



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 NOV -5 PM 2: 35

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

**BZA Number: 1140668**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_ Variance:   X   Appeal: \_\_\_\_\_

**PETITIONER:** 41 Concord Ave Condo Trust C/O Approach Architects, Inc. (dba Approach3)

**PETITIONER'S ADDRESS:** 54 Newport Street, Arlington, MA 02476

**LOCATION OF PROPERTY:** 41 Concord Ave , Cambridge, MA

**TYPE OF OCCUPANCY:** Existing dwelling converted for **ZONING DISTRICT:** Residence B Zone  
more than two families

### **REASON FOR PETITION:**

/Additions/

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

The applicant proposes to remove the existing deck, entryway, and entry steps from within the nonconforming side yard and replace them with new deck, entryway, and entry steps. The nonconforming setback will not change, but the entryway will be expanded and a window will face the nonconforming side.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements)

Article: 8.000      Section: 8.22.3 (Non-Conforming Structure)

Article: 10.000    Section: 10.30 (Variance)

Original  
Signature(s):

(Petitioner (s) / Owner)

CHRISTINA KLEIN

(Print Name)

Address:

54 Newport St, Arlington, MA 02476

Tel. No.

6179623464

E-Mail Address:

cklein@approach3.com

Date:

11/04/24

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 41 Concord Avenue Condominium

Address: C/O Charlesgate Property Management, Managing Agent  
867 Boylston Street, 3rd Floor, Boston Ma 02116

State that I/We own the property located at 41 Concord Avenue, Cambridge Ma, which is the subject of this zoning application.

The record title of this property is in the name of 41 Concord Avenue Condominium

\*Pursuant to a deed of duly recorded in the date Aug. 2, 1979, Middlesex South County Registry of Deeds at Book 13756, Page 626; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

*Kelly S Robbins, Director of Project Mgt.  
41 Concord Ave Condominium  
By Charlesgate Property Mgt, Managing Agent*  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Kelly Robbins personally appeared before me, this 21st of October, 2024, and made oath that the above statement is true.

Lauren Shore Notary

My commission expires November 8, 2030 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The existing undersized entryway for the building is located in the side yard setback. The existing size of the entryway makes egress from the building awkward at best. In the absence of a variance, the enlargement of the entryway to allow functional use would require reconfiguring the interior of the building, impacting most of the residential units at considerable cost to the owner in order to locate a new entryway on the front or opposite side of the house where a larger entryway could be accommodated.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The position of the existing entrance on the side of the building, and the position of the building on the very side lot are not typical for the district, and are the sole reason for the request. Were the shape of the building different, with the entryway on the front or driveway side like typical buildings, the need of a variance would not exist.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The addition of 5.9 sq. ft. to the footprint of the existing 19.5 sq. ft. single-story entryway will not be discernable from the street, and will only be visible from the abutting properties on that side of the property. The public good will not be effected by this minimal change.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The requested expansion of the entryway would be allowed by special permit had the building remained a single family home. The conversion of the house to multifamily in the 1970s has changed the nature of the request to a variance. The proposed change will not change the original residential character of the house, and will improve the egress from the units. This minimal increase in the nonconformity will not be in opposition to the purposes of the zoning bylaw which includes "to provide adequate light and air", "to prevent overcrowding of land", and "to avoid undue concentration of population".

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

## BZA Application Form

### DIMENSIONAL INFORMATION

**Applicant:** 41 Concord Ave Condo Trust

**Present Use/Occupancy:** Existing dwelling converted for more than two families

**Location:** 41 Concord Ave., Cambridge, MA

**Zone:** Residence B Zone

**Phone:** 6179623464

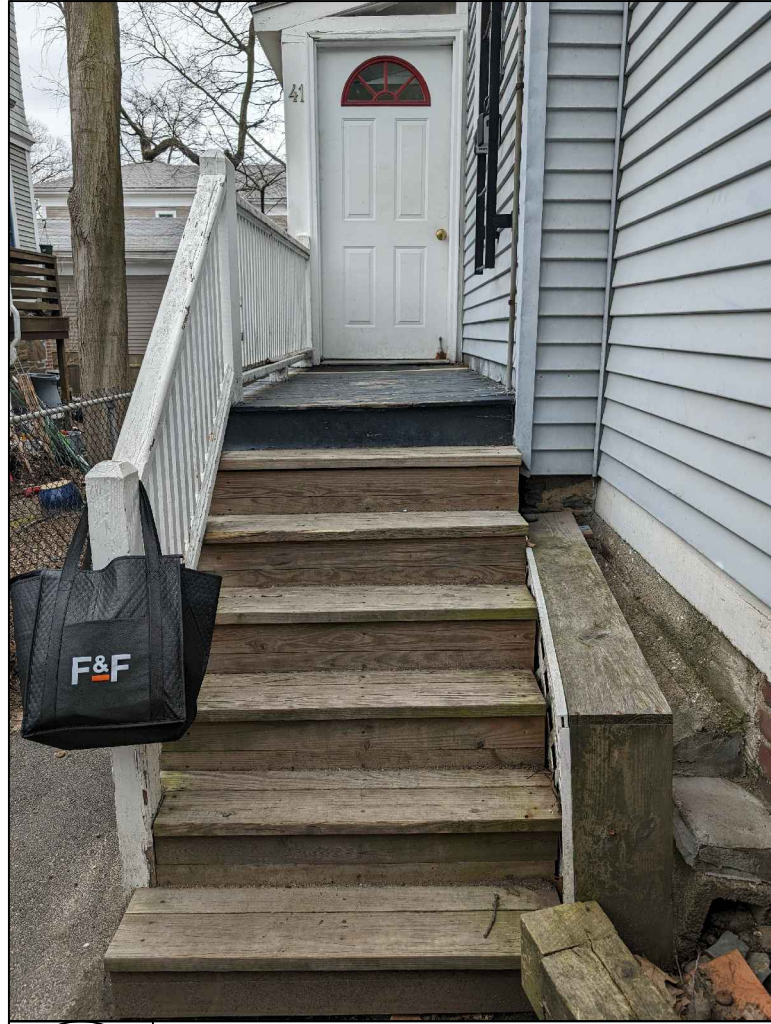
**Requested Use/Occupancy:** Existing dwelling converted for more than two families

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4,176	4,181	4400	(max.)
<u>LOT AREA:</u>		8,800	8,800	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		0.4745	0.4751	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1760	1760	2,500	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	80	80	50	
	<u>DEPTH</u>	110	110	0	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	25	25	15	
	<u>REAR</u>	39.9	39.9	27	
	<u>LEFT SIDE</u>	3.5	3.5	7.5	
	<u>RIGHT SIDE</u>	44.5	44.5	12.5	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	42	42.05	35	
	<u>WIDTH</u>	45.1	45.1	0	
	<u>LENGTH</u>	32	32	0	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0	0	40%	
<u>NO. OF DWELLING UNITS:</u>		5	5	0	
<u>NO. OF PARKING SPACES:</u>		5	5	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		0	0	0	

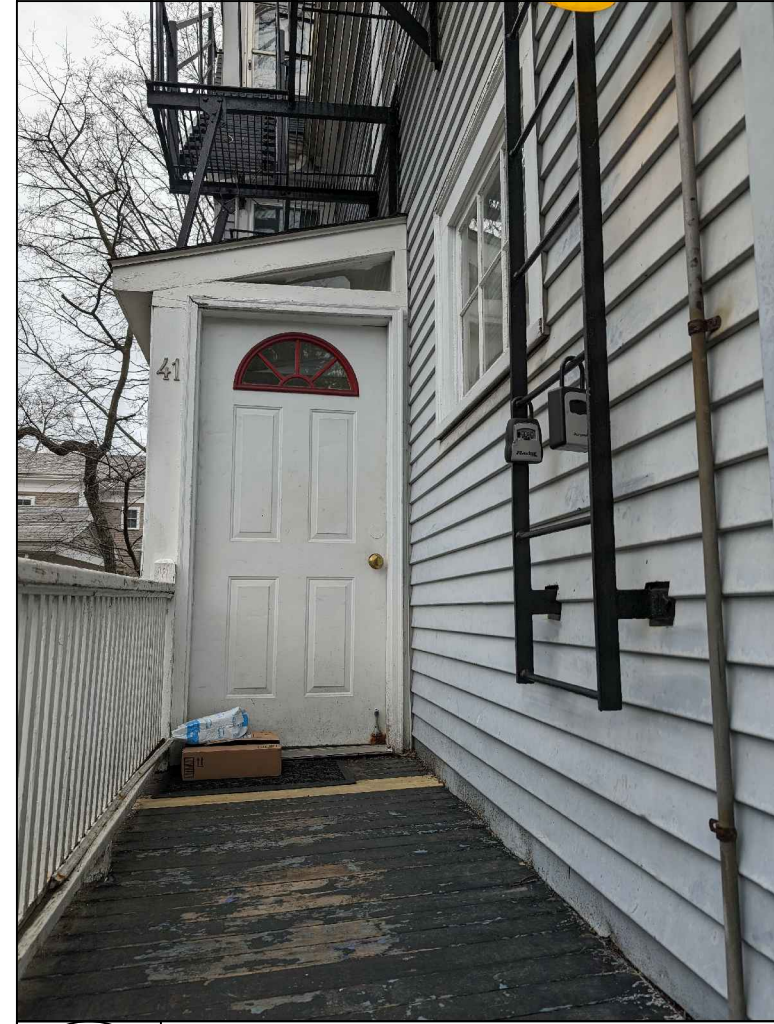
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

No second building on lot

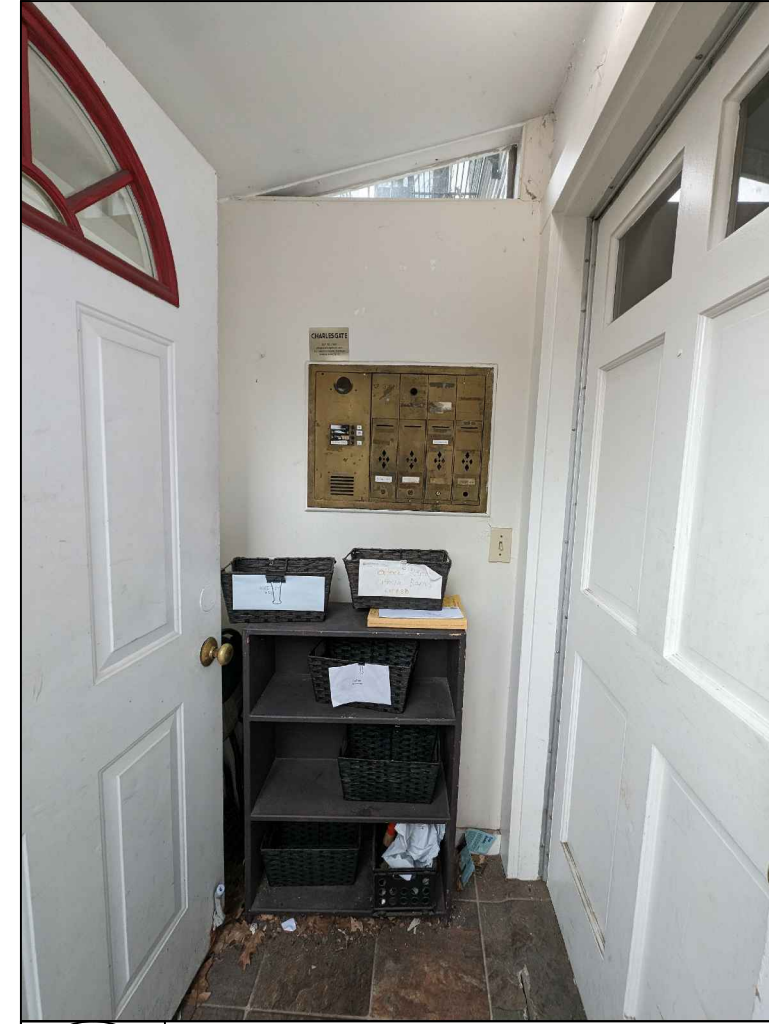
1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



