

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 272231

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: X

Appeal:

PETITIONER: 42 tierney st llc C/O Gerald mccarthy

PETITIONER'S ADDRESS: 7 nebo , Medfield , Ma 02052

LOCATION OF PROPERTY: 41 Tierney St , Cambridge, MA

TYPE OF OCCUPANCY: 1 family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

DESCRIPTION OF PETITIONER'S PROPOSAL:

Rebuild front staircase to add height needed to enter front doorway. Staircase is within the front yard setback

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.2.d (Non-Conforming Structure).
Article: 10.000	Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

Gerry McCarthy

(Print Name)

Address:

11 Nebo st Medfield Ma

Tel. No.

6176201863

E-Mail Address:

Gmccarthy139@gmail.com

Date:

6/14/2024

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

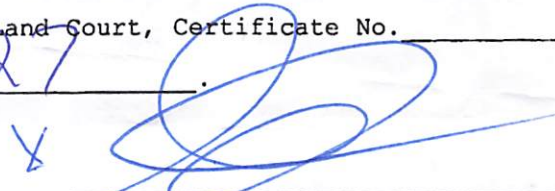
I/We GERALD J MCCARTHY ^{Manager 41 Tierney Arct LLC} (OWNER)

Address: 11 WEBB ST MEDFIELD, MA

State that I/We own the property located at 41 TIERNEY, which is the subject of this zoning application.

The record title of this property is in the name of 41 TIERNEY LLC

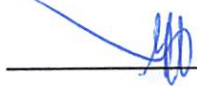
*Pursuant to a deed of duly recorded in the date 9/1/2023, Middlesex South County Registry of Deeds at Book 81961, Page 227; or Middlesex Registry District of Land Court, Certificate No. 81961 Page 227.


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-named Gerald J. McCarthy personally appeared before me, this 23rd of May, 2024, and made oath that the above statement is true.

 Notary

My commission expires 1/20/2028 (Notary Seal).

Glen F Sutherland
Notary Public
Commonwealth of Massachusetts
Commission Exp: 01/20/2028

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

Handwritten notes at the top left, possibly including a name or title.

Main body of handwritten text, appearing as a list or series of notes.

Second section of handwritten text, continuing the notes.

Third section of handwritten text, possibly a conclusion or summary.

Final section of handwritten text at the bottom of the page.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 41 Tierney St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The existing staircase is being rebuilt in the same setback, there is no otherway to rebuild the stairs outside of the setback due to the position of the entrance to the house in the site. Even if we moved the front entrance with would be too significant of a cost, it would still be in the front yard setback. Hight and new location of staircase is non-conforming.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The existing staircase is being rebuilt in the same setback, there is no otherway to rebuild the stairs outside of the setback due to the position of the entrance to the house in the site. Even if we moved the front entrance with would be too significant of a cost, it would still be in the front yard setback No matter where we put the stairs.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Slightly modifying existing staircase, height and location of proposed staircase that is non-conforming.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Slightly modifying existing staircase, height and location of proposed staircase that is non-conforming. Proposed footprint is not much larger than existing.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Slightly modifying existing staircase, height and location of proposed staircase that is non-conforming. Proposed footprint is not much larger than existing.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The existing staircase is being rebuilt in the same setback, there is no otherway to rebuild the stairs outside of the setback due to the position of the entrance to the house in the site. Even if we moved the front entrance with would be too significant of a cost, it would still be in the front yard setback. Height and location of staircase is non-conforming.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

THE EXISTING STAIRCASE IS BUILT IN THE FRONT YARD SETBACK BECAUSE OF THE PROXIMITY OF THE HOUSE TO THE STREET. THE ONLY WAY TO GAIN ACCESS TO THE FRONT DOOR IS BY VIOLATING THE FRONT YARD SET BACK DUE TO THE LOCATION OF THE HOUSE ON THE PROPERTY AND THE DISTRICTS SETBACK REQUIREMENTS

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

THE PROPOSED STAIRCASE IS NOT A VASTLY DIFFERENT CHANGE FROM WHAT WAS THERE PREVIOUSLY, AND WILL BE A BEAUTIFUL NEW DESIGN WITH ATTRACTIVE MATERIALS RATHER THAN THE OLD PREVIOUS STAIRCASE.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

THE ORIGINAL STAIRCASE WAS NONCONFORMING, GRANTING RELIEF TO PLACE STAIRS BACK IN THE FRONT YARD SET BACK, WOULD NOT DEREGATE FROM THE INTENT OF THE ORDINANCE, BECAUSE THE STAIRS ARE GOING BACK IN SIMILAR LOCATION AND THIS WOULD BE BE ONLY FEASIBLE WAY TO ACCESS THE FRONT DOOR GIVEN THE LOCATION OF THE HOUSE ON THE LOT

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 42 tierney st llc
Location: 41 Tierney St., Cambridge, MA
Phone: 6176201863

Present Use/Occupancy: 1 family
Zone: Residence B Zone
Requested Use/Occupancy: 1 family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3284	3284	1577	(max.)
<u>LOT AREA:</u>		3154	3154	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.04	1.04	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3154	3154	2500	
<u>SIZE OF LOT:</u>	WIDTH	53.29	53.29	50	
	DEPTH	60	60	nA	
<u>SETBACKS IN FEET:</u>	FRONT	1	1	10	
	REAR	5.8	5.8	20	
	LEFT SIDE	8.3	8.3	7.5	
	RIGHT SIDE	15.5	12	11.7	
<u>SIZE OF BUILDING:</u>	HEIGHT	26	26	35	
	WIDTH	46	46	Na	
	LENGTH	36.2	36.2	Na	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		1989	1980	1577	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	2	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		Na	Na	Na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

None

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
⊕	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJ OR ⚬	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR ∅	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		

TIERNEY STREET RESIDENCE

41 Tierney St., Cambridge, MA 02138

CODE ANALYSIS:

- APPLICABLE CODES:
 BUILDING CODE : IRC 2015 & 780 CMR MASSACHUSETTS STATE BLDG CODE 9TH EDITION
 ENERGY CODE: IECC 2021
 FIRE PREVENTION & ELECTRICAL CODE: 527 CMR
- ZONING DISTRICT - RESIDENCE B SETBACKS:

	<u>ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
*FRONT:	25'	8'	NO CHANGE
RIGHT:	7.6"(SUM OF 20)	15.5'	NO CHANGE
LEFT:	7.6"(SUM OF 20)	8.3'	NO CHANGE
*REAR:	NA	NA	NA
HEIGHT:	35'	26'	NO CHANGE

*TIERNEY ST AND ORRIN ST ARE FRONT YARD SETBACKS. REAR YARD SETBACK DOES NOT APPLY.

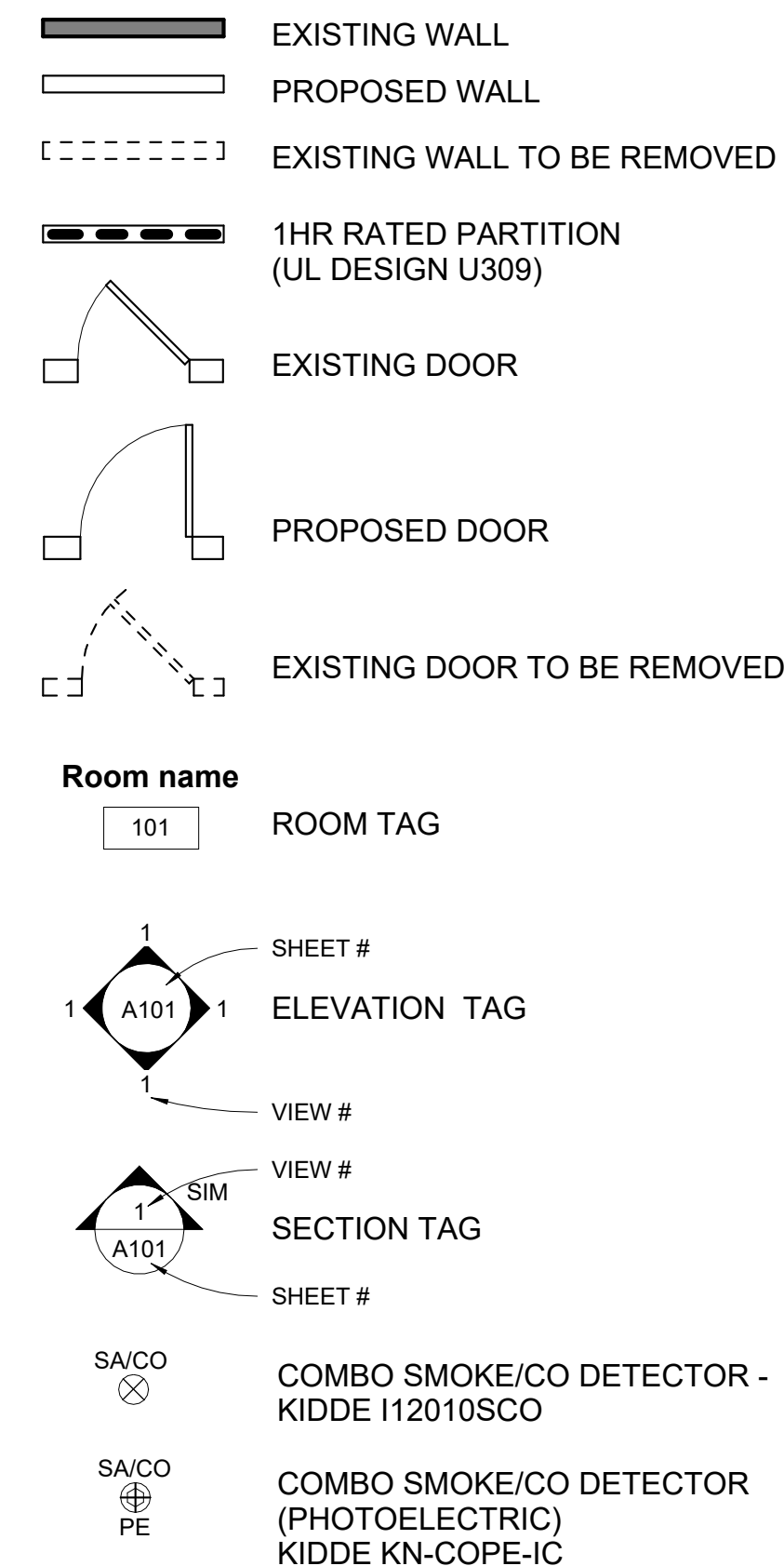
F.A.R.: .5
 LOT SIZE: 3,154 SF
 ALLOWED: 1,577 GSF
 EXISTING: 2,364 GSF
 PROPOSED: 3,284 GSF (F.A.R.: 1.04)
 BASEMENT: 957 GSF
 FIRST FLOOR: 1,174 GSF
 SECOND FLOOR: 1,153 GSF

MECH/STORAGE/LAUNDRY: 224 GSF (NOT INCLUDED IN F.A.R.)
- USABLE OPEN SPACE REQUIREMENTS: 50%
 REQUIRED U.O.S.: 1,577 SF
 PROPOSED U.O.S.: 1,980 SF (62.7%)
- CHAPTER 3 - USE GROUP CLASSIFICATION :
 SECTION 310.0 - R3
- IECC CHAPTER 4
 R401.2.1 PRESCRIPTIVE COMPLIANCE OPTION
 R401 - BUILDING PERFORMANCE OPTION
 R404 - ELECTRICAL POWER AND LIGHT SYSTEM
 R408 - ADDITIONAL EFFICIENCY OPTIONS

225 CMR 22 - ENVELOPE REQUIREMENTS:

- EXTERIOR WALLS:
 2X6 WOOD FRAMING
 R30 MIN CAVITY OR
 R20 CAVITY W/ R5 CONTINUOUS or
 R13 MIN CAVITY W/ 10R CONTINUOUS or
 R20 CONTINUOUS
 BASEMENT:
 R15 CONTINUOUS OR
 R19 CAVITY W/ R5 CONTINUOUS
- VAPOR RETARDER:
 CLASS I OR II AT INTERIOR/WARM SIDE OF EXTERIOR WALL FRAMING
- FLOOR OVER UNCONDITIONED SPACE:
 R30 MINIMUM
- BASEMENT SLAB:
 R10 CONTINUOUS @ <4' BELOW GRADE
- CEILING/ROOF:
 STEEL
 R60 MINIMUM
- WINDOWS:
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .30
- EXTERIOR DOORS WITH GLAZING:
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .40

SYMBOL LEGEND

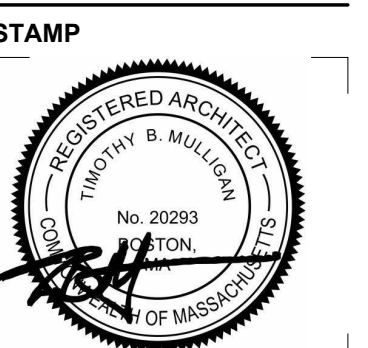
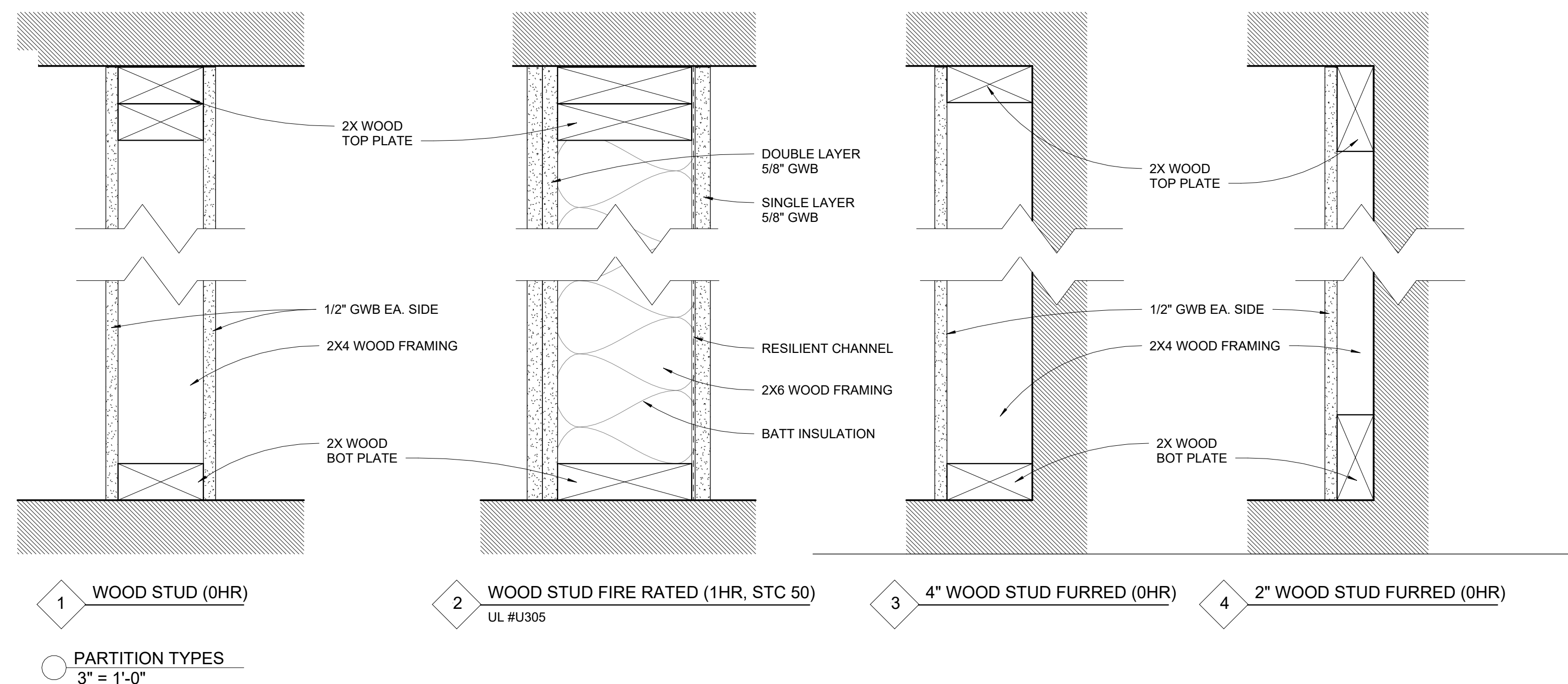


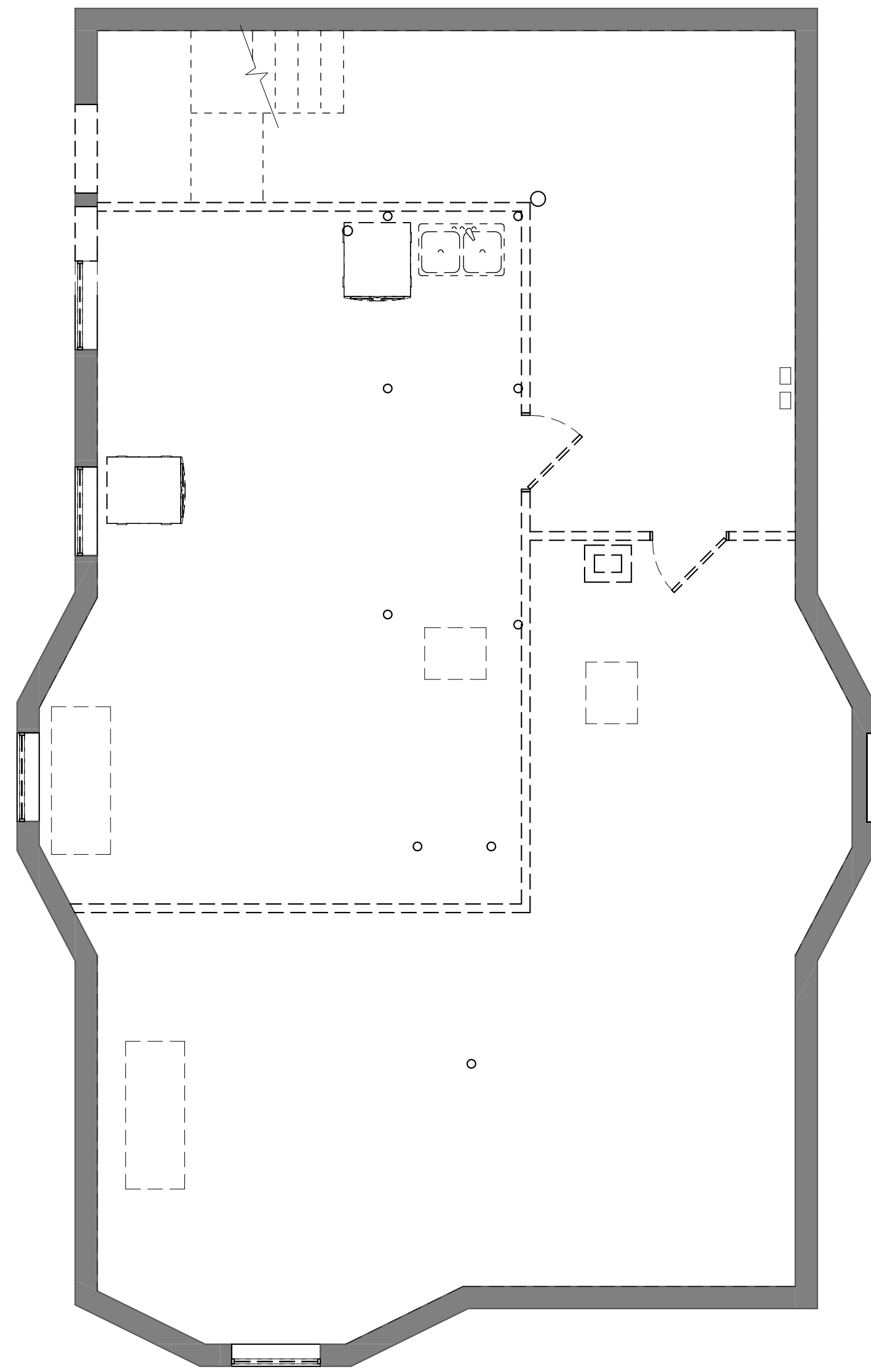
DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO PLANS
A101	BASEMENT & 1ST FLOOR PLANS
A102	2ND FLOOR & ROOF PLAN
A200	PROPOSED ELEVATIONS
A201	EXISTING ELEVATIONS
S101	FOUNDATION & 1ST FLOOR FRAMING PLANS
S102	2ND FLOOR & ROOF FRAMING PLANS
S103	ENGINEERED FRAMING DETAILS

