



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 OCT 13 AM 10:00
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 244071

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: John C. Buten and Sarah T. Di Troia

PETITIONER'S ADDRESS: 32 Tremont St, Cambridge, MA 02139-1223

LOCATION OF PROPERTY: 32 Tremont St, Cambridge, MA

TYPE OF OCCUPANCY: Single Family Residence **ZONING DISTRICT:** Residence C-1 Zone

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

Conversion of an attached, pre-existing, non-occupied storage structure to an accessory dwelling unit.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 4.000 Section: 4.22 (Accessory Apartments).
- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements)
- Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

(Petitioner (s) / Owner)

John Buten Sarah DiTroia
(Print Name)

Address: 32 Tremont St. Cambridge MA 02139
Tel. No. 617.230.8359
E-Mail Address: john.buten@gmail.com

Date: _____

DZA APPLICATION FORM

DIMENSIONAL INFORMATION

Applicant: John C. Buten and Sarah T. Di Troia
Location: 32 Tremont St., Cambridge, MA
Phone: 617.230.8359

Present Use/Occupancy: Single Family Residence
Zone: Residence C-1 Zone
Requested Use/Occupancy: Single Family Residence with Accessory Apartment

		Existing Conditions	Requested Conditions	Ordinance Requirements
TOTAL GROSS FLOOR AREA:		3,750	3,750	3,075 (max.)
LOT AREA:		4,100	4,100	5,000 (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		0.91	0.91	0.75
LOT AREA OF EACH DWELLING UNIT		2,100	2,100	1,500
SIZE OF LOT:	WIDTH	50	50	50
	DEPTH	82	82	100
	SETBACKS IN FEET:			
	FRONT	7.66	7.66	4
	REAR	0	0	4
	LEFT SIDE	1.3	1.3	5
	RIGHT SIDE	18	18	5
SIZE OF BUILDING:	HEIGHT	31	31	35
	WIDTH	74.33	74.33	74
	LENGTH	30	30	42
RATIO OF USABLE OPEN SPACE TO LOT AREA:		52%	52%	30%
NO. OF DWELLING UNITS:		1	1 + Accessory Apt	2
NO. OF PARKING SPACES:		2	2	0
NO. OF LOADING AREAS:		0	0	0
DISTANCE TO NEAREST BLDG. ON SAME LOT		0	0	0

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

None

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We John C. Buten & Sarah T. DiTroia
(OWNER)

Address: 32 Tremont St. Cambridge MA 02139

State that I/We own the property located at 32 Tremont St., which is the subject of this zoning application.

The record title of this property is in the name of John C. Buten & Sarah T. DiTroia

*Pursuant to a deed of duly recorded in the date 10/16/2020 Middlesex South County Registry of Deeds at Book 31927, Page 212; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

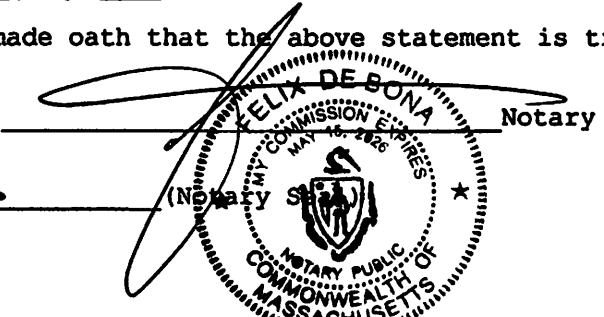
[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name John Buten & Sarah DiTroia personally appeared before me, this 22 of Sep., 2023, and made oath that the above statement is true.

My commission expires 05/15/2026



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

MASSACHUSETTS DEPARTMENT OF REVENUE

TO: THE COMMISSIONER OF REVENUE, DEPARTMENT OF REVENUE, STATE HOUSE, BOSTON, MASSACHUSETTS

FROM: *[Handwritten Name]*

SUBJECT: *[Handwritten Subject]*

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BZA Application Form

Supporting Statement For A Variance

Each of the following requirements for a variance must be established and set forth in complete detail by the applicant in accordance with MGL40A, Section 10.

- A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons: *

The Cambridge Zoning Ordinance article 4.22.1 requires accessory dwelling units be a maximum of 900 square feet or 35% of the existing gross floor area, whichever is less. Section 4.22.3 of the ordinance grants the zoning board the authority to relax the floor area ratio requirements in consideration of the dimensions of an existing structure. The existing structure at 32 Tremont Street includes an attached unheated two story carriage house currently being used for storage. The existing structure encompasses 620 square feet on each level for a total of 1,240 square feet of floor area. We would like to convert the existing carriage house structure to an accessory dwelling unit. Literal enforcement of the ordinance would result in a hardship for the homeowner, requiring the substantial modification of the existing structure at greater expense and requiring the homeowners forgo space that may be need provide for the comfort of an in-law to age in place with enough space for a caregiver.

- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons: *

The hardship is related to the existence of an attached carriage house structure on the property, which is rare in the neighborhood and the zoning district. In the immediate neighborhood, there is one property at 14 Tremont St with a detached carriage house that is being used for storage.

- C) Desirable relief may be granted without either
1) Substantial detriment to the public good for the following reasons:

The proposed plan makes limited changes in order to minimize impact to abutters and should have no negative impact to the public good. The plan keeps the footprint of the current structure, converting it from cold storage to living space. The proposal does not move any of exterior walls which are contiguous with the lot line on the East side and 3' from the lot line on the North side in non-conformance with the setback requirements. The proposal makes minimal changes to the view and light access from abutting properties at 253 Norfolk Street, 28/30 Tremont Street and 34 Tremont Street. The plan changes the roofline to enable the interior height of the second floor of the structure to be brought up to code, but does so, strategically at the furthest distance from the abutting property at 253 Norfolk. The roof height remains the same at the East edge of the structure at 20' 0", and rises to 25' 8" where it meets the ridge of the two story section of the main structure. The proposed plan modifies the windows on the west and south walls in ways compliant with zoning. The modification of the windows and the roofline results in a more modern configuration which does not adversely affect the appearance and character of the neighborhood, being set back from the street by 65 feet and being in character with modern additions and second dwellings constructed elsewhere on the block. The property currently has parking for two vehicles, minimizing the impact on traffic and parking.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

We believe this project fits within the intention of the new ADU zoning to add new housing units without substantially altering the environmental quality of their surrounding neighborhoods by converting existing structures or converting storage to living space. It is our intention to create an accessible unit which will add to the city's stock of accessible housing.

If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

Special Permit Supporting Statement

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria; e.g. fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for the associated location would not be a detriment to the public interest because:

Requirements of the Ordinance can or will be met for the following reasons: *

The Cambridge Zoning Ordinance article 4.22 allows for the creation of an accessory dwelling unit, within the envelope of an existing structure by special permit. The existing structure at 32 Tremont Street includes an attached two story carriage house covering 620 square feet on each level for a total of 1,240 square feet of floor area. We ask the zoning board in its discretion detailed in section 4.22.3 to relax the floor area ratio requirements for an accessory dwelling unit described in section 4.22.1 as 35% of the existing floor area (860 square feet) in consideration of the existing structure. We believe this fits within the intention of the new ADU zoning to add new dwelling units without substantially altering the environmental quality of their surrounding neighborhood. The proposed plan keeps the floor plan of the existing structure, converting it from cold storage to living space. The proposal does not move any of exterior walls which are contiguous with the lot line on the East side and 3' from the lot line on the North side in non-conformance with the setback requirements. The proposal makes minimal changes to the view and light access from abutting properties at 253 Norfolk Street, 28/30 Tremont Street and 34 Tremont Street. The plan changes the roofline to enable the interior height of the second floor of the structure to be brought up to code. The roof height remains the same at the East edge of the structure at 20' 0", and rises to 25' 8" where it meets the ridge of the two story section of the main structure. The proposed plan modifies the windows on the west and south walls in ways compliant with zoning. The modification of the windows and the roofline results in a more modern configuration which does not adversely affect the appearance and character of the neighborhood, being set back from the street by 65 feet and being in character with modern additions and second dwellings constructed elsewhere on the block. The plan includes changes to the exterior landscaping and access to provide for wheelchair access to the accessory dwelling unit.

Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons: *

There are no planned changes to parking or access. The addition of an accessory dwelling unit is in keeping with the established neighborhood character which consists principally of

multifamily dwellings.

The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons: *

There are no planned changes of use from the permitted C-1 multifamily dwelling.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons: *

There is no expected impact on the health, safety and/or welfare of the citizens of the City.

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons: *

The intention of this renovation is to fulfill the intent of the ordinance 4.22 to provide additional living space in existing structures, making best use of existing structures to address the growing need for housing. The owners' intention is to use the accessory dwelling unit for an elderly parent and then to enable the rental of the current residence, providing the homeowners with a more economically sized dwelling, making better use of the housing stock. By relaxing the floor area ratio requirements, the homeowners will be able to maximize the benefit of the accessory dwelling with minimal change to the existing structure. Literal enforcement of the floor area ratio requirements will result in the homeowners having to substantially modify the existing structure, removing pre-existing potential living space from the city.



Accessory Dwelling Unit Addition

Buten - DeTroia Residence

32 Tremont Street
Cambridge, MA 02139

Schematic Design Drawings Release

DRAWING INDEX

- A 001 Cover Sheet
- A 002 Site Plan / Zoning Information
- A 003 Building Information
- A 004 Survey
- A 100 Basement Plan
- A 101 First Floor Plan
- A 102 Second Floor Plan
- A 103 Roof Plan
- A 201 West Elevation
- A 202 South Elevation
- A 203 East Elevation
- A 204 North Elevation
- A 301 Building Section
- A 302 Building Section
- A 303 Building Section

- X 100 Existing Basement Floor Plan
- X 101 Existing First Floor Plan
- X 102 Existing Second Floor Plan
- X 103 Existing Third Floor/Roof Plan
- X 201 Existing West Elevation
- X 202 Existing South Elevation
- X 203 Existing East Elevation
- X 204 Existing North Elevation

ARCHITECT
KMA, LLC
1 Bridge Street
Newton, MA 02458

SURVEYOR/SITE ENGINEER
Snelling and Hamel Associates
10 Lewis Street
Lincoln, MA 01773

STRUCTURAL ENGINEER
tbd



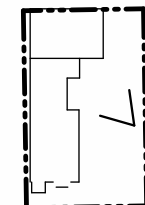
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+ACCESSIBILITY**
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NEWTON MA
02458-1132
KMACCESS.COM
617.641.2802