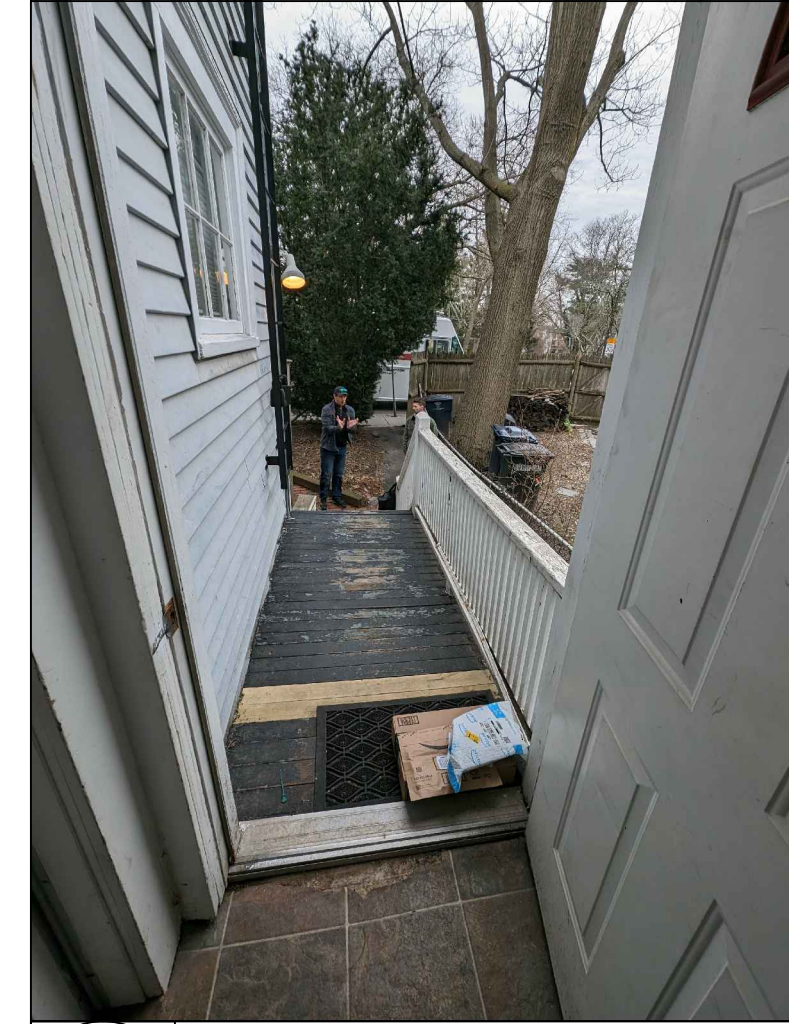
**A** Front View of Entry Stair



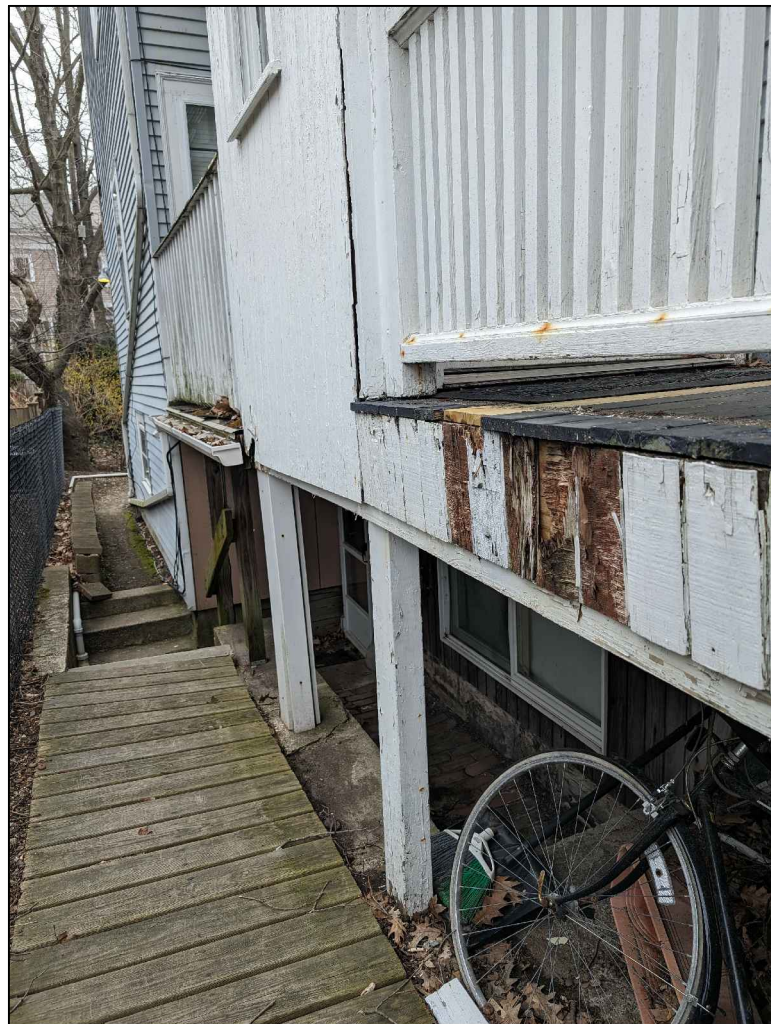
**B** Front View of Entry Vestibule



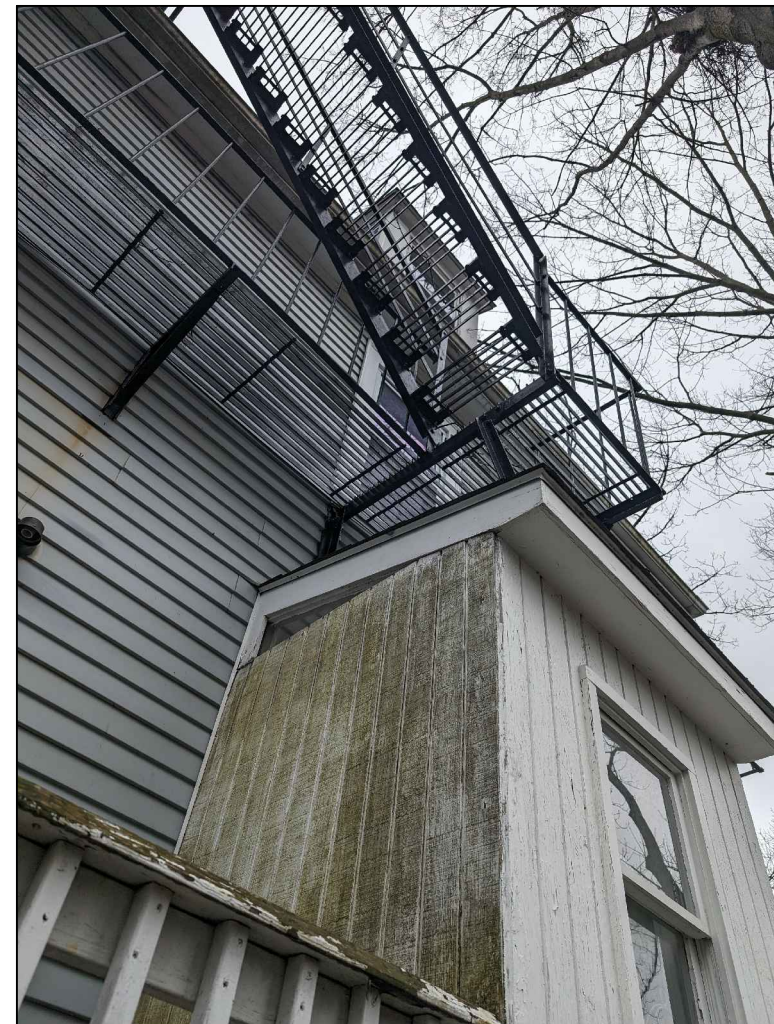
**C** Interior View of Entry Vestibule



**D** View from Entry Vestibule



**E** Side View of Entry Stair and Vestibule



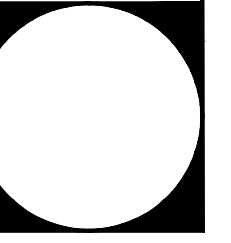
**F** Rear View of Entry Vestibule



**G** View of Lower Unit Entry Door



**H** Side View of First Floor Deck



# 41 Concord Avenue Condominium

## 41 Concord Avenue Cambridge, MA 02138

Permit Set  
March 22, 2024

**Manager**  
Robert Madden  
Charlesgate P. M.  
867 Boylston Street  
Boston, MA 02116  
617.587.0100

**Architect**  
Christian Klein  
APPROACH<sup>3</sup>  
50 Pinecliff Drive  
Marblehead, MA 01945  
617.962.3464

**Structural**  
Frank Lagodimos  
Spartan Engineering  
145 Hemlock Drive  
Holliston, MA 01746  
508.532.0876

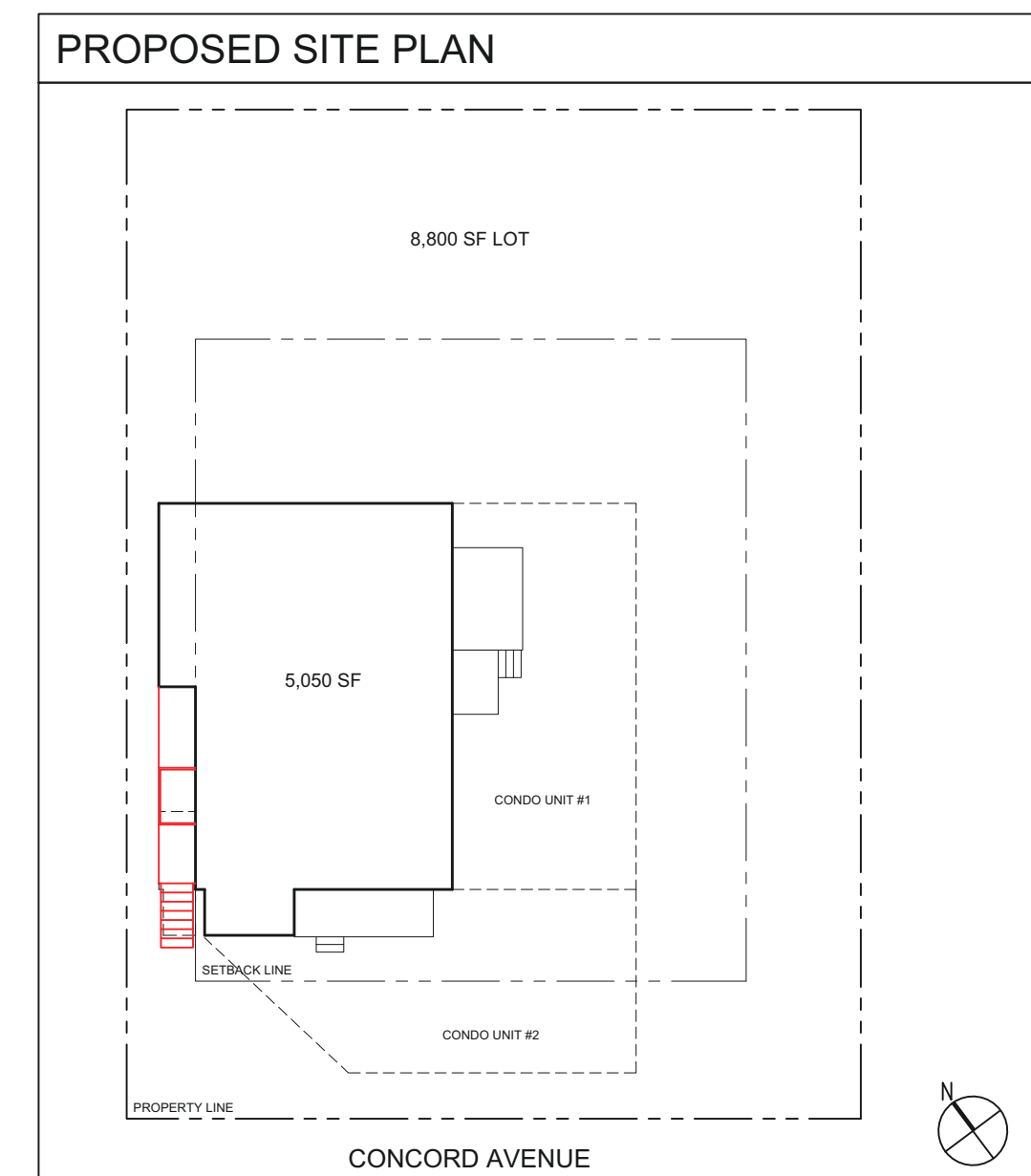
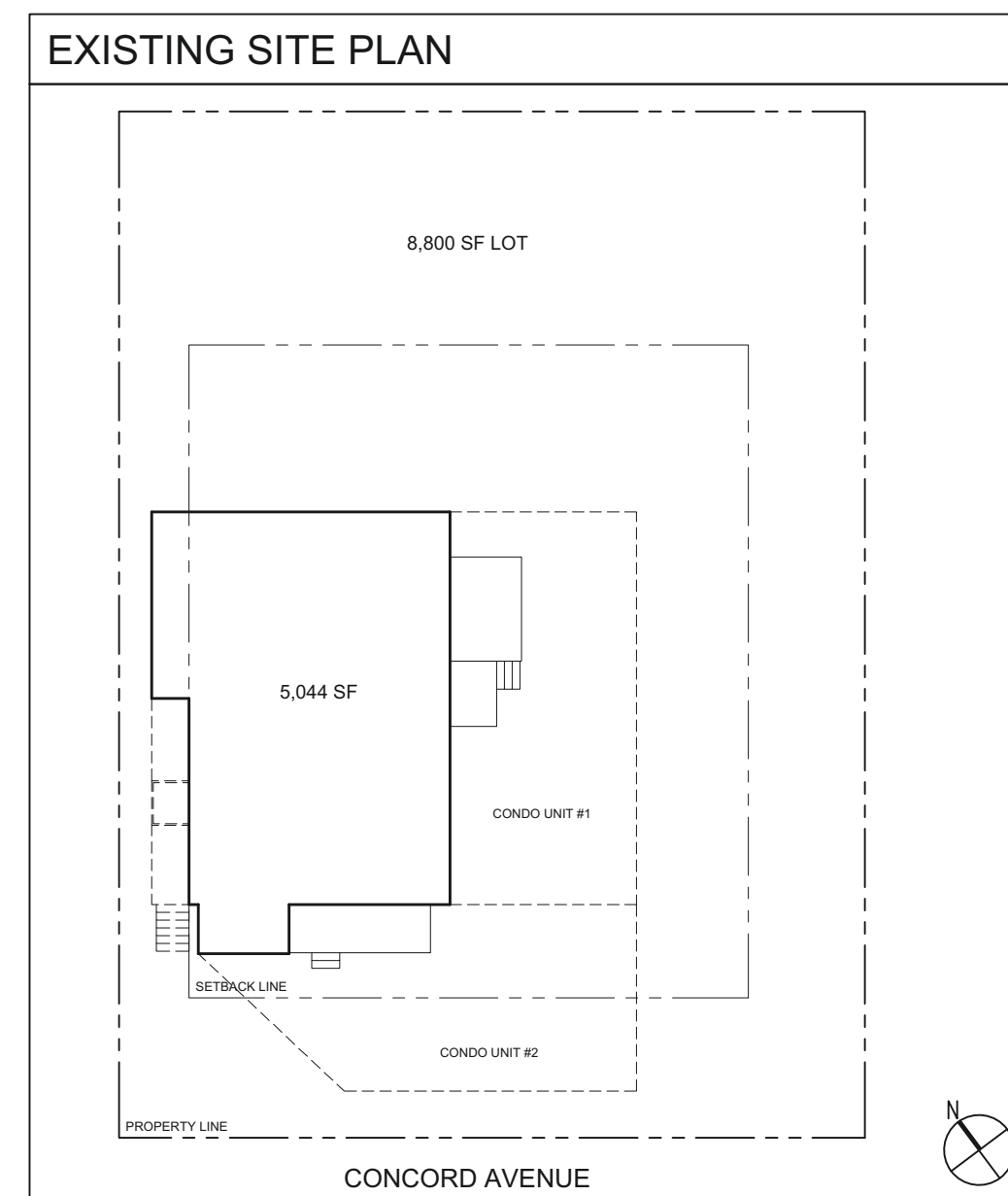
**Contractor**

### DRAWING INDEX:

COVER	
G.01	GFA /CFA CALCULATIONS, NOTES
A.01	EXISTING DEMOLITION PLANS
A.02	EXISTING DEMOLITION ELEVATIONS
A.11	CONSTRUCTION PLANS
A.21	CONSTRUCTION SECTIONS
A.31	EXTERIOR ELEVATIONS
A.32	INTERIOR ELEVATIONS
S.11	STRUCTURAL PLANS
S.51	STRUCTURAL DETAILS

