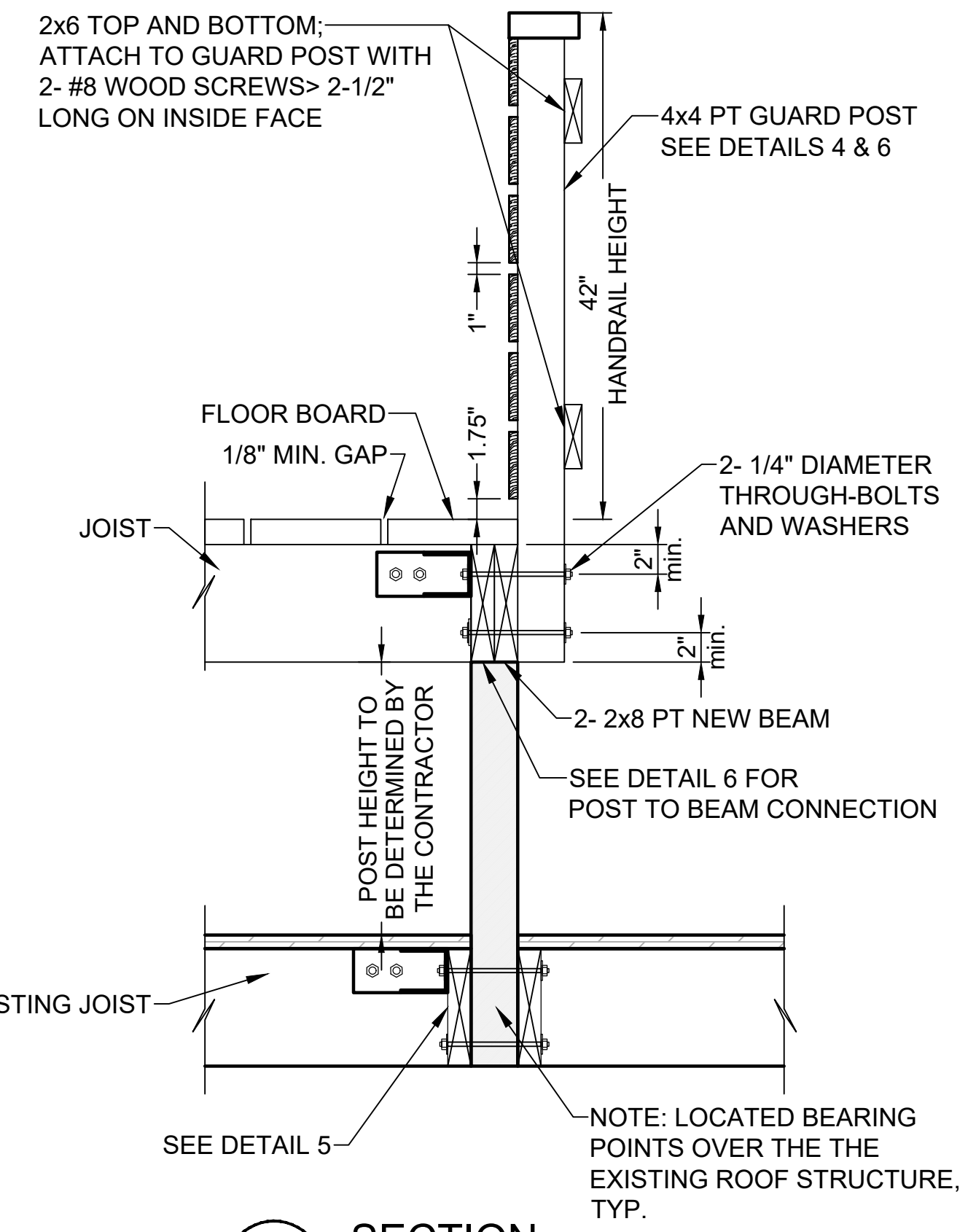
ROOF DECK DESIGN DESIGN & CONNECTION
302-308 HARVARD ST, CAMBRIDGE, MA 02139

DRAWING DESIGN	DESIGN ENGINEER	PROJECT NUMBER	SCALE	DATE
HM	HM	S0515MA08	AS NOTED	08/30/2024
DRAWING CHECK	DESIGN CHECK	DRAWING NUMBER		REVISION
FM	FM	MA/ S-101		0
PROJECT APPROVAL				

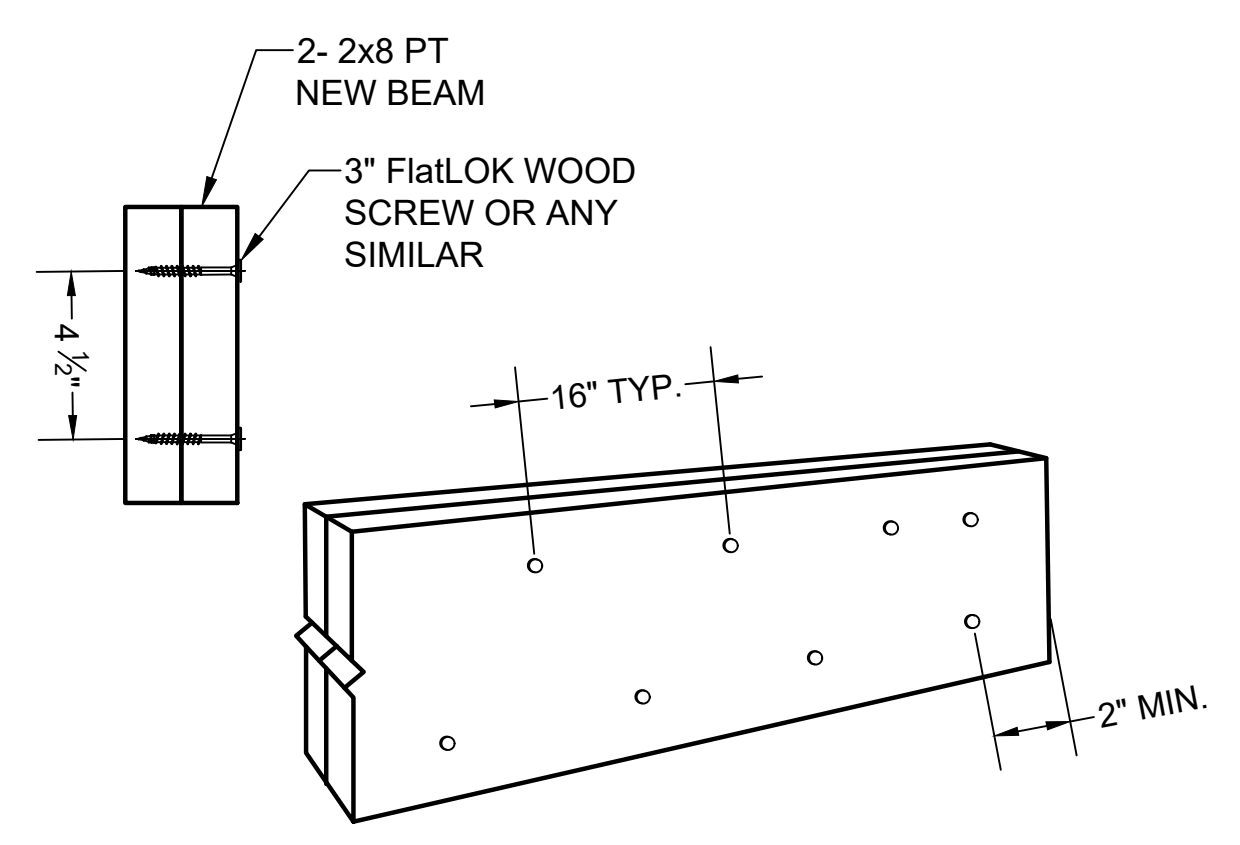


PLAN
ROOF DECK
1/2" = 1'-0"

- POST - CONNECT TO EXISTING STRUCTURE
- GUARD POST



A SECTION
GUARD SECTION



1 DETAIL
NEW BEAM ASSEMBLY DETAIL
NOTE: TO AVOID DAMAGING THE BEAM, FASTENER HEADS MUST NOT BE COUNTERSUNK.

NOTES:

1. ALL DIMENSIONS ARE IN INCHES .
2. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF ANY WORK. ALL INCONSISTENCIES SHALL BE REPORTED TO THE DESIGNER AND/OR STRUCTURAL ENGINEER.

