



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 DEC 19 PM 12:07

CITY OF THE CITY OF
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 252425

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Michael Brodie C/O Michael W. Wiggins, Attorney.

PETITIONER'S ADDRESS: One Liberty Square Suite 1210, Boston, MA 02109

LOCATION OF PROPERTY: 45-7 Cogswell Ave., Cambridge, MA

TYPE OF OCCUPANCY: Single Family.

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Small addition at rear of building on first, second and third floor levels and relocation of deck on second floor.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.2.c & 8.22.2.d (Non-Conforming Structure).
- Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

Michael Brodie
by his attorney Michael W. Wiggins
duly authorized

(Petitioner(s) / Owner)
Michael Brodie by his attorney
Michael W. Wiggins duly authorized

(Print Name)
One Liberty Square Ste 1210
Boston, MA 02109

Address:

Tel. No.

E-Mail Address:

6178806313

mww@westonpatrick.com

Date: 12/18/23

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Michael L. Brodie
(OWNER)

Address: 45-7 Cogswell Avenue

State that I/We own the property located at 45-7 Cogswell Avenue, which is the subject of this zoning application.

The record title of this property is in the name of Michael L. Brodie
Trustee of the Michael L. Brodie 2013 Revocable Trust

*Pursuant to a deed of duly recorded in the date 11/07/2013, Middlesex South County Registry of Deeds at Book 62895, Page 557; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____

Michael L. Brodie Trustee of Michael L. Brodie Revocable Trust
by Michael W. Wiggins, duly authorized
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

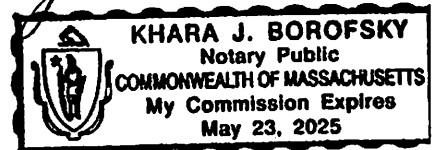
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Michael W. Wiggins personally appeared before me, this 15th of December 2023, and made oath that the above statement is true.

Khara J. Borofsky Notary

My commission expires May 23 2025 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 45-7 Cogswell Ave., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The modest extension of the building by 4 feet 5 inches at the rear will be in line with the abutting townhouse and will be consistent with the townhouses in the established townhouse development area on Cogswell Avenue in which locus is located.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The current occupancy as a single family will remain the same; there will be no additional vehicles parked at the site, nor will the parking area and access to or from the site be changed.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The addition at the rear is modest and will leave significant remaining rear and side yard space open while aligning with the rear wall of the abutting townhouse. The use of the building will remain single family, so the intensity of use and its effect upon adjacent uses will be unchanged.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The use of the property as a single family will remain unchanged, and the interior space afforded will benefit the occupants. Open space on the property after the improvements will remain well in excess of minimum requirements and the small projection of the building at the rear will preserve adequate open space so as not to adversely affect the health, safety or welfare of abutters.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The small addition at the rear of this townhouse building will blend in well with other townhouses and single family dwellings in the immediate vicinity without clashing with the design and layout of other residences in the district.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Michael Brodie
Location: 45-7 Cogswell Ave., Cambridge, MA
Phone: 6178806313

Present Use/Occupancy: Single Family
Zone: Residence B Zone
Requested Use/Occupancy: single family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
TOTAL GROSS FLOOR AREA:		1,631	1,968	1,070.5	(max.)
LOT AREA:		2,141	2,141	5,000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		.762	.919	.500	
LOT AREA OF EACH DWELLING UNIT		2,141	2,141	2,500	
SIZE OF LOT:	WIDTH	39.0	39.0	N/A	
	DEPTH	54.9	54.9	n/a	
SETBACKS IN FEET:	FRONT	13' 11.5"	13' 11.5"	15'	
	REAR	19'2"	14' 9"	25' 0"	
	LEFT SIDE	18' 7"	18' 7"	12' 6"	
	RIGHT SIDE	0' 0"	0' 0"	7'6"	
SIZE OF BUILDING:	HEIGHT	30' 2"	30' 2"	35' 0"	
	WIDTH	21' 4"	25' 9"	n/a	
	LENGTH	20' 5"	20'5"	n/a	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		69%	55%	40%	
NO. OF DWELLING UNITS:		1	1	1	
NO. OF PARKING SPACES:		1	1	1	
NO. OF LOADING AREAS:		n/a	n/a	n/a	
DISTANCE TO NEAREST BLDG. ON SAME LOT		13' 11.5"	11' 3.75"	10	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

shed, wood framed

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Michael W. Wiggins <mww@westonpatrick.com>
Sent: Monday, January 22, 2024 2:50 PM
To: Pacheco, Maria
Subject: 45-7 Cogswell
Attachments: Edit to Plan Sheet BZA-101 to insert grid line. No change to measurements.pdf

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2024 JAN 22 P 3:15

Maria,

Attached is the edit to plan sheet BZA-101. The only edit is to insert grid line 1.1 as a reference point for the measurements, which do not change.

Thanks,

Mike

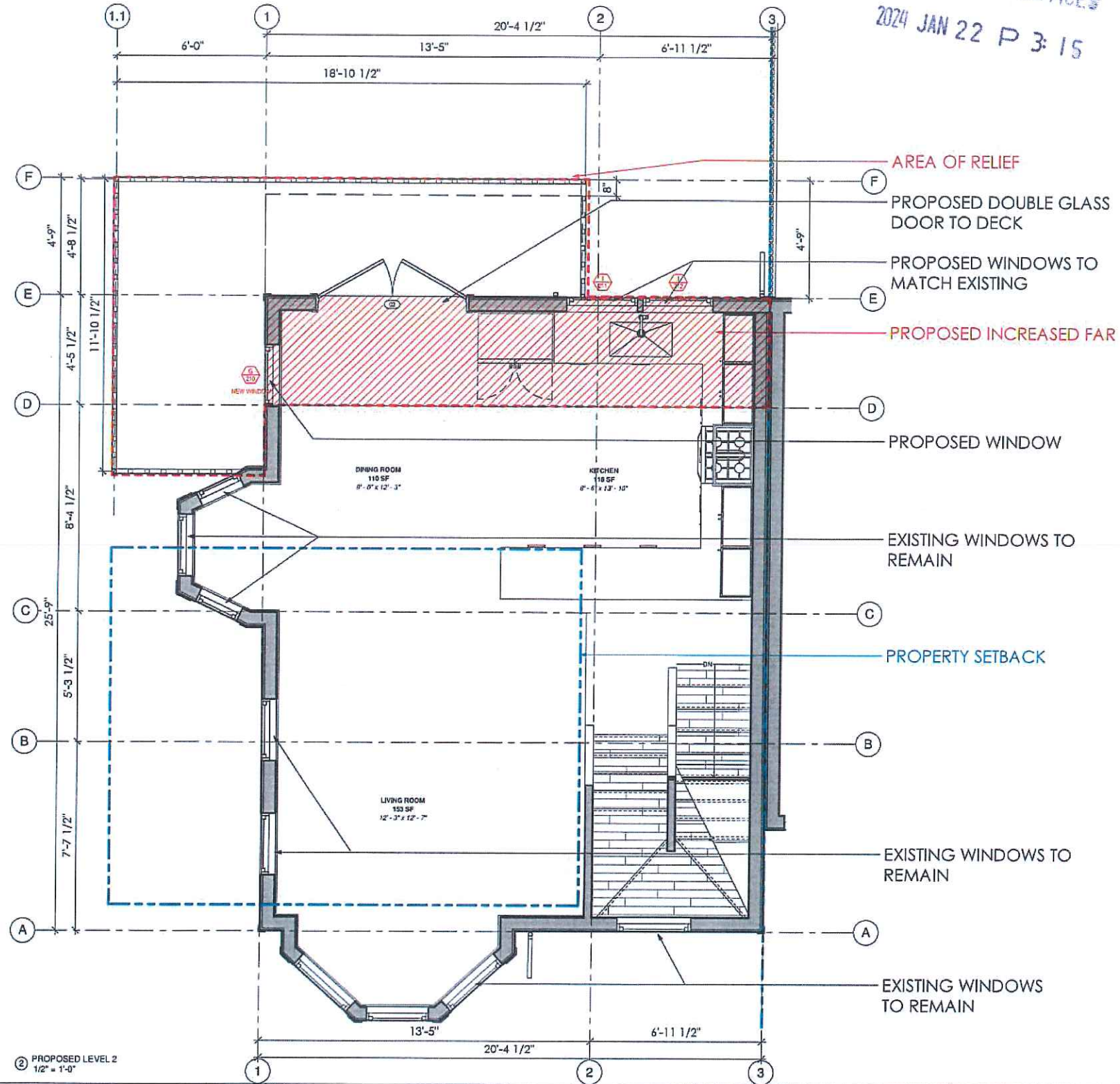
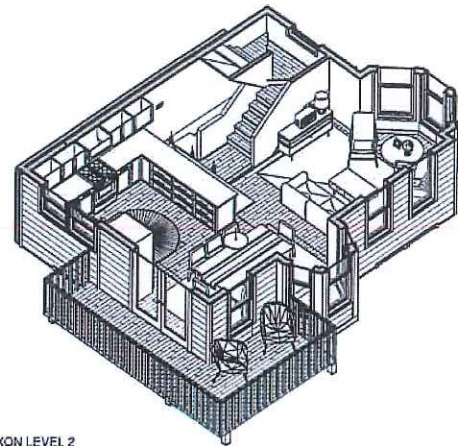
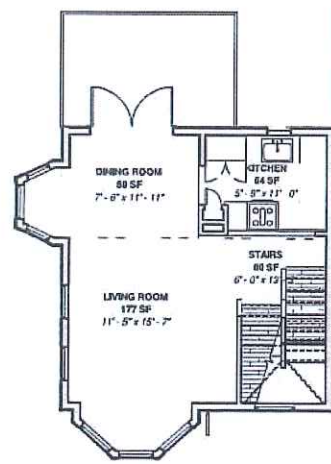
Michael W. Wiggins
Weston Patrick, P.A.
One Liberty Square, Suite 600
Boston, MA 02109-4825
Tel. 617-880-6300
Direct Line 617 880 6313
Fax 617 742-5734
Email mww@westonpatrick.com

The above message is a PRIVATE communication that may contain privileged or confidential information. If you receive it in error, please do not read, copy or use it and do not disclose or forward it to other. Please immediately notify the sender by reply email and then delete the message from your system. Thank you.

To ensure compliance with IRS requirements, please be advised that any U.S. federal tax advice that may be included in this communication is not intended or written to be used, and may not be used by any taxpayer, for the purpose of avoiding any federal tax or tax penalties. Any advice in this message is intended only for your use, and cannot be relied upon by any other person or used for any other purpose with the sender's written consent.

BZA-101 LEVEL 2

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2024 JAN 22 P 3:15



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 257 HURON AVE.
 CAMBRIDGE, MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 2

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project Number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-101
 Scale As indicated

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: Michael Brodie PRESENT USE/OCCUPANCY: Single Family

LOCATION: 45-7 Cogswell Ave ZONE: Residential B

PHONE: (616) 880 6313 REQUESTED USE/OCCUPANCY: Single Family

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>1,631</u>	<u>1,926</u>	<u> </u> (max.)
LOT AREA:	<u>2,141</u>		<u>2,500</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>.762</u>	<u>.900</u>	<u>.500</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>2,141</u>	<u>2,141</u>	<u>2,500</u> (min.)
SIZE OF LOT:			
WIDTH	<u>39'</u>		<u> </u> (min.)
DEPTH	<u>54.9'</u>		
Setbacks in Feet:			
FRONT	<u>13' - 11.5"</u>	<u>13' - 11.5"</u>	<u>15'-0"</u> (min.)
REAR	<u>19'-2"</u>	<u>14'-9"</u>	<u>25'-0"</u> (min.)
LEFT SIDE	<u>18'-7"</u>	<u>18'-7"</u>	<u>12'-6"</u> (min.)
RIGHT SIDE	<u>0'-0"</u>	<u>0'-0"</u>	<u>7'-6"</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>30'-2"</u>	<u>30'-2"</u>	<u>35'-0"</u> (max.)
LENGTH	<u>21'-4"</u>	<u>25'-9"</u>	
WIDTH	<u>20'-5"</u>	<u>20'-5"</u>	
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>62%</u>	<u>57%</u>	<u>40%</u> (min.)
NO. OF DWELLING UNITS:	<u>1</u>	<u>1</u>	<u>1</u> (max.)
NO. OF PARKING SPACES:	<u>1</u>	<u>1</u>	<u>1</u> (min./max)
NO. OF LOADING AREAS:	<u>0</u>	<u>0</u>	<u>0</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>N/A</u>	<u> </u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Single family home with car port and shed, wood frame 2.5 levels. Proposed construction is an addition at rear to align to adjacent building. Proposed addition will match existing construction

-
-
1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BRODIE RESIDENCE

MICHAEL BRODIE

45 COGSWELL AVE., #7 CAMBRIDGE, MA 02140

BZA Permit Set

01/18/2024

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2024 JAN 22 A 8:59

PROJECT DESCRIPTION

THIS PROJECT SCOPE IS AN ADDITION AT THE REAR OF STRUCTURE. THIS ADDITION WILL BE AT ALL LEVELS; LEVEL 1 WILL INCLUDE GUEST BEDROOM AND BATHROOM, LEVEL 2 WILL EXPAND THE KITCHEN AND DINING, AND LEVEL 3 MAIN BATHROOM AND BEDROOM. NEW ROOF AND SKYLIGHTS OVER ADDITION. PROPOSED DECK WILL EXTEND OVER EXISTING PATIO.

EXISTING



PROPOSED



ARCHITECT:

SAM KACHMAR
ARCHITECTS

(P) 617-901-6223
WWW.SKA-MA.COM
357 HURON AVE,
CAMBRIDGE MA, 02138



© 2023 SAM KACHMAR ARCHITECTS

ZONING LAWYER:

MICHAEL W. WIGGINS

GENERAL CONTRACTOR:

N/A

STRUCTURAL ENGINEER:

N/A

BZA-001 GENERAL NOTES

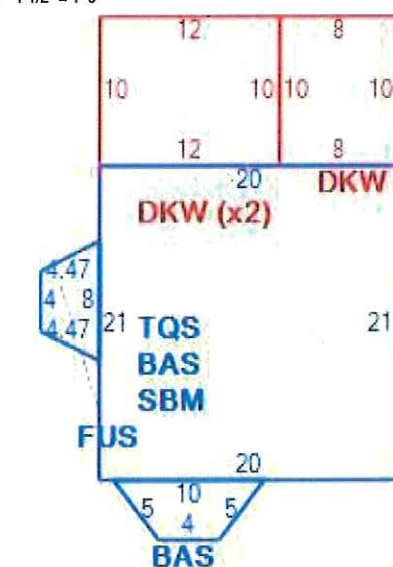
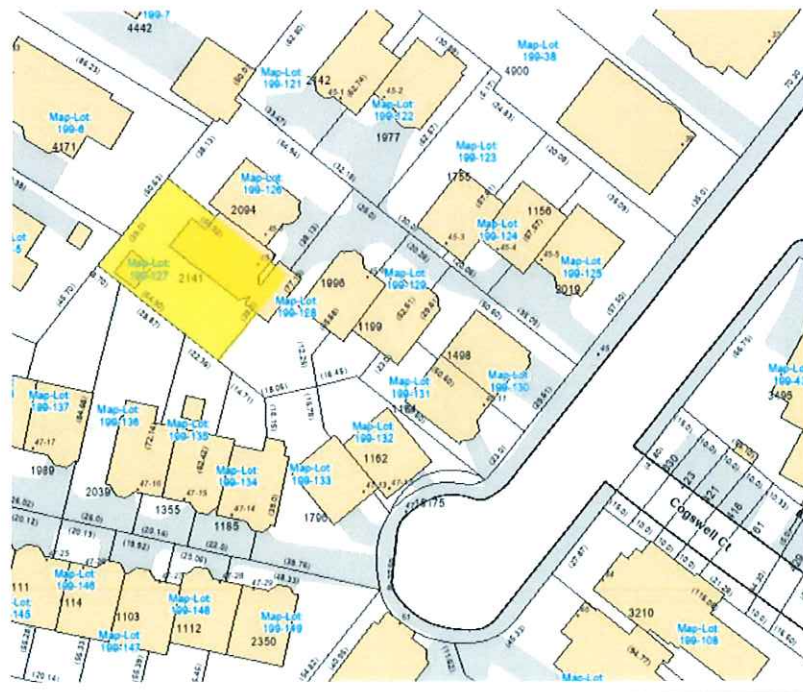
ABBREVIATIONS

#	NUMBER OR POUND	L	LENGTH
&,+	AND	LAM	LAMINATE, LAMINATED
@	AT	LB	POUND
ADJ	ADJUSTABLE	LGMF	LIGHT GAGE METAL FRAMING
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ALUM	ALUMINUM	LT WT	LIGHT WEIGHT
APPROX	APPROXIMATELY	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MDF	MEDIUM DENSITY FIBER
AVB	AIR AND VAPOR BARRIER	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BIT	BITUMINOUS	MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BSMT	BASEMENT	MISC	MISCELLANEOUS
BTWN	BETWEEN	MTD	MOUNTED
CF	CUBIC FEET	MTL	METAL
CI	CUBIC INCHES	N	NORTH
CJ	CONTROL JOINT	N/A	NOT APPLICABLE
CL	CENTERLINE	NIC	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR OR CLEARANCE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OPPOSITE HAND
CONT	CONTINUOUS	OPP	OPPOSITE
CORR	CORRIDOR, CORRUGATED	OSB	ORIENTED STRANDBOARD
CTR	CENTER	OVHD	OVERHEAD
D	DEPTH, DEEP	OZ	OUNCE (S)
DBL	DOUBLE	PATT	PATTERN (ED)
DEMO	DEMOLISH, DEMOLITION	PERF	PERFORATED
DIA	DIAMETER	PERP	PERPENDICULAR
DIM	DIMENSION	PLAM	PLASTIC LAMINATE
DN	DOWN	PLYWD	PLYWOOD
DTL	DETAIL	PNT	PAINT, PAINTED
DW	DISHWASHER	PR	PAIR
E	EAST	PREFAB	PREFABRICATE, PREFABRICATED
EA	EACH	QTY	QUANTITY
EJ	EXPANSION JOINT	RAD	RADIUS
EL	ELEVATION (GRADE)	RBR	RUBBER
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATION (FACE)	REF	REFERENCE
EOS	EDGE OF SLAB	REFR	REFRIGERATE, REFRIGERATOR
EQ	EQUAL, EQUIPMENT, EQUIP	REIN	REINFORCE, REINFORCED
ETR	EXISTING TO REMAIN	REQ	REQUIRE
EXG	EXISTING	REV	REVISION, REVISE, REVISED
EXP	EXPOSED	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
FAB	FABRICATE, FABRICATION	S	SOUTH
FD	FLOOR DRAIN	SCHED	SCHEDULE
FF	FINISHED FLOOR	SF	SQUARE FEET
FL	FLOOR	SI	SQUARE INCHES
FOW	FACE OF WALL	SIM	SIMILAR
FT	FEET, FOOT	SPEC	SPECIFICATION
GA	GAUGE	SQ	SQUARE
GALV	GALVANIZED	SS, SST	STAINLESS STEEL
GL	GLASS, GLAZING, GLAZED	STC	SOUND TRANSMISSION CLASS
GWB	GYPSPUM WALLBOARD, BACKING BOARD	STL	STEEL
GYP	GYPSPUM	STOR	STORAGE
H	HIGH	STR	STAIR
HDWD	HARDWOOD	T.O.	TOP OF
HM	HOLLOW METAL	U.O.	UNDERSIDE OF
HORIZ	HORIZONTAL	UON	UNLESS OTHERWISE NOTED
HVAC	HEATING, VENTILATING & AIR CONDITIONING	WD	WOOD
IN	INCH, INCHES	WT	WEIGHT
INCL	INCLUDE, INCLUDED	X	INDICATES TIMES OR BY
INT	INTERIOR		
JT	JOINT		

MATERIALS

	EARTH
	CONCRETE
	GRAVEL
	SAND
	GYPSPUM BOARD OR SHEATHING
	MASONRY - BRICK
	MASONRY - CONCRETE BLOCK
	WOOD - FINISH - END GRAIN
	WOOD - FINISH - FACE
	WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS)
	WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS)
	INSULATION - RIGID
	INSULATION - BATT OR MINERAL WOOL
	ACOUSTIC TILE, PANEL, OR PLANK
	PLYWOOD
	CUT STONE
	PARTICLE BOARD OR FIBERBOARD

③ MATERIALS Copy 1
1 1/2" = 1'-0"



② SYMBOLS Copy 1
1 1/2" = 1'-0"

	VIEW NAME	DRAWING TITLE
	EXTERIOR ELEVATION KEY	
	INTERIOR ELEVATION KEY	
	BUILDING SECTION MARKER	
	WALL SECTION MARKER	
	DETAIL AREA MARKER	
	DETAIL SECTION MARKER	
	GRID LINE	
	VERTICAL ELEVATION KEY (ELEV)	
	SPOT ELEVATION W/ TARGET (PLAN)	
	SPOT ELEVATION NO TARGET (PLAN)	
	REVISION CLOUD AND REVISION TAG	
	ROOM NAME	CENTERLINE
	ROOM TAG	
	AREA NAME	MATCH LINE
	AREA TAG	
	DOOR TAG	HINGE SIDE OF DOOR
	WINDOW TAG	ALIGN SURFACES
	ROOM NAME, ROOM #, FLOOR, BASE, WALL, CEILING	FINISH TAG

GENERAL NOTES

- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION, THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS, SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-SS
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

① GENERAL NOTES Copy 1
1 1/2" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

GENERAL NOTES

MICHAEL BRODIE

BRODIE RESIDENCE

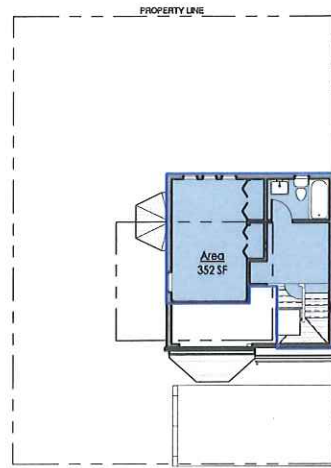
45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status BZA Permit Set
 Project number Project Number
 Date 01/18/2024
 Drawn by Author
 Checked by Checker

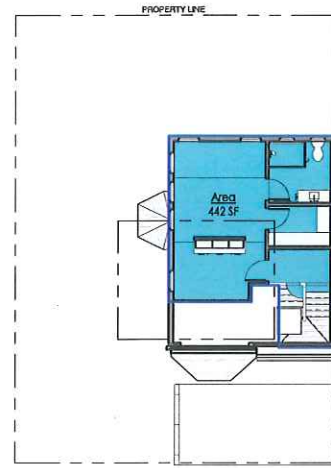
BZA-001

Scale 1 1/2" = 1'-0"

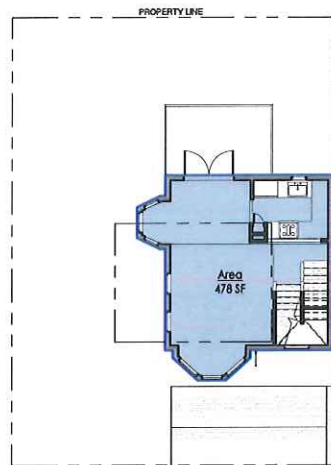
BZA-002 AREA PLANS



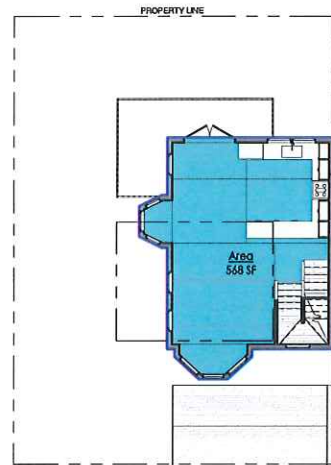
4 EXISTING - LEVEL 3
3/32" = 1'-0"



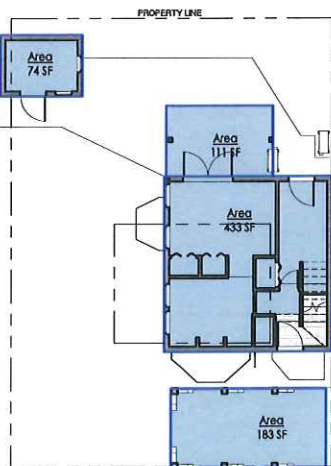
7 PROPOSED LEVEL 3
3/32" = 1'-0"



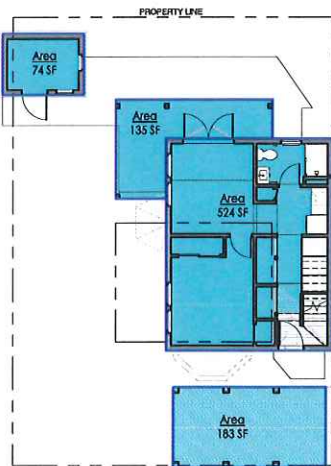
3 EXISTING - LEVEL 2
3/32" = 1'-0"



6 PROPOSED - LEVEL 2
3/32" = 1'-0"



2 EXISTING - LEVEL 1
3/32" = 1'-0"



5 PROPOSED - LEVEL 1
3/32" = 1'-0"

AREA - EXISTING		
Level	Area	Comments
EXISTING LEVEL 1	74 SF	
EXISTING LEVEL 1	111 SF	
EXISTING LEVEL 1	183 SF	
EXISTING LEVEL 1	433 SF	
EXISTING LEVEL 2	478 SF	
EXISTING LEVEL 3	352 SF	
TOTAL	1,631 SF	

AREA - PROPOSED		
Level	Area	Comments
EXISTING LEVEL 1	74 SF	
EXISTING LEVEL 1	135 SF	
EXISTING LEVEL 1	183 SF	
EXISTING LEVEL 1	524 SF	
EXISTING LEVEL 2	568 SF	
EXISTING LEVEL 3	442 SF	
TOTAL	1,926 SF	