### REFERENCED CODES AND GUIDANCE:

BASE CODE: 780 CMR (IBC 2015 WITH MASS AMENDMENTS)  
 RESIDENTIAL CODE: 780 CMR 51.00 (IRC 2015 WITH MASS AMENDMENTS)  
 EXISTING BUILDING CODE: 780 CMR 34.00 (IBC 2015 WITH MASS AMENDMENTS)  
 ENERGY CONSERVATION CODE: 780 CMR 22.00, APPENDIX RC (MASSACHUSETTS MUNICIPAL OPT-IN SPECIALIZED STRETCH CODE 2023, RESIDENTIAL LOW-RISE BUILDING PROVISIONS), AN AMENDED VERSION OF THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2021)  
 ENERGY CODE GUIDE: DOER 2023 TECHNICAL GUIDANCE, MASSACHUSETTS STRETCH ENERGY CODES  
 MECHANICAL CODE: 780 CMR 28.00 (IMC 2015 WITH MASS AMENDMENTS)  
 FIRE CODE: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (527 CMR 1.00), AN AMENDED VERSION OF THE 2012 NFPA 1, NATIONAL FIRE CODE  
 ELECTRICAL CODE: MASSACHUSETTS ELECTRICAL CODE (527 CMR 12.00), AN AMENDED VERSION OF THE 2020 NATIONAL ELECTRICAL CODE (NFPA 70)  
 PLUMBING CODE: MASSACHUSETTS FUEL GAS AND PLUMBING CODE (248 CMR); NFPA 54, 2012: NATIONAL FUEL GAS CODE WITH MASS AMENDMENTS



### Zoning Constraints Summary

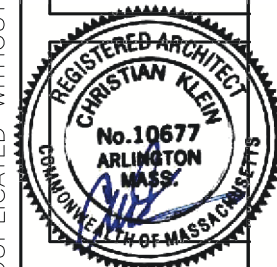
	REQUIREMENT	EXISTING	PROPOSED	CONFORMING	EXISTING NONCONFORMING	DIFFERENCE	FINDING
LOT AREA (MIN)	5,000 SF	8,800 SF	8,800 SF	X		3,800 SF	COMPLIES
LOT FRONTAGE (MIN)	50.0 FT	80.0 FT	80.0 FT	X		30.0 FT	COMPLIES
FRONT YARD SETBACK (MIN)	15.0 FT	25.0 FT	25.0 FT	X		10.0 FT	COMPLIES
RIGHT SIDE YARD SETBACK (MIN)	12.5 FT	36.8 FT	36.8 FT	X		24.3 FT	COMPLIES
LEFT SIDE YARD SETBACK (MIN)	7.5 FT	3.5 FT	3.5 FT		X	-4.0 FT	MAINTAIN
REAR YARD SETBACK (MIN)	25.0 FT	42.8 FT	42.8 FT	X		17.8 FT	COMPLIES
BUILDING HEIGHT (MAX)	35.0 FT	40.5 FT	40.5 FT		X	5.5 FT	NO CHANGE
PRIVATE OPEN SPACE (MIN)	40%	0%	0%		X	-40%	NO CHANGE
NUMBER OF DWELLING UNITS	-	5	5	X		-	SEE NOTE (1)
LOT AREA PER DWELLING UNIT (MIN)	2,500 SF	1,760 SF	1,760 SF		X	-740 SF	NO CHANGE
GROSS FLOOR AREA	-	5,044 SF	5,050 SF			6 SF	INCREASE
FLOOR AREA RATIO	0.50	0.57	0.57			-	NO CHANGE

(1) The building was constructed between 1877 and 1886, likely as a single-family dwelling. The building was divided into five (5) condominium units in 1979. An existing dwelling in the Residence B district is allowed to be converted "for more than two families" per Section 4.31(h) in the current zoning bylaw. (A special permit is required if there are 12 or more units.) It is our contention that the existing use of the property as a five (5) unit multifamily dwelling is a conforming use.

THESE PLANS ARE THE PROPERTY OF BRYAN POISSON & APPROACH ARCHITECTS INC. AND MAY NOT BE COPIED, REPRODUCED OR IN ANYWAY DUPLICATED WITHOUT WRITTEN PERMISSION OF BRYAN POISSON & APPROACH ARCHITECTS, INC.

A: 50 PINECLIFF DRIVE  
MARBLEHEAD, MA 01945  
O: 617.688.2407  
T: WWW.APPROACH3.COM

**APPROACH<sup>3</sup>**  
ARCHITECTURE & CONSULTING REAL ESTATE



41 CONCORD AVENUE CONDOMINIUM  
41 Concord Avenue  
Cambridge, MA 02138

Cover Sheet

Date: 07 JUN 24  
File No.: 2404  
Architect: CMK

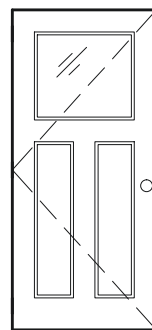
Revisions:

DOOR SCHEDULE											
NO.	LOCATION	DOOR							FRAME		REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	CONST.	FINISH	GLAZING	MATERIAL	FINISH	
10	ENTRY DOOR	A	3'-0"	6'-8"	1 3/4"	FIBERGLASS	PAINTED	CLEAR	HM	PAINTED	THERMA-TRU CCA210

DOOR HARDWARE SCHEDULE		
HARDWARE SET	FUNCTION / DOORS	COMPONENTS
Set A1	Exterior Swing Door - Door 10	(3) Butt Hinges (per Manufacturer) (1) Lever Set, Passage Function (1) Weatherstripping Kit (per Manufacturer)

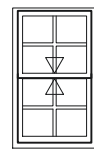
WINDOW SCHEDULE												
NO.	MODEL	FRAME					GLASS				GLAZING	
		TYPE	WIDTH	HEIGHT	THICK	CONST.	FINISH	PANES	THICKNESS	U-VALUE		SHGC
W1	PELLA (2)DH2135	DH	1'-9"	2'-11"	5"	WOOD	PRIMED	DOUBLE	1 1/16"	0.30	0.30	Adv. LowE IG, Argon

DOOR TYPES:



A

WINDOW TYPES:



W1

### GENERAL DEMOLITION NOTES

- THE PROJECT DEMOLITION SCOPE IS TO REMOVE THE EXISTING ENTRYWAY, PORCHES, STEPS, AND SUPPORTING STRUCTURES FROM THE NORTHWEST SIDE OF THE EXISTING BUILDING.
- CONTRACTOR TO MAINTAIN EXISTING NORTHWEST SIDE WALL CLADDING TO GREATEST EXTENT POSSIBLE THROUGHOUT PROJECT. CONTRACTOR TO PROTECT ACCESS TO GROUND LEVEL UNIT THROUGHOUT PROJECT.
- CONTRACTOR TO PERFORM ENVIRONMENTAL TESTING ON ANY SUSPECT MATERIALS PRIOR TO REMOVAL TO AVOID POSSIBLE EXPOSURE.
- CUT AND REMOVE EXISTING MATERIALS AS REQUIRED FOR NEW CONSTRUCTION, TAKE PRECAUTIONS AND USE PROTECTIVE DEVICES REQUIRED TO ASSURE SUPPORT OF EXISTING WORK TO REMAIN.
- REMOVE ALL ABANDONED ELECTRICAL EQUIPMENT, LIGHT FIXTURES, PIPING, WIRING, AND CONDUIT NOT REQUIRED FOR NEW CONSTRUCTION.
- RE-ROUTE ALL EXISTING PIPING AND CONDUIT TO REMAIN AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND CONDUIT ASSOCIATED WITH EXISTING WALLS AND PARTITIONS TO BE DEMOLISHED.

### GENERAL CONSTRUCTION NOTES

- CONSTRUCTION SCOPE INCLUDES NEW DECK FOR FIRST FLOOR UNIT, NEW ENTRYWAY, NEW FRONT PORCH, NEW ENTRY STEPS, AND SUPPORTING STRUCTURES.
- ALL DIMENSIONS ARE FACE OF FINISH TO FACE OF FINISH, EXCEPT WINDOWS WHICH ARE R.O. TO R.O. OR CENTER LINE, OR OTHER ITEMS AS INDICATED.
- DO NOT SCALE DRAWINGS. CONSULT WITH ARCHITECTS WHEN CONFLICTS OCCUR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR TO ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK.
- THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS AS OUTLINED IN THE SCHEDULE OF DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS.
- IN CASE OF INACCURACIES OR DISCREPANCIES, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE VISITS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR ORDERING MATERIALS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED, WITH A COPY PROVIDED TO THE ARCHITECT.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE OWNER'S CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES BY OTHERS, AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL ITEMS STORED ON SITE.
- THE CONTRACTOR TO COORDINATE WORK SCHEDULES, DELIVERIES, AND UNUSUAL SERVICE DISCONNECTS WITH OWNER.
- THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BARRIERS, DUST PROTECTION, AND OTHER FORMS OF PROTECTION FOR PORTIONS OF THE BUILDING BEYOND THE WORK AREA.
- THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE ARCHITECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS CONCERNING THE DEMOLITION AND DISPOSAL OF HAZARDOUS MATERIALS, INCLUDING LEAD, ASBESTOS, OIL, AND ALL OTHER MATERIALS DEEMED HAZARDOUS BY THE EPA.
- CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL FIXTURES, DEVICES, FIXTURES, EQUIPMENT, ETC.
- CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS, AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. NOTIFY ARCHITECT OF ANY EXISTING CONDITIONS NOT WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL, AND EQUIPMENT PRIOR TO OCCUPANCY OF FINISHED WORK.
- CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. AT END OF WORK, CONTRACTORS SHALL LEAVE THE JOB SITE IN AN ORDERLY AND NEAT FASHION CAPABLE OF BEING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR ONE YEAR AGAINST ANY DEFECTS OR DEFICIENCIES, UNLESS OTHERWISE STATED WITHIN THE CONTRACT DOCUMENTS. CONTRACTOR TO PROVIDE ALL KEYS, EQUIPMENT, OPERATING INSTRUCTIONS, RECORD DRAWINGS, ETC., TO OWNER.

### ENERGY CODE COMPLIANCE NOTES

- CAMBRIDGE HAS ADOPTED THE 2023 SPECIALIZED ENERGY CODE. PROJECT TO COMPLY WITH THE REQUIREMENTS OF THE STRETCH ENERGY CODE [225 CMR 22] AND THE REQUIREMENTS OF THE SPECIALIZED CODE [225 CMR 22, APPENDIX RC].
- PROPOSED ENTRYWAY IS TO BE OUTSIDE THE THERMAL ENVELOPE OF THE BUILDING AND IS NOT TO BE CONDITIONED SPACE.
- INTERIOR AREAS OF THE EXISTING BUILDING ARE BEYOND THE SCOPE OF THIS PROJECT. ANY CAVITY SPACES IN THE EXISTING EXTERIOR WALL EXPOSED DURING DEMOLITION OR CONSTRUCTION ARE TO BE INSULATED PER THE REQUIREMENTS OF THE ENERGY CODE.

### GENERAL FINISH NOTES

- NEW FINISHES ARE TO MATCH THE EXISTING FINISHES. ALL OTHER FINISHES TO BE DETERMINED BY THE OWNER.
- PAINTED SURFACES TO RECEIVE ONE (1) PRIME COAT AND TWO (2) FINISH COATS MINIMUM.

### GENERAL POWER NOTES

- CIRCUIT NUMBERS TO BE DETERMINED IN THE FIELD AND DOCUMENTED ON PANELBOARD SCHEDULE BY THE ELECTRICAL CONTRACTOR. INTERCONNECTING BRANCH WIRING SHALL BE SIZED EQUAL TO THE HOME RUN UNLESS NOTED OTHERWISE.
- VOLTAGE DROP SHALL BE A CONSIDERATION IN THE DESIGN OF ALL BRANCH CIRCUITRY AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND THE SHORTEST CONDUCTOR/RACEWAY ROUTING. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS TAKEN THAT WILL INCREASE CONDUCTOR/RACEWAY ROUTING LENGTHS. BRANCH CIRCUITS LONGER THAN 75' FOR 120V FROM PANEL TO LAST OUTLET SHALL BE INCREASED A MINIMUM OF ONE SIZE ABOVE THAT NORMALLY SPECIFIED TO LIMIT VOLTAGE DROP TO LESS THAN 3%. FEEDERS SHALL FOLLOW SIMILAR GUIDELINES AND BE LIMITED TO A 2% DROP.
- POWER BRANCH CIRCUITRY SHALL BE INSTALLED IN CONDUIT WHERE EXPOSED. BRANCH CIRCUITRY SHALL BE TYPE NM OR MC CABLE WHERE CONCEALED.
- DEVICE AND PLATE FINISHES TO MATCH EXISTING OR BE DETERMINED BY ARCHITECT.
- PROVIDE GFCI PROTECTED DEVICES WHERE REQUIRED BY THE ELECTRICAL CODE.

### GENERAL CEILING / LIGHTING NOTES

- ENTRYWAY CEILING TO BE BEADBOARD. PAINT CEILINGS FLAT WHITE.
- INDICATED LIGHT FIXTURE LOCATIONS ARE TO BE MAINTAINED AS CLOSE AS PRACTICAL. CONTRACTOR TO PROVIDE LIGHTING CONTROLS COMPATIBLE WITH LOCAL ENERGY CODE. EACH ROOM TO BE SWITCHED INDEPENDENTLY. COORDINATE SWITCH LOCATIONS WITH ELECTRICAL SUBCONTRACTOR, OWNER, AND ARCHITECT BY PROVIDING SCHEMATIC PLAN FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF ANY SWITCHES.
- CIRCUIT NUMBERS TO BE DETERMINED IN THE FIELD AND DOCUMENTED ON AS-BUILT DOCUMENTATION BY THE ELECTRICAL CONTRACTOR. INTERCONNECTING BRANCH WIRING SHALL BE SIZED EQUAL TO THE HOME RUN UNLESS NOTED OTHERWISE.
- VOLTAGE DROP SHALL BE A CONSIDERATION IN THE DESIGN OF ALL BRANCH CIRCUITRY AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND THE SHORTEST CONDUCTOR/RACEWAY ROUTING. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS TAKEN THAT WILL INCREASE CONDUCTOR/RACEWAY ROUTING LENGTHS. BRANCH CIRCUITS LONGER THAN 75' FOR 120V FROM PANEL TO LAST FIXTURE SHALL BE INCREASED A MINIMUM OF ONE SIZE ABOVE THAT NORMALLY SPECIFIED TO LIMIT VOLTAGE DROP TO LESS THAN 3%.
- LIGHTING BRANCH CIRCUITRY SHALL BE INSTALLED IN CONDUIT WHERE EXPOSED. LIGHTING BRANCH CIRCUITRY MAY BE TYPE NM OR MC CABLE WHERE CONCEALED.
- PROVIDE COMMON FACE PLATE FOR ALL MULTIPLE GANG SWITCH LOCATIONS.
- DEVICE AND PLATE FINISHES TO MATCH EXISTING OR BE DETERMINED BY ARCHITECT.
- INDICATED FIXTURES TO BE DIMMING AND CONNECTED TO DIMMING SWITCHES. COORDINATE FIXTURE SWITCHING IN FIELD WITH ARCHITECT.