Buten - DiTroia Residence

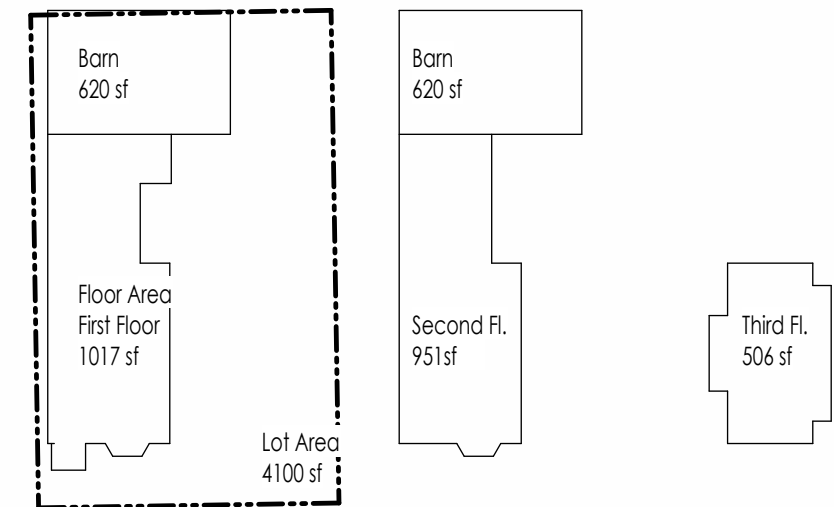
32 Tremont Street
Cambridge, MA 02139

Cover Sheet - SD

Date: AUGUST 15, 2023



A-001



Lot Area	4100 sf	
Floor Area	Second Floor	Third Floor
First Floor	951 sf	506 sf
Barn	620 sf	
620 sf		

Allowable FAR .75
 Existing FAR = Existing Residence/Existing Lot area
 = (Ex. 1st + Ex. 2nd + Ex. 3rd)/4,100
 = (1,017+951+506)/4,100 = 2,474/4,100
 = .60
 = (Ex. Barn 1st + Ex. Barn 2nd)/4,100
 = (620+620)/4,100 = 1,240/4,100
 = .30
 Total Exist. Residence and Barn = .30 + .60 = *.90
 Allowable FAR = .75 x 4,100 = 3,075 sf
 = 3,075 sf allowed - 2,474 sf existing house = 601 sf
 So, allowed to build up to 601 sf in addition to the ex. house

1 00 Site Plan - SD
 1" = 40'-0"

BUILDING CODE INFORMATION

APPLICABLE CODES

- 1. BUILDING 9th Ed. of the MA Residential Code for 1- and 2-family Dwellings (MA State Building Code (780 CMR), 2015 IRC)
- 2. PLUMBING MA State Fuel Gas and Plumbing Code (248 CMR)
- 3. MECHANICAL MA Mechanical Code 2015
- 4. ELECTRICAL MA Electrical Code 2020
- 5. FIRE PREVENTION MA Fire Code 2015
- 6. ENERGY MA Energy Code 2021, 2021 IECC (Stretch Energy Code)
- 7. ACCESSIBILITY MA Architectural Access Board (521 CMR)

PROJECT DESCRIPTION:

Scope of project is to rebuild existing attached barn, creating an accessory dwelling unit.

DESCRIPTION	CODE REF.	REQUIRED	PROPOSED
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GENERAL			
USE GROUP	IBC §310	SINGLE FAMILY	SINGLE FAMILY
No. OF STORIES		2 1/2	2 1/2
CONSTRUCTION TYPE			TYPE VB

BUILDING PLANNING & CONSTRUCTION

CLIMATE & GEOGRAPHIC DESIGN CRITERIA	MRC TABLE R301.2	GROUND SNOW LOAD	40 PSF
		ROOF SNOW LOAD	30 PSF
		WIND DESIGN SPEED	128 MPH
		TOPOGRAPHIC EFFECTS	NO
		SEISMIC DESIGN CATEGORY	N/A
		WEATHERING	SEVERE
		FROST LINE DEPTH	48"
		TERMITE (TABLE R301.2 (6))	MODERATE TO HEAVY
		WINTER DESIGN TEMP	DRY BULB
		ICE BARRIER UNDERLAYMENT FOR ROOFING, SEE R905.2.7.1	
		FLOOD HAZARDS (§322.0)	ZONE X (500 YR.)
		AIR FREEZING INDEX/APPLICABLE TO SHALLOW (TABLE R403.3(2)) FOUNDATIONS; 1500 OR LESS	
		MEAN ANNUAL TEMP	50.1°F

PROTECTION OF OPENINGS	MRC §R301.2.1.2	WINDOWS MUST MEET LARGE MISSILE TEST OF ASTM E1996 & E1886; GARAGE DOOR GLAZED OPENING TO MEET ANSI/DASMA 115	COMPLIES
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WIND EXPOSURE CATEGORY	MRC §R301.2.1.4	B (SUBURBAN) LOT IS NOT LOCATED IN A WIND BORNE DEBRIS REGION	COMPLIES
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FLOOD ZONE CONSTRUCTION STANDARDS	MRC §R322.2	COMPLIES PROPOSED WORK IS NOT IN FLOOD ZONE	COMPLIES
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DWELLING/GARAGE OPENING/PENETRATION PROTECTION	MRC §R302.5	NO GARAGE OPENINGS TO BEDROOMS 20 MIN RATED, SOLID WOOD DOORS (MIN. 1-3/8" THICK), OR SOLID OR HONEY COMB CORE STEEL DOORS (MIN. 1-3/8" THICK). EQUIPPED WITH A SELF CLOSING DEVICE PROTECTED PENETRATIONS AS REQ'D DUCT PENETRATIONS IN 26GA SHEET STEEL	COMPLIES
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DWELLING/GARAGE FIRE SEPARATION	MRC §R302.6	REQUIRES THE FOLLOWING: FROM THE RESIDENCE & ATTICS: 1/2" GWB APPLIED TO GARAGE SIDE FROM HABITABLE ROOMS ABOVE GARAGE: 5/8" TYPE X GWB FROM STRUCTURE SUPPORTING SEPARATING ASSEMBLIES: 1/2" GWB	COMPLIES
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FIREBLOCKING	MRC §R302.11	CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH HORZ. & VERT.) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN TOP STOREY AND THE ROOF SPACE	COMPLIES
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HABITABLE ROOMS	MRC §R303.1	GLAZING AREA = 8% OF FLOOR AREA. NATURAL VENTILATION OPERABLE AREA = 4% OF FLOOR AREA OR: WHERE ALLOWED BY §310, MECH VENTILATION ARTIFICIAL LIGHTING PER CODE	COMPLIES
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BATHROOMS	MRC §R303.3	MECHANICAL VENTILATION IS REQUIRED IF SHOWER OR BATHTUB.	COMPLIES
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MIN ROOM DIMENSIONS	MRC §R304	HABITABLE ROOMS: 70 SF MIN. ONE DIM 7' MIN. EX. KITCH. IF <5' HT, DOESN'T COUNT	COMPLIES
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CEILING HEIGHT	MRC §R305.1	HABITABLE SPACE, HALLS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS	7' MIN.; COMPLIES
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BASEMENTS BASEMENT BEAMS	6'-8" MIN 6'-4" CLR		
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SLOPED CEILINGS	MIN. 50% OF REQ. AREA HAS 7' CEILING; 5' MIN. FOR REQ. AREA		
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MEANS OF EGRESS	MRC §R311.1.2	REQUIRED FROM DWELLING AT A NORMAL LEVEL OF EXIT. 32" MIN. WIDTH FOR PRIMARY DOOR. LANDING REQUIRED BOTH SIDES, 36" MIN. IN DIR. OF TRAVEL.	COMPLIES
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LANDING MUST BE NO LOWER THAN 1 1/2" BELOW T.O. THRESHOLD; IF DOOR SWINGS IN, EXTERIOR LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW T.O. THRESHOLD.			
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STAIRWAYS	MRC §R311.7	36" MIN WIDTH HANDRAIL ON ONE SIDE MIN. 6'-8" HEADROOM MIN. RISERS: 8 1/4" MAX TREADS: 9" MIN. LANDINGS 36" MIN. IN DIR. OF TRAVEL.	COMPLIES
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GUARDS	MRC §R312	REQUIRED IF 30" ABOVE GRADE MEASURED 36" PROUD. MIN. 36" HIGH (34" AT STAIRS) <4" SPHERE OPENING MAX.(4 3/8" @ STAIRS); <6" SPHERE MAX NEAR STAIR TREAD	COMPLIES
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SMOKE ALARMS	MRC §R314	PHOTOELECTRIC LISTED PER UL 217 OR UL 268; TO BE INSTALLED PER MRC AND NFPA 72 MONITOR WITH SUPERVISING STATION (PER NFPA 72) UNLESS ALARMS MEET §R314.4	COMPLIES
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INSTALL:
 -IN EACH SLEEPING ROOM
 -OUTSIDE EACH SEPARATE SLEEPING AREA NEAR BEDROOMS
 -ON EACH STOREY
 -NEAR THE BASE OF ALL STAIRS
 -FOR EACH 1200 SF AREA OR PART THEREOF INTERCONNECT ALARMS (ONE TRIGGERS ALL).

CO ALARMS	MRC §315.1 MGL C148, §26F1/2 527 CMR §13.7.6; TABLE 13.7D 248 CMR NFPA 720	INSTALL PER UL 2034 or UL 2075 - ONE PER EACH LEVEL WITH SLEEPING AREA - ONE PER HABITABLE PORTIONS OF BASEMENTS & ATTICS - OUTSIDE SLEEPING AREA BUT WITHIN 10' FROM BR DOOR - INTERCONNECT ALARMS; SECONDARY POWER PER NFPA 72	COMPLIES
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ENERGY EFFICIENCY ENERGY CODE	MRC §11 IECC 780 CMR APPENDIX AA	FOLLOW STRETCH ENERGY CODE.	
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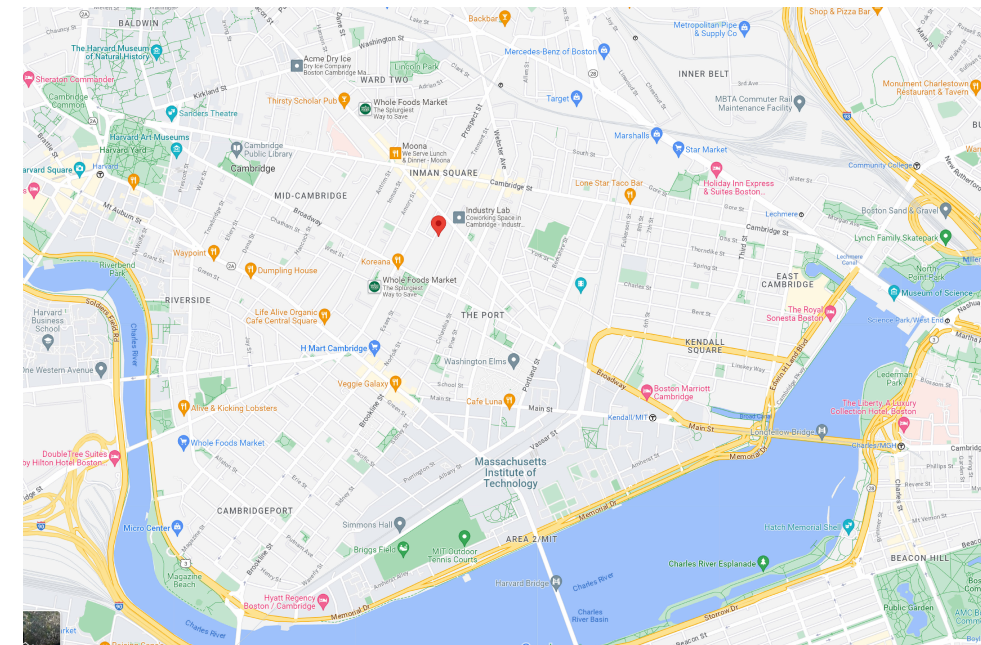
MA Energy Code 2021, 2021 IECC (Stretch Energy Code) APPLIES TO NEW WORK.