GENERAL:

1. STRUCTURAL DESIGN DATA:
 - IBC 2015 DESIGN SPECIFICATIONS
 - a. 15 PSF DEAD LOAD (Deck load, Framing)
 - b. 40 PSF LIVE LOAD
 - c. 40 PSF SNOW LOAD
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE, AND SHOP DRAWINGS AND SPECIFICATIONS.
3. "ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F1667". IT IS RECOMMENDED TO USE THREADED NAILS.
4. "ALL BOLTS SHALL MEET THE REQUIREMENTS OF ASTM F3125". IT IS RECOMMENDED TO USE GALVANIZED THREADED BOLT.
5. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
6. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
7. ERECTION SHALL BE EXECUTED FROM ACCEPTED SHOP DRAWINGS ONLY.
8. A COMPLETE CONCRETE PLACEMENT SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AND A STAMPED REVIEW RECEIVED BEFORE ANY CONCRETE PLACEMENT CAN BE MADE.
9. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
10. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR ELEVATIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

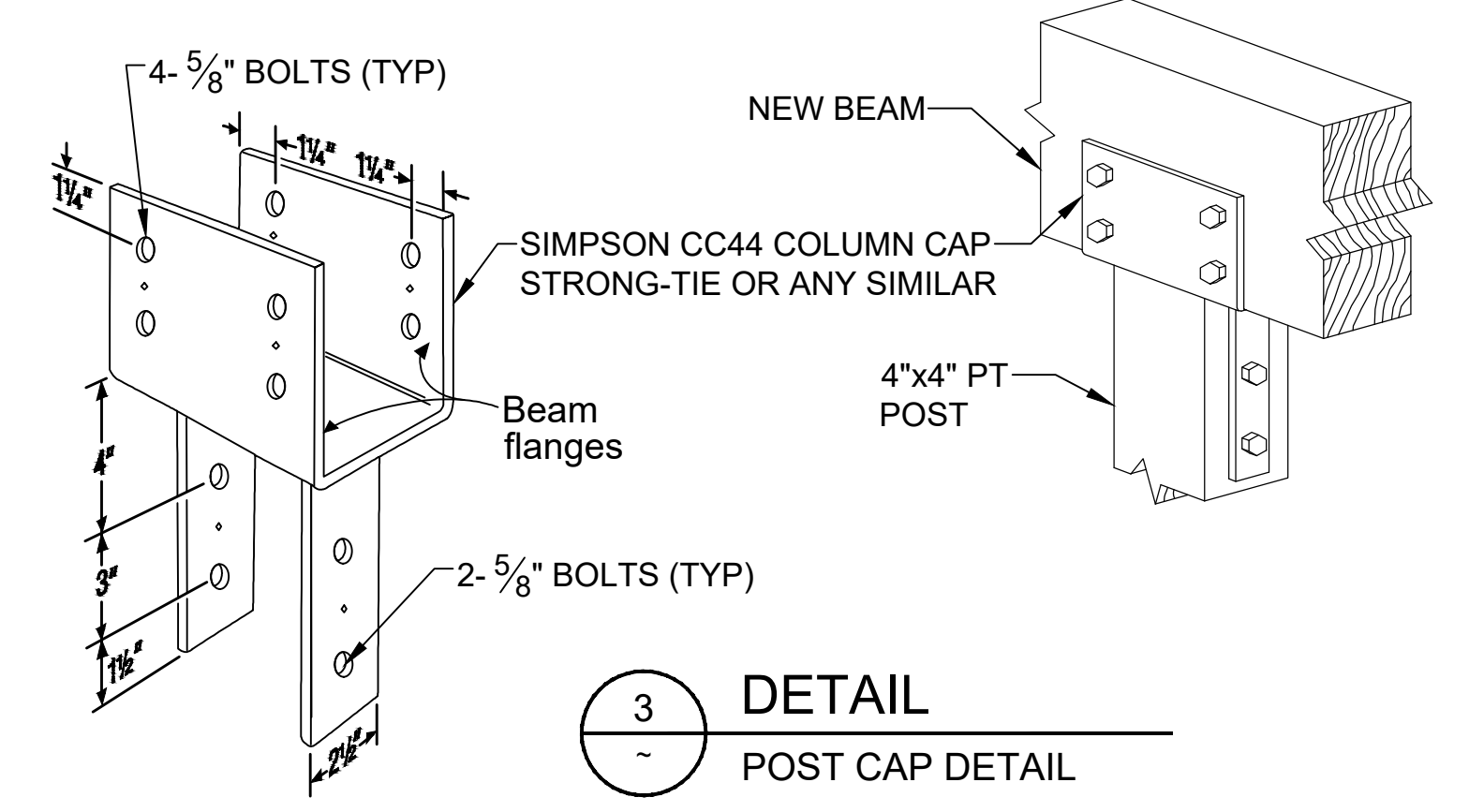
NOTES:

11. IN CASE OF CONFLICT AMONG CONTRACT DOCUMENTS (i.e. CONTRACT DOCUMENTS AND SPECIFICATIONS), THE MORE SPECIFIC AND LOCALIZED INFORMATION IN THE FOLLOWING ASCENDING ORDER SHALL GOVERN: SPECIFICATIONS, NOTES, PLANS, SCHEDULES AND DETAILS.
12. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING AND BRACING FOR THE BUILDING DURING CONSTRUCTION.

13. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS (UNLESS NOTED OTHERWISE) OF THE FOLLOWING BUILDING CODES AND STANDARDS:
 - A. THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION
 - B. 2015 INTERNATIONAL BUILDING CODE
 - C. "AISC" - MANUAL OF STEEL CONSTRUCTION (ALLOWABLE STRENGTH DESIGN), 14TH EDITION
 - D. "ACI 318" - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITION
 - E. "AISC" - SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS

CONSTRUCTION RESPONSIBILITY:

1. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.
2. THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. PERIODIC SITE OBSERVATION VISITS MAY BE PROVIDED BY THE STRUCTURAL ENGINEER UPON THE CLIENT WRITTEN REQUEST AND ON AN HOURLY CHARGE BASES. THE SOLE PURPOSE OF THESE OBSERVATIONS IS TO REVIEW THE GENERAL CONFORMANCE OF THE CONSTRUCTION WITH THE STRUCTURAL DRAWINGS DOCUMENTS. THESE LIMITED OBSERVATIONS SHOULD NOT BE CONSTRUED AS CONTINUOUS OR EXHAUSTIVE TO VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.