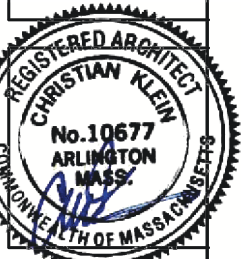
### GENERAL EXTERIOR STAIR NOTES

- EXTERIOR STAIRS, GUARDRAILS, AND HANDRAILS TO COMPLY WITH THE REQUIREMENTS OF SECTION 1027 EXTERIOR EXIT STAIRWAYS IN THE BUILDING CODE AND SECTION 27 STAIRS IN THE ACCESSIBILITY CODE.
- STAIR RISER HEIGHTS SHALL BE BETWEEN 4" AND 7". TREAD DEPTH SHALL BE BETWEEN 11" AND 12". RISER HEIGHTS AND TREAD DEPTHS SHALL BE UNIFORM THROUGHOUT EACH FLIGHT OF STAIRS. COORDINATE DIMENSIONS IN THE FIELD WITH EXISTING CONDITIONS.

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41 Concord Avenue  
Cambridge, MA 02138

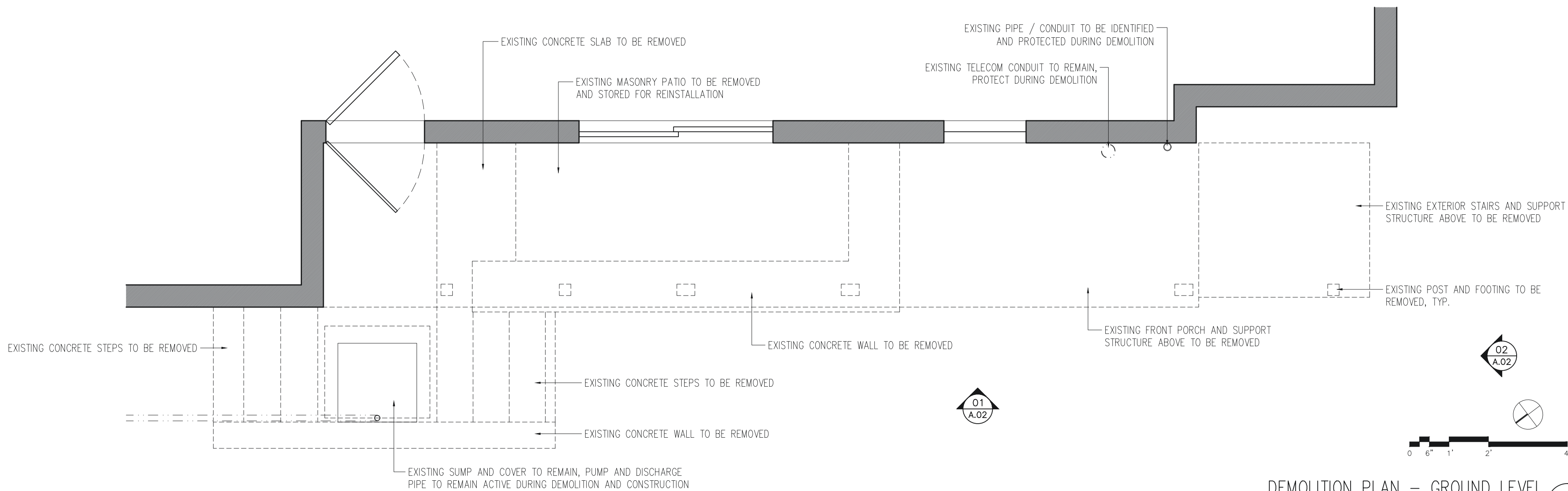
Client:

Schedules and Notes

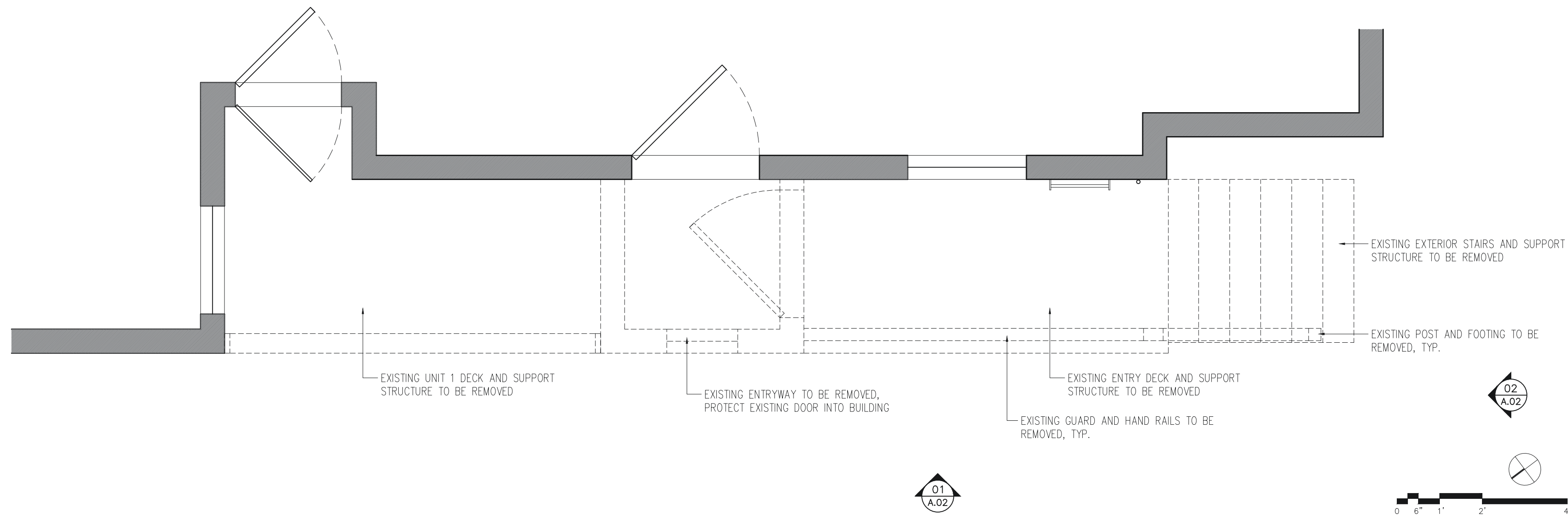
Date: 07 JUN 24  
File No: 2404  
Architect: CMK

Revisions:

G.01



DEMOLITION PLAN – GROUND LEVEL (02)  
 1/2" = 1'-0"

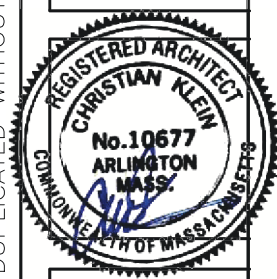


DEMOLITION PLAN – FIRST FLOOR LEVEL (02)  
 1/2" = 1'-0"

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 41 Concord Avenue  
 Cambridge, MA 02138

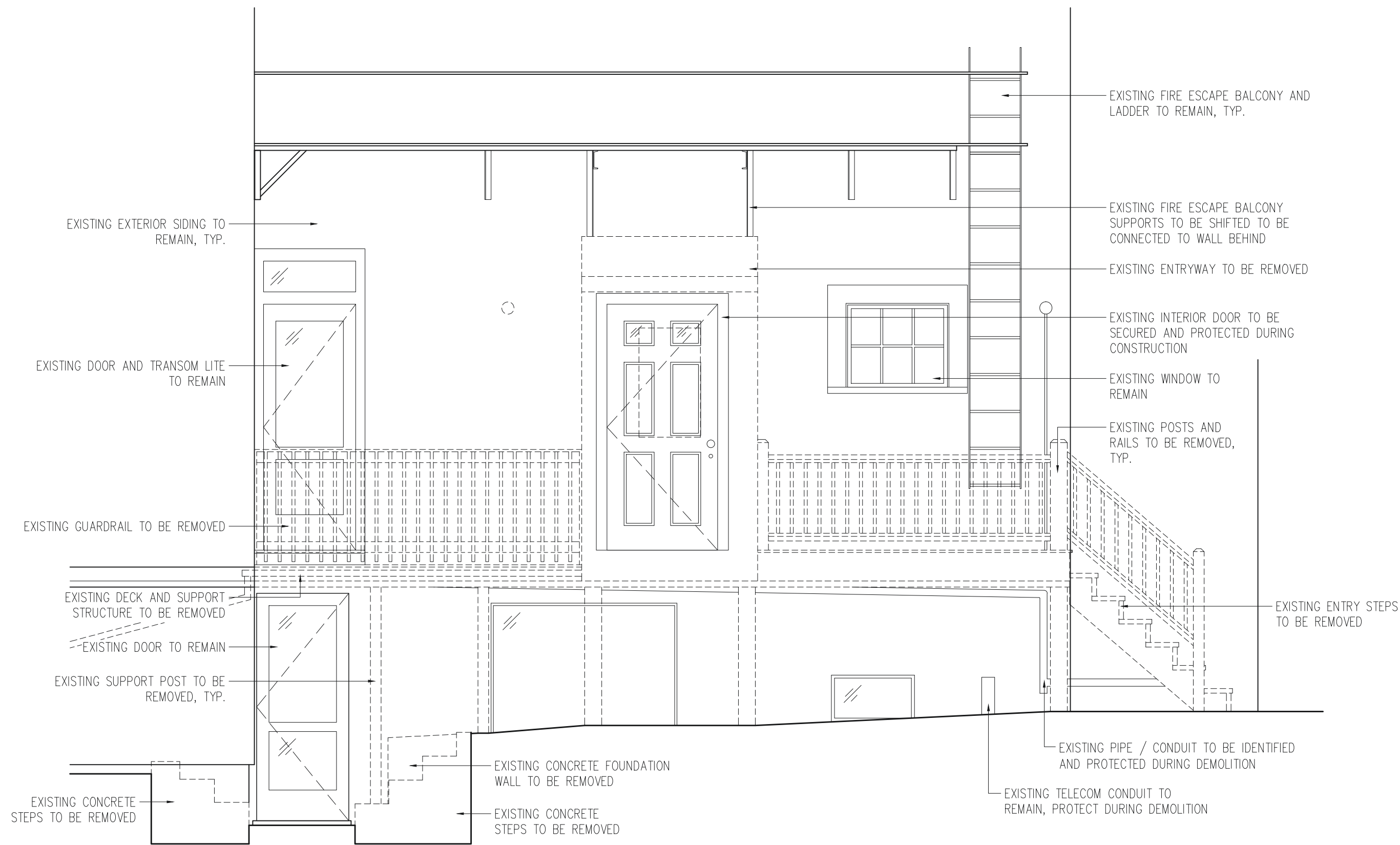
Drawing:  
**Demolition Basement and First Floor Plans**

Date: 07 JUN 24  
 File No. 2404  
 Architect: CMK

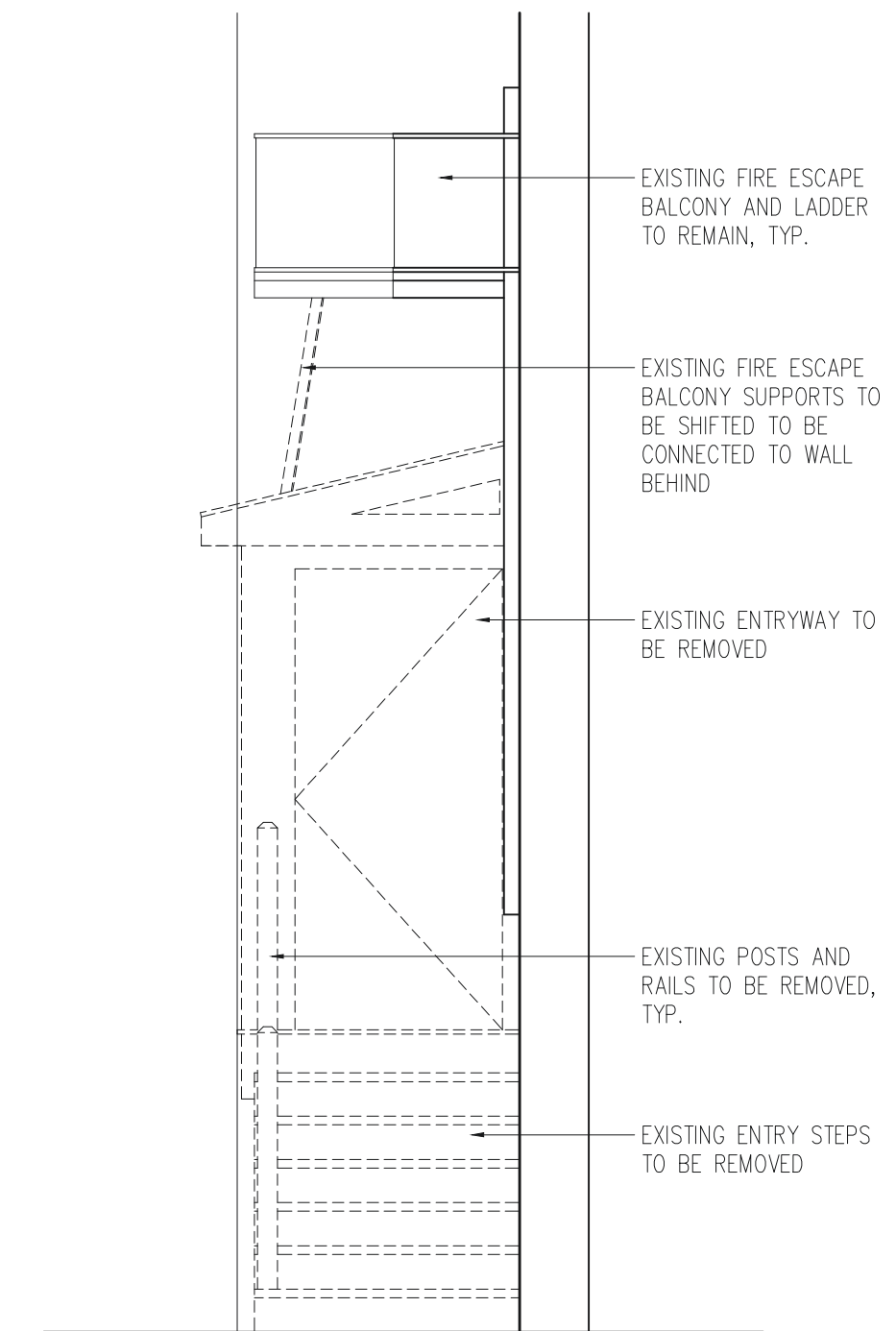
Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_

