

**BZA Application Form**

**BZA Number: 151512**

2021 NOV 15 PM 3:17  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

**General Information**

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X                        Variance:                             Appeal:       

**PETITIONER:** Cameron-Elmwood Realty, LLC C/O Zachary Richards- Bohler Engineering - On Behalf of Meter Parts Inc.

**PETITIONER'S ADDRESS:** 45 Franklin Street, Boston, MA 02110

**LOCATION OF PROPERTY:** 38 Cameron Ave , Cambridge, MA

**TYPE OF OCCUPANCY:** General Office Building

**ZONING DISTRICT:** Residence B Zone/Business A-2 Zone

**REASON FOR PETITION:**

/Parking/

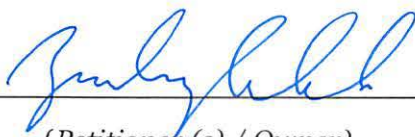
**DESCRIPTION OF PETITIONER'S PROPOSAL:**

A special permit is being sought for a reduction in required parking spaces required (below the minimum) for the existing use and proposed accessory use (mobile lab).

**SECTIONS OF ZONING ORDINANCE CITED:**

- Article: 2.000      Section: Definitions
- Article: 4.000      Section: 4.34 (Office and Laboratory Use).
- Article: 5.000      Section: 5.25 (FAR Exceptions for Parking and Loading Facilities).
- Article: 5.000      Section: 5.31 (Table of Dimensional Requirements), 5.33 (Table of Dimensional Requirements- Business Districts), 5.34 (Table of Dimensional Requirements-Industrial Districts).
- Article: 6.000      Section: 6.33 (Computation).
- Article: 6.000      Section: 6.36.4 (Office and Laboratory Use).
- Article: 6.000      Section: 6.100 (Bicycle Parking).

Original  
Signature(s):

  
\_\_\_\_\_  
(Petitioner (s) / Owner)

ZACHARY RICHARDS  
\_\_\_\_\_  
(Print Name)

11/9/21, 11:45 AM

Address:

Tel. No. 617-849-8040

E-Mail Address: office.cambridge@meter.parts

Date: 11/10/21

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**


I/We Cameron-Elmwood Realty, LLC  
(OWNER)

Address: 91 Perkins St., Somerville, MA 02145

State that I/We own the property located at 36-38 Cameron Ave. Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Cameron-Elmwood Realty, LLC


\*Pursuant to a deed of duly recorded in the date 7/23/1998, Middlesex South County Registry of Deeds at Book 28869, Page 484; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_

  
\_\_\_\_\_  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*


*\*Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name RICARDO DUMONT personally appeared before me, this 26 of JULY, 2021, and made oath that the above statement is true.

  
\_\_\_\_\_  
Notary

My commission expires JAN. 23, 2026 (Notary Seal)

 **CHRISTIAN JOSUE MALAGON**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires Jan. 23, 2026

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA Application Form**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 38 Cameron Ave., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

A special permit is being sought for a reduction in required parking spaces required (below the minimum) for the existing use and proposed accessory use (mobile lab). Additional bicycle parking is being proposed for the existing buildings and to serve the property, which will encourage employees to utilize alternative modes of transportation, including carpooling. This is consistent with the intent and requirements of the Ordinance.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed accessory use and reduction in parking will not negatively impact traffic generated and patterns of access and egress will remain the same for both parking areas. Therefore there is no congestion hazard or impact on neighborhood character.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The project will result in additional bicycle parking to offset the reduction in onsite parking spaces. This will encourage the use of carpooling and alternative modes of transportation. The reduction in parking should not impact the operation or development of adjacent uses.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

A reduction in parking spaces will not create a nuisance or hazard.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

A reduction in parking spaces is consistent with the recent goals and intents of the City and Ordinance.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form**

**DIMENSIONAL INFORMATION**

**Applicant:** Cameron-Elmwood Realty, LLC

**Present Use/Occupancy:** General Office Building

**Location:** 45 Franklin Street

**Zone:** Residence B Zone/Business A-2 Zone

**Phone:** 617-849-8040

**Requested Use/Occupancy:** General Office Use, Research Facilities

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	17350	17623	N/A	(max.)
<u>LOT AREA:</u>	14910	14910	5,000 (Res-B)/None (Bus-A2)	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>	1.2	1.2	0.5 (Res-B)/1.0 (Bus-A2)	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	2,500 (Res-B)/600 (Bus-A2)	
<u>SIZE OF LOT:</u>				
WIDTH	75	75	50(Res-B)/None(Bus-A2)	
DEPTH	197	197	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	0	0	15 (Res B)/5 (Bus A2)	
REAR	N/A	N/A	25 (Res B)/20 (Bus A2)	
LEFT SIDE	2.5	2.5	7.5 (Res B)/10 (Bus A2)	
RIGHT SIDE	0	0	7.5 (Res B)/10 (Bus A2)	
<u>SIZE OF BUILDING:</u>				
HEIGHT	30.5	30.5	35 (Res B)/45 (Bus A2)	
WIDTH	167	167	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	None	None	40% (Res B)/None (Bus A2)	
<u>NO. OF DWELLING UNITS:</u>	N/A	N/A	6 (Res B)/25 (Bus A2)	
<u>NO. OF PARKING SPACES:</u>	15	13	22 min/44 max	
<u>NO. OF LOADING AREAS:</u>	None	None	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	1.4	1.4	N/A	

\* \* \* \* \*

(8:25 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,  
Andrea Hickey, Wendy Leiserson, Jim  
Monteverde

CONSTANTINE ALEXANDER: The Chair will now call  
Case Number 151512 -- 38 Cameron Avenue. Anyone here  
wishing to be heard on this matter?

[Pause/simultaneous speech]

ANDREA HICKEY: Mr. Chair, I'm sort of hearing a  
discussion in the background of the last petitioner.

CONSTANTINE ALEXANDER: I know. So am I.

BRENDAN SULLIVAN: We're going to have to --

CONSTANTINE ALEXANDER: -- I'm going to be --

BRENDAN SULLIVAN: -- mute him somehow.

CONSTANTINE ALEXANDER: -- next case.

ANDREA HICKEY: Right. I don't think they  
probably know or want us listening to their conversation.  
Is there a way to reach them? Oh, they're gone. It  
resolved. Thank you, Mr. Chair.

CONSTANTINE ALEXANDER: Okay, thank you. Okay.  
Going back again, the Chair will call Case Number 151512 --

1 38 Cameron Avenue. Anyone wishing to be heard on this  
2 matter?

3 KIRIN KACHROO-LEVINE: Mr. Chair, my name is Kirin  
4 Kachroo-Levine. I believe we sent a note to Olivia -- Ms.  
5 Ratay -- earlier tonight, asking to continue this matter to  
6 the following hearing, so we have an opportunity to get some  
7 feedback from the neighborhood members, as several of them  
8 reached out to us the day of the hearing.

9 And we would like to make sure that their concerns  
10 are heard.

11 CONSTANTINE ALEXANDER: Well, we would be willing  
12 to continue this case as a case not heard, which is good.  
13 What date did you have in mind that you would like to  
14 continue with that would work with our schedule?

15 KIRIN KACHROO-LEVINE: I believe the next meeting  
16 is January 6. I would tentatively -- I would tentatively  
17 propose that we continue to that date. We hope we can  
18 schedule a meeting with the neighbors prior.

19 CONSTANTINE ALEXANDER: We have no dates available  
20 for a continued case in January. Do you want to do it in  
21 February?

22 KIRIN KACHROO-LEVINE: What's the earliest date in



1 February?

2 OLIVIA RATAY: Tenth.

3 CONSTANTINE ALEXANDER: Tenth. Tenth of February.

4 KIRIN KACHROO-LEVINE: All right. February 10 it  
5 is.

6 CONSTANTINE ALEXANDER: Okay. All right, let me  
7 make a motion. And listen carefully to the terms of the  
8 motion.

9 The Chair moves that we continue this case until  
10 6:00 p.m. on February 10 as a case not heard, which means  
11 that any five members of this Board can hear the case on  
12 that date -- subject to the following conditions:

13 The first condition is that you must sign a waiver  
14 of time for decision. Otherwise, relief would be  
15 automatically granted, and we don't do that. This waiver is  
16 a very simple document; it's one that the City uses for all  
17 of our continued cases.

18 But you must sign this document -- you must go or  
19 get in touch with the Inspectional Services Department and  
20 sign and return this continuum no later than 5:00 p.m. on a  
21 week from Monday. So that gives you plenty of time to get  
22 that waiver in. If you don't, the case will be dismissed.

1           Second, the posting sign which you have up there,  
2           though I must confess I never saw it, when it's there -- a  
3           new one must be put up.

4           You could put a new one with the new date and the  
5           new time, 6:00 p.m. on February 10, or you can take the  
6           existing sign and modify it with a magic marker, what have  
7           you, to put the new date and time in.

8           And then I would ask that you contact Maria  
9           Pacheco and -- as you did before -- send the photograph of  
10          the modified sign, or the new sign that's been posted.

11          And lastly, to the extent that you want to change  
12          or make new specifications, findings, plans, what have you,  
13          they must be in our file -- the Inspectional Services  
14          Department file -- no later than 5:00 p.m. on the Monday  
15          before February 10.

16          That's in order to give Board Members and members  
17          of the community at large the opportunity to see what you're  
18          now proposing, and to make an informed decision as to what's  
19          involved.

20                 So Brendan, how do you vote?

21                 BRENDAN SULLIVAN: Yes to the continuance.

22                 CONSTANTINE ALEXANDER: Jim?

1           JIM MONTEVERDE: Jim Monteverde yes to the  
2 continuance.

3           CONSTANTINE ALEXANDER: Andrea?

4           ANDREA HICKEY: Andrea Hickey yes in favor of the  
5 continuance.

6           CONSTANTINE ALEXANDER: Wendy?

7           WENDY LEISERSON: Wendy Leiserson yes in favor of  
8 the continuance.

9           CONSTANTINE ALEXANDER: Okay. And the Chair votes  
10 yes as well.

11           [All vote YES]

12           CONSTANTINE ALEXANDER: So this case has now been  
13 continued until February 10, subject to the conditions that  
14 I just went through. Thank you, sir, and we'll see you on  
15 February 10.

16           KIRIN KACHROO-LEVINE: All right. Thank you,  
17 Chairman. We'll follow-up with ISD and Ms. Ratay to make  
18 sure we file everything appropriately.

19           CONSTANTINE ALEXANDER: Thank you again. We  
20 haven't heard back from our friends.

21           BRENDAN SULLIVAN: Well, they're on mute, so --

22           OLIVIA RATAY: Yeah, I could --

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BRENDAN SULLIVAN: Just go to the next one.

## Pacheco, Maria

---

**From:** blair davissquarelofts.com <blair@davissquarelofts.com>  
**Sent:** Thursday, December 16, 2021 5:43 PM  
**To:** Pacheco, Maria  
**Cc:** Singanayagam, Ranjit; Ratay, Olivia  
**Subject:** BZA Case 151512 32 Cameron

Dear members of the Board of Zoning Appeals-

I am a property owner and manager at 88-102 Elmwood, Cambridge and One thru Five Tannery Brook ROW, direction across the street from the proposal.

I would love to see any proposal that increases the health, accessibility, value, and enjoyment of our neighborhood. This is not one. I am opposed to the reduction of parking spaces at 38 Cameron for the expressed purpose of placing a 'wet lab' for the following reasons:

### Parking:

- Neither city patrols or enforces parking on lower Elmwood. This 'no-man's land' on the Somerville/Cambridge border is a well-known area to park cars from out of state, or without plates, because there is no risk of ticketing and towing.
- Parking on Elmwood Street has already more precious and scarce in just this last year. The newly completed project at 11 Tannery (next to 38 Cameron) and the new Velo project at 95 Elmwood (also next to 38 Cameron) will be occupied soon. Velo was approved with no guest parking, no loading zone, and no waiting area for ride share or food delivery.
- Our parking lot at 88-102 is currently poached by contractors at 95 Elmwood and business visitor at 38 Cameron. We have recently been thrust into the unpleasant role of patrolling, confronting, and towing of illegally parked cars from our lot. This has been exacerbated in the last year with increased development activity on lower Elmwood in both cities.
- We have already been approached by tenants at 38 Cameron seeking to rent additional parking, stating that commercial property has insufficient parking. Regardless of theoretical planning studies and discussion, the real fact is that the tenants at this property has clearly communication that parking is lacking well before this application.
- If this application is approved by the City, it will burden us, needlessly causing further aggravation, conflict, and damages.

### Planning:

- The installation of a 'wet lab' in a Pac Van trailer structure further cements the notion that neighborhood may never see the sidewalks, street trees, and lighting along this Elmwood elevation of the 38 Cameron property which has been envisioned by the planners in both cities.
- 38 Cameron, with frontage on Elmwood Street, is serviced by streets and infrastructure in the City of Somerville. This application should be also be reviewed by authorities in Somerville. Potential burdens created by this Cambridge approval, would bear directly upon Somerville.
- The applicant Meter Parts, has not been a responsible neighbor. As a relatively new tenant in 38 Cameron, Meter has already demonstrated disregard for neighborhood peace and quiet with their installation of a high pitched sounding exhaust fan which has been the source of complaints to city authorities. The police have been previously been called to help with enforcement. A higher appeal to state DEP is under consideration.
- There is no explanation of what activities occur in this 'wet lab'. Why can't these activities occur in the existing building? Why do they need to be segregated and placed outside of the existing building? This is obviously very worrisome.
- There has been no effort by the applicant for neighborhood outreach and education. This needlessly raises further doubts and concerns.

I am unable to attend tonite's meeting.  
Will you please enter my comments into the record?

Thank you very much,

**Blair Galinsky**  
**617-592-7951**  
**Davis Square Lofts/Davis Design**



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2021 DEC 20 PM 3:20

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal  
831 Mass Avenue  
Cambridge, MA 02139

RE: Case # BZA-151512

Address: 38 Cameron Ave

Owner,  Petitioner, or  Representative: Zachary Richards  
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The  Owner,  Petitioner, or  Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 12/20/2021

Zachary Richards  
Signature

Pacheco, Maria

BZA-15/5/2

**From:** Zachary Richards <zrichards@bohlereng.com>  
**Sent:** Thursday, January 20, 2022 4:14 PM  
**To:** Pacheco, Maria  
**Subject:** ZBA Continuance - 38 Cameron Ave

Hi Maria,

We would like to request a continuance for the above mentioned project to the next available hearing after the February 10<sup>th</sup> hearing (current scheduled meeting date). Let me know if you need anything else. Thanks,

Zack

**Zachary Richards, P.E.**

Project Manager

45 Franklin Street, 5th Floor

Boston, MA 02110

o 617-849-8040 / [zrichards@bohlereng.com](mailto:zrichards@bohlereng.com)

[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**BOHLER //**

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# MASSACHUSETTS

**CODES:**  
 2020 NATIONAL ELECTRIC CODE  
 9TH EDITION OF 780-CMR MASSACHUSETTS STATE BUILDING CODE  
 (2015 INTERNATIONAL BUILDING-MECHANICAL)  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 248 CMR UNIFORM STATE PLUMBING CODE  
 521 CMR MASSACHUSETTS STATE HANDICAP GUIDELINES

SUBMITTAL TYPE: 3RD PARTY /STATE SEAL

**MANUFACTURE INFORMATION:**

MANUFACTURER: AGM STRUCTURES, LLC  
 PLANT ADDRESS: 21240 PROTECTA DRIVE  
 ELKHART, IN 46516  
 PLANT PHONE: (574) 226-0773  
 MANUFACTURE NUMBER: 760  
 EXP. DATE OF CURRENT CERTIFICATION: 5/26/2022

**THIRD PARTY INFORMATION:**

3RD PARTY AGENCY: T.R. ARNOLD AND ASSOCIATES  
 ADDRESS: 4703 CHESTER DRIVE  
 ELKHART, IN 46516

PHONE: (574) 264-0745  
 3RD PARTY AUTHORIZATION NUMBER: TPIA #3  
 EXP. DATE OF CURRENT AUTHORIZATION: 4/30/2022

**PROJECT NAME/MODEL /ID#:**

MODEL: 10X32 OFFICE  
 BUILDING SIZE: 9'-9" X 28'-0"  
 SERIAL NUMBER: 21-0663

**BUILDING INFORMATION:**

USE GROUP: 'B'  
 CONSTRUCTION TYPE: 'V-B' UNPROTECTED  
 SQUARE FEET: 273  
 CUBIC FEET: 2,184  
 OCCUPANT LOAD: 3  
 STORIES /HEIGHT: 1/13'-0" HIGH (APPOX.)  
 FIRE ALARM SYSTEM: N/A  
 FIRE SUPPRESSION SYSTEM: N/A

**DESIGN LOADS: (SEE SHEET CV2)**

**HEATING SYSTEM:**

HVAC SYSTEM FUEL: ELECTRIC  
 VENTING SYSTEM: INTEGRAL TO HVAC UNIT

**EXTERIOR ENVELOPE AND THERMAL PERFORMANCE:**

PLEASE SEE ENVELOPE CALCULATIONS ATTACHED

# PAC VAN, INC. 10x32 OFFICE SITE ADDRESS

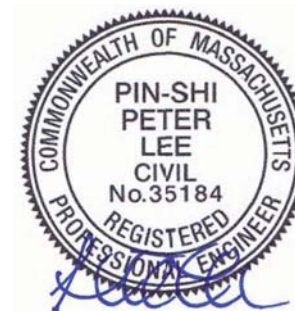
TOP SHELF  
 38 CAMERON AVENUE  
 CAMBRIDGE, MA 02140

MASSACHUSETTS NOTES

- PRIOR TO BUILDING BEING SET THE LOCAL BUILDING OFFICIAL MUST BE NOTIFIED A MINIMUM 48 HOURS IN ADVANCE. THE LOCAL AUTHORITY MUST INSPECT ALL SITE CONNECTIONS. THE INSPECTOR MAY REQUIRE REMOVAL OF ELEMENTS THAT CONCEAL SITE CONNECTIONS IF THE CONNECTIONS HAVE BEEN CONCEALED PRIOR TO INSPECTION.

