



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 OCT -1 PM 2:42
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 769646

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: 4 Corporal Burns Road LLC C/O Eduardo Berlin

PETITIONER'S ADDRESS: 267 Grove Street, Cambridge, MA 02138

LOCATION OF PROPERTY: 401 Concord Ave., Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/New Structure/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner requests Variance relief to construct a new single-family dwelling on a corner lot by way of (i) increasing maximum FAR by 45% (from 0.500 to 0.725), (ii) reducing one of the front yard minimum requirements by 6 (six) inches, and (iii) allowing for a small portion (3'-10" of required 18') of the open carport parking space to project into a required front yard.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 6.000 Section: 6.44.1.c (Parking in the Front Yard Setbacks).
Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

(Petitioner (s) / Owner)

EDUARDO BERLIN

(Print Name)

Address:

267 GROVE ST. CAMBRIDGE MA

Tel. No.

617-794-2577

E-Mail Address:

eberlin@post.harvard.edu

Date:

10/1/24

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We David Gordon Nix & Eduardo Berlin
(OWNER)

Address: 267 Grove Street, Cambridge, MA 02138

State that I/We own the property located at 401 Concord Ave, Cambridge, MA 02138, which is the subject of this zoning application.

The record title of this property is in the name of _____
4 Corporal Burns Road LLC

*Pursuant to a deed of duly recorded in the date 07/02/2024, Middlesex South County Registry of Deeds at Book 82964, Page 290; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____

[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name David + Eduardo personally appeared before me, this 15th of August, 2024, and made oath that the above statement is true.

[Signature] Notary

My commission expires May 1st 2031 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Petitioner requests Variance relief to construct a new single-family dwelling on a corner lot by way of (i) increasing maximum FAR by 45% (from 0.500 to 0.725), (ii) reducing one of the front yard minimum requirements by 6 (six) inches, and (iii) allowing for a small portion (3'-10" of required 18') of the open carport parking space to project into a required front yard.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to:

(1) **Soil:** poor subgrade soil conditions and a high water table (4') identified by a geotechnical engineer prevent the reasonable construction of a basement level utilizing standard construction technologies that would ordinarily be exempt from FAR and add to the living space. A traditional basement would require mitigation work exceeding \$700,000 solely to deal with hydrostatic issues for construction, notwithstanding the additional cost for compliance with resilience mitigation in a flood zone, bringing the actual cost of the basement alone way above one million dollars. Even without a basement level, the soil condition necessitates significant additional construction costs in deep foundation work.

(2) **Shape:** the parcel is a non-conforming (3,914 sf vs 5,000 sf), narrow, and irregularly shaped corner lot with a 20' radius filet on one of its corners. The size is less than the minimum required lot area and subject to a maximum FAR standard that was contemplated for the typically larger, more generous lots in the district.

(3) **Parcel Encumbrances & On-Street Parking Feasibility:** the parcel's frontage is encumbered by (i) a City bus stop, (ii) a wide pedestrian crosswalk, (iii) a fire hydrant, (iv) an electrical pole, significantly reducing building layout optionality. Furthermore, the site faces a busy restaurant/bakery with high traffic and frequently overflowing parking demands, stressing residential parking availability.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The proposed single-family residence conforms to the neighborhood texture and stays within the Ordinance requirements in terms of use, density, shape, and height despite its multiple dimensions of hardship.

The proposed project requires lesser relief and is of lesser impact to the neighborhood than the previously approved variance (2023) that increased the site density to two units, had greater living space, and did not conform with open space requirements. The front yard relief requested for this project matches the 11' previously granted in the approved 2023 variance. Moreover, while the FAR of the proposed project (0.725) is above the neighborhood average – all of which exceed the maximum FAR per Ordinance), the actual total living space is well under the total living space of any of the comparable neighbors that are afforded the inclusion of finished basements that, in essence, add an entire floor to the total living space.

This home will be a much needed contribution to the neighborhood. The existing dwelling and detached garage have been neglected for years, are uninhabitable, dangerous, and beyond repair; the existing structures are a blight in an otherwise harmonious, lively and well-maintained neighborhood. The proposed dwelling will provide a new, high-performance, fully electric, sustainably built, flood resilient addition to the City.

- 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Granting relief would allow a reasonable proposal to move forward to remedy urban blight with a contemporary version of the dwellings that compose the fabric of this neighborhood, without nullifying the Ordinance's intent. Even with the proposed relief, the house's total living space is significantly under any of its comparable properties and, while not incorporating a basement level, is still under the maximum FAR of the homes immediately neighboring the property along Concord Ave. Most importantly, the project will conform to the massing standards in terms of setbacks, height, size, and shape, and will add an energy efficient and resilient home to the city.

Relief would not set a precedent that derogates from the intent or purpose of the Ordinance because the type of relief being sought is similar to conditions that already exist in the surrounding neighborhood, in some cases to an even greater extent than is hereby requested.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 4 Corporal Burns Road LLC
Location: 401 Concord Ave., Cambridge, MA
Phone: 617-794-2577

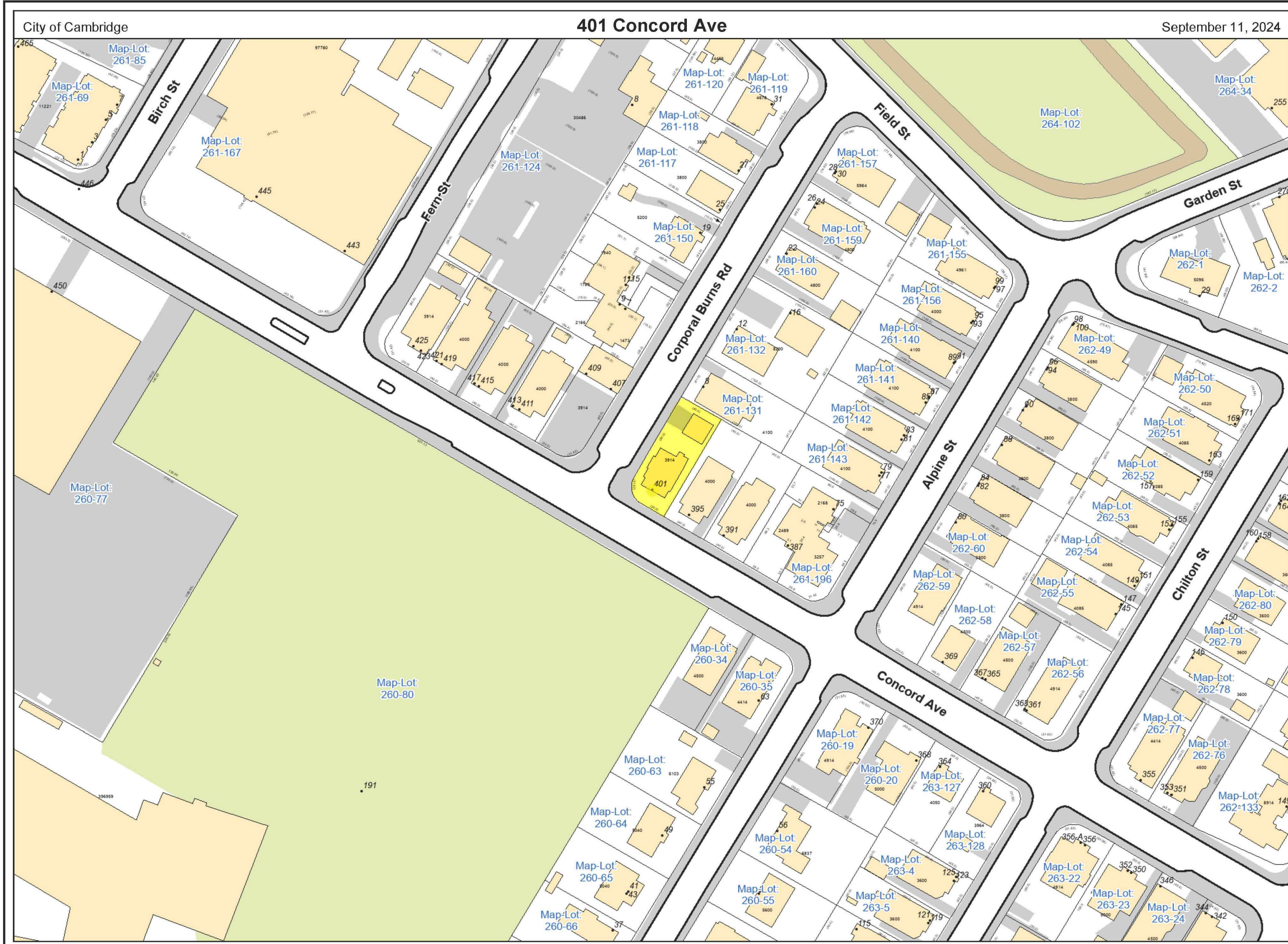
Present Use/Occupancy: Residential
Zone: Residence B Zone
Requested Use/Occupancy: Residential - Single Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1756	2836.51	1957	(max.)
<u>LOT AREA:</u>		3914	3914	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		0.448	0.725	0.500	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3914	3914	2500	
<u>SIZE OF LOT:</u>	WIDTH	40	40	50	
	DEPTH	100	100	50	
<u>SETBACKS IN FEET:</u>	FRONT	14'-5" (Concord Ave side of corner lot)	24'-3" (Concord Ave side of corner lot)	15'-0" (Concord Ave side of corner lot)	
	REAR	8'-0" (North side yard)	7'-6" (North side yard)	7'-6" (North side yard)	
	LEFT SIDE	8'-2" (Corporal Burns Rd side of corner lot)	11'-0" (Corporal Burns Rd side of corner lot)	11'-6" (Corporal Burns Rd side of corner lot)	
	RIGHT SIDE	4'-6" (East side yard)	7'-6" (East side yard)	7'-6" (East side yard)	
<u>SIZE OF BUILDING:</u>	HEIGHT	24'-9"	31'-9" / 33'6" (partial half-floor)	37'-0 1/4"	
	WIDTH	41'-6" (house) / 18'-0" (garage)	68'-3"	77'-6"	
	LENGTH	24'-6" (house) / 18'-0" (garage)	21'-6"	21'-0"	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0.55 (Private Open Space per 5.22.1) / 0.28 (Permeable per 5.22.3)	0.67 (Private Open Space per 5.22.1) / 0.28 (Permeable per 5.22.3)	0.40 (Private Open Space per 5.22.1) / 0.20 (Permeable per 5.22.3)	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	2	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		17'-9"	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



City of Cambridge
401 Concord Ave
 September 11, 2024

LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath

City of Cambridge
 Massachusetts

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.
www.cambridgema.gov/gis

401 Concord Ave House

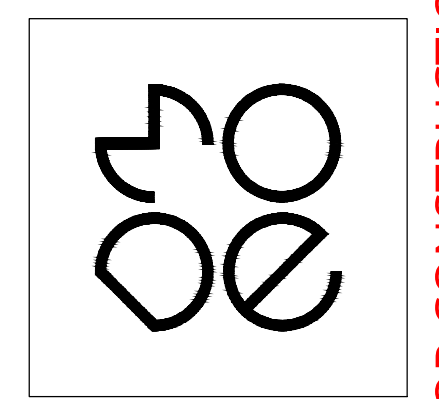
401 CONCORD AVE, CAMBRIDGE, MA 02138

RESIDENTIAL

4 CORPORAL BURNS RD LLC
 267 GROVE STREET
 CAMBRIDGE, MA 02138
 TEL: 617.794.2577
OWNER/S

TBD
 [STREET ADDRESS HERE]
 [CITY, STATE ZIP]
 T: ###-###-####
CONTRACTOR

EDUARDO BERLIN
 MODERN DEVELOPMENT STUDIO
 12 ARROW STREET SUITE 106
 CAMBRIDGE, MA 02138
 TEL: 617.794.2577
ARCHITECT



MODE STUDIO LLC
 12 ARROW STREET SUITE 106
 CAMBRIDGE, MA 02138
 TEL: 617.396.3300

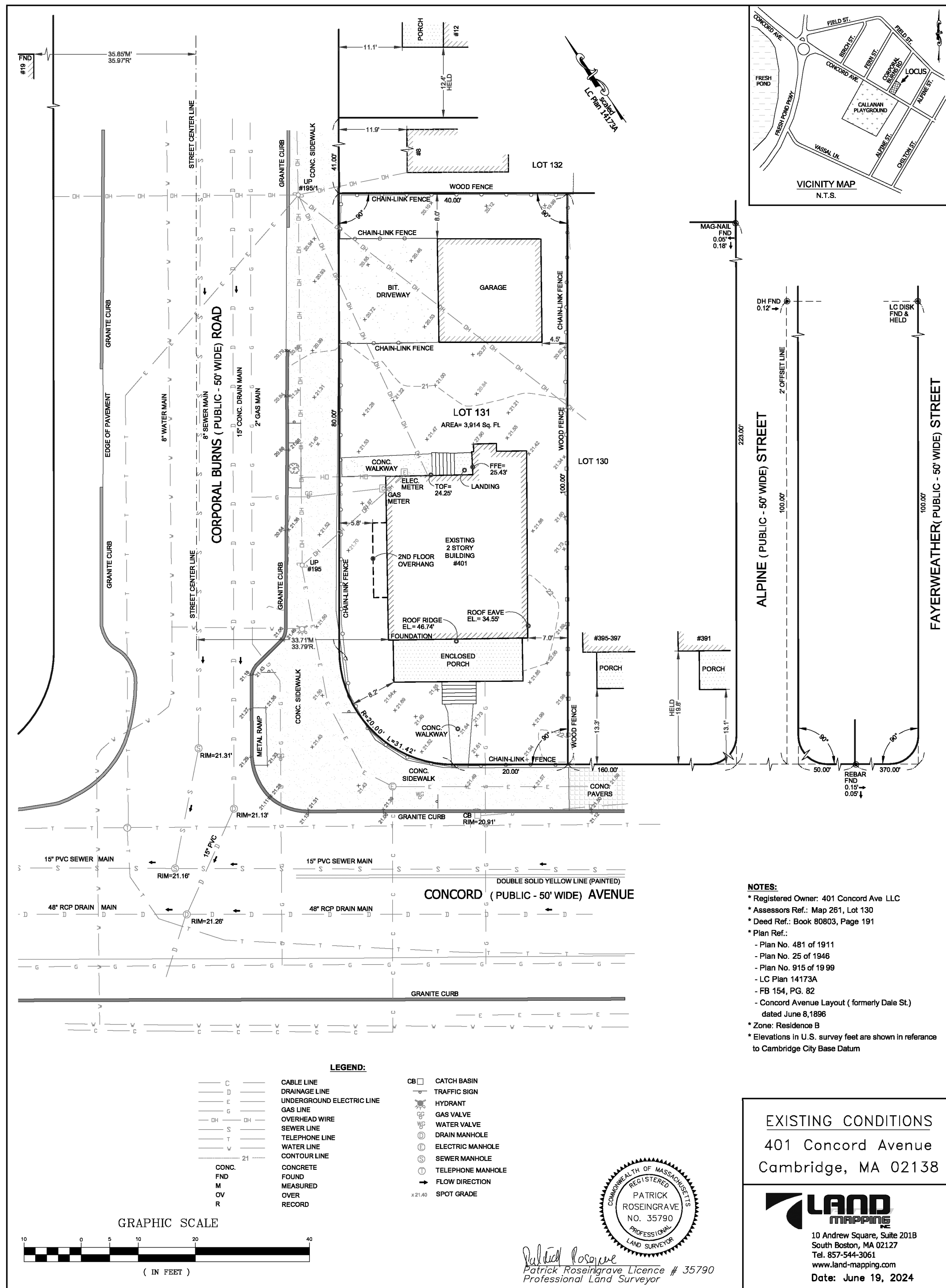
REVISION #	00
DATE	2024.09.27
FILE	401 Concord House 20240927.dwg
SCALE(S)	Indicated

SHEET TITLE Assessor's GIS
 Block Map

SHEET # **ZP-03**

NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION

These drawings, specifications, ideas, designs and arrangements presented hereby are and shall remain the property of Modern Development Studio, LLC. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project other than the specific project for which they were prepared and developed without the express written consent of Modern Development Studio, LLC. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Rights Reserved.