**A.01**



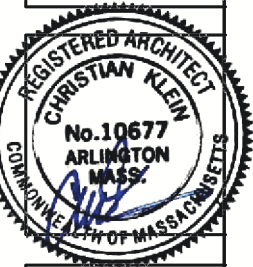


DEMOLITION SECTION / ELEVATION - LEFT SIDE  
 3/8" = 1'-0" 02



DEMOLITION ELEVATION - FRONT  
 3/8" = 1'-0" 01

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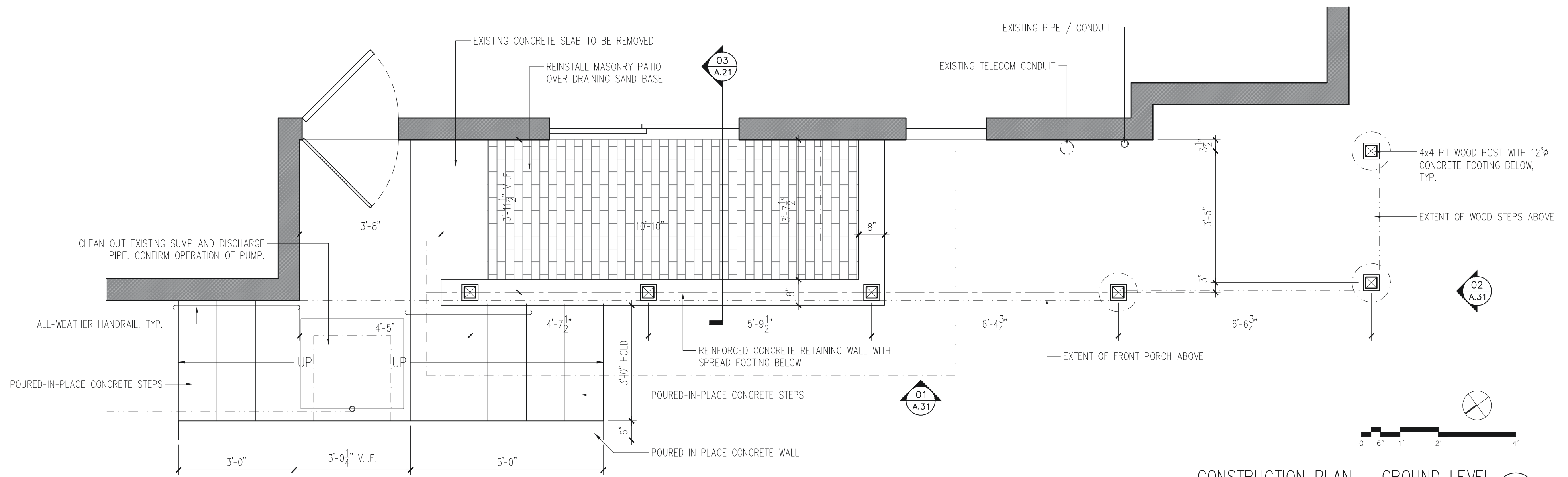
Client:  
**41 CONCORD AVENUE CONDOMINIUM**  
 41 Concord Avenue  
 Cambridge, MA 02138

Drawing:  
**Demolition**  
**Exterior Elevations**

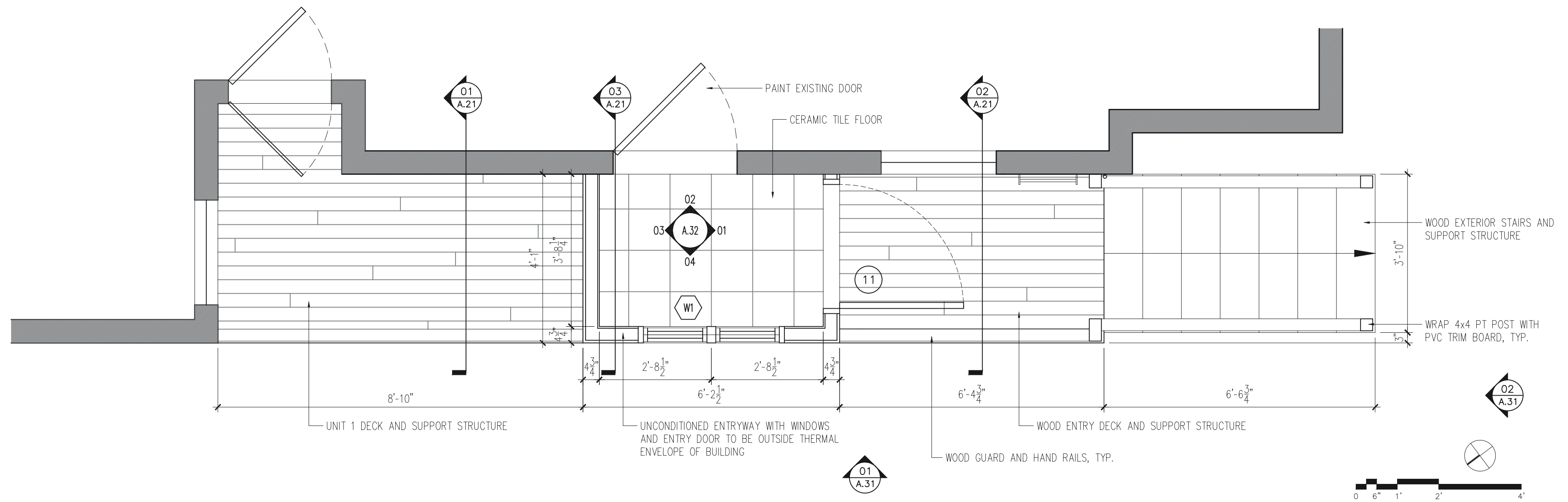
Date: 07 JUN 24  
 File No. 2404  
 Architect: CMK

Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_

**A.02**



CONSTRUCTION PLAN - GROUND LEVEL (02)  
 1/2" = 1'-0"



CONSTRUCTION PLAN - FIRST FLOOR LEVEL (02)  
 1/2" = 1'-0"

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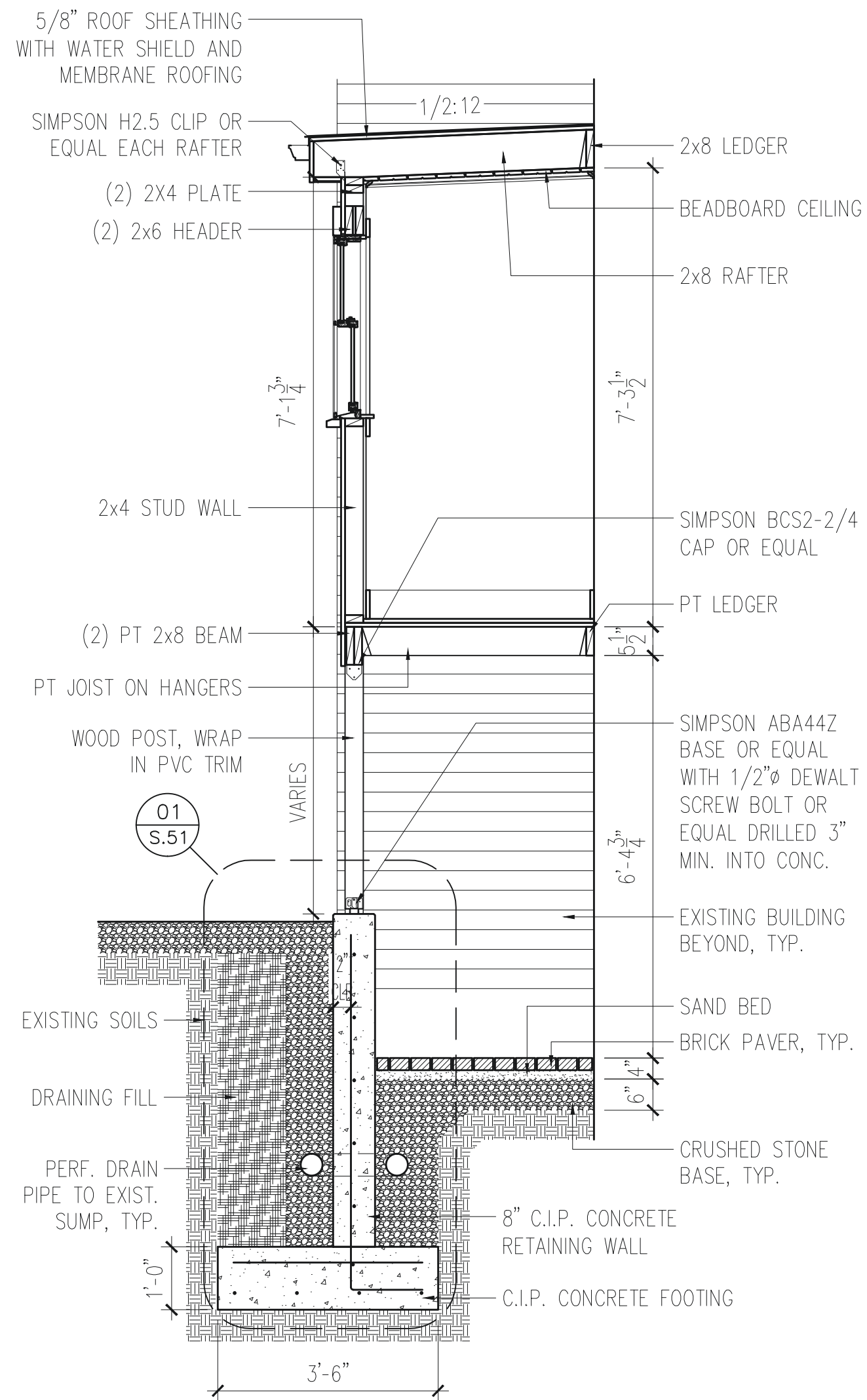
REGISTERED ARCHITECT  
 CHRISTIAN KLEN  
 No. 10677  
 ARLINGTON MASS  
 STATE OF MASSACHUSETTS

Client:  
 41 CONCORD AVENUE CONDOMINIUM  
 41 Concord Avenue  
 Cambridge, MA 02138

Drawing:  
 Construction Basement and  
 First Floor Plans

Date: 07 JUN 24  
 File No. 2404  
 Architect: CMK  
 Revisions:

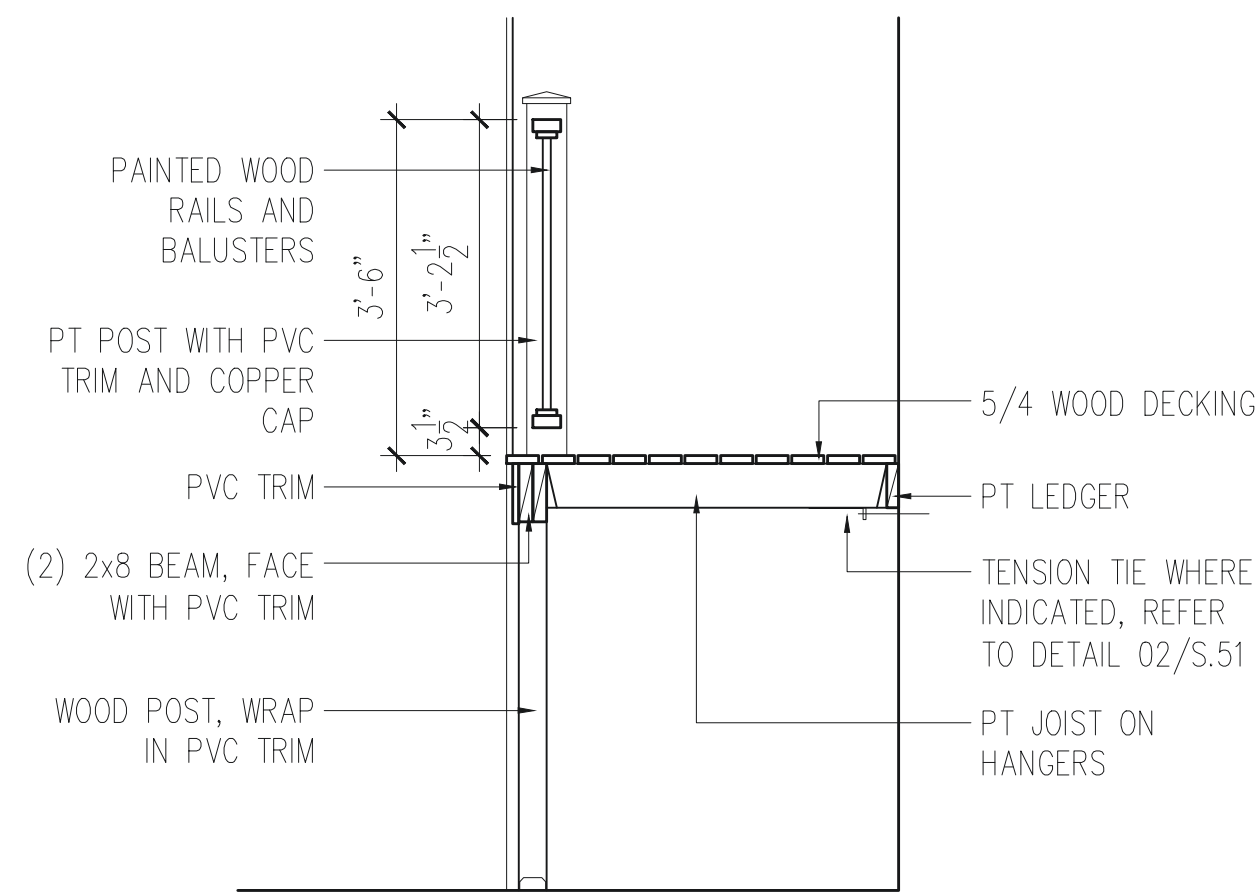
A.11



SECTION @ ENTRYWAY

1/2" = 1'-0"