PER AA §101.4.3, STRETCH ENERGY CODE APPLIES TO NEW WORK. NEW ROOF MEMBRANE IS INSTALLED, THE ASSEMBLY MUST HAVE A VALUE MINIMALLY OF R-49.

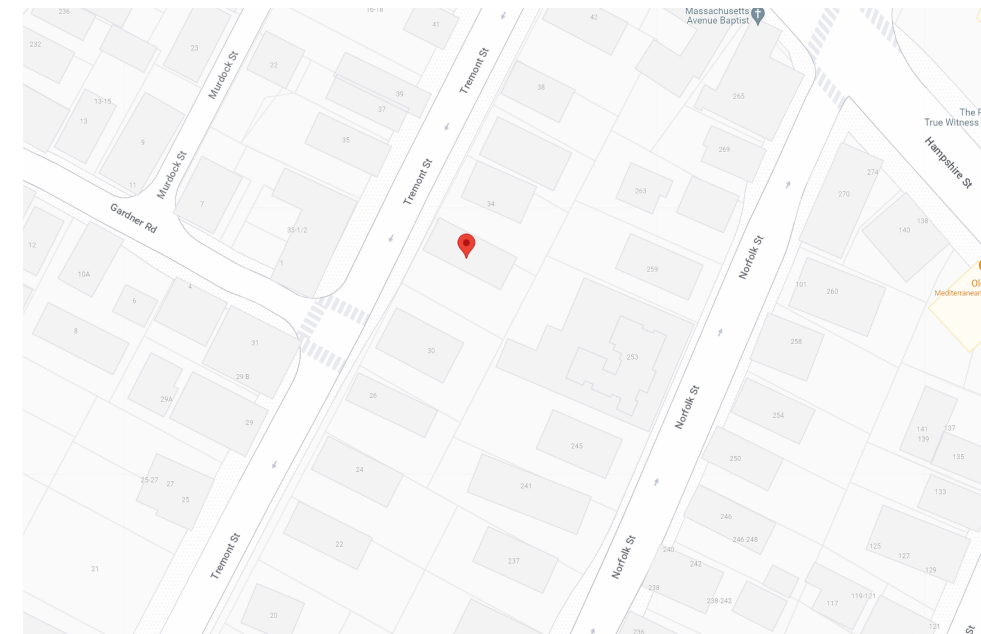
PER AA §401.5, WALL CAVITY INSULATION: R-20 BATT IN 2X6 CAVITIES, R-26 IN 2X8 CAVITIES.

ALSO PER AA §101.4.3 AND §401.5, ANY NEW EXTERIOR DOORS, PER §401.3, ARE TO HAVE U VALUES AS FOLLOWS: Opaque ≤ 0.21; ½-Lite ≤ 0.27 U VALUE, ≤ 0.30 SHGC; > ½-Lite ≤ 0.32 U VALUE, ≤ 0.30 SHGC. ANY NEW WINDOWS SHALL HAVE A U-FACTOR OF ≤ 0.30. ANY NEW SKYLIGHTS SHALL HAVE A U-FACTOR OF ≤ 0.55.

SITE MAP

 32 Tremont Street, Cambridge, MA 02139

VICINITY MAP



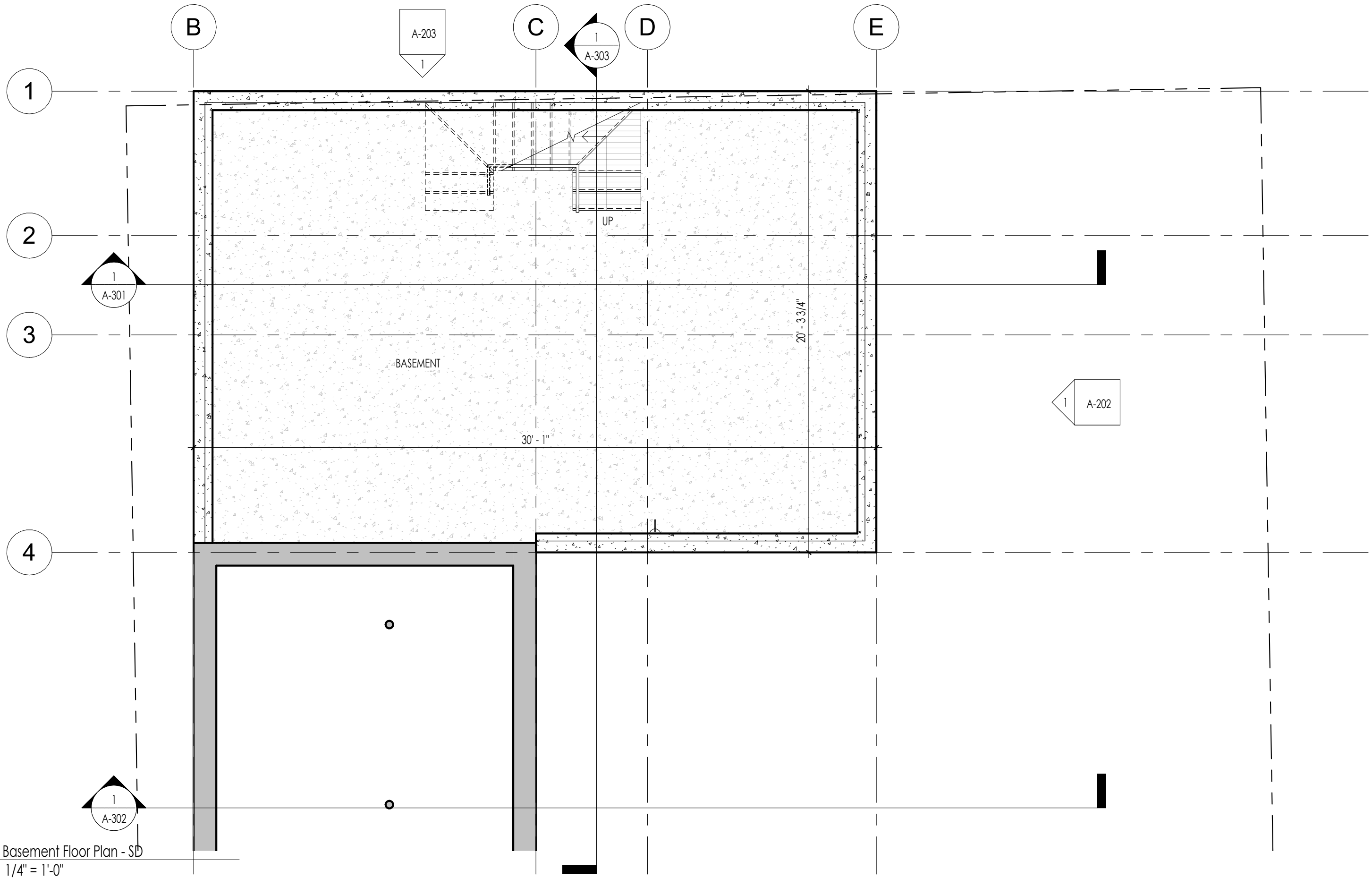
Buten - DiTroia Residence

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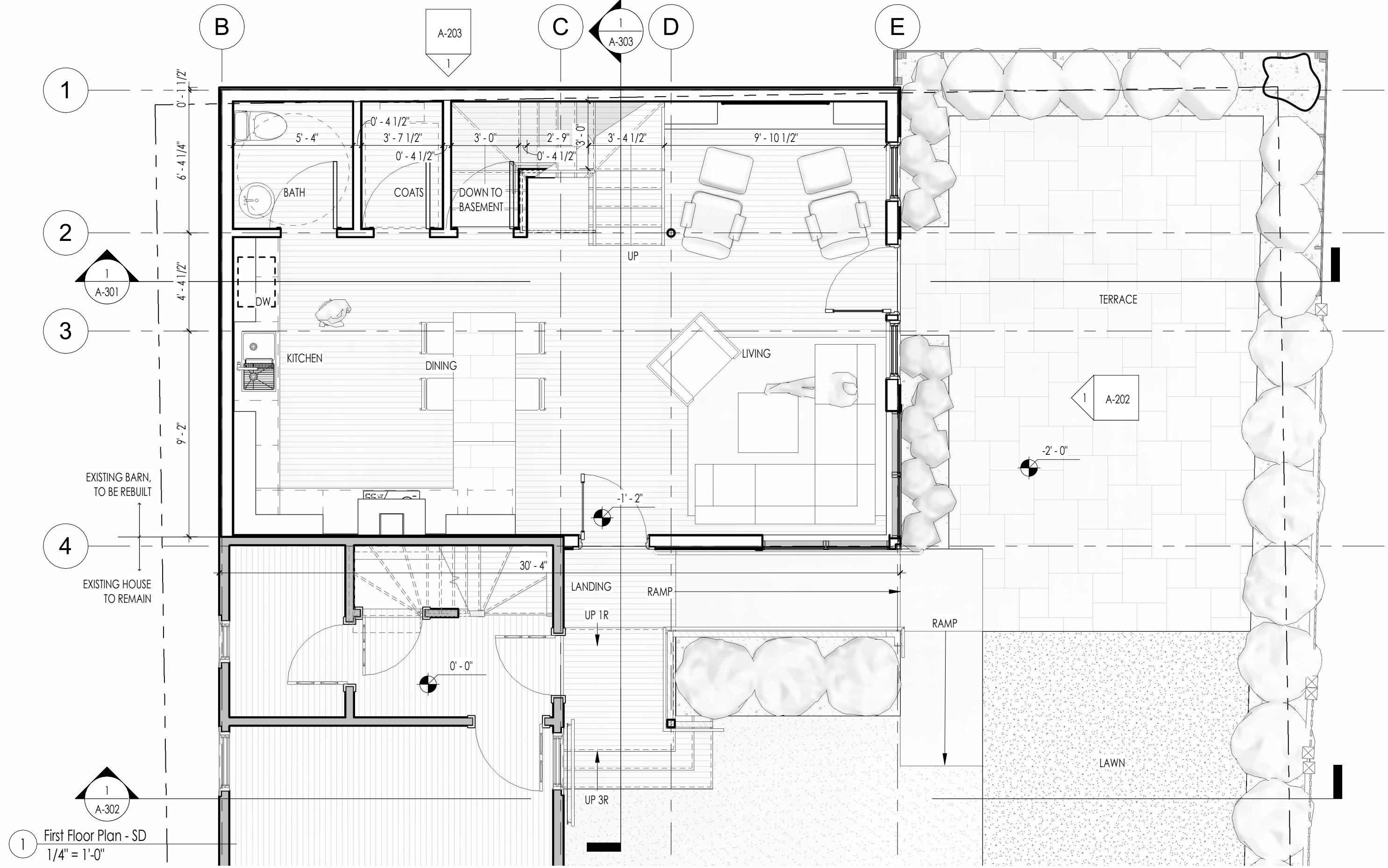
Building Information - SD