401 Concord Ave House

401 CONCORD AVE, CAMBRIDGE, MA 02138

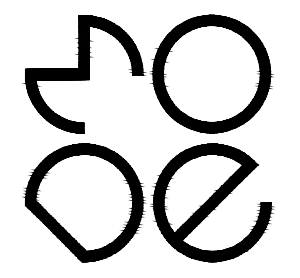
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 267 GROVE STREET
 CAMBRIDGE, MA 02138
 TEL: 617.794.2577
 OWNER/S

TBD
 [STREET ADDRESS HERE]
 [CITY, STATE ZIP]
 T: ###-###-####
 CONTRACTOR

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 ARCHITECT



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REVISION #	00
DATE	2024.09.27
FILE	401 Concord House 20240927.dwg
SCALE(S)	Indicated

SHEET TITLE: Topographic Survey & Site Photos

SHEET # TP-01

EXISTING CONDITIONS
 401 Concord Avenue
 Cambridge, MA 02138



10 Andrew Square, Suite 201B
 South Boston, MA 02127
 Tel. 857-544-3061
 www.land-mapping.com

Date: June 19, 2024



Patrick Roseingrave
 Patrick Roseingrave, Licence # 35790
 Professional Land Surveyor

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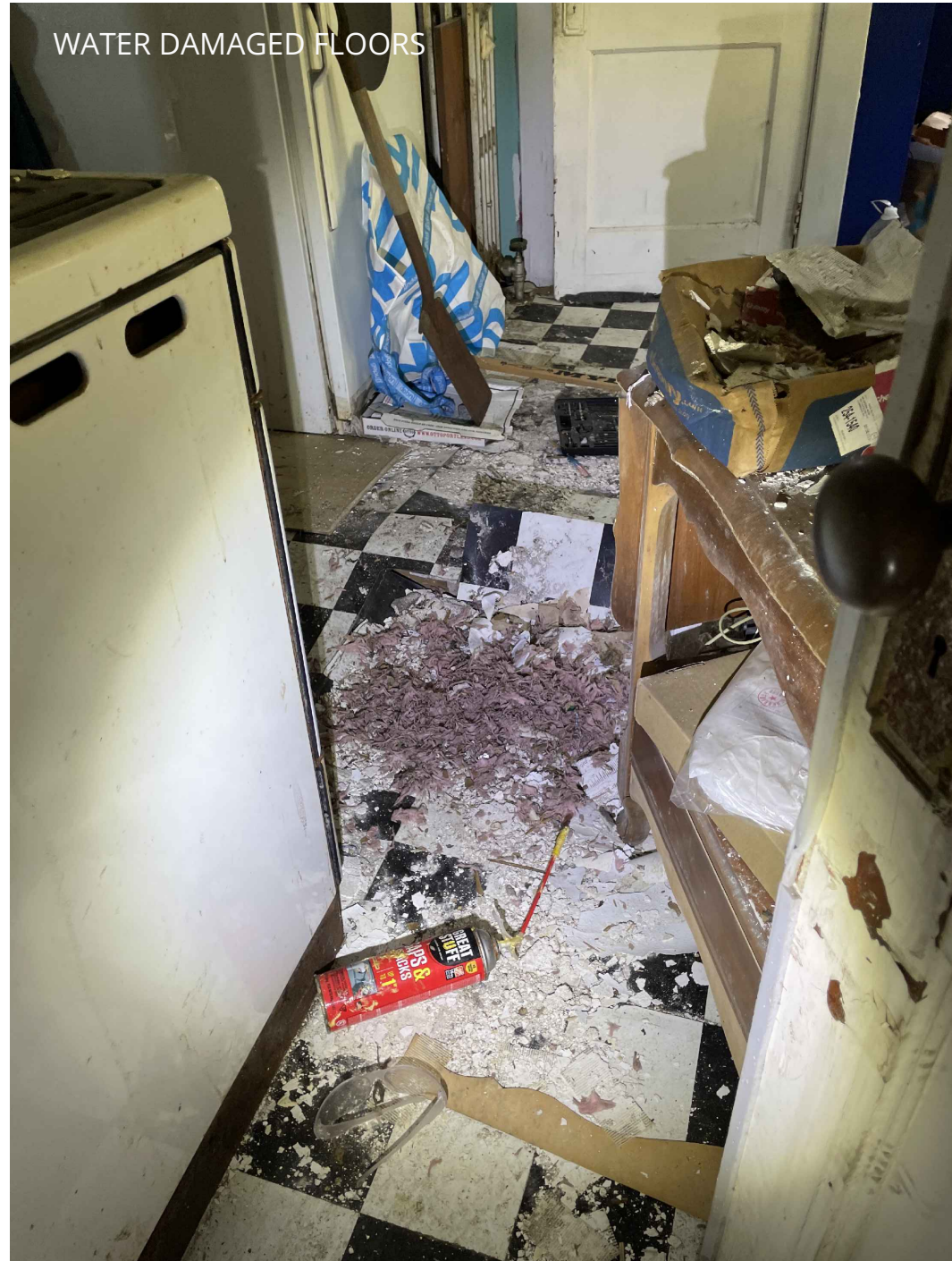
VIEW OF GARAGE



NORTH SIDE OF HOUSE



ROOF/DORMER CONDITION



WATER DAMAGED FLOORS



INTERIOR CEILING DAMAGE



COLLAPSED ROOF OF GARAGE



GENERAL CONDITION

401 Concord Ave House

401 CONCORD AVE, CAMBRIDGE, MA 02138

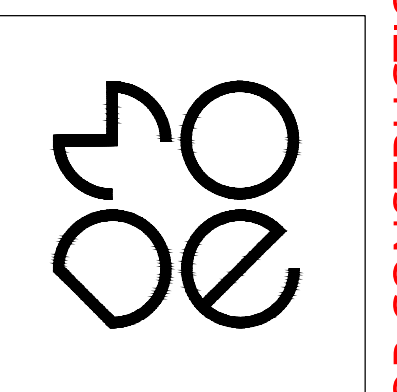
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REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
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SCALE(S) Indicated

SHEET TITLE Site Photos

SHEET # TP-02

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SINGLE FAMILY HOME - ZONING ANALYSIS

ZONING CONDITIONS - SINGLE FAMILY DWELLING District Residence B / Map-Lot 261-130

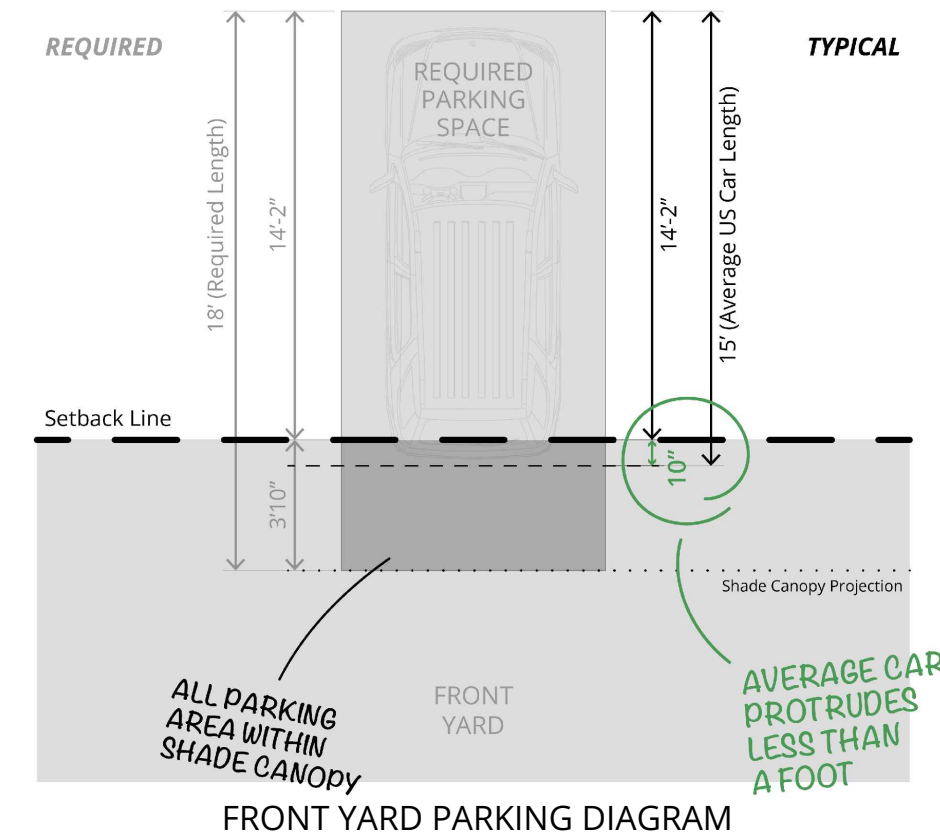
DESCRIPTION	ORDINANCE	EXISTING	2023 VARIANCE	PROPOSED
Lot Area in Square Feet	5,000.00 sf	3,914.00 sf	3,914.00 sf	5,000.00 sf
Number of Dwelling Units	1	1	2	1
Lot Area of Each Dwelling Unit	≥ 2,500.00 sf	3,914.00 sf	1,917.00 sf	3,914.00 sf
Number of Off-Street Parking Spaces	Unlimited	2	2	2
Total Interior Living Space	N/A	1,756.00 sf	3,894.75 sf	2,742.26 sf
Total Gross Floor Area (GFA)	≤ 1,957.00 sf	1,756.00 sf	2,551.00 sf	2,836.51 sf
Maximum Ratio of Floor Area to Lot Area	0.500	0.449	0.652	0.725
Front Yard Setback (ft)	Corporal Burns Rd (Neighbors' Avg) ≥ 11'-6"	8'-6 1/2"	11'-0"	11'-0"
	Concord Ave	(sun room) 14'-7" (foundation wall) 22'-1"	(covered porch) 13'-6" (foundation wall) 19'-6"	24'-3"
Side Yard Setback (ft)	North	≥ 7'-6"	8'-0"	7'-6"
	East	≥ 7'-6"	4'-6"	7'-6"
Rear Yard Setback (ft)	≥ 25'-0"	NOT APPLICABLE - CORNER LOT		
Building Height (ft)*	(LTFE+35') ≤ 37'-0 1/4"	24'-9"	33'-0"	31'-9" (33'-6" Partial)
Building Length (ft)*	≤ 77'-6"	(house) 41'-6"	62'-6"	68'-3"
		(garage) 18'-0"		
Building Width (ft)*	≤ 21'-0"	(house) 24'-6"	21'-6"	21'-6"
		(garage) 18'-0"		
Ratio of Private Open Space to Lot Area	≥ 0.400	0.675	0.550	0.669
Ratio of Permeable Open Space to Lot Area	≥ 0.200	0.558	0.282	0.276
Open Space Dimensions (L x W)	≥ 15'-0" x ≥ 15'-0"	Conforming	Non-Conforming	Conforming

FLOOD RESILIENCE STANDARDS Zoning Ordinance §22.80

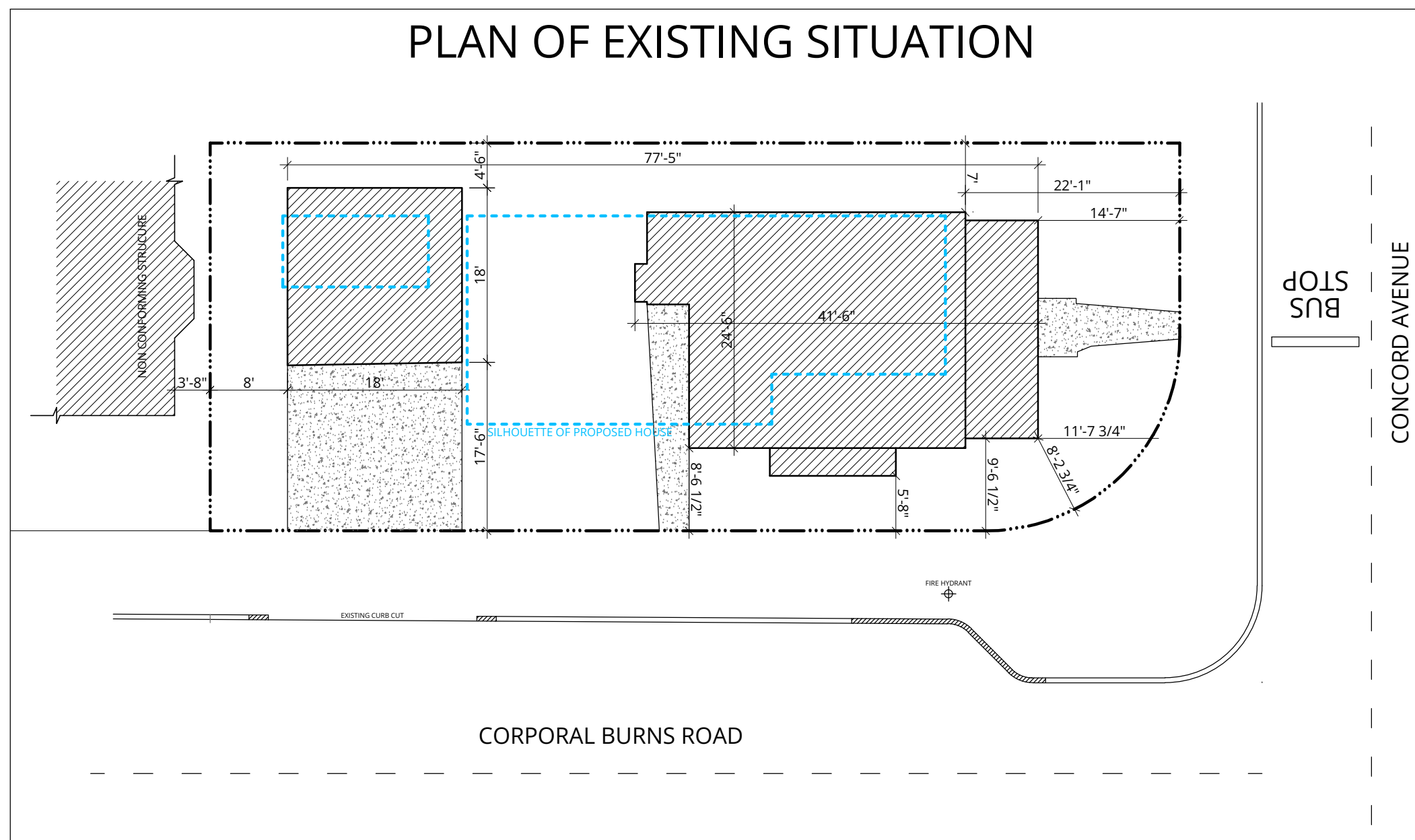
Long-Term Flood Elevation (LTFE) 10%	22.1'
Long-Term Flood Elevation (LTFE) 1%	23.3'

RELIEF REQUESTED - VARIANCE

1. Relief Requested for 0.225 FAR or 880.65 sf
2. Relief Requested for 6", from 11'-6" to 11'-0"
3. Relief Requested for 17% of parking length in front yard (see diagram)



PLAN OF EXISTING SITUATION



NEIGHBORS' F.A.R. & LIVING SPACE COMPARISON

ADDRESS	G.F.A.	Basement	F.A.R.	Living Space*
385 Concord Ave	1,663 sf	756 sf	0.511	2,419 sf
387 Concord Ave	1,430 sf	672 sf	0.575	2,102 sf
391 Concord Ave	2,178 sf	1,089 sf	0.545	3,267 sf
397 Concord Ave	2,512 sf	1,061 sf	0.628	3,573 sf
413 Concord Ave	2,712 sf	1,276 sf	0.678	3,988 sf
415 Concord Ave	2,925 sf	1,295 sf	0.731	4,220 sf
419 Concord Ave	2,948 sf	1,287 sf	0.737	4,235 sf
423 Concord Ave	2,741 sf	1,250 sf	0.700	3,991 sf
Average	2,389 sf	1,086 sf	0.638	3,474 sf
Median	2,189 sf	984 sf	0.653	3,168 sf
Maximum	2,948 sf	1,295 sf	0.737	4,235 sf
PROPOSED	2,837 sf	0 sf	0.725	2,742 sf

NOTES

(* Living Space considers G.F.A. plus basement surface area, and excludes garages.

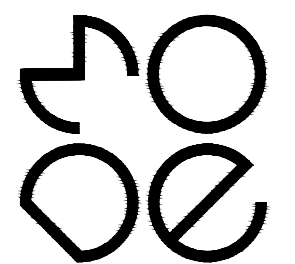
401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