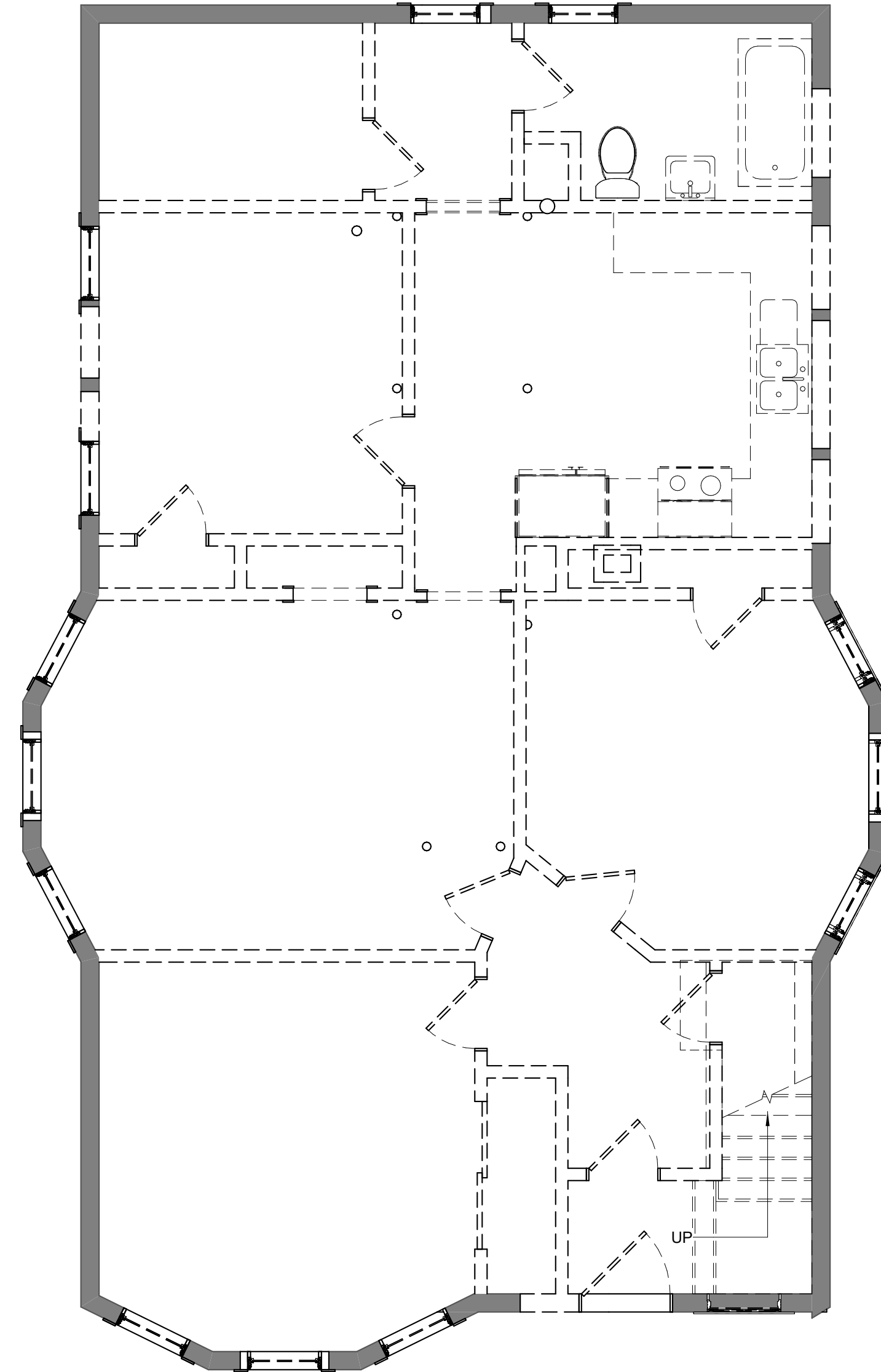
GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

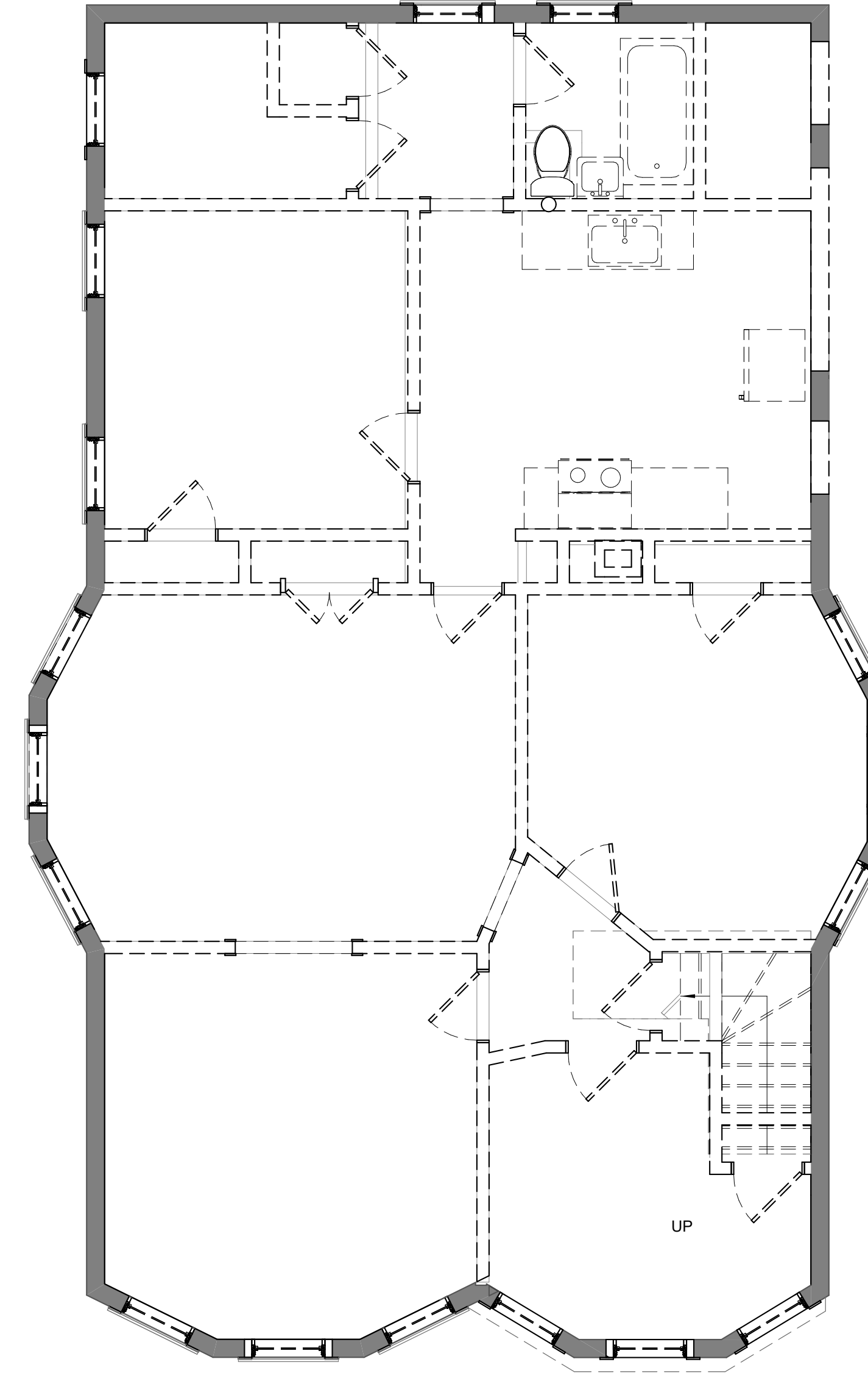







1 DEMO - BASEMENT
1/4" = 1'-0"



2 DEMO - 1ST FLOOR
1/4" = 1'-0"



3 DEMO - 2ND FLOOR
1/4" = 1'-0"

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE REMOVED
-  EXISTING DOOR TO BE REMOVED

DEMO NOTES:

1. EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
2. EXISTING NON LOAD BEARING INTERIOR WALLS TO BE REMOVED.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED.
4. EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED.
5. EXISTING ELECTRICAL WIRING AND FIXTURES.
6. EXISTING FIXTURES, CASEWORK, APPLIANCES TO BE REMOVED.

REVISIONS:

DRAWING TITLE:

DEMO PLANS

STAMP



October 12, 2023

DATE OF ISSUE

CONSTRUCTION

DOCUMENT PHASE

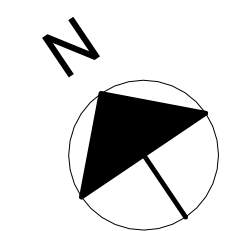
1/4" = 1'-0"

SCALE

2325.00

PROJECT #

DRAWING NUMBER:



A100

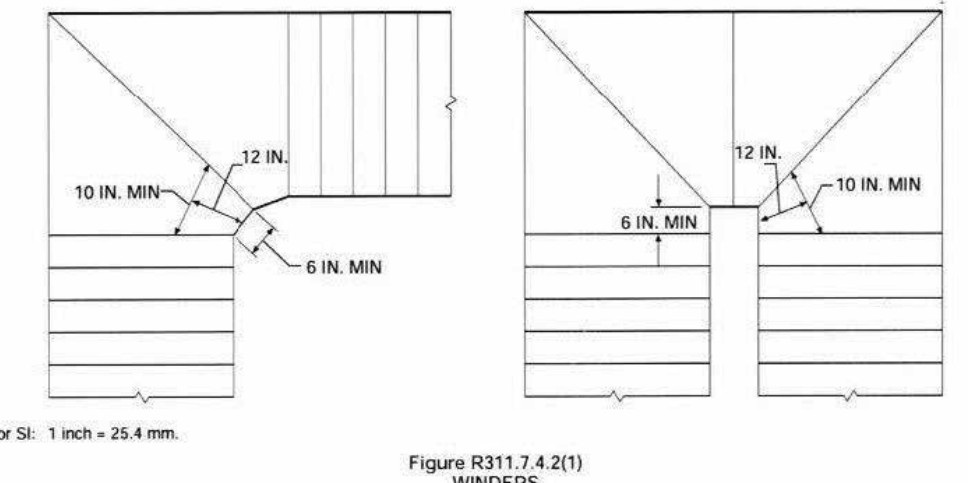
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6. CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
7. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
8. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
9. DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.
10. SLEEPING ROOM EMERGENCY ESCAPE & RESCUE REQUIREMENTS:
 MINIMUM ONE WDW PER BEDROOM:
 5.75SF OPERABLE CLEAR AREA,
 44" MAX SILL HGT

BRACED WALL NOTES:
 THE FOLLOWING NOTES APPLY TO ALL EXTERIOR AND INTERIOR WALLS AND COMPLY WITH SECTION R602.10 FOR CONTINUOUS SHEATHING WALL BRACING METHOD.

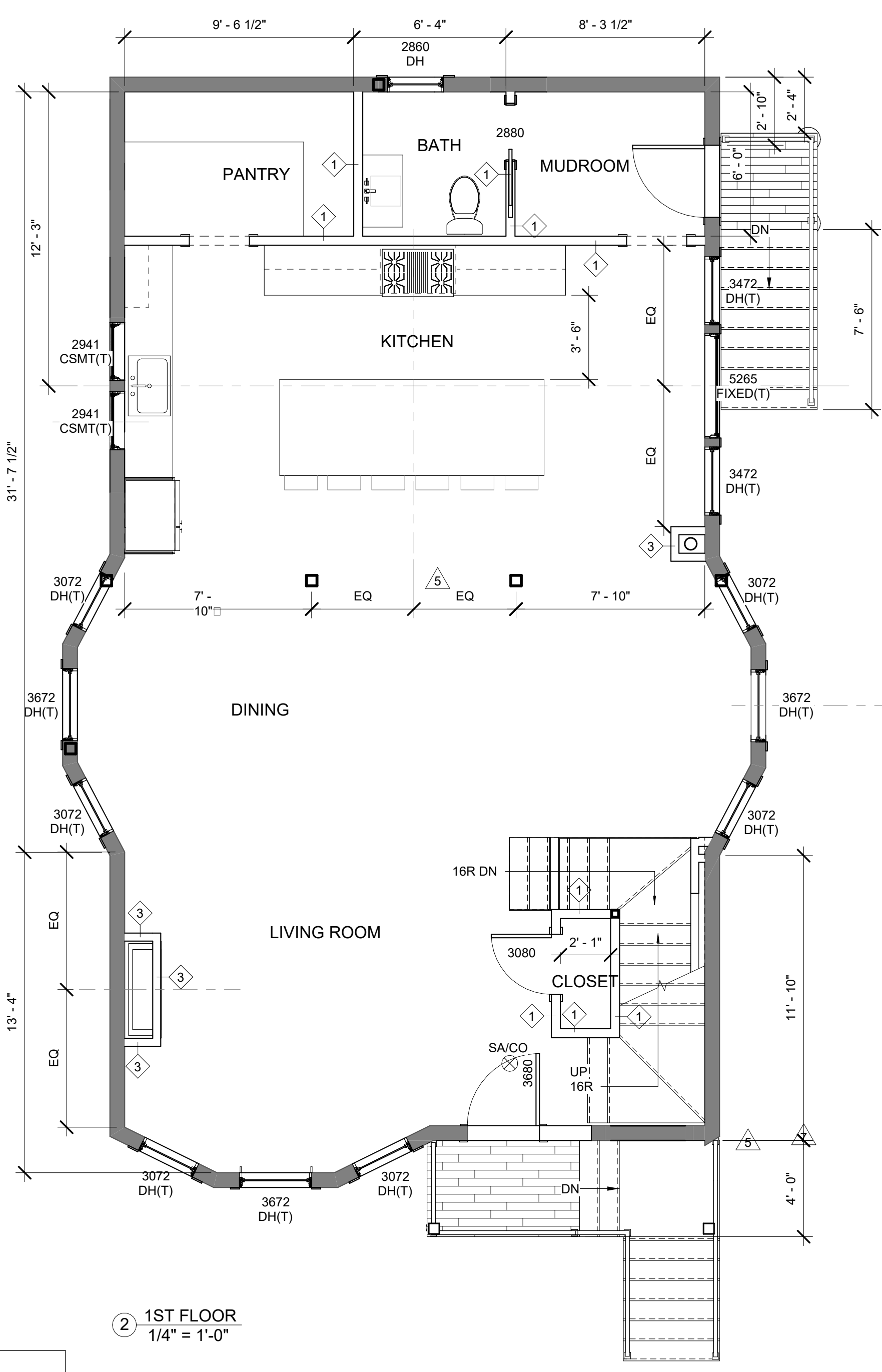
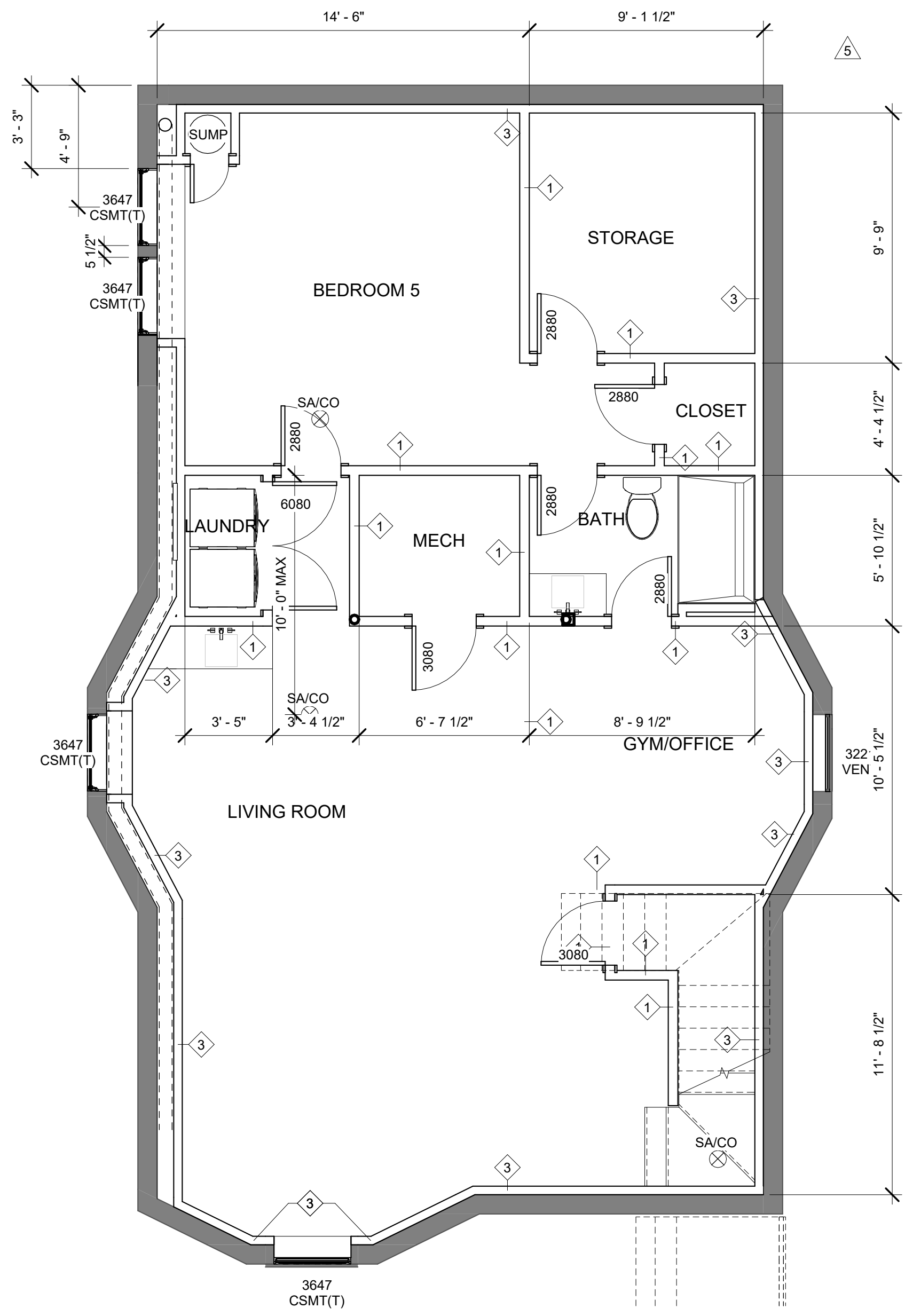
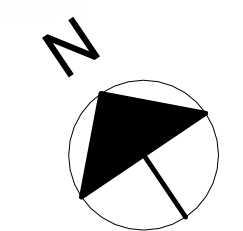
- EXTERIOR WALLS:**
1. 2X6 WOOD FRAMING @ 16" O.C. SGLE BOTTOM PLATE, DBL TOP PLATE. FASTEN SILL PLATE TO RIM JOIST W/ 3-16d NAILS @ 16" O.C. FASTEN TOP PLATE TO RIM JOIST W/ 8d NAILS @ 16" O.C.
 2. MIN DBL TOP PLATE SPLICING SHALL BE 3" X 6" X .036" GALV STEEL PLATE FASTENED W/ (6) 8d BOX (2 1/2" X .113") NAILS EA SIDE OF SPLICE PER TABLE R602.3.2
 3. FLOOR SILL PLATES TO BE ANCHORED TO FOUNDATION W/ MIN 1/2" ANCHOR BOLTS @ 6'-0" O.C. MAX., 7" MIN EMBED PER R403.1.6
 4. CONTINUOUS SHEATHING WOOD STRUCTURAL PANELS (CS-WSP) SHALL BE MINIMUM 3/8" PER IRC TABLE 602.10.4.
 5. CS-WSP SHEATHING SHALL BE FASTENED WITH 8d COMMON NAILS, MIN 1.5" PENETRATION, 6" O.C. EDGE AND 12" O.C. FIELD PER IRC TABLE R602.7.3(3)
 6. CS-WSP TO BE INSTALLED ON SHEATHABLE SURFACES INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS.
 7. CS-WSP SHEATHING SHALL OVERLAP OVER FLOOR FRAMING OR FOUNDATION PER IRC R602.10.8
 8. INSTALL 800LB HOLD DOWN DEVICE (SIMPSON LTTI-31 OR EQUAL) AT EACH END OF EXTERIOR CORNER PER END CONDITION #2 ON TABLE R602.10.7
 9. INSTALL UPLIFT CONNECTORS (SIMPSON H2.5 OR EQUAL) AT EXTERIOR WALLS SUPPORTING ROOF FRAMING.
 10. INSTALL MIN 1/2" GWB AT INTERIOR SIDE OF EXTERIOR WALLS FASTENED W/ NAILS OR SCREWS PER TABLE R702.3.5 AND 7" O.C. EDGES AND 7" O.C. FIELD.