## DRAWING INDEX

SHEET	DESCRIPTION
CV1	COVER SHEET
CV2	GENERAL NOTES
CV3	DESIGN LOADS
SP1-SP2	SPECIFICATIONS
F1	FOUNDATION PLAN
A1	FLOOR PLAN
A2	EXTERIOR ELEVATIONS
E1	ELECTRICAL PLAN
E2	ELECTRICAL DETAILS
M1	MECHANICAL PLAN
S1	CROSS SECTION
S2	STRUCTURAL DETAILS



FOR STATE USE ONLY

**T.R. ARNOLD & ASSOCIATES, INC.**  
 4703 Chester Drive  
 Elkhart, IN 46516  
 State(s) MASSACHUSETTS  
 Accredited Evaluation and  
 Inspection Agency  
 This document is certified as being in conformance  
 with State Building Codes.  
 Date **SEPTEMBER 22, 2021**  
 Approval of this document does not authorize or approve  
 any omission or deviation from the requirements of  
 applicable State Laws.



**AGM Structures**  
 21240 Protecta Drive  
 Elkhart, IN 46516  
 Phone: (574) 226-0773  
 www.agmstructures.com

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SCALE:  
 AS NOTED

SERIAL NUMBER: 21-0663  
 MODEL: 10x32 OFFICE

CUSTOMER:  
 PAC VAN, INC.

QUOTE NUMBER: 21-1263-2  
 PLAN APPROVAL #: BBR5-XXXXXX

SHEET DESCRIPTION:

COVER PAGE

PRINT DATE:  
 9/17/21

DRAWN BY:  
 BB

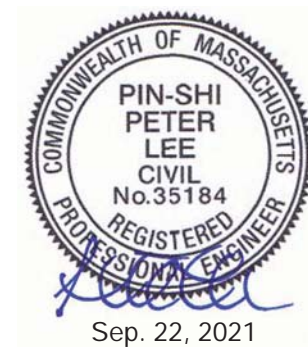
DRAWING NUMBER

CV1

GENERAL NOTES

1. THIS BUILDING IS NOT TO BE LOCATED IN AREAS THAT EXCEED THOSE LISTED IN THE DESIGN CRITERIA SECTION OF THESE PLANS. THIS NOTE SHALL ALSO BE ON DATA PLATE OF BUILDING.
2. APPROVED LABEL AND DATA PLATE LOCATED ON EXTERIOR OF ELECTRICAL PANEL DOOR.
3. THE MANUFACTURE ASSUMES NO RESPONSIBILITY FOR COMPLIANCE TO ANY CODES (STATE OR LOCAL) OTHER THAN THE CODES LISTED ON THIS PAGE. ADDITIONAL APPROVALS, PERMITS, INSPECTIONS, ETC. ALONG WITH ASSOCIATED FEES ARE TO BE ACCOMMODATED BY THE DEALER OR OWNER OF THE BUILDING.
4. A MINIMUM FIRE SEPARATION DISTANCE OF MORE THAN 10 FEET IS REQUIRED BETWEEN THE BUILDING AND INTERIOR LOT LINES, THE CENTER OF THE STREET OR PUBLIC WAY OR AN IMAGINARY LINE BETWEEN TWO BUILDINGS ON THE SAME PROPERTY, PER TABLE 602.
5. THIS STRUCTURE IS A STAND ALONE BUILDING.
6. THIS BUILDING SHALL BE INSTALLED ABOVE THE FLOOD HAZARD LEVEL.
7. EXTERIOR DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE.
8. ALL GLAZING IN MEANS OF EGRESS DOORS AND ADJACENT TO A DOOR WITHIN A 24' ARC OF ENTIRE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION SHALL BE SAFETY GLAZED.
9. INTERIOR FINISHES MAXIMUM FLAME SPREAD RATING PER APPLICABLE CODE.
10. RESTROOM WALLS TO BE FINISHED WITH A SMOOTH, WATERPROOF, NONABSORBENT, CLEANABLE MATERIAL.
11. A CDX PLYWOOD COMPRESSION STRIP MINIMUM 1/2"x2'-1/4" WILL BE ATTACHED ABOVE ALL TOP PLATES AT LOAD BEARING WALLS ONLY. STRIP IS TO PREVENT CEILING MATERIAL FROM BEING BETWEEN LOAD BEARING COMPONENTS.
12. PLYWOOD COMPRESSION STRIP MINIMUM 1/4"x2" WILL BE ATTACHED BELOW ALL BOTTOM PLATES AT LOAD BEARING WALLS ONLY. STRIP IS TO PREVENT CARPETING FROM BEING BETWEEN LOAD BEARING COMPONENTS.
13. IF REQUIRED FIRE EXTINGUISHER(S) ARE TO BE PROVIDED AND INSTALLED AT SITE BY CSL.
14. ALL NMC CABLE SHALL BE CONCEALED WITHIN WALLS, FLOORS OR CEILING THAT PROVIDE A THERMAL BARRIER OF MATERIAL THAT HAS AT LEAST A 15 MINUTE FINISH RATING AS IDENTIFIED IN LISTINGS OF FIRERATED ASSEMBLIES.
15. WOOD FLOOR FRAMING AND EXTERIOR WALL SHEATHING WITHIN 8 INCHES OF EXTERIOR GRADE AND/OR WITHIN 18 INCHES OF EXPOSED GROUND IN CRAWL SPACE SHALL BE NATURALLY DURABLE WOOD OR PRESERVATIVELY TREATED PER IBC 2304.11.2.
16. CONTINUOUS AIR BARRIER ACCOMPLISHED BY APPLYING GLUE TO TOP AND BOTTOM PLATES, GLUED SHEATHING AND TAPED HOUSE WRAP.
17. ALL SOURCES OF AIR LEAKAGE IN BUILDING THERMAL ENVELOPE TO BE SEALED, CAULKED, GAZETTED, WEATHER STRIPPED OR WRAPPED WITH MOISTURE VAPOR-PEREABLE WRAPPING TO MINIMIZE AIR LEAKAGE. AIR LEAKAGE AT MATE-LINES TO BE ADDRESS AT SITE BY OTHERS.
18. THE BUILDING EXTERIOR AND THE FACILITIES WITHIN THE BUILDING SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. (SIGNAGE SUPPLIED AND INSTALLED BY CSL)
19. REQUIRED ACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH ACCESSIBLE BUILDING APPROACHES PER APPLICABLE CODES. (PROVIDED AND INSTALLED BY CSL).
20. DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2 INCH MAXIMUM IN HEIGHT AND WITH BEVELED EDGES. THE BEVEL SHALL NOT BE MORE THAN ONE VERTICAL UNIT TO TWO HORIZONTAL UNITS PER THE ACCESSIBILITY CODE.
21. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MIN. AND 48 INCHES MAX. ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
22. CONTROLS AND OUTLET MOUNTING HEIGHTS SHALL BE IN ACCORDANCE WITH THE ACCESSIBILITY CODE.
23. ADEQUATE ACCESSIBLE RESTROOM FACILITIES AT SITE BY CSL WITHIN 500' OF NEW STRUCTURE.
24. COMMISSIONING PLAN, IF REQUIRED, PROVIDED BY CSL.

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SCALE:  
 AS NOTED

SERIAL NUMBER: 21-0663  
 MODEL: 10x32 OFFICE

CUSTOMER:  
 PAC VAN, INC.

QUOTE NUMBER: 21-1263-2  
 PLAN APPROVAL #: BBR5-XXXXXX

SHEET DESCRIPTION:  
**GENERAL NOTES**

PRINT DATE:  
 9/17/21

DRAWN BY:  
 BB

DRAWING NUMBER  
**CV2**

DESIGN LOADS	WIND DESIGN
FLOOR LIVE LOAD: 50 PSF FLOOR DEAD LOAD: 10 PSF ROOF DESIGN LIVE LOAD: 30 PSF ROOF DEAD LOAD: 20 PSF CLIMATE ZONE: 5a	WIND SPEED: 128 MPH 3 SECOND GUST EXPOSURE: C RISK CATEGORY: II

ROOF SNOW LOAD	COMPONENTS/CLADDING:
$P_f = (0.7) * (C_e) * (I) * (C_t) * (P_g)$ EXPOSURE FACTOR $C_e = 1.0$ IMPORTANCE FACTOR $I = 1.0$ THERMAL FACTOR $C_t = 1.1$ GROUND SNOW LOAD $P_g = 40$ PSF ROOF SNOW LOAD 30.8 PSF	<b>ROOF:</b> $A = 20ft^2$ ZONE 1: -21.49 PSF ZONE 2: -33.11 PSF ZONE 3: -46.17 PSF  <b>WALL:</b> $A = 20ft^2$ ZONE 4: -22.94 PSF ZONE 5: -27.59 PSF

SHIPPING INFORMATION:	OH:
SHIPPING HEIGHT: 13'-0" SHIPPING WIDTH: 10 FEET SHIPPING LENGTH: 32 FEET SHIPPING WEIGHT: 13783 Lbs	ZONE 2: -31.80 PSF ZONE 3: -52.34 PSF

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SEISMIC DESIGN:	
BUILDING FOOT PRINT: 273 SQ. FT.	COEFFICIENTS:
BASIC SEISMIC-FORCE-RESISTING SYSTEM	SPECTRAL RESPONSE $S_{ds} = 0.230$
LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS	SPECTRAL RESPONSE $S_{d1} = 0.110$
ASSUMED SITE CLASS: D	SITE SPECTRAL RESPONSE $S_s = 0.216$
SEISMIC DESIGN CATEGORY: B	SITE SPECTRAL RESPONSE $S_1 = 0.069$
DESIGN BASE SHEAR: $V = C_s * W = 384$ LBS.	SEISMIC RESPONSE $C_s = 0.035$
	SEISMIC IMPORTANCE $I = 1.0$

## RECOMMENDED UNIFORM ROOF LIVE LOADS FOR SHEATHING AND STURD-I-FLOOR\* WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS

SPAN RATING	PANEL THICKNESS (INCH)	MAXIMUM SPAN (INCH)		ALLOWABLE LIVE LOADS (PSF) SPACING OF SUPPORTS O.C.	
		WITH EDGE SUPPORT (A)	WITHOUT EDGE SUPPORT	16 (INCH)	24 (INCH)
<b>* RATED SHEATHING</b>					
16/0	5/16, 3/8	16	16	30	-
20/0	5/16, 3/8	20	20	50	-
24/0	3/8, 7/16, 15/32, 1/2	24	20 (B)	100	30
24/16	7/16, 1/2	24	24	100	40
40/20	19/32, 5/8	48	32	305	130
<b>* RATED STURD-I-FLOOR</b>					
16 O.C.	19/32, 5/8, 21/32	24	24	100	40
20 O.C.	19/32, 5/8, 3/4	32	32	150	60
24 O.C.	11/32, 23/32, 3/4	40	36	240	100

**NOTES:**  
 A. EDGE SUPPORT = T+G EDGES. PANEL EDGE CLIPS COME BETWEEN EACH SUPPORT, EXCEPT TWO BETWEEN SUPPORTS 48" O.C.). LUMBER BLOCKING OR OTHER.  
 B. 24" FOR 15/32" AND 1/2" PANELS  
 10 PSF DEAD LOAD ASSUMED  
 \* RATINGS BASED ON TEST RESULTS FROM ANY NATIONALLY RECOGNIZED TESTING AGENCY.

## FLAME SPREAD RATINGS FOR INTERIOR FINISHES

MATERIAL	FLAME SPREAD
<b>WALL COVERINGS:</b>	
GYPSON	CLASS A
FRP GYPSON	CLASS A
VINYL GYPSON	CLASS A
WOODGRAIN PANELING	CLASS C
<b>CEILING FINISHES:</b>	
PREFINISHED GYPSON	CLASS A
T-GRID SUSPENDED CEILING	CLASS B
<b>DUCTWORK:</b>	
FIBERGLASS DUCT BOARD	CLASS A



Sep. 22, 2021

**STATE SUBMITTALS AND LABELS**

Massachusetts: 3rd Party and State Approval and labels with 3rd party inspection with PE Sealed Plans

**FRAME**

Main I-beam: M10x8 I-Beam (ASTM A36) (Fy=36ksi)  
 Cross member: 3" C-Channel crossmember w/13ga formed steel outrigger @ 48" O.C.  
 Note: Solid rear cross member  
 Hitch: Detachable w/ 2 5/16" cup and jack  
 Axles: 2 w/brakes, 6-Multi-Leaf springs underslung (Single tandem)  
 Note: 75 1/2" spring centers  
 Tires: New 14-Ply  
 Paint: Min 3 mil black asphalt  
 Tie Downs: Frame ties, if required, on site by others

**FLOOR**

Covering: 1/8" vinyl composition tile w/one coat of wax (Color = To Be Selected)  
 Bottom board: Woven plastic insulation support  
 Insulation: R-21 un-faced fiberglass  
 Joists: 2x6 #2 spf equal or better @ 16" O.C. (Transverse)  
 Rim joist: 2x6 #2 spf equal or better  
 Decking: 3/4" (23/32") T&G Douglas Fir Plywood 16" O.C. min. span index

**WALLS**

**A** → Wall covering: 7/16" OSB laminated with Pebble Grain FRP (Class B/2 F.S.) (Color = White)

**EXTERIOR**

Studs: 2x4#2 spf @ 16" O.C. W/double top and single bottom plates  
 Wall height: 8'-0"  
 Insulation: R-15 Kraft faced fiberglass batts  
 Sheathing: 1/8" structural thermo-ply (blue grade)  
 Siding: .019 Aluminum (Color = To Be Selected)  
 Note: Caulk all seams above doors and windows.  
 Skirting: Skirting supplied and installed on site by others  
 Exterior Trim:  
 Trim: .019 Aluminum (Color = To Be Selected)

**INTERIOR**

Studs: 2x4 stud grade spf @ 16" O.C. W/single top and bottom plates  
 Wall height: 8'-0"  
 Interior Trim:  
 Floor Base: 4" Vinyl cove base (Color = To Be Selected)  
 Wall Trim: Plastic inserts at vertical seams and inside corners  
 Ceiling Cove: 1" PVC Crown  
 Door Trim: Prefinished PVC casing  
 Window Trim: Prefinished PVC casing

**ROOF**

Ceiling System: 1/2" prefinished gypsum w/vapor barrier Color: White  
 Ceiling Height: 8'-0"  
 Rafters: Low Profile trusses @ 16" O.C.  
 Insulation: R-38 insulation  
 Sheathing: 7/16" OSB 16/0 span index w/"Blaze Guard C"  
 Roofing: .045 Black EPDM rubber roof Fully adhered  
 Gutters: Standard J-Rail  
 Roof venting: 1 Powered screened gable vent to activate @ 60% relative humidity (50 CFM)  
 Roof venting: 2 Non-powered screened gable vent (16x4)

**EXTERIOR DOORS**

**D1** → Door: 2 36x80 ins/steel door w/steel jambs Color: White  
 drip cap, weather stripping, H/C threshold, Heavy duty Stay Chain  
 Lite Kits: 2 10"x10" Laminated Glass  
 Hardware: 2 Keyed Entry Lever (Grade 2)

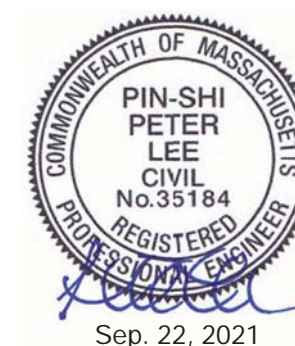
**INTERIOR DOORS**

**D2** → Door: 1 36x80 prefinished Vinyl hollow core wood door  
 Jambs: 1 frp jambs w/butterfly hinges  
 Hardware: 1 Passage lever set US32D (Grade 3)  
 Hardware: 1 Floor mount door stop (Factory Standard)

**WINDOWS**

**W1** → Exterior Window: 7 Win-tech G78 46x27 horizontal slider w/DIG  
 w/Low E, Argon, White vinyl frame, drip cap and Bug screen  
 (U=0.29 SHGC=0.24 VT=0.53) (DP + 25/-25) (Air Infl. 0.11 cfm/sqft)

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 10x32 OFFICE









CUSTOMER:  
 PAC VAN, INC.  
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 PLAN APPROVAL #:  
 BBR5-XXXXXX

SHEET DESCRIPTION:  
**SPECIFICATIONS**





PRINT DATE:  
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 BB

DRAWING NUMBER  
**SP1**

**ELECTRICAL**

Service:		120/240V single phase, 3 wire, 60hz w/ground
 Load center:	1	12 circuit with main 100Amp breaker
Entrance:		1 1/2" EMT conduit stub thru floor
Raceway:		Min. #12 AWG MC cable
 Lights:	4	1' x 4' L.E.D. Surface Mount Wrap W/Acrylic Lens
 Exterior Lights:	2	120V 14W L.E.D. weatherproof exterior light
Misc.:	2	12 Volt Tail Lights
<b>Receptacles/Switches:</b>		
 Receptacles:	6	Color: White 120V 20A duplex grounding type w/wall plate
GFI, WP, WR  Receptacles:	1	120V 20A Black duplex weather resistant GFCI Protected w/WP HD in-use cover
 Switches:	2	120V toggle type w/wall plate
 Switches:	2	120V Occupancy Sensor switch w/manual override w/wall plate
 Misc.:	2	2x4 Empty J-Boxes w/ cover and 1/2" conduit stubbed thru floor for phone/data (All Systems & Wiring to be installed on site by others)

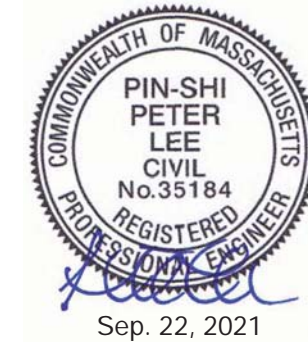
**HVAC**

Heating:	1	10KW 240/208V electric resistant heat in wall hung unit
Cooling:	1	2-ton 240/208V single phase Bard wall hung unit (11.0 EER) (W24AB-A10)
Note:		For 208V service, change low voltage tap to 208
 Thermostat	1	Single Stage Programmable
Ducts:		Fiberglass in roof for S/A
 Diffusers:	4	12x12 White Grilles in ceiling
R/A  Return Air:	1	24x14 through wall grille @ unit #RG-2
R/A  Return Air:	1	Set 30x8 through wall grille above interior door

**SPECIALTIES**

Extinguisher: If required, on site by others

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SCALE:  
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SERIAL NUMBER: 21-0663      MODEL: 10x32 OFFICE

CUSTOMER:  
PAC VAN, INC.