3 DETAIL
POST CAP DETAIL

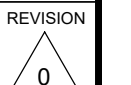
NOTES NO DRAWING REFERENCE DRAWING

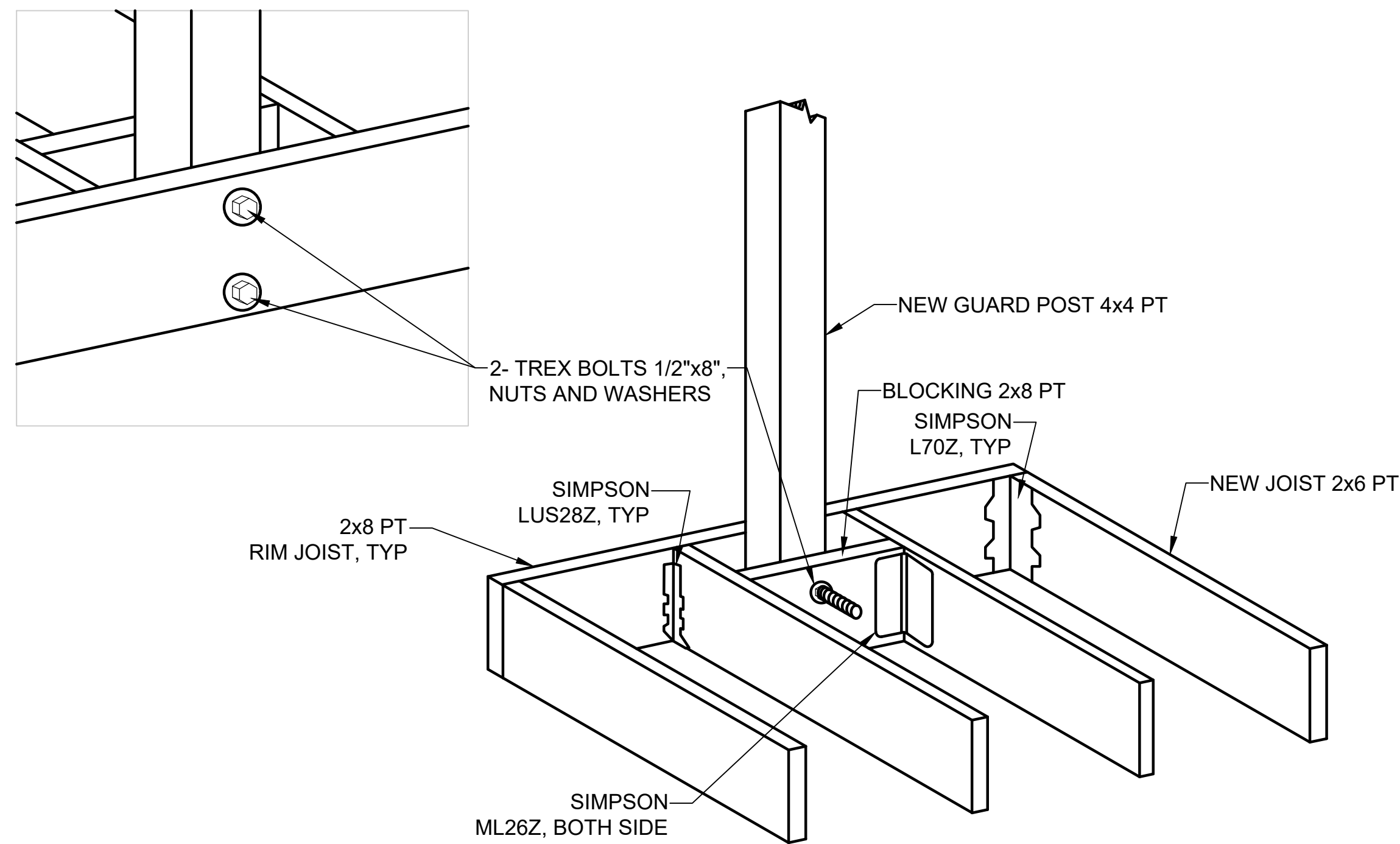


0	08/27/2024	ISSUED FOR CONSTRUCTION	HM	FM	HM	FM		
REG. PROFESSIONAL	REVISION	DATE	REVISION DESCRIPTION	DRAWN/DESIGN	DRAWING CHECK	DESIGN ENGINEER	DESIGN CHECK	PROJECT APPROVAL