Date: AUGUST 15, 2023

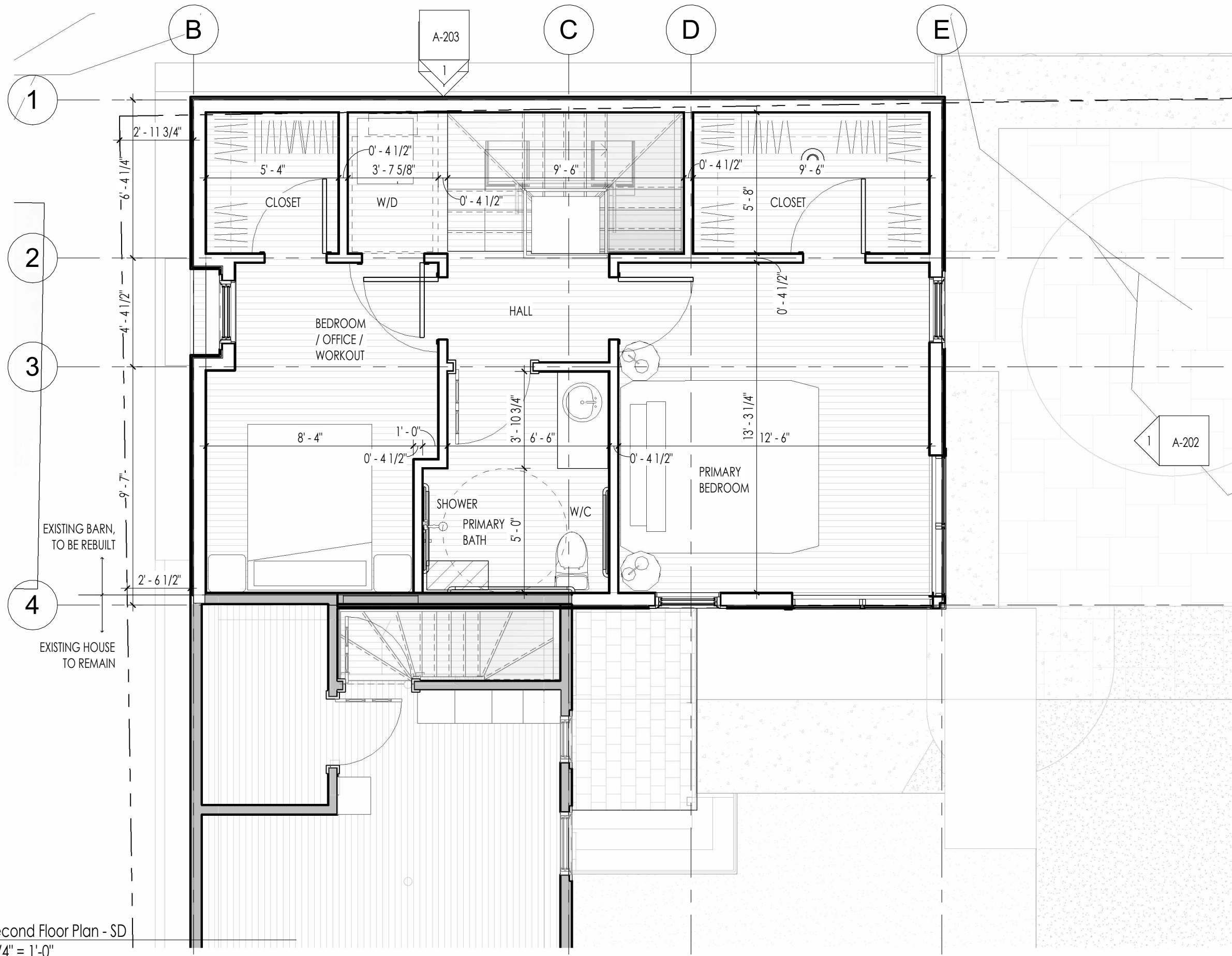
A-003



1 Basement Floor Plan - SD
 1/4" = 1'-0"



1 First Floor Plan - SD
1/4" = 1'-0"

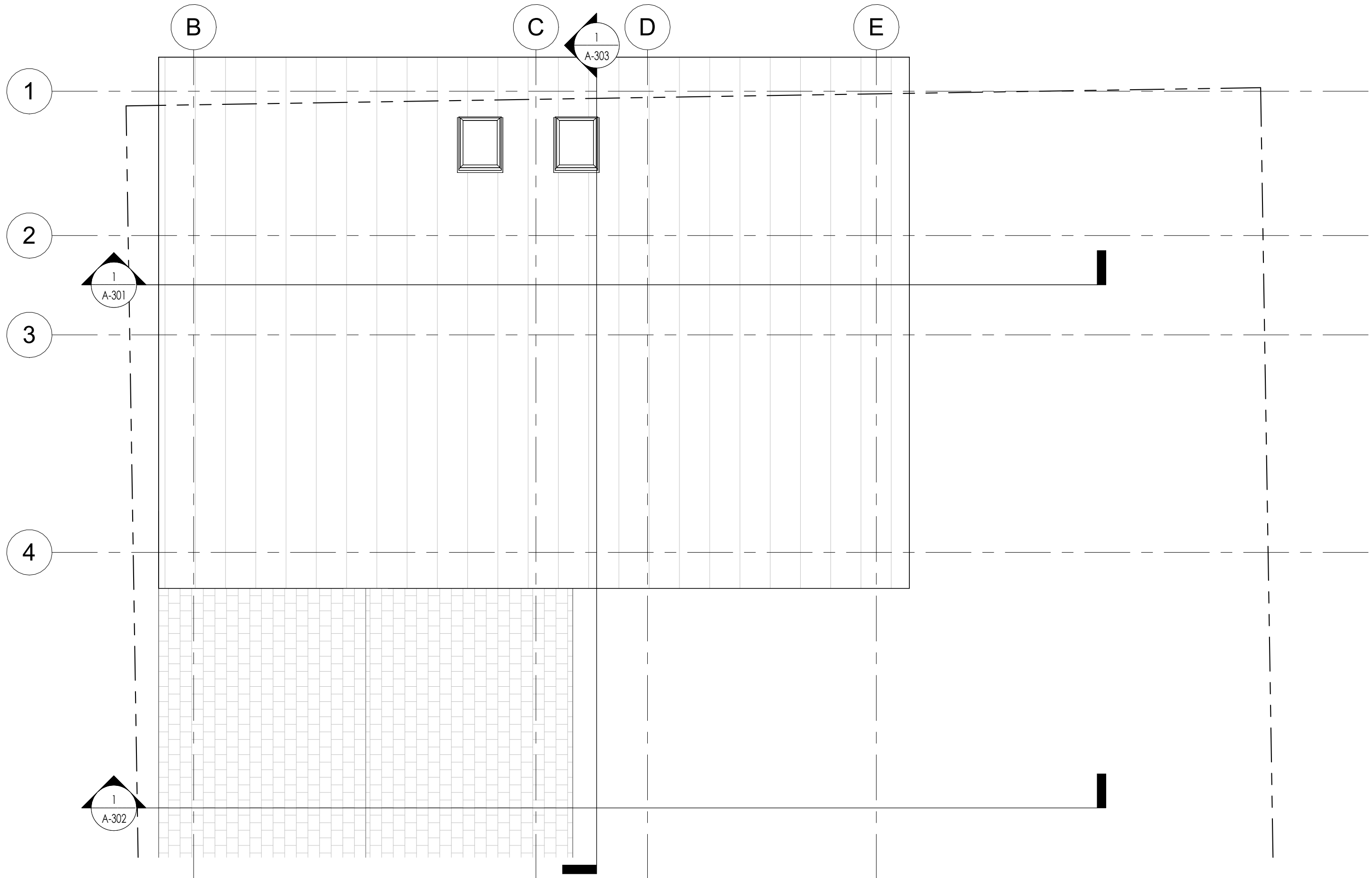


1 Second Floor Plan - SD
 1/4" = 1'-0"



Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

Second Floor Plan - SD
 Date: AUGUST 15, 2023





1 West Elevation - SD
1/4" = 1'-0"

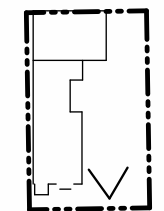


Buten - DiTroia Residence

32 Tremont Street
Cambridge, MA 02139

West Elevation - SD

Date: AUGUST 15, 2023





1 South Elevation - SD
1/4" = 1'-0"



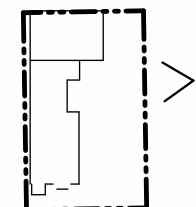
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Buten - DiTroia Residence

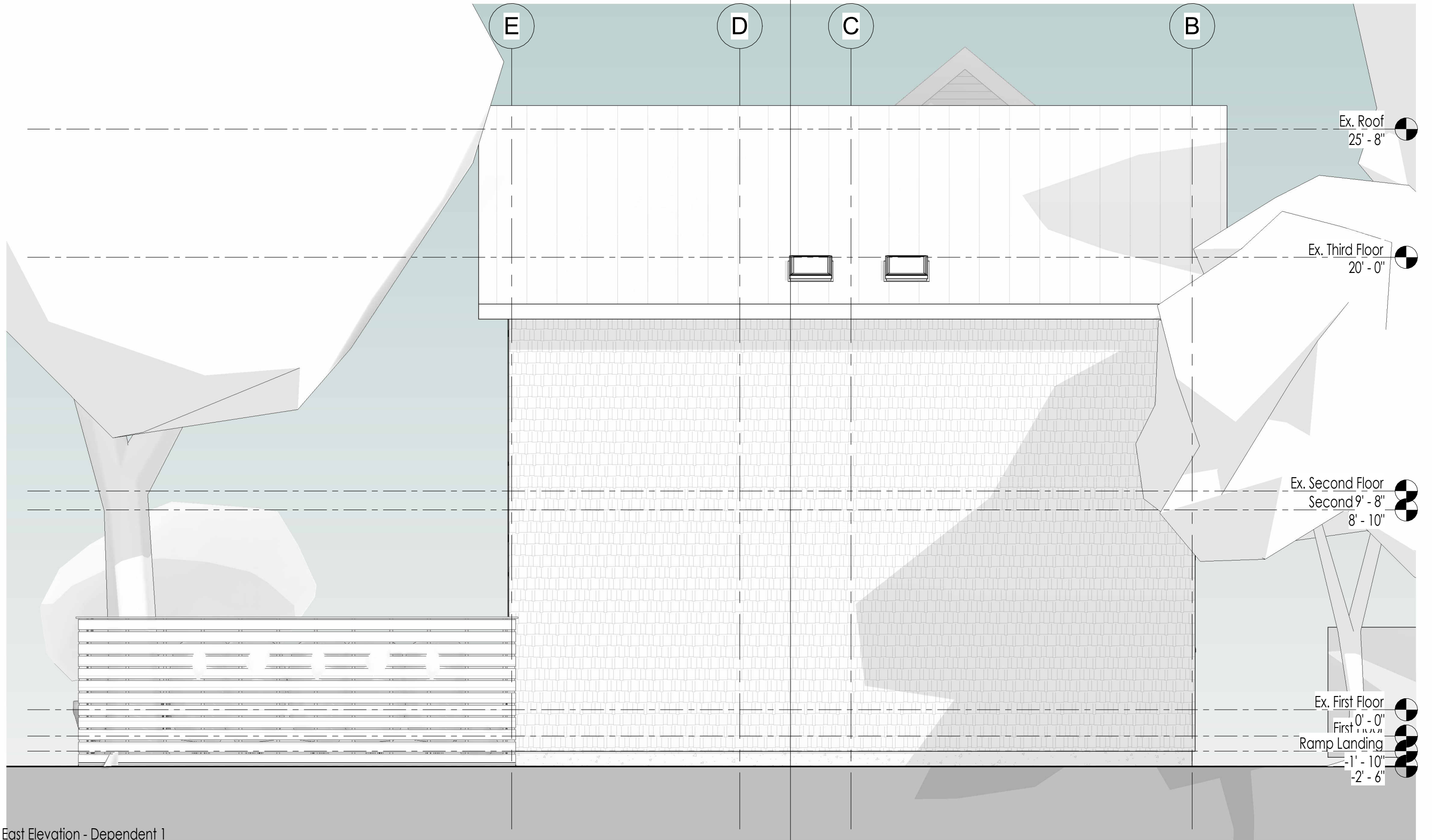
32 Tremont Street
Cambridge, MA 02139

South Elevation - SD

Date: AUGUST 15, 2023



A-202



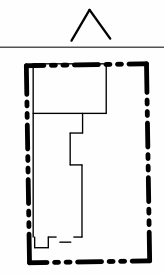
1 East Elevation - Dependent 1
 1/4" = 1'-0"