- INTERIOR PARTITIONS:**
11. 2X4 MIN WOOD FRAMING @ 16" O.C., SGLE BOTTOM PLATE, DBL TOP PLATE. FASTEN SILL PLATE TO FLOOR JOIST OR FULL HGT BLOCKING W/ 3-16d NAILS @ 16" O.C. FASTEN TOP PLATE TO FULL DEPTH BLOCKING W/ 8d NAILS @ 16" O.C.
 12. GYPSUM WALL BOARD (GS) PANELS SHALL BE 1/2" MINIMUM AND FASTENED W/ NAILS OR SCREWS PER TABLE R702.3.5 AND 7" O.C. EDGES AND 7" O.C. FIELD.



STAIR REQUIREMENTS:
 RISERS: 8 1/4" MAX
 TREADS: 10" MIN
 HANDRAILS:
 34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
 BALUSTERS: 4" MAX CLEAR WIDTH

WINDER STAIRS
 12" = 1'-0"



PLUMBING FIXTURE COUNT

FIXTURE	BSMT	1ST FLR	2ND FLR	TOTAL
SINK	2	2	4	9
TOILET	2	1	3	6
SHOWER	1	0	3	4
LAUNDRY	0	1	0	1
TOTAL FIXTURE COUNT				20

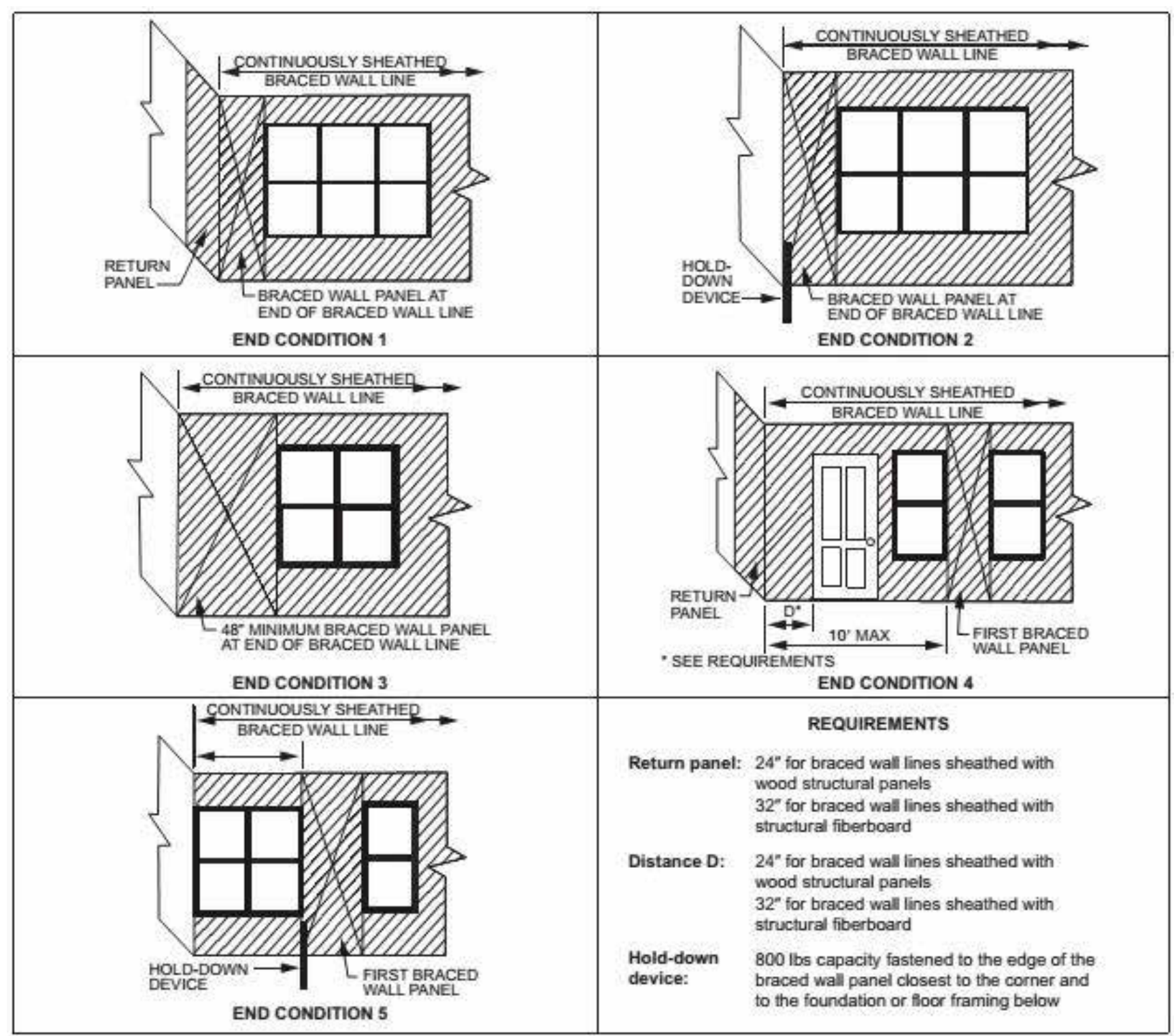
CS-WSP Continuously sheathed wood structural panel	3/8"		Exterior sheathing per Table R602.3(3)	6" edges 12" field
			Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a, b, c}

MINIMUM NAIL	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V _{ult} (mph)		
				Edges (inches o.c.)	Field (inches o.c.)	Wind exposure category		
Size	Penetration (inches)					B	C	D
6d Common (2.0" x 0.113")	1.5	24/0	16	6	12	140	115	110
8d Common (2.5" x 0.131")	1.75	24/16	16	6	12	170	140	135
			24	6	12	140	115	110

For Sl: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

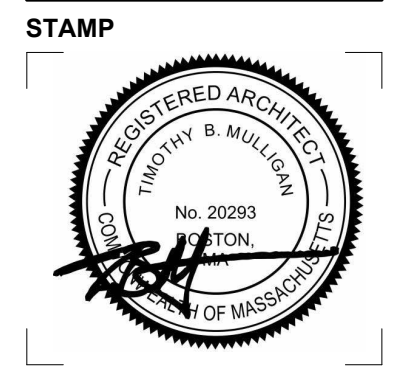
a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
 b. Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
 c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.



REVISIONS:

2. ISD REQUEST	11.8.23
3. PLAN REV	1.10.24
5. PLAN REV	2.6.24
7. ENTRY STAIRS	3.12.24

DRAWING TITLE:
**BASEMENT &
 1ST FLOOR
 PLANS**



October 12, 2023
 DATE OF ISSUE

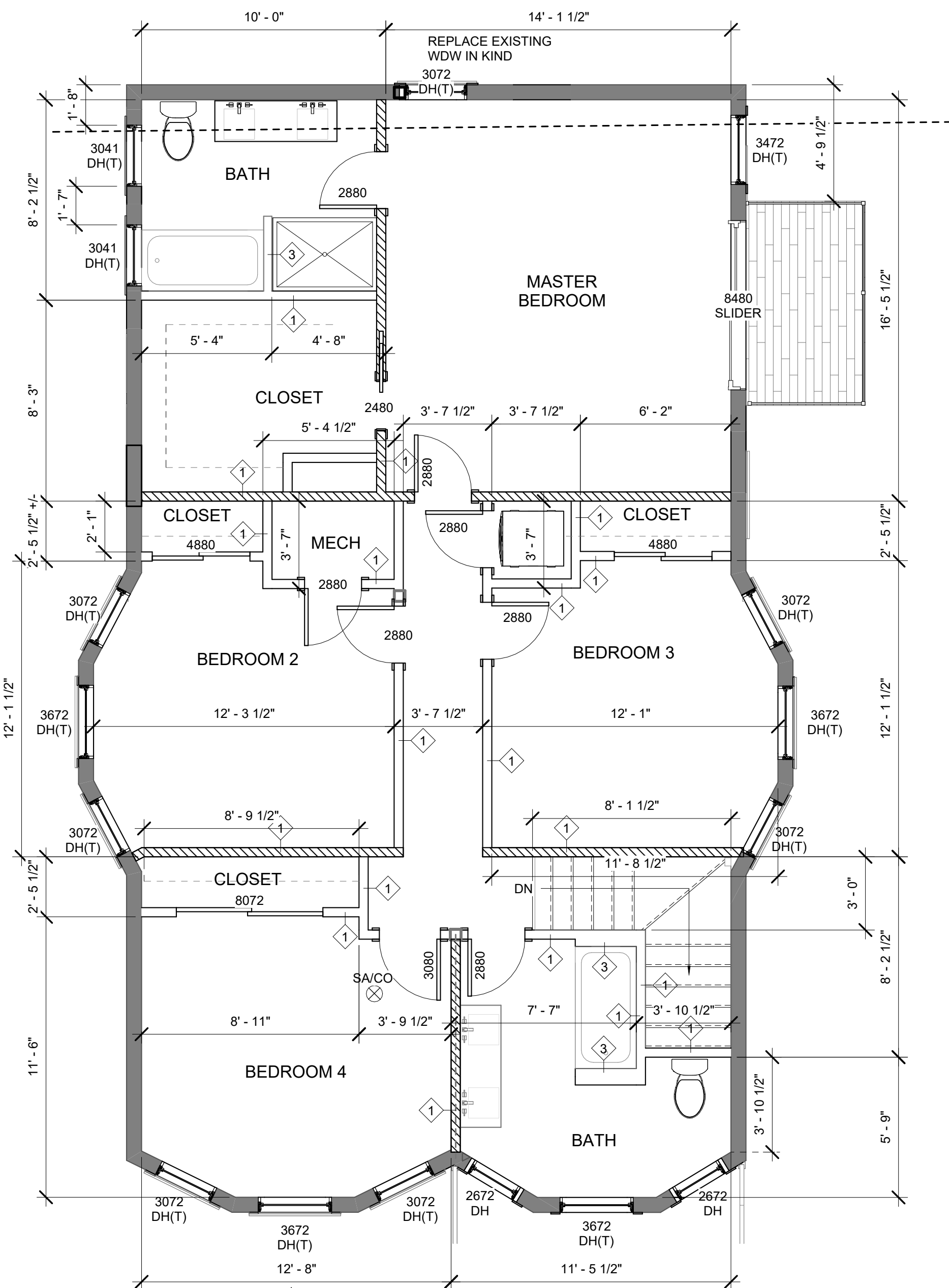
CONSTRUCTION
 DOCUMENT PHASE

As indicated
 SCALE

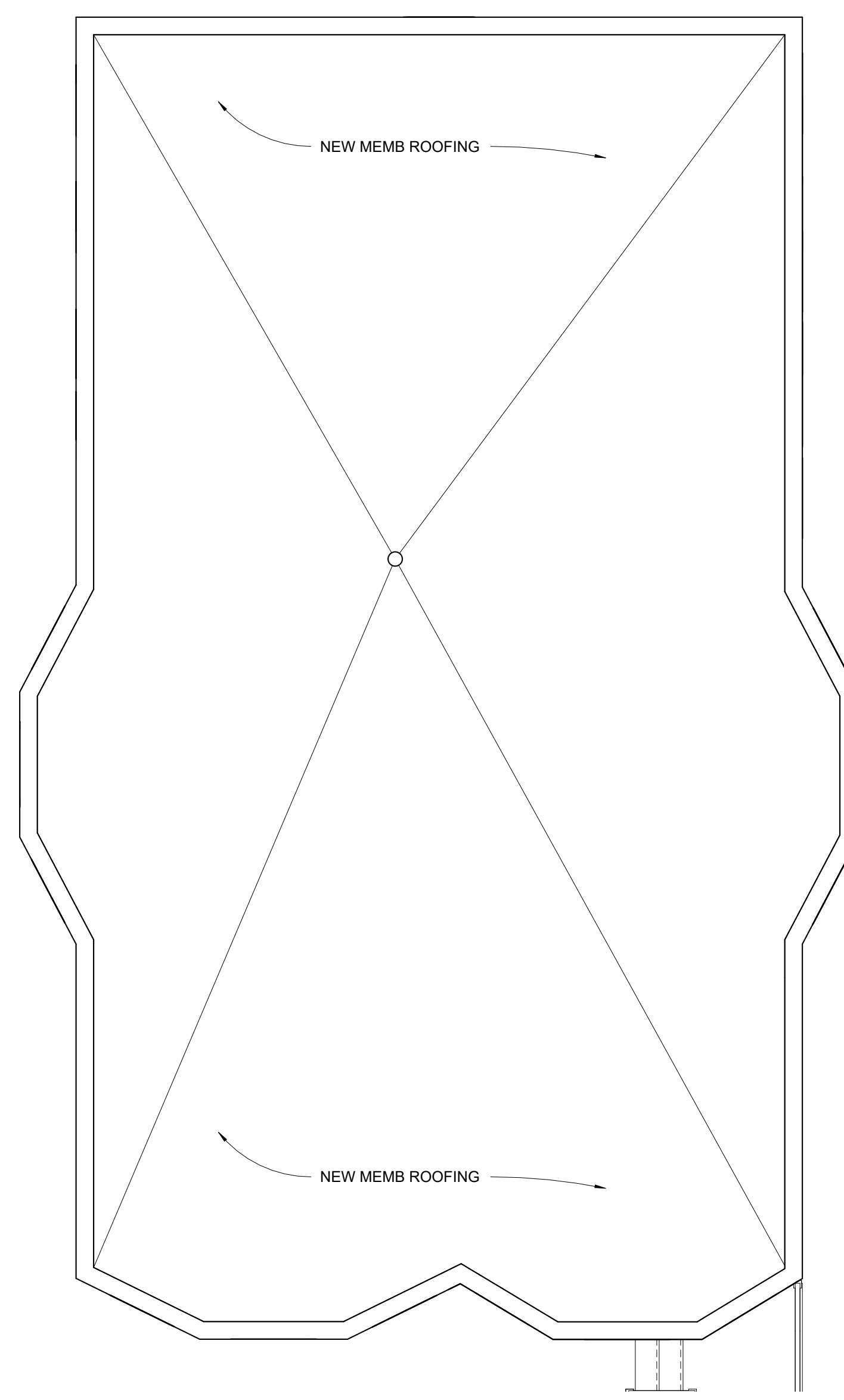
2325.00
 PROJECT #

DRAWING NUMBER:

A101



FIXTURE	BSMT	1ST FLR	2ND FLR	TOTAL
SINK	2	2	4	9
TOILET	2	1	3	6
SHOWER	1	0	3	4
LAUNDRY	0	1	0	1
TOTAL FIXTURE COUNT				20



GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SLEEPING ROOM EMERGENCY ESCAPE & RESCUE REQUIREMENTS:
 MINIMUM ONE WDW PER BEDROOM:
 5.75SF OPERABLE CLEAR AREA,
 44" MAX SILL HGT

BRACED WALL NOTES:

THE FOLLOWING NOTES APPLY TO ALL EXTERIOR AND INTERIOR WALLS AND COMPLY WITH SECTION R602.10 FOR CONTINUOUS SHEATHING WALL BRACING METHOD.

EXTERIOR WALLS:

- 2X6 WOOD FRAMING @ 16" O.C. SGLE BOTTOM PLATE, DBL TOP PLATE. FASTEN SILL PLATE TO RIM JOIST W/ 3-16d NAILS @ 16" O.C. FASTEN TOP PLATE TO RIM JOIST W/ 8d NAILS @ 16" O.C.
- MIN DBL TOP PLATE SPLICING SHALL BE 3" X 6" X .036" GALV STEEL PLATE FASTENED W/ (6) 8d BOX (2 1/2" X .113") NAILS EA SIDE OF SPLICE PER TABLE R602.3.2
- FLOOR SILL PLATES TO BE ANCHORED TO FOUNDATION W/ MIN 1/2" ANCHOR BOLTS @ 6'-0" O.C. MAX., 7" MIN EMBED PER R403.1.6
- CONTINUOUS SHEATHING WOOD STRUCTURAL PANELS (CS-WSP) SHALL BE MINIMUM 3/8" PER IRC TABLE 602.10.4.
- CS-WSP SHEATHING SHALL BE FASTENED WITH 8d COMMON NAILS, MIN 1.5" PENETRATION, 6" O.C. EDGE AND 12" O.C. FIELD PER IRC TABLE R602.7.3(3)
- CS-WSP TO BE INSTALLED ON SHEATHABLE SURFACES INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS.
- CS-WSP SHEATHING SHALL OVERLAP OVER FLOOR FRAMING OR FOUNDATION PER IRC R602.10.8
- INSTALL 800LB HOLD DOWN DEVICE (SIMPSON LTTI-31 OR EQUAL) AT EACH END OF EXTERIOR CORNER PER END CONDITION #2 ON TABLE R602.10.7
- INSTALL UPLIFT CONNECTORS (SIMPSON H2.5 OR EQUAL) AT EXTERIOR WALLS SUPPORTING ROOF FRAMING.
- INSTALL MIN 1/2" GWB AT INTERIOR SIDE OF EXTERIOR WALLS FASTENED W/ NAILS OR SCREWS PER TABLE R702.3.5 AND 7" O.C. EDGES AND 7" O.C. FIELD.

INTERIOR PARTITIONS:

- 2X4 MIN WOOD FRAMING @ 16" O.C., SGLE BOTTOM PLATE, DBL TOP PLATE. FASTEN SILL PLATE TO FLOOR JOIST OR FULL HGT BLOCKING W/ 3-16d NAILS @ 16" O.C. FASTEN TOP PLATE TO FULL DEPTH BLOCKING W/ 8d NAILS @ 16" O.C.
- GYPSUM WALL BOARD (GS) PANELS SHALL BE 1/2" MINIMUM AND FASTENED W/ NAILS OR SCREWS PER TABLE R702.3.5 AND 7" O.C. EDGES AND 7" O.C. FIELD.