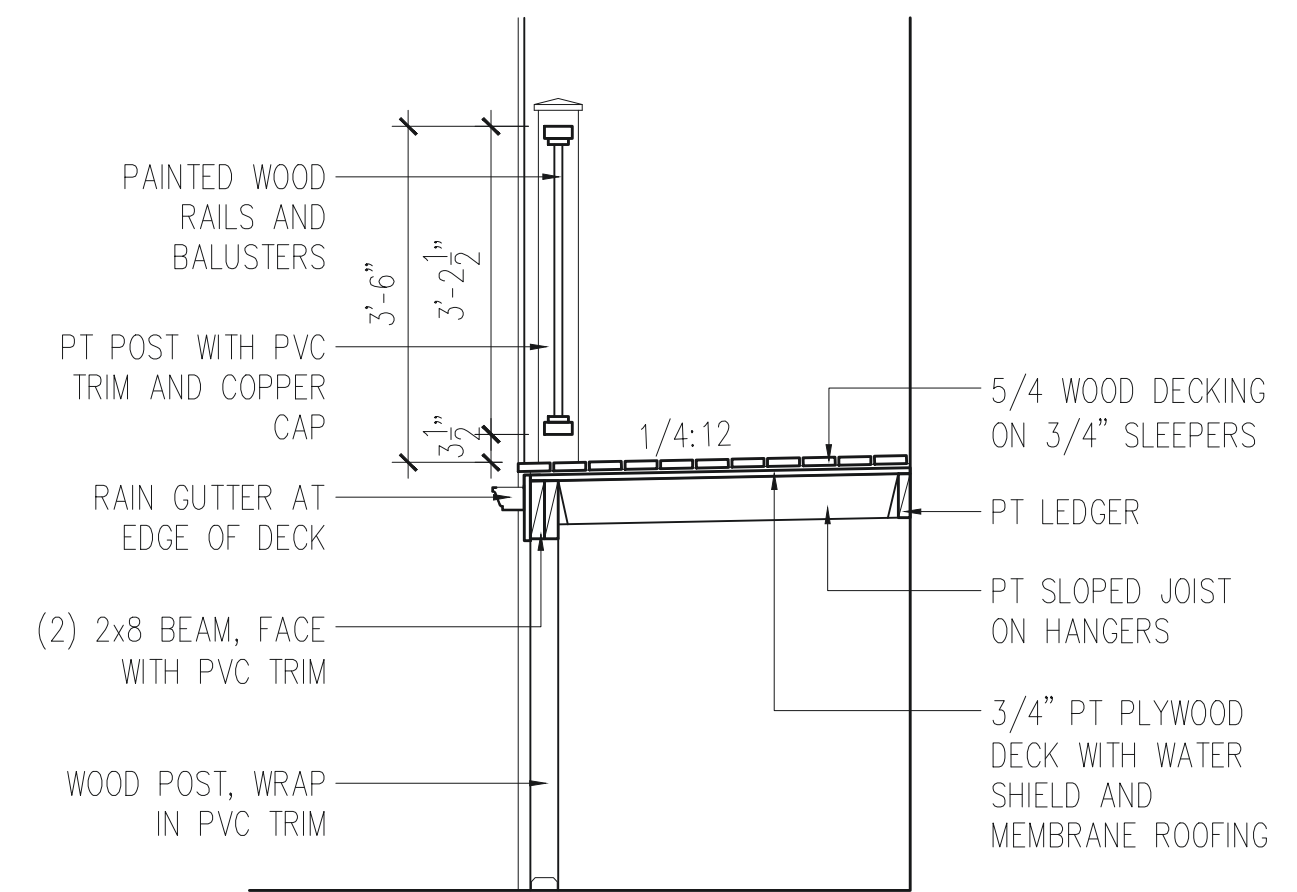
03



SECTION @ ENTRY DECK

1/2" = 1'-0"

02



SECTION @ UNIT 1 DECK

1/2" = 1'-0"

01

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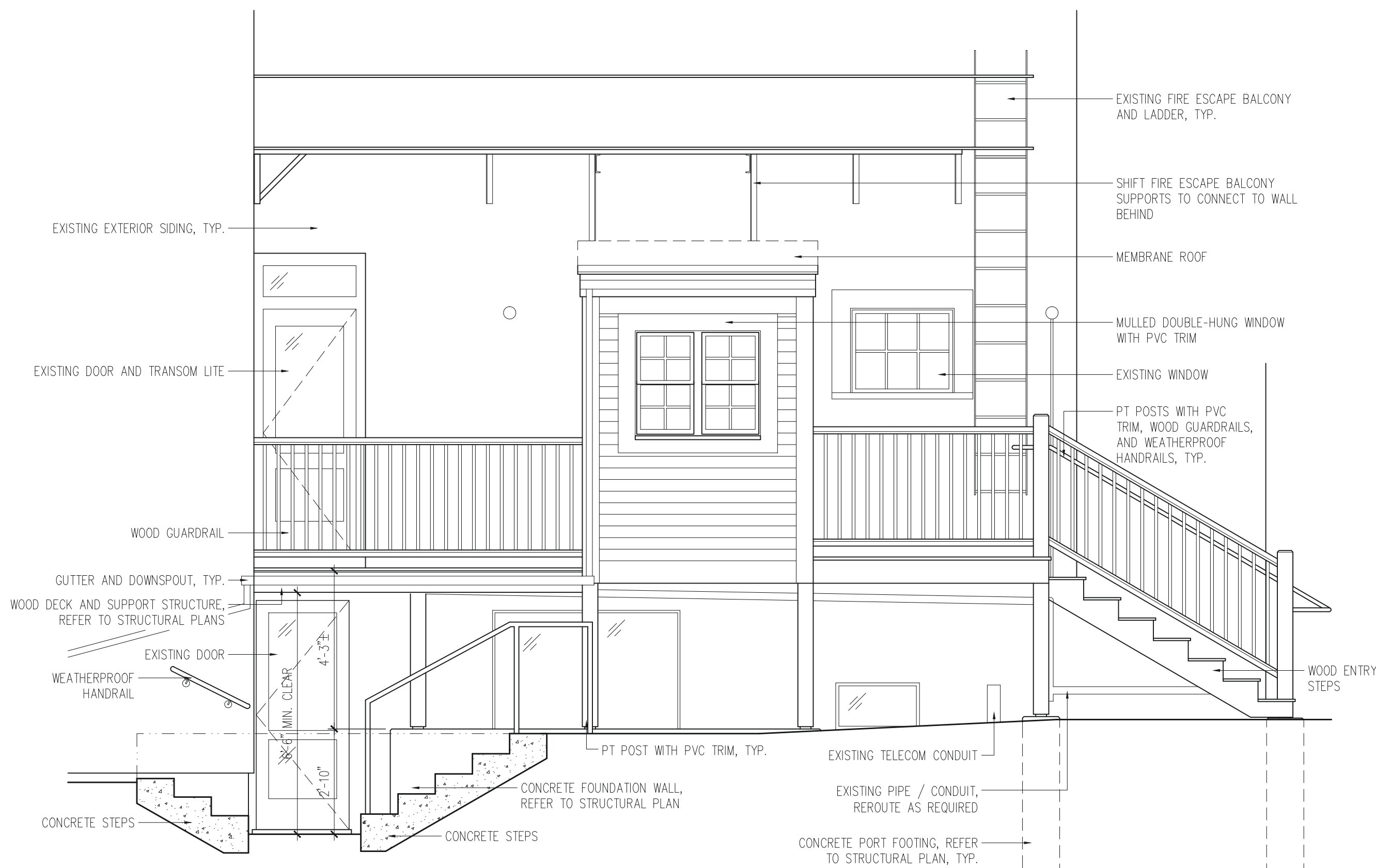
41 CONCORD AVENUE CONDOMINIUM  
41 Concord Avenue  
Cambridge, MA 02138

Construction Sections

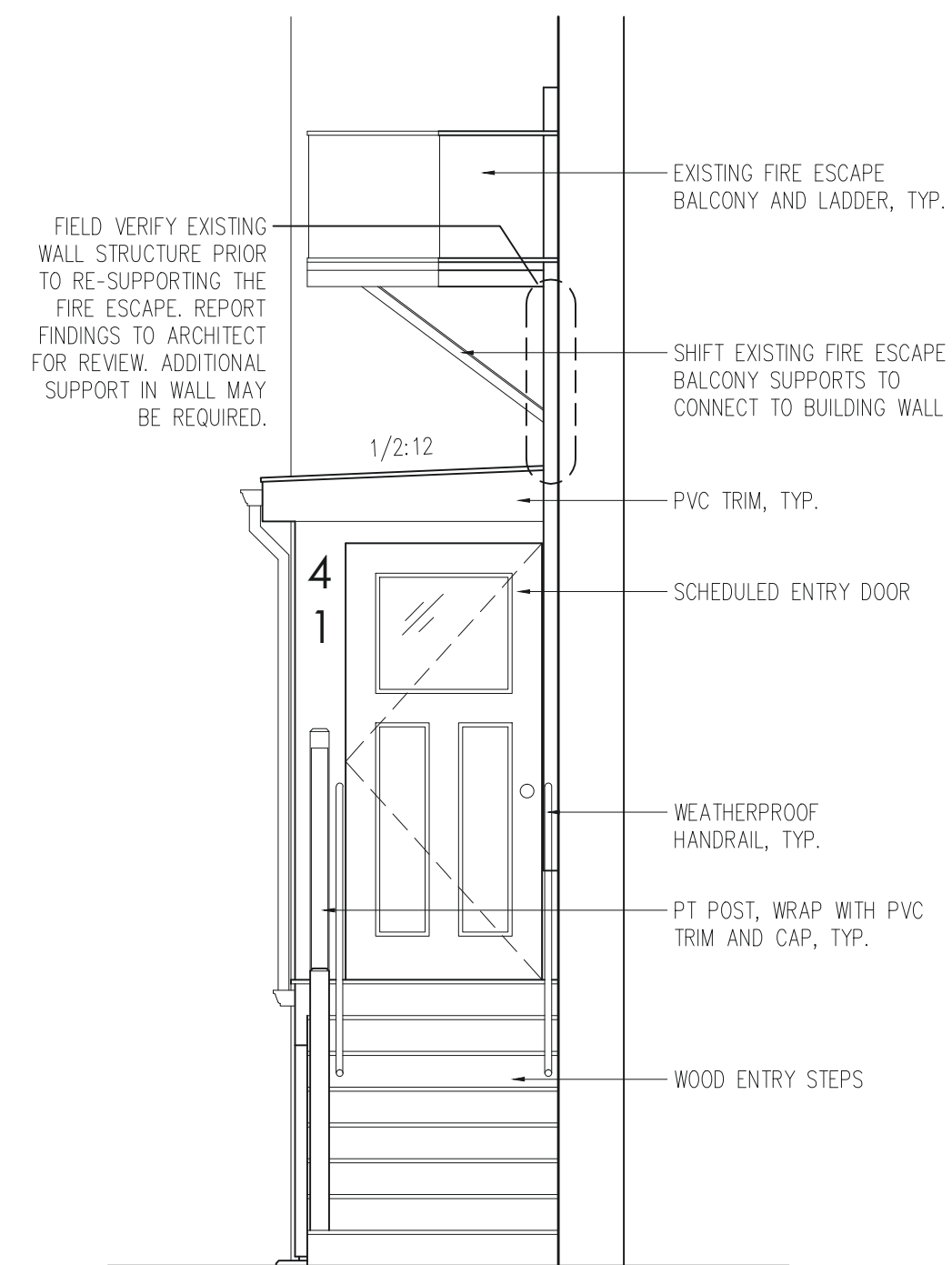
Date: 07 JUN 24  
File No. 2404  
Architect: CMK

Revisions:

A.21

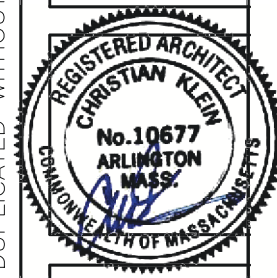


CONSTRUCTION SECTION / ELEVATION - LEFT SIDE  
 3/8" = 1'-0" (02)



CONSTRUCTION ELEVATION - FRONT  
 3/8" = 1'-0" (01)

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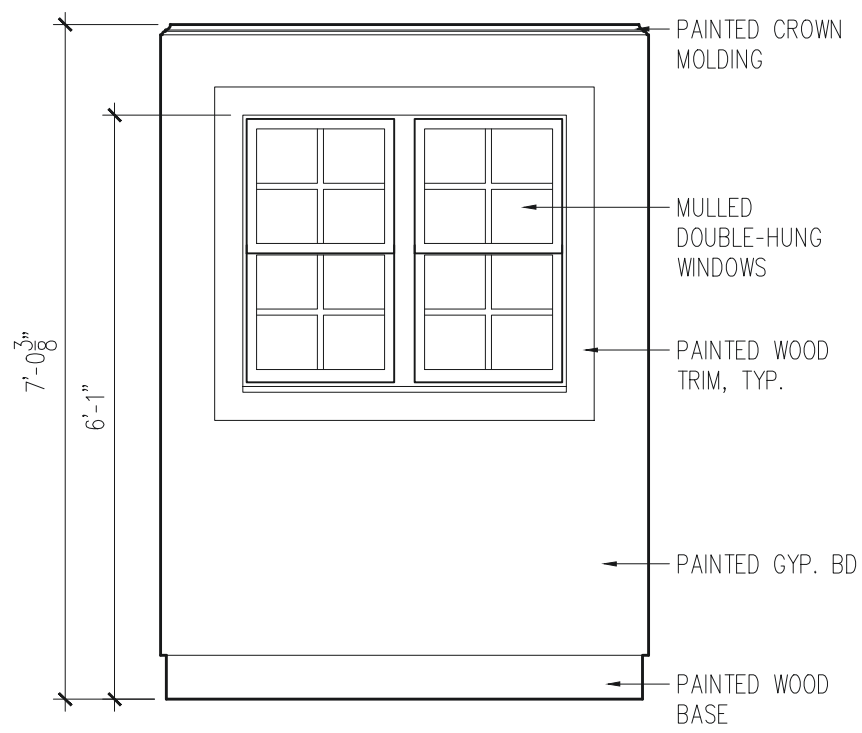
41 CONCORD AVENUE CONDOMINIUM  
 41 Concord Avenue  
 Cambridge, MA 02138