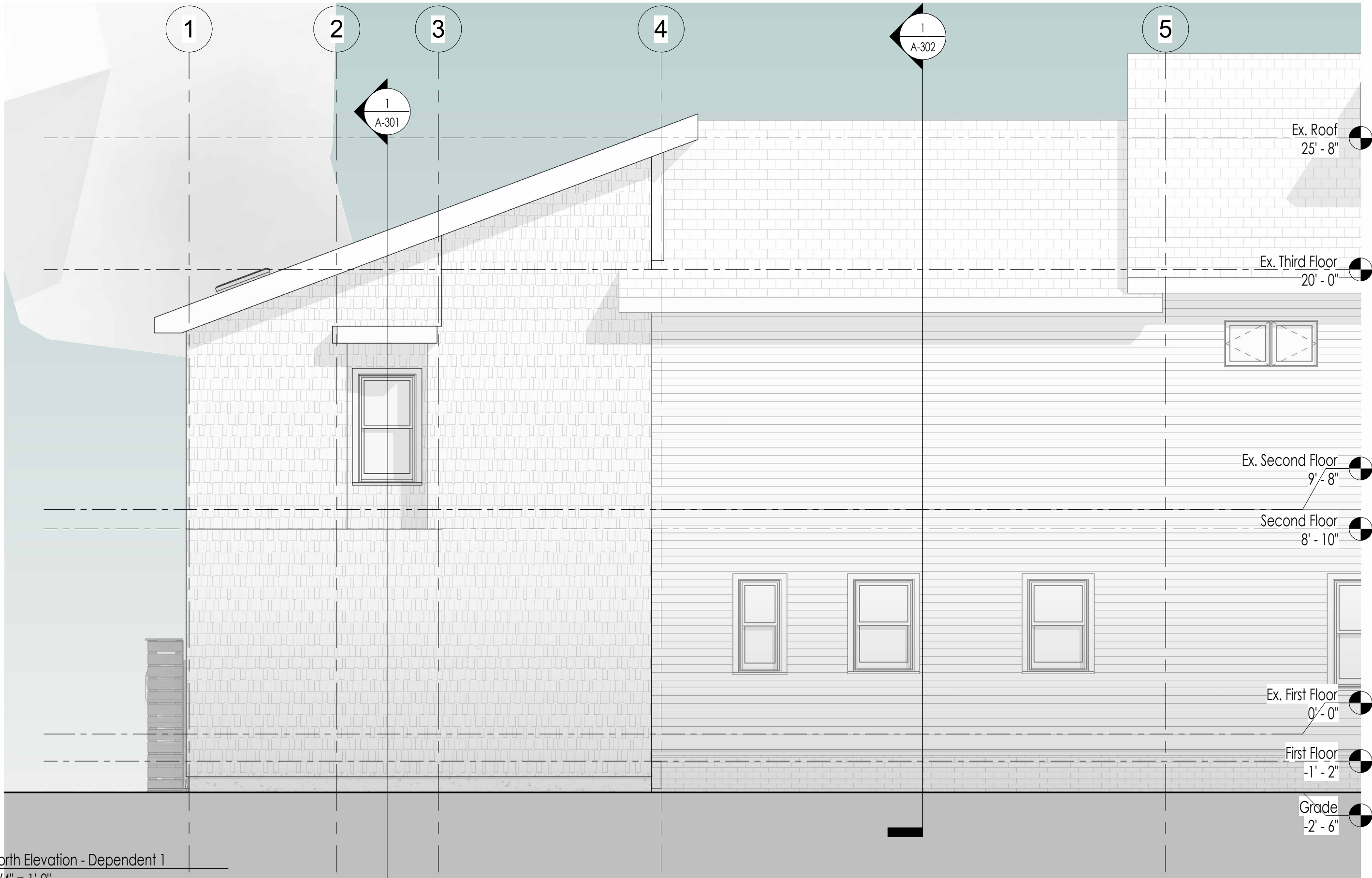
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KMA
 ARCHITECTURE
 + ACCESSIBILITY
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Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

East Elevation - SD
 Date: AUGUST 15, 2023





1 North Elevation - Dependent 1
 1/4" = 1'-0"



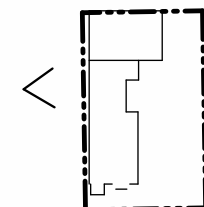
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 +ACCESSIBILITY**
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 KMACCESS.COM
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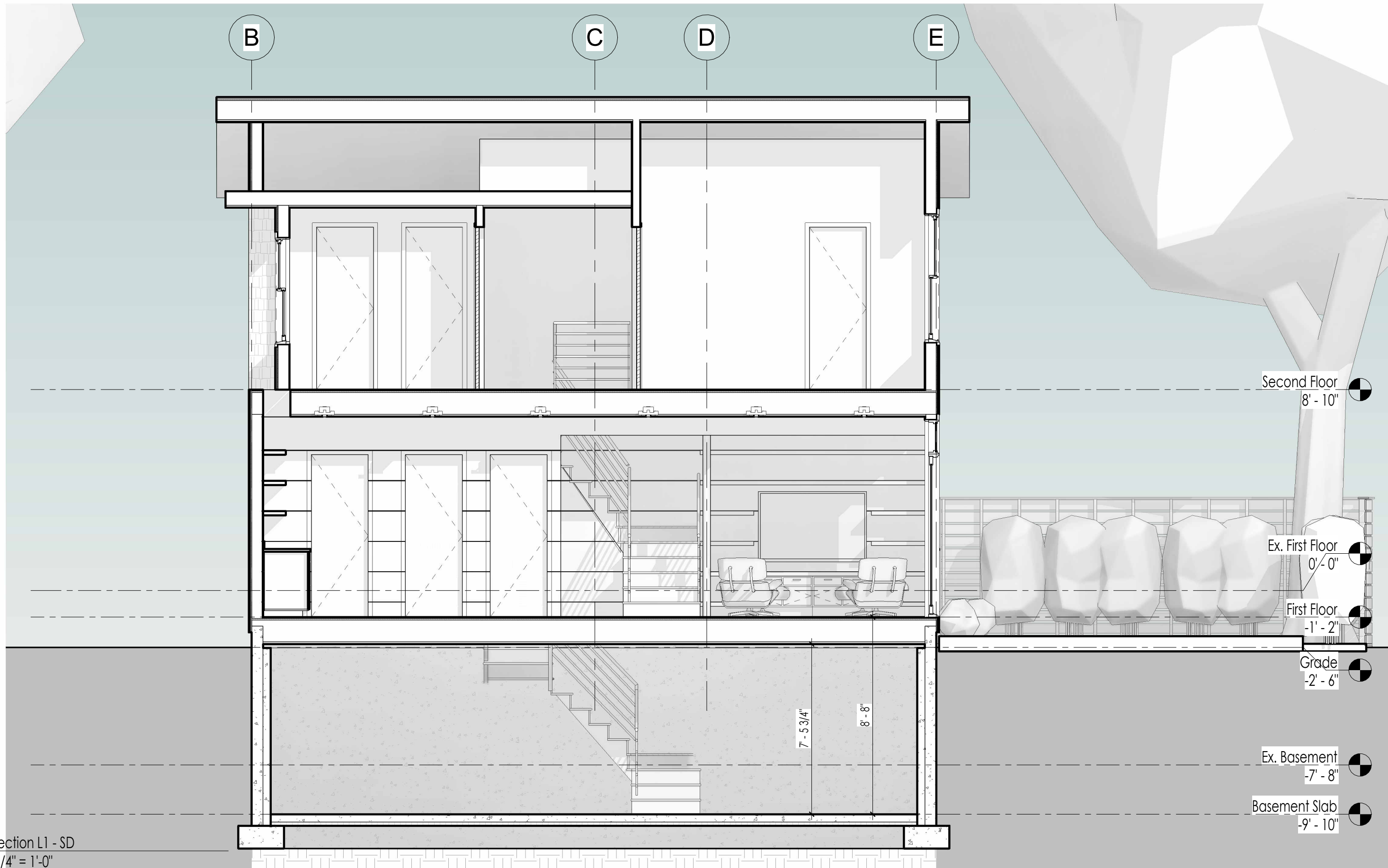
Buten - DiTroia Residence

32 Tremont Street
 Cambridge, MA 02139

North Elevation - SD

Date: AUGUST 15, 2023



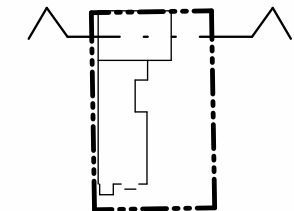


1 Section L1 - SD
 1/4" = 1'-0"



Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

North South Section 1 - SD
 Date: AUGUST 15, 2023





1 Section L2 - SD
1/4" = 1'-0"

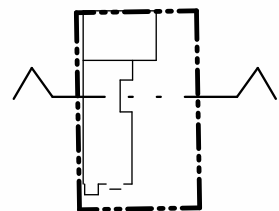
KMA
 ARCHITECTURE
 + ACCESSIBILITY
 ONE BRIDGE ST
 NEWTON MA
 02458-1132
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 617.641.2802