REVISIONS:	DATE
5. PLAN REV	2.6.24

DRAWING TITLE:

**2ND FLOOR &
 ROOF PLAN**

STAMP



October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION DOCUMENT PHASE
 As indicated
 SCALE
 2325.00
 PROJECT #
 DRAWING NUMBER:

CS-WSP Continuously sheathed wood structural panel	3/8"		Exterior sheathing per Table R602.3(3)	6" edges 12" field
			Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

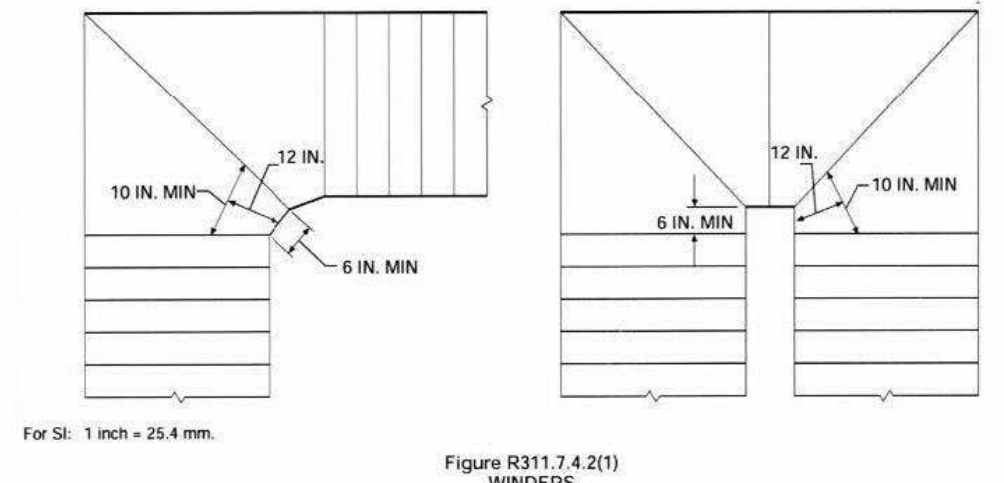
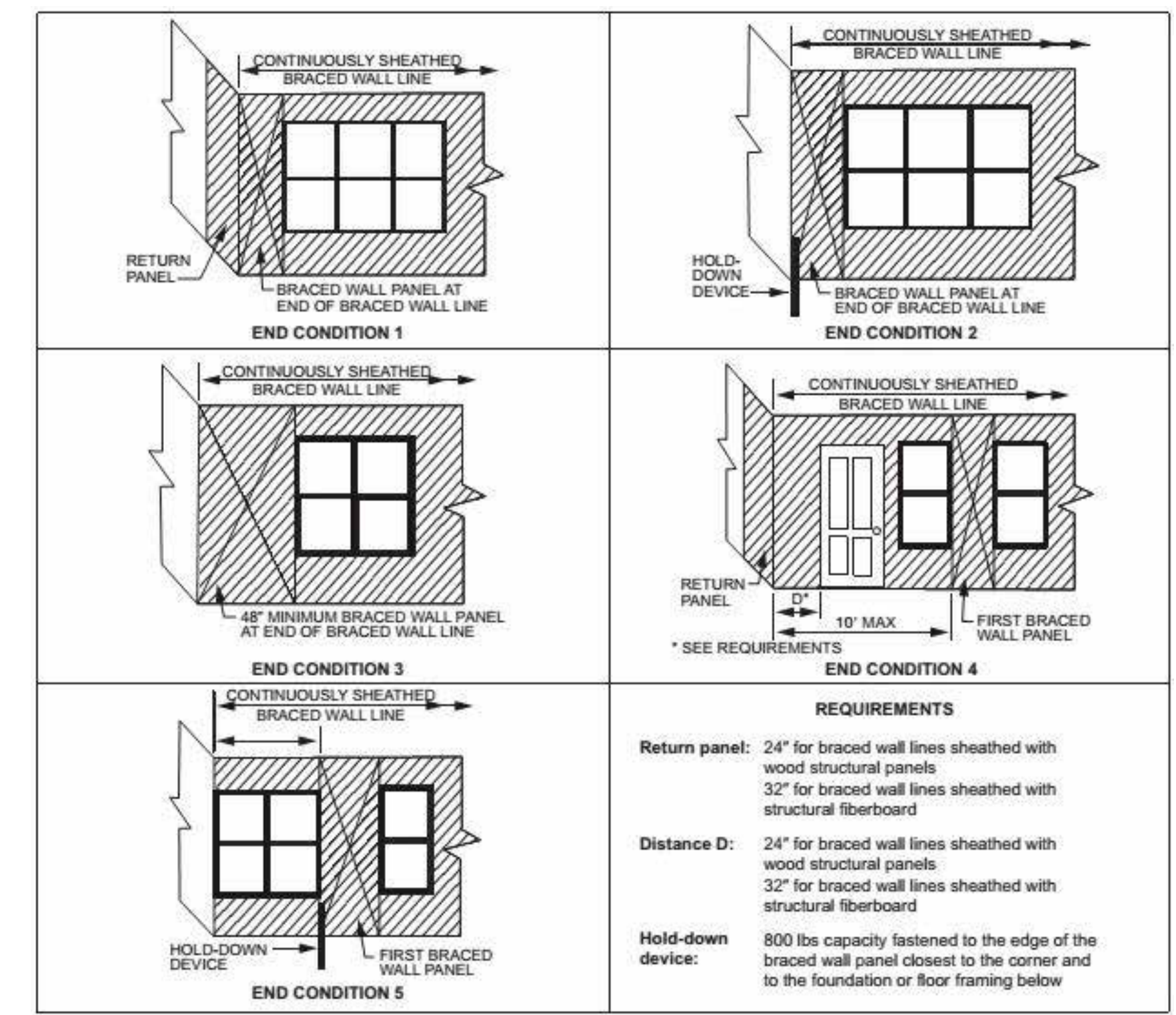
TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a, b, c}

MINIMUM NAIL Size	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V _{ult} (mph)		
				Edges (inches o.c.)	Field (inches o.c.)	Wind exposure category		
Penetration (inches)						B	C	D
6d Common (2.0" x 0.113")	1.5	24/0	16	6	12	140	115	110
8d Common (2.5" x 0.131")	1.75	24/16	16	6	12	170	140	135
			24	6	12	140	115	110

For Sl: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

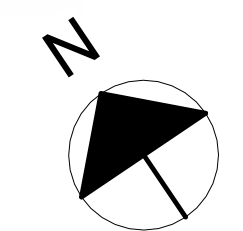
a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
 b. Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
 c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.

2 ROOF PLAN
 1/4" = 1'-0"



STAIR REQUIREMENTS:
 RISERS: 8 1/4" MAX
 TREADS: 10" MIN
 HANDRAILS:
 34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
 BALUSTERS: 4" MAX CLEAR WIDTH

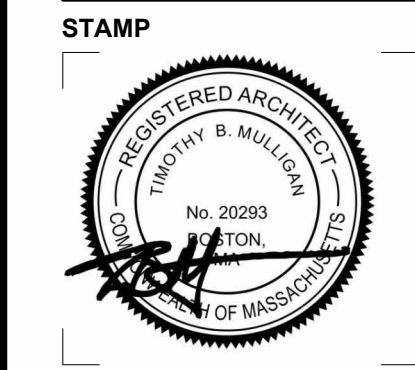
WINDER STAIRS
 12" = 1'-0"



REVISIONS:

1. ISD REQUEST	11.8.23
2. PLAN REV	1.10.24
3. PLAN REV	2.6.24
4. PLAN REV	2.6.24
5. ENTRY STAIRS	3.12.24

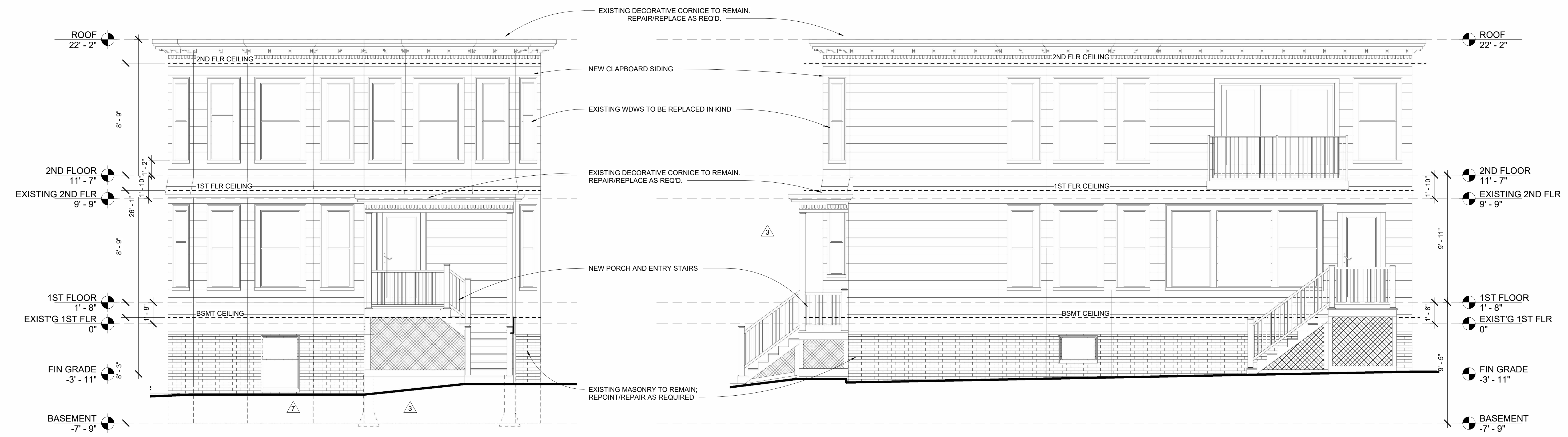
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PROPOSED ELEVATIONS



October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2325.00
 PROJECT #

DRAWING NUMBER:

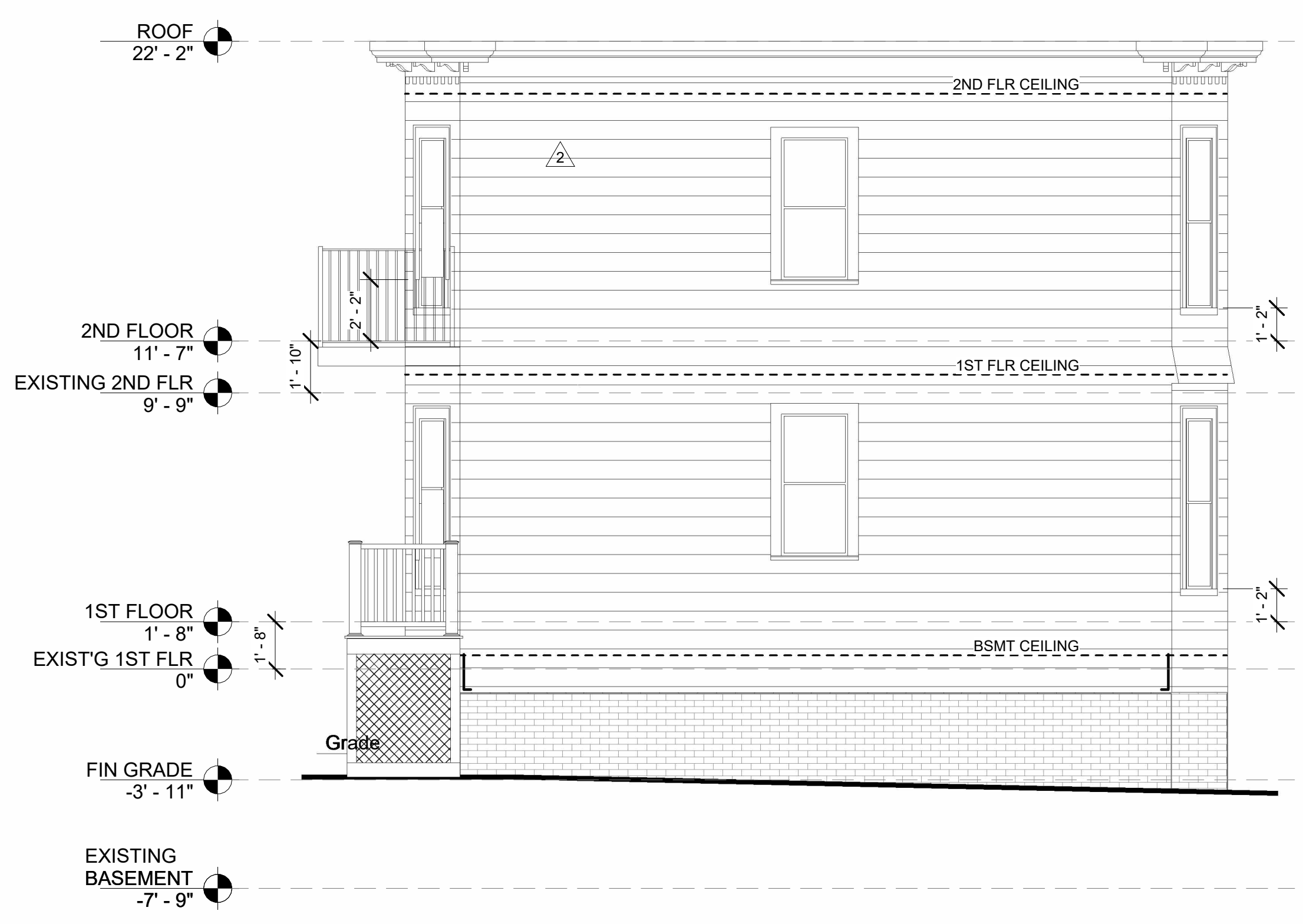
A200



① FRONT ELEVATION
 1/4" = 1'-0"
 (TIERNEY ST. FRONT YARD)

NOTE:
 SEE A101 FOR IMPORTANT
 BRACE WALL INFORMATION

② RIGHT ELEVATION
 1/4" = 1'-0"
 (TIERNEY ST. SIDE YARD)



③ REAR ELEVATION
 1/4" = 1'-0"
 (ORRIN ST. SIDE YARD)

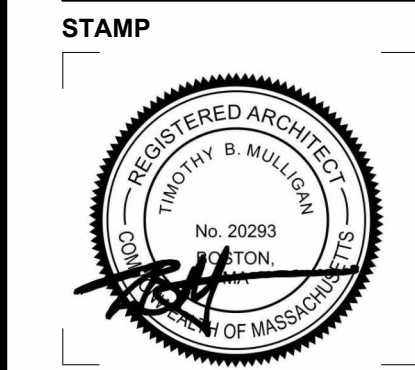


④ LEFT ELEVATION
 1/4" = 1'-0"
 (ORRIN ST. FRONT YARD)

14/2024/08/28/AM S47|a ARCHITECTS, INC. 300 HIGHLAND ST. SUITE 300 BOSTON, MA 02118

REVISIONS:

DRAWING TITLE:
EXISTING ELEVATIONS



October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2325.00
 PROJECT #

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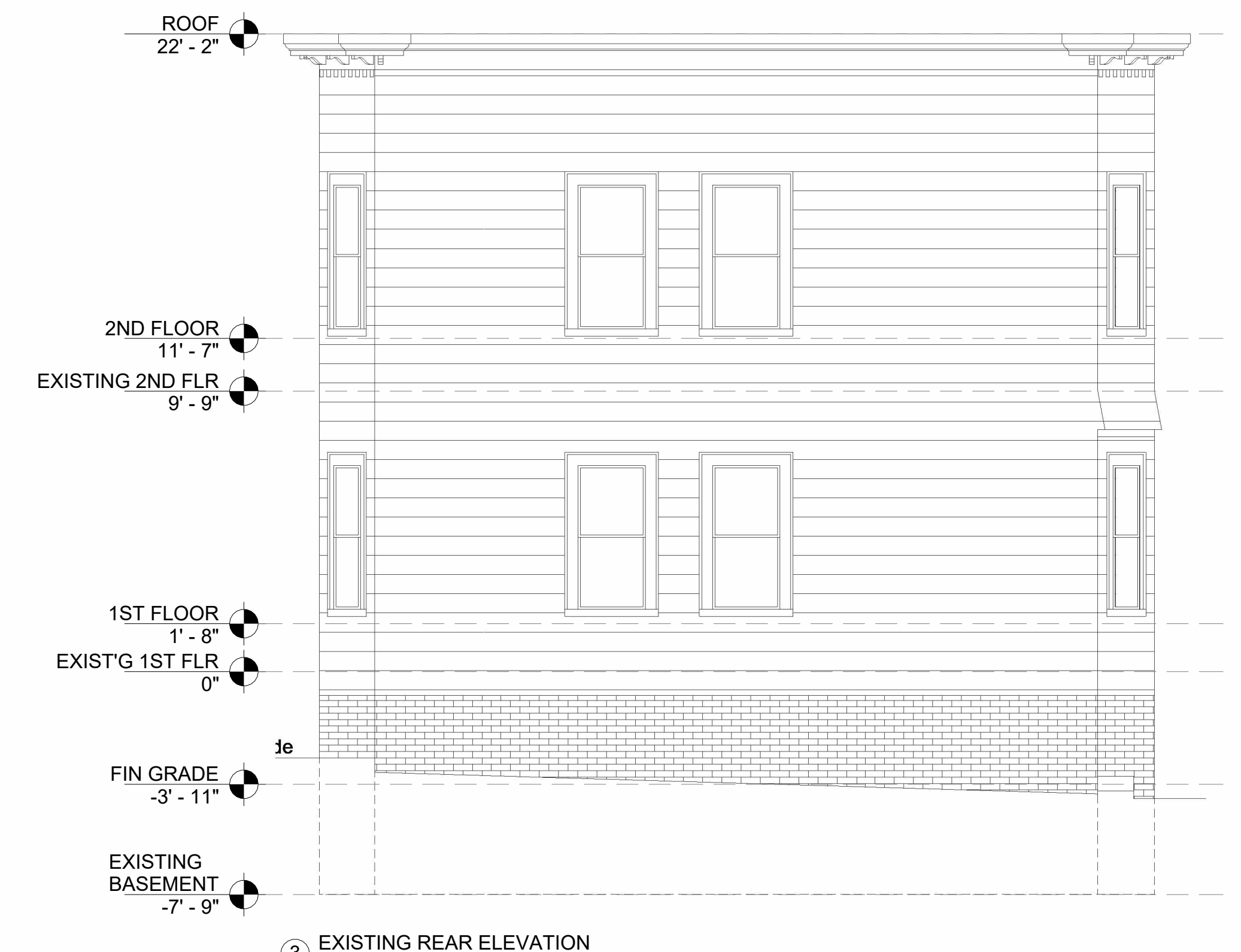
A201