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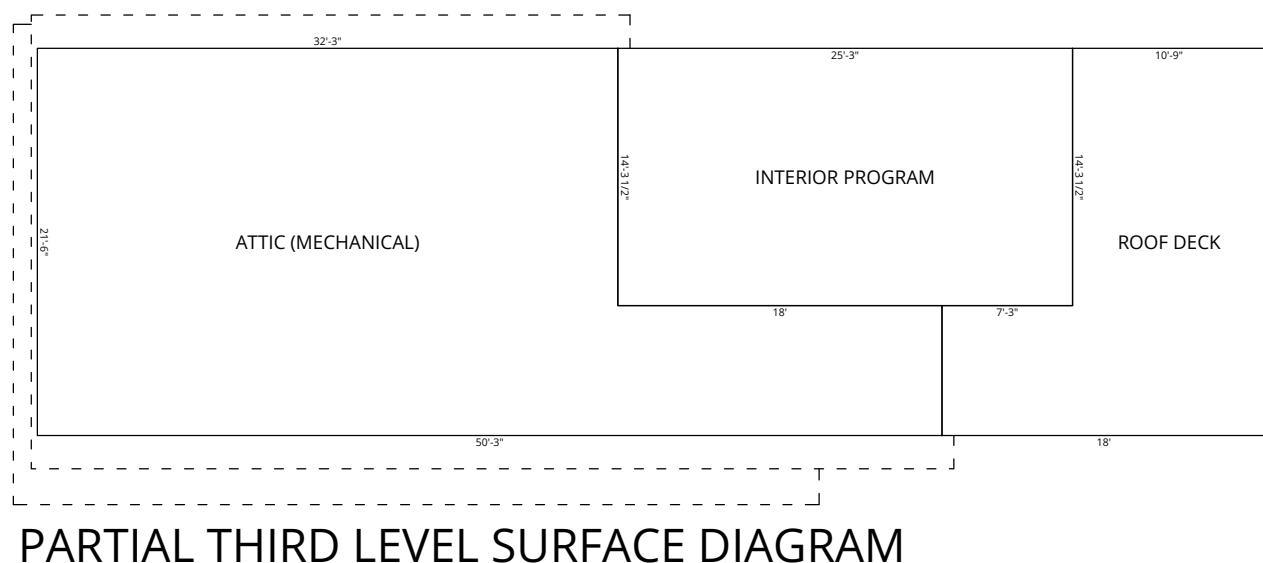
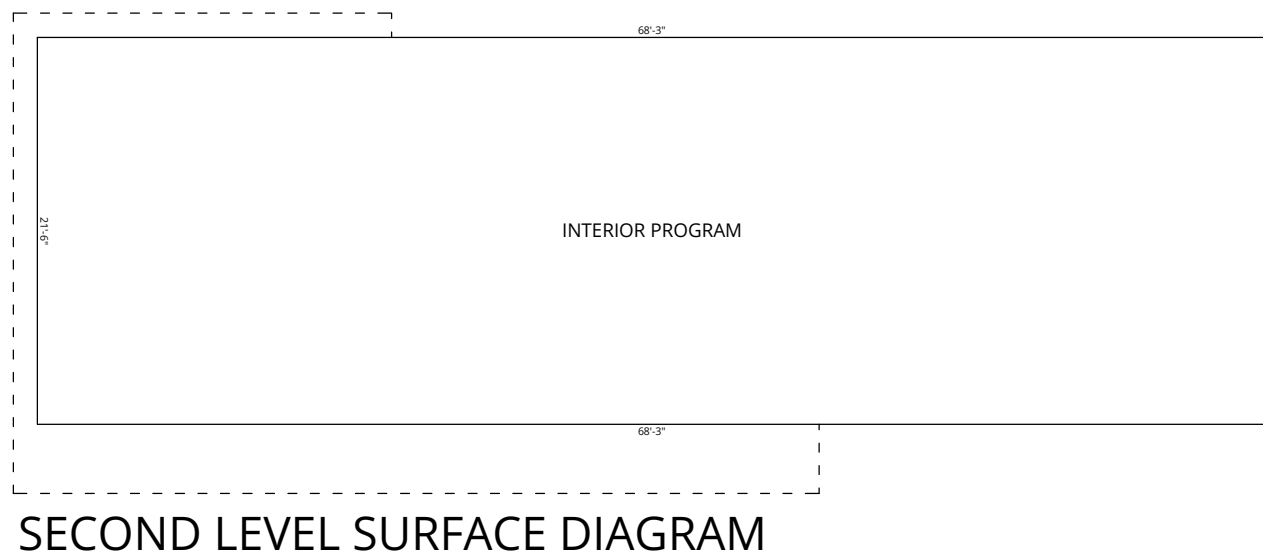
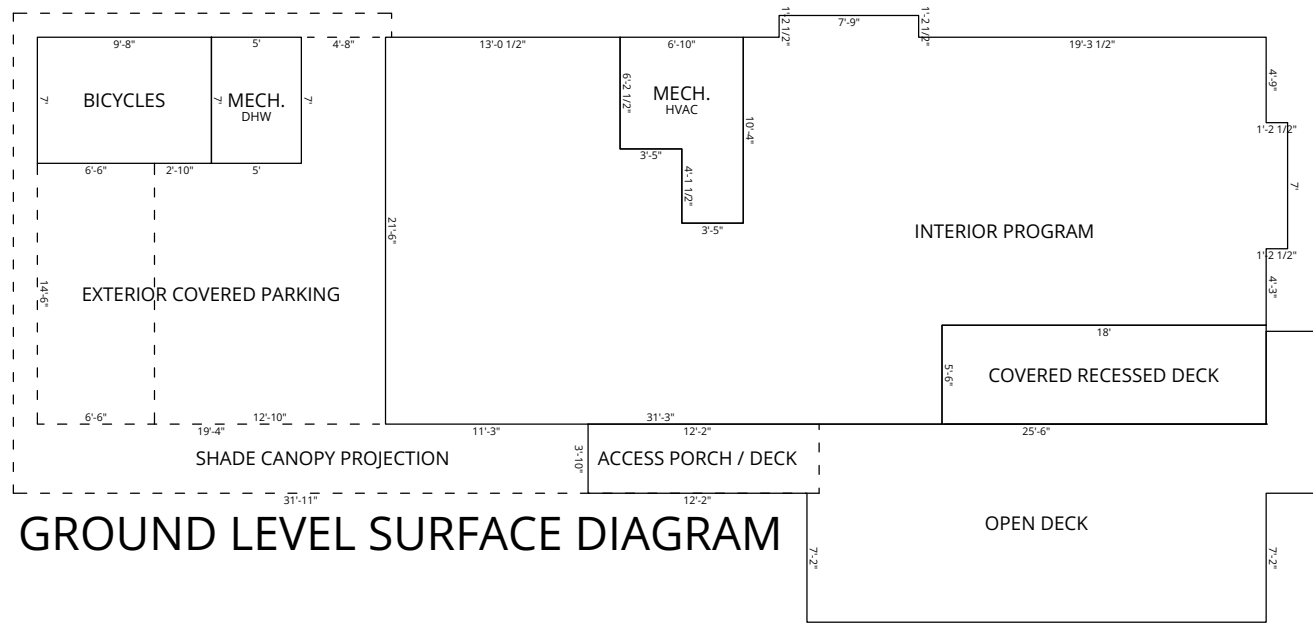
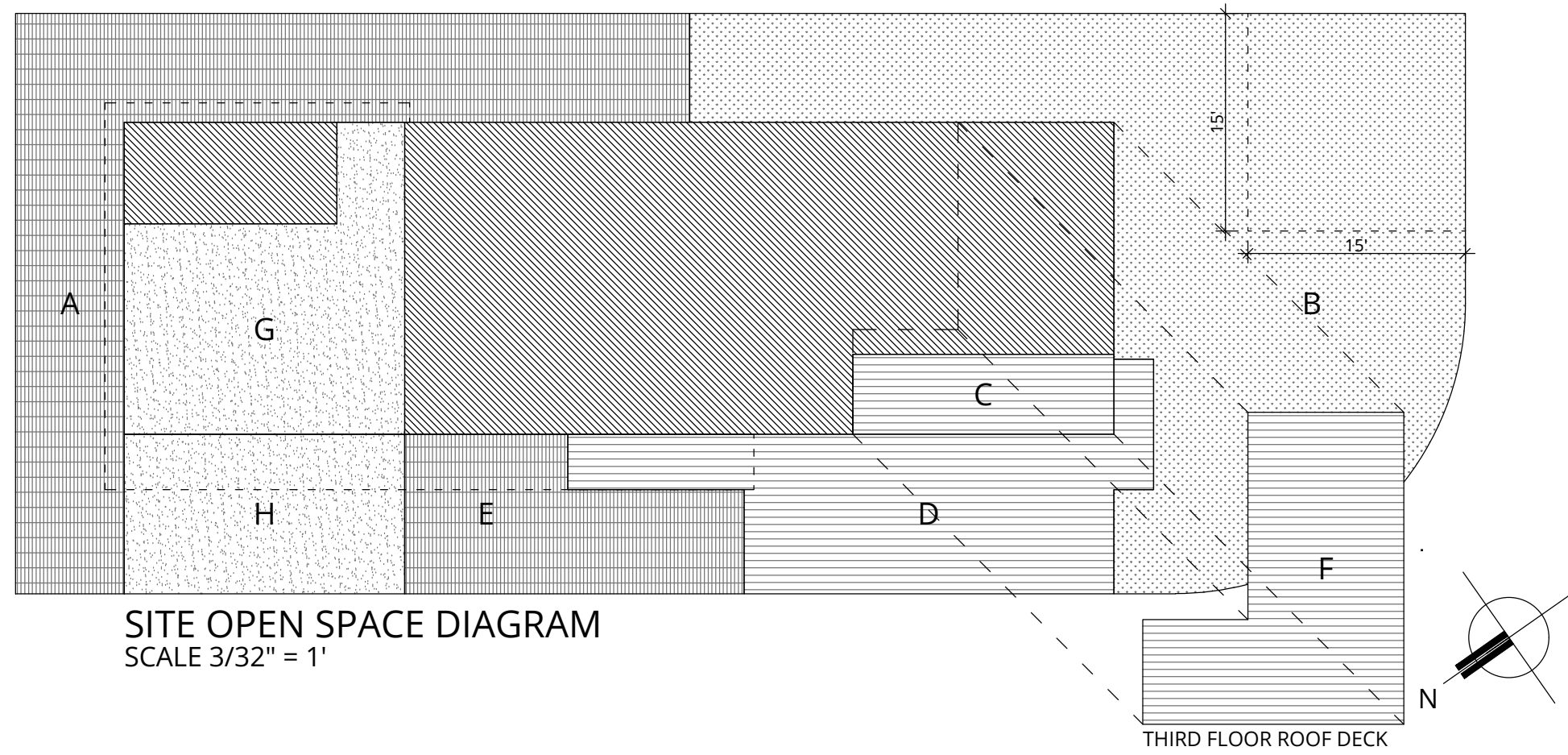
REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) 3/4" = 10'

SHEET TITLE Plot Survey and
Zoning Analysis

SHEET # ZP-01

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SINGLE FAMILY HOME - AREA DIAGRAMS & CALCULATIONS



OPEN SPACE CALCULATIONS

DESCRIPTION	POLYGON	OPEN SPACE	
		AREA (SF)	%
LOT SIZE	--	3,914.00	100.00%
MINIMUM REQUIRED PRIVATE	--	1,565.6	40.00%
MINIMUM REQUIRED PERMEABLE	--	782.8	20.00%
PRIVATE OPEN SPACE			
SERVICE YARD	A	592.50	15.14%
GARDEN SPACE (PERMEABLE)	B	1,078.78	27.56%
RECESSED DECK	C	99.00	2.53%
OPEN DECK	D	351.89	8.99%
ACCESS YARD	E	210.94	5.39%
THIRD FLOOR ROOF DECK	F	283.39	7.24%
TOTAL		2,616.50	66.85%
OTHER EXTERIOR AREAS			
COVERED PARKING	G	313.00	8.00%
DRIVEWAY	H	212.67	5.43%
TOTAL		525.67	13.43%

GROSS FLOOR AREA CALCULATIONS

DESCRIPTION	SURFACE AREAS	
	AREA (SF)	G.F.A.
GROUND LEVEL		
INTERIOR PROGRAM	914.02	914.02
COVERED RECESSED DECK *	99.00	--
ACCESS PORCH / DECK **	49.19	--
OPEN DECK	302.70	--
MECHANICAL (HVAC)	56.52	--
MECHANICAL (DHW)	35.00	--
BICYCLE PARKING ***	67.67	--
EXTERIOR COVERED PARKING****	313.00	94.25
SUBTOTAL GROUND LEVEL		1,008.27
SECOND LEVEL		
INTERIOR PROGRAM	1,467.38	1,467.38
SUBTOTAL UPPER LEVEL		1,467.38
PARTIAL THIRD FLOOR		
INTERIOR PROGRAM	360.86	360.86
ROOF DECK	283.39	--
ATTIC (MECHANICAL)	823.13	--
SUBTOTAL UPPER LEVEL		360.86
TOTAL		2,836.51

NOTES

(*) Covered recessed deck is FAR exempt as it is enclosed in less than 50% of its perimeter per §5.21.5(a) / (**) Access porch/deck is considered open space as it is covered by a Shade Canopy per §2.000 / (***) Bicycle parking is FAR exempt per §5.25.2(i) and §6.100 / (****) For exterior covered parking, square footage in excess of one parking space is computed as G.F.A. per §5.25.1(f)

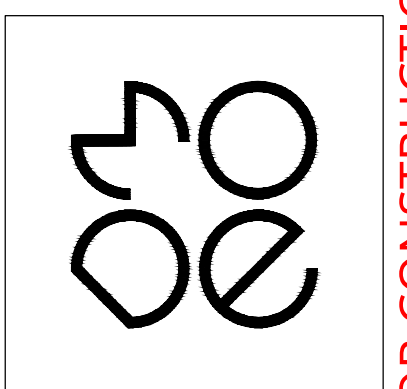
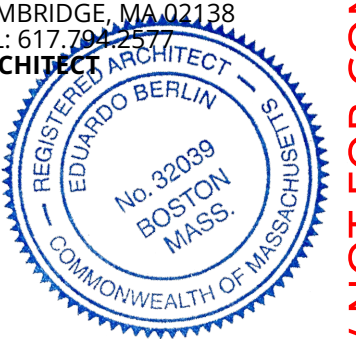
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T: ###.###.###
CONTRACTOR

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CAMBRIDGE, MA 02138
TEL: 617.396.3300

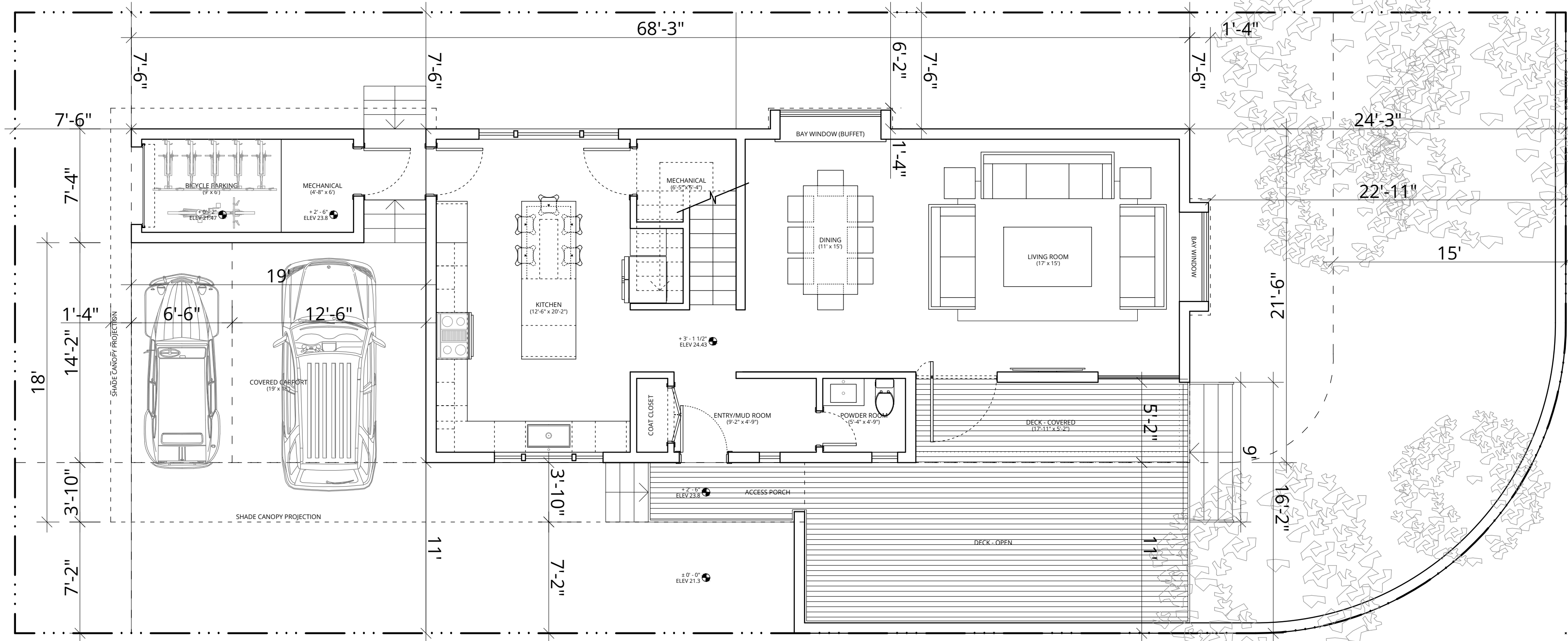
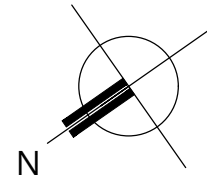
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DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) Indicated

SHEET TITLE Area Diagrams & Calculations

SHEET # ZP-02

NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION

SINGLE FAMILY HOME - FLOOR PLANS



GROUND FLOOR PLAN
SCALE 3/16" = 1'

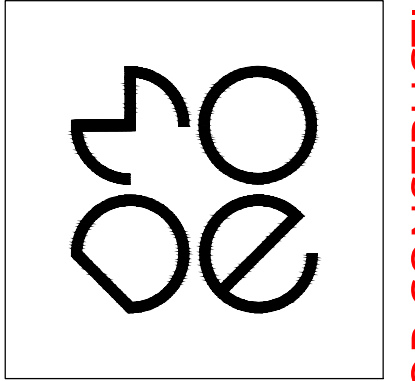
401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

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4 CORPORAL BURNS RD LLC
267 GROVE STREET
CAMBRIDGE, MA 02138
TEL: 617.794.2577
OWNER/S

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[CITY, STATE, ZIP]
T: ###-###-####
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TEL: 617.794.2577
ARCHITECT



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REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) 3/16" = 1'-0" (64)

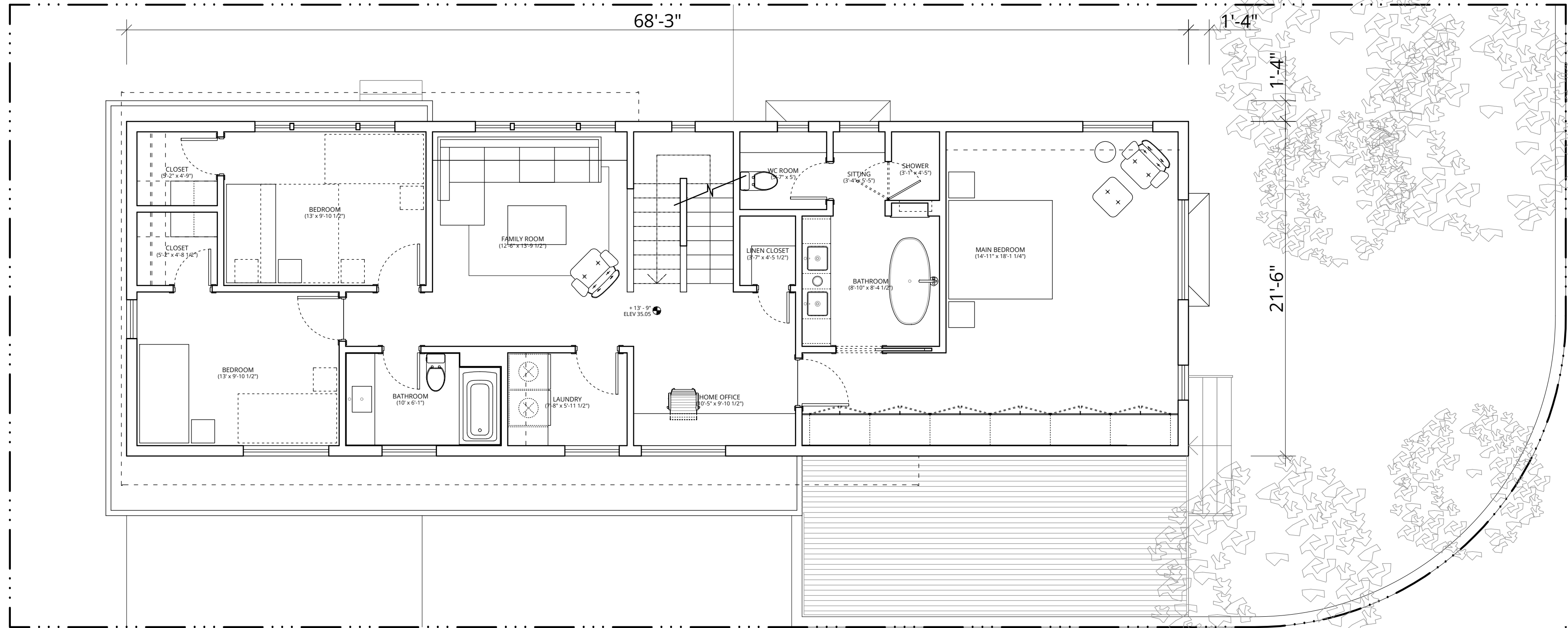
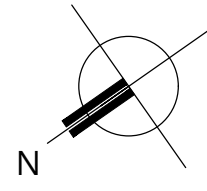
SHEET TITLE Ground Floor Plan