Buten - DiTroia Residence

32 Tremont Street
 Cambridge, MA 02139

North South Section 2 - SD

Date: AUGUST 15, 2023



A-302



1 Proposed Section T1 - SD
1/4" = 1'-0"

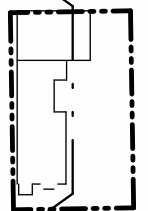


Buten - DiTroia Residence

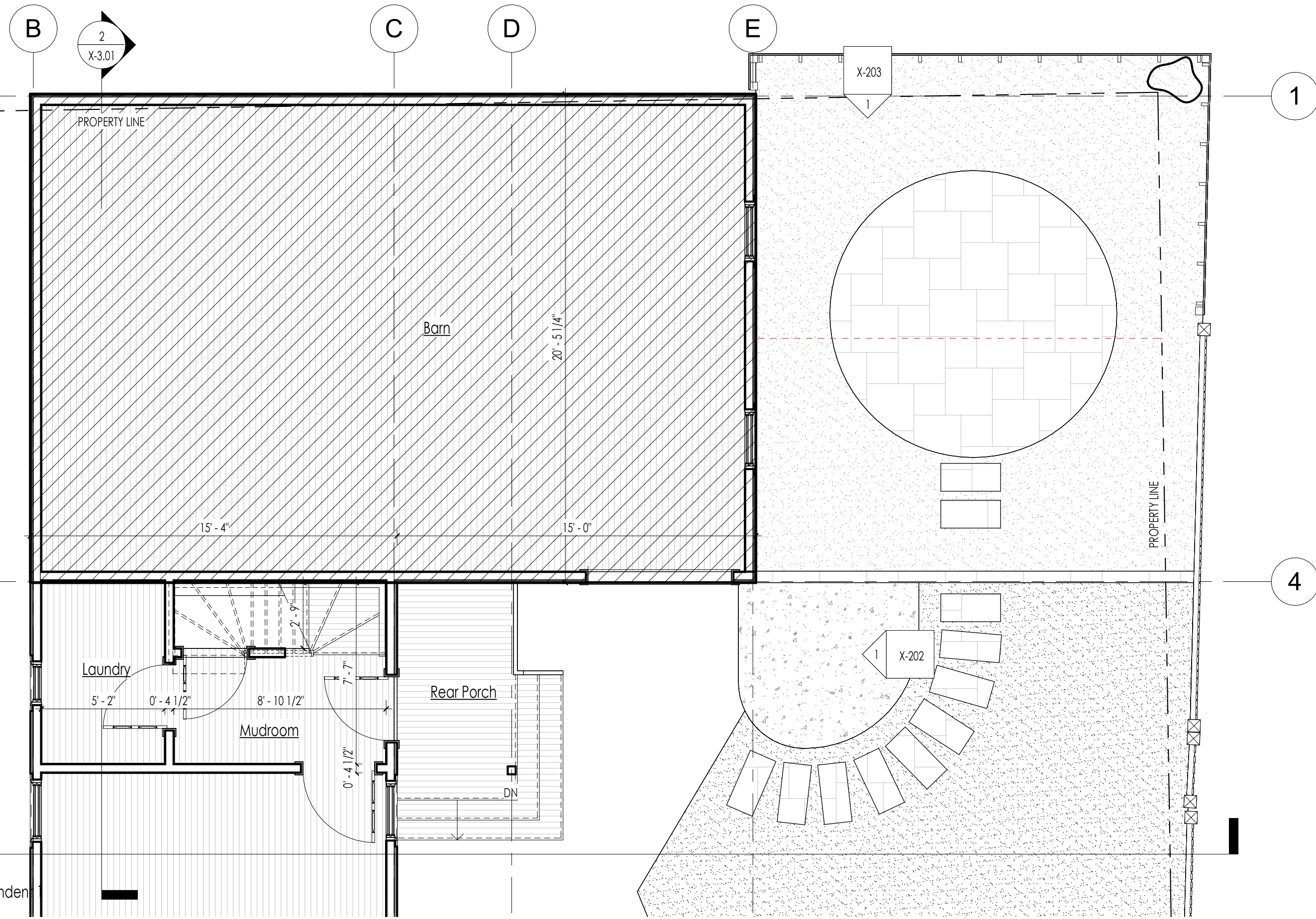
32 Tremont Street
Cambridge, MA 02139

East West Section - SD

Date: AUGUST 15, 2023



A-303



02 Existing First Floor Plan - Dependent
 1/4" = 1'-0"

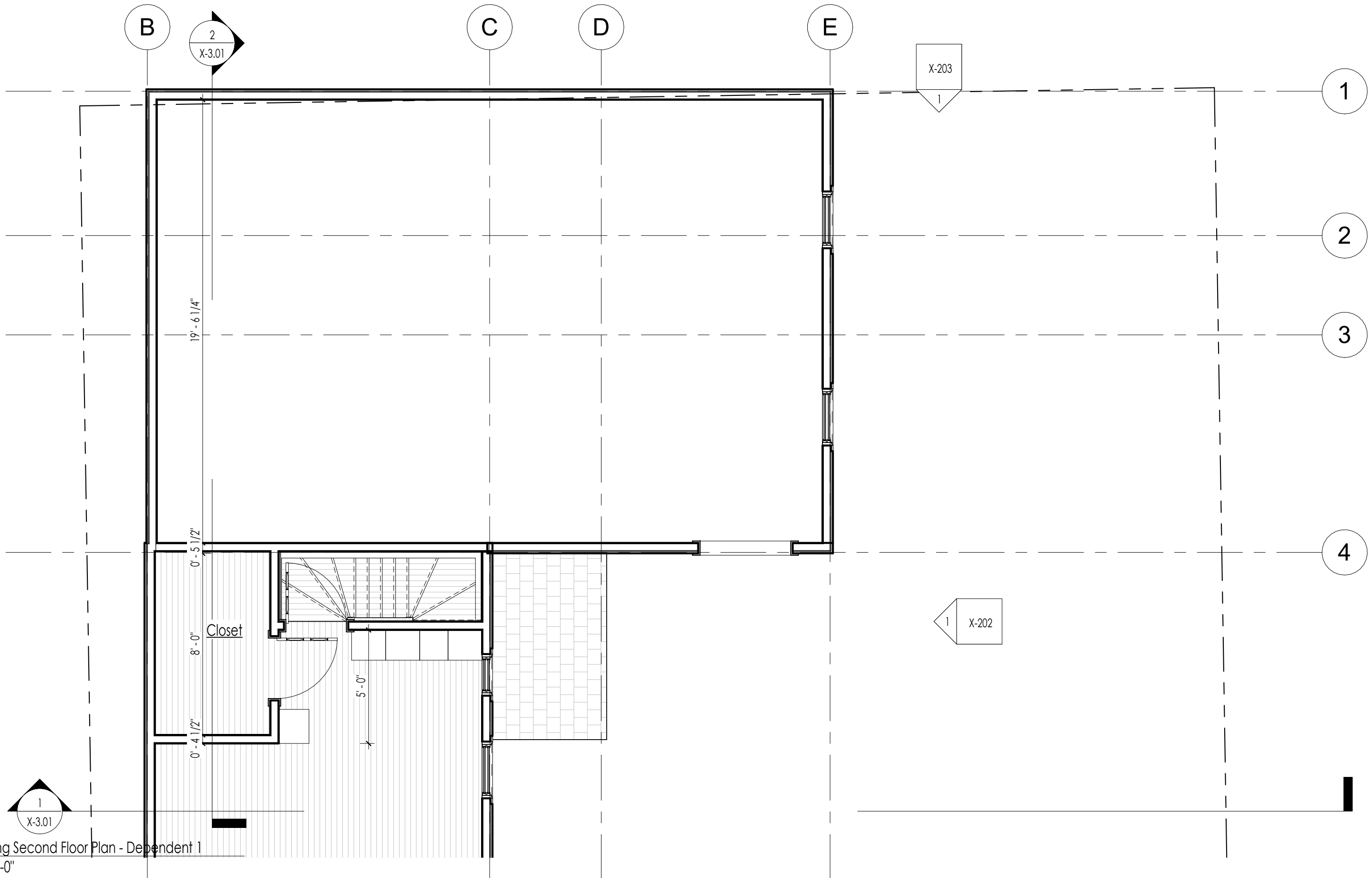


Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

Ex. First Floor Plan - SD

Date: AUGUST 15, 2023

X-101



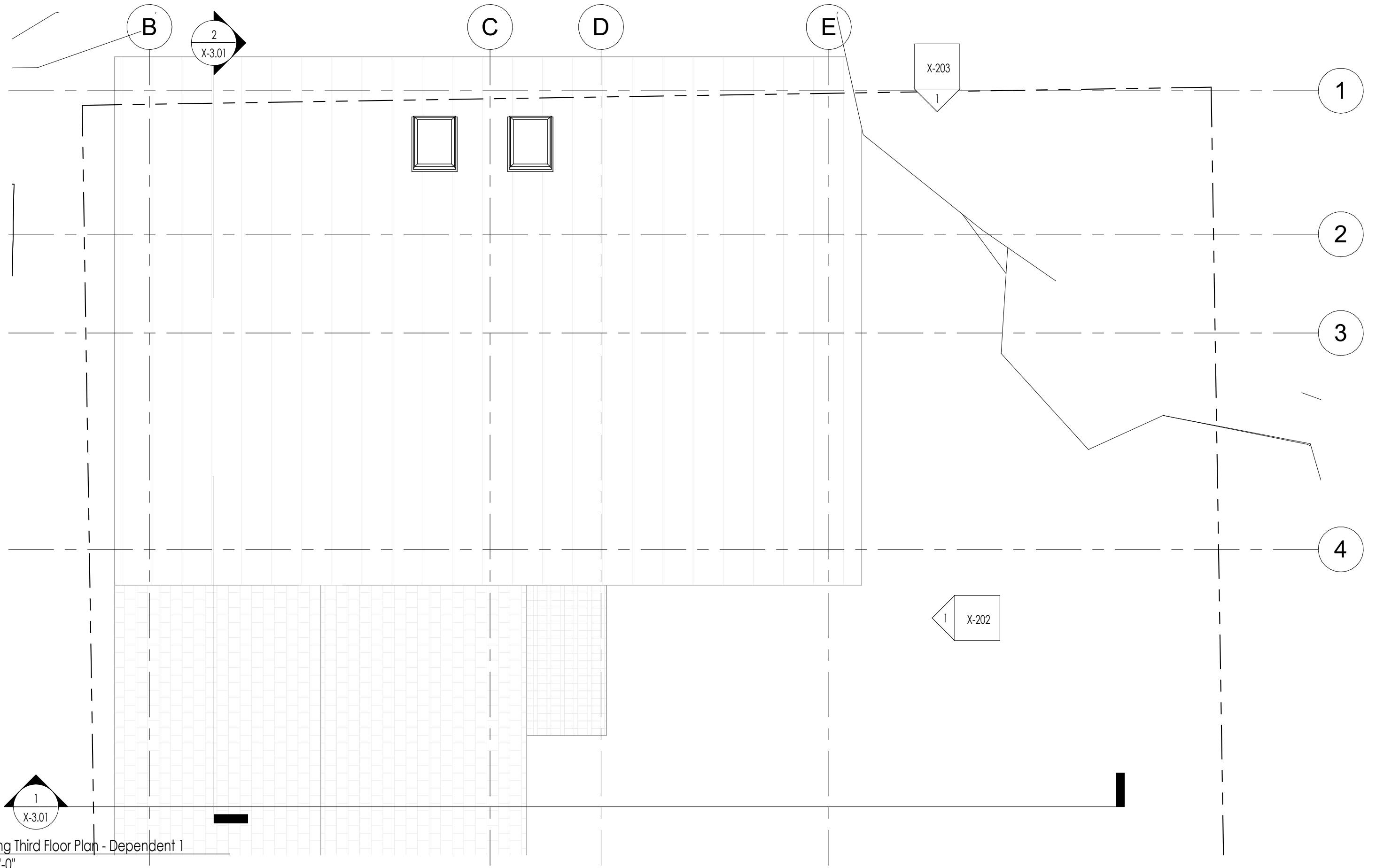
1 03 Existing Second Floor Plan - Dependent 1
 1/4" = 1'-0"