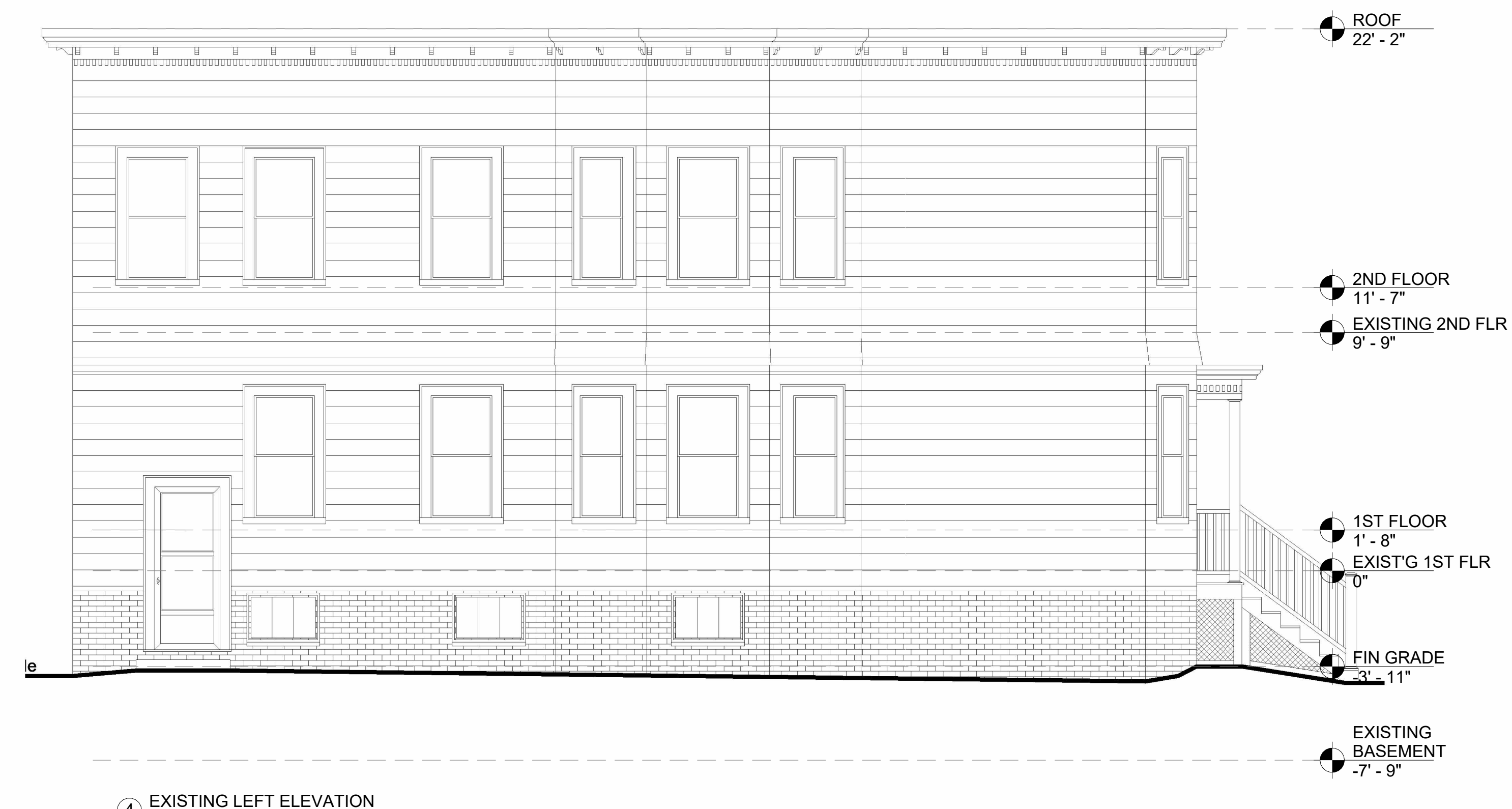
① EXISTING FRONT ELEVATION
 1/4" = 1'-0"



② EXISTING RIGHT ELEVATION
 1/4" = 1'-0"



③ EXISTING REAR ELEVATION
 1/4" = 1'-0"



④ EXISTING LEFT ELEVATION
 1/4" = 1'-0"

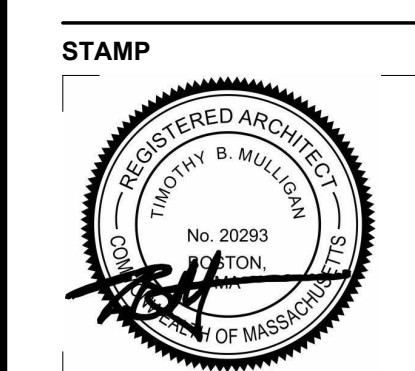
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REVISIONS:

1. FOUNDATION	7.26.19
2. PLAN REV	1.10.24
3. PLAN REV	2.6.24
4. FRMING REV	3.4.24
5. ENTRY STAIRS	3.12.24

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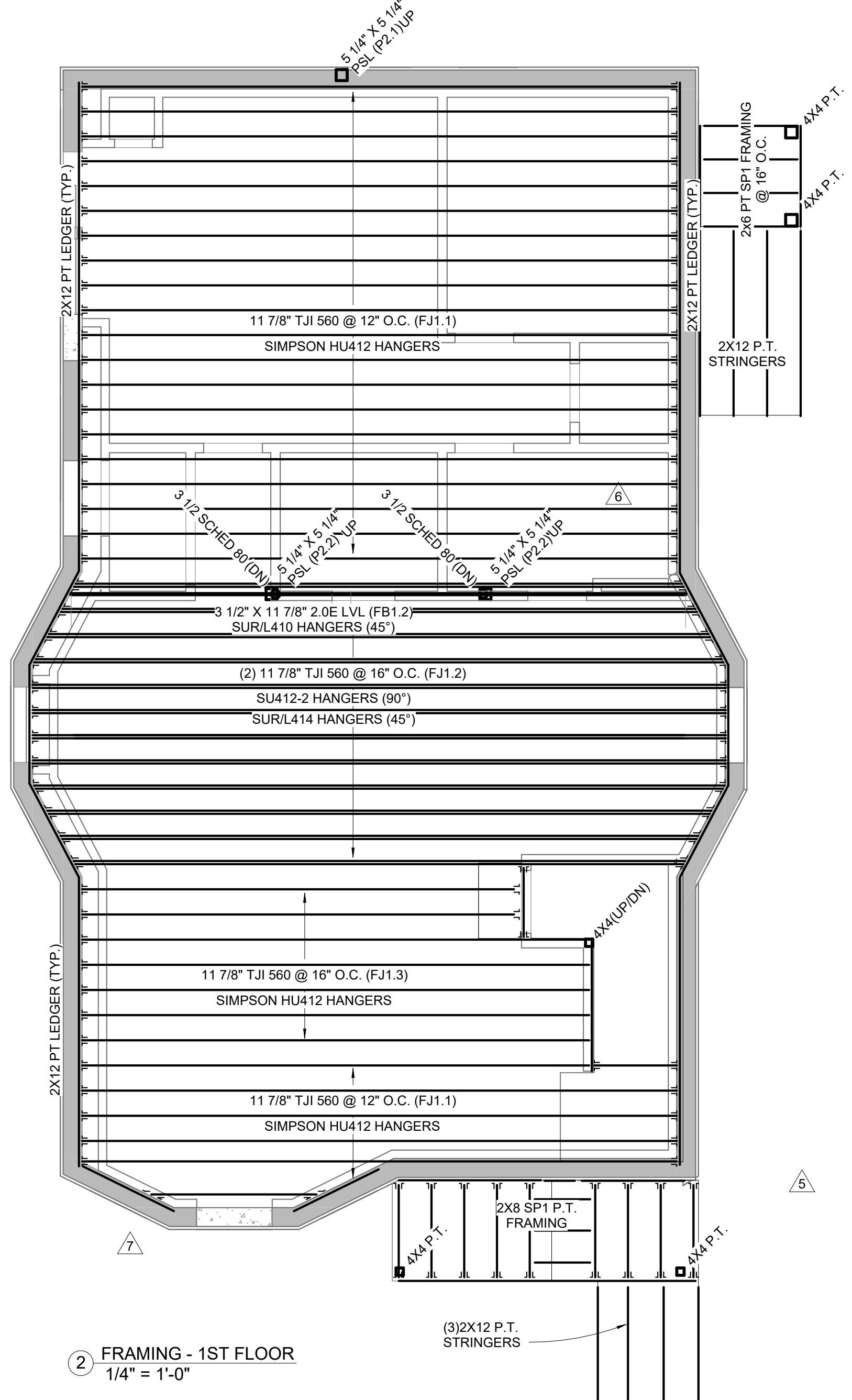
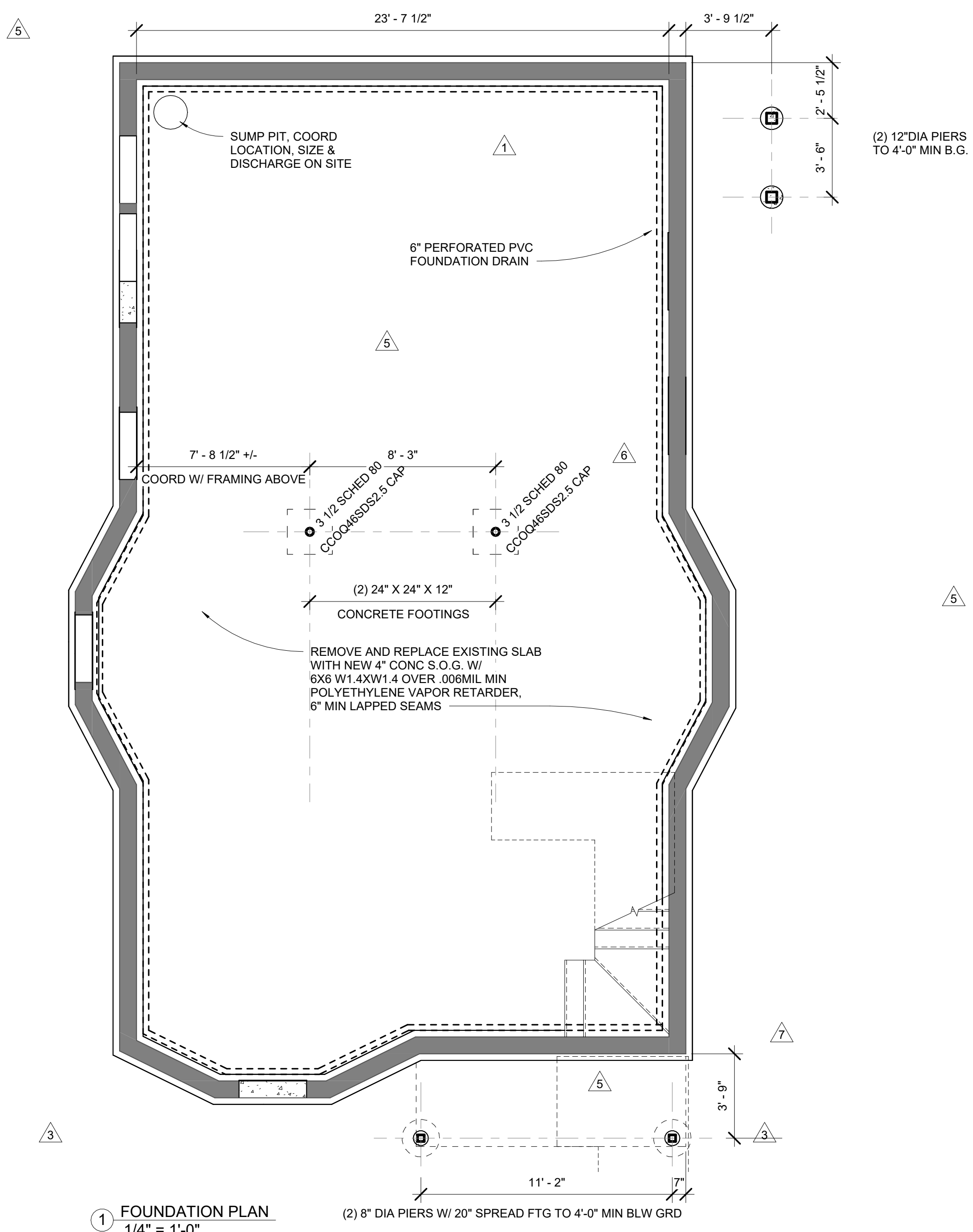
**FOUNDATION
 & 1ST FLOOR
 FRAMING
 PLANS**



October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2325.00
 PROJECT #

DRAWING NUMBER:

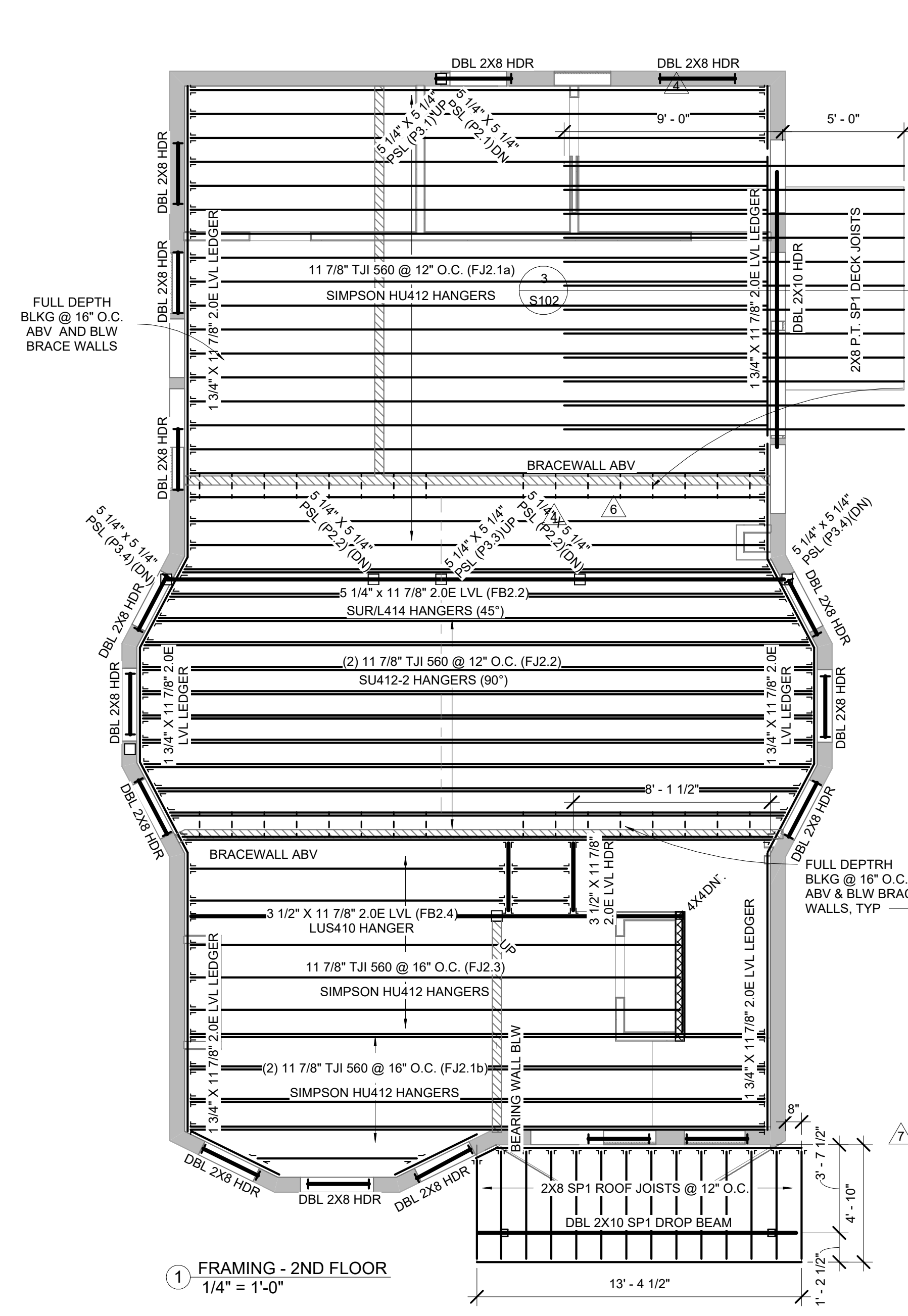
S101



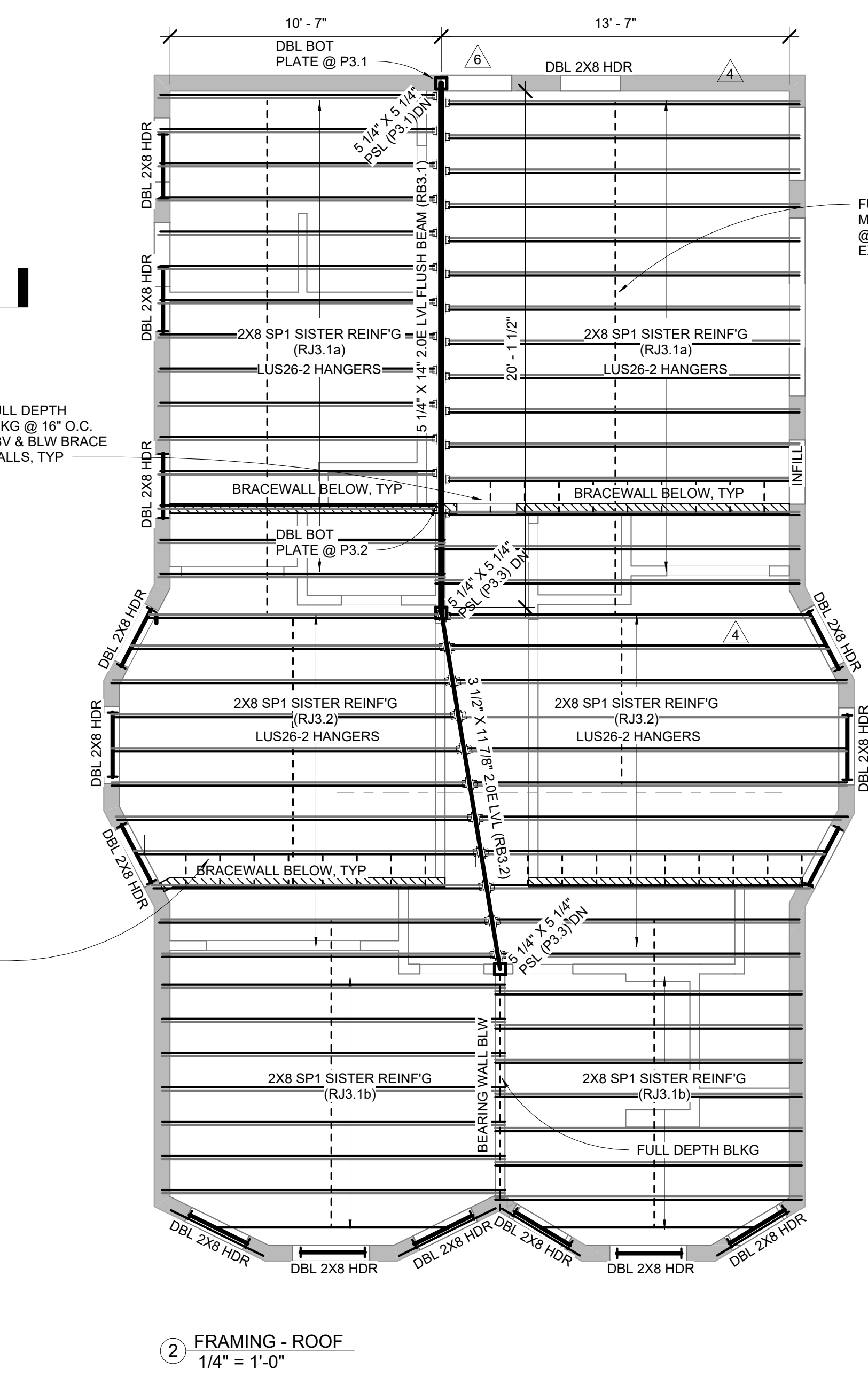
- CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL COMPLY WITH ACI 318: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 - ALL CONCRETE SHALL COMPLY WITH ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - 3,000 MIN PSI COMPRESSIVE STRENGTH POST 28 DAYS
 - ALL CONCRETE TO BE POURED MONOLITHICALLY. UNO
 - CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION 18 OF IBC 2015 780CMR.
 - STEEL REINFORCING SHALL COMPLY WITH ASTM 615 GRADE 60, U.N.O.