SHEET # AP-01

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SINGLE FAMILY HOME - FLOOR PLANS



SECOND LEVEL PLAN
SCALE 3/16" = 1'

EXISTING CURB CUT



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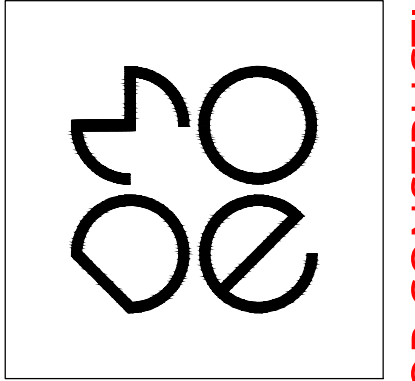
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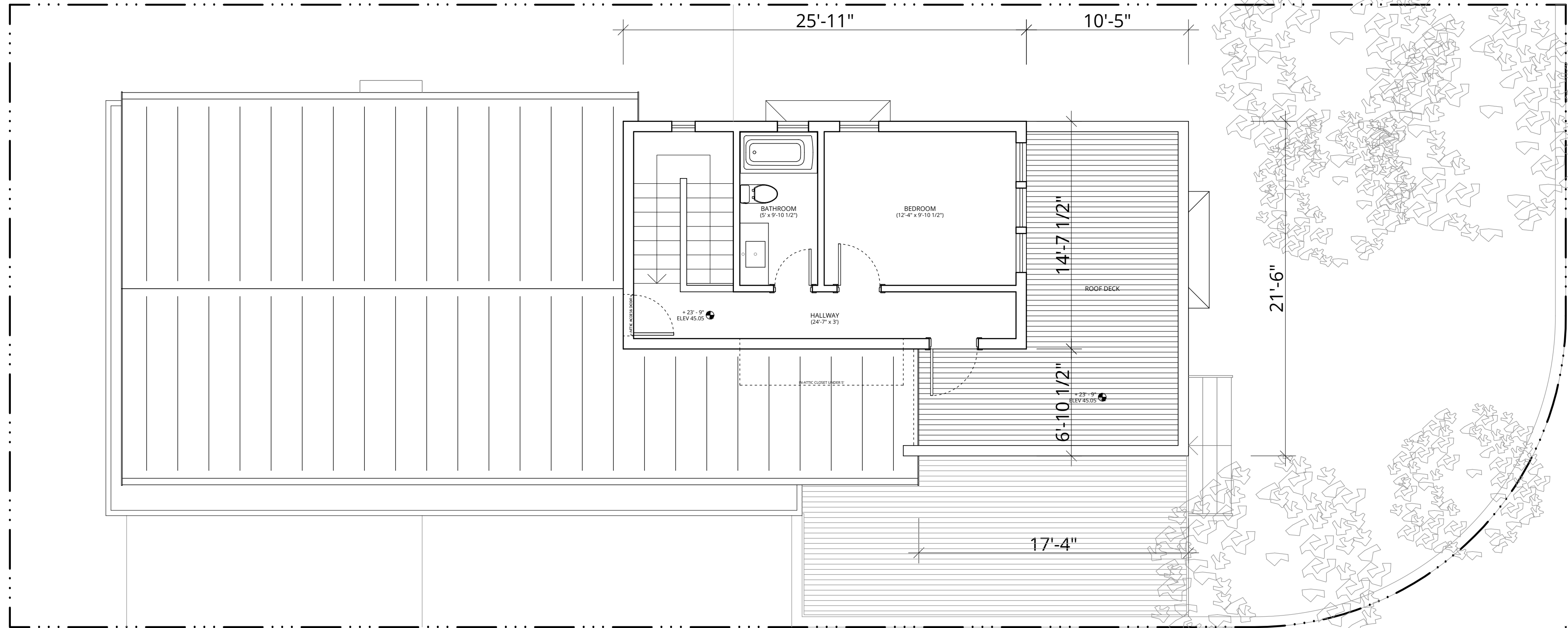
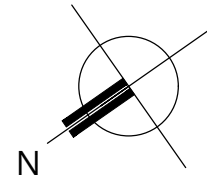
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FILE	401 Concord House 20240927.dwg
SCALE(S)	3/16" = 1'-0" (64)

SHEET TITLE Second Level Plan

SHEET # **AP-02**

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SINGLE FAMILY HOME - FLOOR PLANS



UPPER HALF FLOOR PLAN
SCALE 3/16" = 1'

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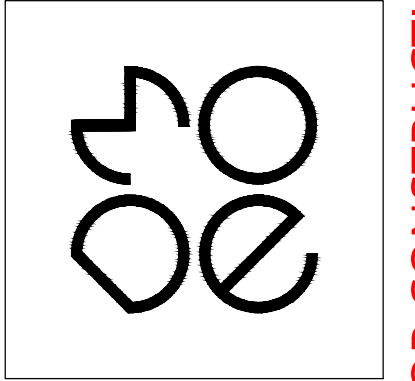
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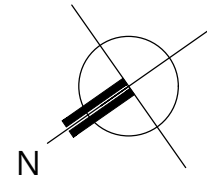
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FILE	401 Concord House 20240927.dwg
SCALE(S)	3/16" = 1'-0" (64)

SHEET TITLE Upper Half Floor Plan

SHEET # **AP-03**

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SINGLE FAMILY HOME - FLOOR PLANS



ROOF PLAN
SCALE 3/16" = 1'

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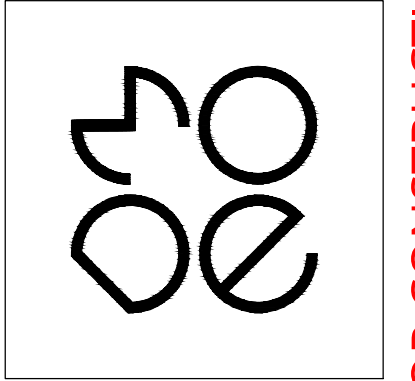
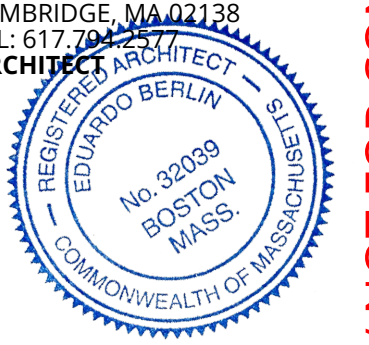
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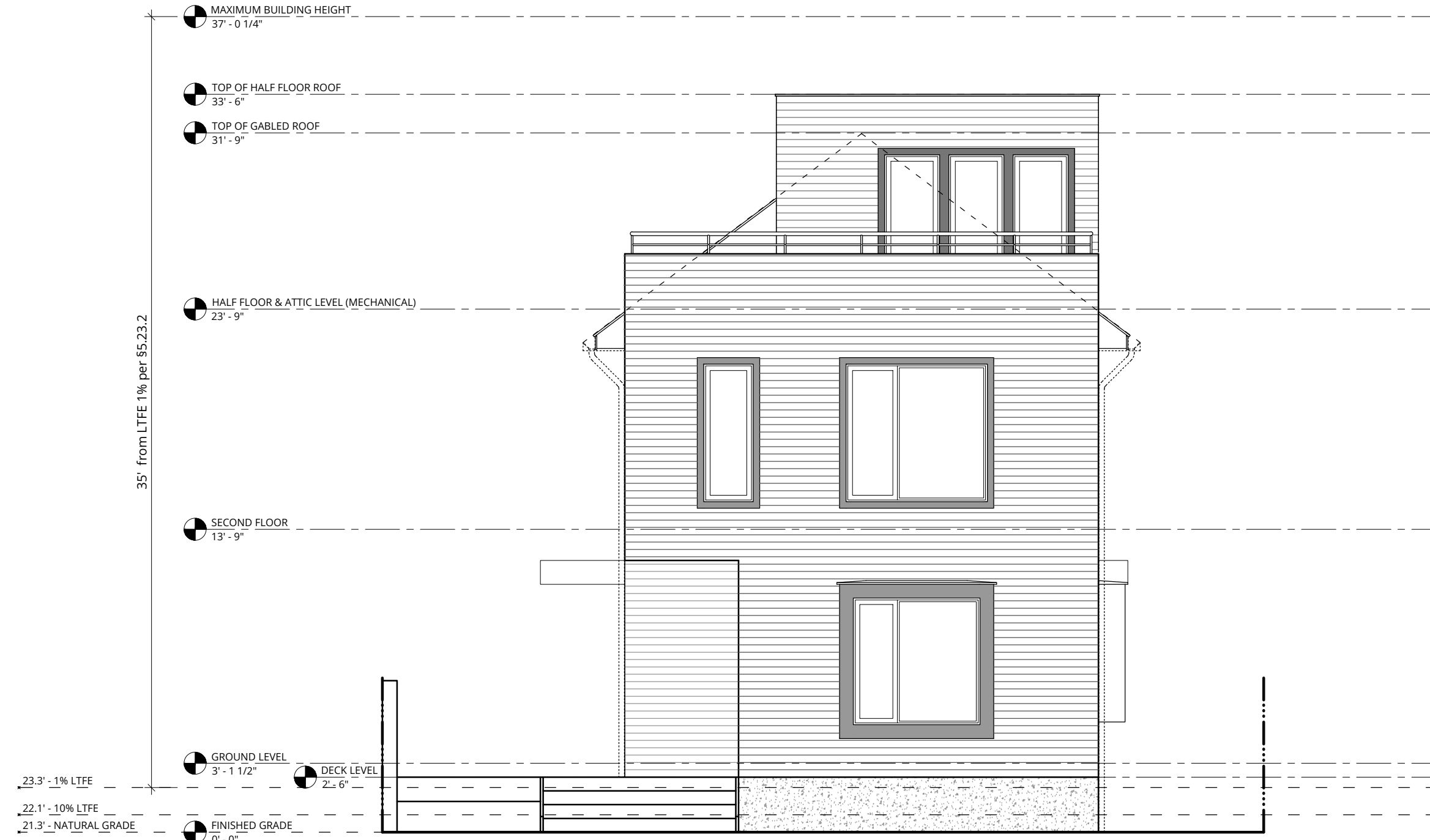
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FILE 401 Concord House
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SHEET TITLE Roof Plan

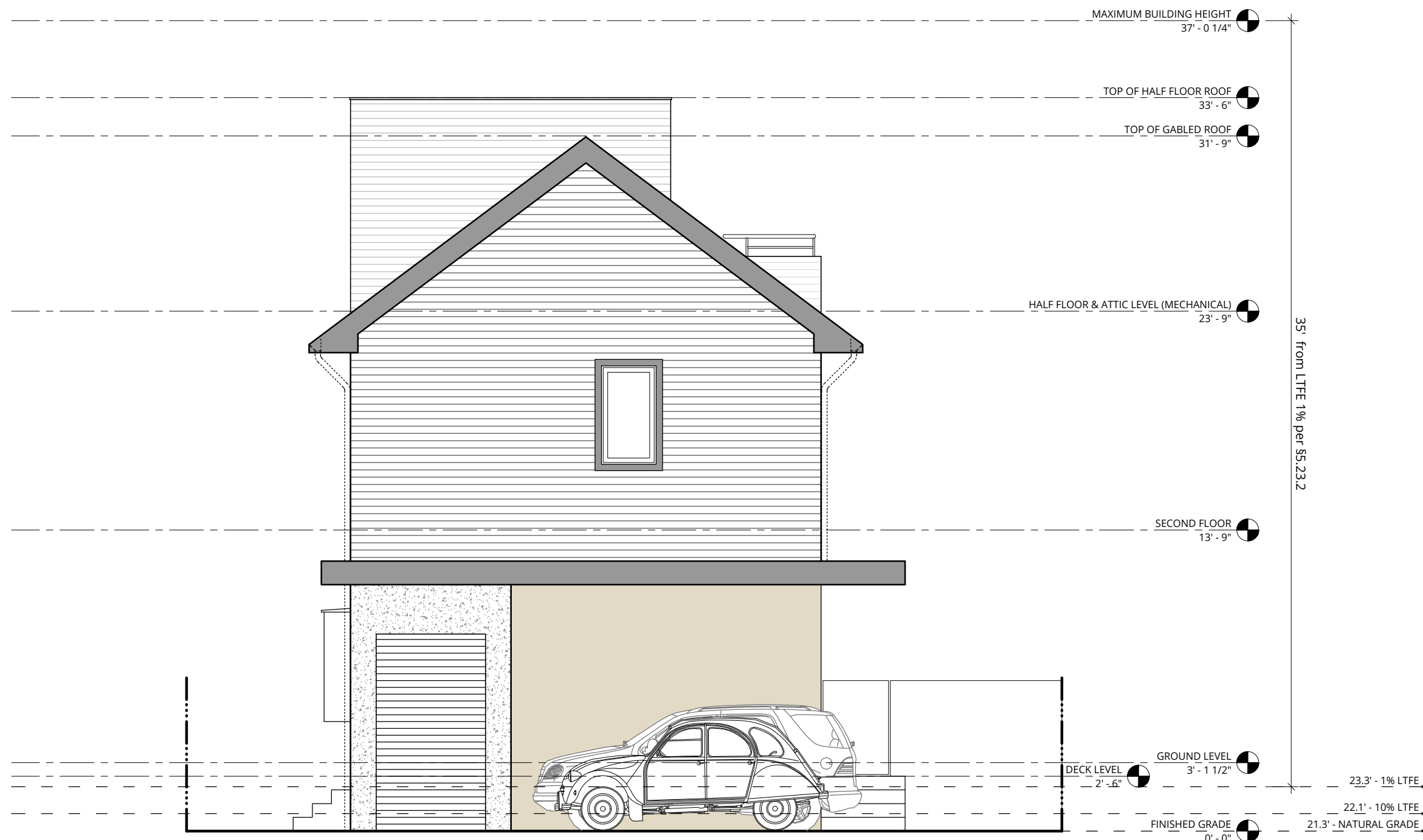
SHEET # **AP-04**

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SINGLE FAMILY HOME - ELEVATIONS



SOUTH ELEVATION - CONCORD AVENUE
SCALE 3/16" = 1'



NORTH ELEVATION - CORPORAL BURNS ROAD NEIGHBOR
SCALE 3/16" = 1'

401 Concord Ave House
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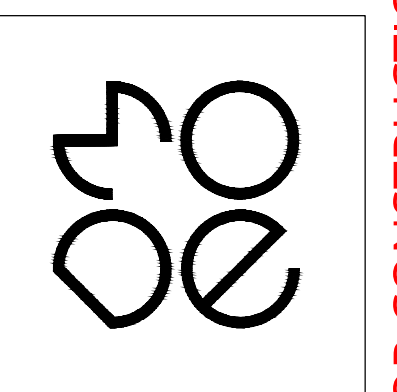
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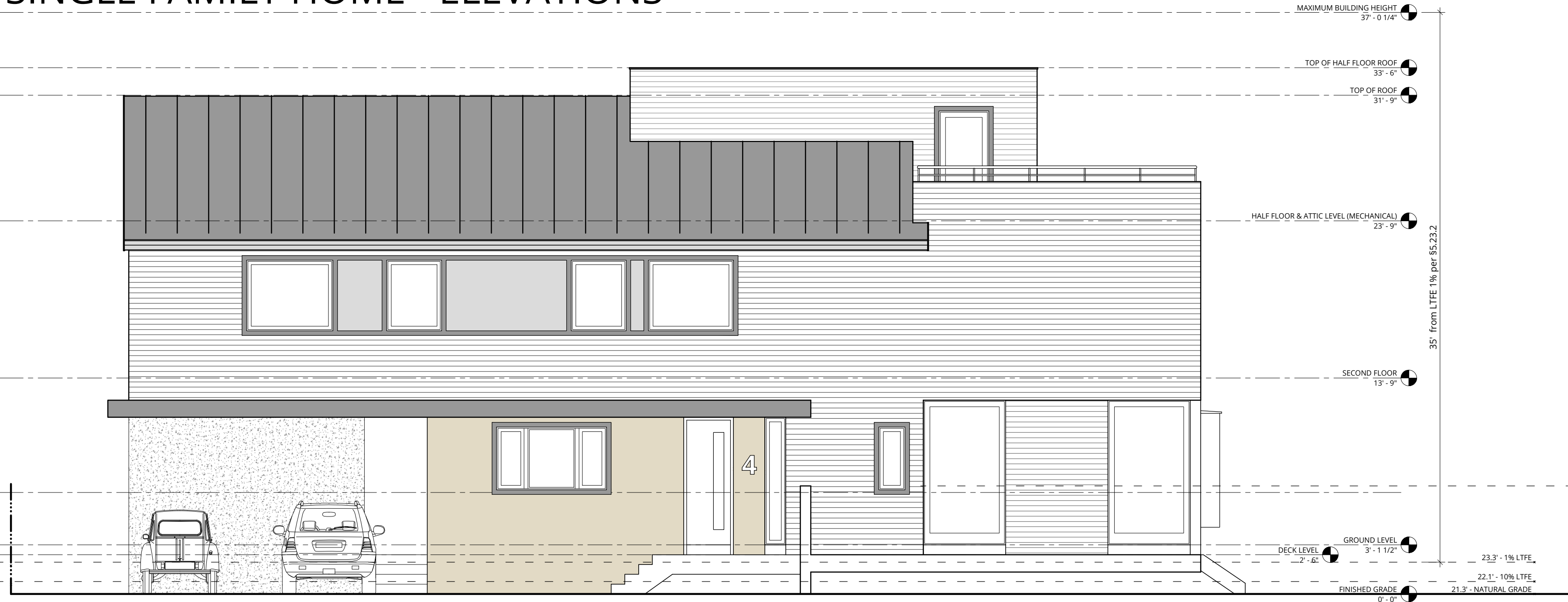
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DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) 3/16" = 1'-0" (64)