Construction  
 Exterior Elevations

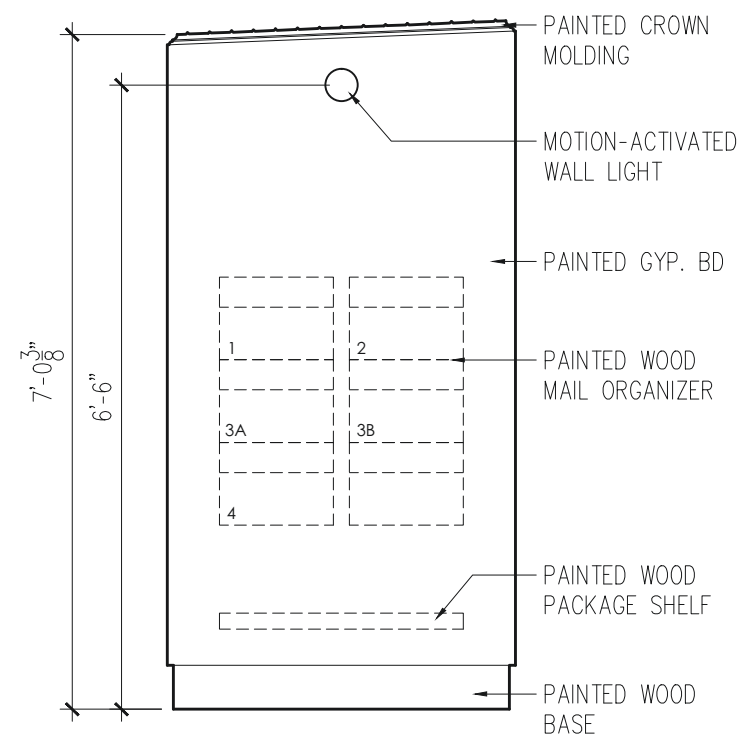
Date: 07 JUN 24  
 File No. 2404  
 Architect: CMK

A.31

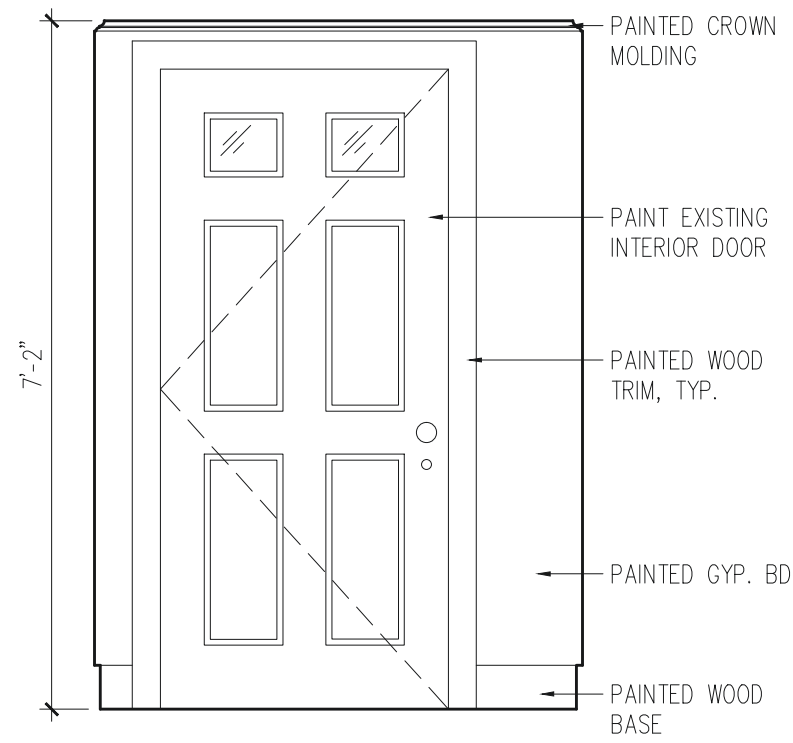
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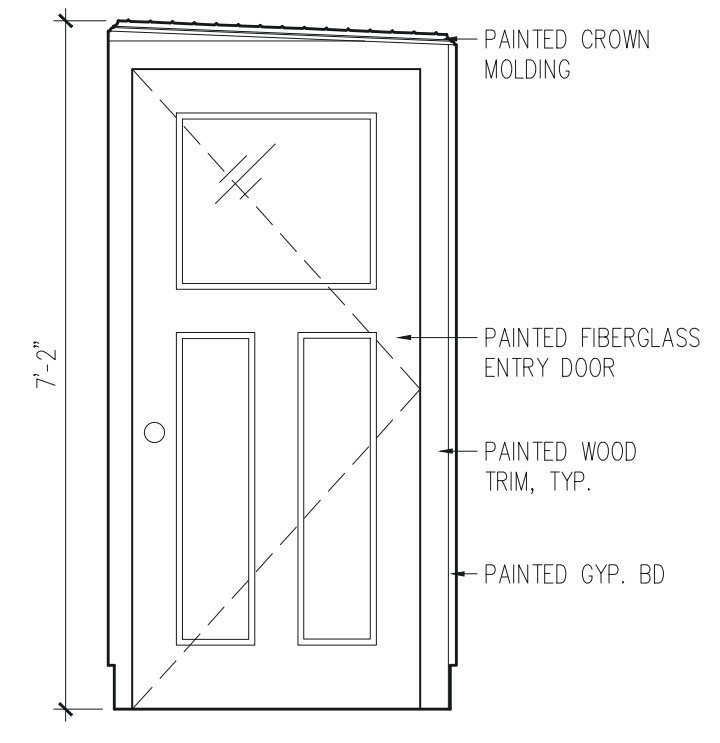
WEST ELEVATION  
1/2" = 1'-0" 04



NORTH ELEVATION  
1/2" = 1'-0" 03



EAST ELEVATION  
1/2" = 1'-0" 02



SOUTH ELEVATION  
1/2" = 1'-0" 01

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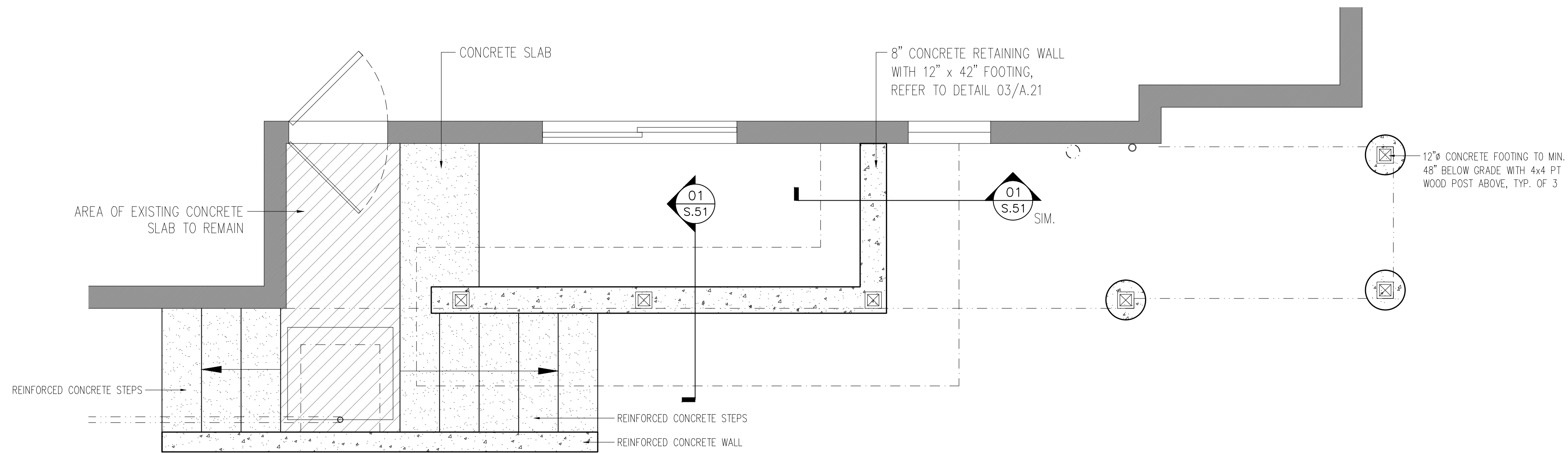
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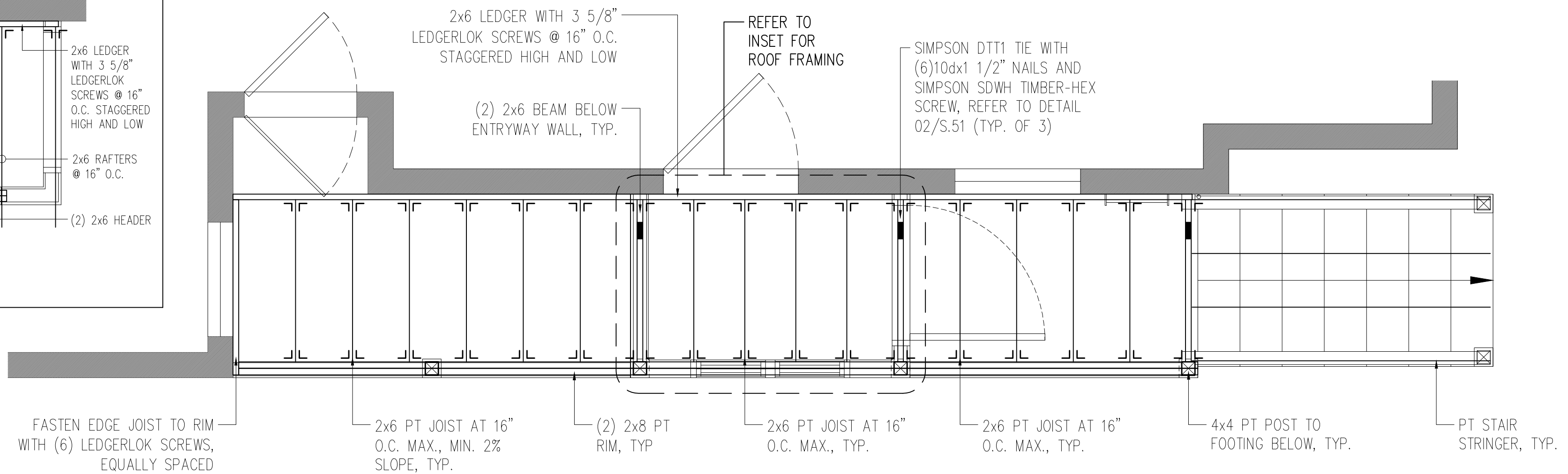
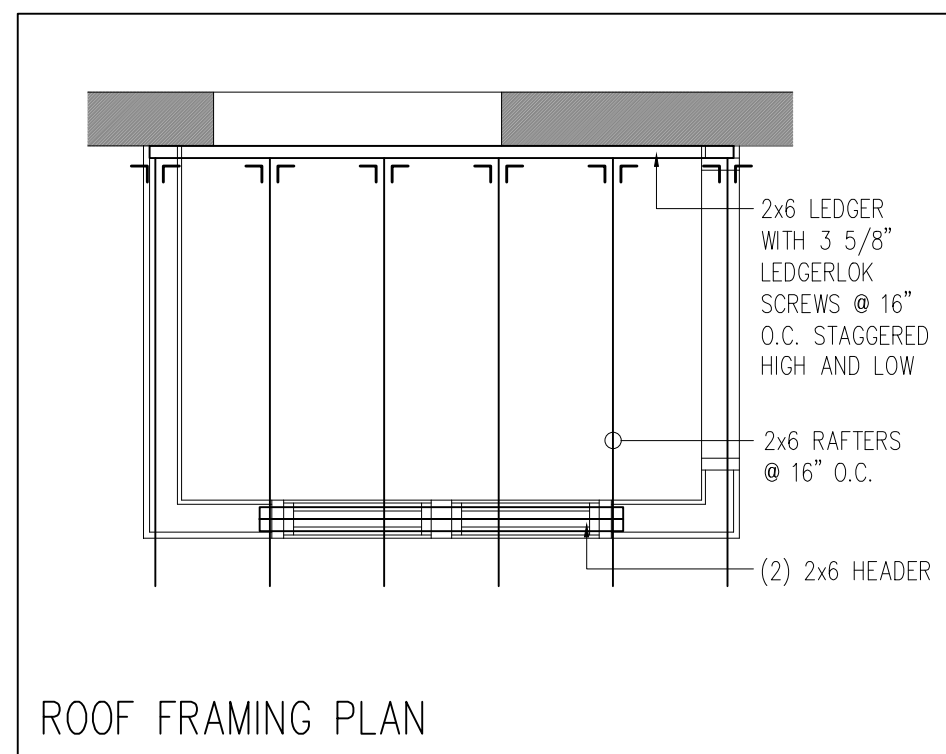
41 CONCORD AVENUE CONDOMINIUM  
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Cambridge, MA 02138

Client:  
Construction  
Interior Elevations

Date: 07 JUN 24  
File No. 2404  
Architect: CMK



STRUCTURAL PLAN - GROUND LEVEL 02  
 1/2" = 1'-0"



STRUCTURAL PLAN - FIRST FLOOR LEVEL 02  
 1/2" = 1'-0"