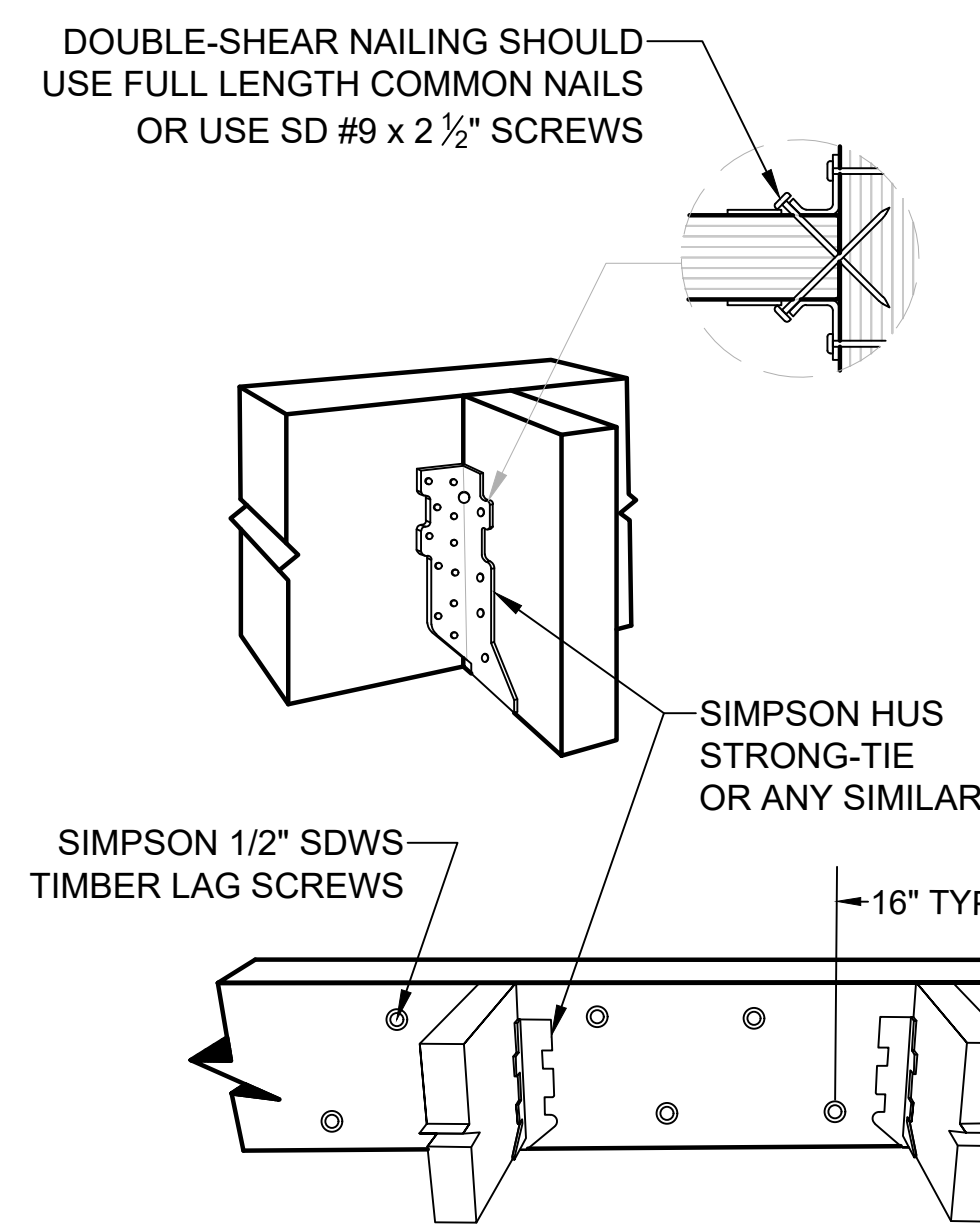


ORDERED BY: 302-308 HARVARD STREET CONDO TRUST			
ROOF DECK DESIGN DESIGN & CONNECTION			
302-308 HARVARD ST, CAMBRIDGE, MA 02139			
DRAWN/DESIGN	DESIGN ENGINEER	PROJECT NUMBER	SCALE
HM	HM	S0515MA08	AS NOTED
DRAWING CHECK	DESIGN CHECK	DATE	
FM	FM	08/30/2024	
PROJECT APPROVAL		DRAWING NUMBER	
		MA/ S-102	





4 DETAIL
POST BEAM CONNECTION



7 DETAIL
LEDGER BOARD DETAIL