SHEET TITLE North & South Elevations

SHEET # **AE-02**

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SINGLE FAMILY HOME - ELEVATIONS



WEST ELEVATION - CORPORAL BURNS ROAD

SCALE 3/16" = 1'



EAST ELEVATION - CONCORD AVENUE NEIGHBOR

SCALE 3/16" = 1'

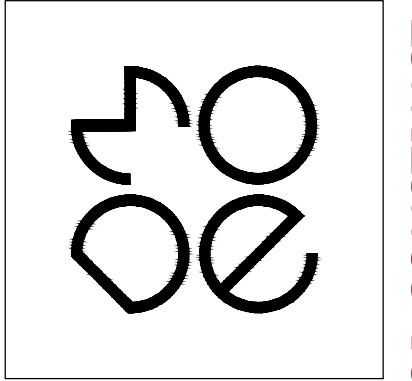
401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

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DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
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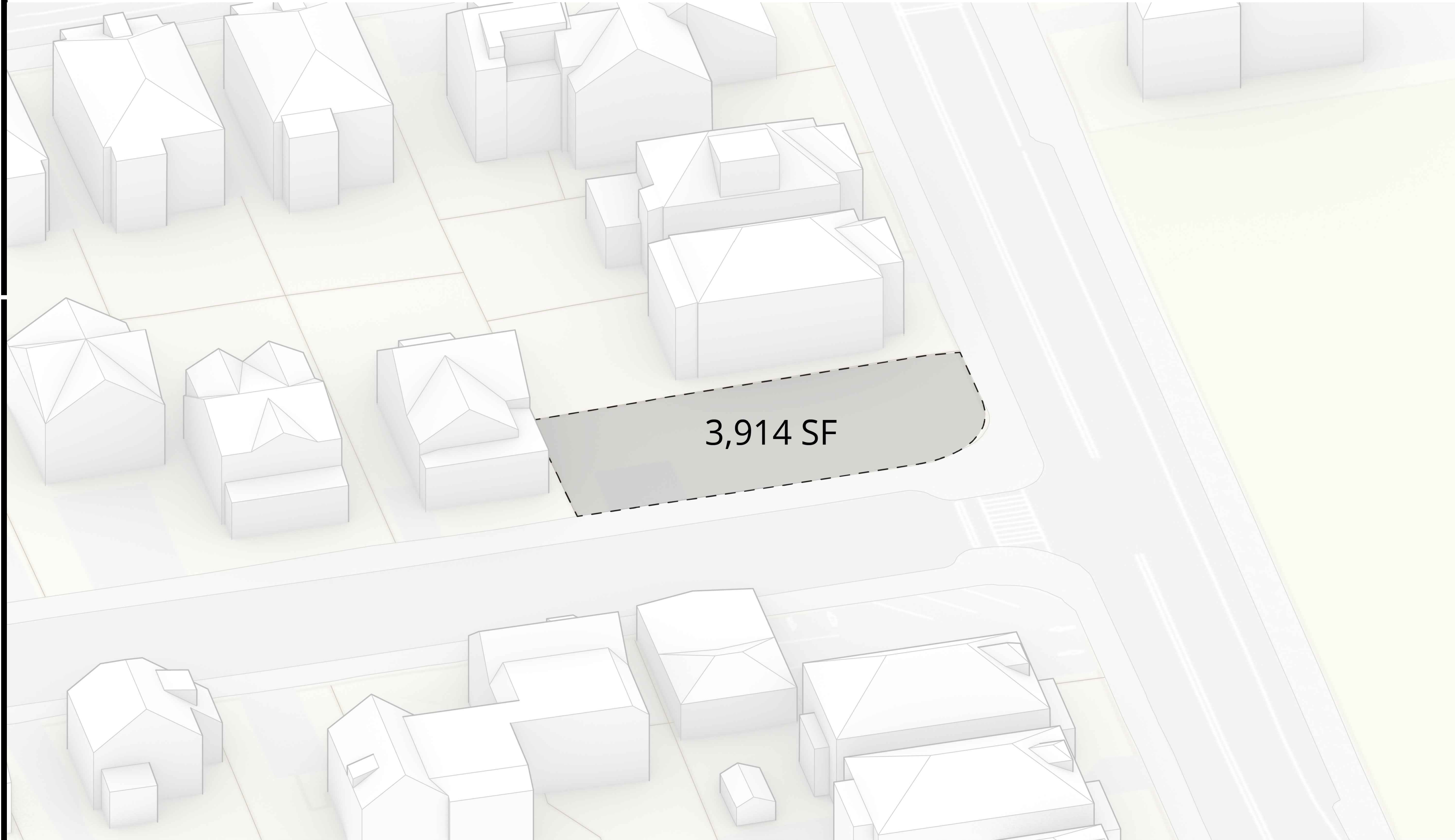
SHEET TITLE East & West Elevations

SHEET # AE-01

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NORTHWEST AXONOMETRIC DIAGRAM



SITE

401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

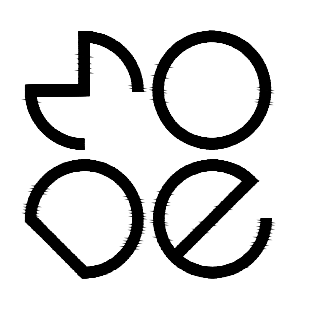
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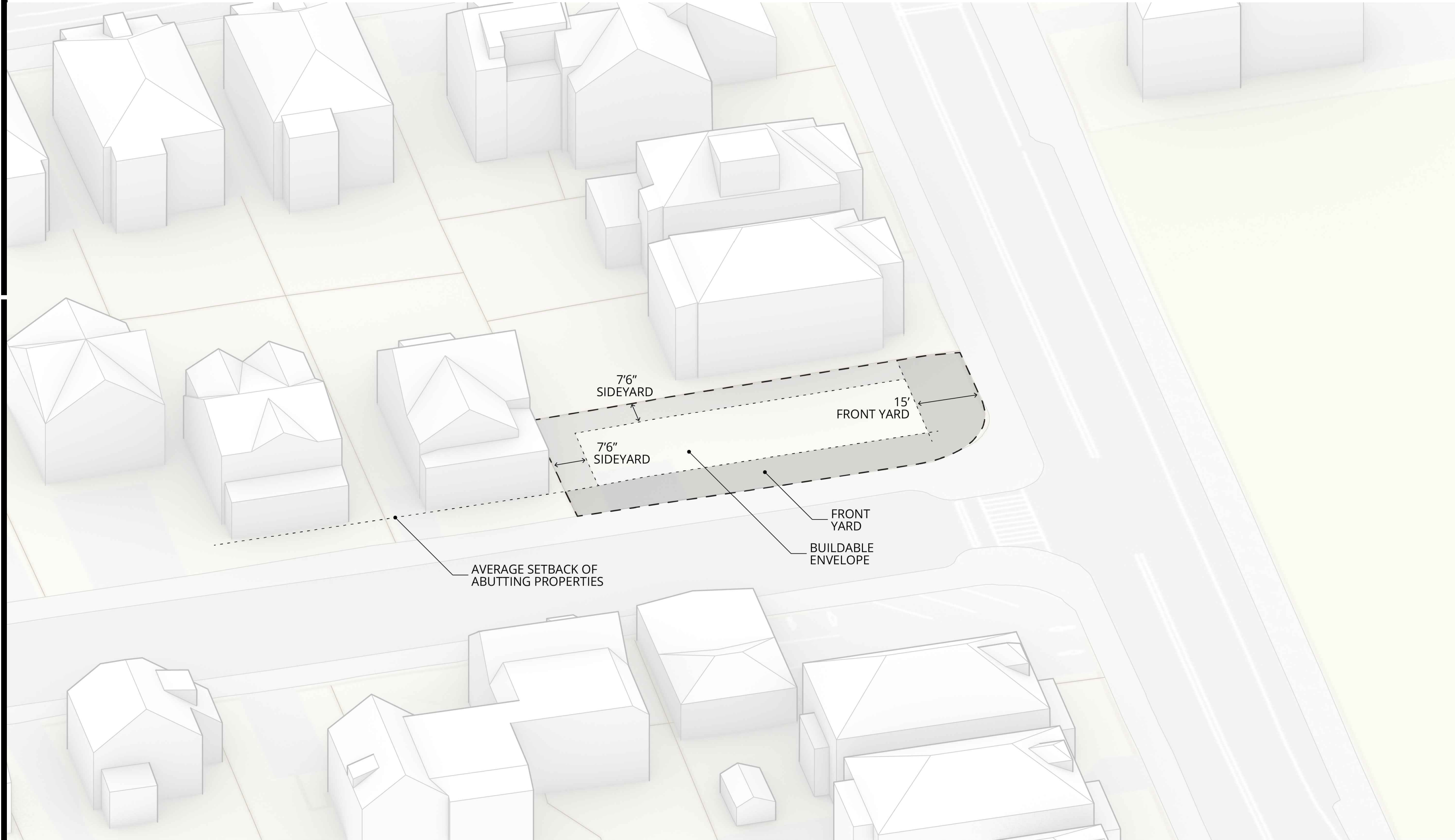
REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) NTS

SHEET TITLE Axonometric:
Site

SHEET # AX-01

NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION

NORTHWEST AXONOMETRIC DIAGRAM



SETBACKS

401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

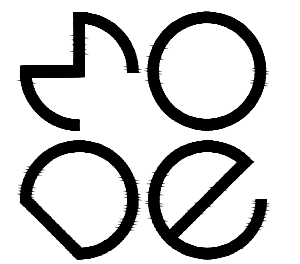
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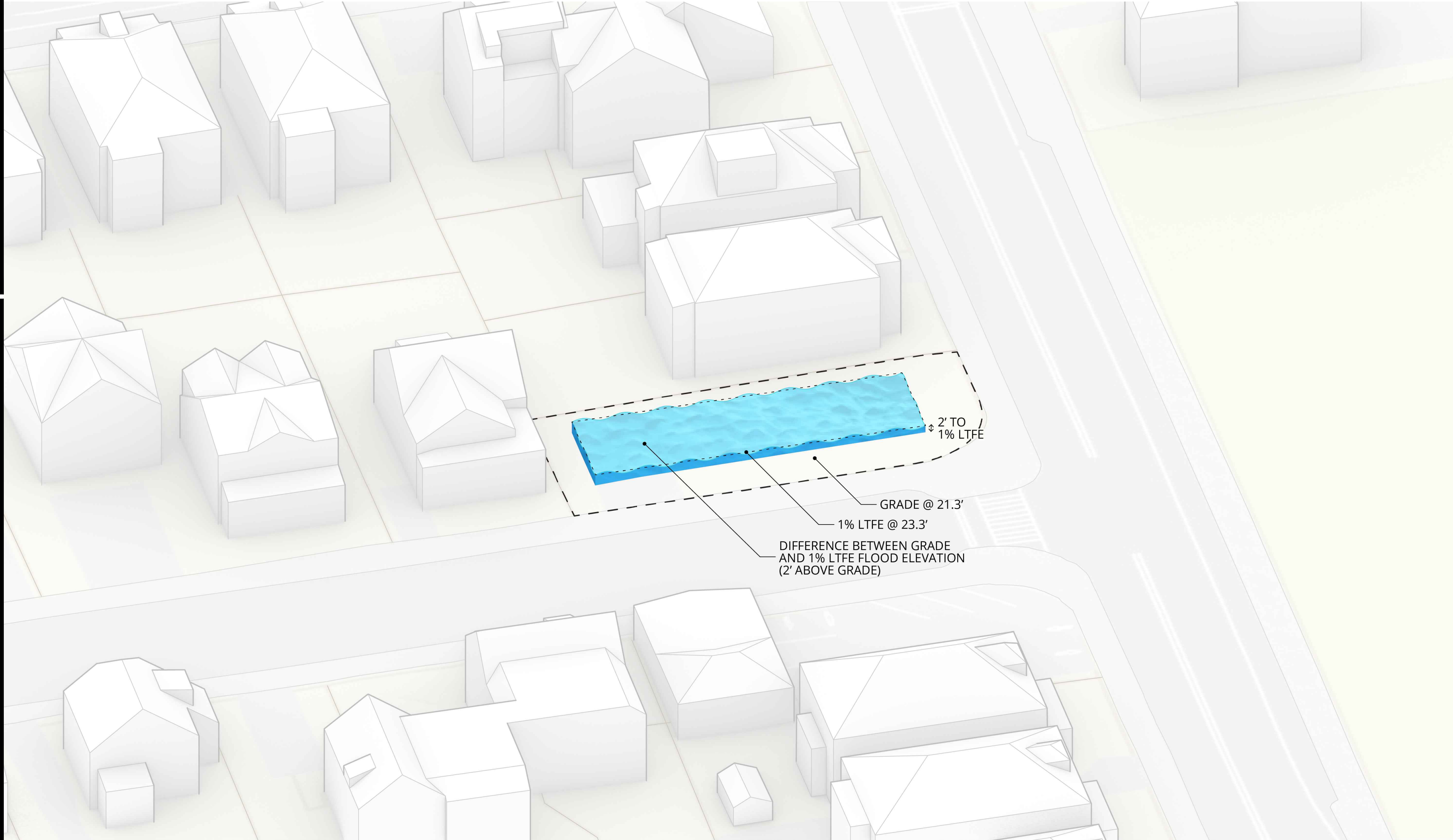
REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) NTS

SHEET TITLE Axonometric:
Setbacks

SHEET # **AX-02**

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NORTHWEST AXONOMETRIC DIAGRAM



FLOOD RESILIENCY

401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

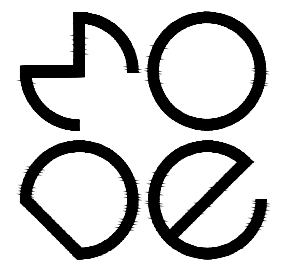
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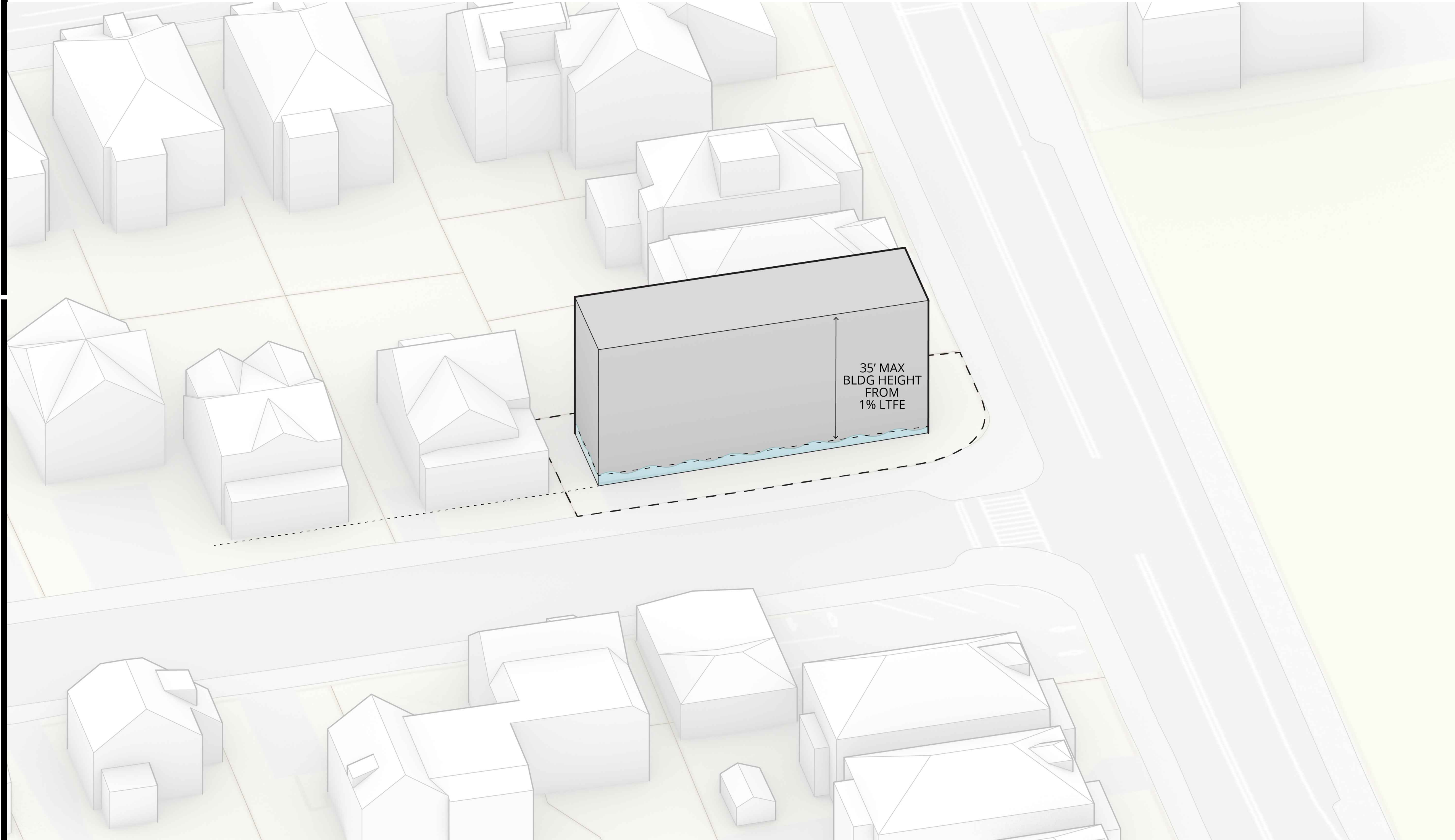
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DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
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SHEET TITLE Axonometric:
Flood Resiliency