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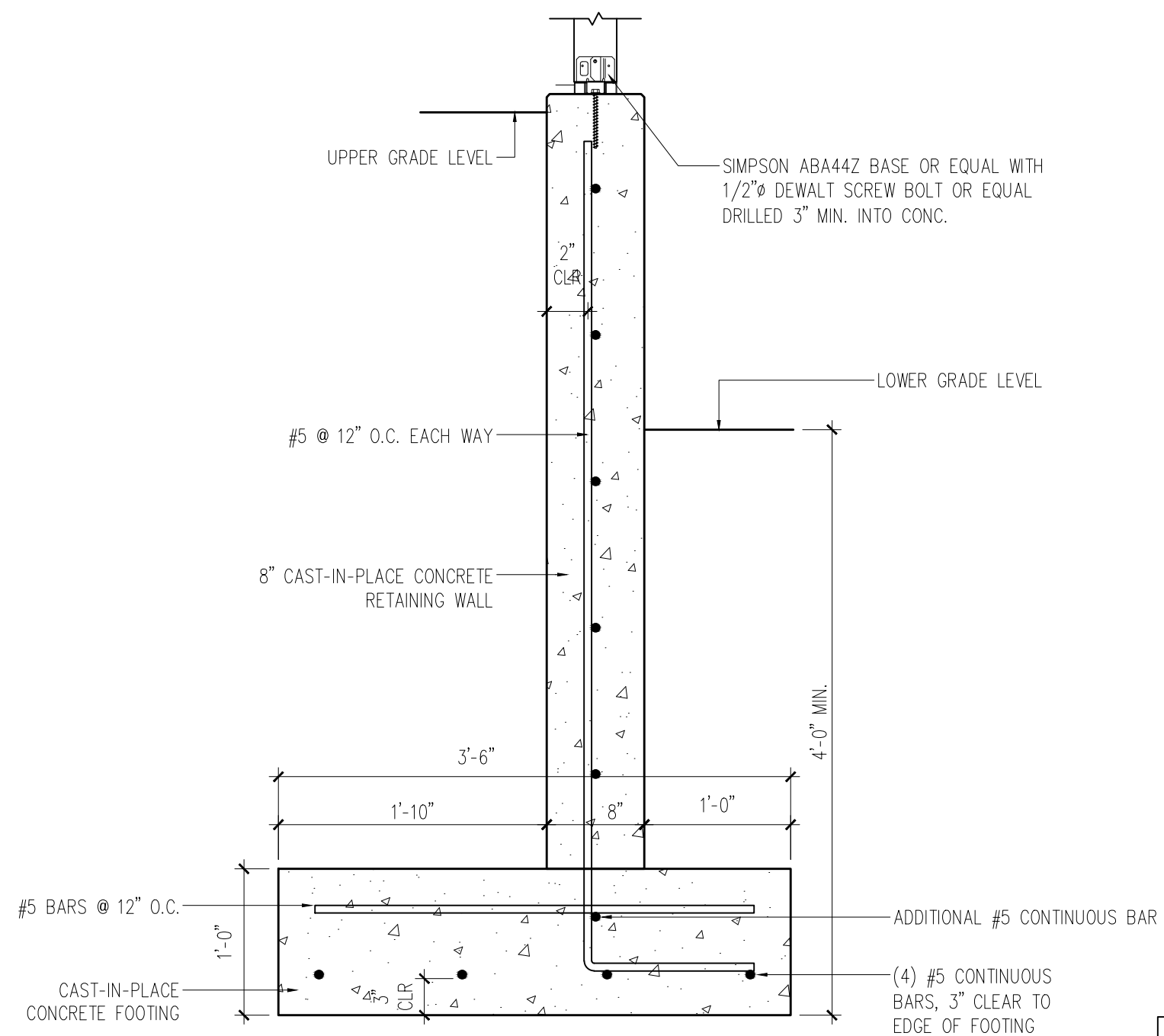
Client:  
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 41 Concord Avenue  
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Drawing:  
**Structural Basement and First Floor Plans**

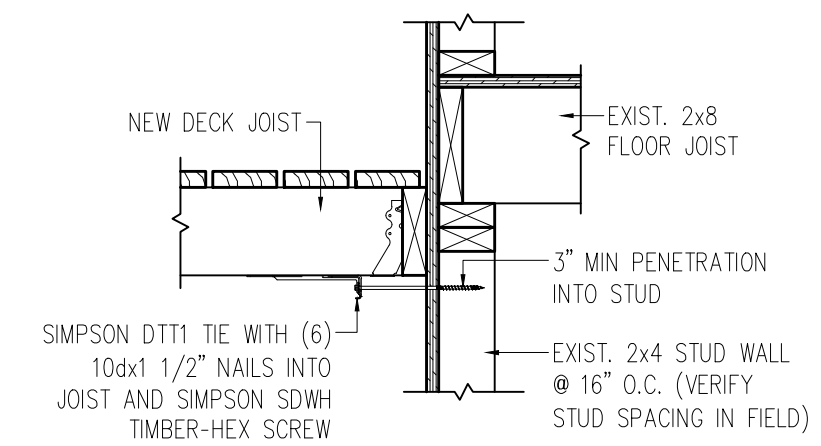
Date: 07 JUN 24  
 File No. 2404  
 Architect: CMK

Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_

**S.11**



DETAIL @ RETAINING WALL (01)  
1" = 1'-0"



DETAIL @ TENSION TIE (02)  
1" = 1'-0"

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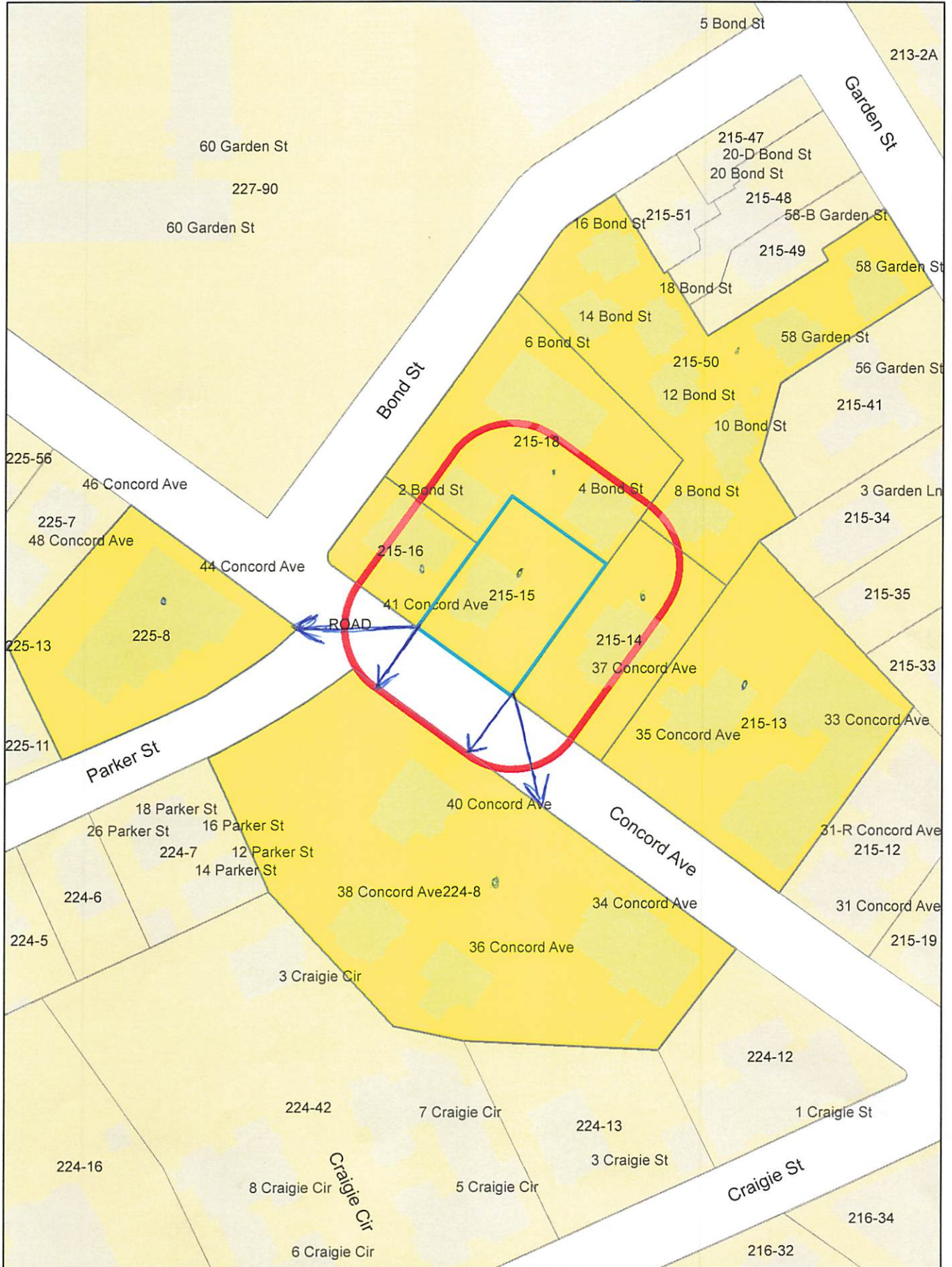
Client:  
**41 CONCORD AVENUE CONDOMINIUM**  
41 Concord Avenue  
Cambridge, MA 02138

Drawing:  
**Structural Details**

Date: 07 JUN 24  
File No: 2404  
Architect: CMK  
Revisions:

**S.51**

41 Concord Ave





41 Concord Ave

Petitioner

215-15  
SCHWEITZER, ANDREW  
41 CONCORD AVE UNIT 2  
CAMBRIDGE, MA 02138

215-15  
WHITNEY, RICHARD M. JR. &  
DEBORAH O. WHITNEY  
41 CONCORD AVE UNIT 3A  
CAMBRIDGE, MA 02139

APPROACH 3 ARCHITECTS  
C/O CHRISTIAN KLEIN  
54 NEWPORT ST  
ARLINGTON, MA 02476

215-16  
FOSSEL, ERIC T. & CELESTE E. FOSSEL  
2 BOND ST  
CAMBRIDGE, MA 02138

215-50  
HANSEN, THEODORE L. &  
SALLY HOWES HANSEN  
14 BOND ST UNIT I  
CAMBRIDGE, MA 02138

41 CONCORD AVE CONDOMINIUM  
C/O CHARLESGATE PROPERTY MANAGEMENT  
867 BOYLSTON STREET - 3<sup>RD</sup> FLOOR  
BOSTON, MA 02116

215-50  
MCCLENNEN, PERSIS  
16 BOND ST UNIT M  
CAMBRIDGE, MA 02139

225-8  
PARATORE, JOSEPH D. &  
CORDULA PARATORE TRUSTEES  
142 CHILTON ST  
BELMONT, MA 02178

225-8  
ALSTER, NORMAN & KRISTINE ALSTER  
29 GURNEY ST  
CAMBRIDGE, MA 02138

225-8  
POPPER, CHARLES  
44 CONCORD AVE UNIT 206  
CAMBRIDGE, MA 02138

225-8  
COLEMAN, K. ANN  
44 CONCORD AVE UNIT 306  
CAMBRIDGE, MA 02138

225-8  
MORGAN, DAVID GLYN &  
MARGARITA ESTEVEZ  
136 GONESEE ST. APT 501  
SYRACUSE, NY 13202

224-8  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O HARVARD REAL ESTATE, INC.  
HOLYOKE CENTER, ROOM 1000  
1350 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02138-3895

215-13-14  
MOORE, HARRISON L.,  
TR. OF MOORE REAL ESTATE TRUST  
33 CONCORD AVE UNIT 15  
CAMBRIDGE, MA 02138

215-15  
BASU, SUMAN S. & BIJAY BASU  
41 CONCORD AVE UNIT 3B  
CAMBRIDGE, MA 02138

225-8  
FREITAS, TIMOTHY  
44 CONCORD AVE UNIT 403  
CAMBRIDGE, MA 02138

225-8  
CHEN, BO & XINTAO WEI  
44 CONCORD AVE. UNIT#102  
CAMBRIDGE, MA 02138

225-8  
JOSEPH, ELAINE M.  
44 CONCORD AVE UNIT 105  
CAMBRIDGE, MA 02138

225-8  
POLLALIS, SPIRO  
44 CONCORD AVE UNIT 106  
CAMBRIDGE, MA 02138

225-8  
FURLONG, INGRID B.  
THE JULIE ATWOOD DRAKE 1999 TRUST  
1405 VEGAS VERDES UNIT 215  
SANTA FE, NM 87507

215-18  
KELLER, ZOE H. TRAVIS A. KELLER, TRS  
4 BOND ST  
CAMBRIDGE, MA 02138

225-8  
DAVIES, MARK I. & MONIQUE V. DAVIES  
44 CONCORD AVE. UNIT 401  
CAMBRIDGE, MA 02138

225-8  
COXE PROPERTIES, LLC  
9662 MCCLANAHAN RD.  
GREENCASTLE, PA 17225

215-50  
HINARD, JOSEPHINE M.  
12 BOND STREET  
CAMBRIDGE, MA 02138

215-50  
QUINN, THOMAS M.  
10 BOND STREET, UNIT K  
CAMBRIDGE, MA 02138

215-50  
PORCIELLO, VALERIE J., &  
JENNIFER A. MUSUMANO  
18 BOND ST  
CAMBRIDGE, MA 02138-2308

225-8  
UMANZIO, CLAIRE-FRANCES  
159 CONCORD AVE UNIT 2C  
CAMBRIDGE, MA 02138

225-8  
RABINOWITZ, STANLEY J.  
44 CONCORD AVE UNIT 202  
CAMBRIDGE, MA 02138

225-8  
ALBA DEL RIO, BEATRIZ  
44 CONCORD AVE UNIT 205  
CAMBRIDGE, MA 02138

215-18  
SUSSMAN, LEONARD M.,  
TR. THE LEONARD M. SUSSMAN LIV TRUST  
4-6 BOND ST UNIT 6/2  
CAMBRIDGE, MA 02138

41 Concord Ave

225-8  
PIANA, FRANCESCA,  
TRS THE FRANCESCA PIANA TRT  
7 RIVERWOODS DR C-104  
EXETER, NH 03833

215-15  
CHA RAD PROPERTIES LLC  
362 GREEN ST  
CAMBRIDGE, MA 02139

225-8  
JUNGHAHN LISA & LARA KHOURI  
TRS L & L FAMILY TRUST  
1253 11TH ST - UNIT 3  
SANTA MONICA, CA 90401

225-8  
SINGH SWETA  
398 N AVE  
WESTON, MA 02493

215-50  
HARMAN WENDY J  
58 GARDEN ST - UNIT H1  
CAMBRIDGE, MA 02138

225-8  
RAMIREZ, VLADIMIR  
44 CONCORD AVE UNIT 100  
CAMBRIDGE, MA 02138

215-50  
GLOVER ANN  
C/O ANNE GLOVER  
58 GARDEN ST UNIT F  
CAMBRIDGE, MA 02138

225-8  
CHUANG DANIEL B & KATHY CHUANG  
611 GREEN ST - UNIT T611  
CAMBRIDGE, MA 02138

225-8  
SAIA, ANTHONY J. & KATHLEEN V S. SAIA  
44 CONCORD AVE - UNIT 101  
CAMBRIDGE, MA 02138

215-15  
STERN & BENDER LLC  
86 GREENLAWN AVE  
NEWTON, MA 02459

225-8  
SULLO, RICHARD A & ALICE K. SULLO TRS  
44 CONCORD AVE - UNIT 302  
CAMBRIDGE, MA 02138

215-18  
SHIATIS, KATHERINE  
6 BOND ST - UNIT 1  
CAMBRIDGE, MA 02138

225-8  
JIANG, BO  
44 CONCORD AVE - UNIT 304  
CAMBRIDGE, MA 02138

215-50  
GLOVER, ANNE M.  
35 ADDISON AVE  
LONDON, UK, W11 4QS

225-8  
GARFIELD, JAMES E. & PAMELA J. GARFIELD  
44 CONCORD AVE - UNIT 103  
CAMBRIDGE, MA 02138

215-50  
TRAVERS, NICHOLAS  
TRS OF THE JEFFREY R. TRAVERS TR  
8 BOND ST - UNIT L  
CAMBRIDGE, MA 02138

215-50  
TOSATTI, VALENTINO & QIUYU WANG  
58 GARDEN STREET UNIT H2  
CAMBRIDGE, MA 02138