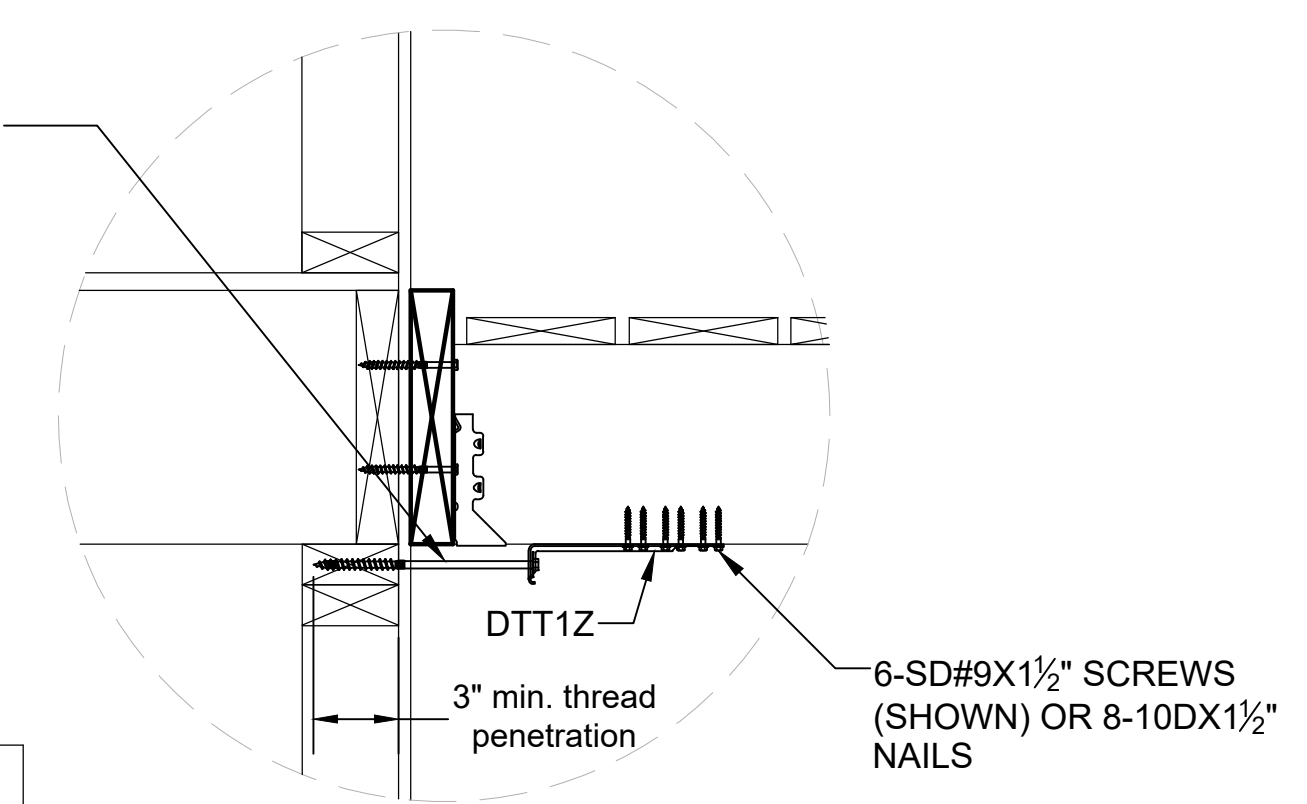
3/8" HDG LAG SCREW WITH HDG WASHER OR SDWH TIMBER-HEX HDG SCREW (SHOWN) INTO TOP PLATE, STUDS, OR HEADER

INSTALLATION:

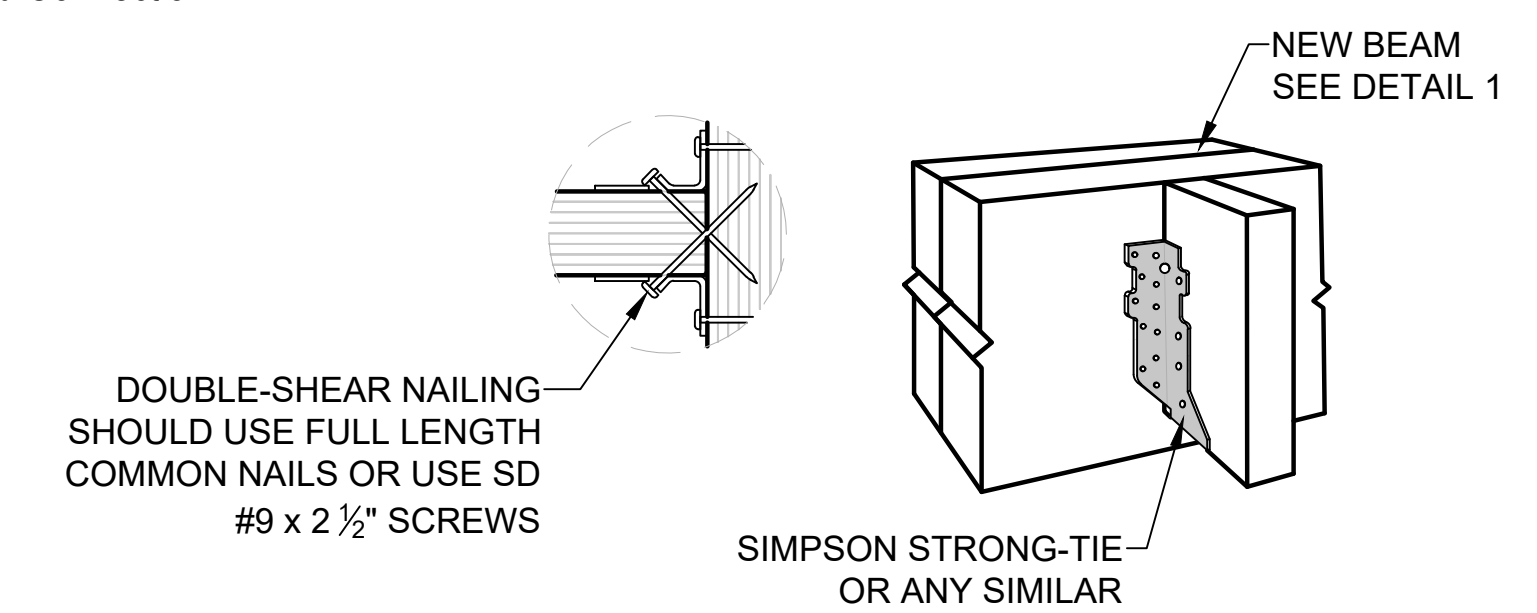
- USE ALL SPECIFIED FASTENERS.
- STRONG-DRIVE SD CONNECTOR SCREWS INSTALL WITH A 1/4" HEX HEAD DRIVER (MODEL DBHEX)
- STRONG-DRIVE SDWH TIMBER-HEX HDG SCREWS INSTALL WITH A 3/8" HEX HEAD DRIVER (MODEL DB6H1.75)