**ZONE DISTRICT - RESIDENCE B:
SINGLE- & TWO-FAMILY DETACHED
TOWNHOUSE DWELLINGS**

OPEN SPACE CALCULATIONS

LOT SIZE: 2,141 SQ FT

REQUIRED OPEN SPACE (MIN): 40.00%
EXISTING OPEN SPACE: 62.21%
PROPOSED OPEN SPACE: 57.16%

PROPOSED DECREASED OPEN: 5.05%

FAR CALCULATION

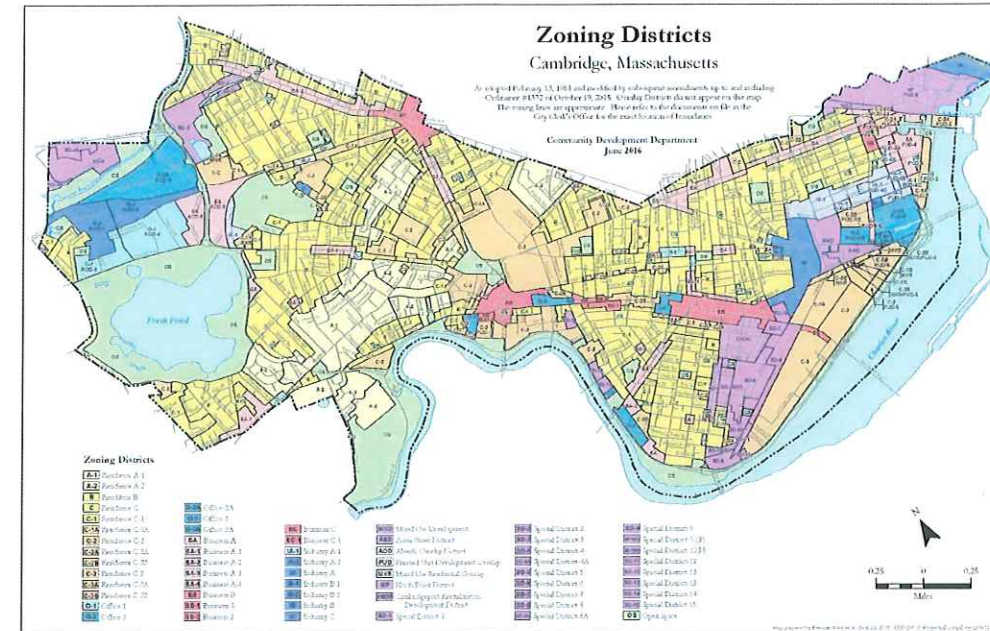
REQUIRED FAR: 0.500
EXISTING FAR: 0.762
PROPOSED FAR: 0.900

PROPOSED INCREASE FAR: 0.138

BUILDING HEIGHT

REQUIRED BUILDING HEIGHT: 35'-0"
EXISTING HEIGHT: 30'-2"
PROPOSED HEIGHT: 30'-2"

**PROPOSED INCREASE
IN BUILDING HEIGHT: NONE**



SET BACKS

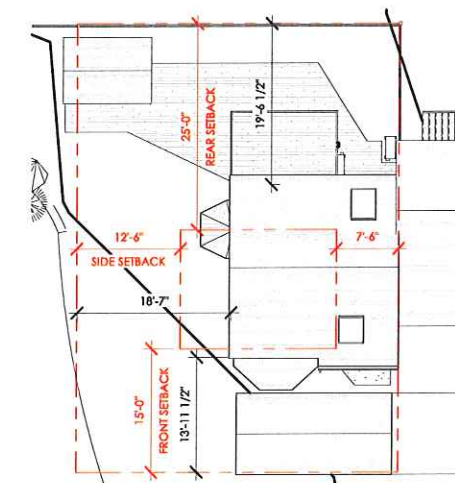
REQUIRED FRONT YARD SETBACK: 15'-0"
EXISTING SETBACK: 13'-11.5"
PROPOSED SETBACK: 13'-11.5"

REQUIRED LEFT SIDE YARD SETBACK: 7.5' MIN (SUM OF 20)
EXISTING SETBACK: 18'-7"
PROPOSED SETBACK: 12'-7"

REQUIRED RIGHT SIDE YARD SETBACK: 7.5' MIN (SUM OF 20)
EXISTING SETBACK: 0'-0"
PROPOSED SETBACK: 0'-0"

REQUIRED REAR YARD SETBACK: 25'-0"
EXISTING SETBACK (HOUSE): 19'-2"
PROPOSED SETBACK (HOUSE): 14'-9"

EXISTING SETBACK (DECK) 10'-8.5"
PROPOSED SETBACK (DECK) 10'-0.5"
PROPOSED DIFFERENCE (DECK) 0'- 8"



1 SITE PLAN-BZA
3/32" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

AREA PLANS

MICHAEL BRODIE

BRODIE RESIDENCE

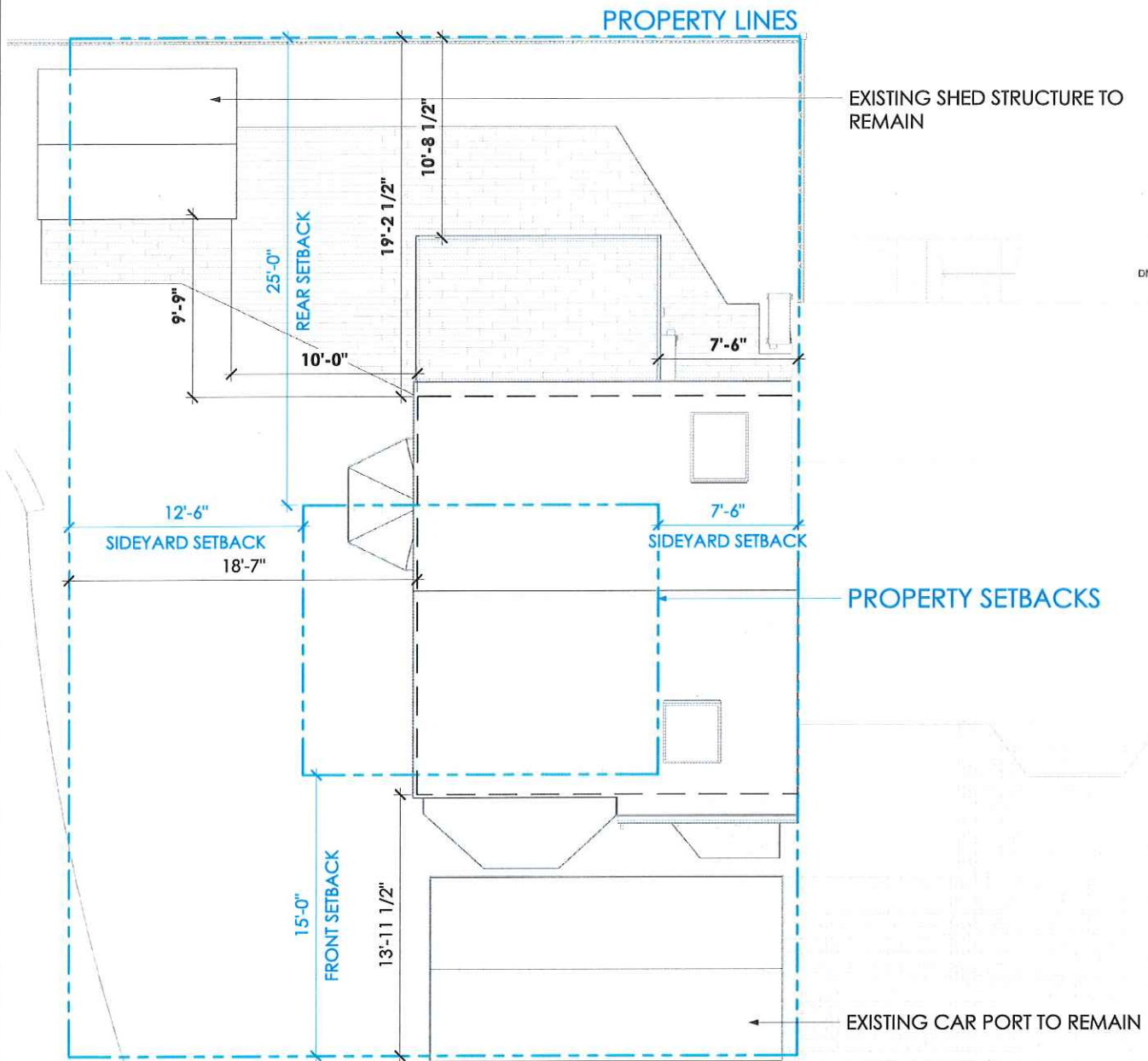
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status BZA Permit Set
Project number Project Number
Date 01/18/2024
Drawn by Author
Checked by Checker

BZA-002

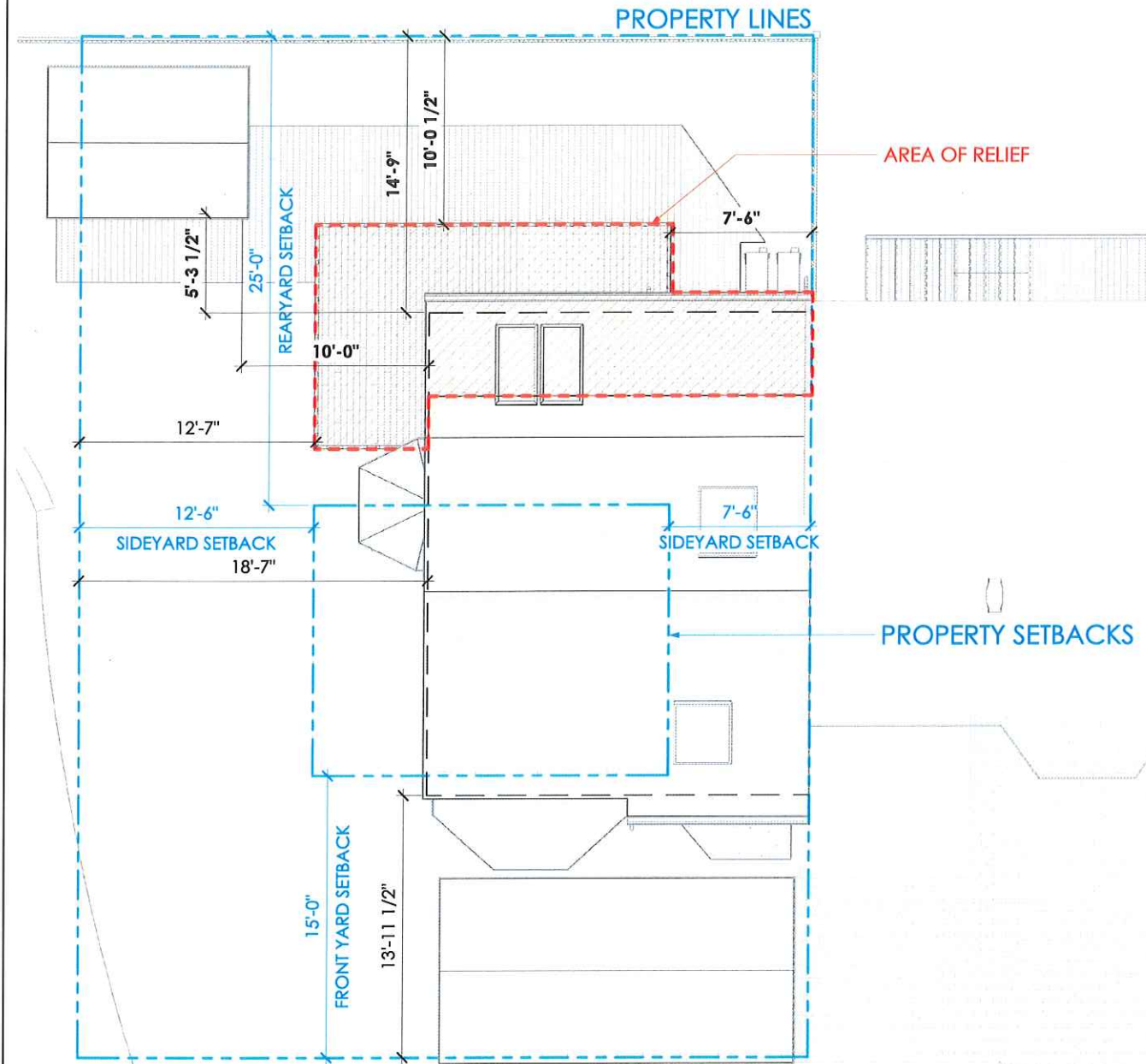
Scale 3/32" = 1'-0"

EXISTING SITE PLAN



① EXISTING - SITE Copy 1
1/4" = 1'-0"

PROPOSED SITE PLAN



② PROPOSED - SITE Copy 1
1/4" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

SITE PLAN

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status: BZA Permit Set
 Project number: Project Number
 Date: 01/18/2024
 Drawn by: Author
 Checked by: Checker

BZA-003

Scale: 1/4" = 1'-0"

EXISTING AXON



PROPOSED AXON



SKA

© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SITE AXON

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-004

Scale



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
 CONSTRUCTION**

SHADOW STUDY

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status BZA Permit Set
 Project number Project Number
 Date 01/18/2024
 Drawn by Author
 Checked by Checker

BZA-005

Scale 1" = 20'-0"

1/19/2024 14:54:44 AM

	WINTER SOLSTICE - EXISTING	WINTER SOLSTICE - PROPOSED	SUMMER SOLSTICE - EXISTING	SUMMER SOLSTICE - PROPOSED
MORNING - 9 AM	<p>① EXISTING - 9 - WINTER 1" = 20'-0"</p>	<p>② PROPOSED - 9 - WINTER 1" = 20'-0"</p>	<p>⑦ EXISTING - 9 - SUMMER 1" = 20'-0"</p>	<p>⑧ PROPOSED - 9 - SUMMER 1" = 20'-0"</p>
NOON - 12 PM	<p>④ EXISTING - 12 - WINTER 1" = 20'-0"</p>	<p>③ PROPOSED - 12 - WINTER 1" = 20'-0"</p>	<p>⑨ EXISTING - 12 - SUMMER 1" = 20'-0"</p>	<p>⑩ PROPOSED - 12 - SUMMER 1" = 20'-0"</p>
AFTERNOON - 3 PM	<p>⑥ EXISTING - 3 - WINTER 1" = 20'-0"</p>	<p>⑤ PROPOSED - 3 - WINTER 1" = 20'-0"</p>	<p>⑪ PROPOSED - 3 - SUMMER 1" = 20'-0"</p>	<p>⑫ EXISTING - 3 - SUMMER 1" = 20'-0"</p>



EXISTING



PROPOSED

NO VISUAL CHANGES FROM PUBLIC VIEW



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

FRONT VIEW

MICHAEL BRODIE

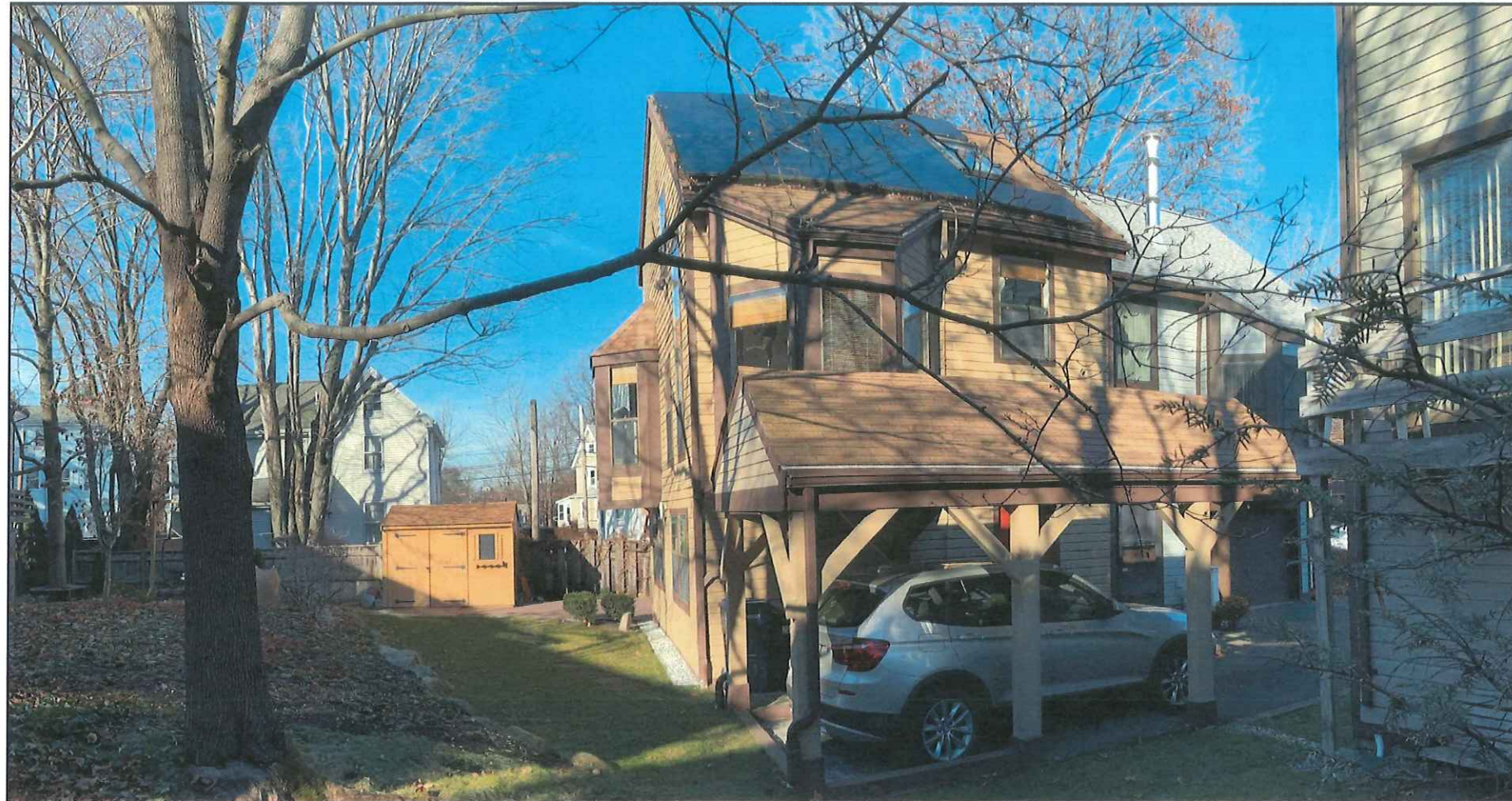
BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-006

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Aulhor
Checked by	Checker

BZA-007

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-008

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-009

Scale

EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

REAR VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

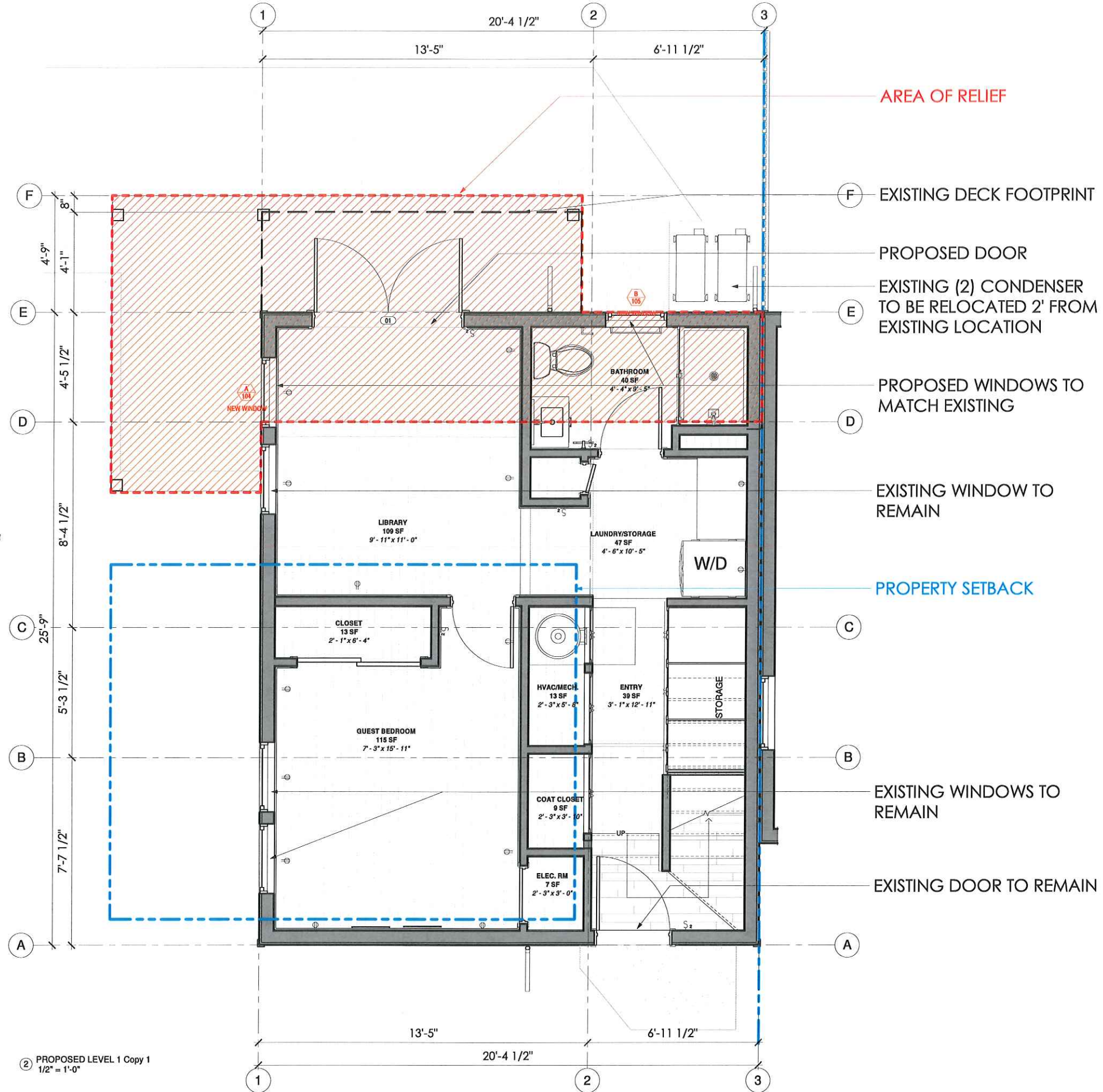
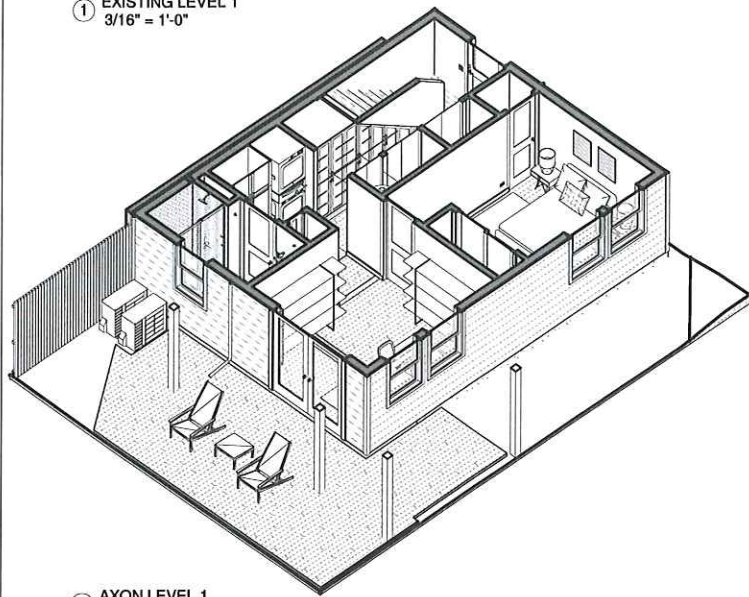
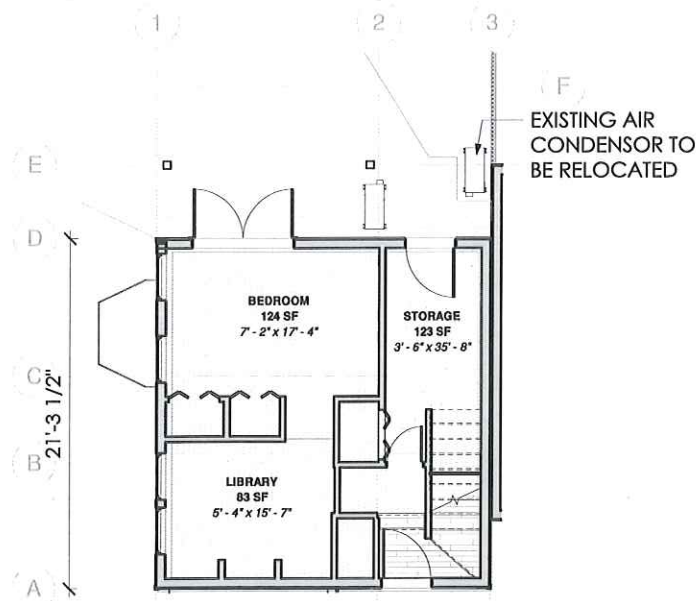
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-010