- FRAMING NOTES:**
- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
 - COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
 - ENGINEERED LUMBER PROPERTIES:
LVL: Fb=3100psi
PSL: Fb=2650psi
 - ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED (P.T.)
 - INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
 - INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
 - INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
 - NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
 - SPLICE BEAMS AT SUPPORTS
 - INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
 - LIVE LOADS:**
BEDROOMS 30 PSF
OTHER THAN BEDROOMS 40 PSF
EXTERIOR DECK 40 PSF
SNOW LOAD 50PSF

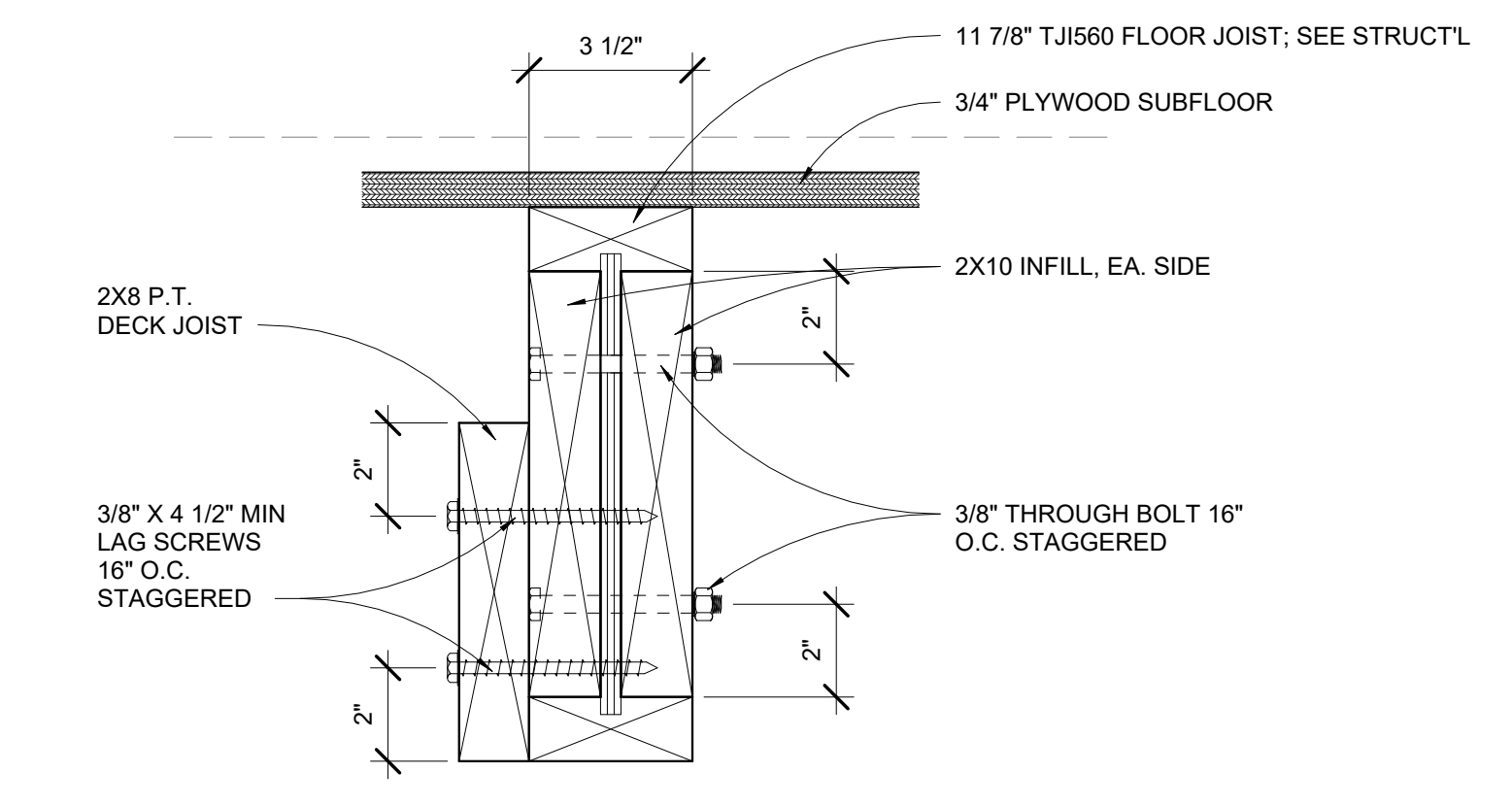
PROPOSED FRAMING
 BRACE WALL BELOW
 BRACE WALL ABOVE



1 FRAMING - 2ND FLOOR
 1/4" = 1'-0"



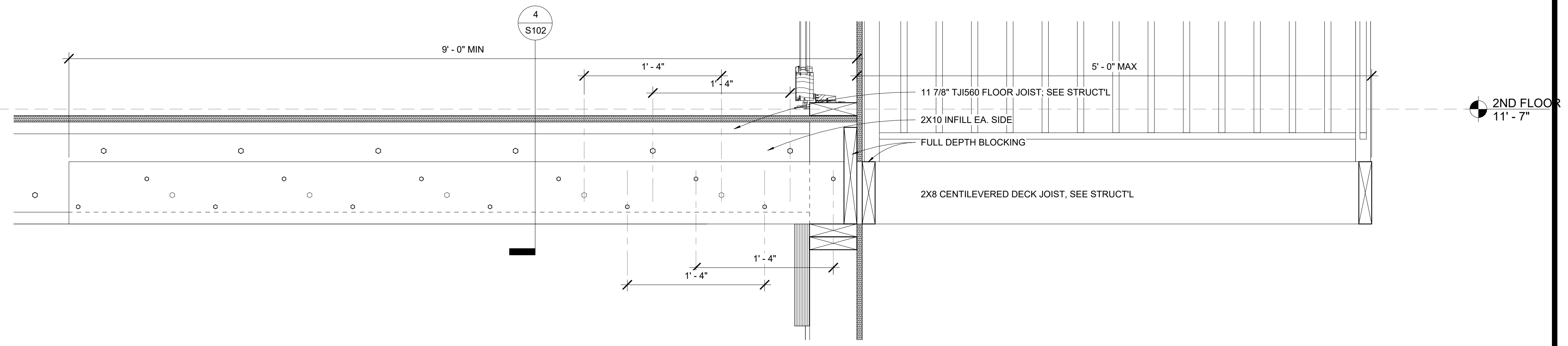
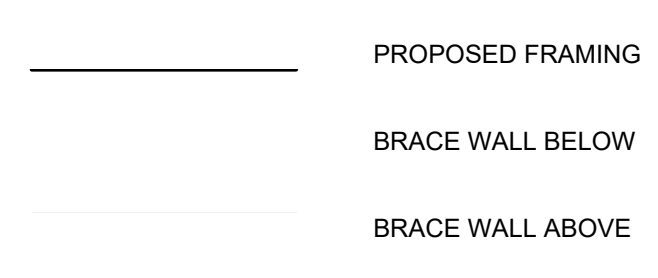
2 FRAMING - ROOF
 1/4" = 1'-0"



4 SECTION DETAIL @ FLOOR JOIST
 3" = 1'-0"

FRAMING NOTES:

- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS; ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
- COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER) ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
- ENGINEERED LUMBER PROPERTIES:
 LVL: Fb=3100psi
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- ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED (P.T.)
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- SPLICE BEAMS AT SUPPORTS
- INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS.
- LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50PSF

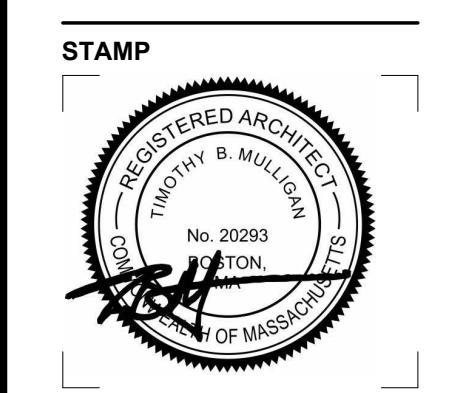


3 CANTILEVER DETAIL
 1 1/2" = 1'-0"

REVISIONS:

4. ROOF FRMG	1.22.24
5. PLAN REV	2.6.24
6. FRMING REV	3.4.24
7. ENTRY STAIRS	3.12.24

DRAWING TITLE:
**2ND FLOOR &
 ROOF
 FRAMING
 PLANS**

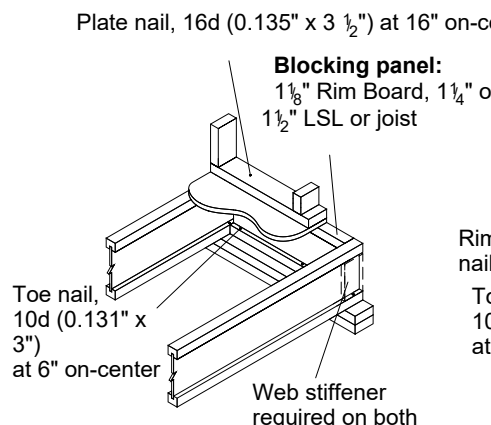


October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION
 DOCUMENT PHASE
 As indicated
 SCALE
 2325.00
 PROJECT #

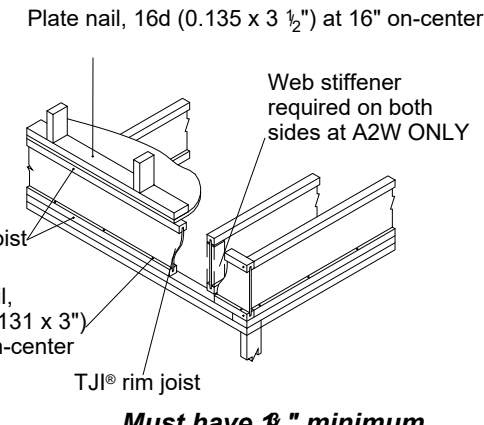
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S102

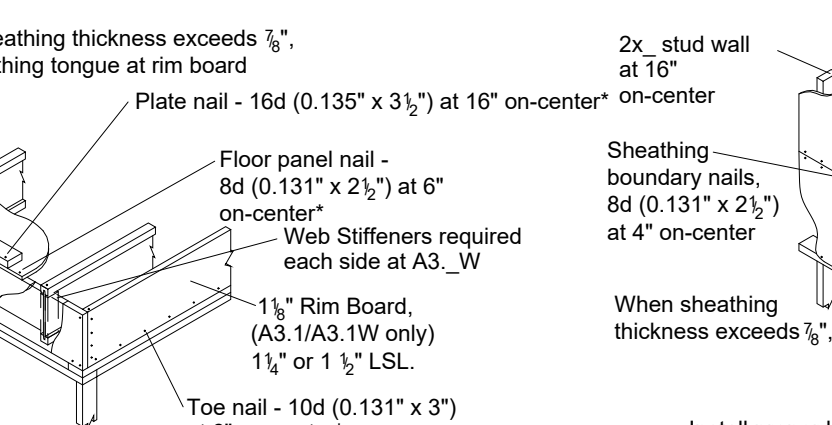
JOIST DETAILS



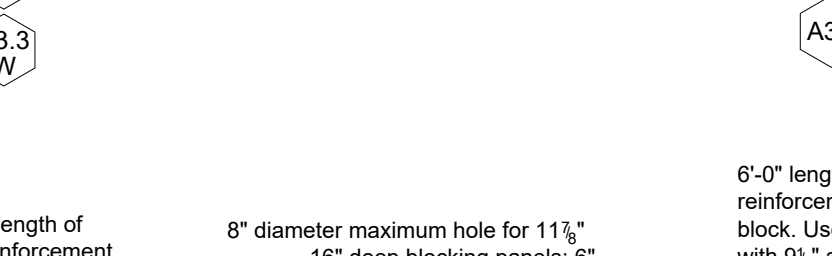
A1 A1W* A2 A2W* A3 A3.1 A3.2 A3.3



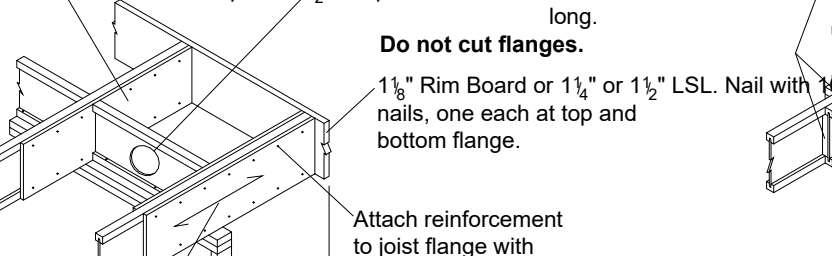
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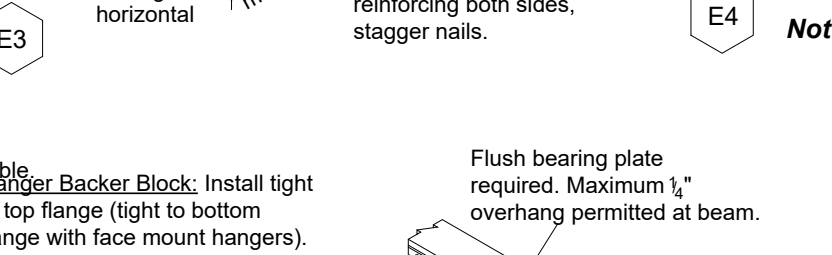
E1 E1W E2 E3



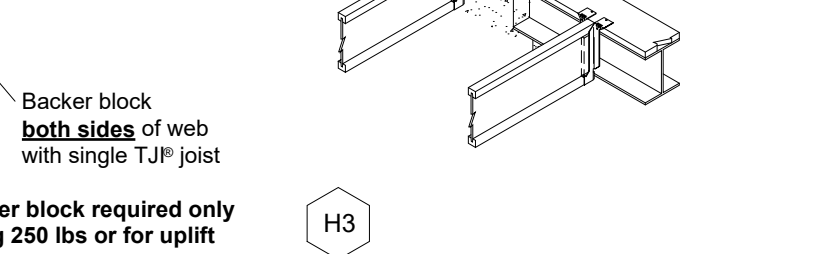
E4 E5 E6



E7 E8

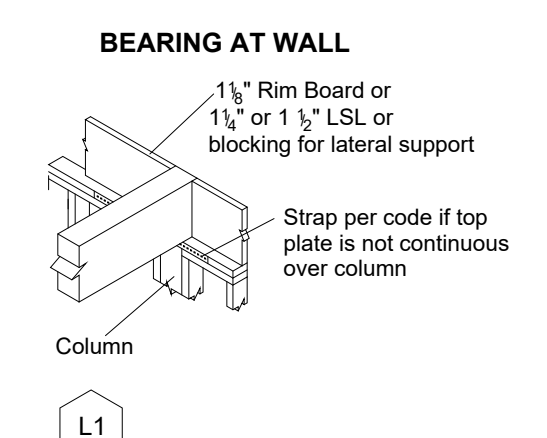


E9 E10

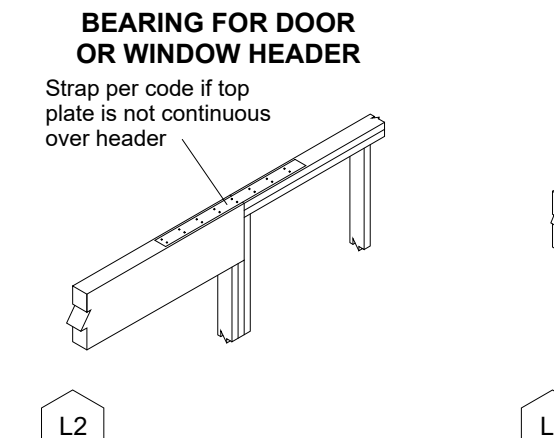


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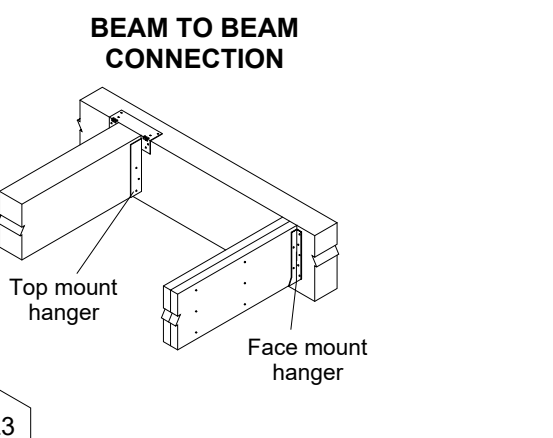
BEAM DETAILS



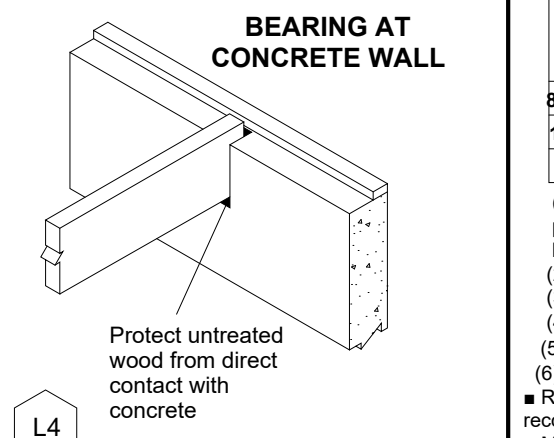
L1



L2



L3



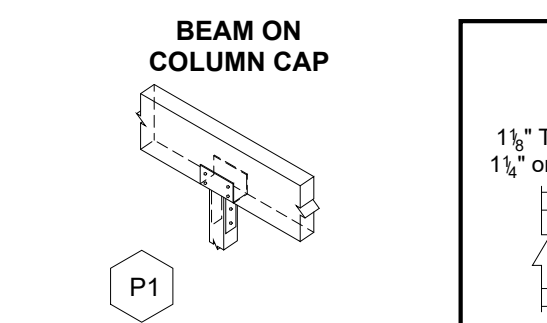
L4

Multiple-Member Connections for Top-Loaded Beams

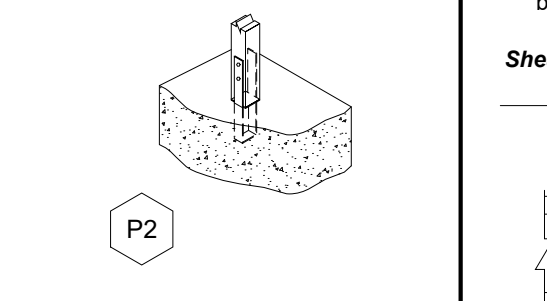
Plies	Fastener Installation				Location
	Type ⁽¹⁾	Min. Length	# Rows	O.C. Spacing	
2	10d nails	3"	3"	12"	One side
	12d-16d nails	3 1/2"	2"	24"	One side
3	10d nails	3"	3"	12"	Both sides
	12d-16d nails	3 1/2"	2"	24"	Both sides
4	10d nails ⁽²⁾	3"	3"	12"	One side (per ply)
	12d-16d nails ⁽²⁾	3 1/2"	2"	24"	One side
3 1/2"	Screws	5" or 6"	2	24"	Both sides
	Screws	6 3/4"	2	24"	One side
1 1/2"	Screws	5" or 6"	2	24"	Both sides
	Screws	6 3/4"	2	24"	One side
1/2" bolts					

(1) 10d nails are 0.128" diameter, 12d-16d nails are 0.148" - 0.162" diameter; screws are SDS, SDW, USP WS
 (2) An additional row of nails is required with depths of 14" or greater
 (3) When connecting 4-ply members, nail each ply to the other and offset nail rows by 2" from the rows in the ply below.