SHEET # **AX-03**

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NORTHWEST AXONOMETRIC DIAGRAM



35' MAX
BLDG HEIGHT
FROM
1% LTFE

MAXIMUM HEIGHT

401 Concord Ave House
401 CONCORD AVE, CAMBRIDGE, MA 02138

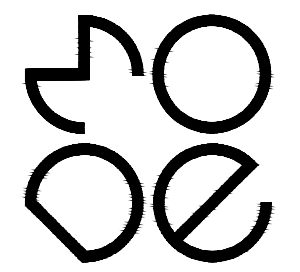
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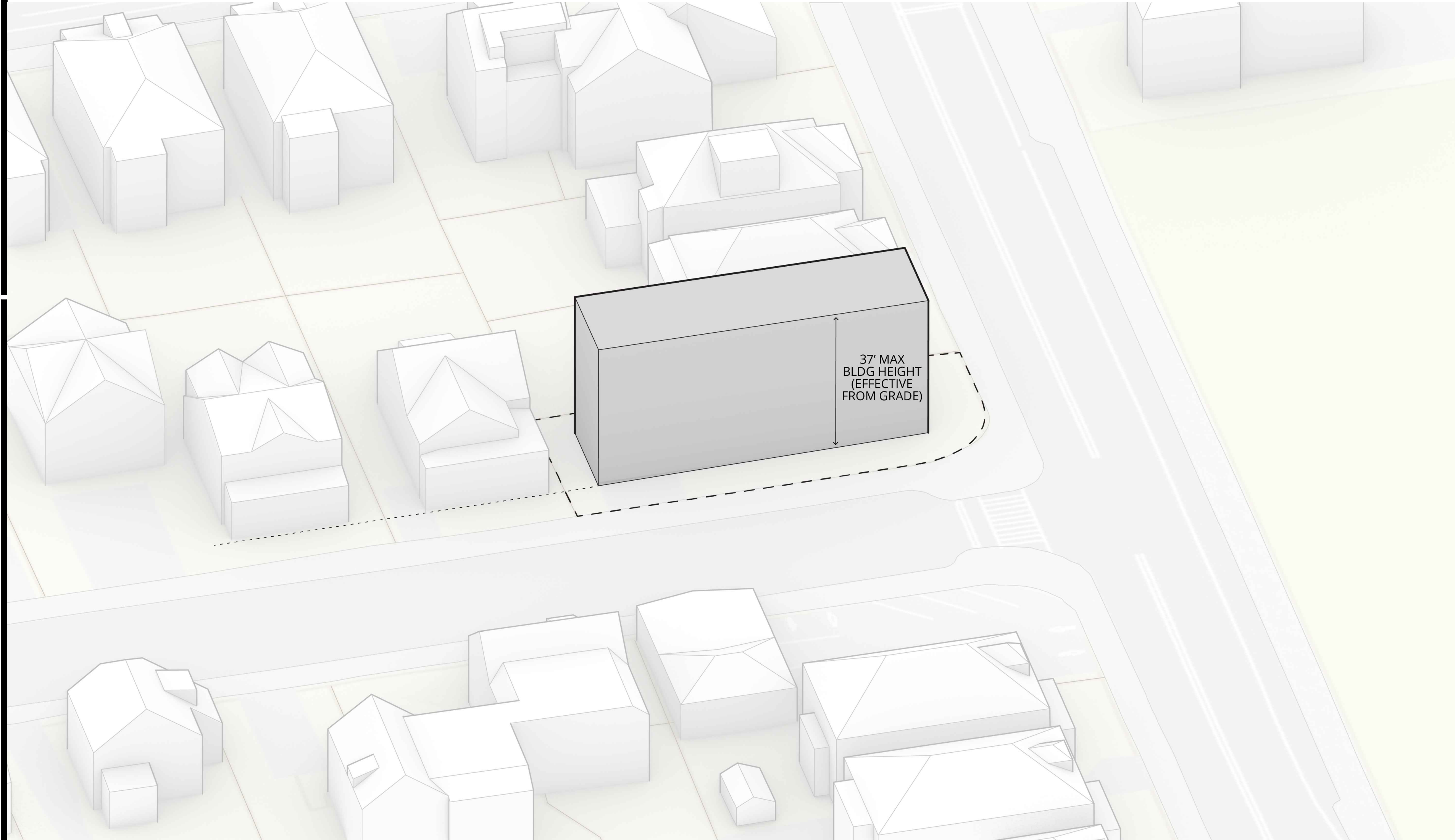
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DATE 2024.09.27
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SHEET TITLE Axonometric:
Maximum Height

SHEET # **AX-04**

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NORTHWEST AXONOMETRIC DIAGRAM



EFFECTIVE MAXIMUM HEIGHT

401 Concord Ave House
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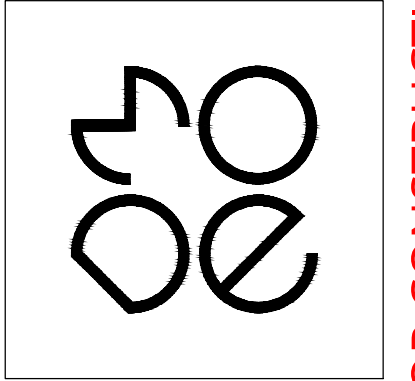
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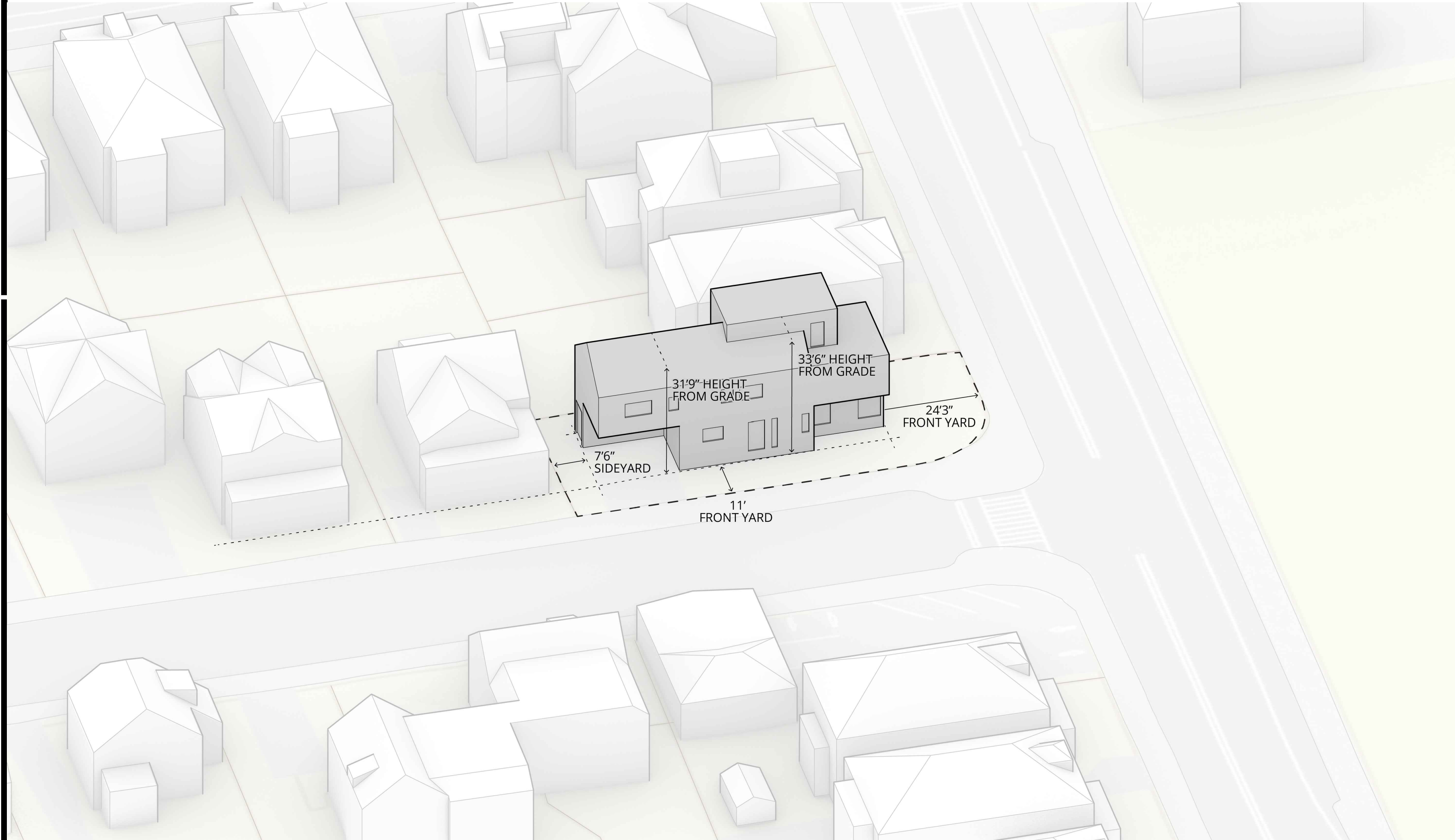
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SHEET TITLE Axonometric:
Effective Max Height

SHEET # **AX-05**

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NORTHWEST AXONOMETRIC DIAGRAM



PROJECT MASSING

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401 CONCORD AVE, CAMBRIDGE, MA 02138

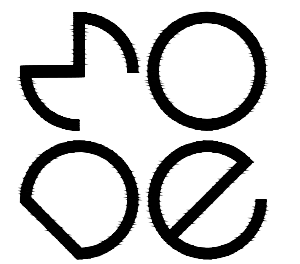
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DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) NTS

SHEET TITLE Axonometric;
Project Massing

SHEET # **AX-06**

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NORTHWEST AXONOMETRIC DIAGRAM



PROJECT MASSING WITH CONTEXT

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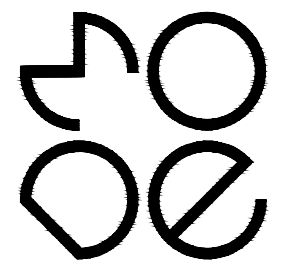
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ARCHITECT



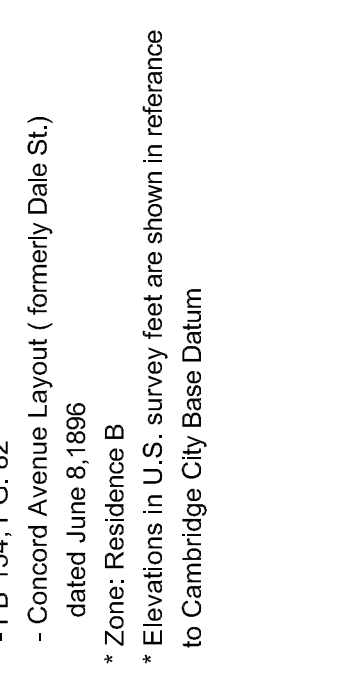
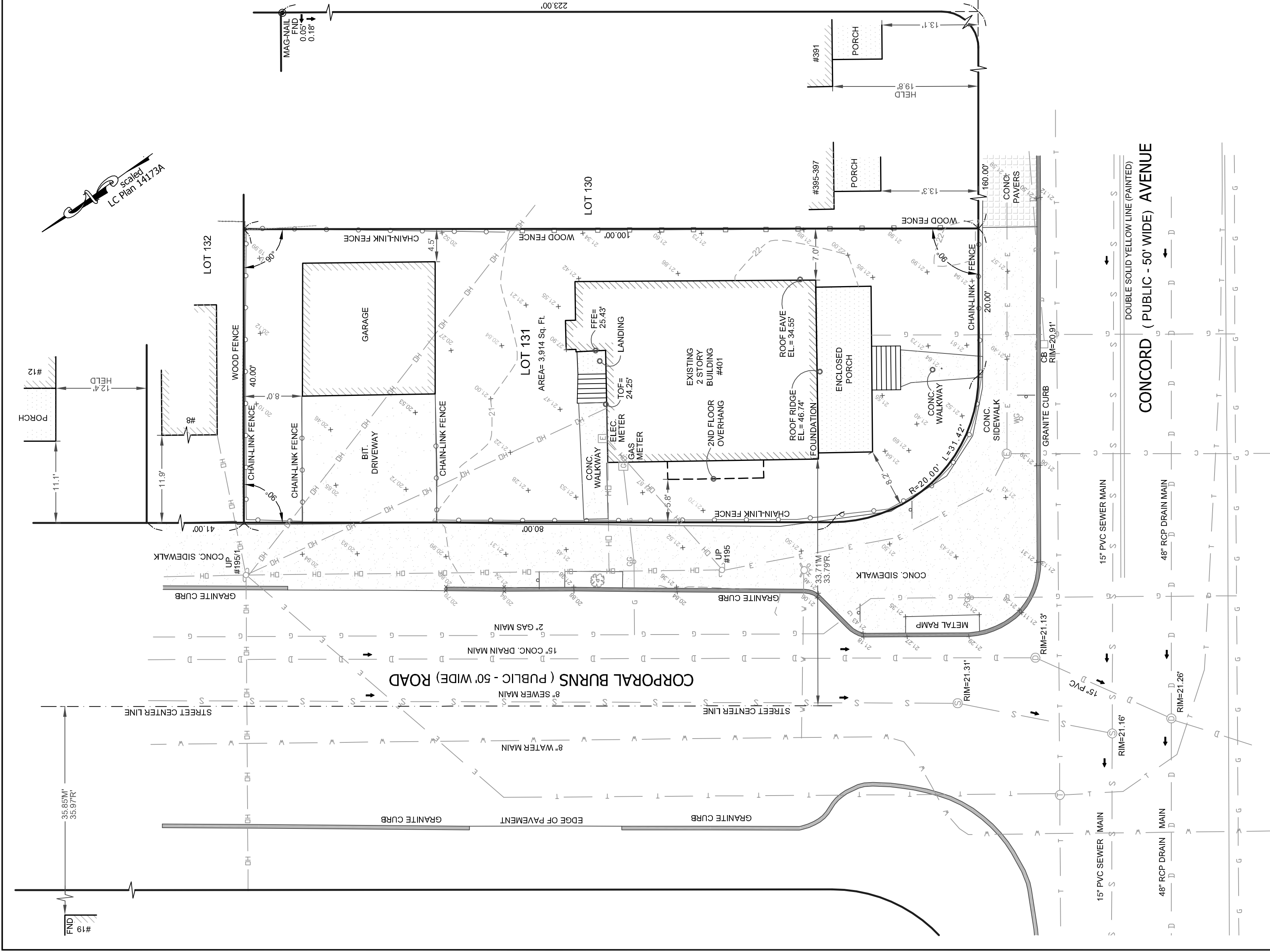
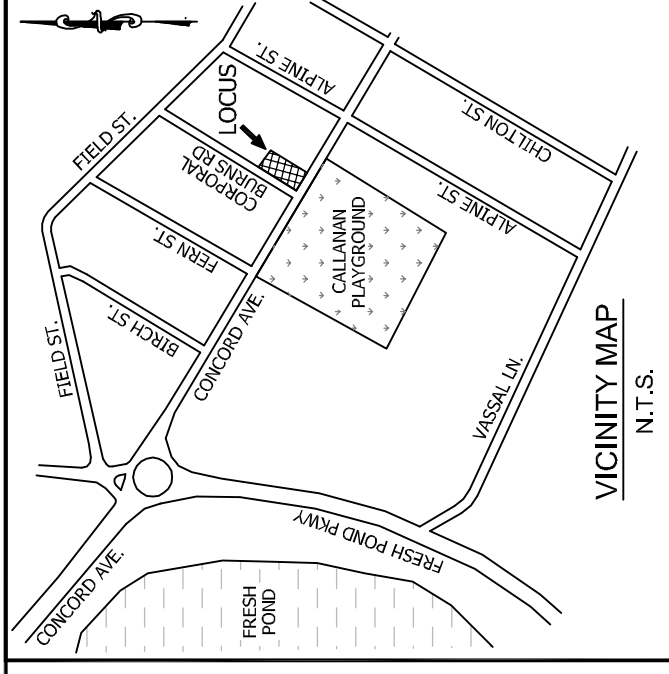
MODE STUDIO LLC
12 ARROW STREET SUITE 106
CAMBRIDGE, MA 02138
TEL: 617.396.3300

REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) NTS

SHEET TITLE Axonometric;
Project Massing with
Context

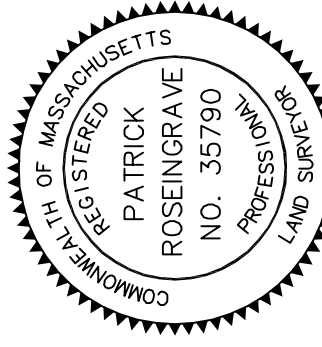
SHEET # **AX-07**

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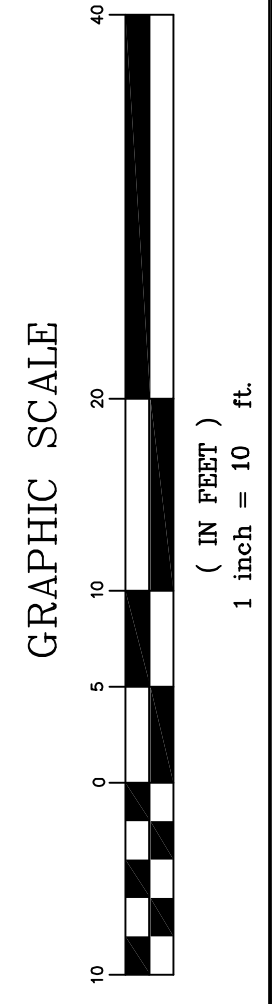
NOTES:
 * Registered Owner: 401 Concord Ave LLC
 * Assessors Ref.: Map 261, Lot 130
 * Deed Ref.: Book 80803, Page 191
 * Plan Ref.:
 - Plan No. 481 of 1911
 - Plan No. 25 of 1946
 - Plan No. 915 of 1999
 - LC Plan 14173A
 - FB 154, PG. 82
 - Concord Avenue Layout (formerly Dale St.)
 dated June 8, 1896
 * Zone: Residence B
 * Elevations in U.S. survey feet are shown in reference to Cambridge City Base Datum

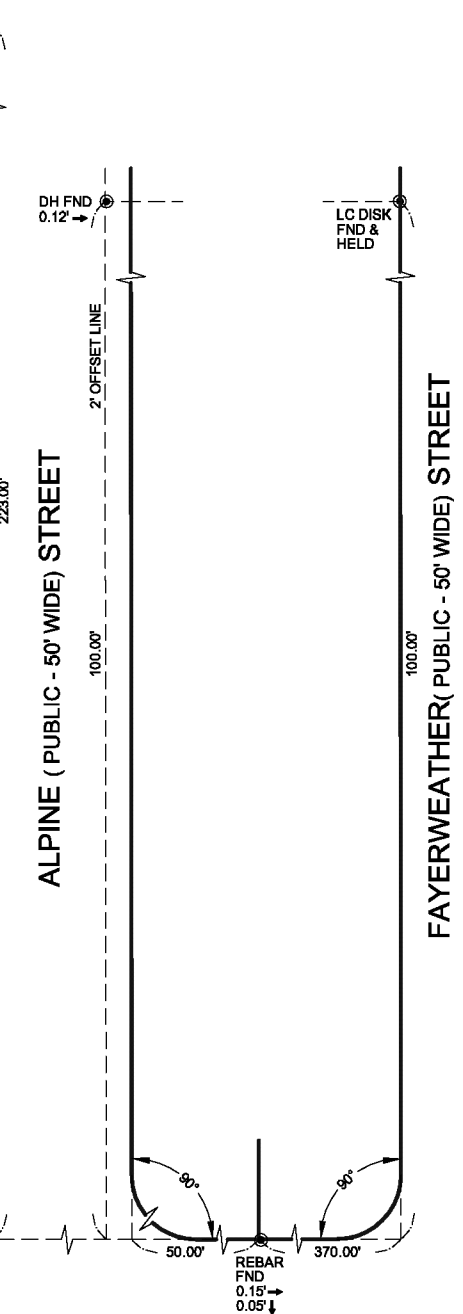
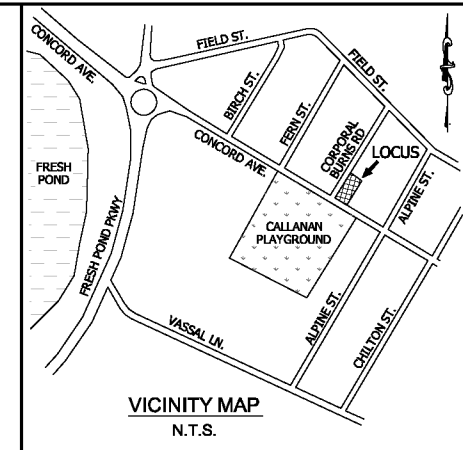
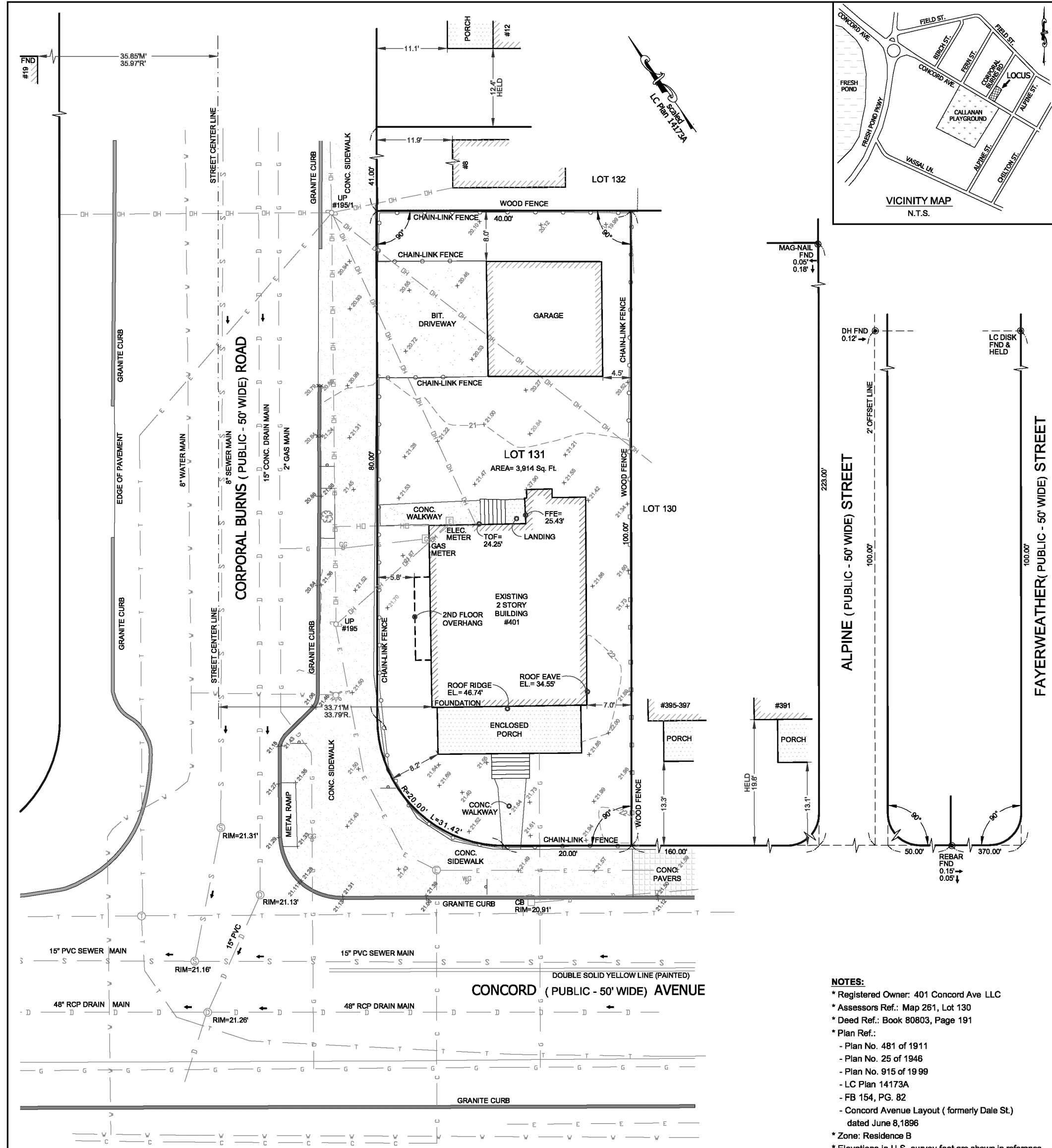
EXISTING CONDITIONS
 401 Concord Avenue
 Cambridge, MA 02138



Patrick Rosegrave
 Patrick Rosegrave License # 35790
 Professional Land Surveyor

- LEGEND:**
- C CABLE LINE
 - D DRAINAGE LINE
 - E UNDERGROUND ELECTRIC LINE
 - G GAS LINE
 - OH OVERHEAD WIRE
 - S SEWER LINE
 - T TELEPHONE LINE
 - V WATER LINE
 - CONC. CONTOUR LINE
 - CONC. CONCRETE
 - FND FOUND
 - M MEASURED
 - OV OVER
 - R RECORD
- CB CATCH BASIN
 - TRAFFIC SIGN
 - HYDRANT
 - GAS VALVE
 - WATER VALVE
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - SEWER MANHOLE
 - TELEPHONE MANHOLE
 - FLOW DIRECTION
 - SPOT GRADE

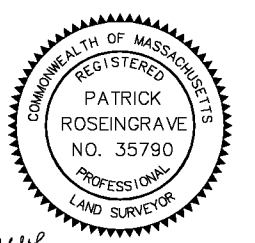




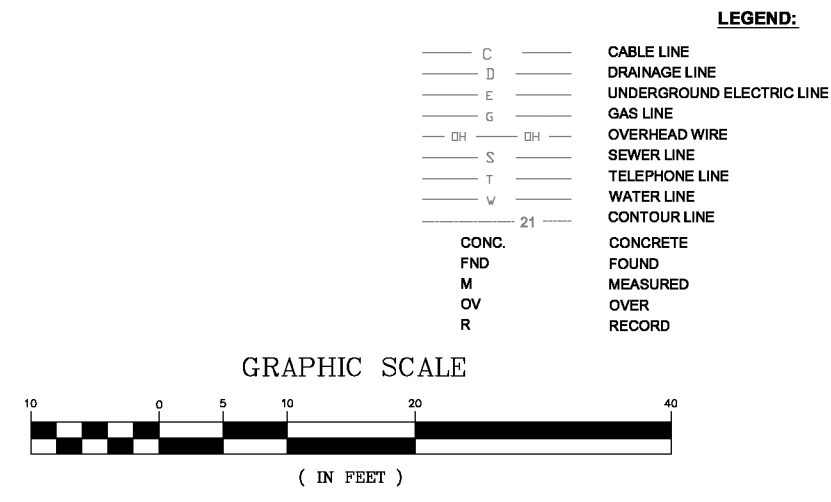
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 * Zone: Residence B
 * Elevations in U.S. survey feet are shown in reference to Cambridge City Base Datum

EXISTING CONDITIONS
 401 Concord Avenue
 Cambridge, MA 02138

LAND MAPPING
 10 Andrew Square, Suite 201B
 South Boston, MA 02127
 Tel: 857-544-3061
 www.land-mapping.com
 Date: June 19, 2024



Patrick Roseingrave
 Patrick Roseingrave, License # 35790
 Professional Land Surveyor

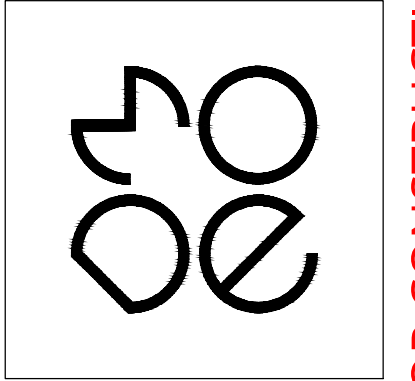


401 Concord Ave House
 401 CONCORD AVE, CAMBRIDGE, MA 02138

RESIDENTIAL
4 CORPORAL BURNS RD LLC
 267 GROVE STREET
 CAMBRIDGE, MA 02138
 TEL: 617.794.2577
 OWNER/S

TBD
 [STREET ADDRESS HERE]
 [CITY, STATE ZIP]
 T: ###-###-####
 CONTRACTOR

EDUARDO BERLIN
 MODERN DEVELOPMENT STUDIO
 12 ARROW STREET SUITE 106
 CAMBRIDGE, MA 02138
 TEL: 617.794.2577
 ARCHITECT



MODE STUDIO LLC
 12 ARROW STREET SUITE 106
 CAMBRIDGE, MA 02138
 TEL: 617.396.3300

REVISION # 00
 DATE 2024.09.27
 FILE 401 Concord House
 20240927.dwg
 SCALE(S) Indicated

SHEET TITLE Topographic Survey & Site Photos

SHEET # TP-01

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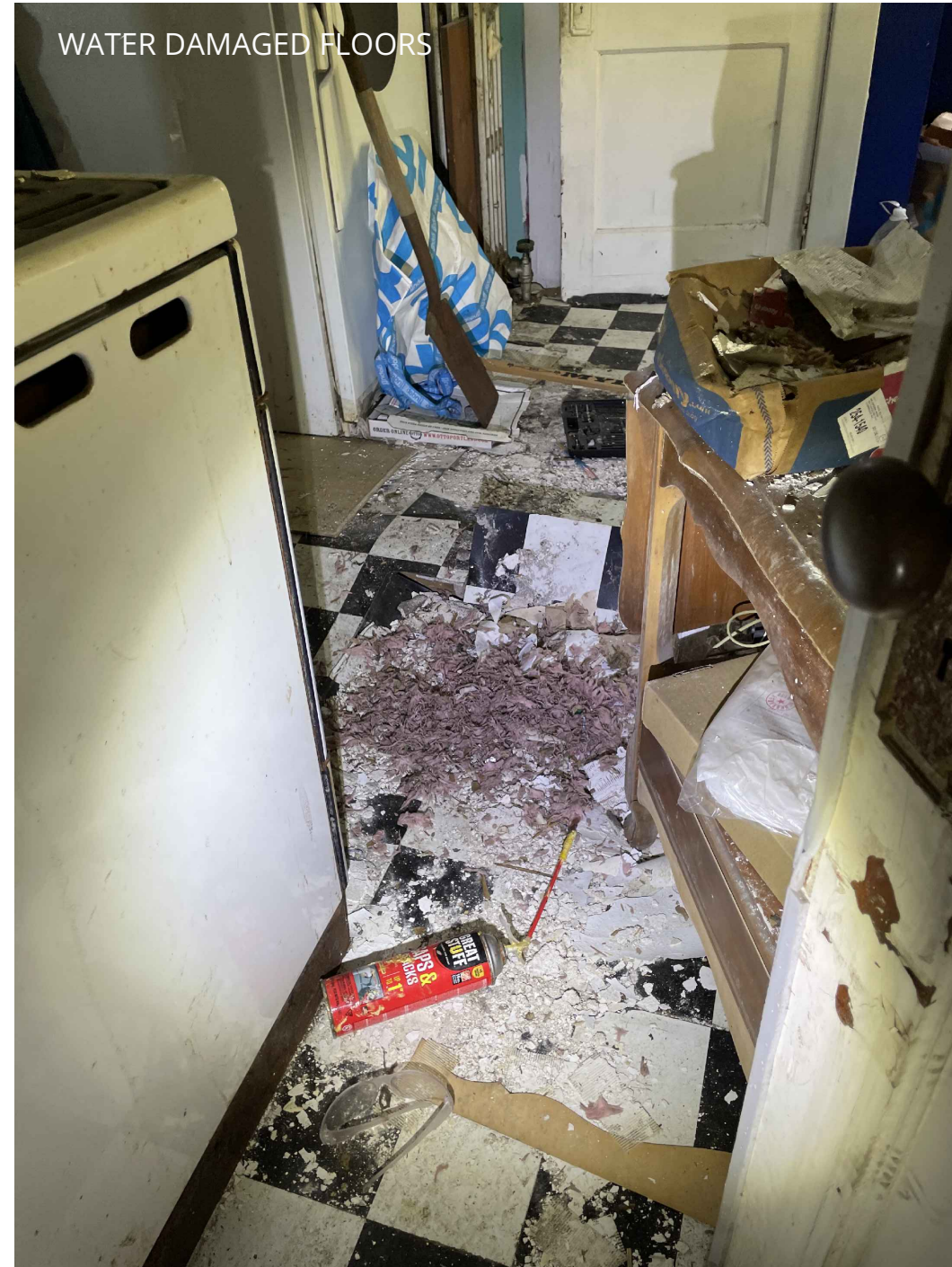
VIEW OF GARAGE



NORTH SIDE OF HOUSE



ROOF/DORMER CONDITION



WATER DAMAGED FLOORS



INTERIOR CEILING DAMAGE



COLLAPSED ROOF OF GARAGE



GENERAL CONDITION

401 Concord Ave House

401 CONCORD AVE, CAMBRIDGE, MA 02138

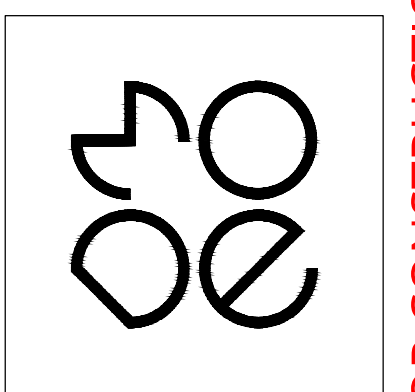
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RESIDENTIAL