Scale

BZA-100 LEVEL 1



AREA OF RELIEF

EXISTING DECK FOOTPRINT

PROPOSED DOOR

EXISTING (2) CONDENSER TO BE RELOCATED 2' FROM EXISTING LOCATION

PROPOSED WINDOWS TO MATCH EXISTING

EXISTING WINDOW TO REMAIN

PROPERTY SETBACK

EXISTING WINDOWS TO REMAIN

EXISTING DOOR TO REMAIN



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 1

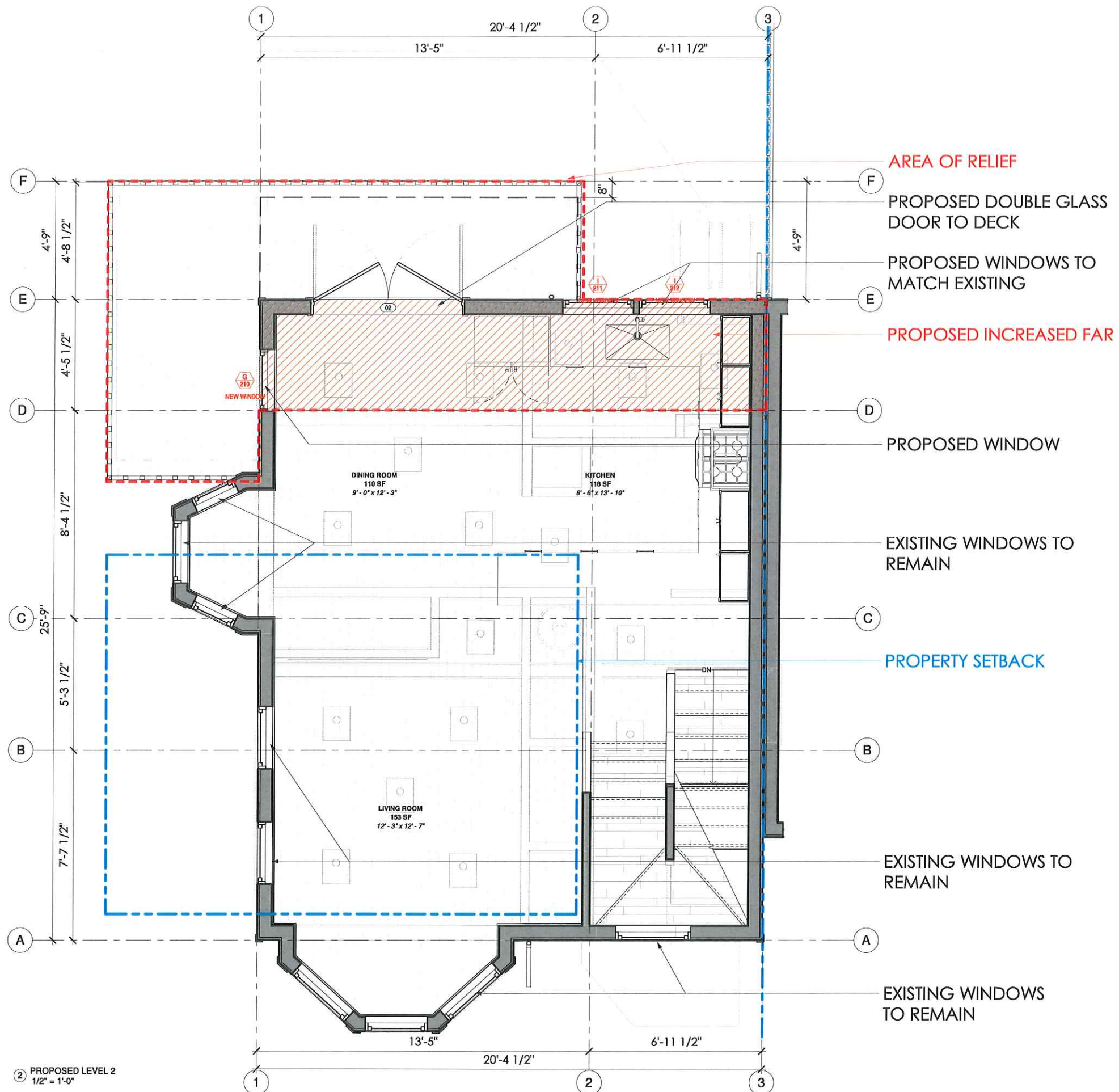
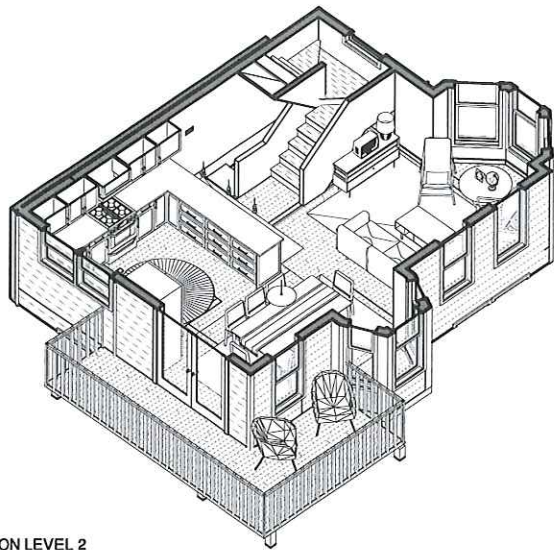
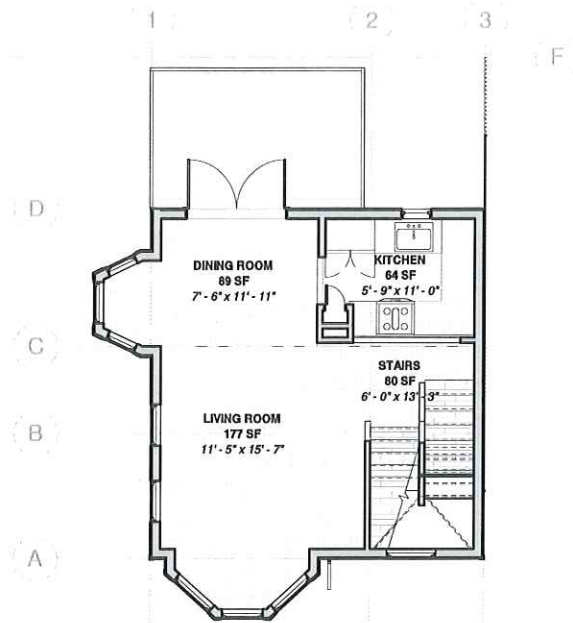
MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-100

Scale As indicated

BZA-101 LEVEL 2



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 2

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

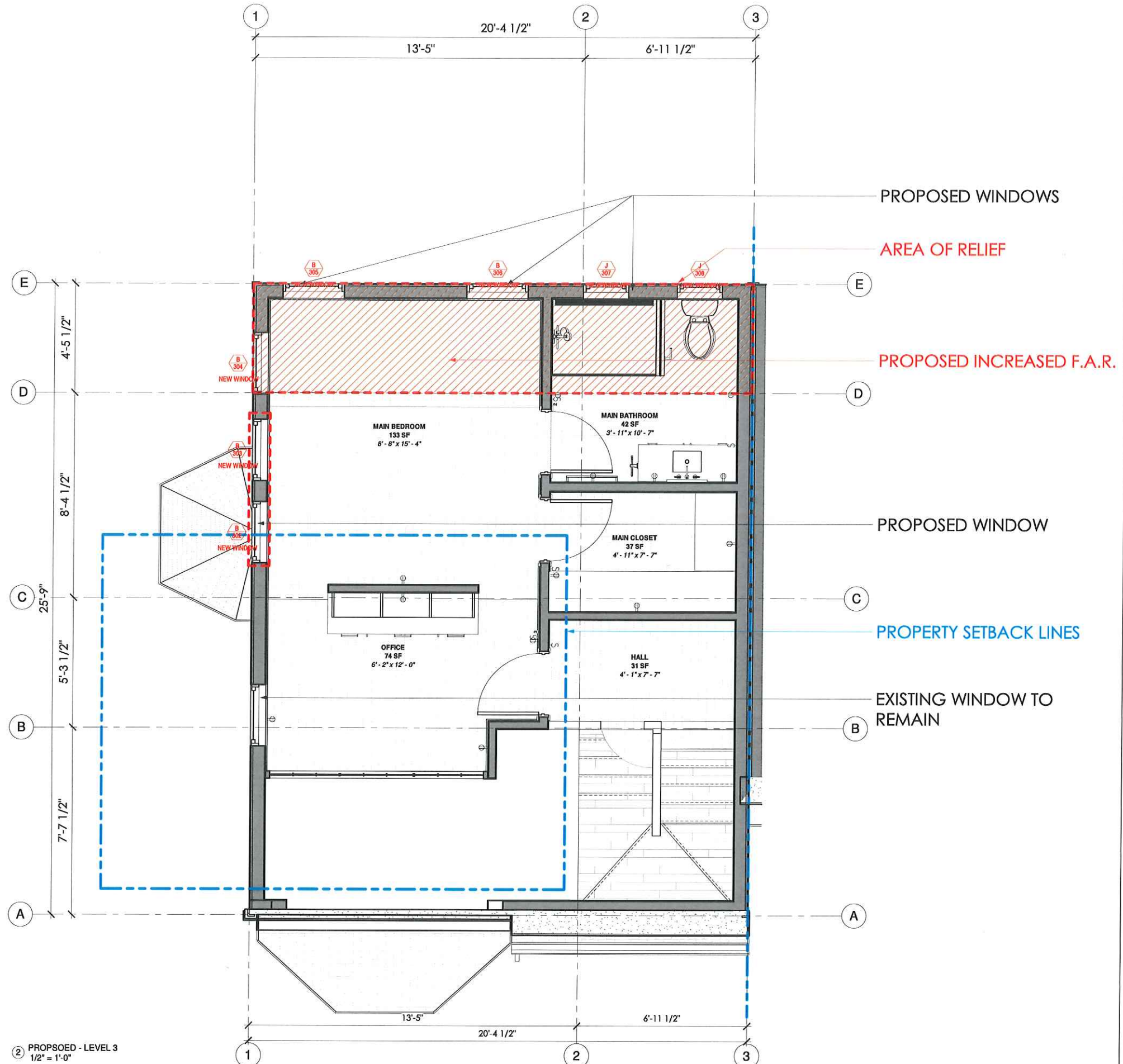
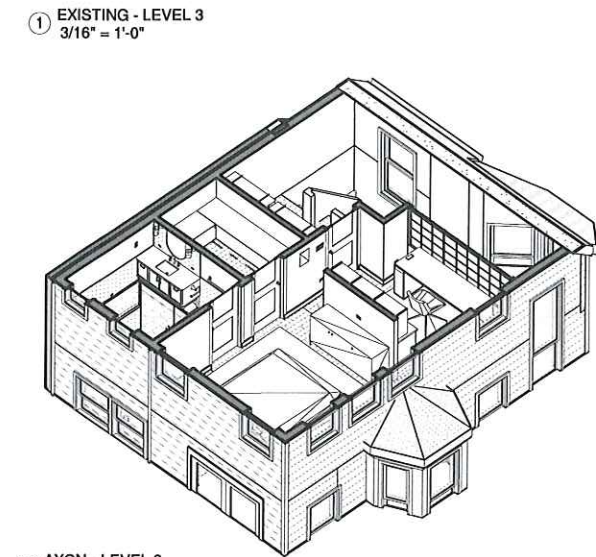
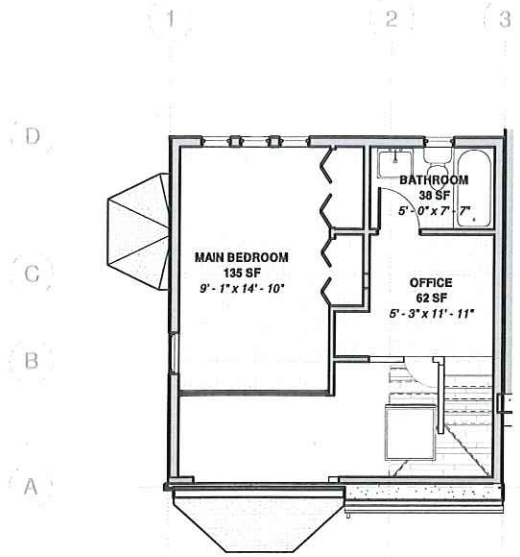
Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-101

Scale As indicated

1/19/2024 9:43:56 AM

BZA-102 LEVEL 3



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS

(p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 3

MICHAEL BRODIE

BRODIE RESIDENCE

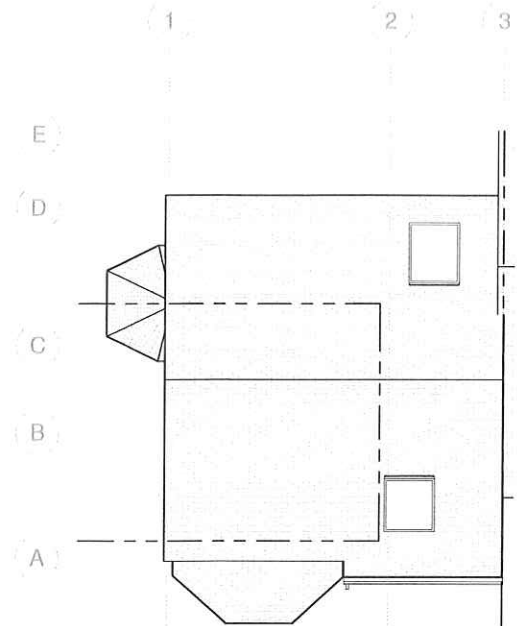
45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-102

Scale As indicated

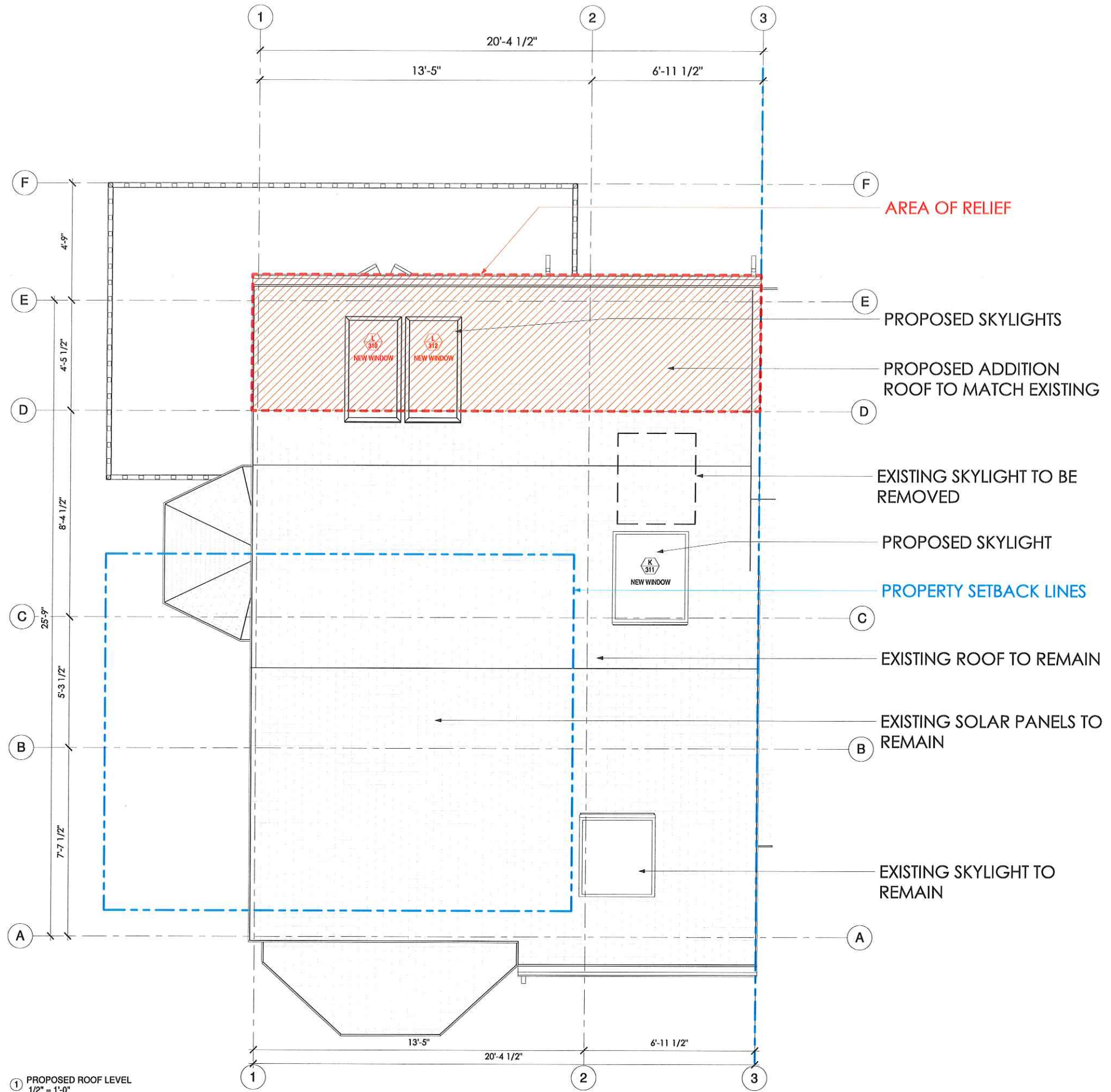
BZA-103 ROOF PLAN



2 BZA - EXISTING RIDGE
3/16" = 1'-0"



3 AXON ROOF



1 PROPOSED ROOF LEVEL
1/2" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ROOF PLAN

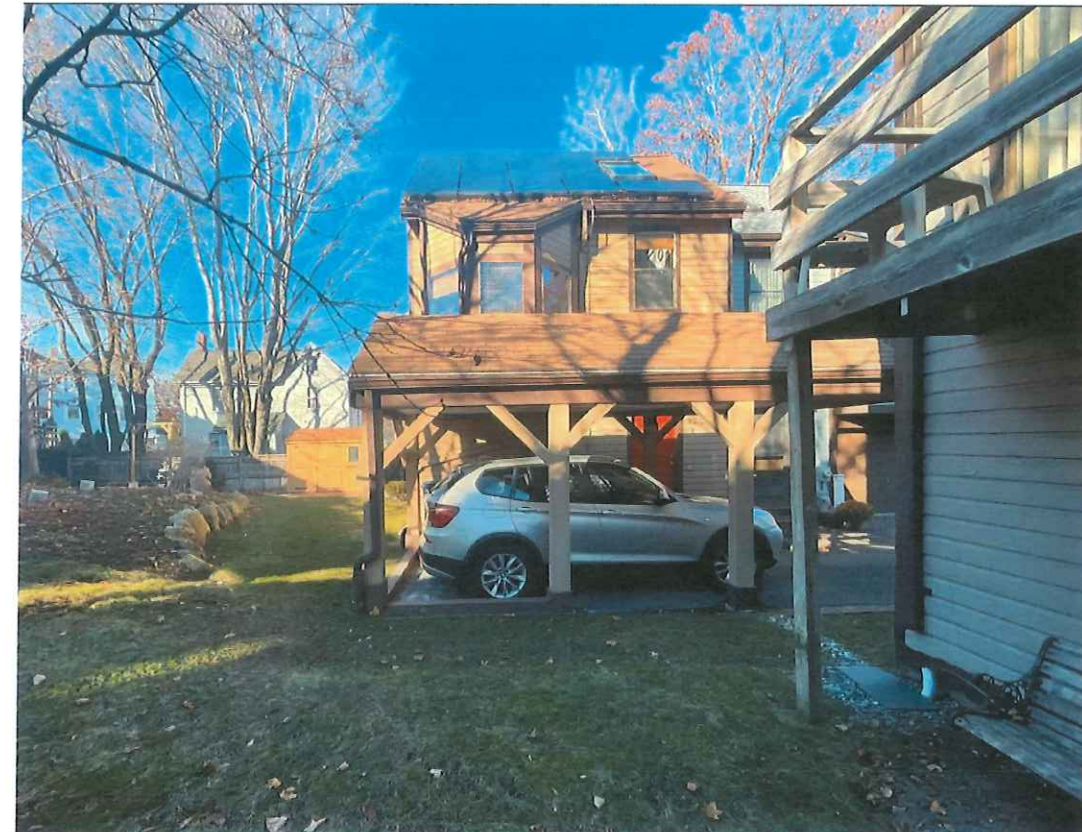
MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status BZA Permit Set
 Project number Project Number
 Date 01/18/2024
 Drawn by Author
 Checked by Checker

BZA-103

Scale As indicated

BZA-200 ELEVATION SOUTH



EXISTING



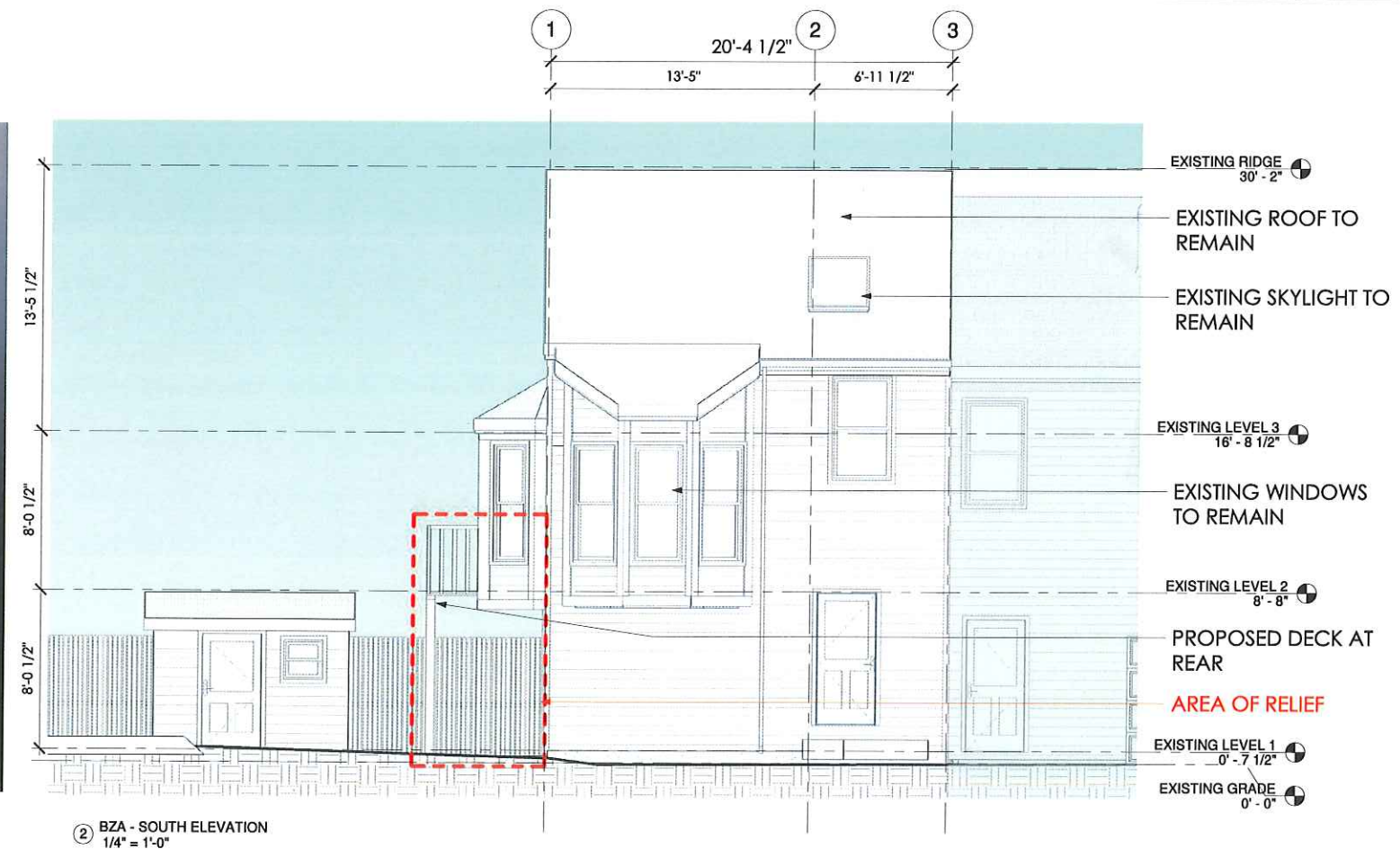
© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION SOUTH

PROPOSED



MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-200

Scale 1/4" = 1'-0"

1/19/2024 9:44:07 AM

BZA-201 ELEVATION WEST

EXISTING



① BZA - WEST - EXISTING
1/4" = 1'-0"



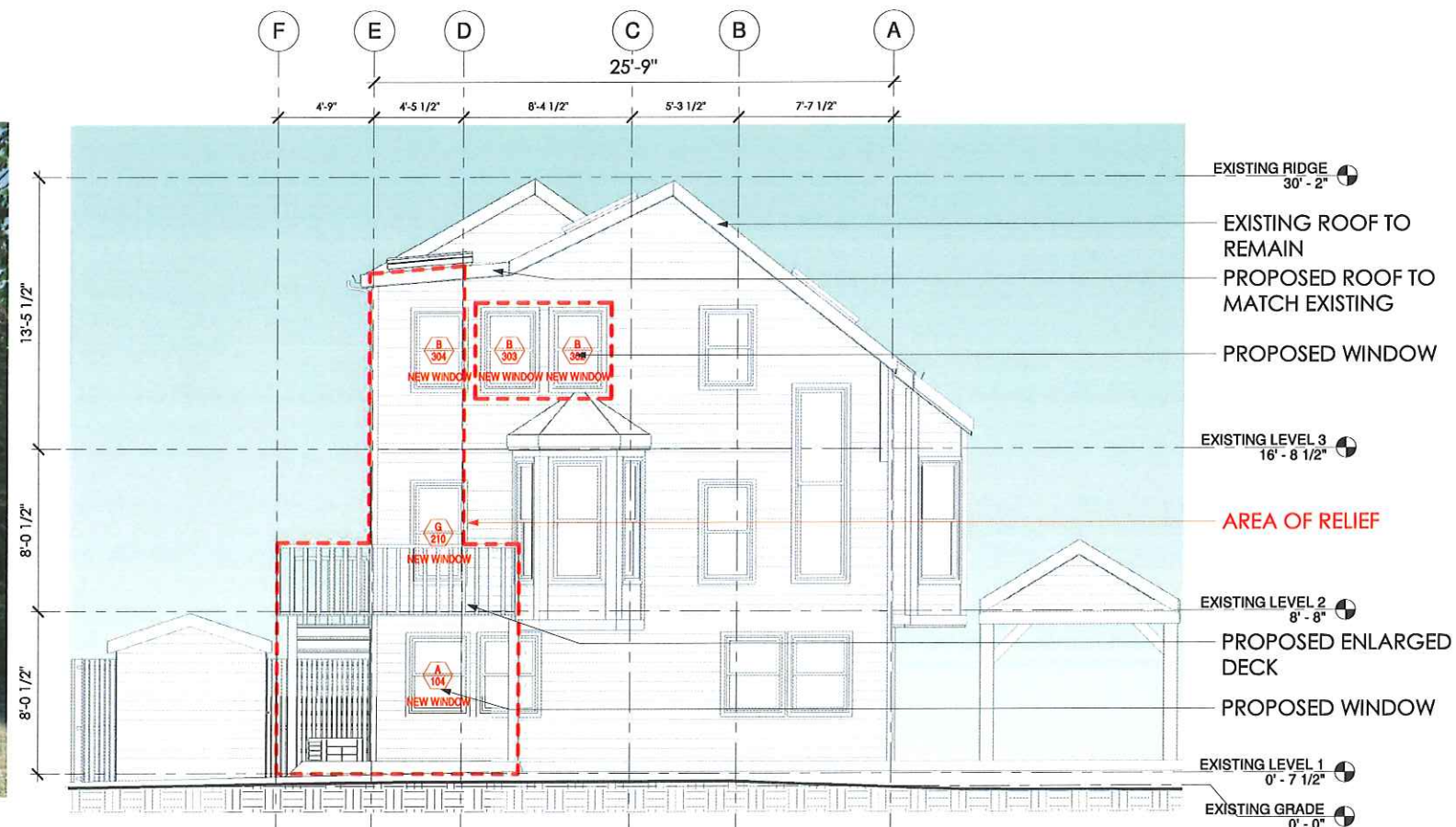
© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ELEVATION WEST