Model No.	CL	Anchor Dia.	Fasteners
DTT1Z	3/4"	3/8" or SDWH	6-SD#9x1 1/2"

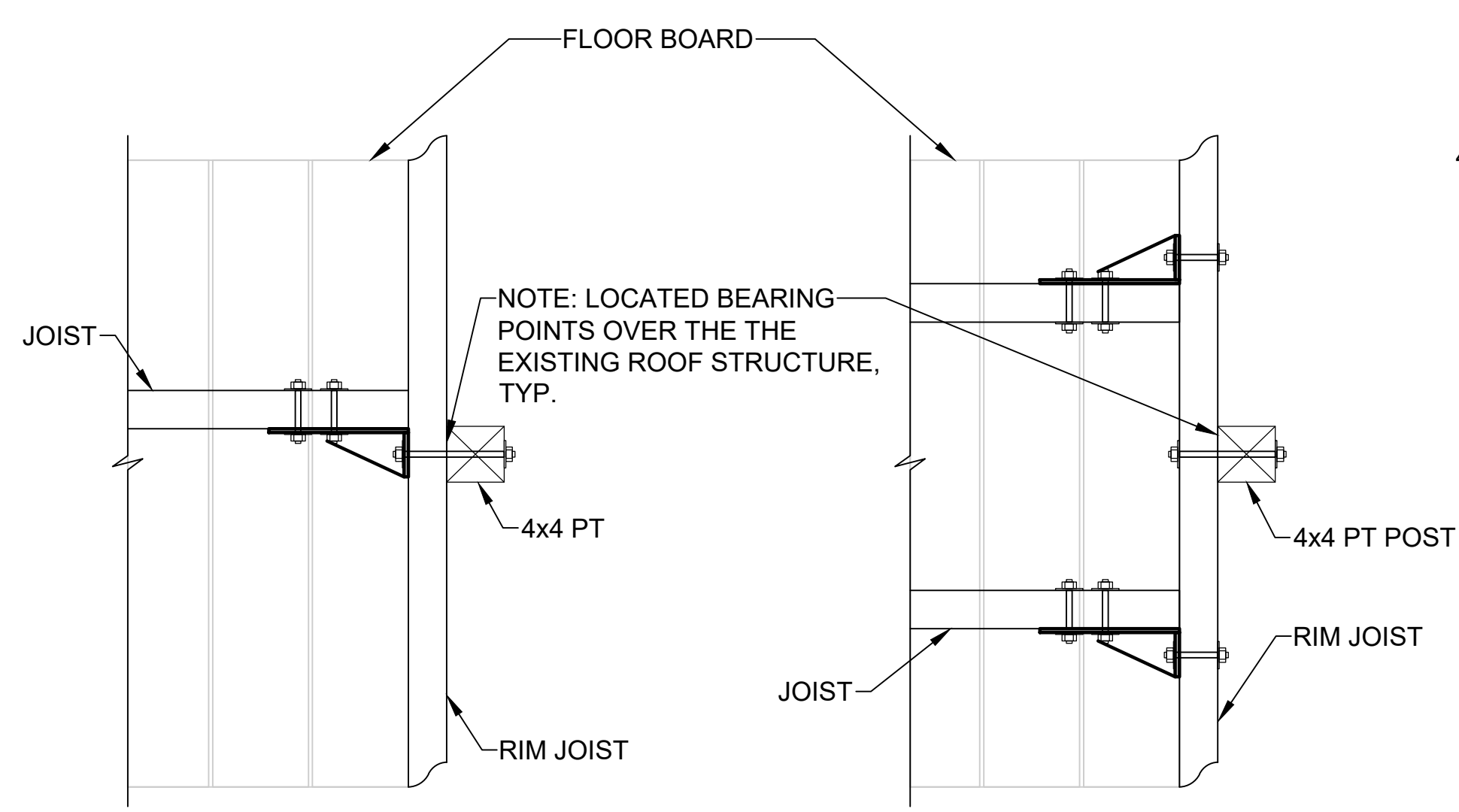
1. A 3/8" HDG round washer is required when using a lag screw.



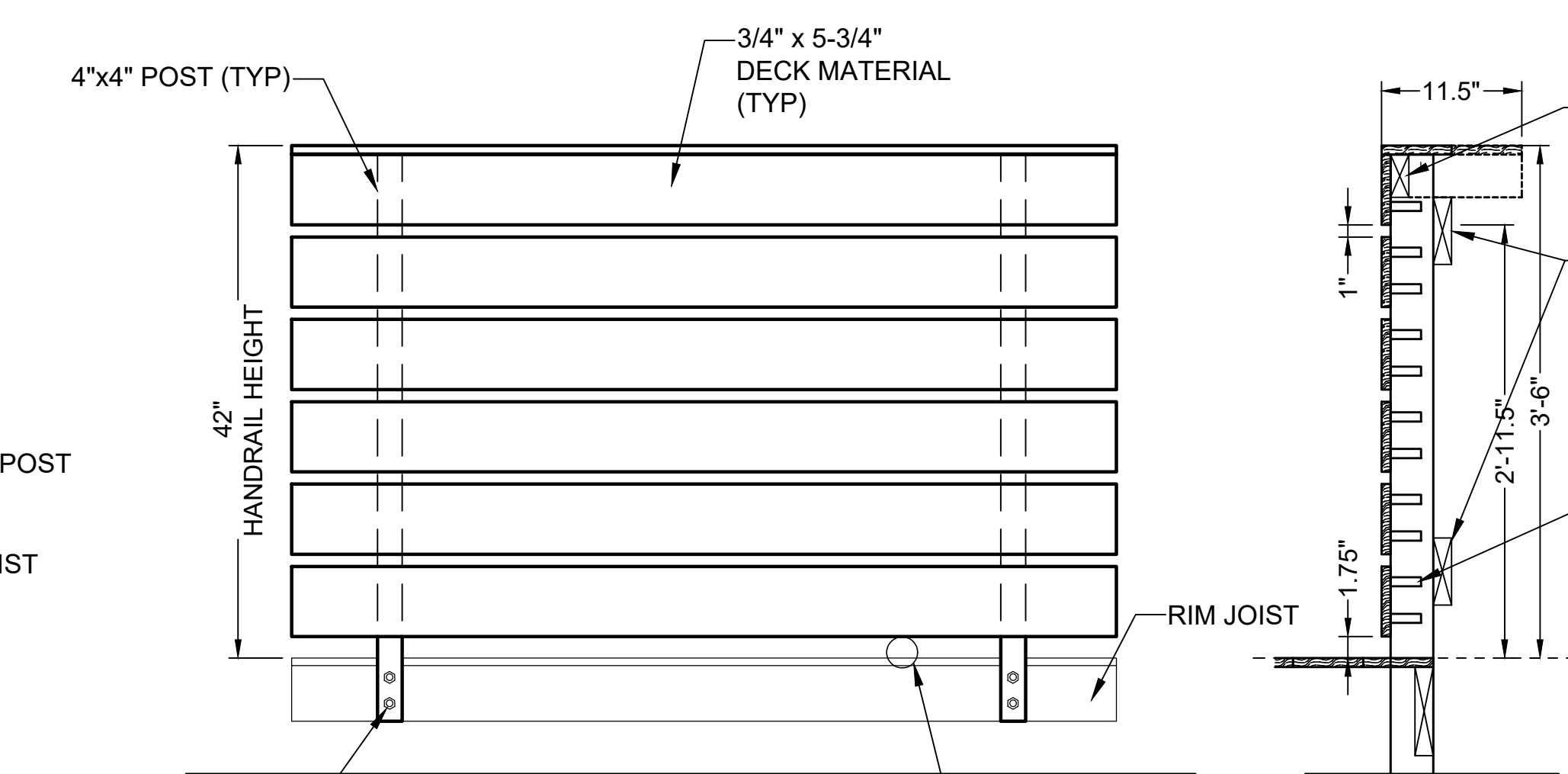
Typical DTT1Z Deck-to-House Lateral Load Connection