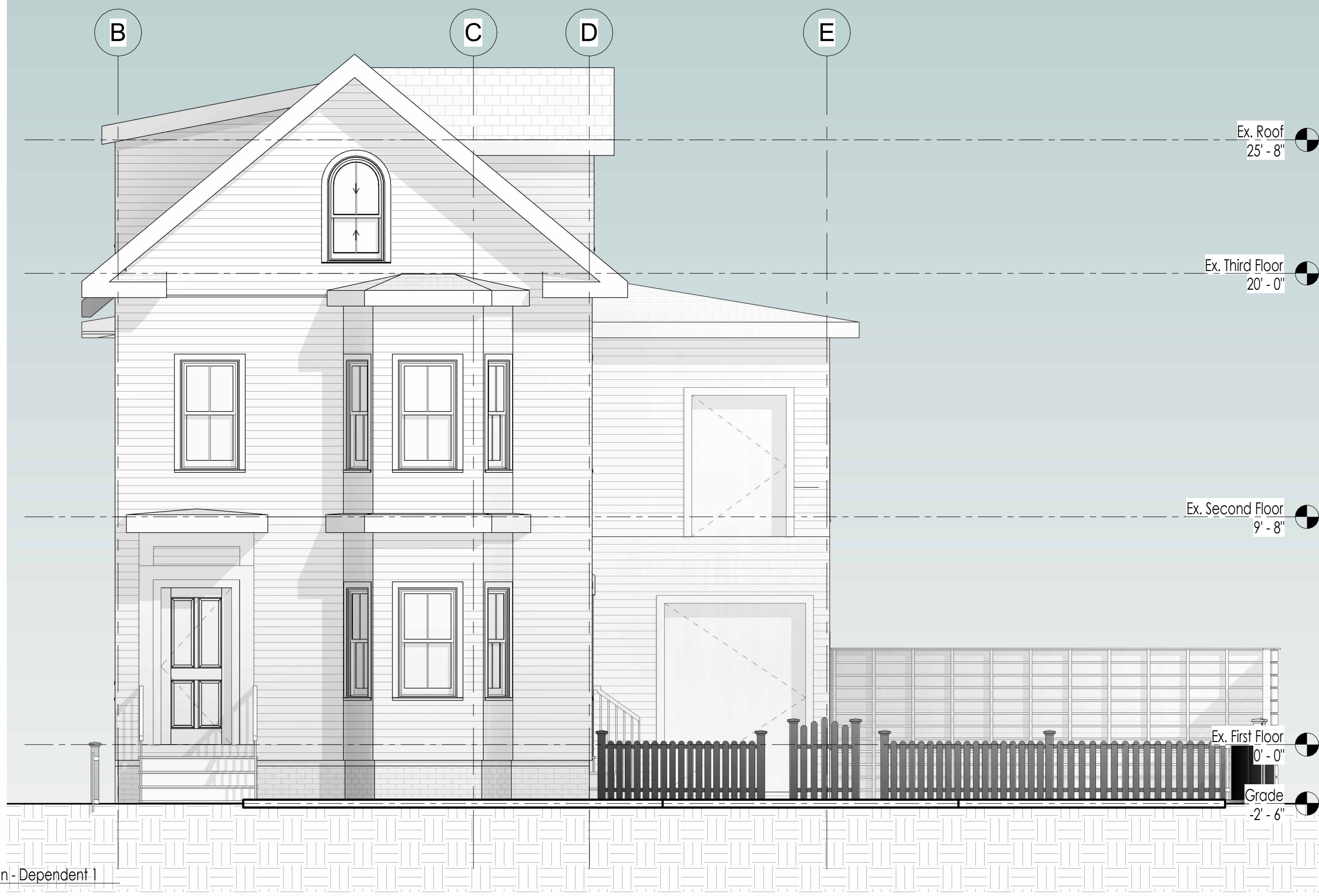
Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

Ex. Second Floor Plan - SD
 Date: AUGUST 15, 2023

X-102



1 04 Existing Third Floor Plan - Dependent 1
 1/4" = 1'-0"



1 Existing West Elevation - Dependent 1
1/4" = 1'-0"



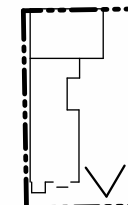
**ARCHITECTURE
+ ACCESSIBILITY**
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02458-1132
KMACCESS.COM
617.641.2802

Buten - DiTroia Residence

32 Tremont Street
Cambridge, MA 02139

Ex. West Elevation - SD

Date: AUGUST 15, 2023



X-201

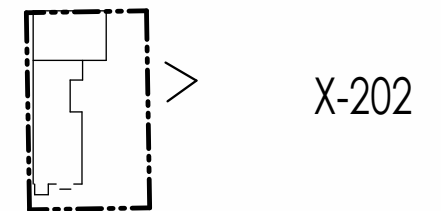


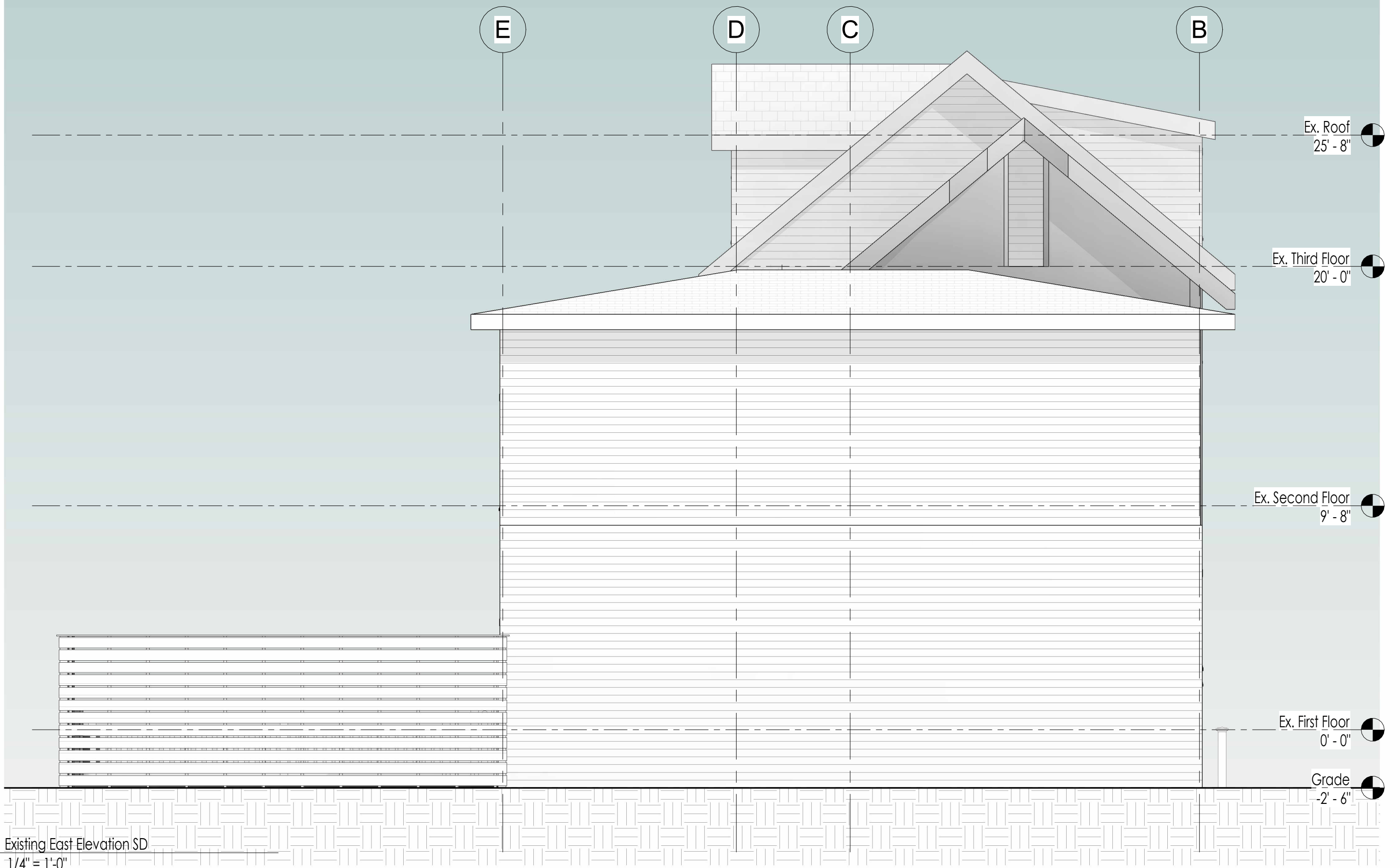
1 Existing South Elevation - Dependent 1
1/4" = 1'-0"



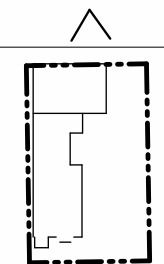
Buten - DiTroia Residence
32 Tremont Street
Cambridge, MA 02139