PROPOSED



② BZA - WEST - PROPOSED
1/4" = 1'-0"

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

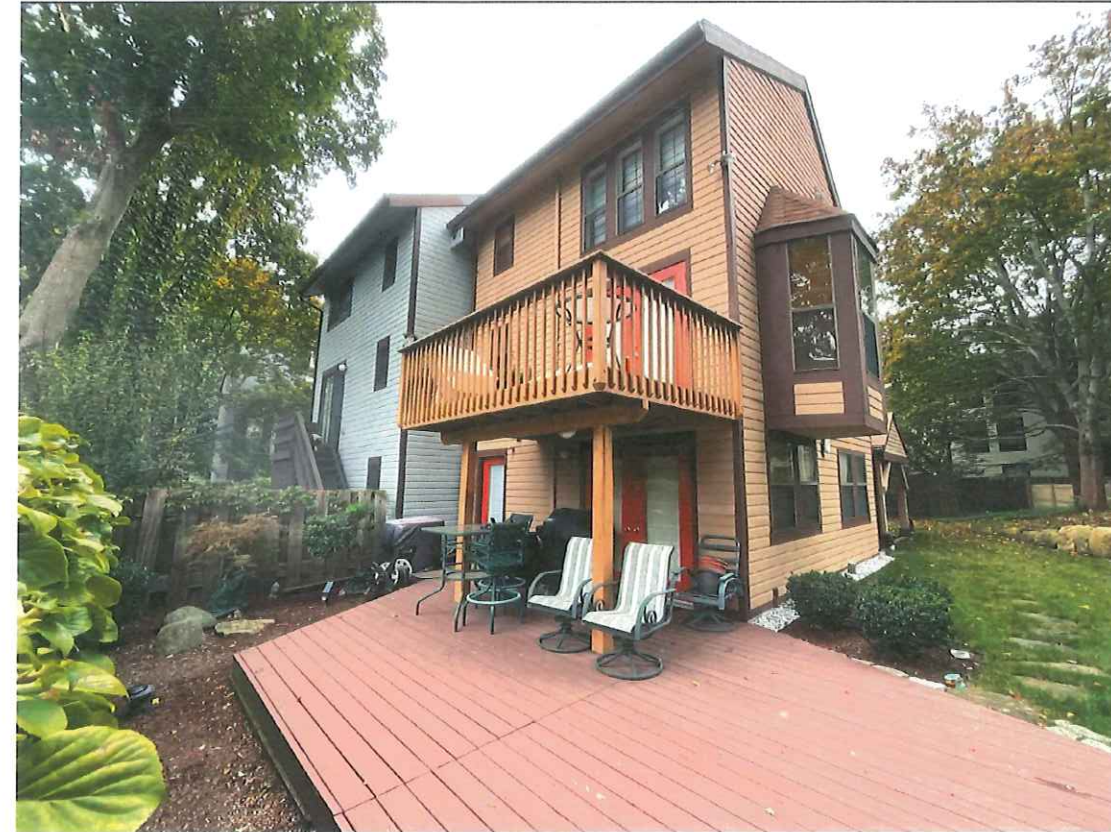
Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-201

Scale 1/4" = 1'-0"

BZA-202 ELEVATION NORTH

EXISTING



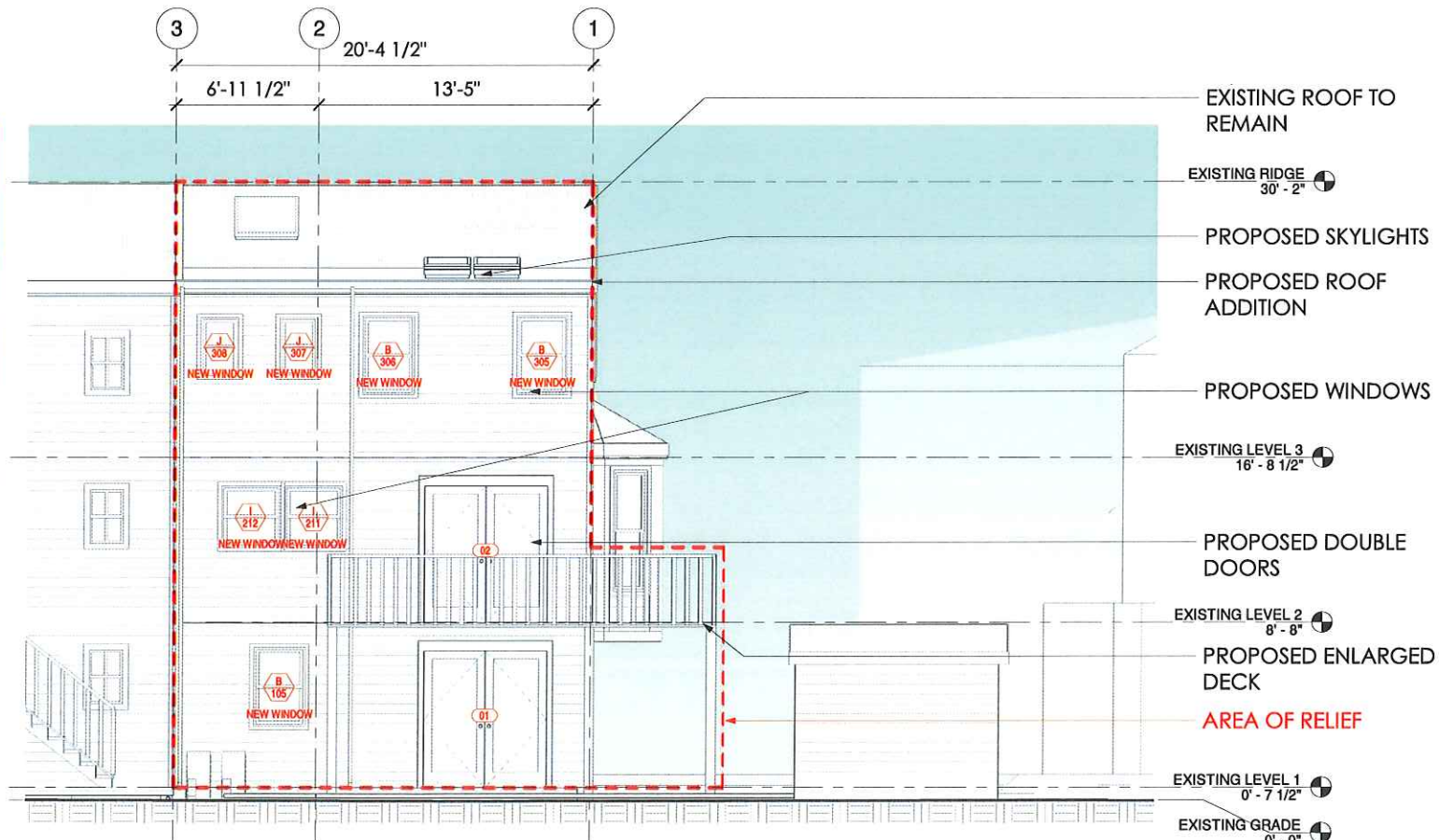
© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION NORTH

PROPOSED



2 BZA - NORTH - PROPOSED
 1/4" = 1'-0"

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Aulhor
Checked by	Checker

BZA-202

Scale 1/4" = 1'-0"

BZA-203 ELEVATION EAST



① BZA - EAST - EXISTING
1/4" = 1'-0"

EXISTING



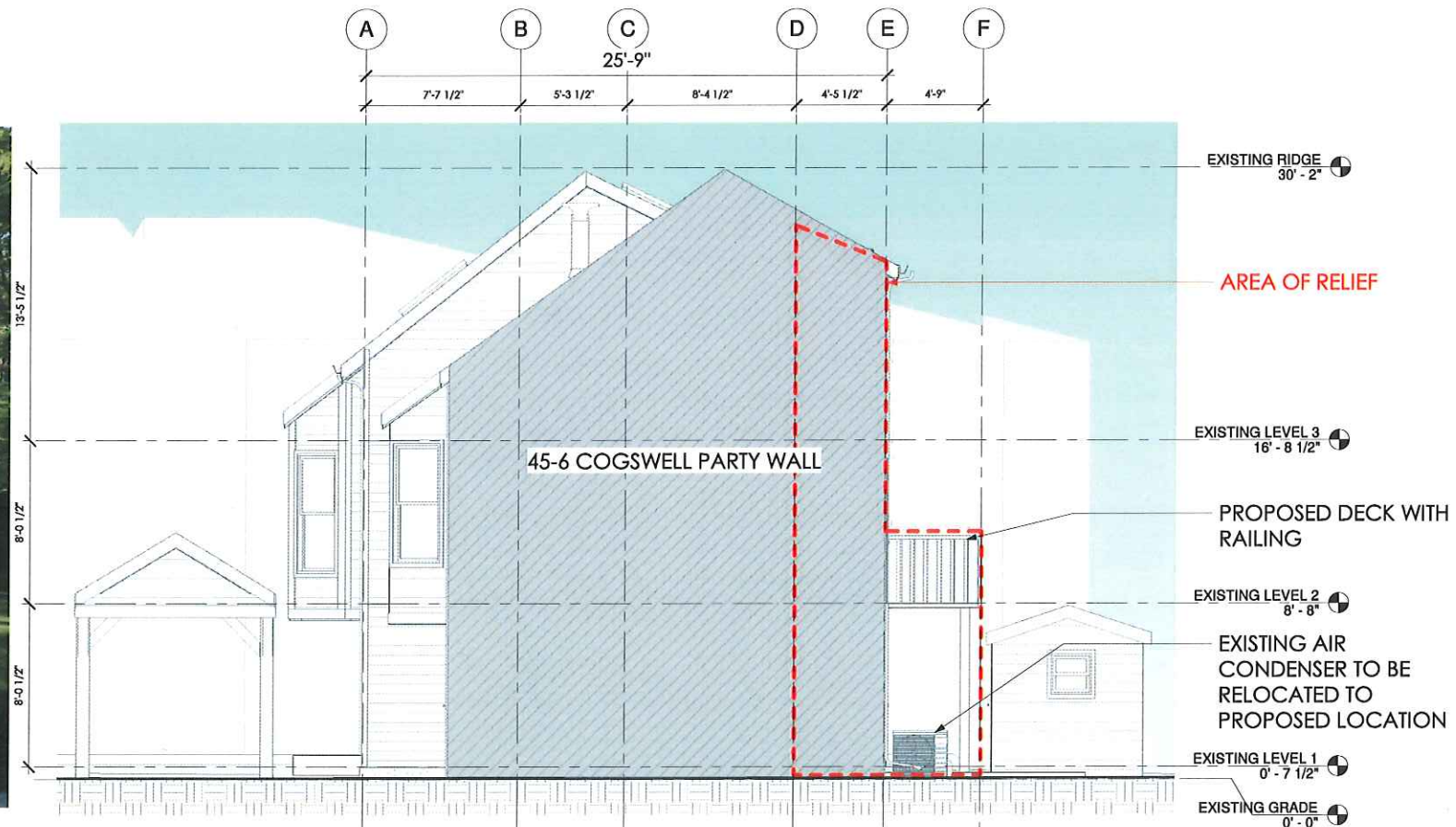
© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ELEVATION EAST

PROPOSED



② BZA - EAST ELEVATION - PROPOSED
1/4" = 1'-0"

MICHAEL BRODIE

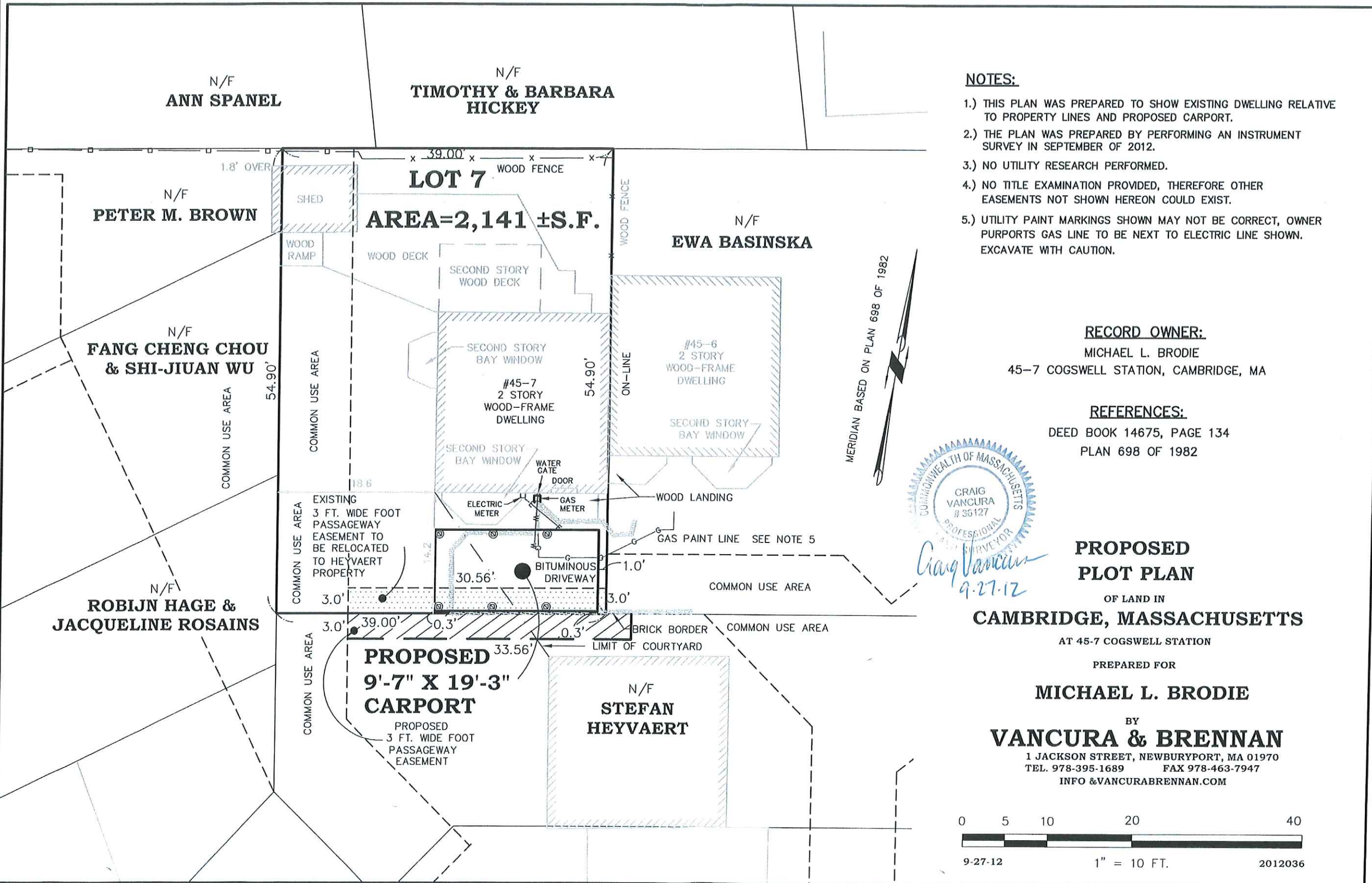
BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-203

Scale 1/4" = 1'-0"



NOTES:

- 1.) THIS PLAN WAS PREPARED TO SHOW EXISTING DWELLING RELATIVE TO PROPERTY LINES AND PROPOSED CARPORT.
- 2.) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN SEPTEMBER OF 2012.
- 3.) NO UTILITY RESEARCH PERFORMED.
- 4.) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.
- 5.) UTILITY PAINT MARKINGS SHOWN MAY NOT BE CORRECT, OWNER PURPORTS GAS LINE TO BE NEXT TO ELECTRIC LINE SHOWN. EXCAVATE WITH CAUTION.

RECORD OWNER:

MICHAEL L. BRODIE
45-7 COGSWELL STATION, CAMBRIDGE, MA

REFERENCES:

DEED BOOK 14675, PAGE 134
PLAN 698 OF 1982

PROPOSED PLOT PLAN

OF LAND IN
CAMBRIDGE, MASSACHUSETTS

AT 45-7 COGSWELL STATION

PREPARED FOR

MICHAEL L. BRODIE

BY

VANCURA & BRENNAN

1 JACKSON STREET, NEWBURYPORT, MA 01970
TEL. 978-395-1689 FAX 978-463-7947
INFO & VANCURABRENNAN.COM



9-27-12 1" = 10 FT. 2012036



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ADDITIONAL INFO - PLOT PLAN

MICHAEL BRODIE
BRODIE RESIDENCE
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-400

Scale



SKA

© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ADDITIONAL INFO - SITE PHOTOS

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-401

Scale

1/19/2024 9:44:32 AM



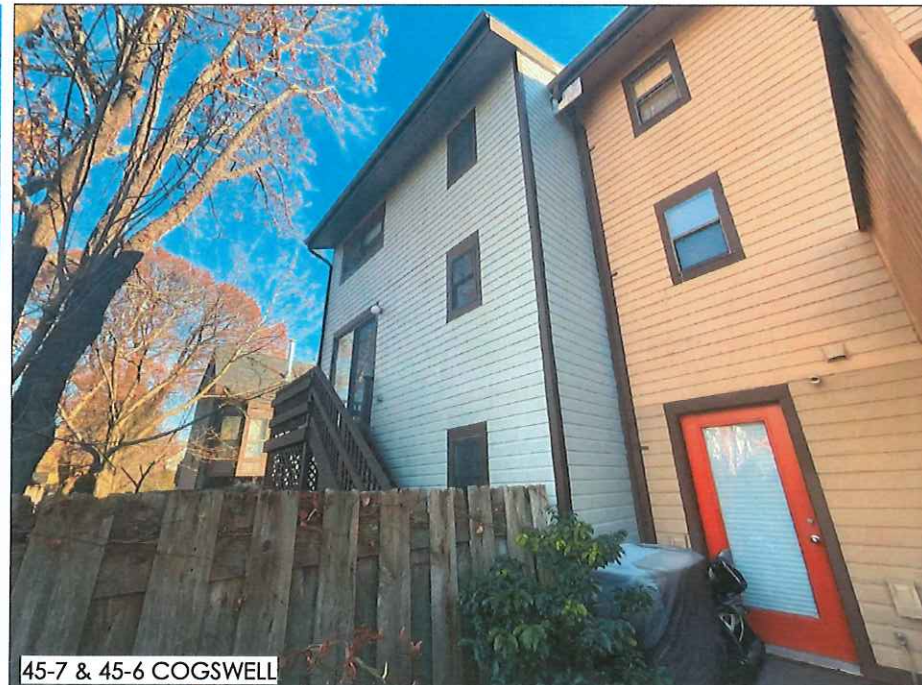
45-6 & 45-7 COGSWELL AT REAR



VIEW FROM 45-7 COGSWELL



45-7 COGSWELL



45-7 & 45-6 COGSWELL

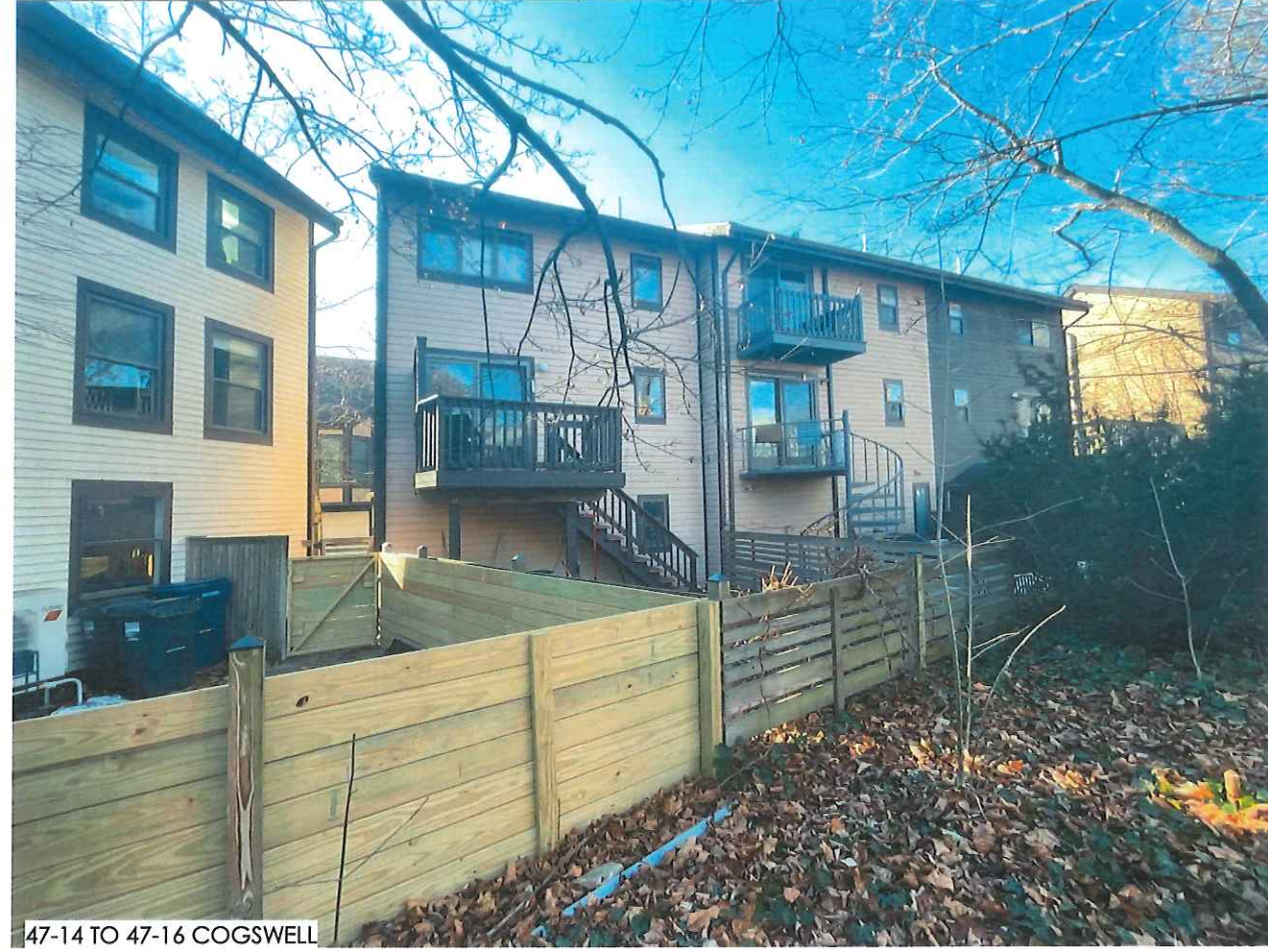


45-7 COGSWELL

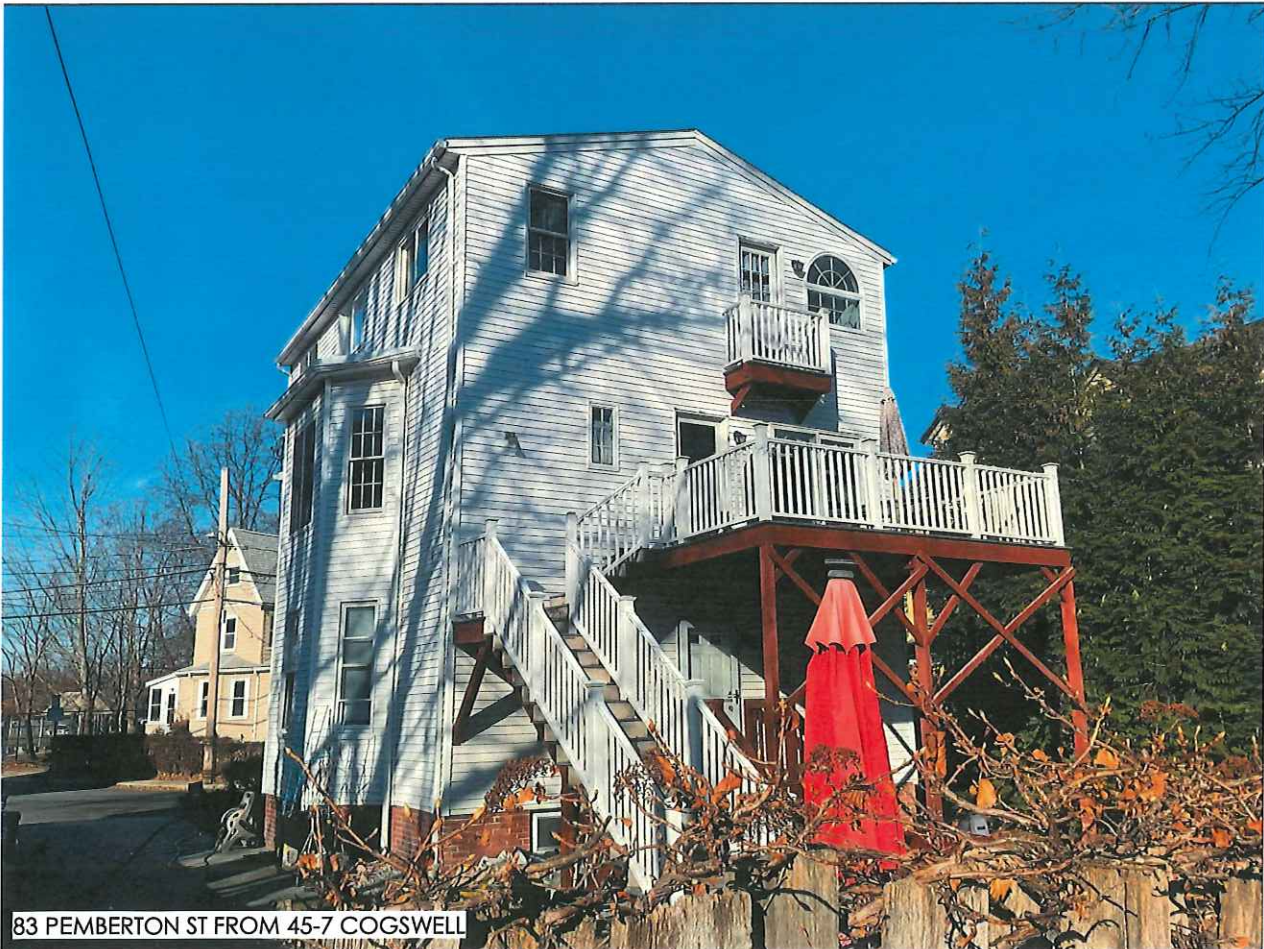
BZA-402 ADDITIONAL INFO - NEIGHBOR SITE PHOTOS



47-17 TO 47-19 COGSWELL



47-14 TO 47-16 COGSWELL



83 PEMBERTON ST FROM 45-7 COGSWELL



45-8 & 45-9 COGSWELL



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
 CONSTRUCTION**

ADDITIONAL INFO -
 NEIGHBOR SITE PHOTOS

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-402

Scale

SCAN QR CODE FOR RENDER VIDEO



SCAN QR CODE



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ADDITIONAL INFO -
RENDER VIDEO

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	01/18/2024
Drawn by	Author
Checked by	Checker

BZA-403

Scale

BRODIE RESIDENCE

MICHAEL BRODIE

45 COGSWELL AVE., #7 CAMBRIDGE, MA 02140

BZA Permit Set

12/13/2023

PROJECT DESCRIPTION

THIS PROJECT SCOPE IS AN ADDITION AT THE REAR OF STRUCTURE. THIS ADDITION WILL BE AT ALL LEVELS; LEVEL 1 WILL INCLUDE GUEST BEDROOM AND BATHROOM, LEVEL 2 WILL EXPAND THE KITCHEN AND DINING, AND LEVEL 3 MAIN BATHROOM AND BEDROOM. NEW ROOF AND SKYLIGHTS OVER ADDITION. PROPOSED DECK WILL EXTEND OVER EXISTING PATIO.