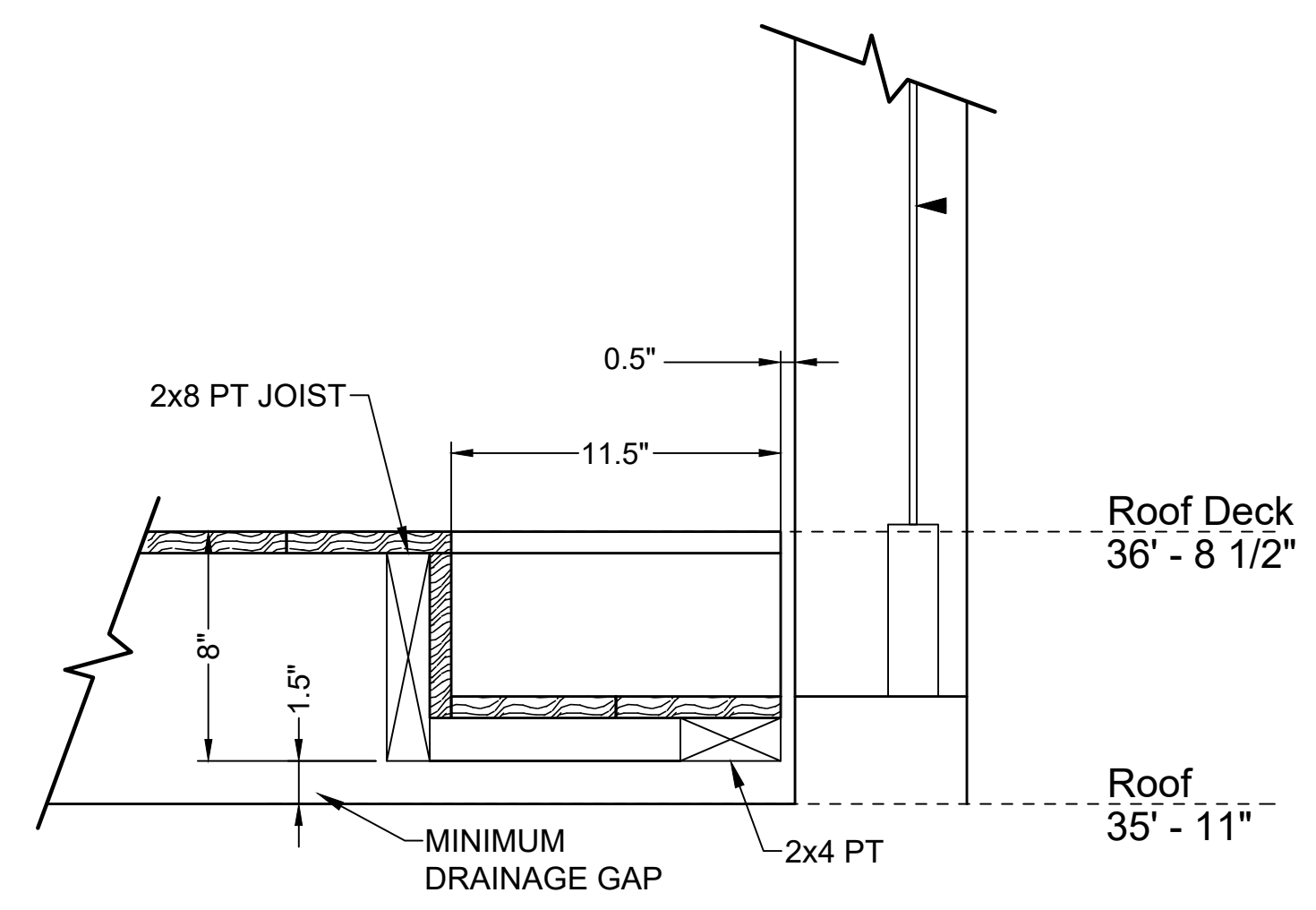
2 DETAIL
JOIST TO BEAM



5 DETAIL
POST TO EXISTING JOIST
GUARD POST TO DECK JOIST



6 DETAIL
GUARD DETAIL (TYP.)



7 DETAIL
2" = 1'-0"

NOTES

NO DRAWING REFERENCE DRAWING



REG. PROFESSIONAL	REVISION	DATE	REVISION DESCRIPTION	HM	FM	HM	FM	PROJECT APPROVAL
	0	08/27/2024	ISSUED FOR CONSTRUCTION					

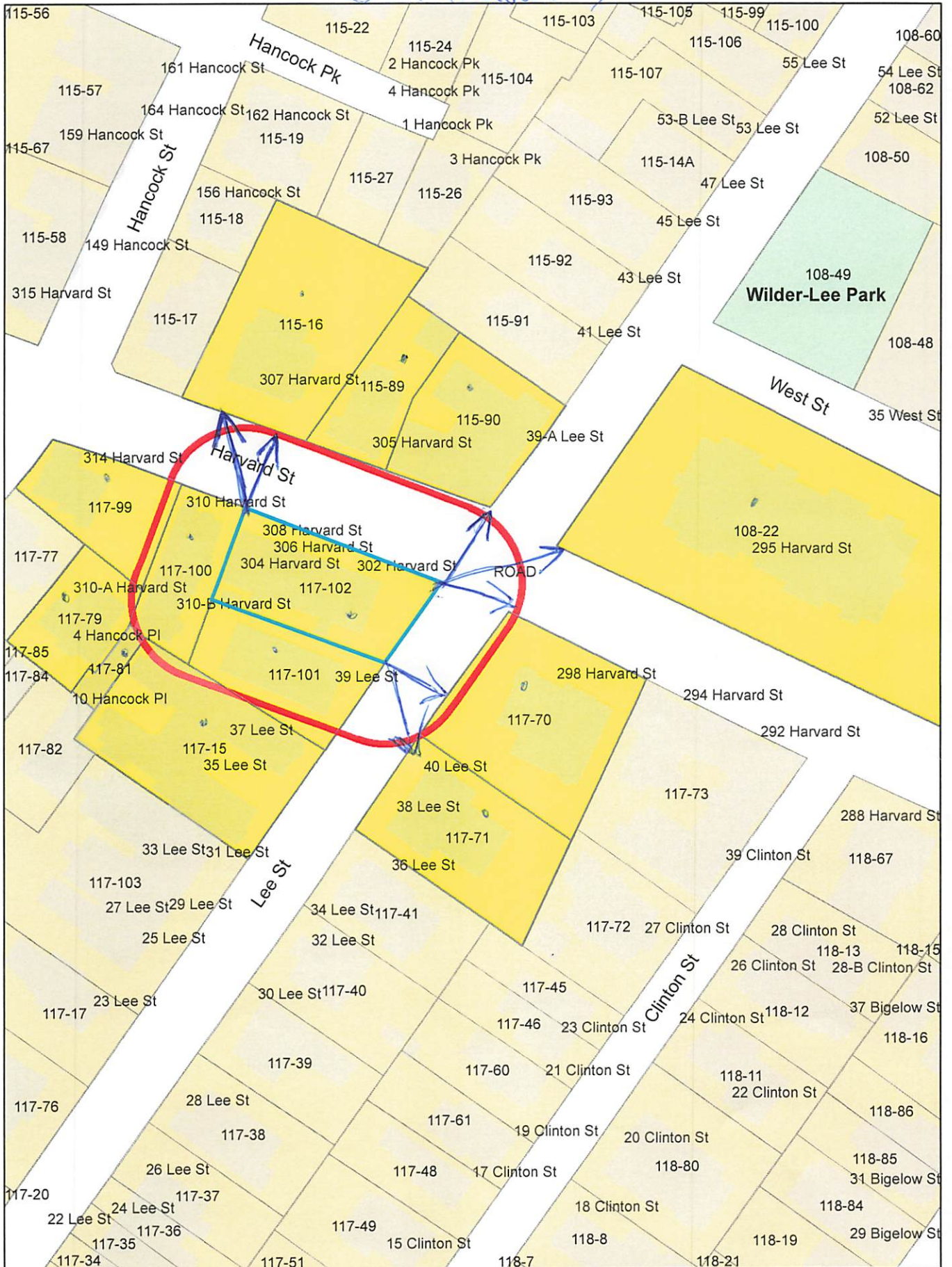


ORDERED BY: 302-308 HARVARD STREET CONDO TRUST

ROOF DECK DESIGN DESIGN & CONNECTION
302-308 HARVARD ST, CAMBRIDGE, MA 02139

DRAWING DESIGN	DESIGN ENGINEER	PROJECT NUMBER	SCALE	DATE
HM	HM	S0515MA08	AS NOTED	08/30/2024
DRAWING CHECK	DESIGN CHECK	DRAWING NUMBER		REVISION
FM	FM	MA/ S-103		0