QUOTE NUMBER: 21-1263-2      PLAN APPROVAL #: BBR5-XXXXXX

SHEET DESCRIPTION:  
**SPECIFICATIONS**

PRINT DATE:  
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BB

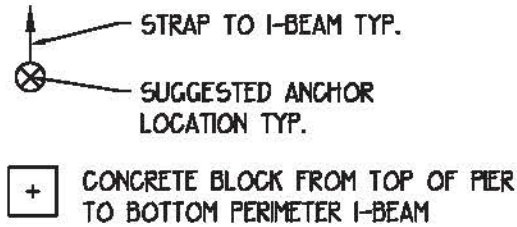
DRAWING NUMBER  
**SP2**

**NOTE:** THIS DRAWING IS NOT THE FINAL FOUNDATION DESIGN. THE PURPOSE OF THIS PLAN IS TO SHOW CALCULATED LOAD POINTS. THE ACTUAL DESIGN OF THE FOUNDATION MUST MEET LOCAL CODES AND SOIL CONDITIONS BY A REGISTERED PROFESSIONAL AND IS THE RESPONSIBILITY OF THE CSL OF THIS BUILDING. A SEPARATE FOUNDATION DRAWING SET MUST BE SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

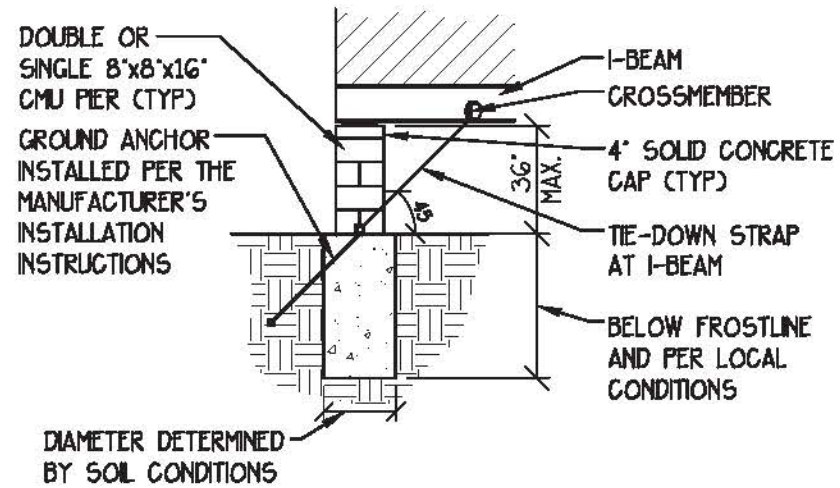
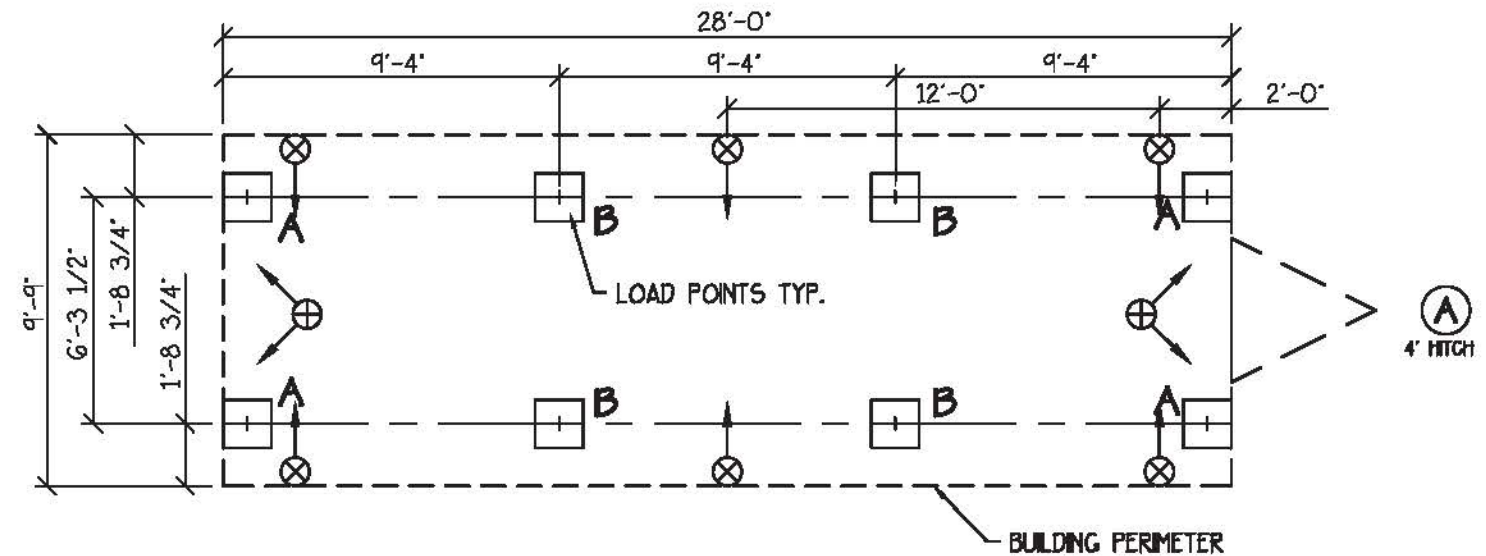
**NOTE:** THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

**FOUNDATION NOTE:**

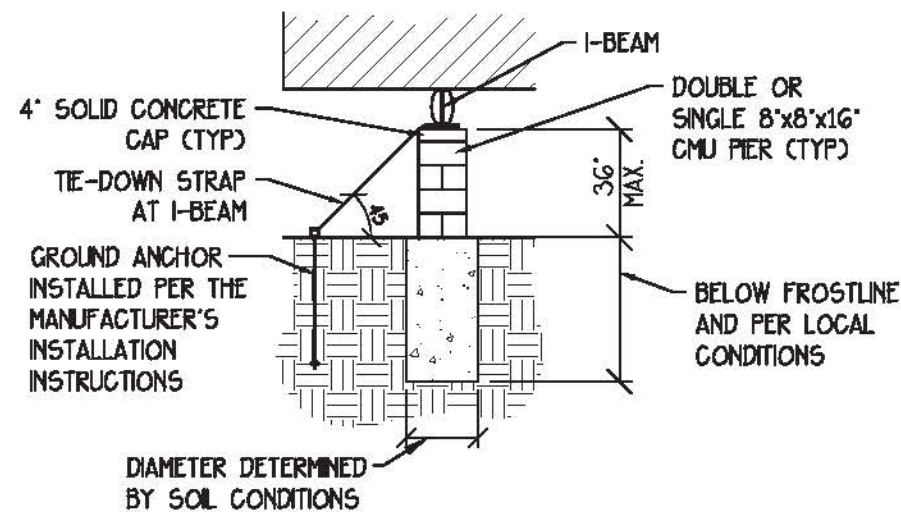
1. ASSUMED SOIL BEARING 2000 PSF.
2. CONCRETE FOOTING DESIGNED TO 3000 PSI MINIMUM.
3. CRAWL SPACE VENTILATION PROVIDED ON SITE BY DEALER/CSL
4. CRAWL SPACE ACCESS PROVIDED ON SITE BY DEALER/CSL
5. TIE-DOWN STRAPS SHALL BE 1-1/4"x0.035" TYPE 1 FINISH B. GRADE 1 GALVANIZED STEEL STRAPPING NETTING ANSI 225.1 AND ASTM D3953 GGO.



POINT LOADS		
SYMBOL	LOAD POINT IN KIPS	FOOTING SIZE
A	3.7	18" x 18"
B	6.5	24" x 24"



**SUGGESTED LONGITUDINAL TIE-DOWN DETAIL**  
3/16"=1'-0"



**SUGGESTED TIE-DOWN DETAIL**  
SCALE: NONE

**FOUNDATION PLAN**  
SCALE: 3/16"=1'-0"

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**FOUNDATION PLAN**

PRINT DATE: 9/17/21

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DRAWING NUMBER

**F1**

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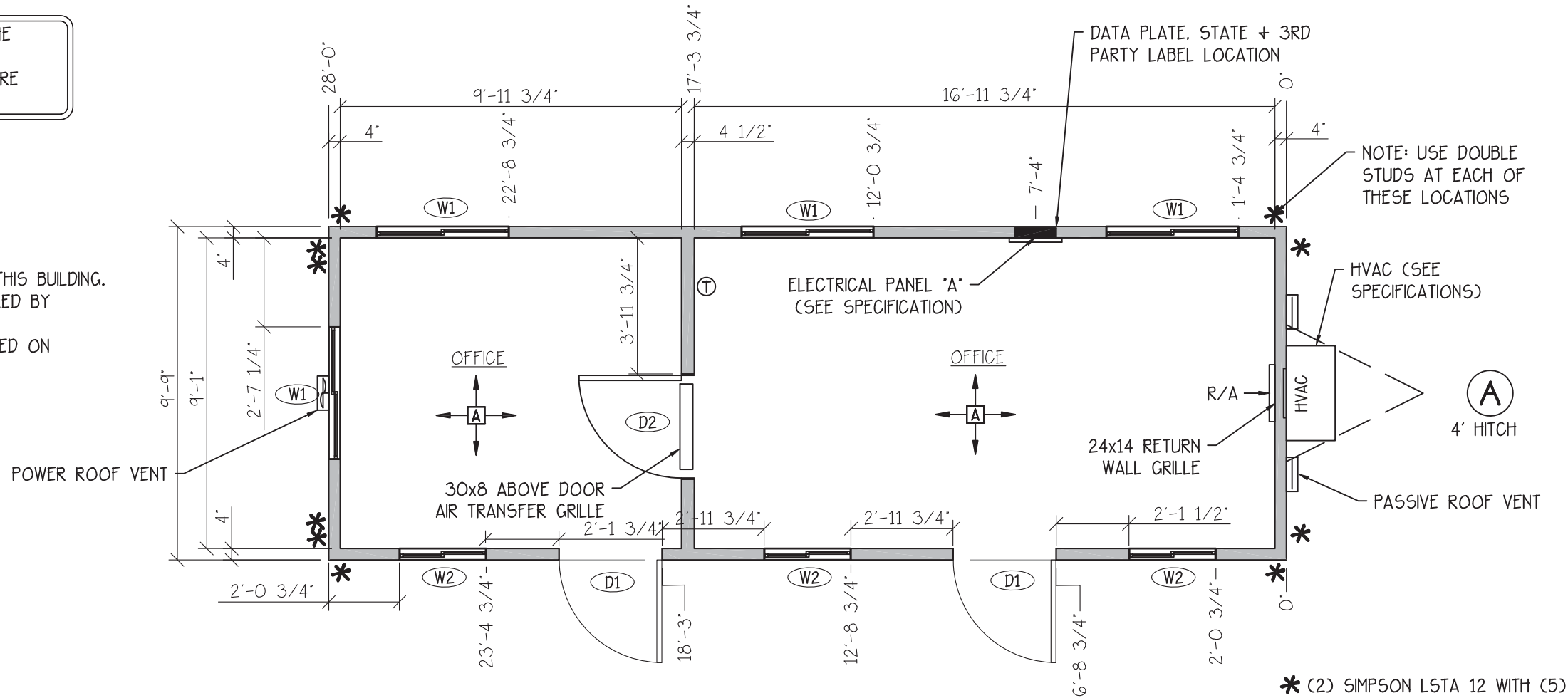
NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

FLOOR PLAN NOTES:

1. BOTTLE WATER PROVIDED ON SITE.
2. RESTROOMS SHALL BE PROVIDED WITHIN 500 FEET OF THIS BUILDING.
3. IF REQUIRED SERVICE SINK TO BE PROVIDED AND INSTALLED BY OTHERS ON SITE.
4. 3RD PARTY AND STATE LABELS AND DATA PLATE LOCATED ON FRONT OF ELECTRICAL PANEL DOOR
5. ON SITE RENEWABLE ENERGY PROVIDED BY CSL.

HEADER NOTES:

1. ALL STRUCTURAL HEADERS SHALL BE FASTENED AND BEAR ON (1) 2x4/6 #2SPF JACK STUD EACH SIDE.
2. ALL OPENINGS TO HAVE (1) 2x4/6 #2SPF JAMB STUD EACH SIDE OF OPENING. EXCEPT 60 1/2" OPENINGS TO GET (2) 2X6 #2 SPF EACH SIDE.
3. OPENINGS ON END WALLS DO NOT REQUIRED STRUCTURAL HEADER DUE TO ROOF TRUSS CARRIES THE LOAD UNLESS NOTED.



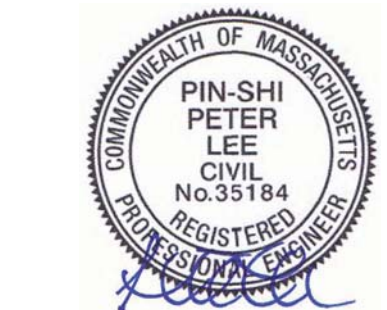
FLOOR PLAN

SCALE: 1/4"=1'-0"

DOOR/WINDOW SCHEDULE

TAG	SIZE	TYPE	JAMB/FRAME	ROUGH OPENING	SILL HEIGHT	HEADERS
D1	36 x 80	TELLSTAR - STEEL	STEEL	36 1/4" x 80 1/4"	-	(2) 2X6 #2 SPF ON EDGE W/FILLER
D2	36 x 80	VINYL HOLLOW CORE	FRP	37" x 82"	-	NON LOAD BEARING
W1	46 x 27	HORIZONTAL	VINYL	46 1/2" x 27 1/4"	42" A.F.F.	(2) 2X6 #2 SPF ON EDGE W/FILLER
W2	30 x 27	HORIZONTAL	VINYL	30 1/2" x 27 1/4"	42" A.F.F.	(2) 2X6 #2 SPF ON EDGE W/FILLER

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WALLS

Wall covering: 7/16" OSB laminated with Pebble Grain FRP (Class B/2 F.S.) (Color = White)



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FLOOR PLAN

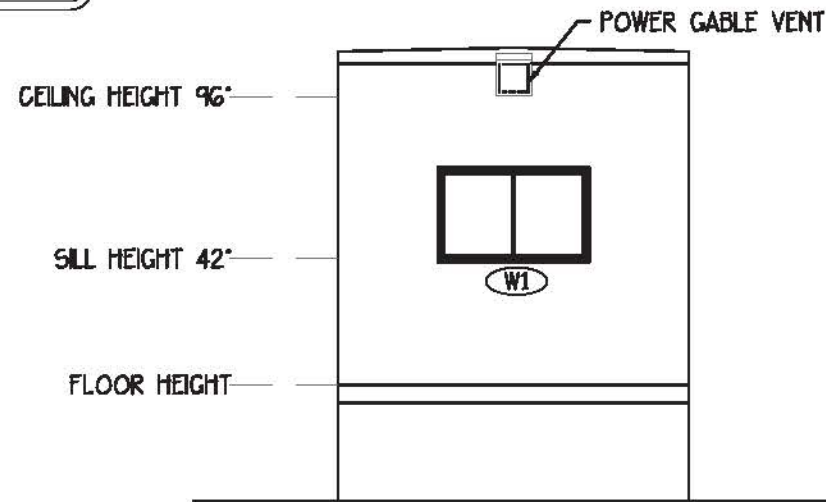
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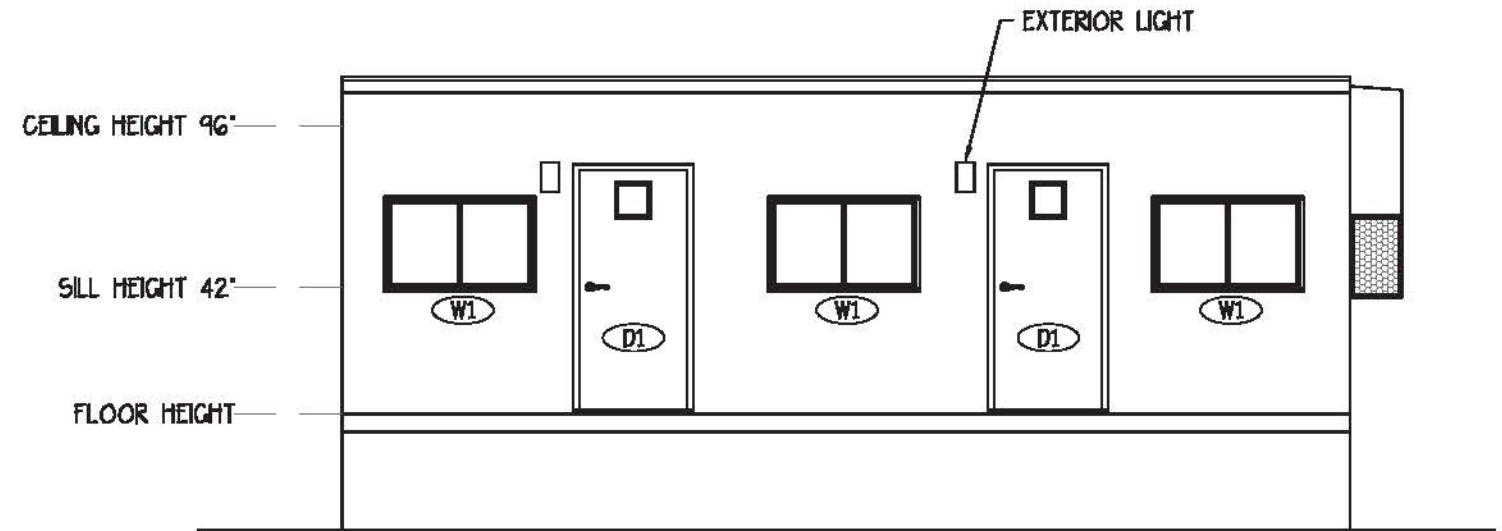
A1