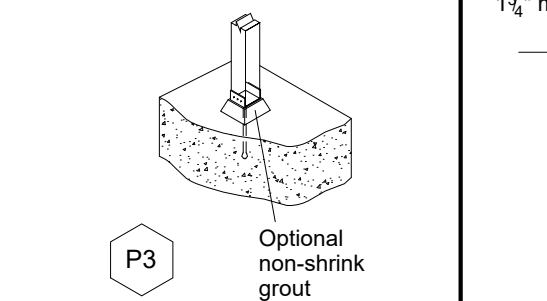
COLUMN DETAILS



P1

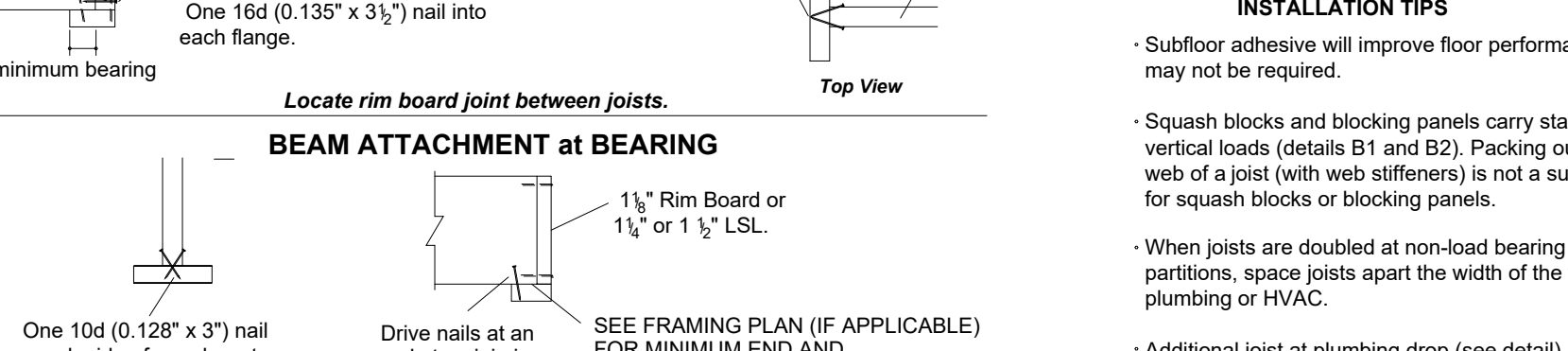
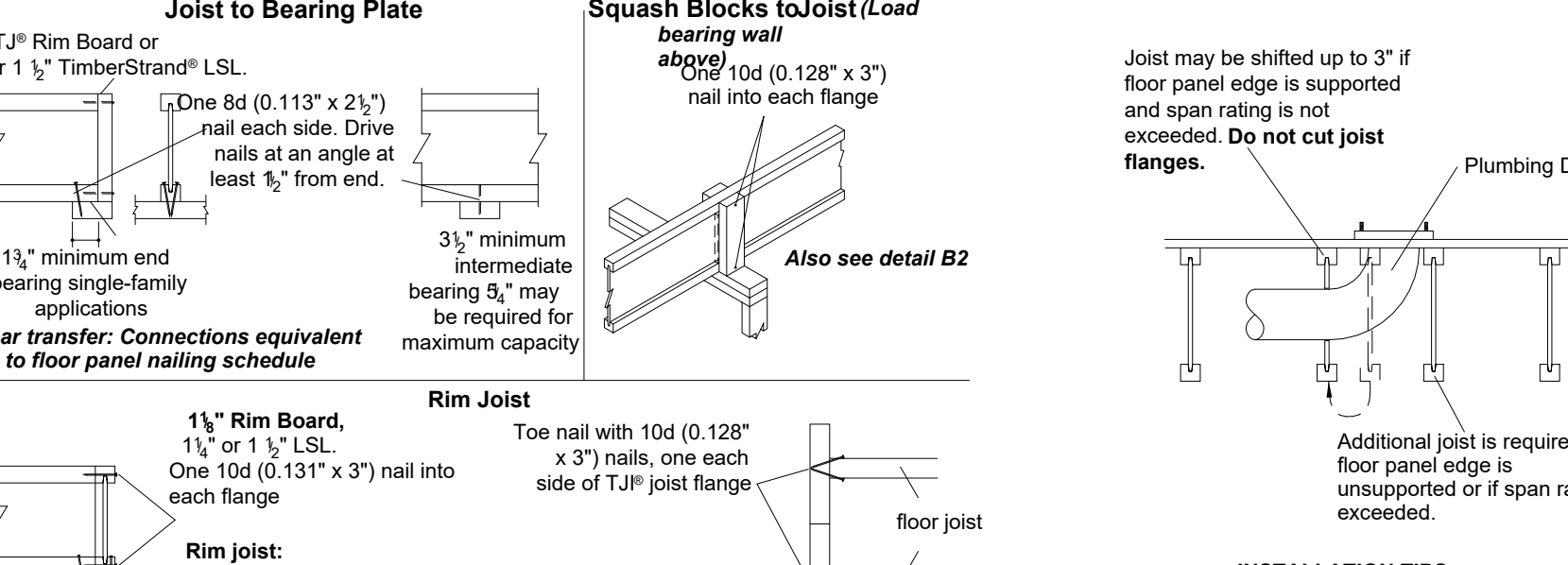


P2



P3

NAILING AT BEARING (FLOOR)

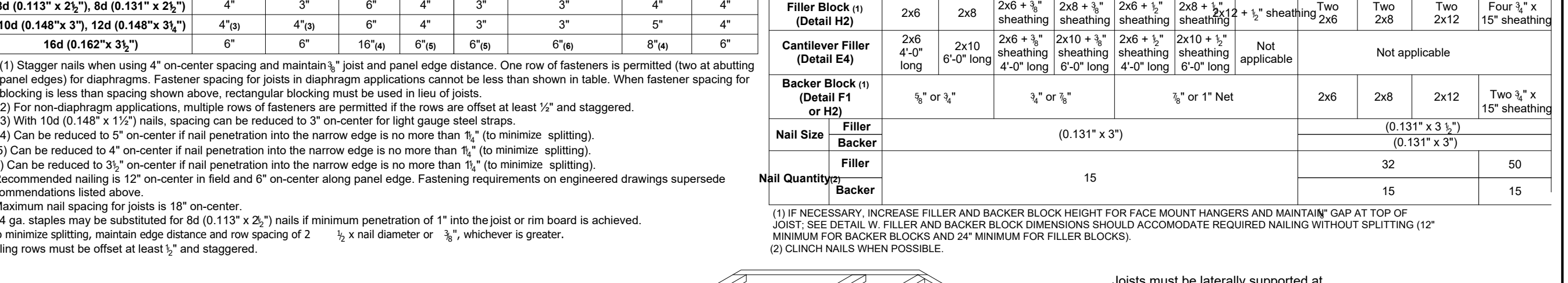


SEE FRAMING PLAN (IF APPLICABLE) FOR MINIMUM END AND INTERMEDIATE BEARING LENGTHS.

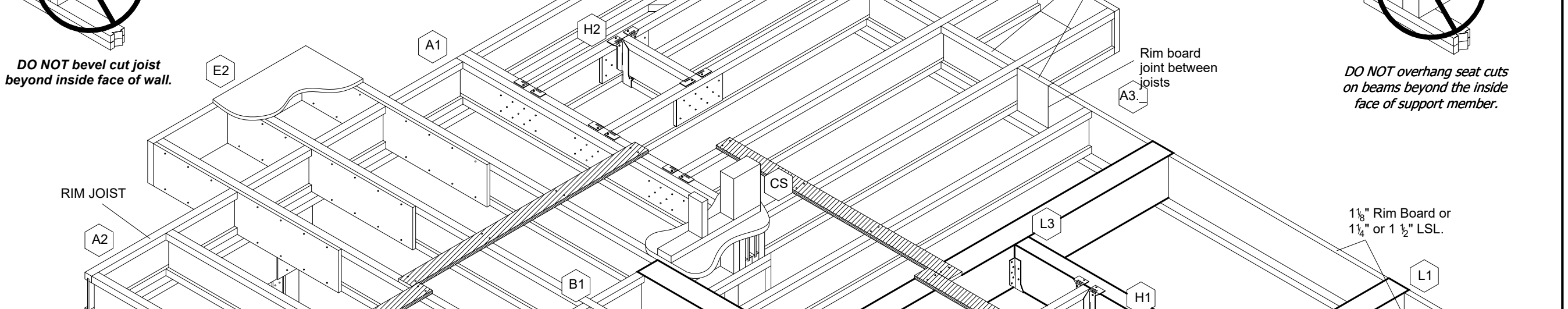
FASTENING OF FLOOR PANELS

Nail Size	Rim Board				1 1/2" Timber Strand® LSL or wider		MicroLam™ LVL		Paralam™ PSL	
	110, 210, and 230	360	560	660	11"	13"	15"	17"	19"	21"
8d (0.131" x 2 1/2"), 8d (0.131" x 3"), 10d (0.145" x 3"), 12d (0.145" x 3 1/2")	4"	3"	6"	4"	3"	4"	4"	4"	4"	4"
16d (1.62" x 3 1/2")	4"	4 1/4"	6"	6 1/4"	6"	6"	6 1/4"	6 1/4"	6 1/4"	6 1/4"

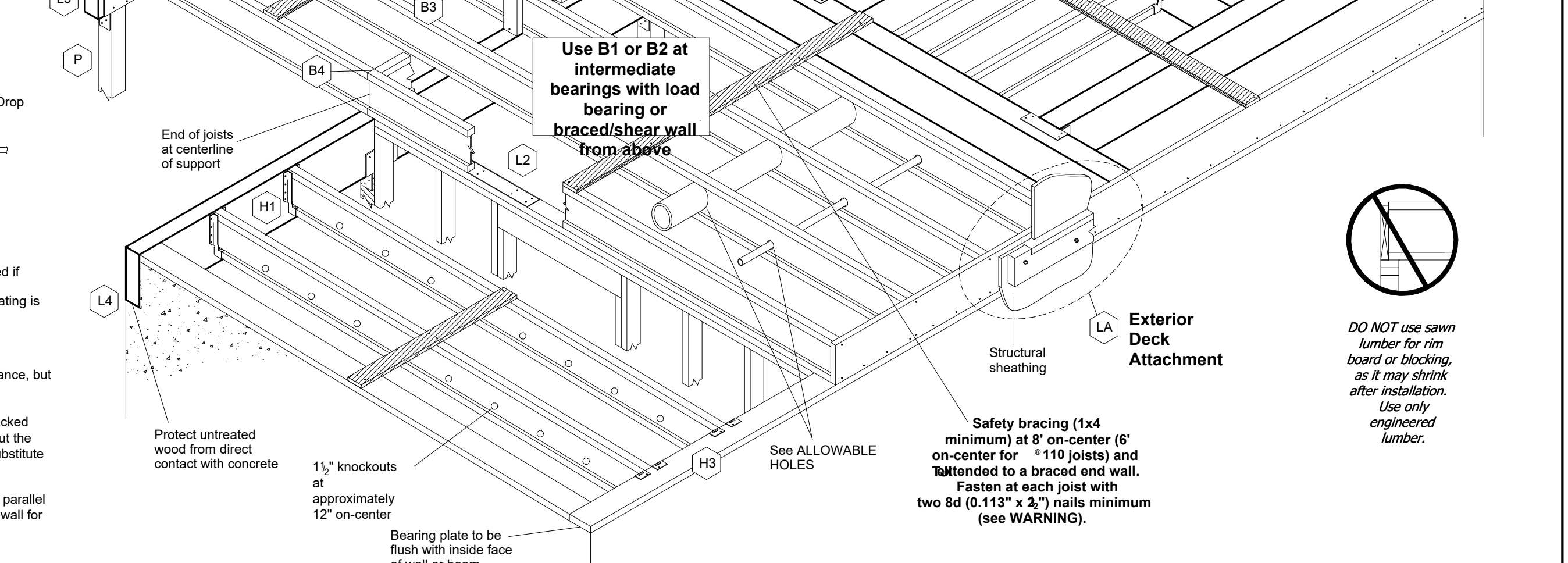
(1) Stagger nails when using 4" on-center spacing and maintain 1/2" joist and panel edge distance. One row of fasteners is permitted (two at abutting panel edges) for diaphragms. Fastener spacing for joists in diaphragm applications cannot be less than shown in table. When fastener spacing for blocking is less than spacing shown above, rectangular blocking must be used in lieu of joists.
 (2) For non-diaphragm applications, multiple rows of fasteners are permitted if the rows are offset at least 1/2" and staggered.
 (3) With 10d (0.145" x 3") nails, spacing can be reduced to 3" on-center for light gauge steel studs.
 (4) Can be reduced to 3" on-center if nail penetration into the narrow edge is no more than 1/4" (to minimize splitting).
 (5) Can be reduced to 4" on-center if nail penetration into the narrow edge is no more than 1/2" (to minimize splitting).
 (6) Can be reduced to 3 1/2" on-center if nail penetration into the narrow edge is no more than 1/4" (to minimize splitting).
 (7) Recommendations listed above.
 (8) Recommended nailing is 12" on-center in field and 6" on-center along panel edge. Fastening requirements on engineered drawings supersede recommendations listed above.
 (9) Maximum nail spacing for joists is 18" on-center.
 (10) 14 ga. staples may be substituted for 8d (0.131" x 2 1/2") nails if minimum penetration of 1" into the joist or rim board is achieved.
 (11) To minimize splitting, maintain edge distance and row spacing of 2" 1/2" x nail diameter or 3/8" whichever is greater.
 (12) Nailing rows must be offset at least 1/2" and staggered.



JOIST FLOOR FRAMING DOES NOT REQUIRE BRIDGING OR MID-SPAN BLOCKING

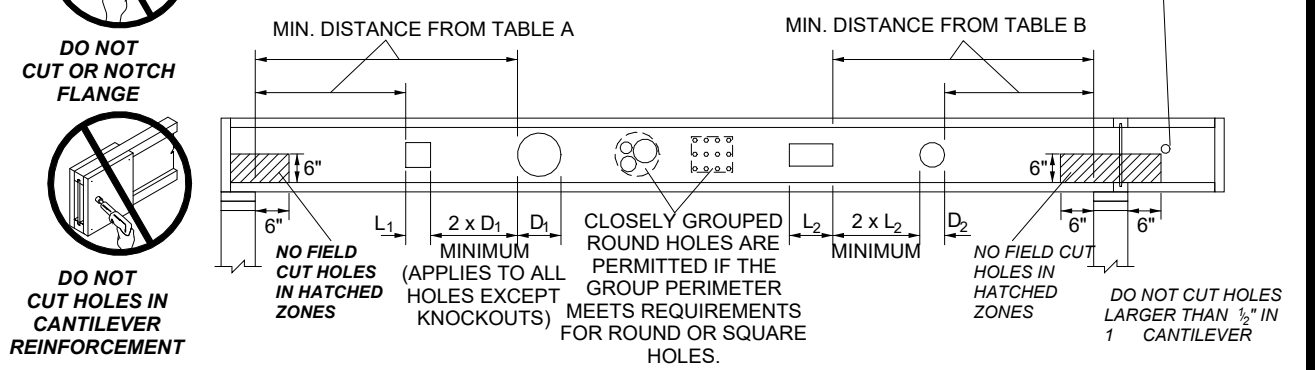


BEARING OF BRACED/SHEAR WALL ABOVE



SEE ALLOWABLE HOLES

ALLOWABLE HOLES - JOISTS



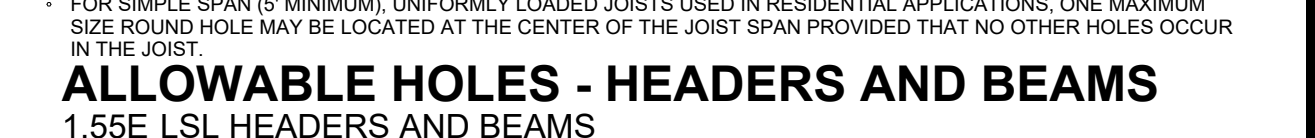
JOIST DEPTH	T&J ¹	ROUND HOLE SIZE						SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	5"	6"	8"	2"	3"	4"	5"	6"	8"	
9 1/2"	110	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	210	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	560	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
11 1/2"	110	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	210	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	560	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"

JOIST DEPTH	T&J ¹	2"	3"	4"	5"	6"	8"	10"	12"	14 1/2"	16 1/2"
18"	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"	6 0"	11 0"	13 6"
20"	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"	6 0"	11 0"	13 6"
24"	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"	6 0"	11 0"	13 6"

TABLE B - INTERMEDIATE OR CANTILEVER SUPPORT

JOIST DEPTH	T&J ¹	ROUND HOLE SIZE						SQUARE OR RECTANGULAR HOLE SIZE						
		2"	3"	4"	5"	6"	8"	2"	3"	4"	5"	6"	8"	
9 1/2"	110	2 0"	2 1/4"	3 0"	4 6"	5 0"	7 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	210	2 0"	2 1/4"	3 0"	4 6"	5 0"	7 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	360	3 0"	4 0"	5 0"	6 0"	7 0"	10 0"	3 0"	4 0"	5 0"	6 0"	7 0"	10 0"	
	560	4 0"	5 0"	6 0"	7 0"	10 0"	13 0"	4 0"	5 0"	6 0"	7 0"	10 0"	13 0"	
11 1/2"	110	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	210	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	360	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"
	560	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	5 0"	1 1/2"	1 3/4"	2 0"	2 1/4"	3 0"	4 6"	5 0"

ALLOWABLE HOLES - HEADERS AND BEAMS



DEPTH	MAX ROUND HOLE SIZE	
	HDR OR BEAM	1.55E LSL
3"	1 1/2"	1 1/2"
3 1/2"	1 3/4"	1 3/4"
4"	1 5/8"	1 5/8"

OTHER HEADERS AND BEAMS



DEPTH	MAX ROUND HOLE SIZE	
	HDR OR BEAM	1.35E LSL
4 1/2"	1 1/2"	1 1/2"
5 1/2"	1 3/4"	1 3/4"
7 1/2"	1 5/8"	1 5/8"

GENERAL NOTES

- ALLOWED HOLE ZONE SUITABLE FOR HEADERS AND BEAMS WITH UNIFORM AND/OR CONCENTRATED LOADS ANYWHERE ALONG THE MEMBER.
- ROUND HOLES ONLY
- NO HOLES IN HEADERS OR BEAMS IN PLANK ORIENTATION.

OTHER HEADERS AND BEAMS

- ALLOWED HOLE ZONE SUITABLE FOR HEADERS AND BEAMS WITH UNIFORM LOADS ONLY.
- ROUND HOLES ONLY
- NO HOLES IN CANTILEVERS.
- NO HOLES IN HEADERS OR BEAMS IN PLANK ORIENTATION.