Ex. South Elevation - SD
Date: AUGUST 15, 2023





1 Existing East Elevation SD
 1/4" = 1'-0"



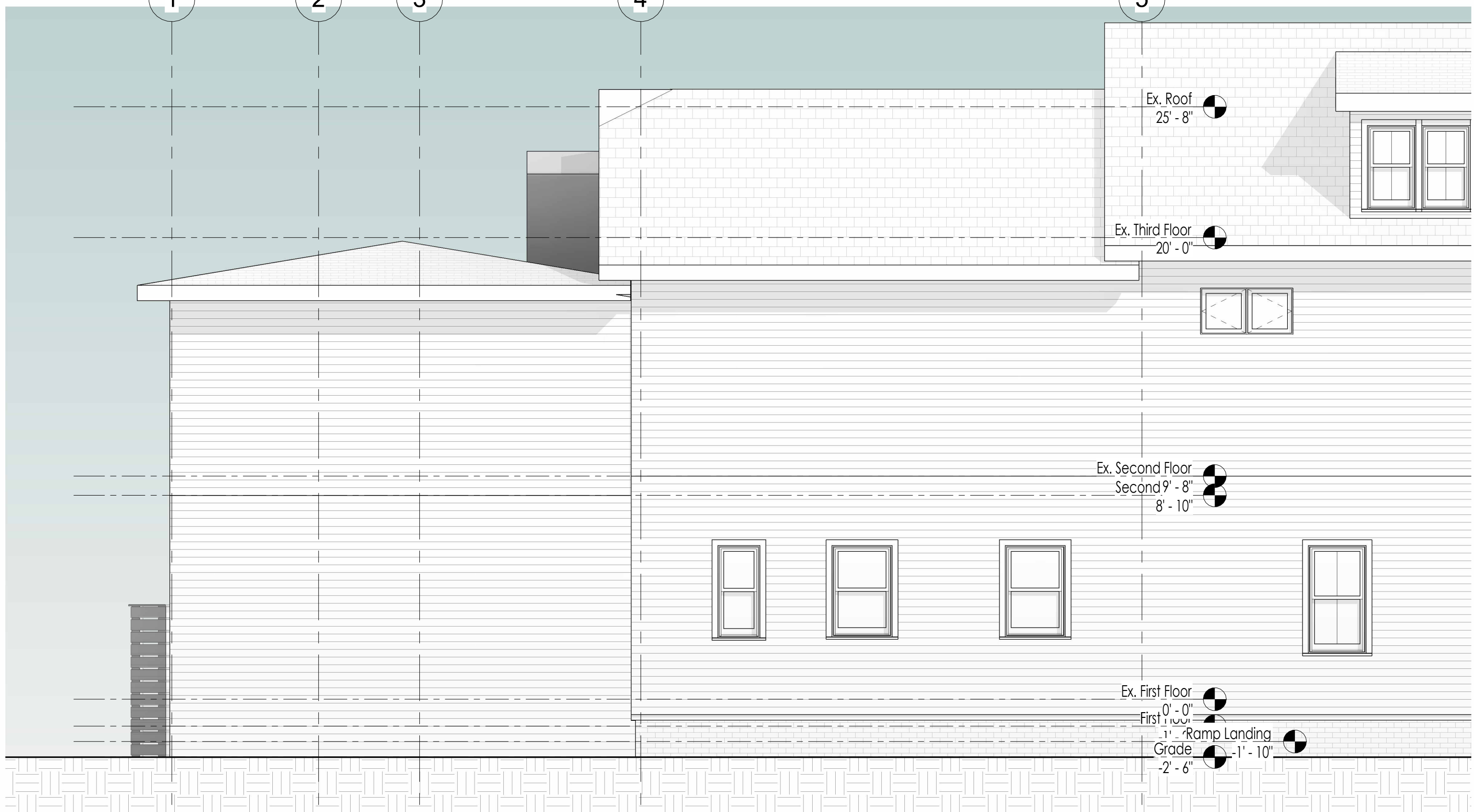
1

2

3

4

5

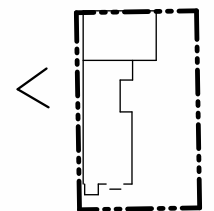


1 Existing North Elevation - Dependent 1
 1/4" = 1'-0"



Buten - DiTroia Residence
 32 Tremont Street
 Cambridge, MA 02139

Ex. North Elevation - SD
 Date: AUGUST 15, 2023



X-204

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32 Tremont – View From Street (from West)



32 Tremont Carriage House – View From Yard (from West)



32 Tremont – View From 34 Tremont (from North)



32 Tremont – View From 34 Tremont (from North)



32 Tremont – View From 253 Norfolk Street (from East)



32 Tremont – View From 28/30 Tremont (from South)

32 Tremont St.

Petitioner

87-82
KIMBALL, SARAH & JAMES C. HUDSPETH
36 1/2 TREMONT S UNIT 1
CAMBRIDGE, MA 02139

87-94
THE TOSI LIMITED PARTNERSHIP
ATTN: TOD MINOTTI
253 NORFOLK ST UNIT 3/1
CAMBRIDGE, MA 02139

87-80
BULEN, JOHN C. & SARAH T. DI TROIA
32 TREMONT ST.
CAMBRIDGE, MA 02139

87-95
KLEMAS, THOMAS J.
241 NORFOLK ST
CAMBRIDGE, MA 02139

87-82
O'DONNELL, CHRISTOPHER & EMILY O'DONNELL
16 HANCOCK ST
WINCHESTER, MA 01890

87-81
HANRIGHT, MARK A. & TERI S. HANRIGHT
34 TREMONT ST
CAMBRIDGE, MA 02139-1223

87-92
KAPOPOULOS, KAREN
259 NORFOLK ST
CAMBRIDGE, MA 02139-1402

87-94
TOSI, CARLOS H. TR.
TRUSTEE OF CHOCOLATE FACTORY
ATTN: TOD MINOTTI
253 NORFOLK ST UNIT 311
CAMBRIDGE, MA 02139

87-94
TOOMER, CYNTHIA Y.
253 NORFOLK ST., UNIT #2/5
CAMBRIDGE, MA 02139

87-94
LIEBERTHAL, FRANCES A. &
MATTHEW E. DAVIES
253 NORFOLK ST UNIT 1/2
CAMBRIDGE, MA 02139

87-94
ROY, JEFFERSON & MARJORIE M. ZAKARIA
253 NORFOLK ST. UNIT#3/3
CAMBRIDGE, MA 02139

87-94
PAPAZIAN, CHRISTOPHER
253 NORFOLK ST #3/4
CAMBRIDGE, MA 02139

87-77
WALDRON, GARDNER H. & LAURA PERKINS
26 TREMONT ST
CAMBRIDGE, MA 02139

87-94
MALLYA SACHIN
253 NORFOLK ST - UNT 1/6
CAMBRIDGE, MA 02139

87-94
KANE, JOHN J.
253 NORFOLK ST UNIT 3/5
CAMBRIDGE, MA 02139

87-94
HOFFSCHMIDT, SARA J.
253 NORFOLK ST. UNIT# 3/6
CAMBRIDGE, MA 02139

87-82
O'DONNELL, CHRISTOPHER T. &
EMILY B. MARTIN
16 HANCOCK ST
WINCHESTER, MA 01890

87-79
DREW, KATHLEEN M. & CHRISTOPHER J. DREW
28 TREMONT STREET
CAMBRIDGE, MA 02139

87-129
GRAMS CATHERINE M
1 GARDNER RD
CAMBRIDGE, MA 02139

87-82
HUDSPETH, JAMES C. & SARAH KIMBALL
36-36 1/2 TREMONT ST., #36.5
CAMBRIDGE, MA 02139

87-94
NOF/LLC
10 MCTERNAN ST UNIT 403
CAMBRIDGE, MA 02139

87-94
JONCO LLC
C/O JONATHAN MCDONOUGH
P.O. BOX 4214
BALLARDVALE, MA 01810

87-94
PALMER, NICOLE A.
69 EVELYN RD
WABAN, MA 02468

87-94
TOSI, LINDA
C/O TOSI ENTERPRISES
83 CAMBRIDGE PARKWAY - #303
CAMBRIDGE, MA 02142

87-94
COWAN, PHILIP C.S.
253 NORFOLK ST., UNIT #3.2
CAMBRIDGE, MA 02139

87-130
FREEDMAN, ERIC & KATHLEEN HART
33.5 TREMONT ST
CAMBRIDGE, MA 02138

87-131
KENNEY, WILLIAM B. & RENEE DEEHAN KENNEY
33 TREMONT ST UNIT 2
CAMBRIDGE, MA 02139

87-131
W. BLAIR KENNEY & RENNE DEEHAN KENNEY
33 TREMONT ST.UNIT#2
CAMBRIDGE, MA 02139

87-94
SUGERMAN, KIMBERLY
245 NORFOLK ST UNIT #A2
CAMBRIDGE, MA 02139

87-94
ELKINS, TREVOR
253 NORFOLK ST UNIT 1/4
CAMBRIDGE, MA 02139

32 fremont st.

87-94

MAZHARI, REZA & ELIZABETH G. MAZHARI
253 NORFOLK ST UNIT 1/1
CAMBRIDGE, MA 02139

87-94

SILVESTRE KATHERINE J
253 NORFOLK ST - UNIT 2-7
CAMBRIDGE, MA 02139

87-94

CHANG LIANG RUIQIONG GUO
253 NORFOLK ST - UNIT 3.7
CAMBRIDGE, MA 02139

87-94

THORKILDSEN ERIK E & JACQUELINE G WATSON
253 NORFOLK ST - UNIT 2.1
CAMBRIDGE, MA 02139

87-62

SHANKS, JULIA,
TRS THE 37 TREMONT STREET REALTY TR.
75 CLIFTON AVE
MARLBHEAD, MA 01945

87-154

35 TREMONT DEVELOPMENT LLC
17 WILLOWDALE RD
WINCHESTER, MA 01890

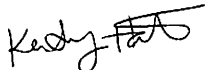
Board of Zoning Appeal
831 Massachusetts Avenue
Cambridge, MA 02139

October 25, 2023

Regarding: BZA-244071 - 32 Tremont St – Conversion of attached, pre-existing, non-occupied two story storage structure to an accessory dwelling unit

We are the neighbors of John Buten and Sarah Di Troia. We live at 33 ½ Tremont Street, across the street from their property. We have reviewed their plans for renovating the barn on their property and are writing to let you know that we support the project. We have no objections and don't think it will have a negative impact to our property or to the environmental quality of the neighborhood.

Thank you,



Name: Kathy Hart

Address: 33 ½ Tremont Street, Cambridge, MA 02139

Pacheco, Maria

From: Julia Shanks <socialchef@msn.com>
Sent: Monday, October 30, 2023 9:20 AM
To: Pacheco, Maria
Subject: Letter of Support for Zoning Variance BZA-244071 - 32 Tremont St

 [Support Letter for 32 Tremont St.pdf](#)

Board of Zoning Appeal
831 Massachusetts Avenue
Cambridge, MA 02139

October 30, 2023

Regarding: BZA-244071 - 32 Tremont St – Conversion of attached, pre-existing, non-occupied two-story storage structure to an accessory dwelling unit

I have been a long-time neighbor of John Buten and Sarah Di Troia. I own 37 Tremont St, which is across the street from their property, and we lived as neighbors for 18 years. I have reviewed their plans for renovating the barn on their property and I wanted to write to let you know that I support the project. I recognize that the neighborhood has gone through major transformations with older properties being converted into condos and taking up every available open space for dwellings. I appreciate the need for additional living space and am pleased to see that John and Sarah have created a way to increase the available living space without changing the footprint of the buildings. It maintains the greenspace and openness of the property. It's a far better solution than what we've seen. I have no objections and think it will positively impact my property and the environmental quality of the neighborhood.

Thank you,

Julia Shanks
Owner, 37 Tremont Street, Cambridge, MA

Sent from [Outlook](#)

Pacheco, Maria

From: Catherine Grams <teegramsg@gmail.com>
Sent: Sunday, October 29, 2023 7:21 PM
To: Pacheco, Maria
Subject: Case # BZA-244071, 32 Tremont Street

Hi Maria,

I would like to write a letter in support of the conversion of my neighbor's attached barn into a dwelling unit. I live at 1 Gardner Road and have lived across the street from John and Sarah for over 17 years. John and Sarah are long time Cambridge residents. They are wonderful neighbors and have been an incredible support for me. We raised our children together and they were there for me during my divorce during the pandemic. John is always involved in planning and organizing our Tremont Street block party.

It is expensive living in the city and with our kids going to college and needing other support, it is hard to make the math work out. This additional unit will allow my wonderful neighbors to stay in Cambridge. Their home will continue to have the same large outdoor space and multiple parking spaces.

I am happy to talk to anyone from the Board and I am grateful for your time.

Catherine Grams
1 Gardner Road



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: John Botcum Date: 10/19/23
(Print)

Address: 32 Tremont St.

Case No. BZA-244071

Hearing Date: 11/9/23

Thank you,
Bza Members