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2



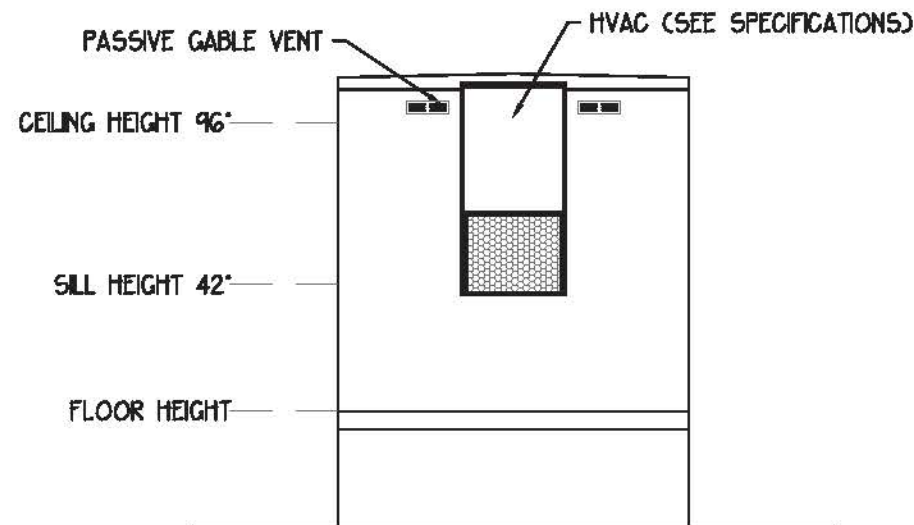
### LEFT ELEVATION

SCALE: 3/16"=1'-0"



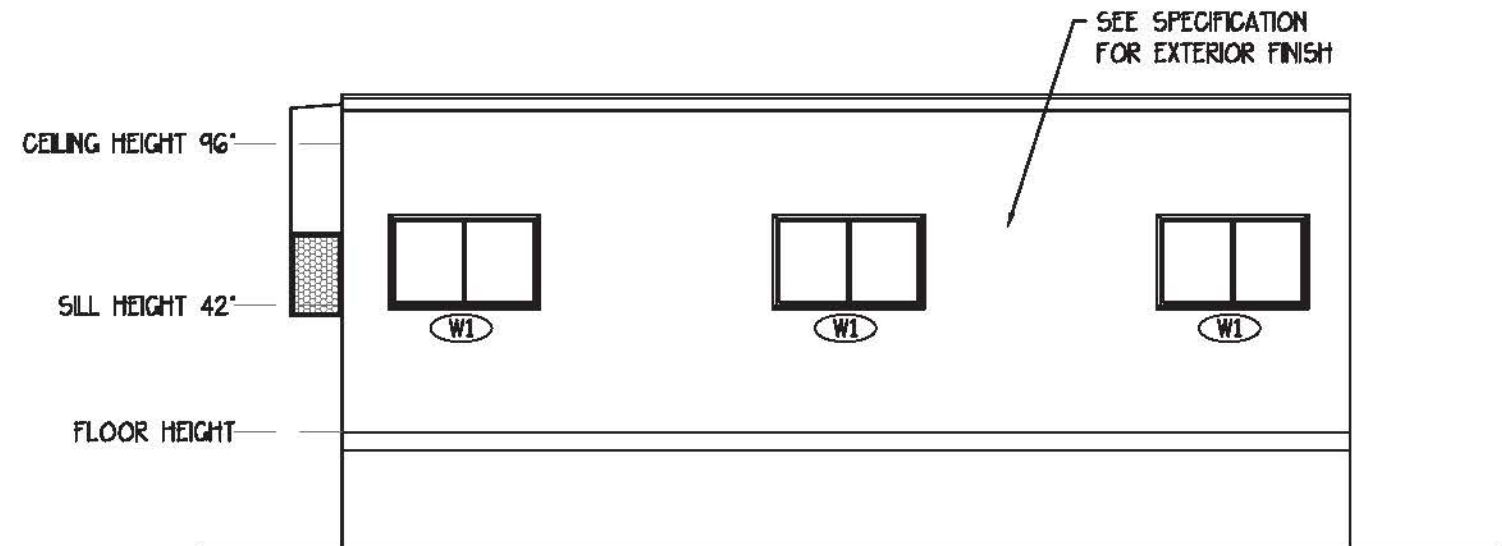
### FRONT ELEVATION

SCALE: 3/16"=1'-0"



### RIGHT ELEVATION

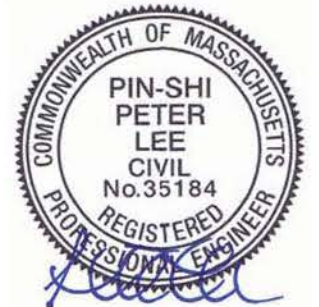
SCALE: 3/16"=1'-0"



### REAR ELEVATION

SCALE: 3/16"=1'-0"

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SCALE: AS NOTED  
 SERIAL NUMBER: 21-0663  
 MODEL: 10x32 OFFICE

CUSTOMER: PAC VAN, INC.  
 QUOTE NUMBER: 21-1263-2  
 PLAN APPROVAL #: BBR5-XXXXXX

SHEET DESCRIPTION:  
**ELEVATIONS**

PRINT DATE: 9/17/21  
 DRAWN BY: BB

DRAWING NUMBER  
**A2**

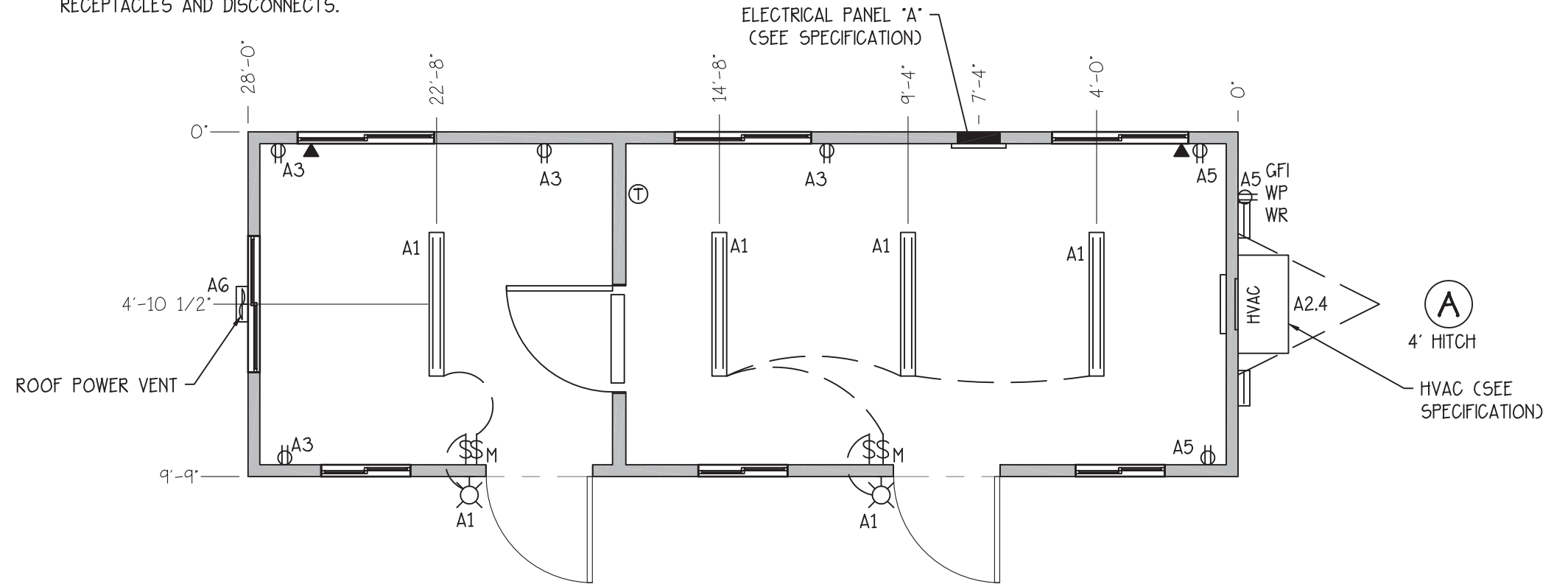


NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

**ELECTRICAL PLAN NOTES:**

1. NM TYPE CABLE NOT TO BE RAN IN SUSPENDED CEILING OR CAVITIES USED AS RETURN AIR CHASES. WIRING IN THESE AREAS SHOULD BE RUN IN CONDUIT OR MC TYPE CABLE.
2. ALL EXTERIOR METAL TO BE GROUNDED PER N.E.C. OR APPLICABLE CODE.
3. WEATHERPROOF PROTECTION REQUIRED FOR ALL OUTDOOR LIGHTS, RECEPTACLES AND DISCONNECTS.



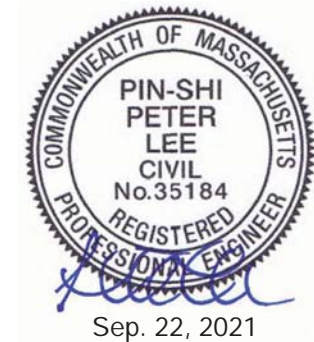
**ELECTRICAL**

Service:	120/240V single phase, 3 wire, 60hz w/ground
Load center:	1 12 circuit with main 100Amp breaker
Entrance:	1 1 1/2" EMT conduit stub thru floor
Raceway:	Min. #12 AWG MC cable
Lights:	4 1' x 4' L.E.D. Surface Mount Wrap W/Acrylic Lens
Exterior Lights:	2 120V 14W L.E.D. weatherproof exterior light
Misc.:	2 12 Volt Tail Lights
Receptacles/Switches:	Color: White
Receptacles:	6 120V 20A duplex grounding type w/wall plate
GFI. WP. WR Receptacles:	1 120V 20A Black duplex weather resistant GFCI Protected w/WP HD in-use cover
Switches:	2 120V toggle type w/wall plate
Switches:	2 120V Occupancy Sensor switch w/manual override w/wall plate
Misc.:	2 2x4 Empty J-Boxes w/ cover and 1/2" conduit stubbed thru floor for phone/data
(All Systems & Wiring to be installed on site by others)	

**ELECTRICAL PLAN**

SCALE: 3/16"=1'-0"

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SCALE:  
AS NOTED

SERIAL NUMBER:  
21-0663

MODEL:  
10x32 OFFICE

CUSTOMER:  
PAC VAN, INC.

QUOTE NUMBER:  
21-1263-2

PLAN APPROVAL #:  
BBR5-XXXXXX

SHEET DESCRIPTION:  
**ELECTRICAL PLAN**

PRINT DATE:  
9/17/21

DRAWN BY:  
BB

DRAWING NUMBER  
**E1**

# Panel ID: A

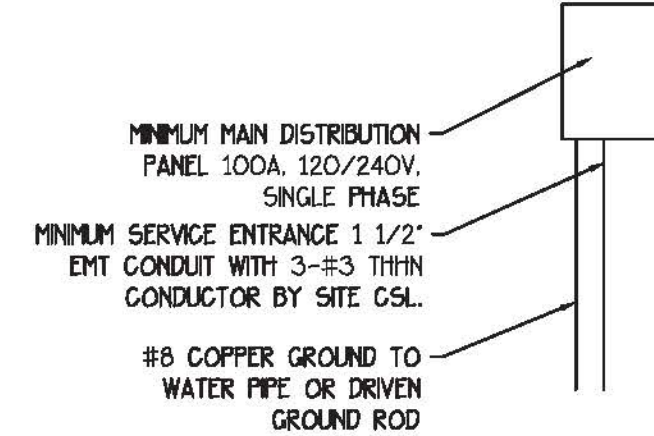
\*\*\*MAIN BREAKER: 100A  
MAIN LUGS ONLY:

VOLTAGE: 120/240  
MOUNTED TYPE  
SURFACE/FLUSH: FLUSH

PHASE: SINGLE, 3 WIRE  
INTERIOR/EXTERIOR: INTERIOR  
LOCATION: PER PRINT

LOAD	AREA SERVED	WIRE	BRK	CKT	A	B	CKT	BRK	WIRE	AREA SERVED	LOAD
275	LIGHTING	12	20	1	●		2	60	6	HVAC	5282
720	RECEPTACLES	12	20	3		●	4	60	6		5282
540	RECEPTACLES	12	20	5	●		6	20	12	ROOF VENT	180
0	SPACE	-	0	7	●		8	0	-	SPACE	0
0	SPACE	-	0	9	●		10	0	-	SPACE	0
0	SPACE	-	0	11	●		12	0	-	SPACE	0

CALCULATION OF CONTINUOUS LOAD:		TOTAL FOR PHASE 'A':		6277 VA
NEC MINIMUM LIGHTING LOAD:		TOTAL FOR PHASE 'B':		6002 VA
(273 SQUARE FEET) x 3.5 =	956 VA	TOTAL CONNECTED LOAD:		12279 VA
ACTUAL LIGHTING LOAD:	275 VA	NON-CONTINUOUS LOAD:		12003 VA
USE LARGER OF NEC OR ACTUAL:	956 VA	FACTORED CONTINUOUS LOAD:		1196 VA
OTHER CONTINUOUS LOADS:	1 VA			
TOTAL CONTINUOUS LOAD:	957 VA	TOTAL LOAD:		13199 VA
FACTORED CONTINUOUS LOAD X 1.25	1196 VA	TOTAL LOAD/240 VOLTS =		55 Amps



NOTES:

- HORSEPOWER AND/OR FULL LOAD AMPERE RATING VOLTAGE AND PHASE, SHALL BE REQUIRED FOR ALL MOTORS
- ELECTRIC SERVICE ENTRANCE PER SECTIONS 230-8 AND 230-70A PROVIDED AND INSTALLED BY SITE CSL
- SITE CSL MAY SUBSTITUTE WIRE TYPES IN CONFORMANCE WITH N.E.C. CODE.
- THE MAIN DISTRIBUTION SHALL BE LOCATED ON OR IN A READILY ACCESSIBLE LOCATION.
- THE MAXIMUM NUMBERS OF DISCONNECTS AND GROUPING OF DISCONNECTIONS SHALL BE IN CONFORMANCE WITH SECTIONS 230-71 AND 230-72.
- MAIN DISTRIBUTION PANEL SHALL BE SIZED A MINIMUM OF THE LOAD INDICATED ON THE ELECTRICAL LOAD CALCULATION.

## ELECTRICAL PANEL RISER DIAGRAM

SCALE: NONE

WIRE TYPES	
NOT ALL WIRES USED SEE SPECIFICATIONS FOR WIRE USED	
WIRE	TYPE
2-2-4 SEU	SERVICE ENTRANCE 600 VOLTS
6-6-8 SEU	THHN 600 VOLTS
#8	NM-B WITH GROUND 600 VOLTS
#10	NM-B WITH GROUND 600 VOLTS
#12	NM-B WITH GROUND 600 VOLTS
#14	NM-B WITH GROUND 600 VOLTS

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MODEL: 10x32 OFFICE

CUSTOMER: PAC VAN, INC.

QUOTE NUMBER: 21-1263-2

PLAN APPROVAL #: BBRS-XXXXXXX

SHEET DESCRIPTION:

ELECTRICAL  
DETAILS

PRINT DATE: 9/17/21

DRAWN BY: BB

DRAWING NUMBER

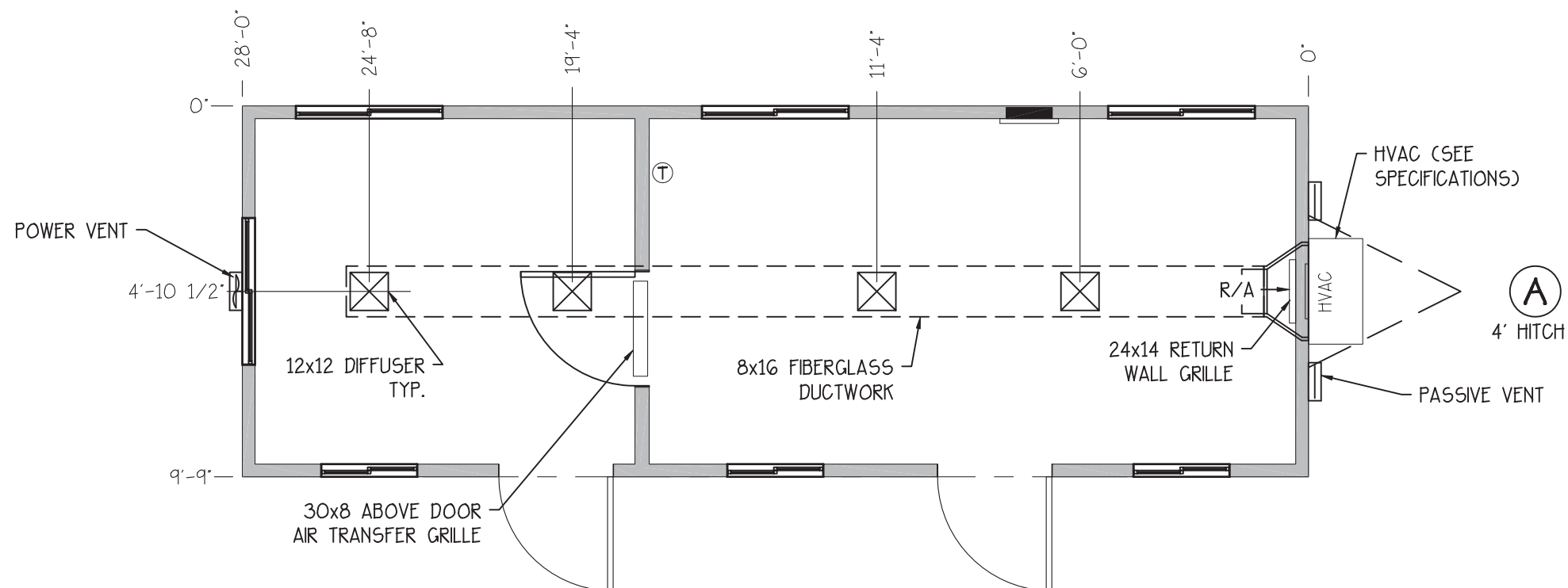
E2

NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

**MECHANICAL PLAN NOTES:**

1. ATTIC TO BE MECHANICALLY VENTILATED AT AT MINIMUM >.02 CFM PER SF.
2. POWER ROOF VENT SHOWN TO BE MINIMUM OF 50 CFM AND OPERATES RELATIVE 60% HUMIDITY.
3. EXHAUST FANS AND VENTING EQUIPMENT TO BE DUCTED TO EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
4. BARD HVAC UNIT IS EQUIPPED WITH FRESH AIR INTAKE LOUVERS AND DAMPER AND CAPABLE OF UP TO 25% FRESH AIR.
5. HVAC SYSTEM TO BE TESTED AND BALANCED WITHIN 10%± OF THE DESIGN PARAMETERS AND ANY REPORTS REQUIRED ARE TO BY CSL ONCE BUILDING IS INSTALLED AT SITE.