EXISTING



PROPOSED



ARCHITECT:

SAM KACHMAR
ARCHITECTS

(P) 617-901-6223
WWW.SKA-MA.COM
357 HURON AVE,
CAMBRIDGE MA, 02138



© 2023 SAM KACHMAR ARCHITECTS

ZONING LAWYER:

MICHAEL W. WIGGINS

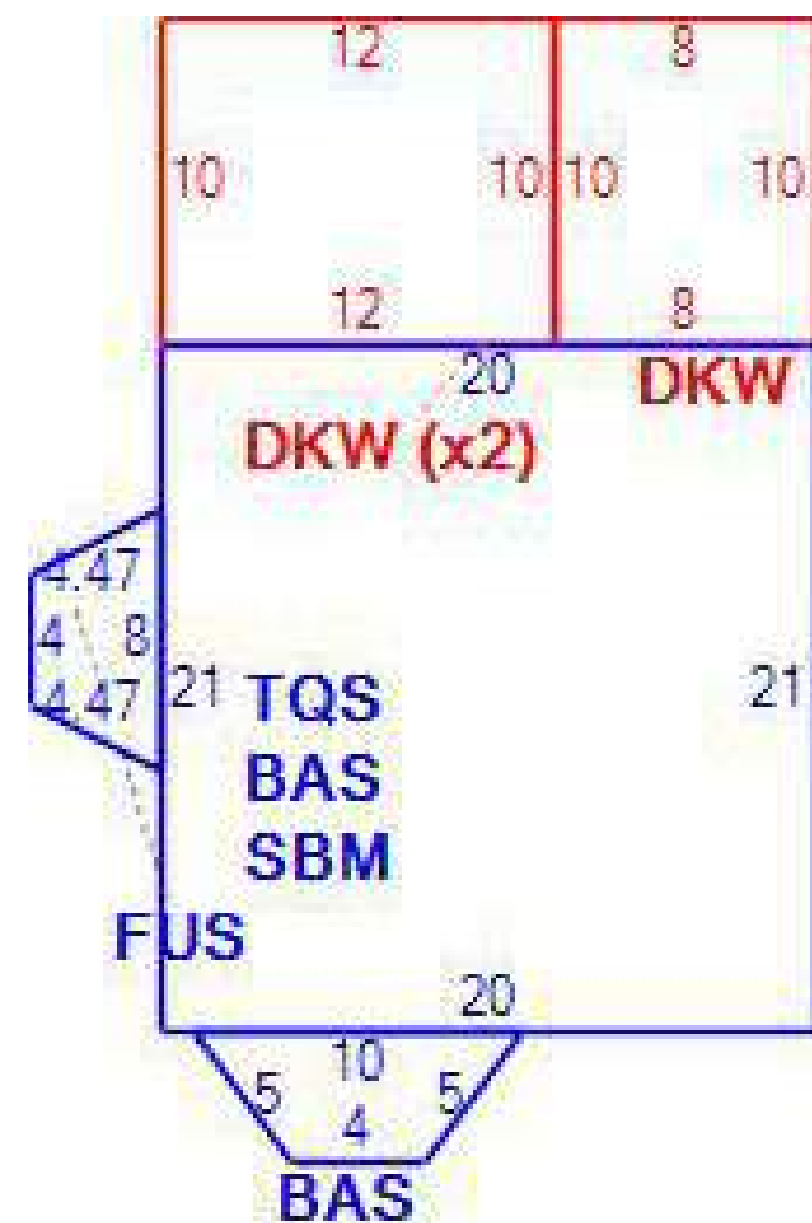
ABBREVIATIONS

#	NUMBER OR POUND	L	LENGTH
&+	AND	LAM	LAMINATE, LAMINATED
@	AT	LB	POUND
ADJ	ADJUSTABLE	LGMF	LIGHT GAGE METAL FRAMING
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ALUM	ALUMINUM	LT WT	LIGHT WEIGHT
APPROX	APPROXIMATELY	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MDF	MEDIUM DENSITY FIBER
AVB	AIR AND VAPOR BARRIER	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BIT	BITUMINOUS	MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BSMT	BASEMENT	MISC	MISCELLANEOUS
BTWN	BETWEEN	MISD	MOUNTED
CF	CUBIC FEET	MTL	METAL
CI	CUBIC INCHES	N	NORTH
CJ	CONTROL JOINT	N/A	NOT APPLICABLE
CL	CENTERLINE	NIC	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR OR CLEARANCE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OPPOSITE HAND
CONT	CONTINUOUS	OPP	OPPOSITE
CORR	CORRIDOR, CORRUGATED	OSB	ORIENTED STRANDBOARD
CTR	CENTER	OVHD	OVERHEAD
D	DEPTH, DEEP	OZ	OUNCE (S)
DBL	DOUBLE	PATT	PATTERN (ED)
DEMO	DEMOLISH, DEMOLITION	PERF	PERFORATED
DIA	DIAMETER	PERP	PERPENDICULAR
DIM	DIMENSION	PLAM	PLASTIC LAMINATE
DN	DOWN	PLYWD	PLYWOOD
DTL	DETAIL	PNT	PAINT, PAINTED
DW	DISHWASHER	PR	PAIR
E	EAST	PREFAB	PREFABRICATE, PREFABRICATED
EA	EACH	QTY	QUANTITY
EJ	EXPANSION JOINT	RAD	RADIUS
EL	ELEVATION (GRADE)	RBR	RUBBER
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATION (FACADE)	REF	REFERENCE
EOS	EDGE OF SLAB	REFR	REFRIGERATE, REFRIGERATOR
EQ	EQUAL, EQUIPMENT, EQUIP	REINF	REINFORCE, REINFORCED
ETR	EXISTING TO REMAIN	REQ	REQUIRE
EXG	EXISTING	REV	REVISION, REVISE, REVISED
EXP	EXPOSED	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
FAB	FABRICATE, FABRICATION	S	SOUTH
FD	FLOOR DRAIN	SCHED	SCHEDULE
FF	FINISHED FLOOR	SF	SQUARE FEET
FL	FLOOR	SI	SQUARE INCHES
FOW	FACE OF WALL	SIM	SIMILAR
FT	FEET, FOOT	SPEC	SPECIFICATION
GA	GAUGE	SQ	SQUARE
GALV	GALVANIZED	SS, SST	STAINLESS STEEL
GL	GLASS, GLAZING, GLAZED	STC	SOUND TRANSMISSION CLASS
GWB	GYPSPUM WALLBOARD, BACKING BOARD	STL	STEEL
GYP	GYPSPUM	STOR	STORAGE
H	HIGH	STR	STAIR
HDWD	HARDWOOD	T.O.	TOP OF
HM	HOLLOW METAL	U.O.	UNDERSIDE OF
HORIZ	HORIZONTAL	UNL	UNLESS OTHERWISE NOTED
HVAC	HEATING, VENTILATING & AIR CONDITIONING	W	WOOD
IN	INCH, INCHES	WD	WEIGHT
INCL	INCLUDE, INCLUDED	WT	WEIGHT
INT	INTERIOR	X	INDICATES TIMES OR BY
JT	JOINT		

MATERIALS

	EARTH
	CONCRETE
	GRAVEL
	SAND
	GYPSPUM BOARD OR SHEATHING
	MASONRY - BRICK
	MASONRY - CONCRETE BLOCK
	WOOD - FINISH - END GRAIN
	WOOD - FINISH - FACE
	WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS)
	WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS)
	INSULATION - RIGID
	INSULATION - BATT OR MINERAL WOOL
	ACOUSTIC TILE, PANEL, OR PLANK
	PLYWOOD
	CUT STONE
	PARTICLE BOARD OR FIBERBOARD

3 MATERIALS Copy 1
1 1/2" = 1'-0"



2 SYMBOLS Copy 1
1 1/2" = 1'-0"

	VIEW NAME SCALE: 1/4" = 1'-0"	DRAWING TITLE
	EXTERIOR ELEVATION KEY	
	INTERIOR ELEVATION KEY	
	BUILDING SECTION MARKER	
	WALL SECTION MARKER	
	DETAIL AREA MARKER	
	DETAIL SECTION MARKER	
	GRID LINE	
	VERTICAL ELEVATION KEY (ELEV)	
	SPOT ELEVATION W/ TARGET (PLAN)	
	SPOT ELEVATION NO TARGET (PLAN)	
	REVISION CLOUD AND REVISION TAG	
	CENTERLINE	
	MATCH LINE	
	HINGE SIDE OF DOOR	
	ALIGN SURFACES	
	FINISH TAG	

GENERAL NOTES

- ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING " SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
- FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS, SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
- COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
- PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
- PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
- LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
- ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
- ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
- ALL WOOD SHALL BE FSC CERTIFIED.
- ALL WOOD FRAMING SIZES ARE BASED ON SPF-SS
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.)
- CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

1 GENERAL NOTES Copy 1
1 1/2" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

GENERAL NOTES

MICHAEL BRODIE

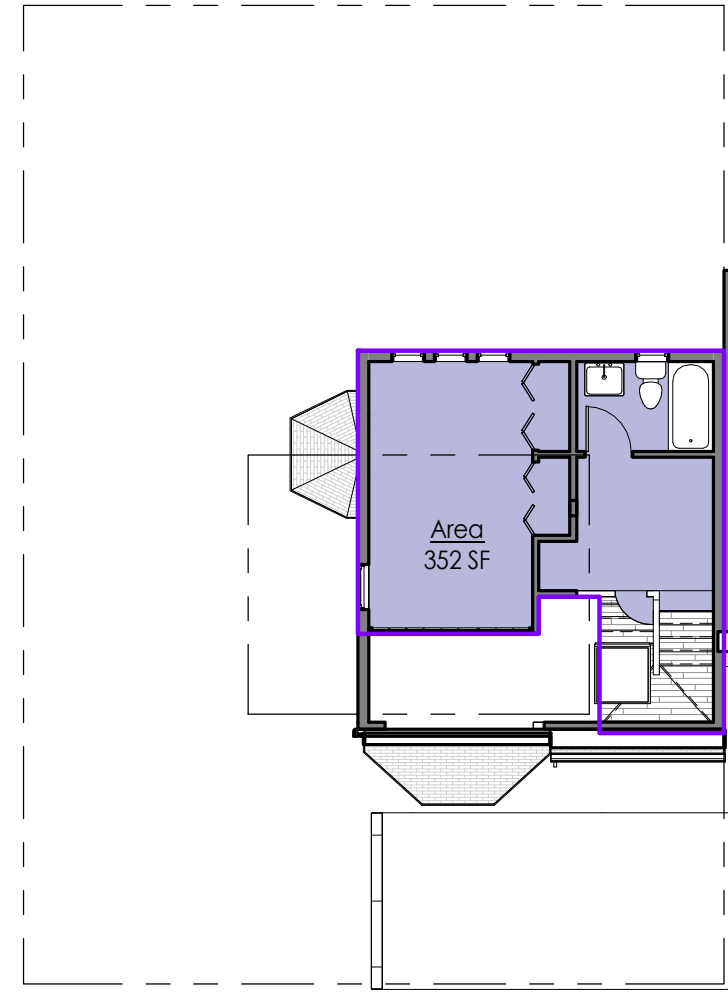
BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

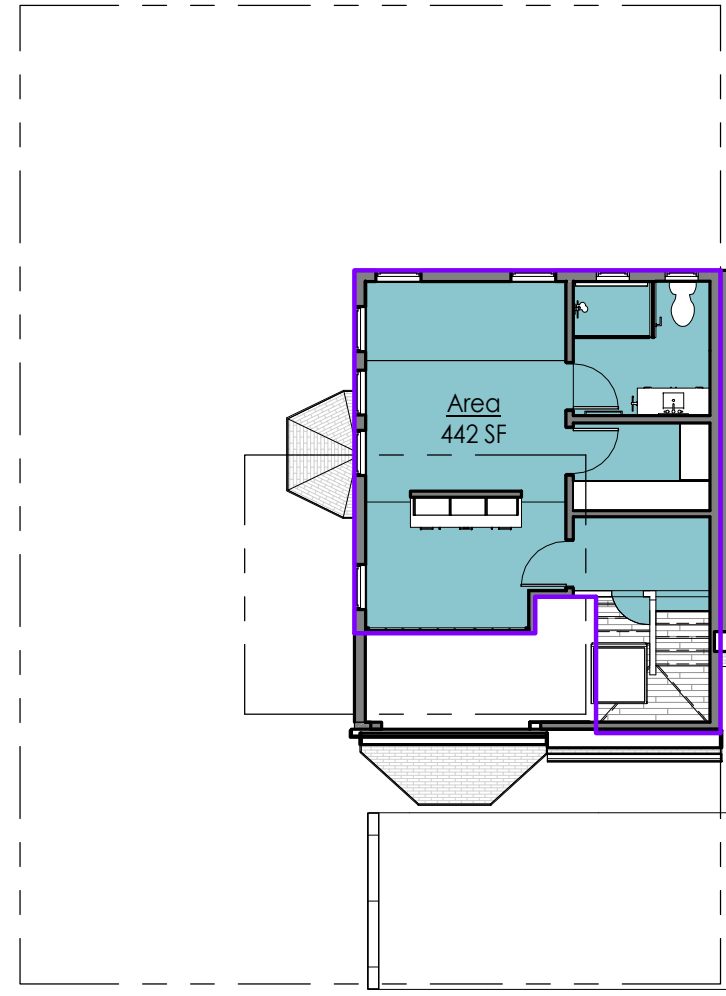
Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-001

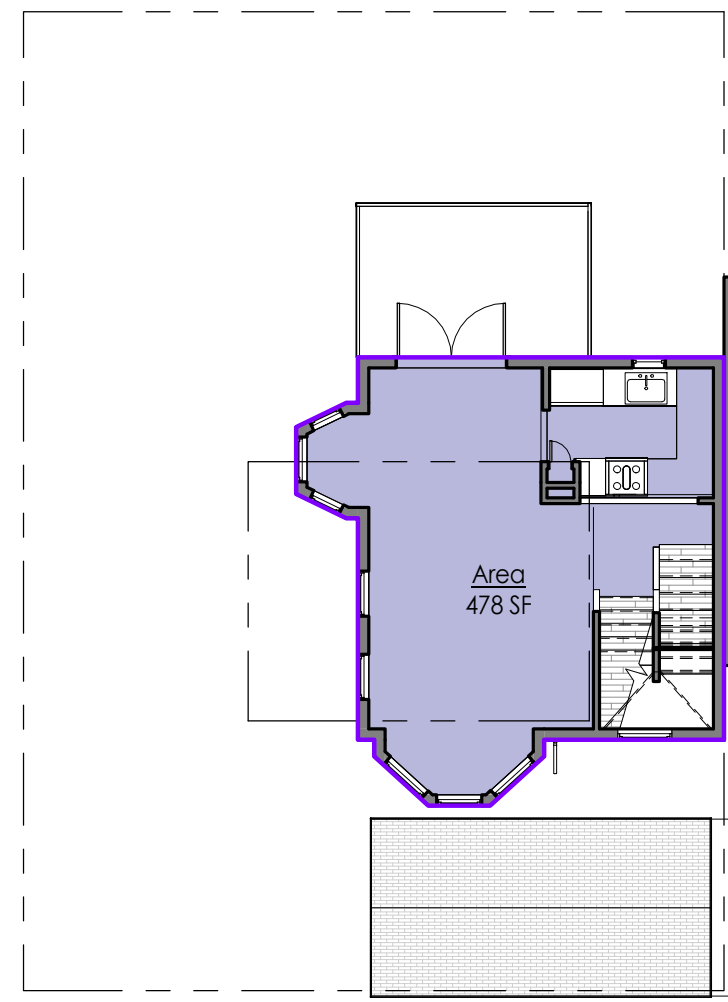
Scale 1 1/2" = 1'-0"



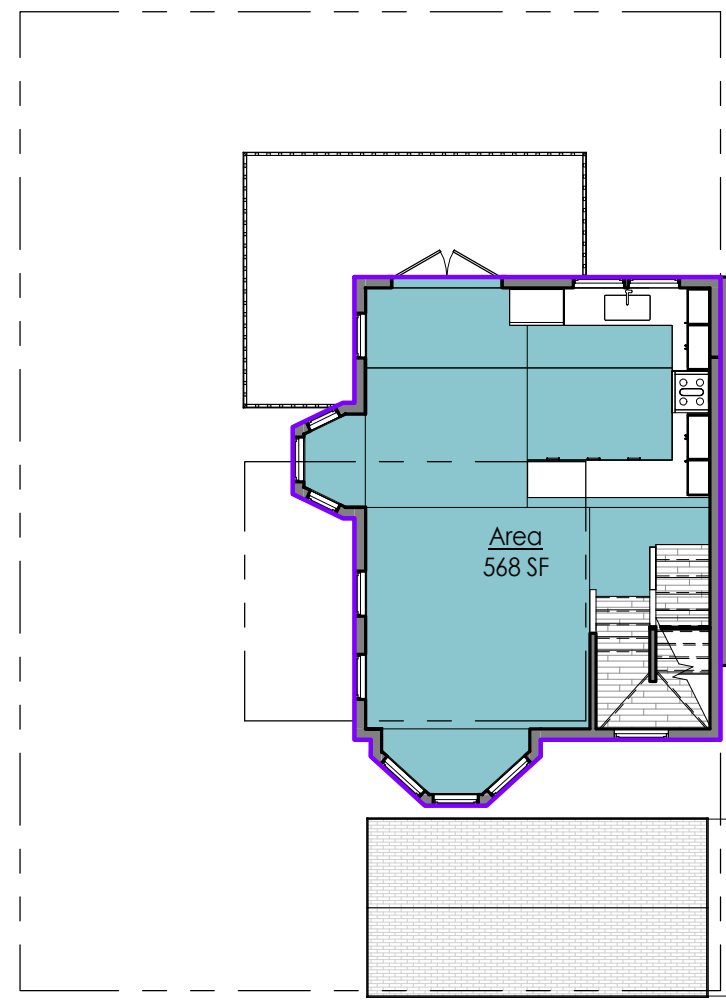
4 EXISTING LEVEL 3 Copy 1
3/32" = 1'-0"



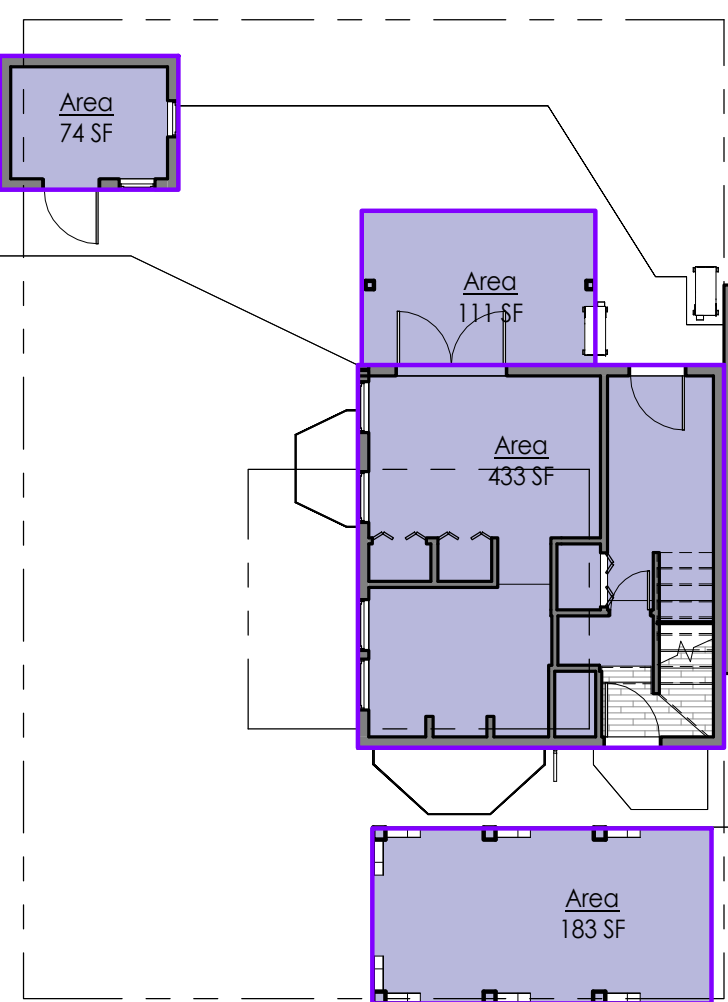
7 EXISTING LEVEL 3
3/32" = 1'-0"



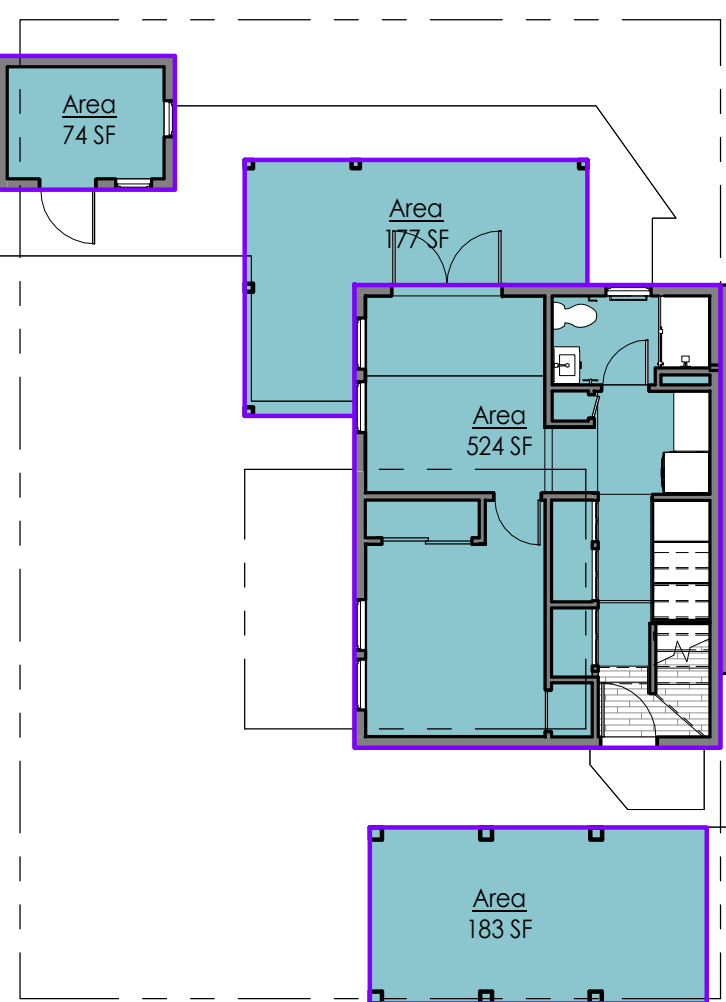
3 EXISTING LEVEL 2 Copy 1
3/32" = 1'-0"



6 EXISTING LEVEL 2
3/32" = 1'-0"



2 EXISTING LEVEL 1 Copy 1
3/32" = 1'-0"



5 EXISTING LEVEL 1
3/32" = 1'-0"

Area Schedule (Gross Building)		
Level	Area	Comments
EXISTING LEVEL 1	74 SF	
EXISTING LEVEL 1	111 SF	
EXISTING LEVEL 1	183 SF	
EXISTING LEVEL 1	433 SF	
EXISTING LEVEL 2	478 SF	
EXISTING LEVEL 3	352 SF	