ARCHITECT
S47a
 studio47 architects, inc
 517 Boston Post Rd
 Suite #30
 Sudbury, MA 01776
 P: 508.500.4730
 www.s47a.com

PROJECT:
Tierney St Residence
 41 Tierney St
 Cambridge, MA 02138

CLIENT:
River Front Realty
 275 Main St
 Boston, MA 02129

PROJECT TEAM:

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:

ENGINEERED FRAMING DETAILS

STAMP



October 12, 2023
 DATE OF ISSUE
 CONSTRUCTION DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2325.00
 PROJECT #

DRAWING NUMBER:

S103

REFERENCES

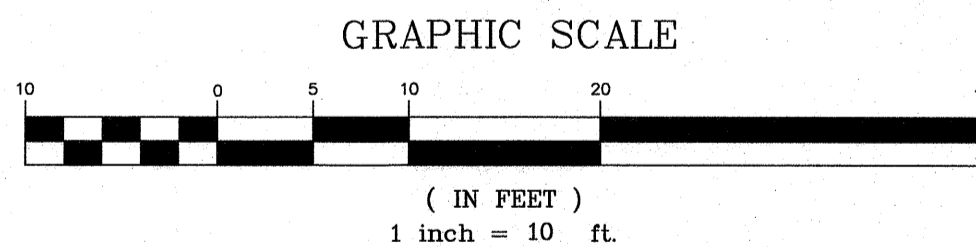
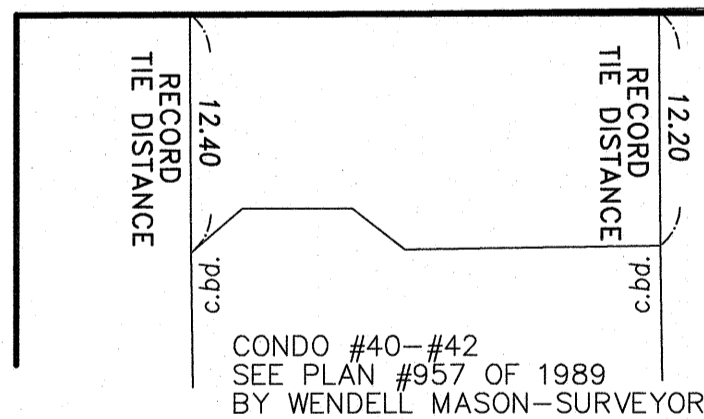
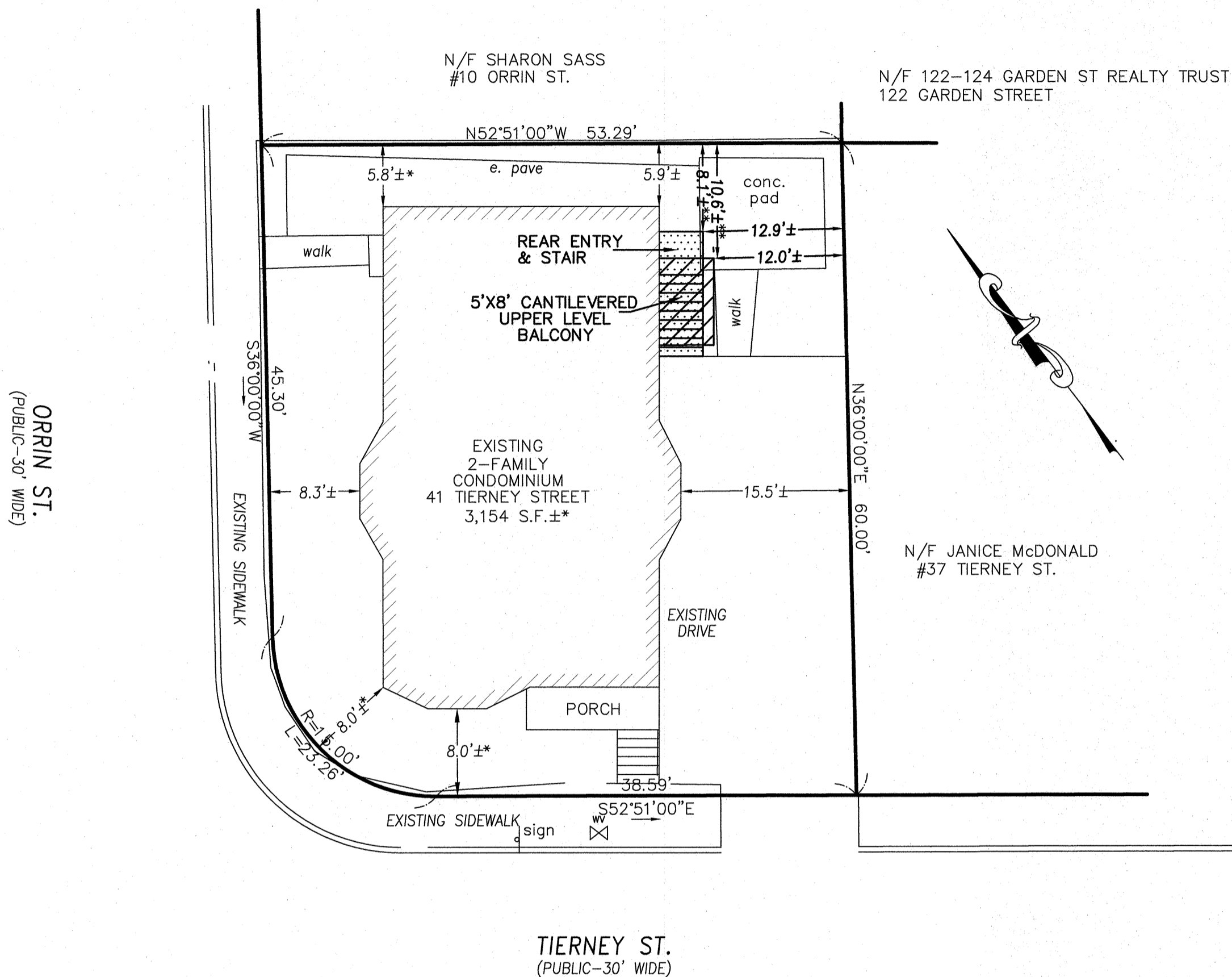
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 PLAN BK. 89 PL. #14 BY W.A. MASON & SONS
 SURVEYORS MARCH 9, 1895
 PLAN #957 OF 1989
 PLAN #1553 OF 1987
 ASSESSORS MAP 229 PCL. 32
 CITY OF CAMBRIDGE ENGINEERING PLAN
 STR-11-22
 SEW-17-44
 CITY OF CAMBRIDGE AS-BUILT SEWERAGE &
 DRAINAGE PLAN DATED 11/26/1974

ZONING

ZONING DISTRICT	REQUIRED	PROVIDED
	B	
LOT AREA	5,000 S.F.	3,154± S.F.*
LOT FRONTAGE	50 ft.	107.15 ft.
F.A.R.	0.5	0.74*
FRONT YARD	15 ft.	8.0± ft.*
SIDE YARD	7.5 ft.	12.0± ft.
REAR YARD	25 ft.	5.8± ft.*
		8.1± ft. NEW STAIR**
		10.6± ft. UPPER LEVEL BALCONY**

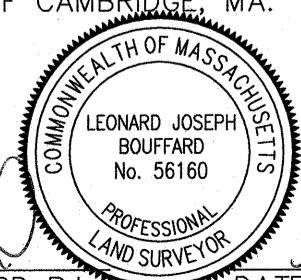
* DENOTES PRE-EXISTING NON-CONFORMANCE TO CURRENT ZONING REGULATION. DWELLING WAS CONSTRUCTED PRIOR TO THE ADOPTION OF THE ZONING ACT BY THE STATE OF MASSACHUSETTS IN 1954

** DENOTES VIOLATION OF CURRENT ZONING REGULATION-VARIANCE REQUIRED



I HEREBY CERTIFY THAT THE DWELLING SHOWN HEREON IS AS ACTUALLY FIELD LOCATED BY INSTRUMENT SURVEY, CONFORMED TO THE ZONING REGULATIONS OF THE CITY OF CAMBRIDGE, MA AT THE TIME OF CONSTRUCTION, PROPOSED CONSTRUCTION CONFORMS - EXCEPT WHERE NOTED- TO THE ZONING REGULATIONS OF THE CITY OF CAMBRIDGE, MA.

[Signature]
 LEONARD JOSEPH BOUFFARD P.L.S. DATE



SITE PLAN
 41 TIERNEY STREET
 CAMBRIDGE, MA
 FOR
 41 TIERNEY STREET LLC
 CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191

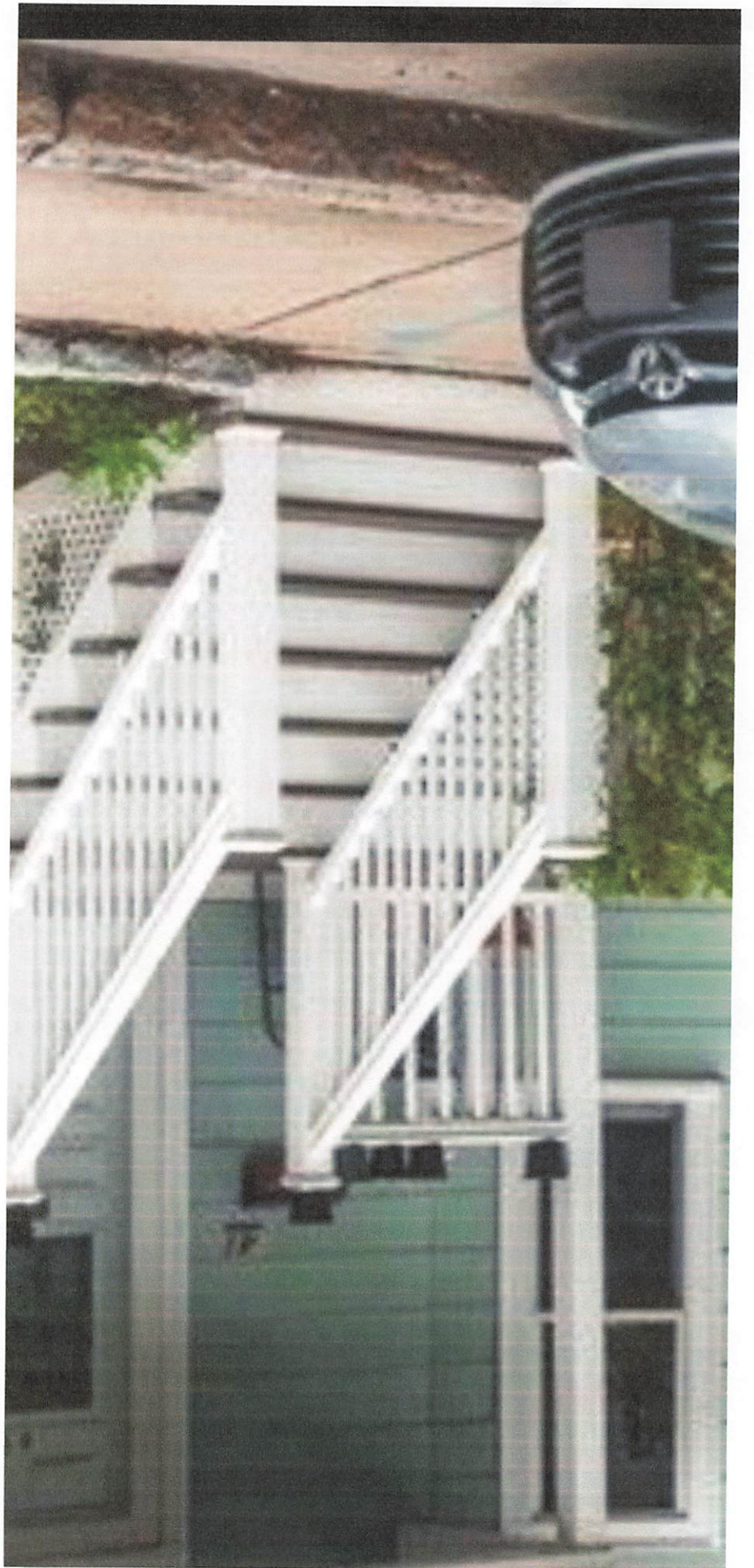
SHEET NO: 1 OF 1	DATE: 5/21/2024 JOB: 4620
DRAWN BY: L.J.B.	

41 Tierney St.
BZA-272231











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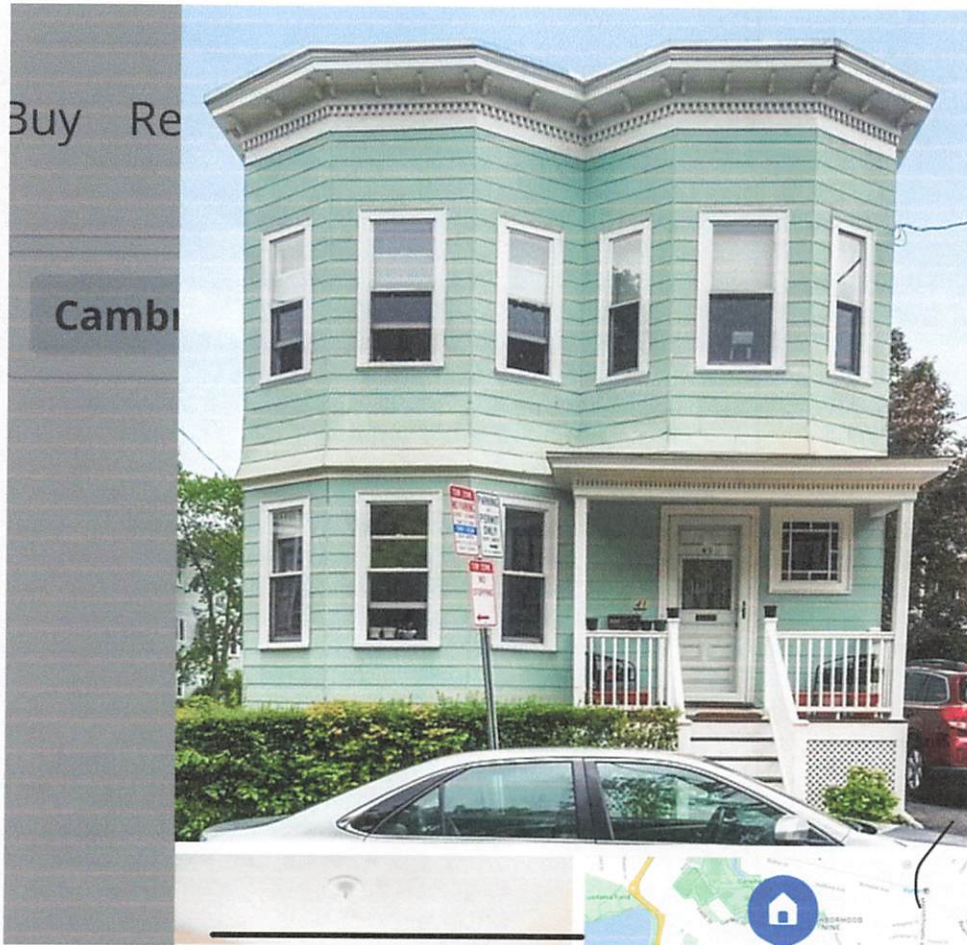
41 Tierney St, Cambridge, MA 02138 | Zillow

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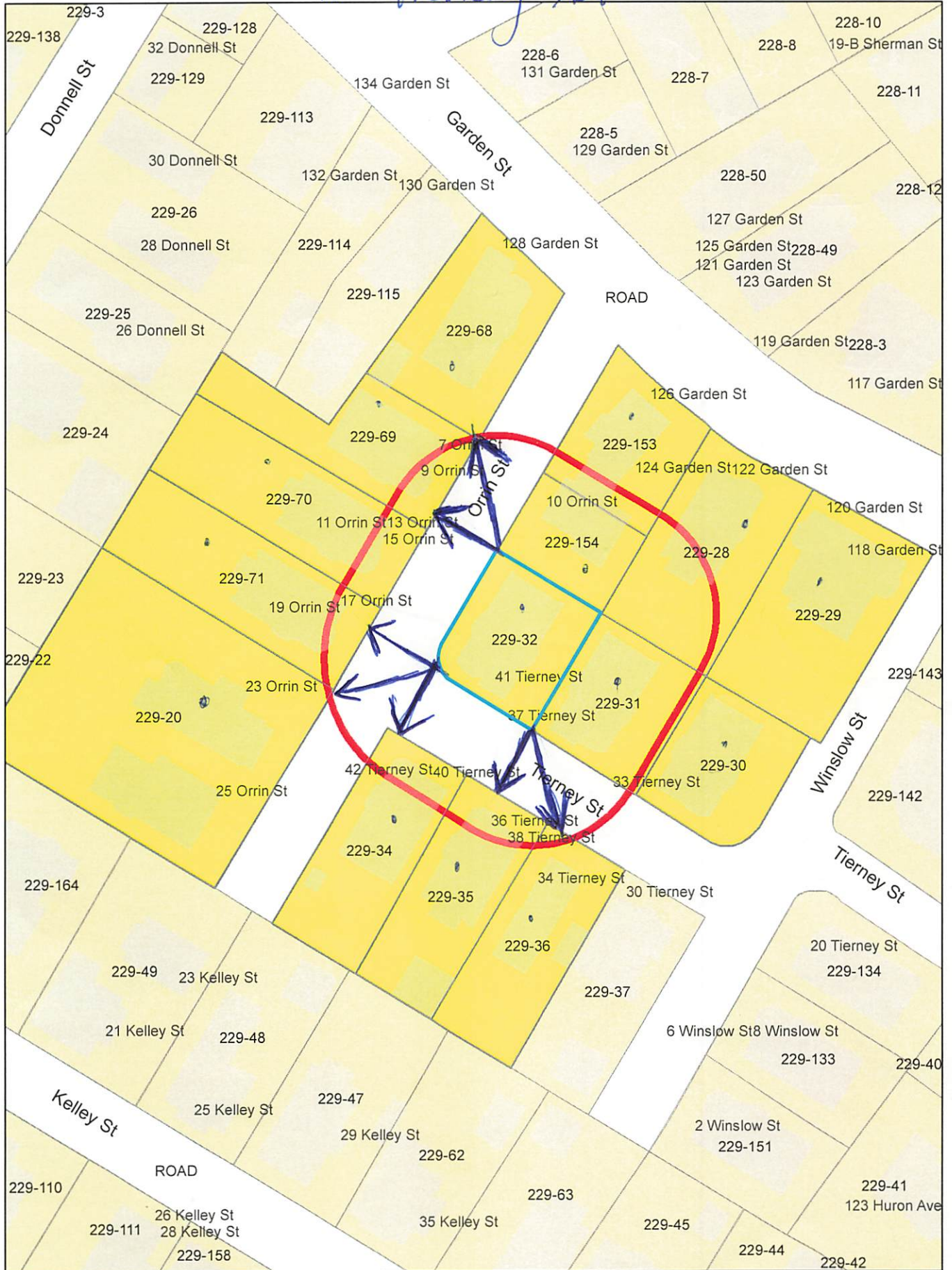
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Est. r

Hom



41 Tierney St.



41 Tierney St.

Petitioner

229-20
RIMER, EDWARD S.III &
25 ORRIN ST UNIT B
CAMBRIDGE, MA 02138

229-34
BOUTAUD, FREDERIC C.
TR. OF THE BOUTAUD FAMILY REALTY TR
5 FULTON RD
LEXINGTON, MA 02420

GERALD McCARTHY
11 NEBO
MEDFIELD, MA 02052

229-29
SULLIVAN, BRENDAN J. & PATRICIA R.
TRST OF 118-120 GARDEN ST REALTY TR.
118-120 GARDEN ST
CAMBRIDGE, MA 02138

229-34
KREISBERG, SANFORD,
TR. THE SANDFORD KREISBERG REV TR
40-42 TIERNEY ST UNIT 3
CAMBRIDGE, MA 02138

229-68
PENDERGAST, JOY K.
TR. 128 GARDEN ST CAMBRIDGE N.T
5645 AVISTA DR
SARASOTA, FL 34243

229-154
SASS, SHARON
10 ORRIN ST
CAMBRIDGE, MA 02138

229-20
WILLIAMS, SIMON F. &
ELIZABETH J. WILLIAMS
23 ORRIN ST UNIT A
CAMBRIDGE, MA 02138

229-31
MCDONALD, JANICE L.
37 TIERNEY ST
CAMBRIDGE, MA 02138-1319

229-71
JFM MARITAL, LLC
C/O STEPHEN MCEVOY
15 DAY SCHOOL LANE
BELMONT, MA 02478

229-28
SULLIVAN, BRENDAN J. & PATRICIA R.
TR OF 122-124 GARDEN ST REALTY TR
118 GARDEN ST
CAMBRIDGE, MA 02138

229-34
PELON PUTUKIAN
REALTY LIMITED LIABILITY PARTNERSHIP
145 TRAPELO RD
LINCOLN, MA 01773

229-36
SIMONS THOMAS W MARGARET Q SIMONS
TRUSTEE
34 TIERNEY ST
CAMBRIDGE, MA 02138

229-35
PE TIERNEY STREET LLC
55 WENDELL ST
CAMBRIDGE, MA 02138

229-70
LEOFANTI, PAUL & JAY PABIAN,
TRS JOHN W. MCEVOY, MARY JANE WALSH, TRS &
CHRISTINE MCEVOY
80 CUSHING ST
BELMONT, MA 02478

229-30
TAYLOR DAVID & NICOLE NEWENDORP
TRS THE NT HOLDING TR
33 TIERNEY ST
CAMBRIDGE, MA 02138

229-153
LIM, NICOLE SY HIROKAZU MIYAKE TRS
126 GARDEN ST
CAMBRIDGE, MA 02138

229-32
41 TIERNEY STREET LLC
275 MAIN ST
BOSTON, MA 02129

229-69
SCM FAMILY LLC
15 DAY SCHOOL LANE
BELMONT, MA 02478



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*, Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
Joseph V. Ferrara, Chandra Harrington, Elizabeth Lyster; Jo M. Solet, Yuting Zhang, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 41 Tierney Street:

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II).
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date June 12, 2024

Received by uploaded to OpenGov

Date June 12, 2024

Relationship to project emailed to BZA applicant

cc: Applicant
Inspectional Services Department (BZA Case#272231)