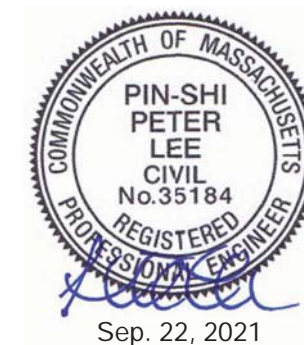


**MECHANICAL PLAN**

SCALE: 1/4"=1'-0"

HVAC		
Heating:	1	10KW 240/208V electric resistant heat in wall hung unit
Cooling:	1	2-ton 240/208V single phase Bard wall hung unit (11.0 EER) (W24AB-A10)
Note:		For 208V service, change low voltage tap to 208
Ⓢ → Thermostat	1	Single Stage Programmable
Ducts:		Fiberglass in roof for S/A
⊠ → Diffusers:	4	12x12 White Grilles in ceiling
R/A → Return Air:	1	24x14 through wall grille @ unit #RG-2
R/A → Return Air:	1	Set 30x8 through wall grille above interior door

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 PLAN APPROVAL #: BBR5-XXXXXX

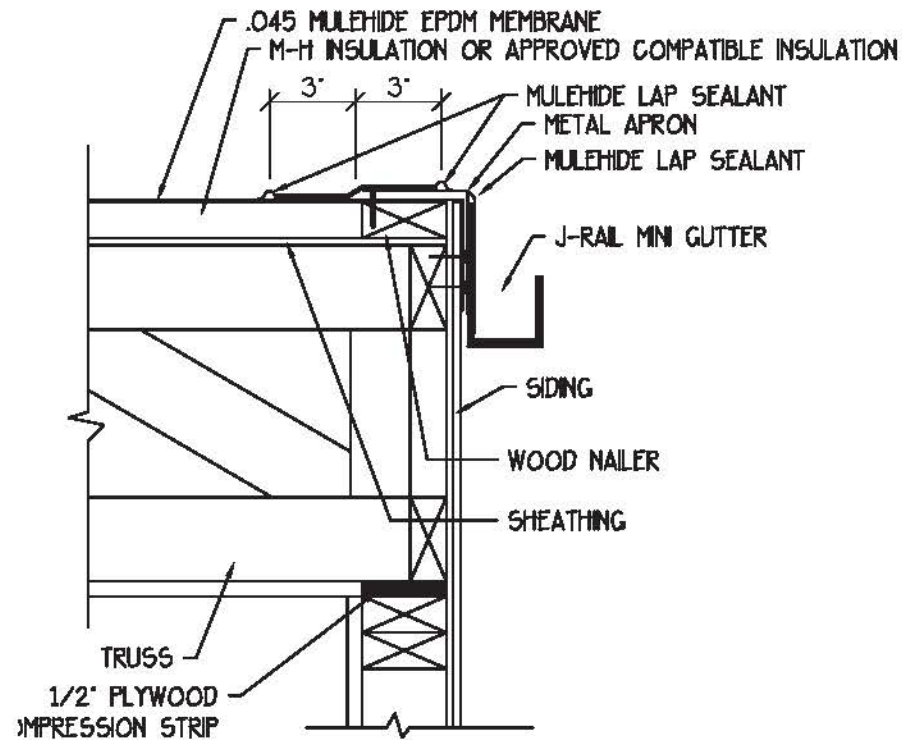
SHEET DESCRIPTION:  
**MECHANICAL PLAN**

PRINT DATE: 9/17/21  
 DRAWN BY: BB

DRAWING NUMBER  
**M1**

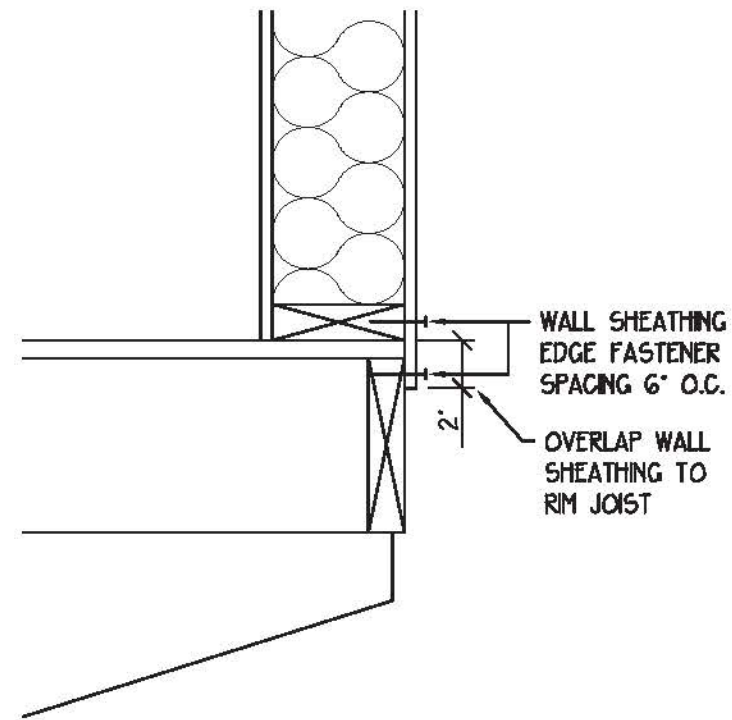
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NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2



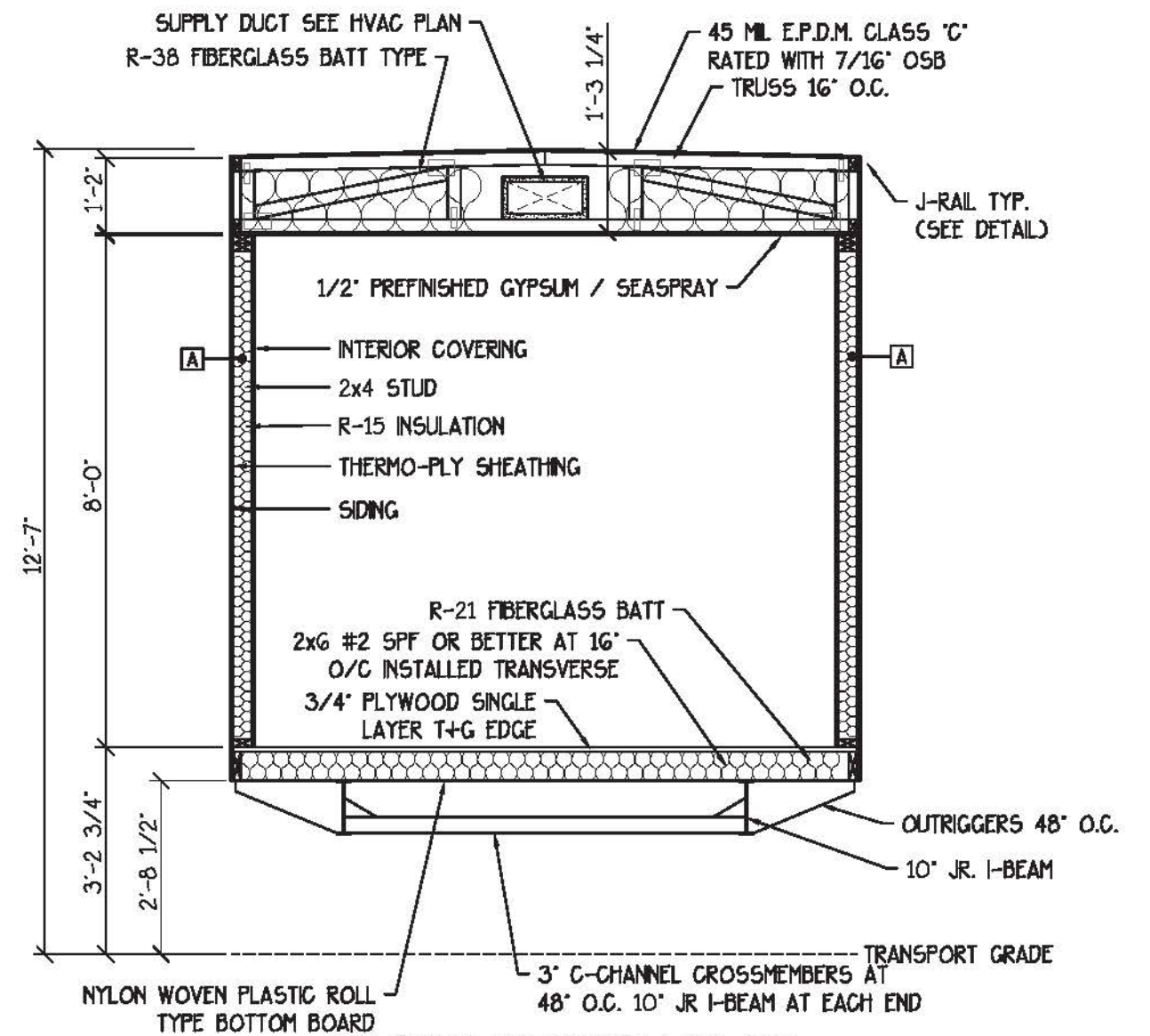
**TYPICAL J-RAIL TRIM**

SCALE: NONE



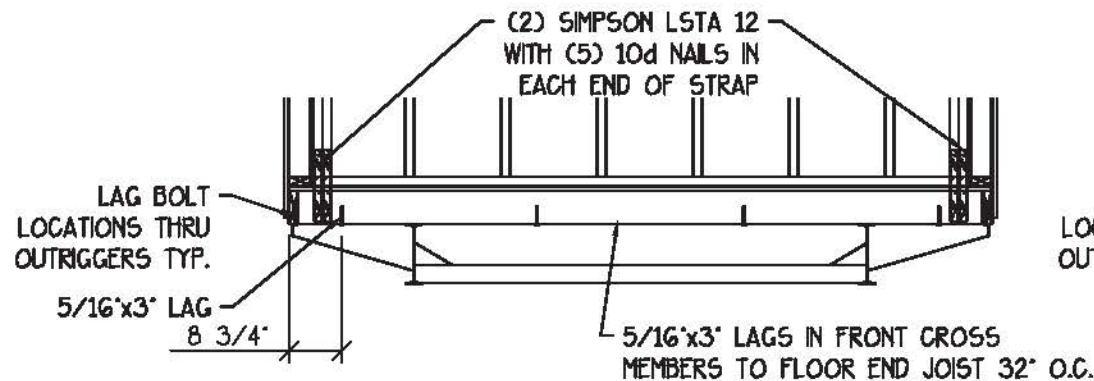
**SHEATHING DETAIL**

SCALE: NONE



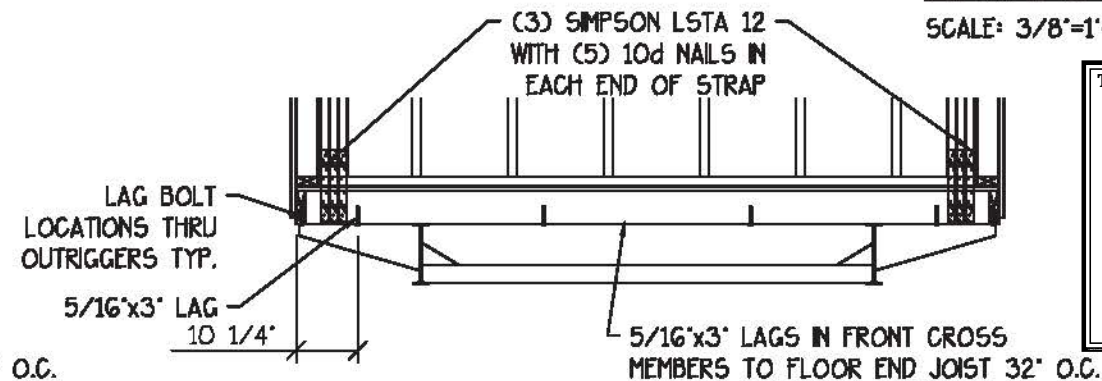
**CROSS SECTION PLAN**

SCALE: 3/8"=1'-0"



**FRONT END WALL DETAIL**

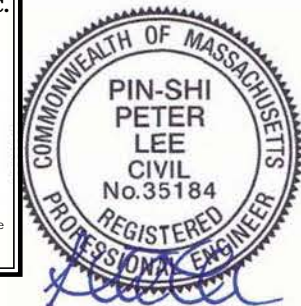
SCALE: 3/8"=1'-0"



**REAR END WALL DETAIL**

SCALE: 3/8"=1'-0"

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PLAN APPROVAL #: BBR5-XXXXXX

SHEET DESCRIPTION:

**CROSS SECTION**

PRINT DATE: 9/17/21

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DRAWING NUMBER

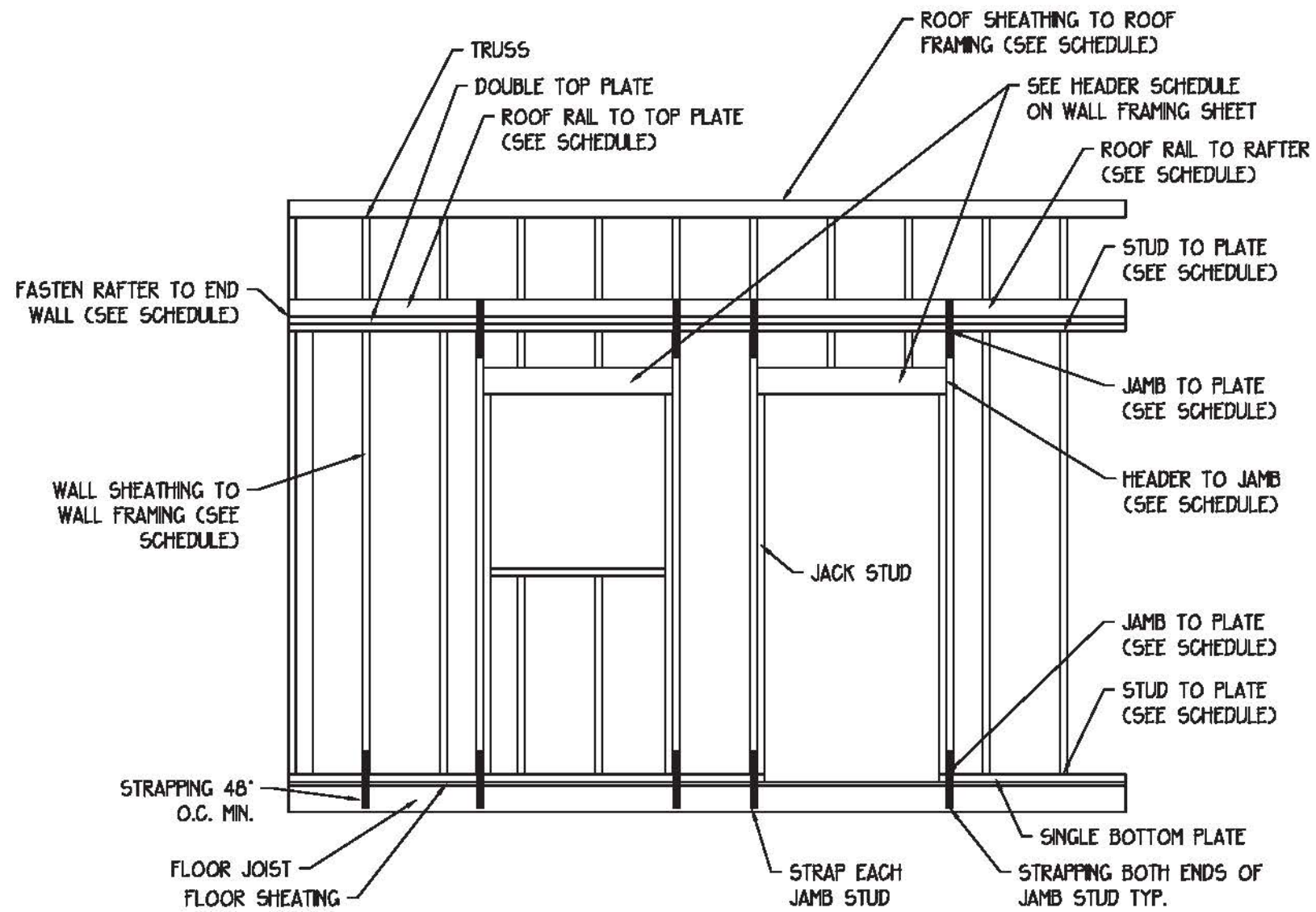
**S1**

## CONNECTION SCHEDULE

APPLICATION	METHOD	QUANTITY	TYPE	NOTES
FLOOR RAIL TO FLOOR JOIST	STAPLED	5	Q25	-
STEEL FRAME TO FLOOR RAIL	LAGGED	1	5/16"x3"	48" MAX.
DOUBLE TOP PLATE	STAPLED	SEE NOTE	Q25	(2) AT 6' O.C.
STUD TO PLATE	END-NAILED / END STAPLED	3	0.131"x3" / Q25	-
JAMB STUD TO PLATE	END-NAILED / END STAPLED	3	0.131"x3" / Q25	-
HEADER TO JAMB STUD	END-NAILED / END STAPLED	3	0.131"x3" / Q25	EACH END - EACH 2x
ROOF RAIL TO TRUSS	END-NAILED / END STAPLED	4-NAILS / 6-STAPLES	0.131"x3" / Q25	-
TRUSS TO NON-BEARING WALL TOP PLATE	TOE-SCREWED	SEE NOTE	#8x3-1/2"	8' O.C.
ROOF RAIL TO BEARING WALL TOP PLATE	TOE-NAILED	SEE NOTE	0.131"x3"	16' O.C.
TRUSS TO BEARING WALL	TOE-SCREWED	SEE NOTE	#8x3-1/2"	EACH END OF EACH TRUSS
BOTTOM PLATE TO FLOOR RIM JOIST	SCREWED	SEE NOTE	#8x3-1/2"	16' O.C.
BOTTOM PLATE TO FLOOR END JOIST	SCREWED	SEE NOTE	#8x3-1/2"	8' O.C.
SHEATHING TO WALL FRAMING	STAPLED	SEE NOTE	P15 /16GA	3' O.C. FIELD, 3' O.C. EDGE
ROOF SHEATHING TO ROOF FRAMING	NAILED	SEE NOTE	8d	12' O.C. FIELD, 6' O.C. EDGE