Area Schedule (Rentable)		
Level	Area	Comments
EXISTING LEVEL 1	74 SF	
EXISTING LEVEL 1	177 SF	
EXISTING LEVEL 1	183 SF	
EXISTING LEVEL 1	524 SF	
EXISTING LEVEL 2	568 SF	
EXISTING LEVEL 3	442 SF	

ZONE DISTRICT - RESIDENCE B:
SINGLE- & TWO-FAMILY DETACHED
TOWNHOUSE DWELLINGS

OPEN SPACE CALCULATIONS

LOT SIZE: 2,141 SQ FT

REQUIRED OPEN SPACE (MIN): 40.00%
 EXISTING OPEN SPACE: 65.06%
 PROPOSED OPEN SPACE: 55.30%

PROPOSED DECREASED OPEN: 9.76%

FAR CALCULATION

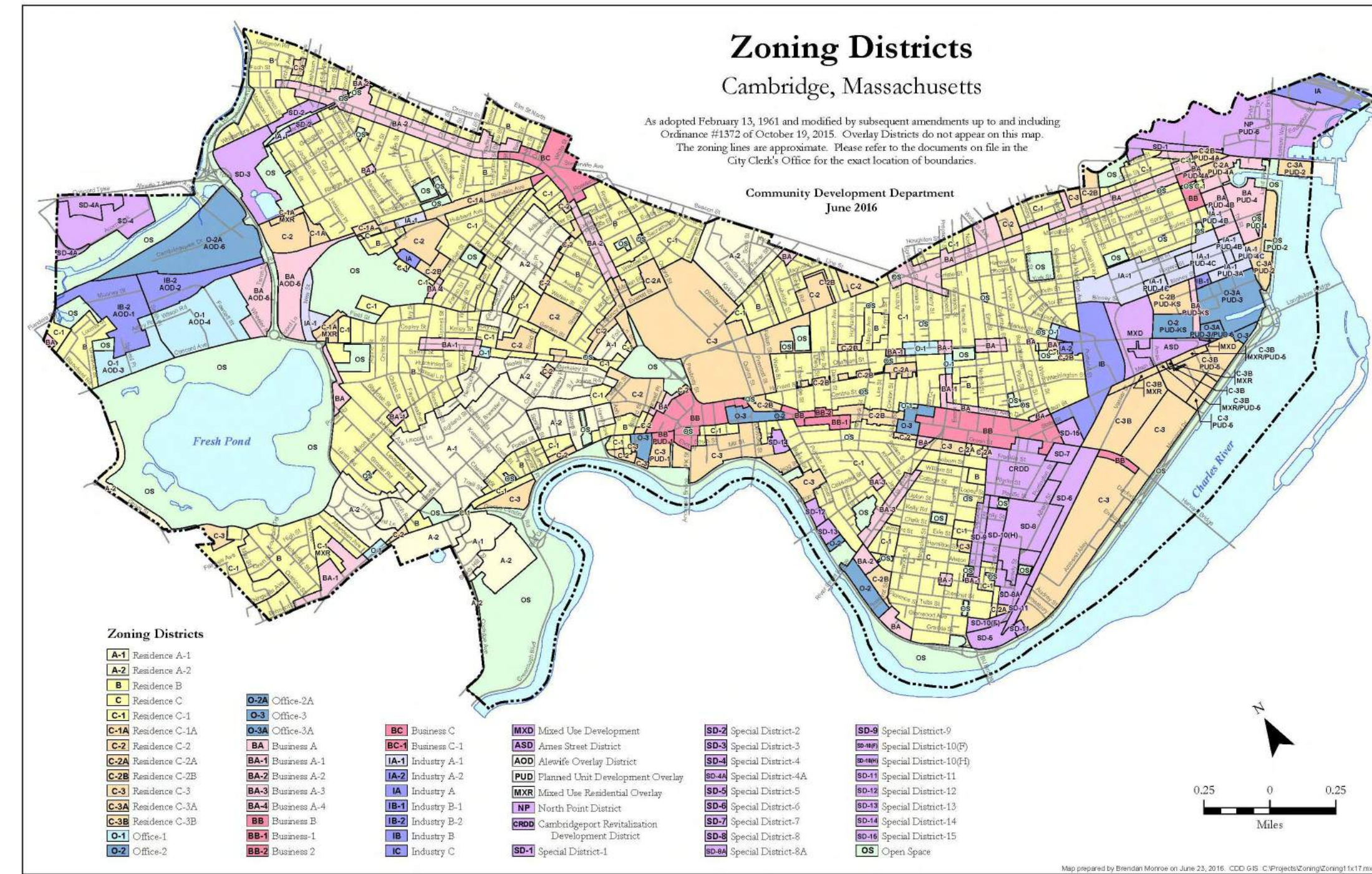
REQUIRED FAR: 0.500
 EXISTING FAR: 0.762
 PROPOSED FAR: 0.919

PROPOSED INCREASE FAR: 0.157

BUILDING HEIGHT

REQUIRED BUILDING HEIGHT: 35'-0"
 EXISTING HEIGHT: 30'-2"
 PROPOSED HEIGHT: 30'-2"

PROPOSED INCREASE IN BUILDING HEIGHT: NONE



SET BACKS

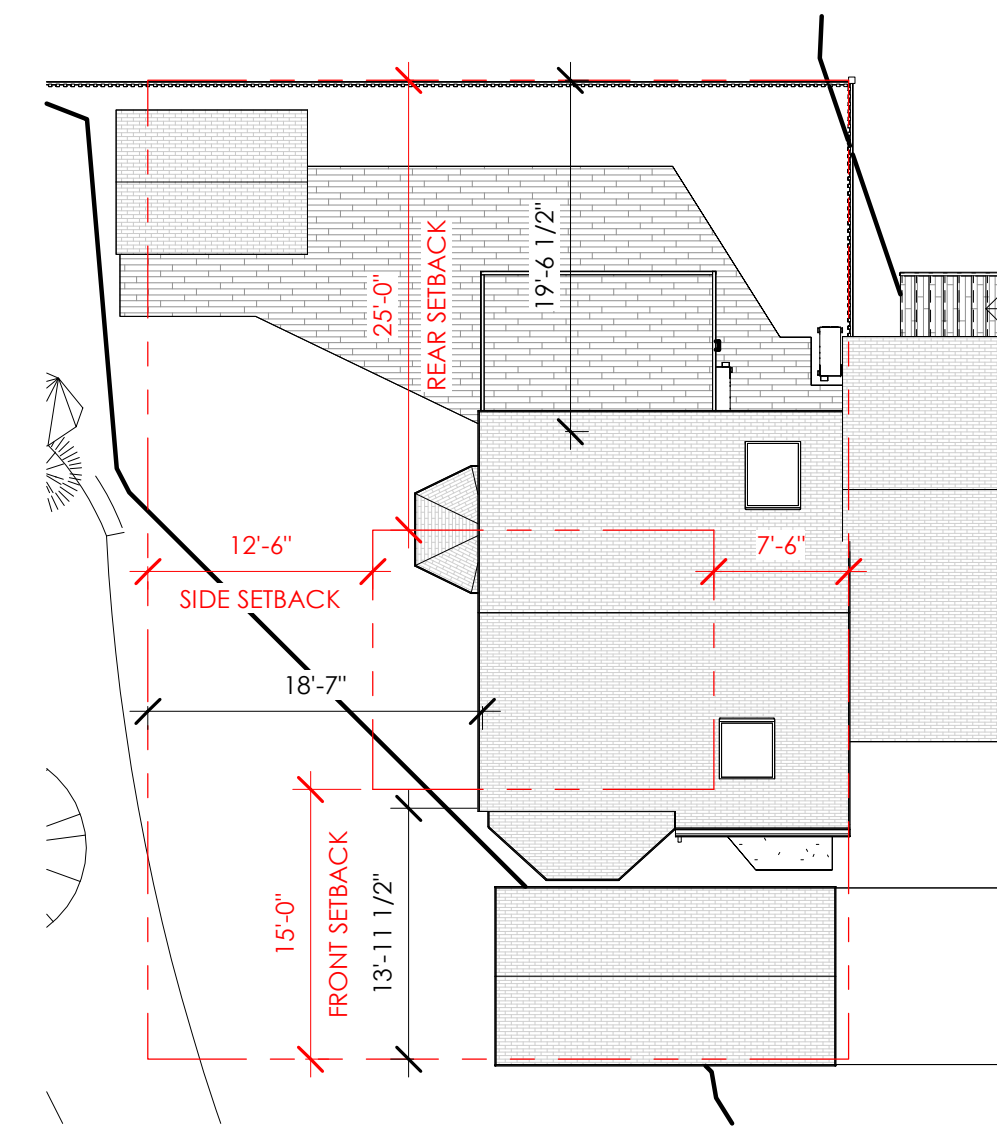
REQUIRED FRONT YARD SETBACK: 15'-0"
 EXISTING SETBACK: 13'-11.5"
 PROPOSED SETBACK: 13'-11.5"

REQUIRED LEFT SIDE YARD SETBACK: 7.5' MIN (SUM OF 20)
 EXISTING SETBACK: 18'-7"
 PROPOSED SETBACK: 12'-7"

REQUIRED RIGHT SIDE YARD SETBACK: 7.5' MIN (SUM OF 20)
 EXISTING SETBACK: 0'-0"
 PROPOSED SETBACK: 0'-0"

REQUIRED REAR YARD SETBACK: 25'-0"
 EXISTING SETBACK (HOUSE): 19'-2"
 PROPOSED SETBACK (HOUSE): 14'-9"

EXISTING SETBACK (DECK) 10'-9"
 PROPOSED SETBACK (DECK) 7'-10"



1 SITE PLAN-BZA
3/32" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

AREA PLANS

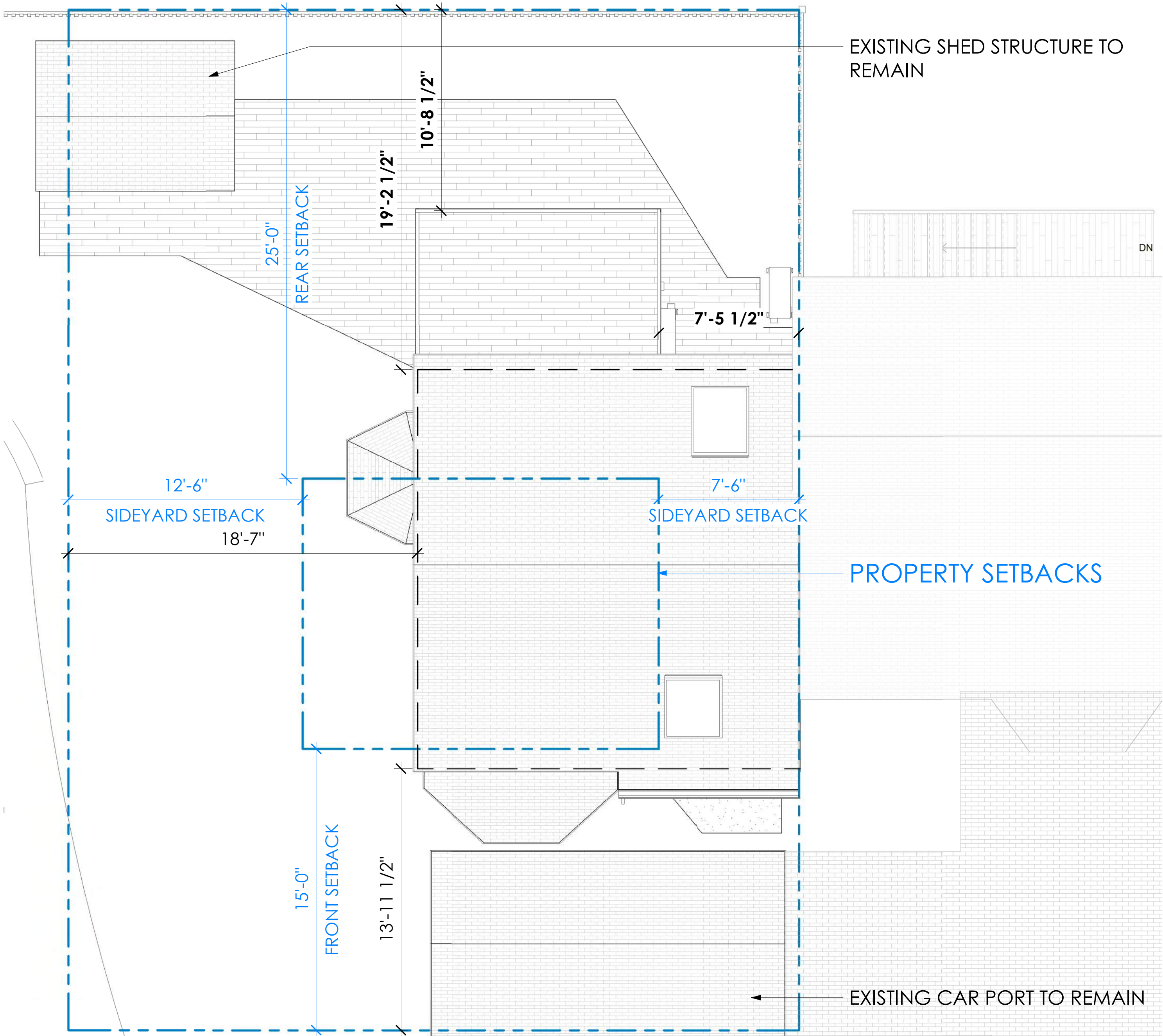
MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status BZA Permit Set
 Project number Project Number
 Date 12/11/2023
 Drawn by Author
 Checked by Checker

BZA-002

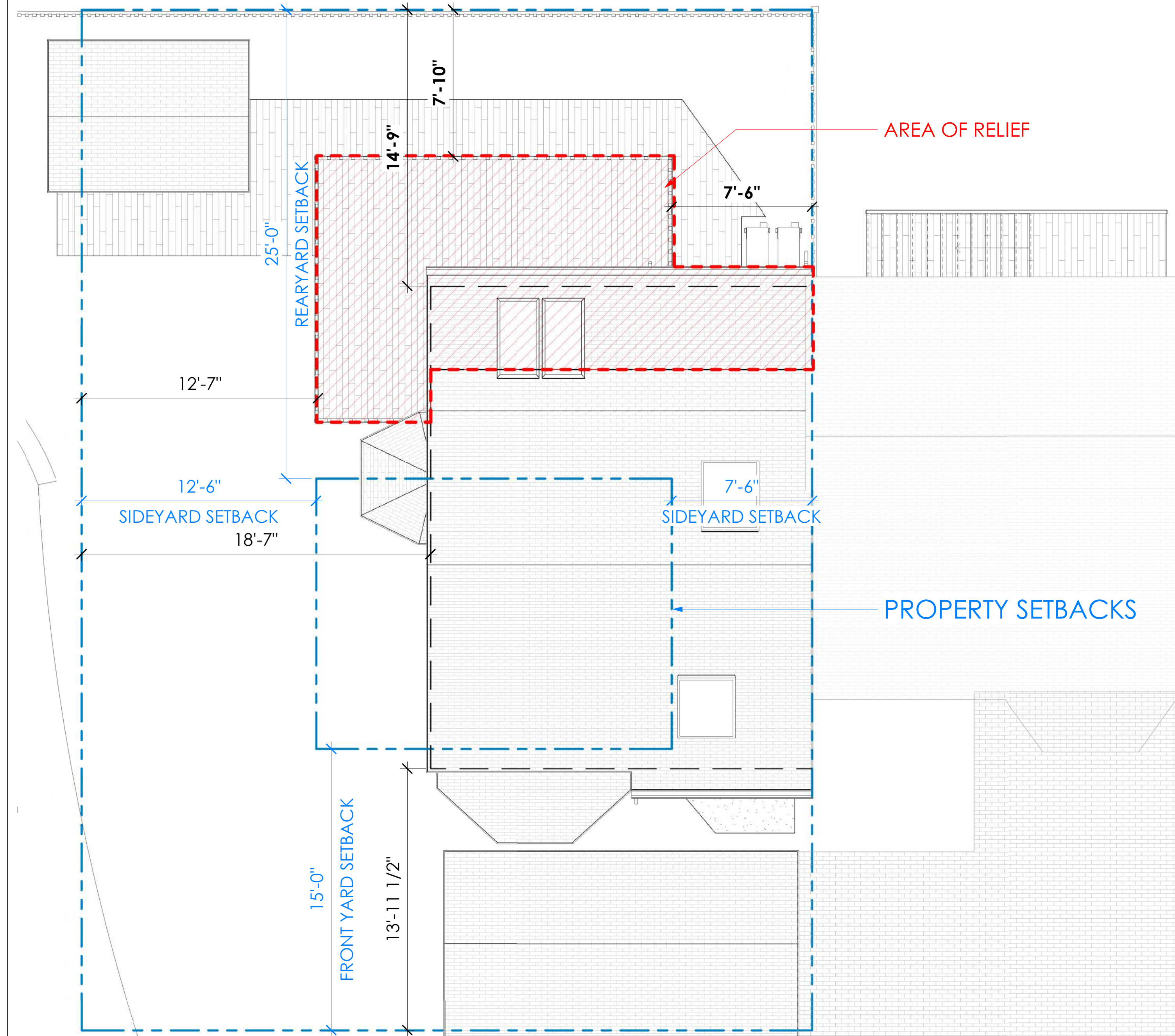
Scale 3/32" = 1'-0"

EXISTING SITE PLAN



1 EXISTING - SITE Copy 1
1/4" = 1'-0"

PROPOSED SITE PLAN



2 PROPOSED - SITE Copy 1
1/4" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

SITE PLAN

MICHAEL BRODIE
BRODIE RESIDENCE
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-003

Scale 1/4" = 1'-0"

EXISTING AXON



PROPOSED AXON



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SITE AXON

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-004

Scale



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

SHADOW STUDY

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-005

Scale 1" = 20'-0"

12/13/2023 4:55:39 PM

	WINTER SOLSTICE - EXISTING	WINTER SOLSTICE - PROPOSED	SUMMER SOLSTICE - EXISTING	SUMMER SOLSTICE - PROPOSED
MORNING - 9 AM	 ① EXISTING - 9 - WINTER 1" = 20'-0"	 ② PROPOSED - 9 - WINTER 1" = 20'-0"	 ⑦ EXISTING - 9 - SUMMER 1" = 20'-0"	 ⑧ PROPOSED - 9 - SUMMER 1" = 20'-0"
NOON - 12 PM	 ④ EXISTING - 12 - WINTER 1" = 20'-0"	 ③ PROPOSED - 12 - WINTER 1" = 20'-0"	 ⑨ EXISTING - 12 - SUMMER 1" = 20'-0"	 ⑩ PROPOSED - 12 - SUMMER 1" = 20'-0"
AFTERNOON - 3 PM	 ⑥ EXISTING - 3 - WINTER 1" = 20'-0"	 ⑤ PROPOSED - 3 - WINTER 1" = 20'-0"	 ⑪ PROPOSED - 3 - SUMMER 1" = 20'-0"	 ⑫ EXISTING - 3 - SUMMER 1" = 20'-0"



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

FRONT VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-006

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-007

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-008

Scale



EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

SIDE VIEW

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-009

Scale

EXISTING



PROPOSED



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

REAR VIEW

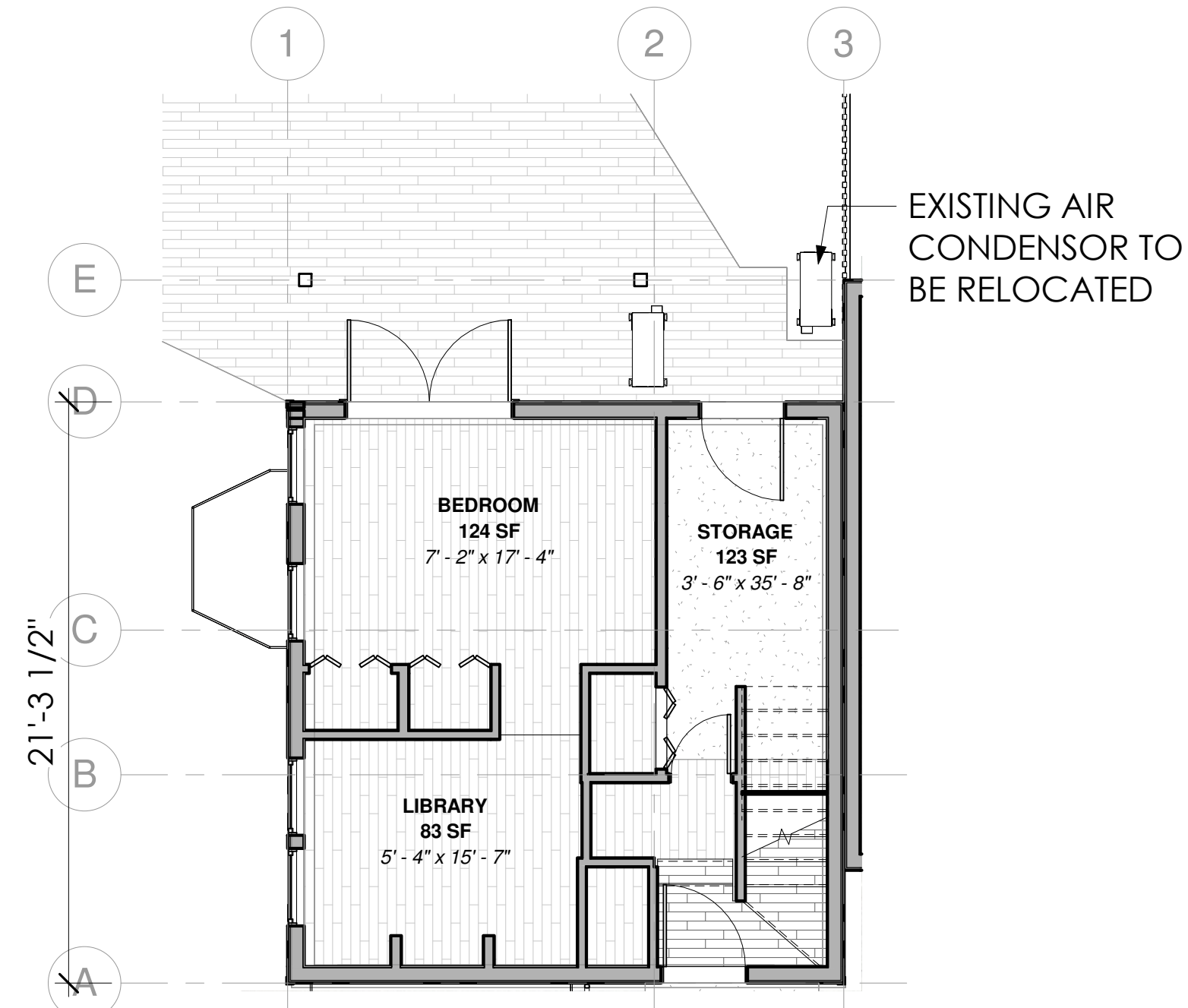
MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