304 Harvard St.



115-89
WHEELER, SYLVIA,
TR. RECKHOW REAL ESTATE HOLDING TR
305 HARVARD ST
CAMBRIDGE, MA 02138

108-22
HARVARD TOWERS CORPORATION
60 HOWARD ST UNIT 511
WATERTOWN, MA 02472

APRIL STONE
304 HARVARD STREET
CAMBRIDGE, MA 02139

117-15
WANG-JUN, WALTER & HOI SEE TSAO
3900 W NORTHWEST HWY - APT 1303
DALLAS, TX 75220

117-15
BEACON LEE CONDOS LLC
C/O THRIVE REALTY PARTNERS
6 LIBERTY SQ BOX 388
BOSTON, MA 02109

117-15
MACMILLAN, JEAN
37 LEE ST UNIT 8
CAMBRIDGE, MA 02139-2217

117-79
ZIEGLER, HERBERT O. &
JUDITH F. ZIEGLER, TRS
2 HANCOCK PL
CAMBRIDGE, MA 02139

117-81
PACCIA, EILEEN G.
6 HANCOCK PL UNIT 1
CAMBRIDGE, MA 02139

117-100
BLAIR, ANN M. & JONATHAN S. YEDIDIA
310 HARVARD ST UNIT 1 AND UNIT 3
CAMBRIDGE, MA 02139

117-71
COMMONS, MICHAEL L. &
PATRICE M. MILLER
234 HURON AVE
CAMBRIDGE, MA 02138

117-15
GUIGLI, MICHAEL S.
140 HIGHLAND AVENUE
SOMERVILLE, MA 02143

117-101
TSANG, ALVIN
39 LEE ST UNIT 2
CAMBRIDGE, MA 02139

117-101
HUMPHREVILLE, ROBERT A.
39 LEE ST UNIT 4
CAMBRIDGE, MA 02139

117-101
ROIFF, PAUL G.,
TR OF MILL POND REALTY T
74 CLARENDON ST. SUITE A
BOSTON, MA 02116

117-101
MACRAKIS, MICHAEL S. & LILY MACRAKIS, TRS
MACRAKIS LEE STREET REALTY TRUST
61 ELLERY ST
CAMBRIDGE, MA 021384230

117-102
KEUTSCH, FRANK N. & KARIN F. KOLB
302-308 HARVARD ST UNIT 308
CAMBRIDGE, MA 02139

117-101
HOYT, J. ALEXANDER
TRUSTEE THE FRIAR REALTY TRUST
39 LEE ST UNIT 5B
CAMBRIDGE, MA 02139

117-15
REYES, JOSHUA
35 LEE ST UNIT 3
CAMBRIDGE, MA 02139

117-15
MIN, DONG
35 LEE ST UNIT 4
CAMBRIDGE, MA 02139

117-15
GUARDINO, GERALDINE A. &
VINCENT J. GUARDINO, II
61 DANA STREET UNIT 1
CAMBRIDGE, MA 02138

117-15
LIU, DONG
11 WESTWOOD RD
LEXINGTON, MA 02420

117-15
HARMAN, FRANK PIERCE
37 LEE ST UNIT 5
CAMBRIDGE, MA 02139

117-15
INGRID, SCHORR K.
35 LEE ST UNIT 6
CAMBRIDGE, MA 02139

117-15
HANIF KARA
INFANTE PROPERTY MANAGEMENT
392 UNION AVENUE
FRAMINGHAM, MA 01702

117-15
ESSEX STREET MANAGEMENT, INC.
C/O CAMBRIDGE HOIUSING AUTHORITY
362 GREEN ST
CAMBRIDGE, MA 02139

117-15
SADOWSKI, MICHAEL J. &
ROBERT J. FESSLER
35 LEE ST UNIT 18
CAMBRIDGE, MA 02139

117-15
GOLFINOPOULOS, THEODORE
35-37 LEE ST UNIT UNIT 20
CAMBRIDGE, MA 02139

117-15
ERBAY, OMER & EBUR ERBAY
60 GLORIA CIRCLE
MENLO PARK, CA 94025

117-15
APT, ADAM JARED
37 LEE STREET UNIT 9
CAMBRIDGE, MA 02139-2217

117-15
GRIFFIN, DREW E
37 LEE ST UNIT 10
CAMBRIDGE, MA 02139

115-16
GUPTA, KRISHNA KUMAR
307 HARVARD ST
CAMBRIDGE, MA 02139

117-81
KAPOOR, BHUPESH
6 HANCOCK PL. UNIT 3
CAMBRIDGE, MA 02139

117-99
WALSH, REBECCA & NICHOLAS FUHRER
314 HARVARD ST
CAMBRIDGE, MA 02139

117-102
WALDHEIM, CHARLES A. & SIENA SCARFF
302 HARVARD ST
CAMBRIDGE, MA 02139

117-15
CARAMP, NICOLAS EDUARDO
1252 ANTELOPE AVE.
DAVID, CA 95616

117-15
FINAN, IRENE M.
35-37 LEE ST UNIT 10
CAMBRIDGE, MA 02139-2217

117-15
SRINIVASAN, MANGALAM
37 LEE ST UNIT 37/6
CAMBRIDGE, MA 02139

117-101
GARKAVTSEV, IGOR V.
39 LEE ST
CAMBRIDGE, MA 02139

117-101
ALLARD, JENNIFER L.
3 FLORAL PLACE
NEWTON, MA 02461-1247

117-70
LYONS, JENNA
298 HARVARD ST UNIT 4
CAMBRIDGE, MA 02138

117-70
MORRIS, JAMES M. & HOLLIS B. MORRIS
145 ABRAMS HILL
DUXBURY, MA 02332

117-70
HEALY, ALEXANDER D.
298 HARVARD ST 3
CAMBRIDGE, MA 02139

117-15
RANDALL DAVID & JULIA
545 S CHICAGO ST
LOS ANGELES, CA 90033

117-15
NAGGAR, GINA
35 LEE ST UNIT 9
CAMBRIDGE, MA 02139

117-70
SCHERPF JOSEPH C
TRS THE CHRISTINA REALTY TRUST
298 HARVARD ST - UNIT 2
CAMBRIDGE, MA 02139

117-101
HUANG, BAU YI POLLY
39 LEE ST UNIT 1B
CAMBRIDGE, MA 02139

117-102
EPSTEIN, MICHAEL M. & APRIL E.
TRS. UNDER A DECLARATON OF TRT
EPSTEIN-STONE REALTY TR.
302-308 HARVARD ST 304
CAMBRIDGE, MA 02139

117-100
DE ILLANES MARIA C P MIGUEL A I RONDON
310 HARVARD ST - UNIT 2
CAMBRIDGE, MA 02139

117-70
VANDERVAEREN-HUMBLET,
MARIE CLAIRE TRUTEE
C/O VANDERVAEREN-HUMBLET, MARIE CLAIRE
13 BIGELOW ST
CAMBRIDGE, MA 02139

117-102
TAYLOR ZACHARY SARAH CLARKSON
306 HARVARD ST - UNIT 306
CAMBRIDGE, MA 02139

117-81
RAHMAN OMAR
6 HANCOCK PL - UNIT 2
CAMBRIDGE, MA 02139

117-15
XU KAI
28 BEECH ST
NEWTON, MA 02458

115-90
LST CONDOMINIUM LLC
75 SARGENT RD
BROOKLINE, MA 02445

117-15
WINGFIELD, TERESA D
TRS TERESA D WINGFIELD REVOCABLE TR
35 LEE ST UNIT 8
CAMBRIDGE, MA 02139

117-15
MACA, ALLAN LEIGH, JR.
35 LEE ST. UNIT 12
CAMBRIDGE, MA 02139

117-101
LBM AND PARTNERS LLC
300 LINDEN ST
WELLESLEY, MA 02481

117-15
BUREN, ALEXANDRA V
35-37 LEE ST - UNIT 1
CAMBRIDGE, MA 02139

117-70
SUN, SHINING FAN CEN
298 HARVARD ST - UNIT 1
CAMBRIDGE, MA 02139

117-15
SOLBRIG, HEIDE F.
2 AVON ST - APT 4
CAMBRIDGE, MA 02138

117-15
TAKAISHI, KAORU AMANE TAKAISHI
35 LEE ST - UNIT 16
CAMBRIDGE, MA 02138

304 Harvard St .

303

117-15
HOLLADAY, BROOK
37 LEE ST UNIT 2
CAMBRIDGE, MA 02139



Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histncds@cambridgema.gov
www.cambridgema.gov/historic/districtsHistoricProperties/midcambridgencd

Tony Hsiao, *Chair*, Lestra Litchfield, *Vice Chair*
Monika Pauli, Charles Redmon, Katinka Hakuta, *Members*
Nan Laird, Catherine Tice, *Alternates*

CERTIFICATE OF NON-APPLICABILITY

Property: 304 Harvard Street

Applicant: April Stone

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the order establishing said district that the work described below does not involve any activity requiring issuance of a Certificate of Appropriateness or Hardship:

Extend roof deck, not visible from public way.
Permit #1138165

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.

Case Number: MC 7148

Date of Certificate: October 3, 2024

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on October 3, 2024.

By Tony Hsiao/aac, Chair

Twenty days have elapsed since the filing of this decision. No appeal has been filed ____ .
Appeal has been filed ____ . Date _____ City Clerk:




831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name:  Date:
(Print)

Address: 304 Harvard St.

Case No. BZA - 1138165

Hearing Date: 10/24/24

Thank you,
Bza Members

Pacheco, Maria

BZA-1138165

From: April Stone <aprilstone28@gmail.com>
Sent: Thursday, October 10, 2024 8:40 AM
To: Pacheco, Maria
Subject: BZA application withdrawal: 304 Harvard Street

Good morning Maria,

My husband Michael and I would like to withdraw our BZA application (304 Harvard Street), effective immediately. After giving consent for the project on September 9, earlier this week, our condo board went to great lengths to show, or so they feel, that our architect's View drawings were inaccurate. The Historic Commission doesn't agree.

We no longer feel it is worth the time and money to continue with extending our deck.

Please let me know if it is possible to return the funds given for this application.

I am meeting with Olivia later today.

This has been an unexpected, expensive ordeal.

Thank you, I've appreciated your help during this process.

April Stone

On Sep 30, 2024, at 2:11 PM, Pacheco, Maria <mpacheco@cambridgema.gov> wrote:

Hi April.

10/10 is not available anymore we are now scheduling for 10/24 but I would need it applied for and submitted by tomorrow the very latest.. If you don't make that one the next one is November 7th but you still should apply very soon. It's first apply first serve.

From: April Stone <aprilstone28@gmail.com>
Sent: Monday, September 30, 2024 1:03 PM
To: Pacheco, Maria <mpacheco@cambridgema.gov>
Subject:

Hi Maria,

I had a meeting this morning with Peter McLaughlin, Jacob Lazzara, Oliva Ratay, and Stephen Natola. Peter suggested we apply to the BZA for variance with respect to our roof deck. As permitting for a new roof for 302-308 Harvard Street is pending some time this week we were told by our roofer, Olivia mentioned the next meeting is 10/24, however it

looks online to be 10/10. Would it be possible for us to get that agenda if I submit the application today?

Thank you,
April Stone
978 729 5321