## STRAP SCHEDULE

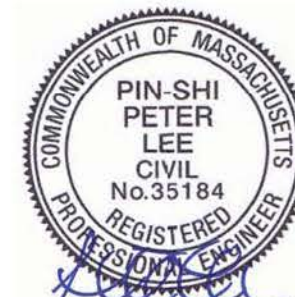
EXTERIOR /MATE-LINE WALLS	MIN. SPACING	NUMBER OF FASTENERS	TYPE OF STRAP
JAMB STUDS TO FLOOR RAIL AND TO ROOF RAIL	N/A	(6) N11 STAPLES EACH END OF STRAP	(1) 30 GA. x 1.5" STEEL STRAP EACH END OF JAMB STUD
STUDS TO FLOOR RAIL AND TO ROOF RAIL (SIDEWALLS)	48' O.C.	(6) N11 STAPLES EACH END OF STRAP	(1) 30 GA. x 1.5" STEEL STRAP EACH END OF STUD
SHEAR WALL TO END FLOOR JOIST (SEE DETAILS SHEET S1)	N/A	(5) 10d NAILS EACH END OF STRAP	L5TA 12 STRAPS EACH LOCATION NOTED SHEET A1 (QTY PER DETAIL S1)
EACH END OF SIDEWALL TO FLOOR RAILS EACH SIDEWALL	N/A	(5) 10d NAILS EACH END OF STRAP	(2) L5TA 12 STRAPS EACH LOCATION NOTED SHEET A1



## STRAP AND HEADER DETAIL

SCALE: 3/8"=1'-0"

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CUSTOMER:  
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QUOTE NUMBER:  
21-1263-2

PLAN APPROVAL #:  
BBRS-XXXXXX

SHEET DESCRIPTION:

**STRUCTURAL  
DETAIL**

PRINT DATE:  
9/17/21

DRAWN BY:  
BB

DRAWING  
NUMBER

**S2**

**ELMWOOD STREET**  
(PUBLIC PER REF #3)

**LEGEND**

SWL	SOLID WHITE LINE
BLDG	BUILDING
BFFA	BUILDING FOOTPRINT AREA
EL	ELEVATION
SIGN	SIGN
MB	MAIL BOX
BOLL	BOLLARD
VGC	VERTICAL GRANITE CURB
CLF	CHAIN LINK FENCE
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
10	PARKING SPACE COUNT
UP	UTILITY POLE
WV	WATER VALVE

MAP 13  
BLOCK D  
LOT 25  
N/F LANDS OF  
ZETRO ELMWOOD, LLC  
BK. 6943, PG. 298

MAP 183  
LOT 1  
N/F LANDS OF  
WILLIE F. NICKERSON  
BK. 12411, PG. 47

MAP 13  
BLOCK D  
LOT 25A  
N/F LANDS OF  
CAMERON-ELMWOOD REALTY, LLC  
BK. 28869, PG. 484

MAP 183  
LOT 130  
N/F LANDS OF  
95-99 ELMWOOD STREET LLC  
BK. 70260, PG. 280

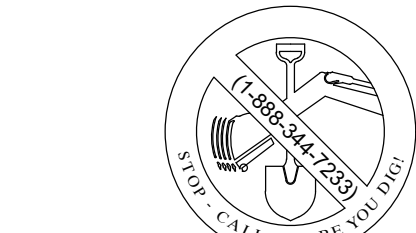
MAP 183  
LOT 119  
N/F LANDS OF  
CAMERON-ELMWOOD REALTY, LLC  
BK. 28869, PG. 484

MAP 183  
LOT 14  
N/F LANDS OF  
30-32 CAMERON AVENUE  
REALTY TRUST  
BK. 43303, PG. 400

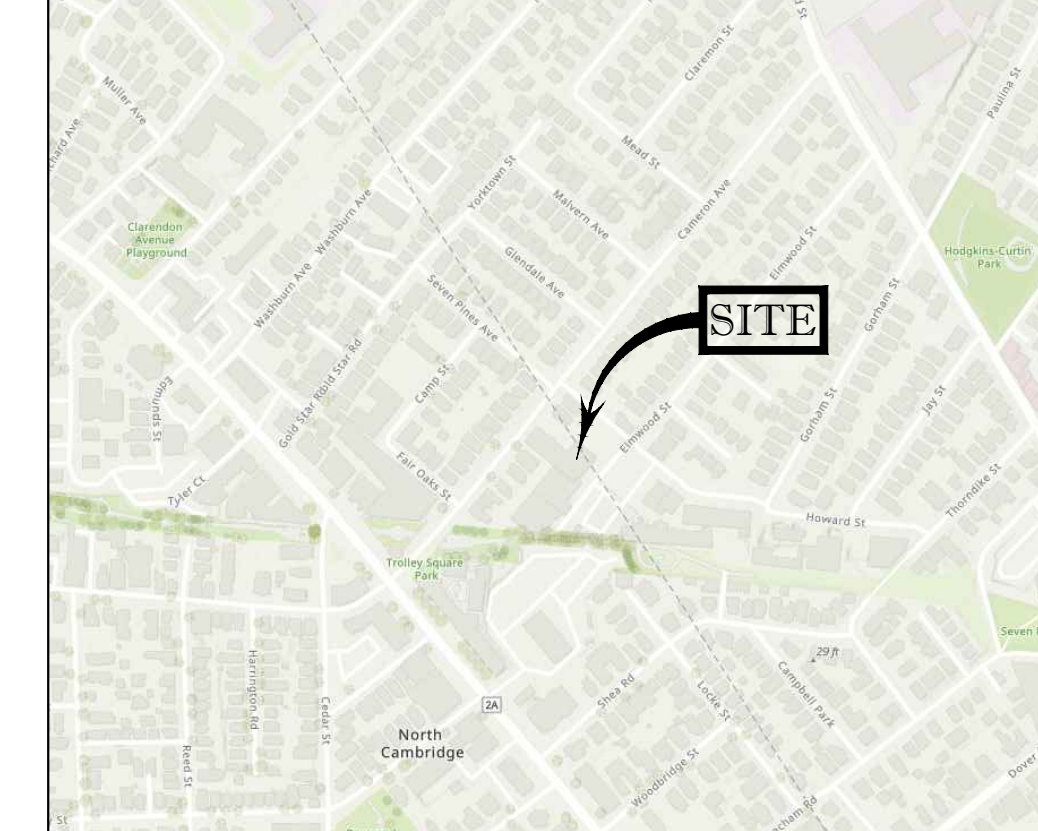
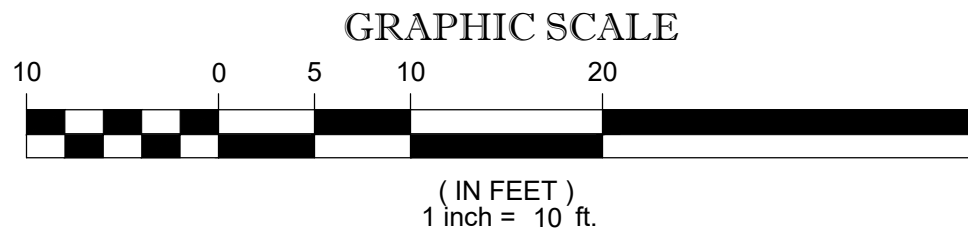
**RIGHT OF WAY**  
(PUBLIC - 20' WIDE - PER REF #3)

SEVEN PINE AVENUE  
(PUBLIC - 20' WIDE - PER REF #1)

**CAMERON AVENUE**  
(PUBLIC - 60' WIDE - PER REF #6)



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

**NOTES:**

- PROPERTY KNOWN AS LOT 119, AS SHOWN ON THE CITY OF CAMBRIDGE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 183 AND LOT 25 A, BLOCK D, ON THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 13.
- TOTAL AREA = 17,351 SQUARE FEET OR 0.398 ACRES
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED SITE FEATURES, AS DESIGNED BY OTHERS.
- ITEMS SHOWN HEREON IN GREY SCALE ARE EXISTING SITE FEATURES TO BE REMOVED OR ALTERED PER REFERENCE #10.

**REFERENCES:**

- THE TAX ASSESSOR'S MAP OF CITY OF CAMBRIDGE, MIDDLESEX COUNTY, MAP 183.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 419 OF 656", MAP NUMBER 29017C0419E, EFFECTIVE DATE: JUNE 4, 2010.
- MAP ENTITLED "PLAN OF LAND IN SOMERVILLE AND CAMBRIDGE DRAWN FOR F.H. NEWTON", PREPARED BY: C.E. BRAY ENG., DATED: JANUARY 13, 1916, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 242, PLAN 17.
- MAP ENTITLED "PLAN OF LAND IN SOMERVILLE AND CAMBRIDGE, MASS.", PREPARED BY: L.G. BRACKETT & CO., DATED: DECEMBER 29, 1950, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN 201 OF 1951.
- MAP ENTITLED "SUB-DIVISION OF LAND IN CAMBRIDGE & SOMERVILLE BELONGING TO COMMONWEALTH LOCK CO.", PREPARED BY: DONALD J. REARDON, SURVEYOR, DATED: AUGUST 28, 1956, LAST REVISED: MARCH 26, 1957, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN 345 OF 1957 IN BOOK 8923, PAGE 510.
- MAP ENTITLED "PLAN OF BUILDING LOTS IN NORTH CAMBRIDGE, MASS.", PREPARED BY: GEO. A. KIMBALL, CIVIL ENGINEER, DATED: MAY 9, 1889, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 77 OF 1889 AT THE END OF BOOK 1916.
- MAP ENTITLED "PLAN OF VALUABLE HOUSE LOTS FOR SALE ON THE SITE OF CAMP CAMERON, SITUATED IN NORTH CAMBRIDGE AND WEST SOMERVILLE", PREPARED BY: W.A. MASON & SON, SURVEYORS, DATED: JULY 18, 1896, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 124, PLAN 46.
- MAP ENTITLED "PLAN OF HOUSE LOTS IN WEST SOMERVILLE BELONGING TO H.W. MAGEE & C.F. MILLS", PREPARED BY: W.A. MASON & SON, DATED: DECEMBER 10, 1896, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 102, PLAN 6.
- MAP ENTITLED "PLAN OF HOUSE LOTS IN WEST SOMERVILLE BELONGING TO CHARLES A. MASON", PREPARED BY: W.A. MASON & SON, DATED: OCTOBER 5, 1897, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 107, PLAN 17.
- CAD FILE PROVIDED BY CLIENT ON AUGUST 16, 2021.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



8-17-2021  
DATE

**GERRY L. HOLDRIGHT, PLS**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE 11-23-2020	PROPOSED PLOT PLAN
FIELD BOOK NO. 20-01 MA	<b>METER PARTS, INC</b>
FIELD BOOK PGS. 88-89	36-38 CAMERON AVENUE & 87 ELMWOOD STREET LOT 119, MAP 183 LOT 25A, BLOCK D, MAP 13 CITY OF CAMBRIDGE CITY OF SOMERVILLE MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS
FIELD CREW C.W.	<b>CONTROL POINT ASSOCIATES, INC.</b> ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-850-2645 MANHATTAN, NY 646-780-0411 SOUTH BOKROUGH, MA 01772 508.948.5000 - 508.948.3003 FAX WARREN, NJ 908-662-0999
DRAWN: B.A.V.	
REVIEWED: E-LOC	APPROVED: G.L.H.
DATE 8-17-2021	SCALE 1" = 10'
FILE NO. 03-200368-00	DWG. NO. 1 OF 1

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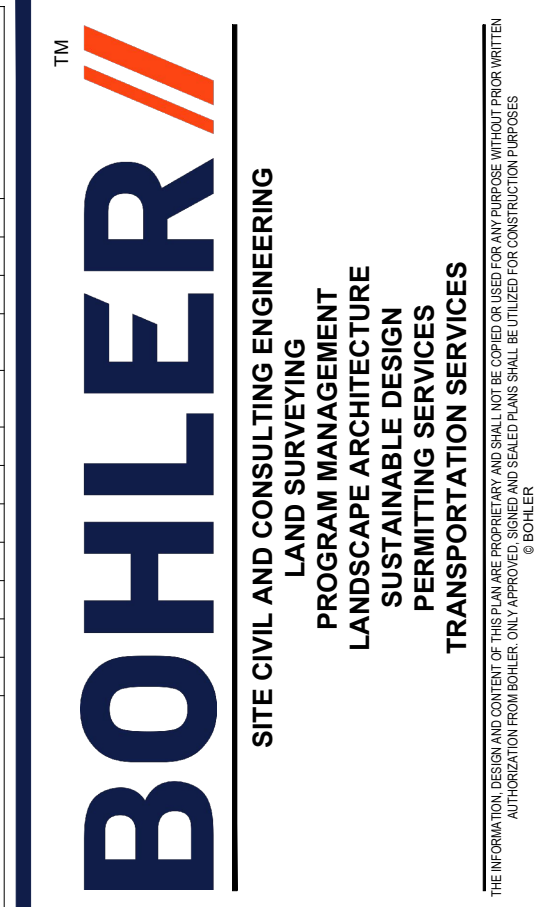


ELMWOOD STREET  
(PUBLIC PER REF #3)

TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

ZONING ANALYSIS TABLE			
ZONING DISTRICT	RES B & BUS A-2		
OVERLAY DISTRICT	N/A		
REQUIRED PERMIT	ACCESSORY USE		
ZONE CRITERIA	REQUIRED RES B	REQUIRED BUS A-2	EXISTING
MIN. LOT AREA	5,000 SF	NONE	14,910 SF
MIN. LOT WIDTH	50'	NONE	75'
RATIO OF GROSS FLOOR AREA TO LOT AREA	0.5	1.0	1.2
MIN. RATIO OF PRIVATE OR SP. TO LOT AREA	40%	NONE	0%
MIN. FRONT SETBACK	15'	5'	0'
MIN. SIDE SETBACK	7.5'	10'	0'
MIN. REAR SETBACK	25'	20'	N/A
MAX. BUILDING HEIGHT	35'	45'	30.5'
MAX. IMPER. COVERAGE	45%	90%	96% ±
PARKING SPACES	N/A	MIN. 22/ MAX. 44	15 (1)
BICYCLE PARKING SPACES	6		6
PARKING STALL CRITERIA STANDARD: 8 FT x 18 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: GENERAL OFFICE USE N/A (RES B & BUS A-2) REQUIRED PARKING: 1 SPACE PER 800 SF GROSS LEASABLE AREA CALCULATION: MIN. 1 SPACE PER 800 SF X 17,623 SF = 22 SPACES MAX. 1 SPACE PER 400 SF X 17,623 SF = 44 SPACES GROSS LEASABLE AREA: 273 SF FROM MOBILE WET LAB TRAILER + 17,350 SF OF EXISTING GROSS LEASABLE AREA = 17,623 SF EXISTING GROSS LEASABLE AREA = (2 X 5,604 SF) 2 STORY MASONRY BUILDING + (4,982 SF) 1 STORY MASONRY BUILDING + 1,160 SF APPROXIMATE BASEMENT STORAGE = 17,350 SF (2)		
BICYCLE PARKING	LONG-TERM PARKING USE/CATEGORY: GENERAL OFFICE USE/2 REQUIRED PARKING: 0.30 SPACES PER 1,000 SF GROSS LEASABLE AREA CALCULATION: 0.30 SPACES X (17,623 SF / 1,000 SF) = 6 LONG-TERM SPACES REQUIRED SHORT-TERM PARKING USE/CATEGORY: GENERAL OFFICE USE, RESEARCH FACILITIES/NS REQUIRED PARKING: 0.06 SPACES PER 1,000 SF GROSS LEASABLE AREA CALCULATION: 0.06 SPACES (17,623 SF / 1,000 SF) = 1 SHORT-TERM SPACE REQUIRED		

- (1) PARKING SPACE COUNT DOES NOT INCLUDE 4 EXISTING SPACES LOCATED WITHIN CITY OF SOMERVILLE. SOMERVILLE ZONING DOES NOT REQUIRE ANY PARKING SPACES FOR THE PORTION OF THE LOT AND USE LOCATED WITHIN SOMERVILLE.
- (2) EXISTING GROSS FLOOR AREA BASED ON PREVIOUS ZBA APPROVAL DATED JULY 23RD, 1998.



REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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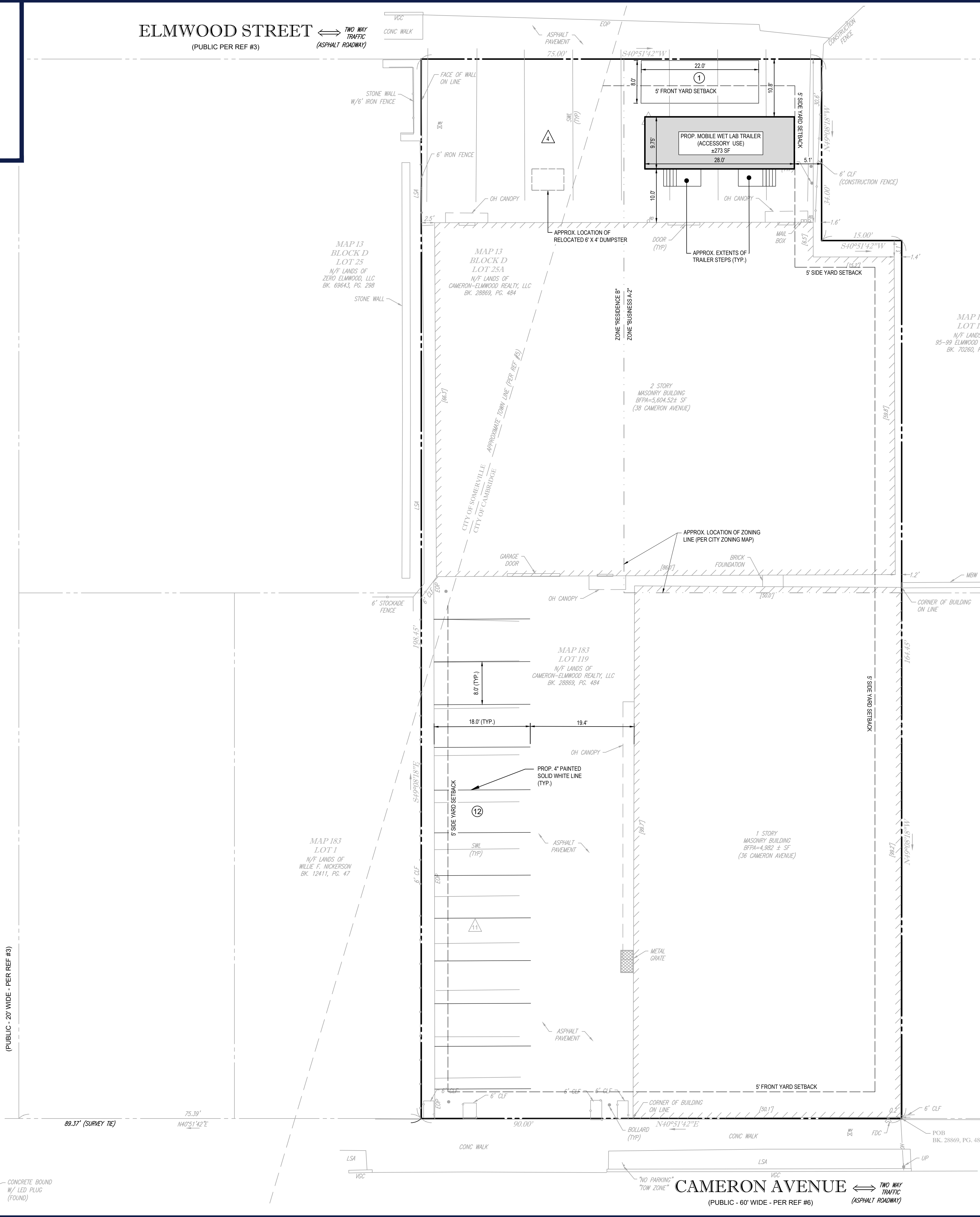
PROJECT No.: M211018  
DRAWN BY: AM  
CHECKED BY: ZLR  
DATE: 08/03/2021  
CAD ID: M211018-CPT-A0

PROJECT:  
**PROPOSED SITE PLAN DOCUMENTS**  
FOR  
**METER PARTS, INC.**  
PROPOSED ACCESSORY USE  
MAP 13, BLOCK D, LOT 25A  
MAP 183, LOT 119  
36-38 CAMERON AVENUE &  
87 ELMWOOD STREET  
CAMBRIDGE, MASSACHUSETTS

**BOHLER**  
45 FRANKLIN STREET, 5th FLOOR  
BOSTON, MA 02110  
Phone: (617) 849-8040  
www.BohlerEngineering.com

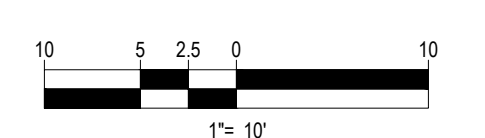


SHEET TITLE:  
**PARKING PLAN**  
SHEET NUMBER:  
**C-01**  
ORG. DATE - 08/03/2021



**LAYOUT PLAN NOTES**

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:  
1.1. "CERTIFIED PLOT PLAN - METER PARTS, INC.", PREPARED BY BOHLER, DATED DECEMBER 3, 2020, REVISED THROUGH JUNE 22, 2021.



P:\211018\DRAWINGS\PLAN SETS\REV 02\211018-CPT-A0-PLAN\DOT\_CAD\PC-CONCEPT

## Existing Site Images



Photo 1: Zoomed out view of 38 Cameron Avenue



Photo 2: North West view of 38 Cameron Avenue





Photo 3: Front view of 36-38 Cameron Avenue



Photo 4: North East view of 38 Cameron Avenue

## Existing Site Images



Photo 1: Zoomed out view of proposed trailer location



Photo 2: North West view of proposed trailer location



Photo 3: Front view of proposed trailer location



Photo 4: North East view of proposed trailer location

**ELMWOOD STREET**  
(PUBLIC PER REF #3)

**LEGEND**

SWL	SOLID WHITE LINE
BLDG	BUILDING
BFFA	BUILDING FOOTPRINT AREA
EL	ELEVATION
SIGN	SIGN
MB	MAIL BOX
BOLLARD	BOLLARD
VGC	VERTICAL GRANITE CURB
CLF	CHAIN LINK FENCE
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
10	PARKING SPACE COUNT
UP	UTILITY POLE
WV	WATER VALVE

MAP 13  
BLOCK D  
LOT 25  
N/F LANDS OF  
ZETRO ELMWOOD, LLC  
BK. 6843, PG. 288

MAP 13  
BLOCK D  
LOT 25A  
N/F LANDS OF  
CAMERON-ELMWOOD REALTY, LLC  
BK. 2889, PG. 484

MAP 183  
LOT 130  
N/F LANDS OF  
85-89 ELMWOOD STREET LLC  
BK. 70260, PG. 280

MAP 183  
LOT 119  
N/F LANDS OF  
CAMERON-ELMWOOD REALTY, LLC  
BK. 2889, PG. 484

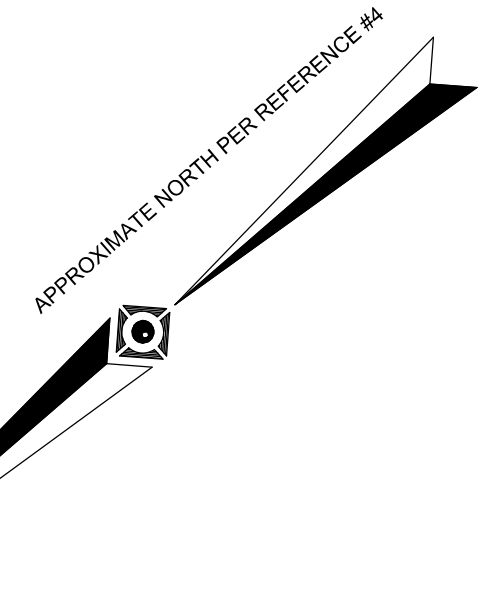
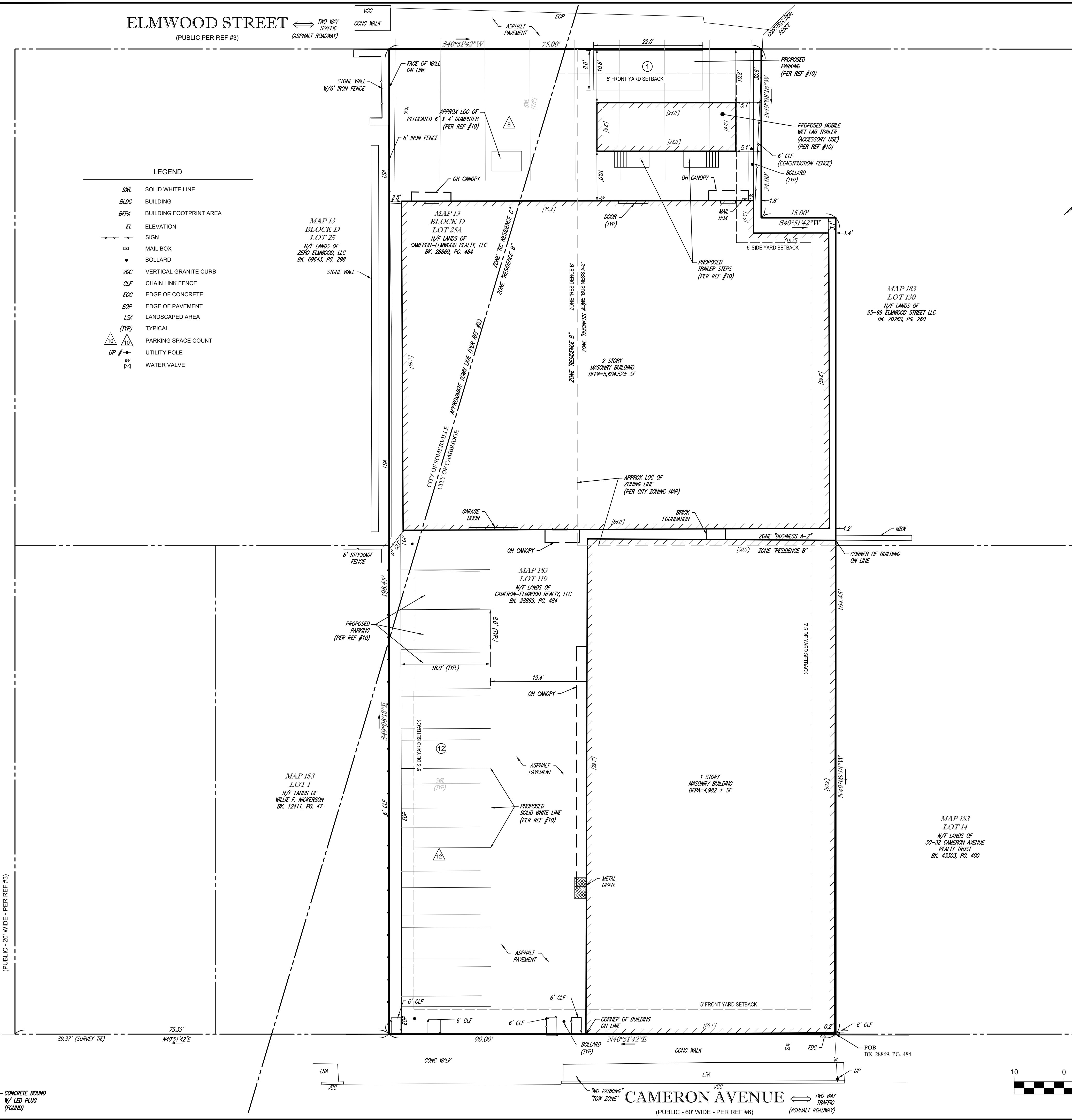
MAP 183  
LOT 1  
N/F LANDS OF  
WILLIE F. NICKERSON  
BK. 12411, PG. 47

MAP 183  
LOT 14  
N/F LANDS OF  
30-32 CAMERON AVENUE  
REALTY TRUST  
BK. 43303, PG. 400

**RIGHT OF WAY**  
(PUBLIC - 20' WIDE - PER REF #3)

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

SEVEN PINE AVENUE  
(PUBLIC - 20' WIDE - PER REF #1)



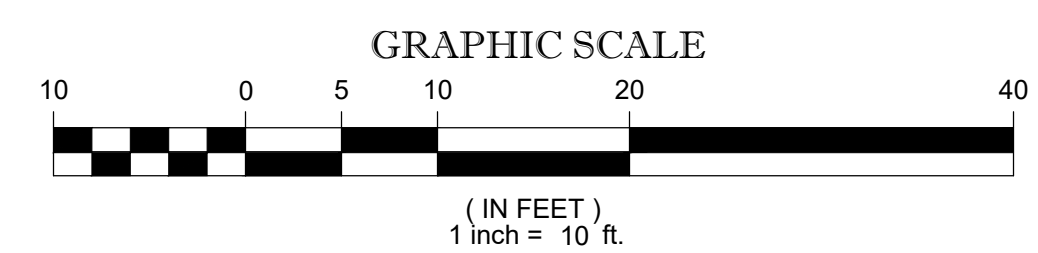
- NOTES:**
- PROPERTY KNOWN AS LOT 119, AS SHOWN ON THE CITY OF CAMBRIDGE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 183 AND LOT 25 A, BLOCK D, ON THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 13.
  - TOTAL AREA = 17,351 SQUARE FEET OR 0.398 ACRES
  - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED SITE FEATURES, AS DESIGNED BY OTHERS.
  - ITEMS SHOWN HEREON IN GREY SCALE ARE EXISTING SITE FEATURES TO BE REMOVED OR ALTERED PER REFERENCE #10.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF CITY OF CAMBRIDGE, MIDDLESEX COUNTY, MAP 183.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 419 OF 656", MAP NUMBER 29017C0419E, EFFECTIVE DATE: JUNE 4, 2010.
  - MAP ENTITLED "PLAN OF LAND IN SOMERVILLE AND CAMBRIDGE DRAWN FOR F.H. NEWTON", PREPARED BY: C.E. BRAY ENG., DATED: JANUARY 13, 1916, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 242, PLAN 17.
  - MAP ENTITLED "PLAN OF LAND IN SOMERVILLE AND CAMBRIDGE, MASS.", PREPARED BY: L.G. BRACKETT & CO., DATED: DECEMBER 29, 1950, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN 201 OF 1951.
  - MAP ENTITLED "SUB-DIVISION OF LAND IN CAMBRIDGE & SOMERVILLE BELONGING TO COMMONWEALTH LOCK CO.", PREPARED BY: DONALD J. REARDON, SURVEYOR, DATED: AUGUST 28, 1956, LAST REVISED: MARCH 26, 1957, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS AS PLAN 345 OF 1957 IN BOOK 8923, PAGE 510.
  - MAP ENTITLED "PLAN OF BUILDING LOTS IN NORTH CAMBRIDGE, MASS.", PREPARED BY: GEO. A. KIMBALL, CIVIL ENGINEER, DATED: MAY 9, 1889, RECORDED WITH THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 77 OF 1889 AT THE END OF BOOK 1916.
  - MAP ENTITLED "PLAN OF VALUABLE HOUSE LOTS FOR SALE ON THE SITE OF CAMP CAMERON, SITUATED IN NORTH CAMBRIDGE AND WEST SOMERVILLE", PREPARED BY: W.A. MASON & SON, SURVEYORS, DATED: JULY 18, 1896, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 124, PLAN 46.
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  - MAP ENTITLED "PLAN OF HOUSE LOTS IN WEST SOMERVILLE BELONGING TO CHARLES A. MASON", PREPARED BY: W.A. MASON & SON, DATED: OCTOBER 5, 1897, RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 107, PLAN 17.
  - CAD FILE PROVIDED BY CLIENT ON AUGUST 16, 2021.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

<b>GERRY L. HOLDRIGHT, PLS</b>		8-17-2021 DATE	
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211			
FIELD DATE	11-23-2020	<b>PROPOSED PLOT PLAN</b>	
FIELD BOOK NO.	20-01 MA	<b>METER PARTS, INC</b>	
FIELD BOOK PGS.	88-89	36-38 CAMERON AVENUE & 87 ELMWOOD STREET LOT 119, MAP 183 LOT 25A, BLOCK D, MAP 13 CITY OF CAMBRIDGE CITY OF SOMERVILLE MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS	
FIELD CREW	C.W.	<b>CONTROL POINT ASSOCIATES, INC.</b>	
DRAWN:	B.A.V.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-850-2645 MANHATTAN, NY 646-780-0411 SOUTH BOKROUGH, MA 01772 508.948.5000 - 508.948.3003 FAX WARREN, NJ 908-662-0999	
REVIEWED:	E-LOC	APPROVED:	G.L.H.
DATE:	8-17-2021	SCALE:	1" = 10'
FILE NO.:	03-200368-00	DWG. NO.:	1 OF 1



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



ELMWOOD STREET  
(PUBLIC PER REF #3)

TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

ZONING ANALYSIS TABLE			
ZONING DISTRICT	RES B & BUS A-2	N/A - NOT APPLICABLE	
OVERLAY DISTRICT	N/A	NS - NOT SPECIFIED	
REQUIRED PERMIT	ACCESSORY USE	VI - VARIANCE REQUESTED	
ZONE CRITERIA	REQUIRED RES B	REQUIRED BUS A-2	EXISTING
MIN. LOT AREA	5,000 SF	NONE	14,910 SF
MIN. LOT WIDTH	50'	NONE	75'
RATIO OF GROSS FLOOR AREA TO LOT AREA	0.5	1.0	1.2
MIN. RATIO OF PRIVATE OR SP. TO LOT AREA	40%	NONE	0%
MIN. FRONT SETBACK	15'	5'	0'
MIN. SIDE SETBACK	7.5'	10'	0'
MIN. REAR SETBACK	25'	20'	N/A
MAX. BUILDING HEIGHT	35'	45'	30.5'
MAX. IMPER. COVERAGE	45%	90%	96% ±
PARKING SPACES	N/A	MIN. 22/ MAX. 44	15 (1)
BICYCLE PARKING SPACES	6		6
PARKING STALL CRITERIA STANDARD: 8 FT x 18 FT COMPACT: 8 FT x 16 FT	USE CATEGORY: GENERAL OFFICE USE	GENERAL OFFICE USE N/A (RES B & BUS A-2)	
	REQUIRED PARKING: 1 SPACE PER 800 SF GROSS LEASABLE AREA		
	CALCULATION: MIN. 1 SPACE PER 800 SF X 17,623 SF = 22 SPACES		
	GROSS LEASABLE AREA: 273 SF FROM MOBILE WET LAB TRAILER + 17,350 SF OF EXISTING GROSS LEASABLE AREA = 17,623 SF		
	EXISTING GROSS LEASABLE AREA = (2 X 5,604 SF) 2 STORY MASONRY BUILDING + (4,982 SF) 1 STORY MASONRY BUILDING + 1,160 SF APPROXIMATE BASEMENT STORAGE = 17,350 SF (2)		
BICYCLE PARKING	LONG-TERM PARKING USE CATEGORY: GENERAL OFFICE USE	LONG-TERM PARKING USE CATEGORY: GENERAL OFFICE USE	
	REQUIRED PARKING: 0.30 SPACES PER 1,000 SF GROSS LEASABLE AREA	REQUIRED PARKING: 0.30 SPACES PER 1,000 SF GROSS LEASABLE AREA	
	CALCULATION: 0.30 SPACES X (17,623 SF / 1,000 SF) = 5.29 SPACES REQUIRED	CALCULATION: 0.30 SPACES X (17,623 SF / 1,000 SF) = 5.29 SPACES REQUIRED	
	SHORT-TERM PARKING USE CATEGORY: GENERAL OFFICE USE, RESEARCH FACILITIES/NS	SHORT-TERM PARKING USE CATEGORY: GENERAL OFFICE USE, RESEARCH FACILITIES/NS	
	REQUIRED PARKING: 0.06 SPACES PER 1,000 SF GROSS LEASABLE AREA	REQUIRED PARKING: 0.06 SPACES PER 1,000 SF GROSS LEASABLE AREA	
	CALCULATION: 0.06 SPACES (17,623 SF / 1,000 SF) = 1.06 SPACES REQUIRED	CALCULATION: 0.06 SPACES (17,623 SF / 1,000 SF) = 1.06 SPACES REQUIRED	

(1) PARKING SPACE COUNT DOES NOT INCLUDE 4 EXISTING SPACES LOCATED WITHIN CITY OF SOMERVILLE. SOMERVILLE ZONING DOES NOT REQUIRE ANY PARKING SPACES FOR THE PORTION OF THE LOT AND USE LOCATED WITHIN SOMERVILLE.