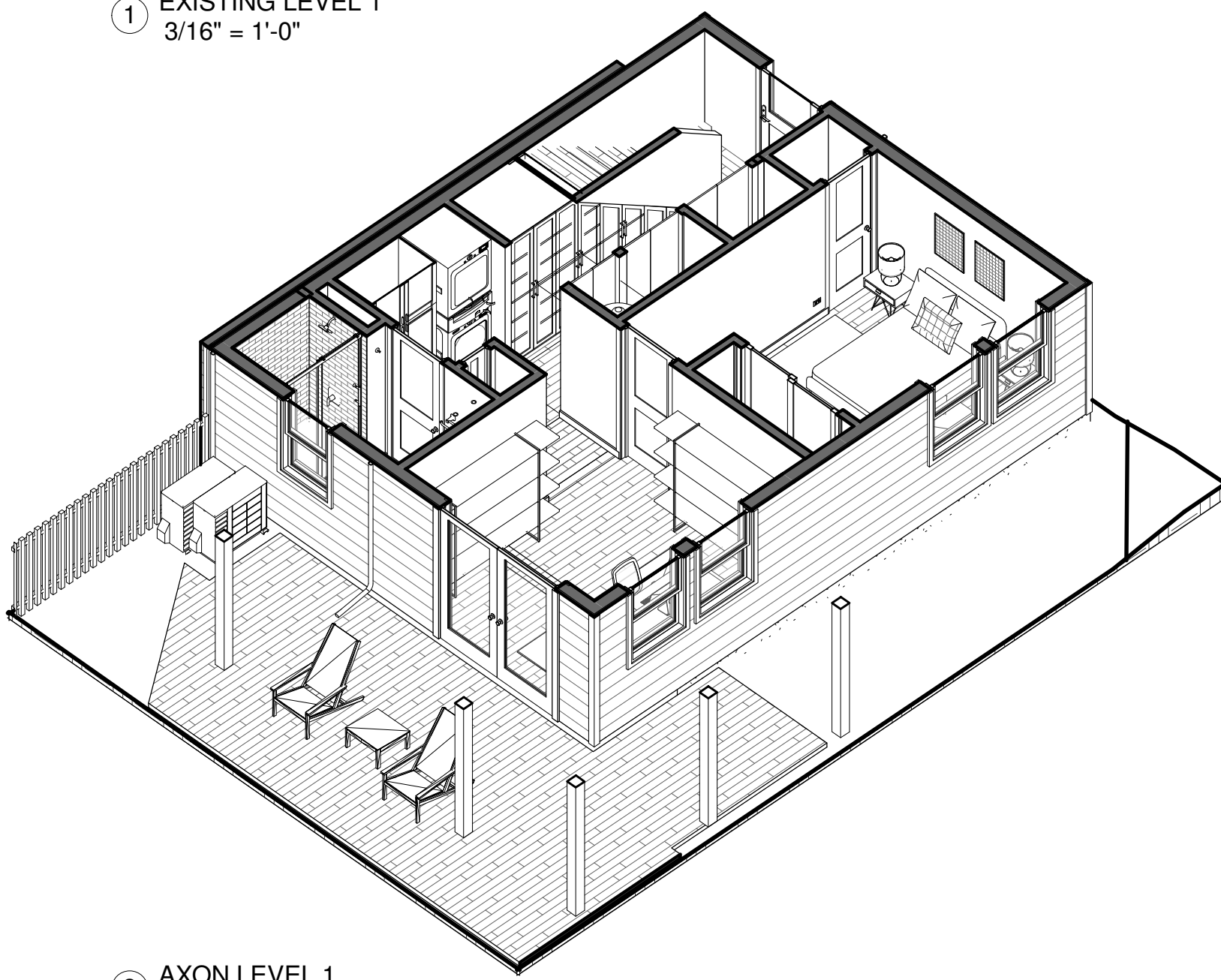
BZA-010

Scale

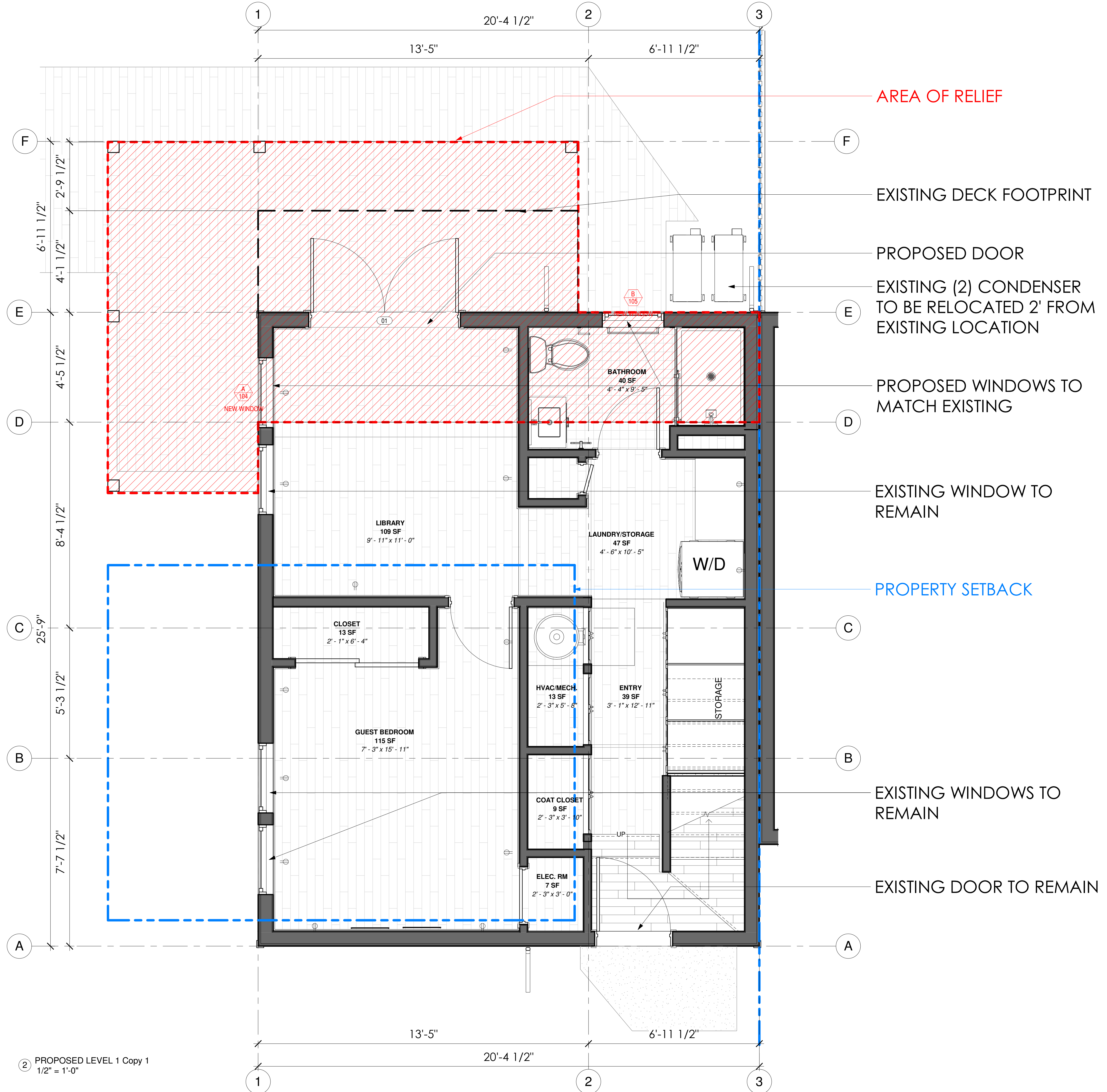
BZA-100 LEVEL 1



1 EXISTING LEVEL 1
3/16" = 1'-0"



3 AXON LEVEL 1



2 PROPOSED LEVEL 1 Copy 1
1/2" = 1'-0"



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

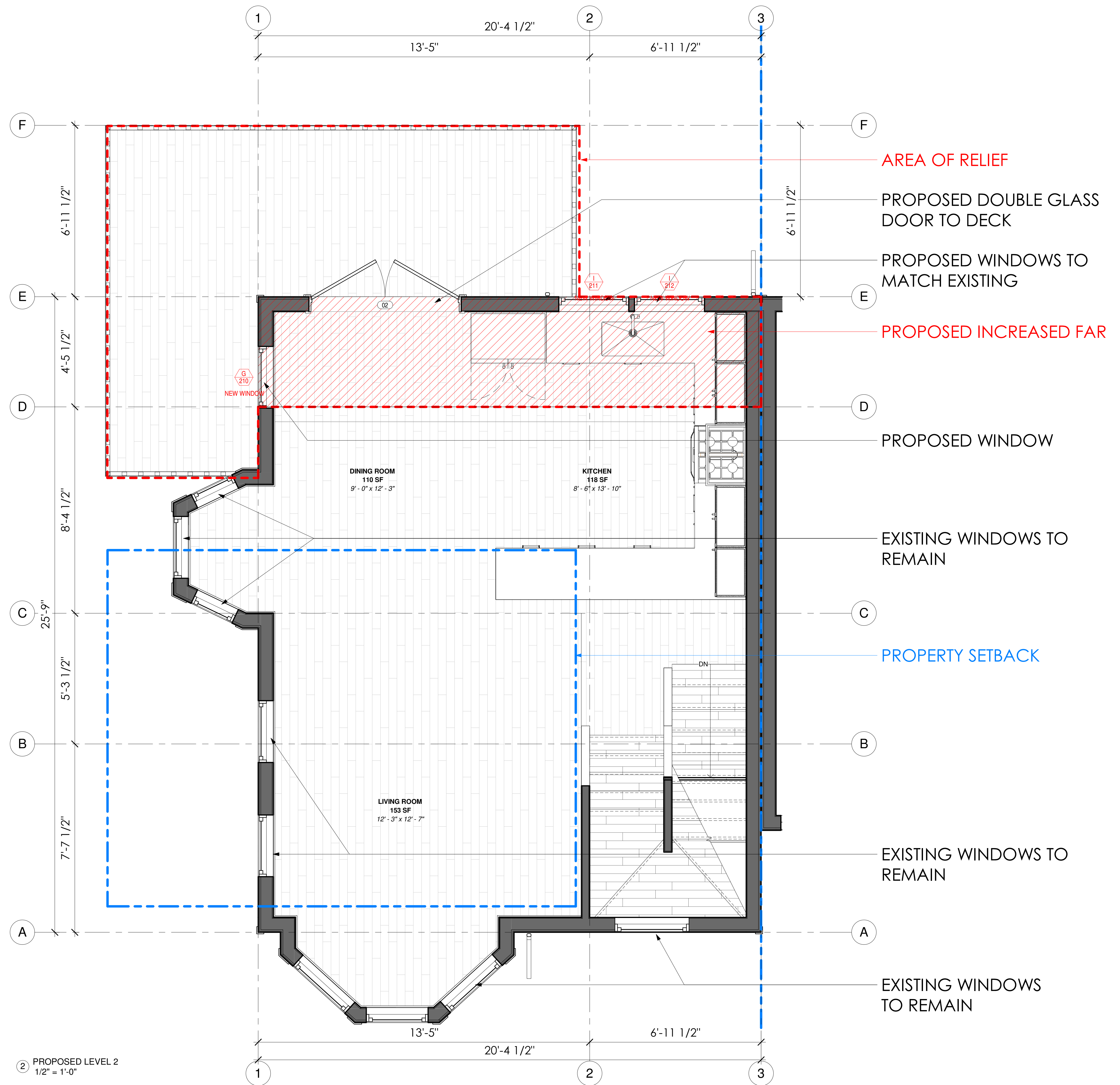
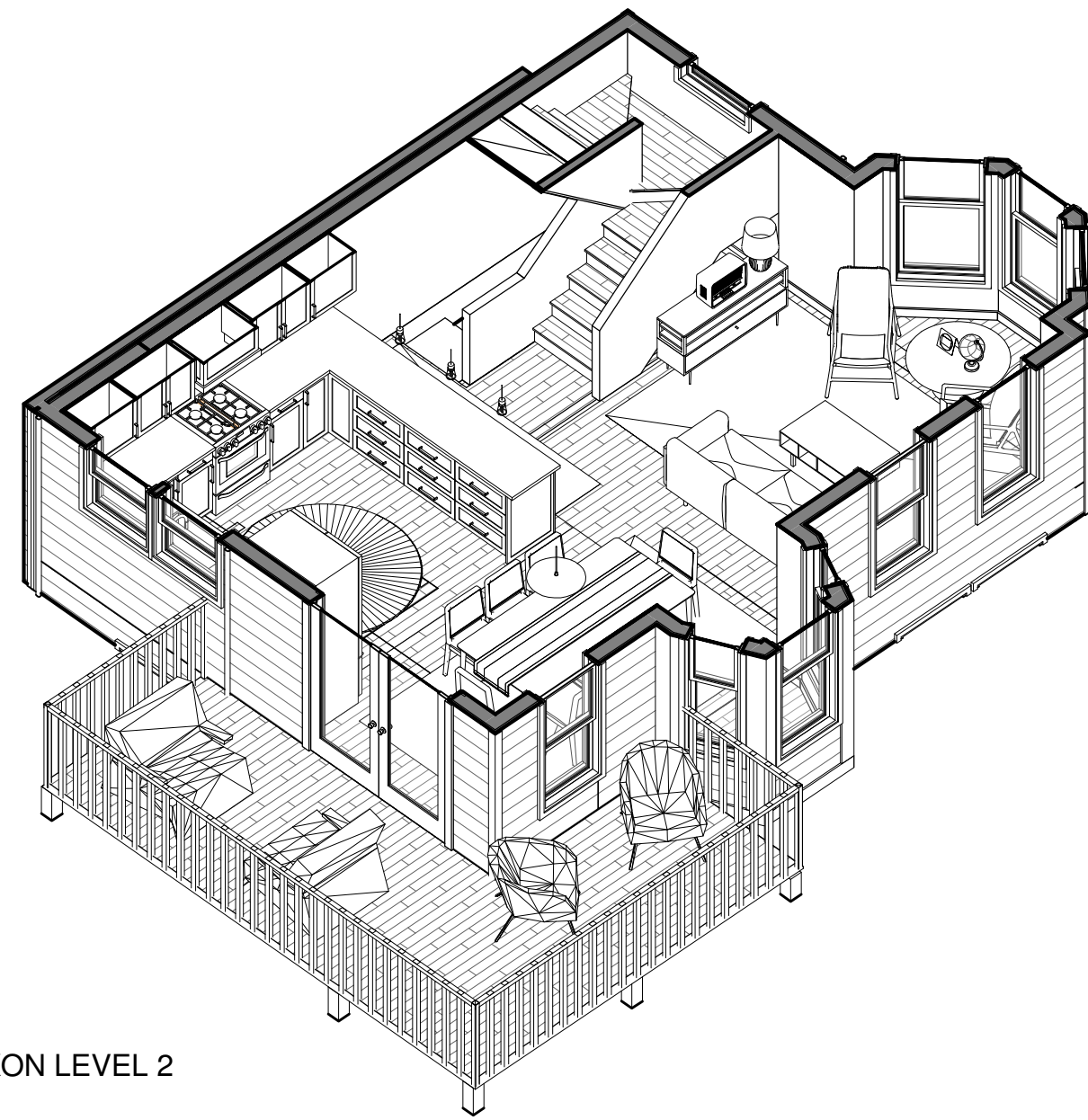
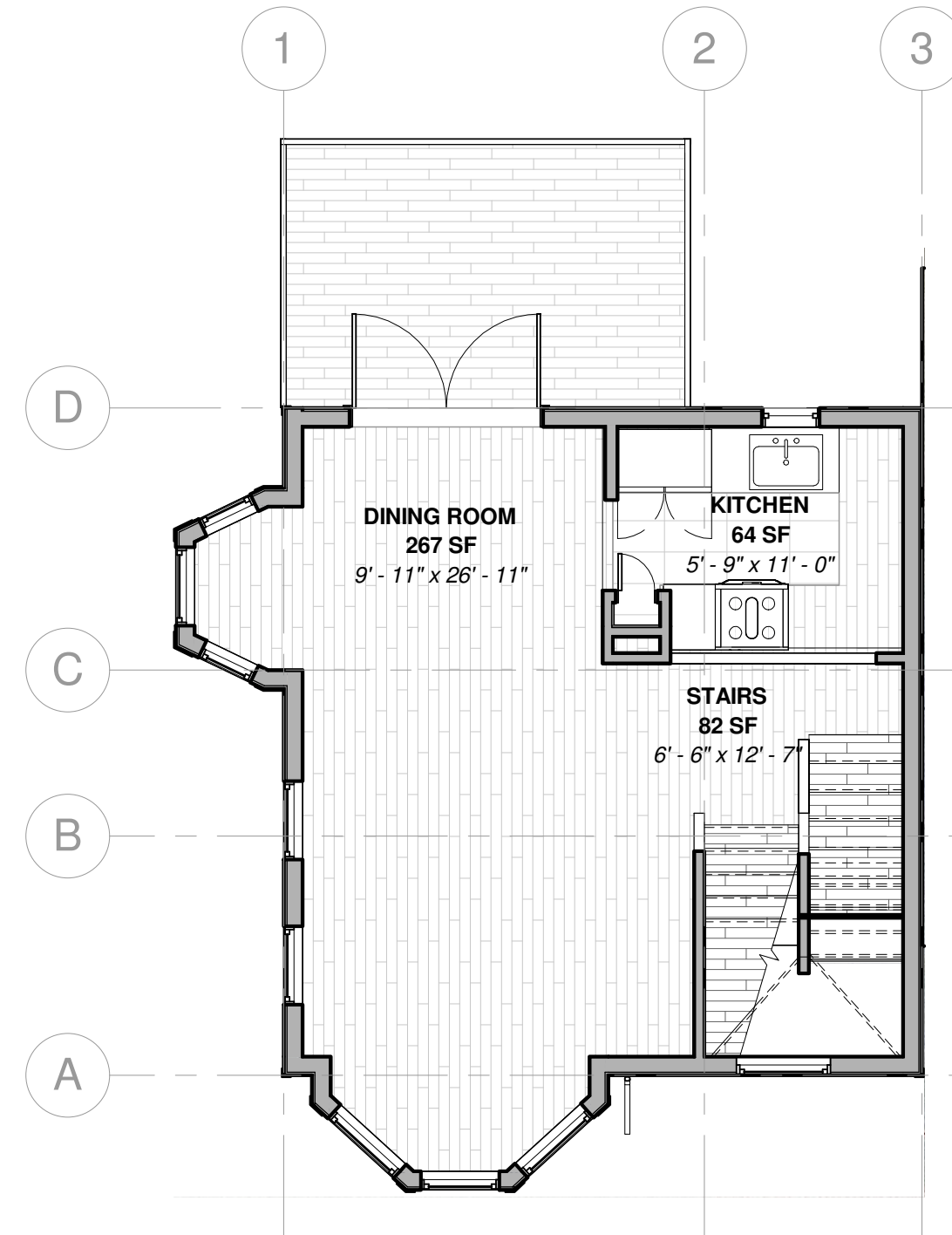
LEVEL 1

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-100
 Scale As indicated

BZA-101 LEVEL 2



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 2

MICHAEL BRODIE
 BRODIE RESIDENCE
 45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-101

Scale As indicated

12/13/2023 4:55:54 PM

BZA-102 LEVEL 3



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

LEVEL 3

MICHAEL BRODIE

BRODIE RESIDENCE

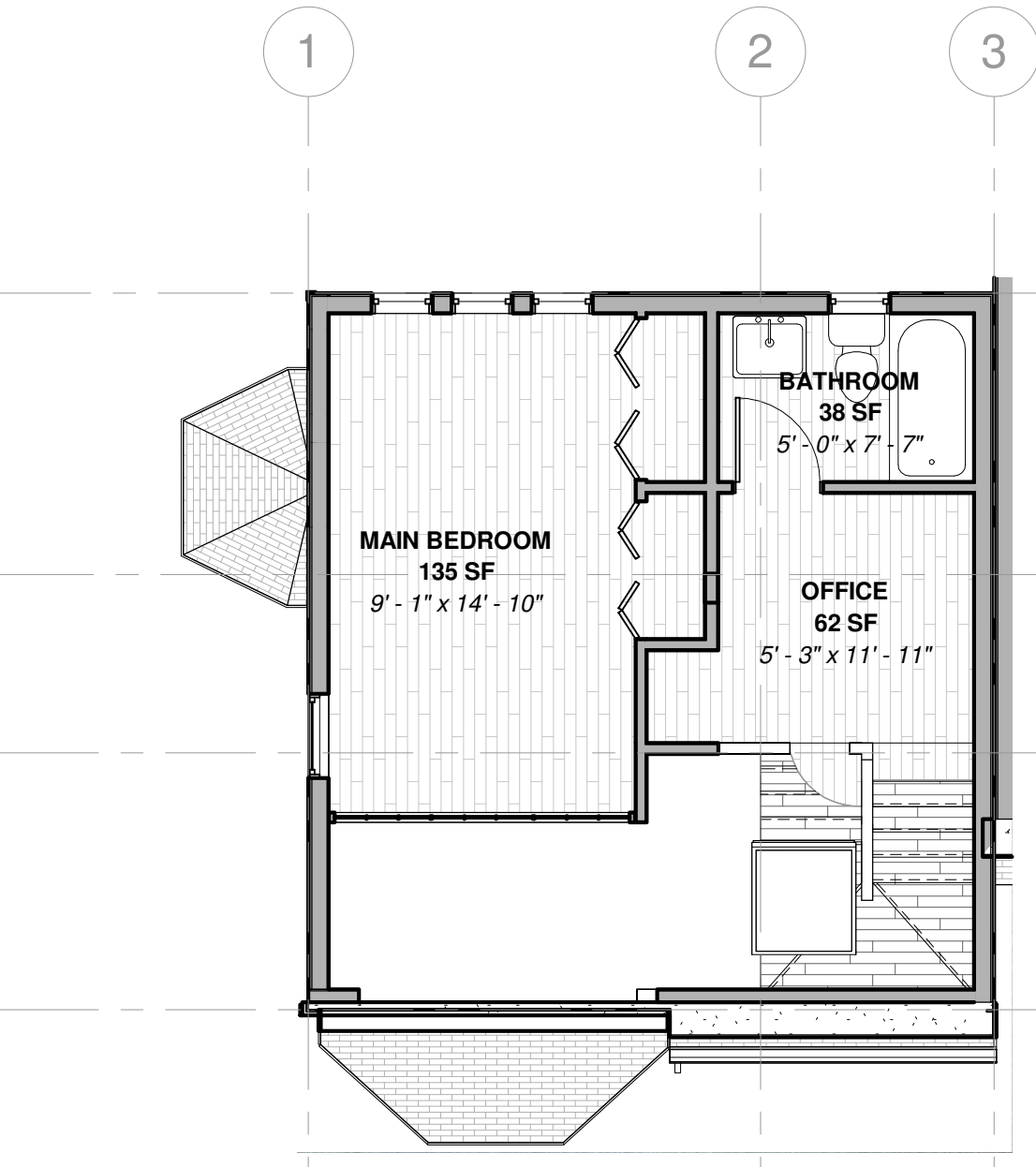
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