4 CORPORAL BURNS RD LLC
267 GROVE STREET
CAMBRIDGE, MA 02138
TEL: 617.794.2577
OWNER/S

TBD
[STREET ADDRESS HERE]
[CITY, STATE ZIP]
T: ###.###.####
CONTRACTOR

EDUARDO BERLIN
MODERN DEVELOPMENT STUDIO
12 ARROW STREET SUITE 106
CAMBRIDGE, MA 02138
TEL: 617.794.2577
ARCHITECT



MODE STUDIO LLC
12 ARROW STREET SUITE 106
CAMBRIDGE, MA 02138
TEL: 617.396.3300

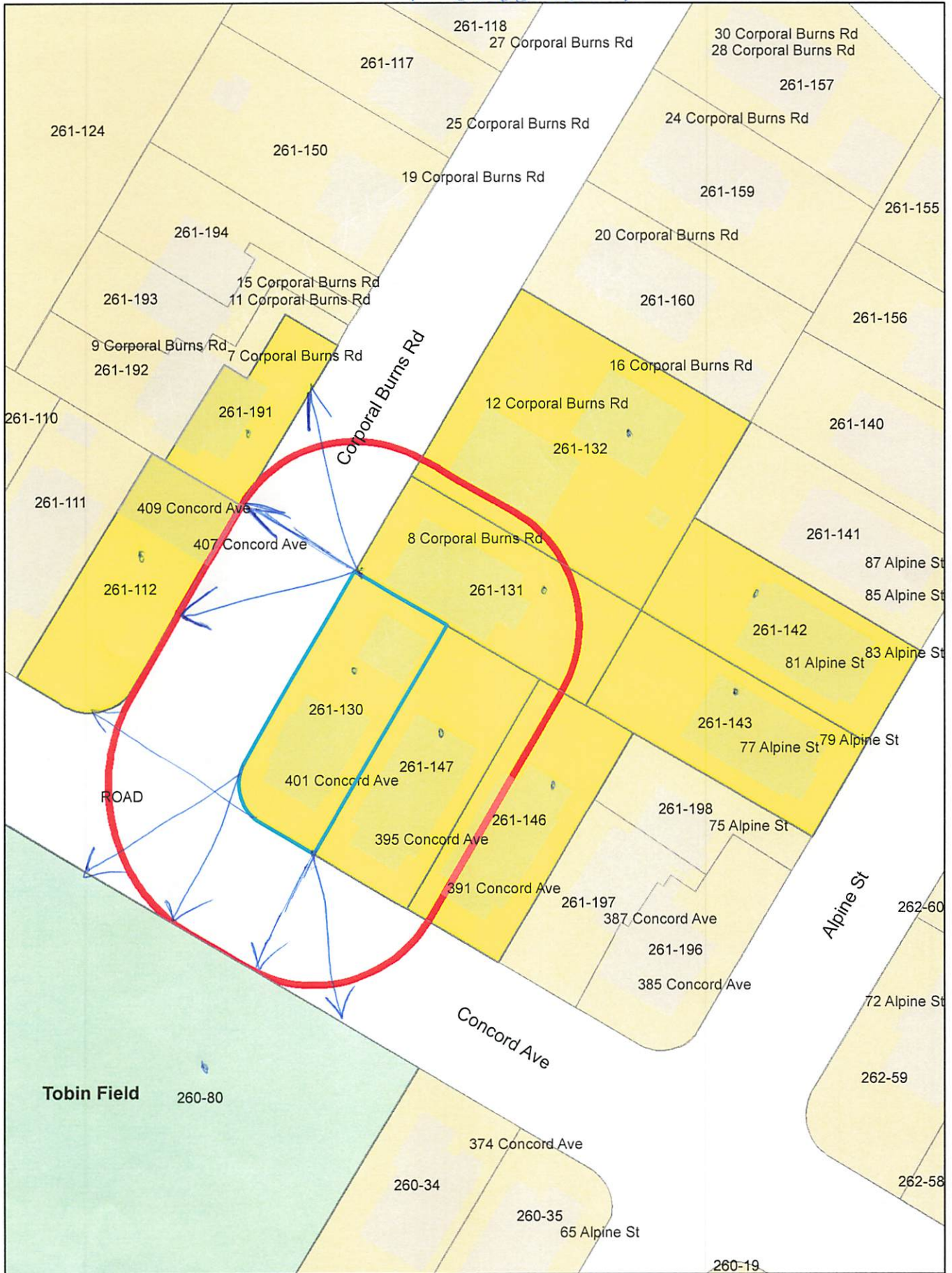
REVISION # 00
DATE 2024.09.27
FILE 401 Concord House
20240927.dwg
SCALE(S) Indicated

SHEET TITLE Site Photos

SHEET # TP-02

NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION / NOT FOR CONSTRUCTION

401 Concord Ave



401 Concord Ave

Petitioner

261-143
BINGHAM, HAZEL E.
79 ALPINE ST.
CAMBRIDGE, MA 02138-1224

261-132
GIANNINI, TYLER R. & URAIWAN THILATHAM
16 CORPORAL BURNS RD
CAMBRIDGE, MA 02138

EDUARDO BERLIN
267 GROVE STREET
CAMBRIDGE, MA 02138

261-147
MOORE, NICOLA
397 CONCORD AVE
CAMBRIDGE, MA 02138

260-80
CAMBRIDGE CITY OF
SCHOOL DEPT - TOBIN SCHOOL
159 THORNDIKE ST
CAMBRIDGE, MA 02141

261-112
CLARK, EMORY J. XONNABEL G CLARK
413 CONCORD AVE
CAMBRIDGE, MA 02138-1215

261-142
ALITA PURCELL GREENE
81 ALPINE ST
CAMBRIDGE, MA 02138-1224

261-191
LAROUCHE, GINA M. ALAN C. PRICE
7 CORPORAL BURNS RD
CAMBRIDGE, MA 02138

261-132
WEISSER, OLIVIA A.
CHRISTOPHER T. WILLARD
12 CORPORAL BURNS RD
CAMBRIDGE, MA 02138

261-146
CHILINSKI, DAVID
391 CONCORD AVE UNIT 1
CAMBRIDGE, MA 02138

261-131
BACHER JUDITH A.
TRS THE JUDITH A BACHER REVOCABLE TR
8 CORPORAL BURNS RD
CAMBRIDGE, MA 02138

261-130
4 CORPORAL BURNS ROAD LLC
267 GROVE ST
CAMBRIDGE, MA 02138

261-146
GOODMAN, PATRICIA
391 CONCORD AVE UNIT 2
CAMBRIDGE, MA 02138

260-80
CITY OF CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

260-80
CITY OF CAMBRIDGE
C/O MEGAN BAYER
CITY SOLICITOR

CITY OF CAMBRIDGE
DEPARTMENT OF PUBLIC WORKS

147 Hampshire Street, Cambridge, MA 02139

Phone (617) 349-4800



Flood Resilience Compliance Confirmation

Confirmation Number: 769606

Date Issued: October 2, 2024

Project Address/ Location: 401 Concord Ave
Map/Lot: 261-130
Project Stage: Special Permit

Applicant:

Name: Eduardo Berlin
Mailing Address: 267 Grove Street Cambridge, Cambridge, MA 02138
Email Address: projects@modeonline.com
Telephone #: 617-794-2577

Applicability:

- Is this project subject to Green Building Requirements (Section 22.20)? No
- Does this project involve the construction of a new building? Yes
- Does this project enlarge an existing building's footprint by at least 50%? No
- Does Any development in Stories Below Grades seeking exemption under Section 5.25.2? No

LTFE:

	SLR/SS	Precip	LTFE*
2070 1%	23.3	21.9	23.3
2070 10%	22.1	21.6	22.1

All Elevations in Cambridge City Base

*As defined by Zoning, whichever is higher of 1% and 10% events.

Meeting of Development Standards

Describe compliance with Section 22.84.1 (a): All occupiable spaces shall be protected from 10 % LTFE:

All occupiable spaces will be located above the 1% LTFE.

Describe compliance with Section 22.84.1 (b and c): Habitable spaces and critical building equipment shall be protected from the 1% LTFE:

All occupiable spaces and critical building equipment will be located above the 1% LTFE.

Describe compliance with Section 22.84.2, how spaces below the 10% LTFE will recover from flood event.

N/A

Notes/Conditions:

This Document Confirms that the above mentioned project is in Conformance with the Flood Resilience Standards.

Confirmation #: **769606** Date: **October 2, 2024**

Pacheco, Maria

From: Eduardo Berlin <eberlin.post@gmail.com>
Sent: Thursday, October 10, 2024 10:57 AM
To: Dave Doolittle
Cc: David Nix; Judy Bacher
Subject: Re: 401 Concord Ave

Hi Dave,

Of course I remember you and Judy. Thank you so much for your note. We actually feel terrible about the current state of the property. We are cutting and removing all weeds again (this time all of it) tomorrow or early next week, hoping to be less of a pain for you and Nicola for now. Maybe the raccoon/s will migrate.

I hope you received by now our letter with the project/variance information detailing what we are asking for and why. You are right about the FAR but if you look at actual total living space, Andrew's project was over 1,000 sf bigger. FAR is tricky that way as basement areas are excluded even Thanks nowadays all basements include residential program including bedroom, bathroom, laundry and recreational/family spaces.

Today I am at BChH as my 7yo son is having surgery. I am happy to stop by sometime tomorrow or next week if you would like to better understand any aspect of the project. Lastly, we would appreciate it if you would send a letter of support of our project. We also fully understand/respect if you don't.

Thank you again,

Eduardo

Eduardo Berlin
Sent from a mobile device

On Oct 10, 2024, at 8:54 AM, Dave Doolittle <doolinux@gmail.com> wrote:

FYI, We met you guys before you bought. We live next door at 8 Corporal Burns Rd, I thought you should know that you might have a day time occupant of the house. I take my dog out at ~5:30 to 6am. We call him rocky racoon. He walks down our fence line then crosses into your yard. We have seen him/her climbing up the side of the house at the back stoop. We have seen him on the peak of the house. I hope he is not getting into the house.

I've been looking at the design of the house. I'll send my thoughts at a later time. Andrew had the hardest time with the zoning board on the FAR. He had to change his design a couple of times to get it down to the ~62% before they approved it. Your asking for just over 72%, I wish you luck.

Thanks,

Dave Doolittle
The Boston Globe
Business Technology Solutions
doolinux@gmail.com
617-301-2868 (Cell)
617-929-8515 (Boston Office)



Pacheco, Maria

From: nicola moore <drnicolamoore@yahoo.com>
Sent: Thursday, October 17, 2024 9:54 AM
To: Pacheco, Maria
Subject: BZA-769646 (401 Concord Avenue)

Dear Ms. Pacheco,

I am a direct abutter to 401 Concord Avenue; I own and reside at 395/397 Concord Avenue.

I write to register my opposition to the several variances requested by the new owners of 401 Concord Avenue in their plan to build a single family residence at 401 Concord Avenue.

I supported several variances requested by the previous owners, who had a plan to build a two-family residence at the property.

- First, I considered the replacement of the current single family home with a two-family home as a benefit in itself, as there is a significant housing shortage in Cambridge.
- Second, the previous owners worked extensively over many months with neighborhood members and significantly adjusted their plans based neighborhood input and input from the BZA.

The current owners have not, so far as I know, shown a good faith effort to elicit input from neighbors and abutters in developing their plan. (The first contact I had from the new owners occurred today (10/16/2024) via email; in that email, the new owners state that they have knocked on my door three times, with 'no luck.')

A plan for a single family residence to replace a single family residence does not help with the Cambridge housing shortage and the new owners have not demonstrated adequate justification for their requests to significantly exceed the FAR, to decrease the size of front yard, or to allow the parking space to project into the front yard set back.

Hence, I am opposed to the granting of the variances requested.

Regards,

Nicola Moore

Pacheco, Maria

From: David Chilinski <dchilinski@pcadesign.com>
Sent: Thursday, October 17, 2024 9:51 AM
To: Pacheco, Maria
Subject: 401 Concord proposal
Attachments: Board of Zoning Appeal letter DC 10-22-24.docx; 10-10-24 sketches.pdf

This current proposal for a single family home that is almost 50% larger than what is ALLOWED and 61% larger than the existing non-conforming building.... seems UNREASONABLE.....

The proposal last year created 2 units of housingnot another \$3M home... we do have a housing crisis to solve.... In my mindsimply reshaping a single family house does not rise to the level of a "*community benefit*" (despite the fact that it is an eyesore) that would entitle the proposal to a variance.

Thank you
D

David Chilinski FAIA

President

Email: dchilinski@pcadesign.com | **Direct:** 857-453-2920



Architecture Interiors + Planning
221 Hampshire Street | Cambridge, MA 02139
Office: 617-547-8120 | **Web:** pcadesign.com



Notice of confidentiality

Board of Zoning Appeal

10/10/24

City Hall

795 Mass Ave.

Cambridge, MA 02139

Dear Members of the BZA:

My wife and I were not contacted by Eduardo Berlin regarding the petition BZA-769646 – 401 Concord Ave.

In 2023 we and our neighbors met numerous times with Andrew Plumb of Aamodt/Plumb Architects in a good faith effort to create 2 units on this siteand fundamentally it was because we all understand and appreciate the need to create MORE housing in Cambridge.

This proposal is to simply REPLACE a single family home with another single family home.....There is no clear COMMUNITY BENEFIT which was a major factor in WHY the neighbors supported a few deviations from the base zoning.. This neighborhood is a combination of single family and 2 Family dwellings in

buildings..... generally comparable in size; the majority of which are non-conforming in some aspects (including my own) and **have full basements**. **The assertion that that a basement here is “not feasible” seems out of line.**

SETBACKS

The current house does not conform to some of the current setback requirements. *It is reasonable to allow some leeway regarding keeping the current non-conforming profile.* I would not support extending that non-conformity unless it was absolutely necessary.

CURRENT ZONING

It seems from the accompanying diagrams that there is a house that can be quite beautiful and accommodating for ONE family within the current zoning WITHOUT any MAJOR variance. It is obvious that the site shape requires some help to accommodate a residence....but what is being requested is unreasonable.

Understanding that Cambridge Real Estate now sells for approximately \$1000/sfif the petitioner is saying that their business DEAL is not possible unless their sales price is \$2.8M (I am unclear whether they own the property).....does not seem to be a reason to grant a variance.

Neighborhood character is important,

and working with your neighbors is important

and I know the board supports this.

My Neighbors have demonstrated an ability to work collaboratively to shape new developments and we look forward to further collaboration.

It is in that context that I respectfully ask that you do not grant these variances.

Best regards,

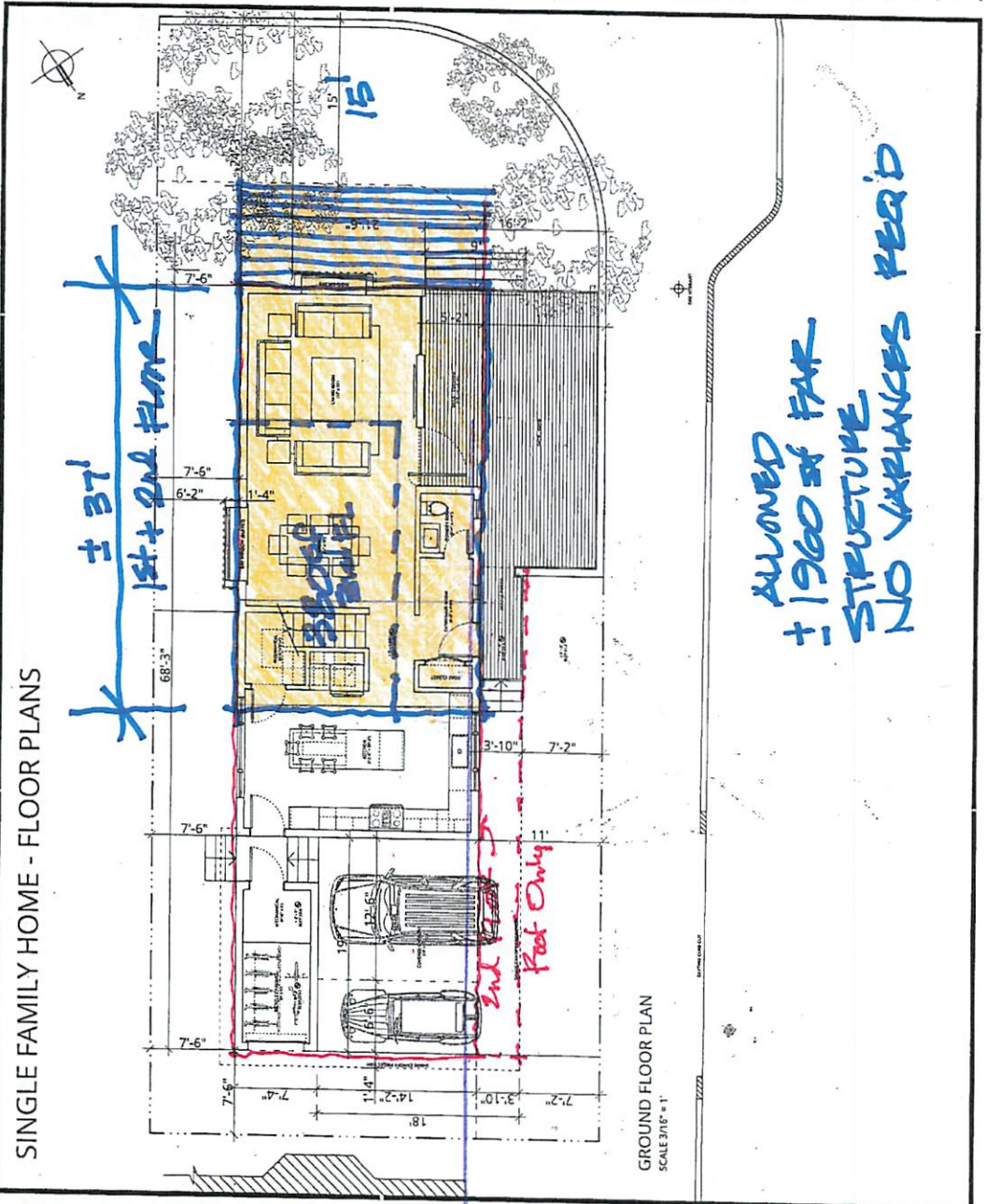


David Chilinski FAIA

Email: dchilinski@pcadesign.com | **Direct:** 617-851-0760

391 Concord Ave #1
Cambridge, MA 02138

1.10 5/1-03



SINGLE FAMILY HOME - FLOOR PLANS

GROUND FLOOR PLAN
SCALE 3/16" = 1'

ALLOWED ± 1900 sq ft
STRUCTURE
NO VARIANCES PER'D

Setbacks 116

401 Concord Ave



401 Concord Ave