(2) EXISTING GROSS FLOOR AREA BASED ON PREVIOUS ZBA APPROVAL DATED JULY 23RD, 1998.

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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**FOR CONCEPT PURPOSES ONLY**

PROJECT No.: M211018  
DRAWN BY: AM  
CHECKED BY: ZLR  
DATE: 08/03/2021  
CAD ID: M211018-CPT-A0

**PROPOSED SITE PLAN DOCUMENTS**

FOR

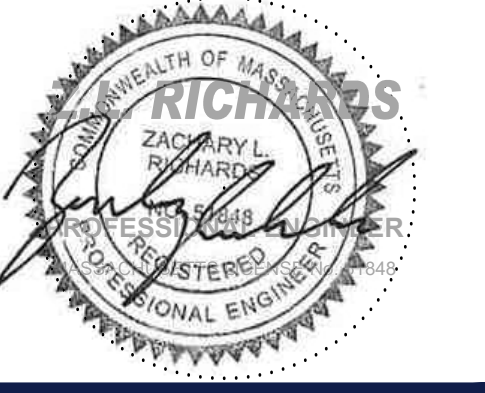
**METER PARTS, INC.**

PROPOSED ACCESSORY USE

MAP 13, BLOCK D, LOT 25A  
MAP 183, LOT 119  
36-38 CAMERON AVENUE &  
87 ELMWOOD STREET  
CAMBRIDGE, MASSACHUSETTS

**BOHLER**

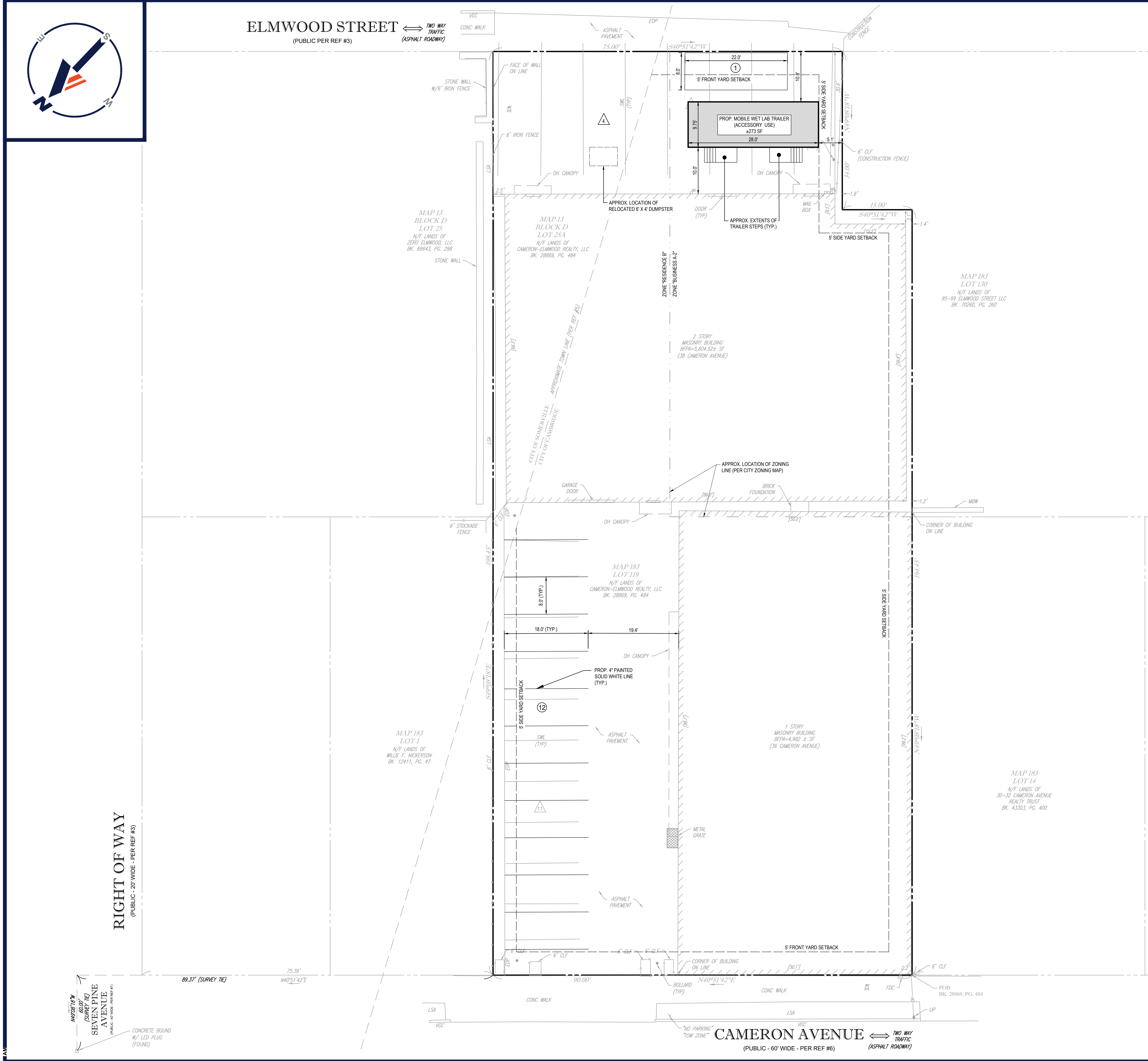
45 FRANKLIN STREET, 5th FLOOR  
BOSTON, MA 02110  
Phone: (617) 849-8040  
www.BohlerEngineering.com



SHEET TITLE:  
**PARKING PLAN**

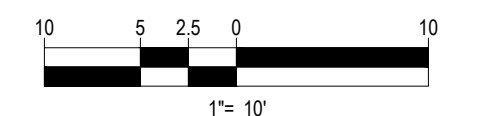
SHEET NUMBER:  
**C-01**

ORG. DATE - 08/03/2021



**LAYOUT PLAN NOTES**

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
  - CERTIFIED PLOT PLAN - METER PARTS, INC., PREPARED BY BOHLER, DATED DECEMBER 3, 2020, REVISED THROUGH JUNE 22, 2021.



P:\211018\DRAWINGS\PLAN SETS\REV 02\21018-CPT-A0-PLAN\DOT\_CAD\PC-CONCEPT



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2 Bds

BZA

## POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Kirya Kuchrovska Date: 11/24/21  
(Print)

Address: 38 Cameron Ave

Case No. BZA-151512

Hearing Date: 12/16/21

Thank you,  
Bza Members

38 Cameron Ave

**Notice of Public Hearing**

Notice is hereby given that the Board of Zoning Appeals is holding a public hearing on the application for a Special Use Permit for the proposed use of the premises at 38 Cameron Avenue, Cambridge, Massachusetts, for the use of a **RETAIL STORE**.

The application was filed with the City Clerk's Office, City Hall, 225 Massachusetts Avenue, Cambridge, Massachusetts 02142, on **February 1, 2012**.

The public hearing will be held on **February 15, 2012, at 10:00 A.M.** in the Board of Zoning Appeals Hearing Room, 225 Massachusetts Avenue, Cambridge, Massachusetts 02142.

For more information please call 349-5100. TTY: 349-6112

Reserved Parking For  
  
**METER**  
ALL OTHERS SUBJECT TO REMOVAL



Reserved Parking For  
  
**METER**  
ALL OTHERS SUBJECT TO REMOVAL

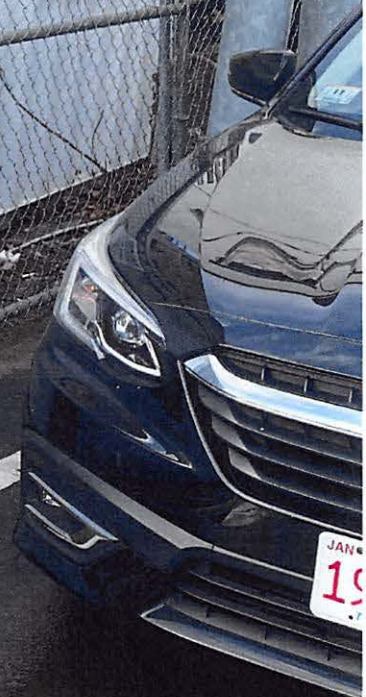


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EVERYWHERE!**

**ESSEX**  
BUILDERS

Notice of Public Hearing

**95-99 ELMWOOD  
CAMBRIDGE PROJECT**  
**CALL 9-1-1**  
In Case of  
Emergency  
Medical  
Fire  
Police  
For all other construction  
related activities, contact  
Sean Mannon  
781-801-8013







# CITY OF CAMBRIDGE TRAFFIC, PARKING, + TRANSPORTATION

## MEMORANDUM

**To:** Cambridge Board of Zoning Appeal (BZA)  
**From:** Adam Shulman, Transportation Planner *AS*  
**Copy:** Cambridge Planning Board  
**Date:** December 7, 2021  
**Subject:** 38 Cameron Avenue BZA Case# 151512

The Cambridge Traffic, Parking, and Transportation Department (TP+T) has reviewed the BZA Application (BZA case #151512) for a Special Permit at 38 Cameron Avenue, on behalf of Cameron-Elmwood Realty, LLC c/o Zachary Richards, Bohler Engineering, on behalf of Meter Parts Inc. TP+T offers the BZA the following comments for your consideration.

The 38 Cameron Avenue site fronts both Cameron Avenue and Elmwood Street. TP+T believes that the Elmwood Street parking lot (aka 87 Elmwood Street) is the key parking lot in question for this Special Permit.

Elmwood Street is an important connection to the Linear path located at the end of Elmwood Street.

A residential building at 95-99 Elmwood Street which has a Planning Board Special Permit (PB#308) is currently under construction and will be providing a new sidewalk on that property's Elmwood Street frontage to connect to the Linear path. The existing building at 11 Tannery Brook Row located next to this site also has a sidewalk on Elmwood Street. Therefore, there is a missing sidewalk on the Elmwood Street side of the 38 Cameron Avenue site which would be beneficial to users of the site, especially since the site will have more activity with a new wet lab trailer. The sidewalk would also complete the connection on Elmwood Street, between Tannery Brook Row and the Linear path. A diagram showing the missing sidewalk (labeled "Possible Future Connection") is attached. Also attached is the Site Plan for the 95-99 Elmwood Street Project showing that project's future sidewalk on Elmwood Street and how it was expected to connect to this site's future sidewalk.

TP+T believes that the best condition for this site would be to have a raised concrete sidewalk that connects the sidewalks on both sides of the site. Because the proposed plot plan in the BZA Application shows 4 head-in parking spaces on the Somerville side of the parking lot and one parallel parking space on the Cambridge side in front of the wet lab trailer, a long curb cut may be needed, but the concrete sidewalk could be mountable or flush to allow access for those vehicles to park. Another even better option could be to reduce the parking by one more parking space (i.e., not have the one parking

space parallel to Elmwood Street) which would allow for a raised concrete sidewalk for about half the lot and a nicer parking lot condition for the wet lab trailer, such as adding some green space/landscaping between the trailer and sidewalk. Lastly, as a bare minimum condition, a striped sidewalk would be better than nothing.

TP+T has had an initial discussion with Mr. Zachary Richards at Bohler Engineering about this opportunity.

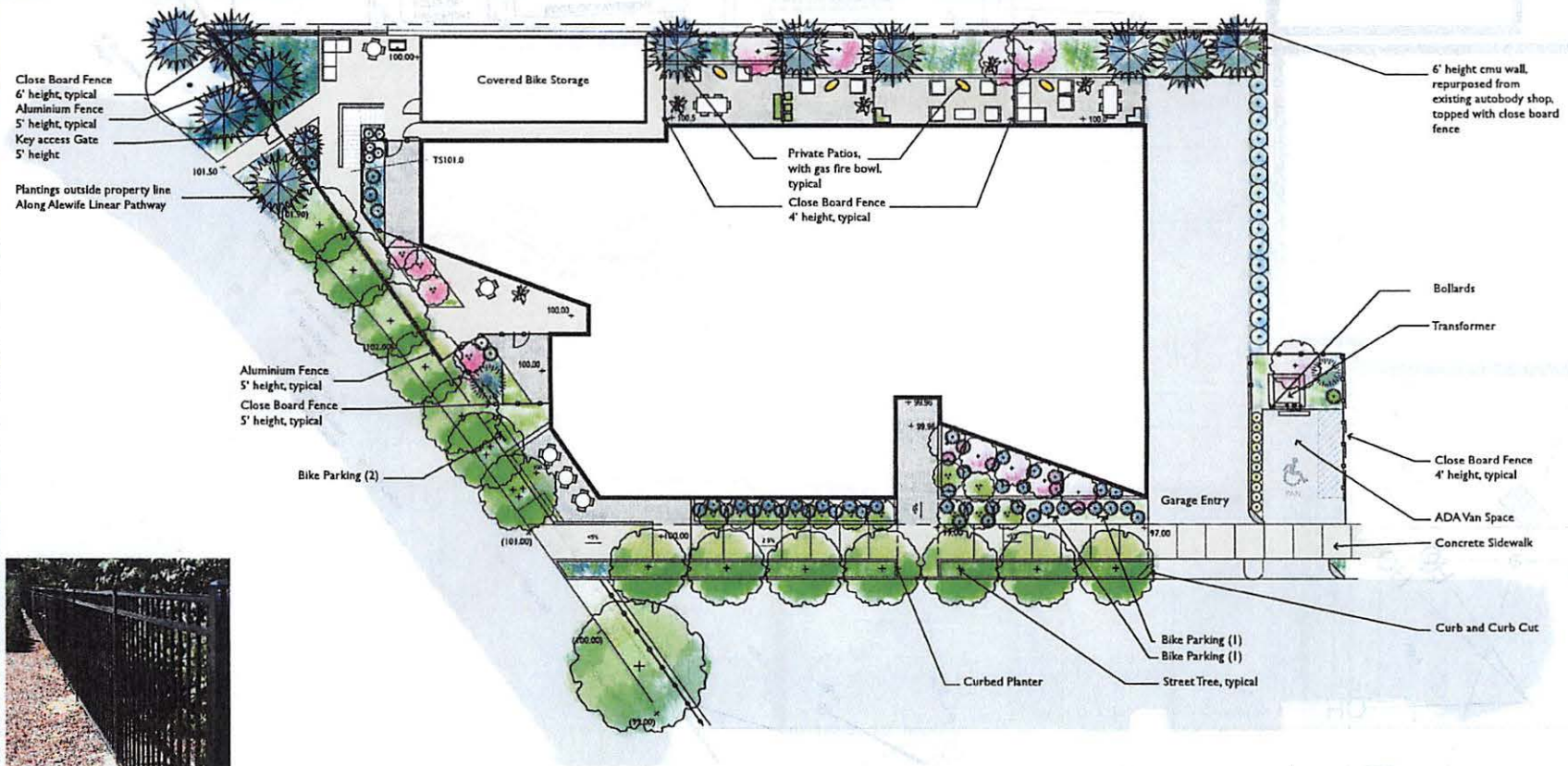
Lastly, it should be noted that plans show Elmwood Street as a public street, but the City of Cambridge has no records of acceptance for the portion of the Street in Cambridge.





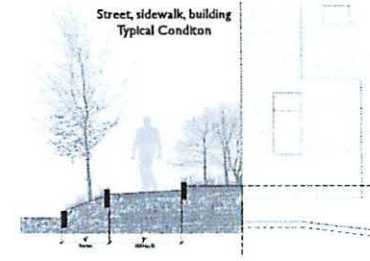
Blair Hines Design  
Associates  
LANDSCAPE ARCHITECTS

Aluminium Fence 5' height, typical



LEGEND:

Property line	board fence
concrete walk paving	deciduous tree
walk pavers	evergreen tree
asphalt paving	furniture
curb	bike parking



SITE PLAN  
95-99 Elmwood | Cambridge

## Ratay, Olivia

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**From:** Kathy Shaskan <kathyshaskan@mac.com>  
**Sent:** Thursday, December 16, 2021 11:57 AM  
**To:** Ratay, Olivia  
**Subject:** Concerns about proposal #151512 regarding 38 Cameron Ave/87 Elmwood St

Regarding proposal #151512

Hello:

I am a resident of the Tannery Lofts, which straddles the Cambridge/Somerville border and sits across the street from the commercial building at 38 Cameron Ave/87 Elmwood St. I would like to express my concerns about the proposed installation of a "wet lab" at this location:

1. Elmwood Street is a residential street filled with condos and multi-family homes. How is it possible that the only commercial building on the block can expect to install an industrial trailer right on the street? This is not in any way appropriate for the neighborhood, in either appearance or function.
2. I read the proposal, which mentions venting, but nowhere does it explain what type of laboratory activities will take place, what type of materials will be vented or whether they required filtering or remediation.
3. Employees and visitors to this site are already parking three deep on the Elmwood Street side of the building and the trailer will take up multiple parking spaces. I question the math of how many spots will be lost, since the trailer manufacturer specs require a four foot buffer around the structure. I suggest that the number in the proposal not be accepted without further confirmation.
4. The applicant seems to think that their promotion of bike commuting will solve the parking problem outlined above. This is unacceptable, since we live in an area where freezing temperatures, snow, ice and sleet are the norm, making bicycle commuting dangerous if not impossible at times.
5. The applicant chose to occupy this space knowing it did not have room for their lab. Local residents should not have to bear the burden of this decision. The applicant can rent a separate space to conduct their laboratory functions or engage a local lab to perform the work.

Thank you for hearing my concerns.

Kathy Shaskan