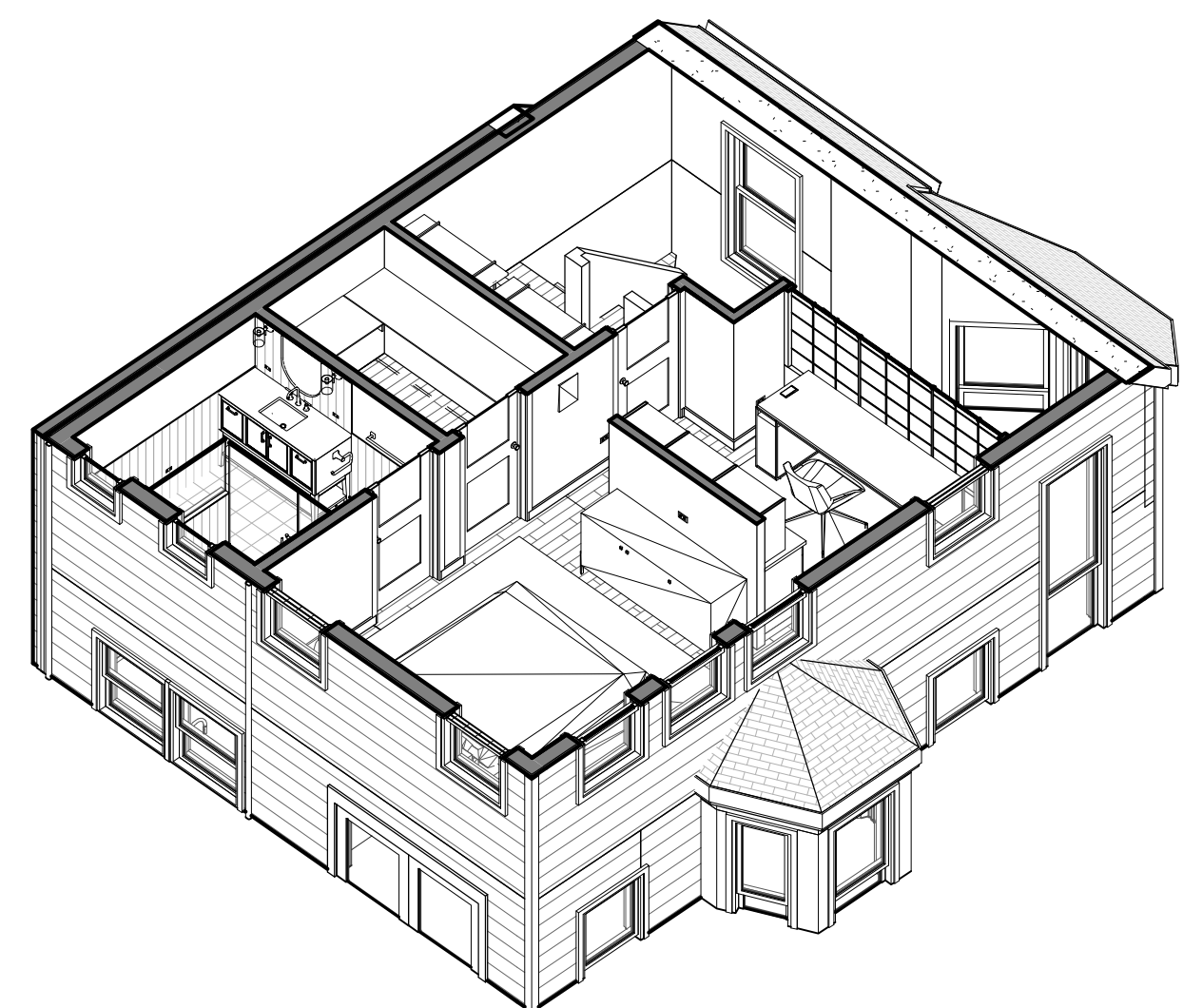
BZA-102

Scale As indicated

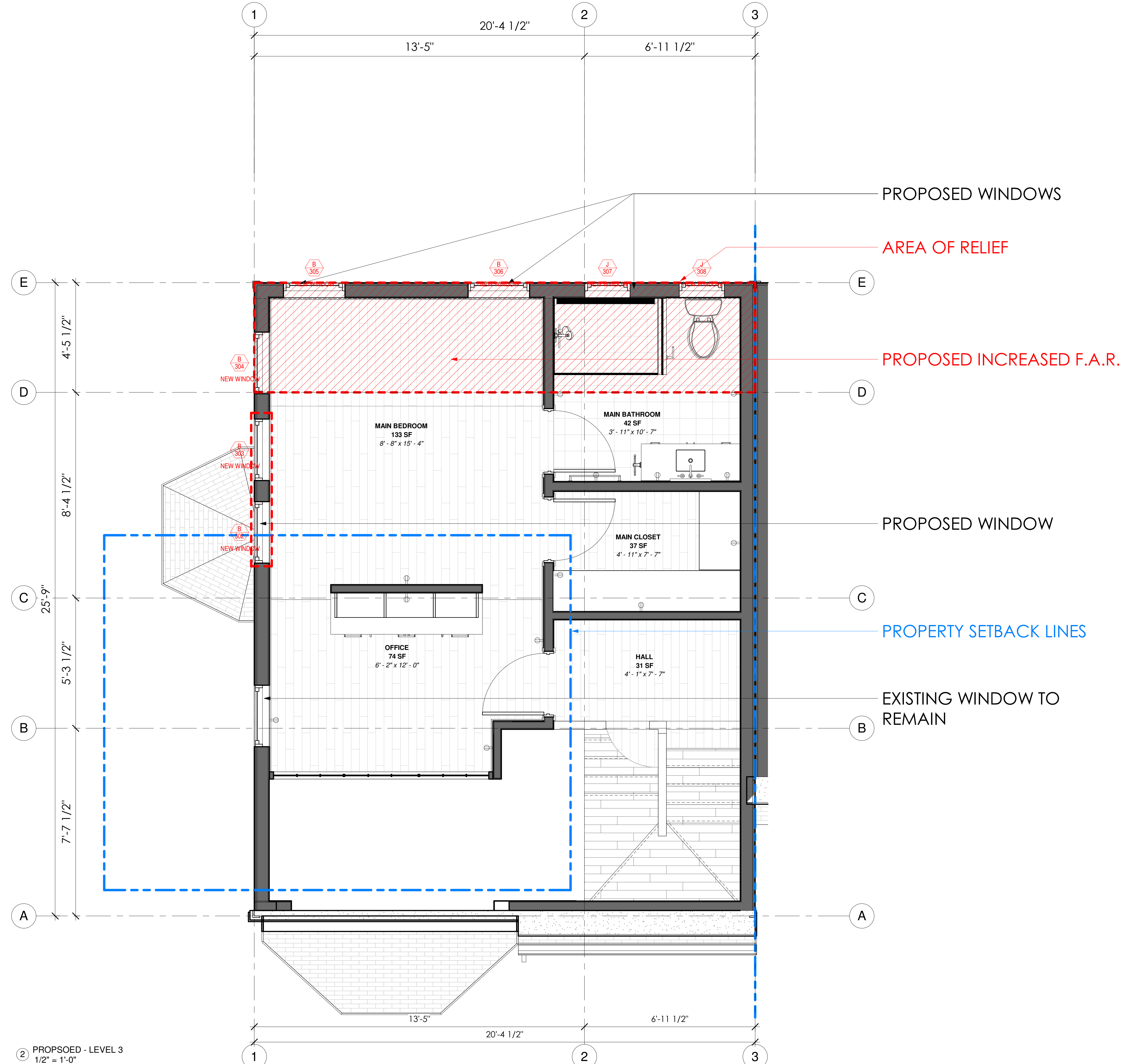
12/13/2023 4:55:57 PM



1 EXISTING - LEVEL 3
3/16" = 1'-0"



3 AXON - LEVEL 3



2 PROPOSED - LEVEL 3
1/2" = 1'-0"

PROPOSED WINDOWS

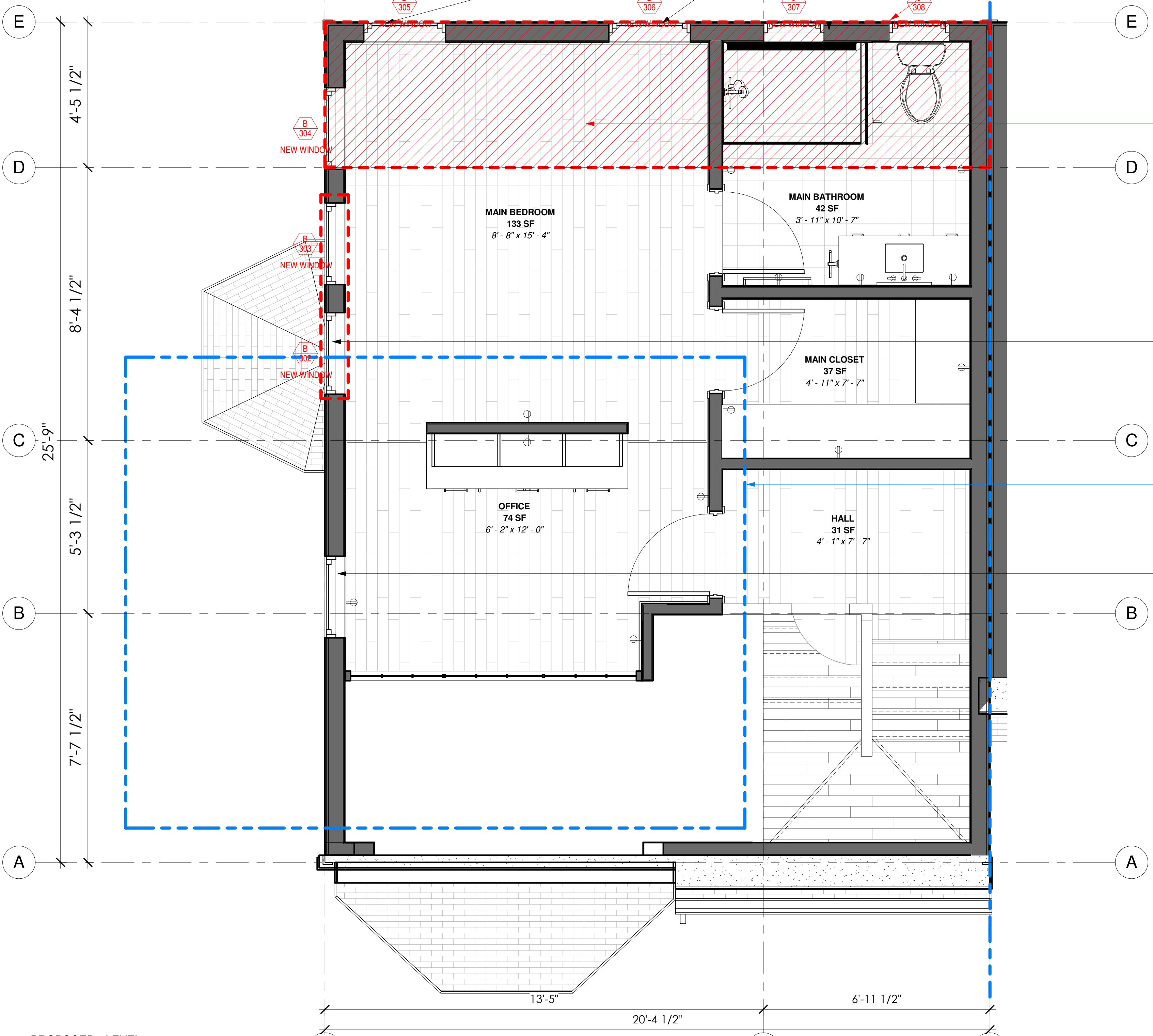
AREA OF RELIEF

PROPOSED INCREASED F.A.R.

PROPOSED WINDOW

PROPERTY SETBACK LINES

EXISTING WINDOW TO REMAIN

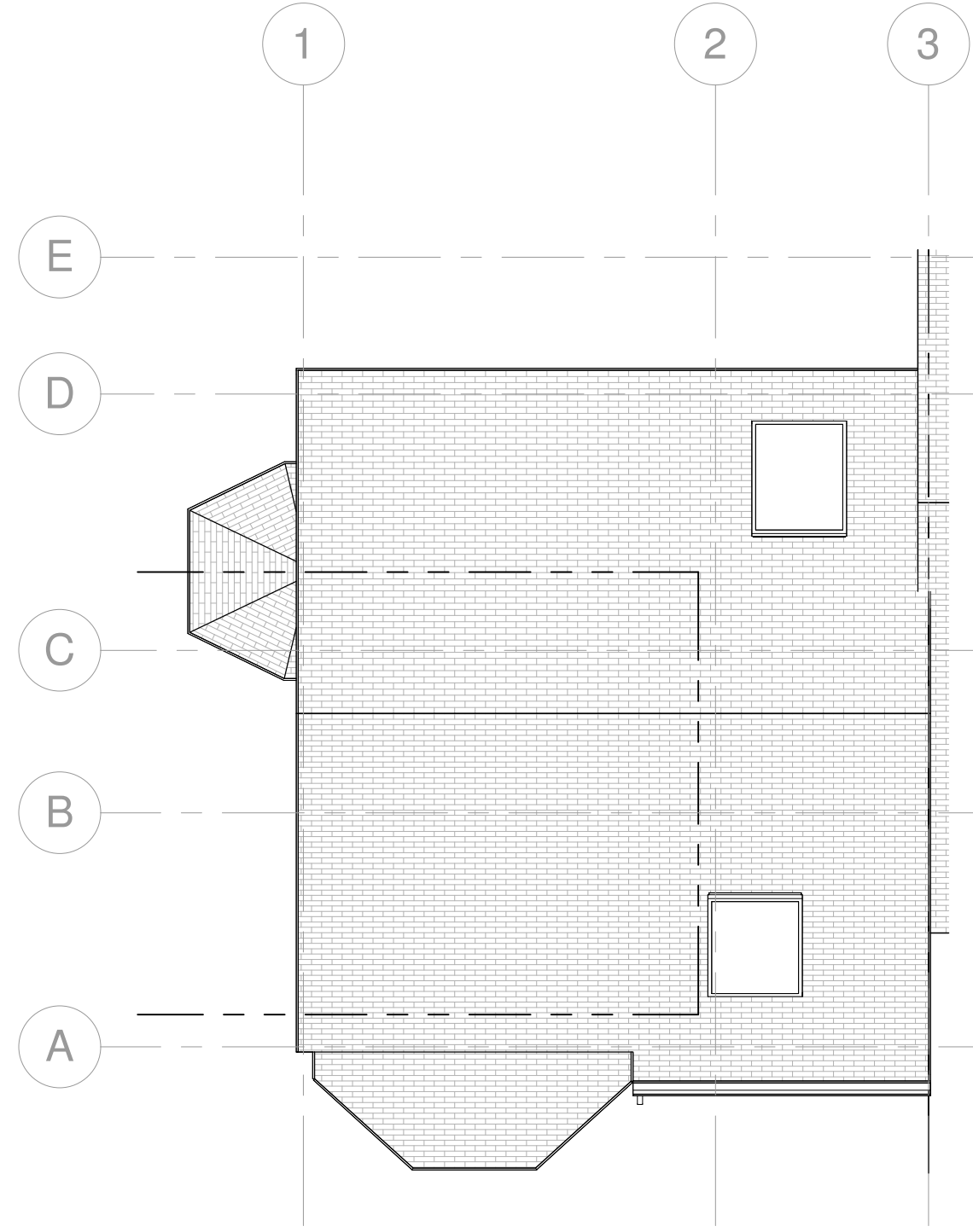


E 4'-5 1/2"
D 8'-4 1/2"
C 25'-9"
B 5'-3 1/2"
A 7'-7 1/2"

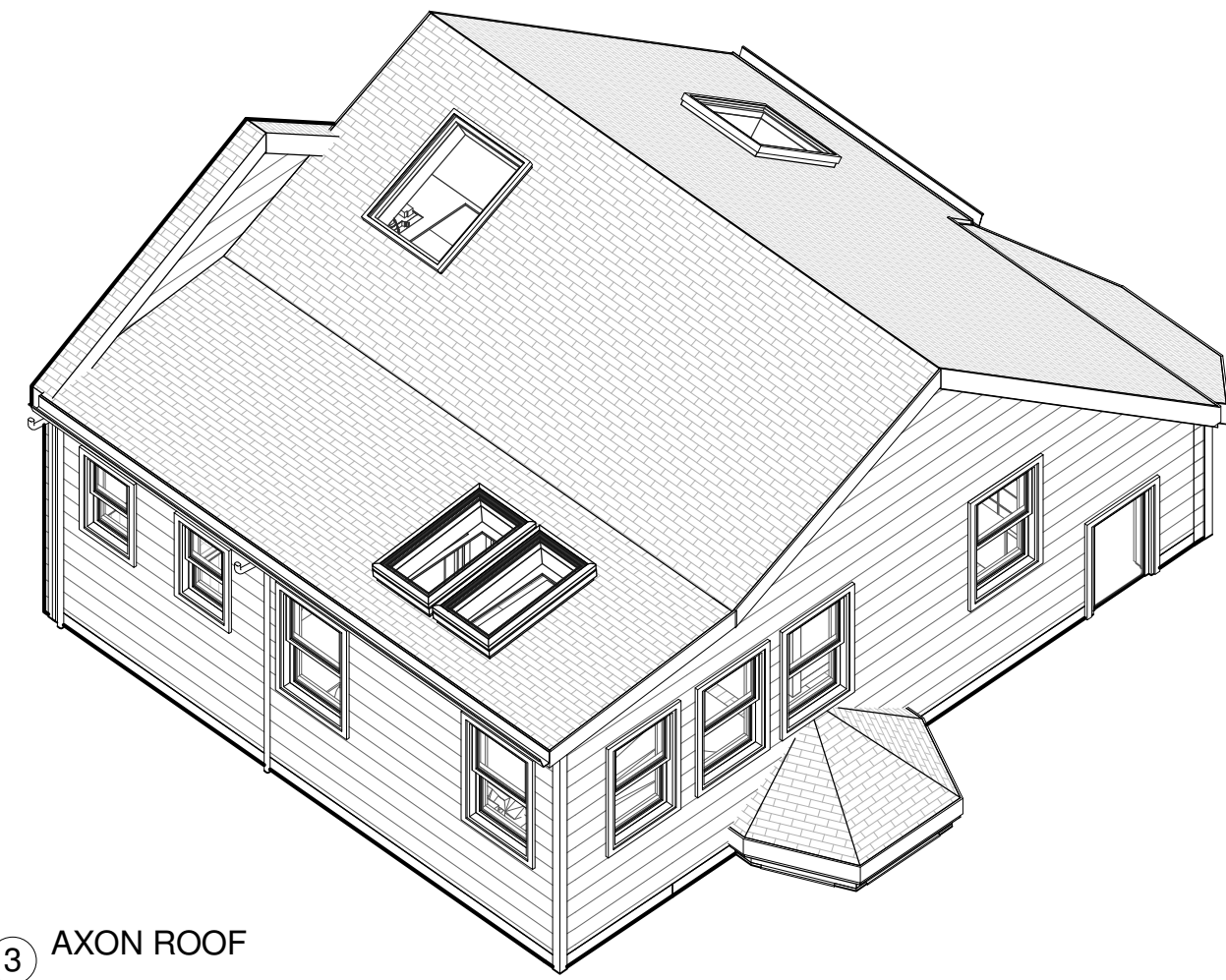
1 20'-4 1/2"
13'-5"
2 6'-11 1/2"
3

1 13'-5"
20'-4 1/2"
2 6'-11 1/2"
3

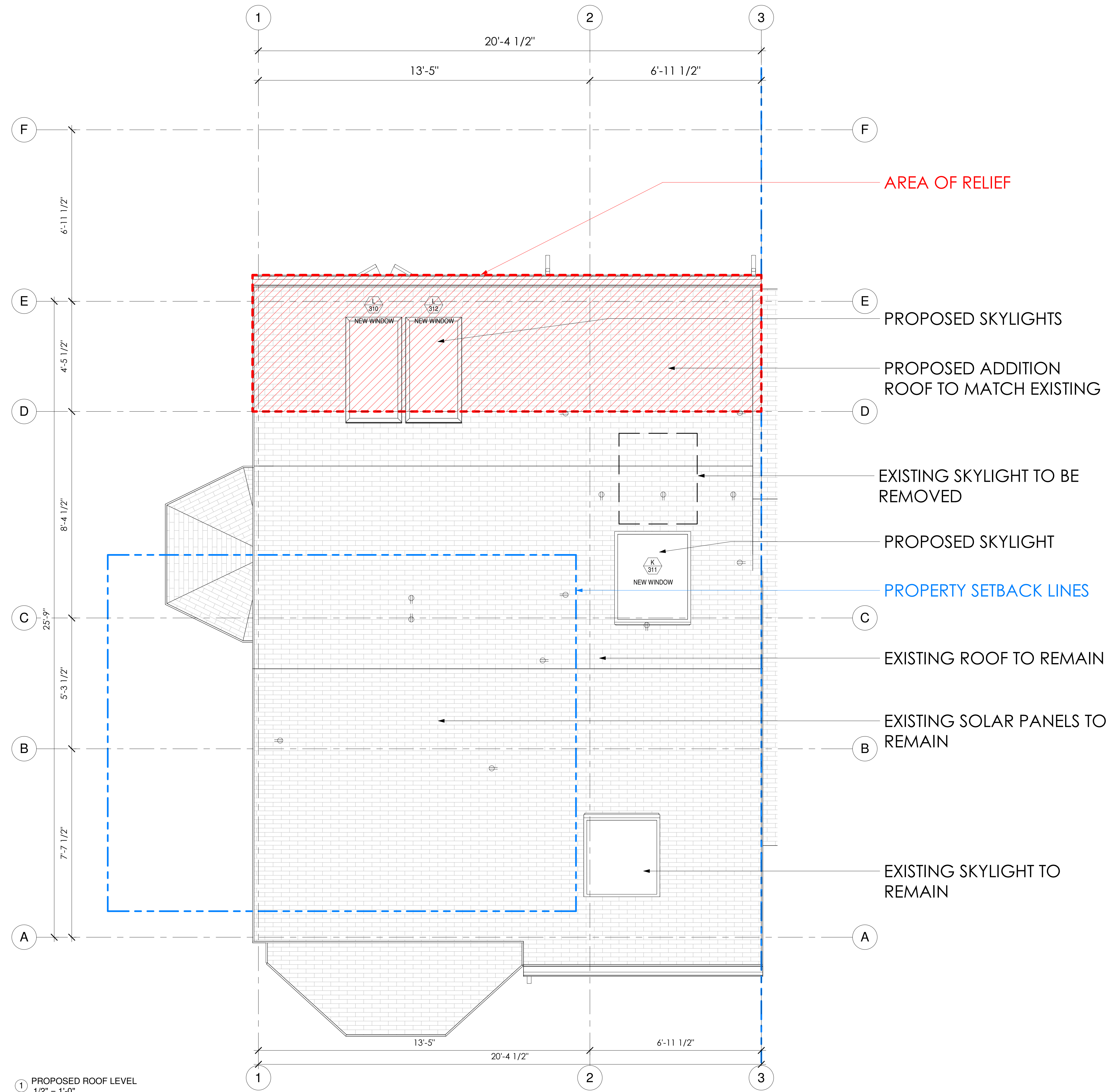
BZA-103 ROOF PLAN



② BZA - EXISTING RIDGE
3/16" = 1'-0"



③ AXON ROOF



① PROPOSED ROOF LEVEL
1/2" = 1'-0"

AREA OF RELIEF

PROPOSED SKYLIGHTS

PROPOSED ADDITION
ROOF TO MATCH EXISTING

EXISTING SKYLIGHT TO BE
REMOVED

PROPOSED SKYLIGHT

PROPERTY SETBACK LINES

EXISTING ROOF TO REMAIN

EXISTING SOLAR PANELS TO
REMAIN

EXISTING SKYLIGHT TO
REMAIN



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

ROOF PLAN

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

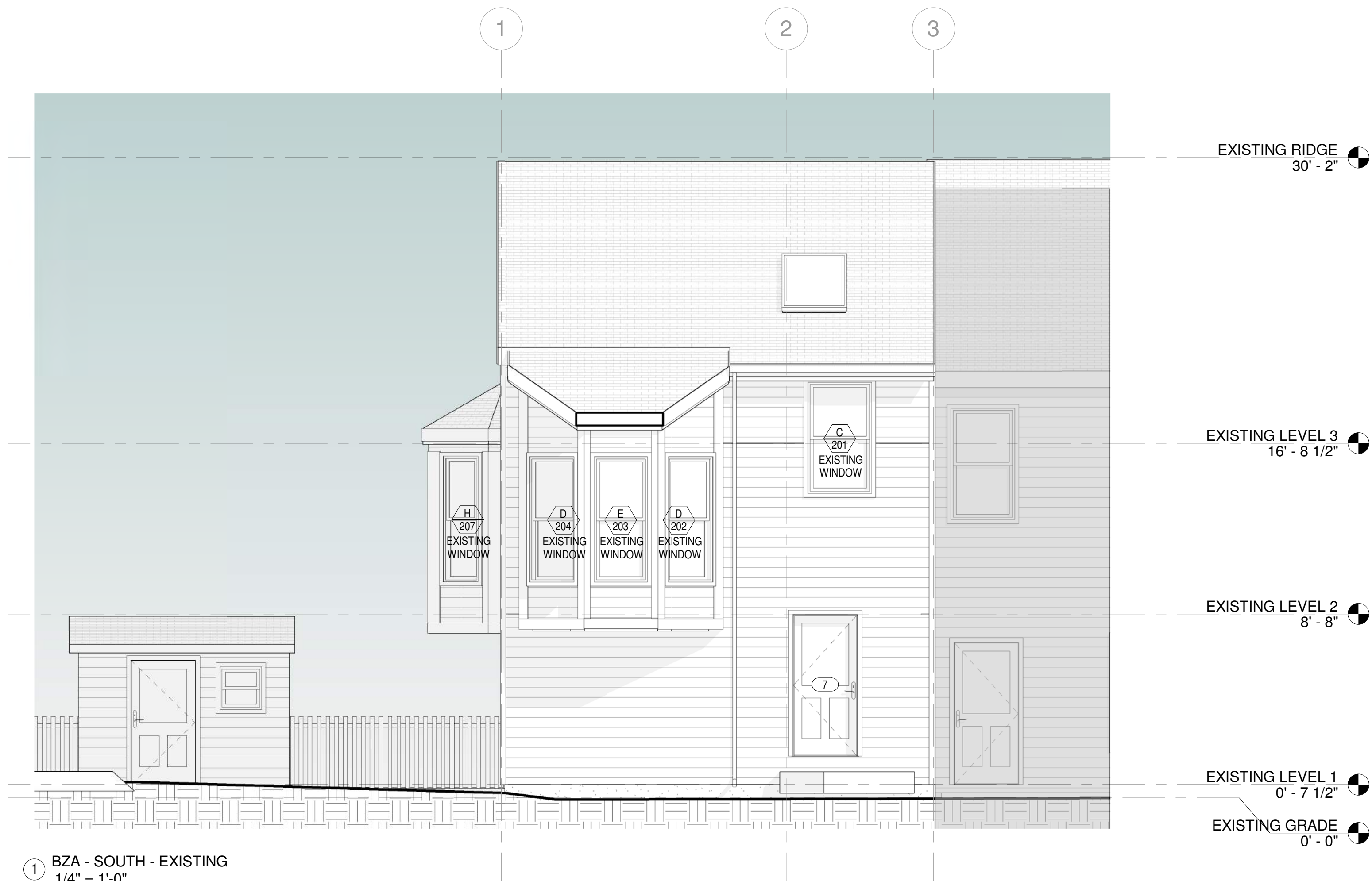
Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-103

Scale As indicated

12/13/2023 4:55:59 PM

BZA-200 ELEVATION SOUTH



1 BZA - SOUTH - EXISTING
1/4" = 1'-0"



EXISTING



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

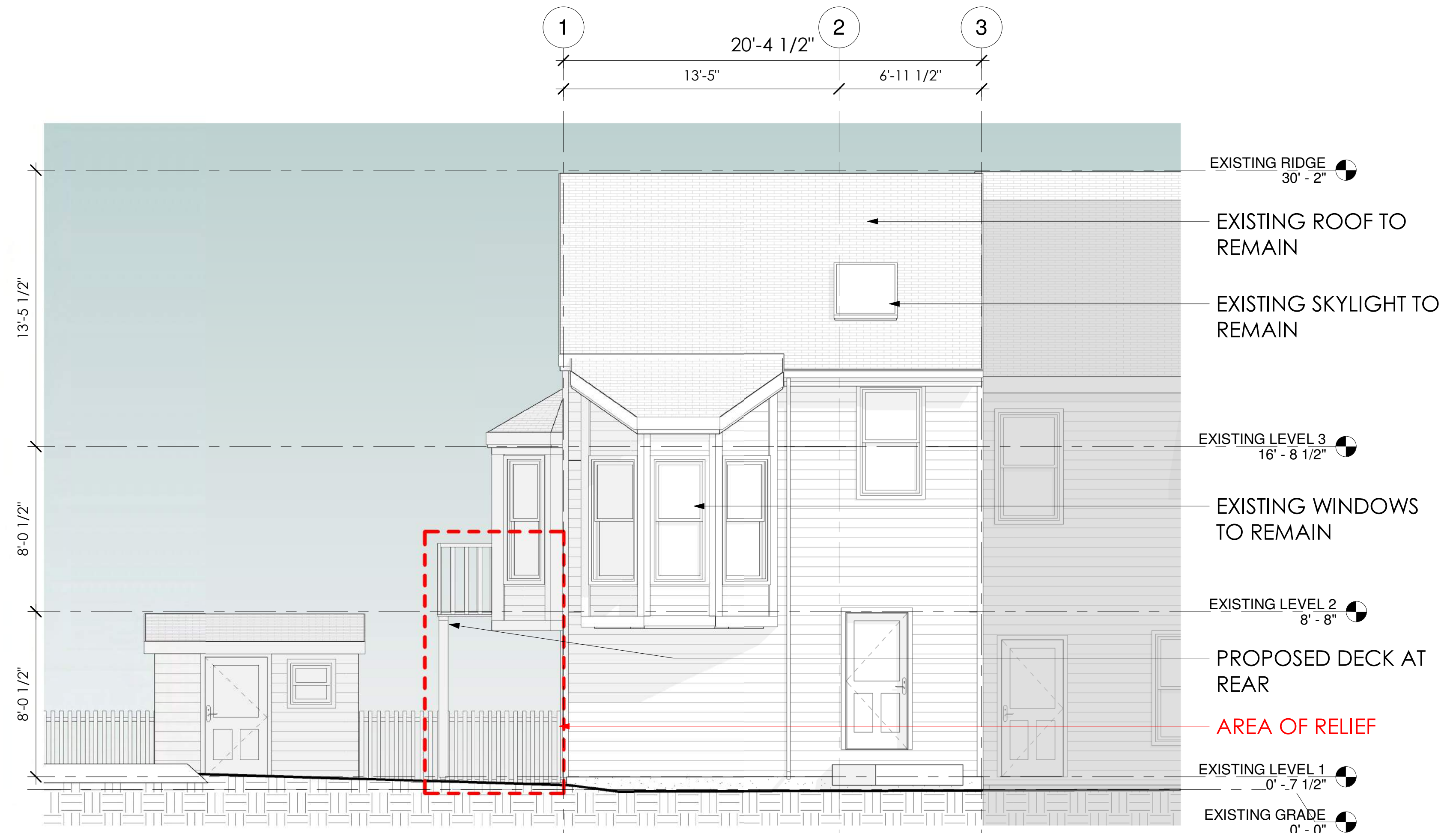
(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION SOUTH

PROPOSED



2 BZA - SOUTH ELEVATION
1/4" = 1'-0"

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

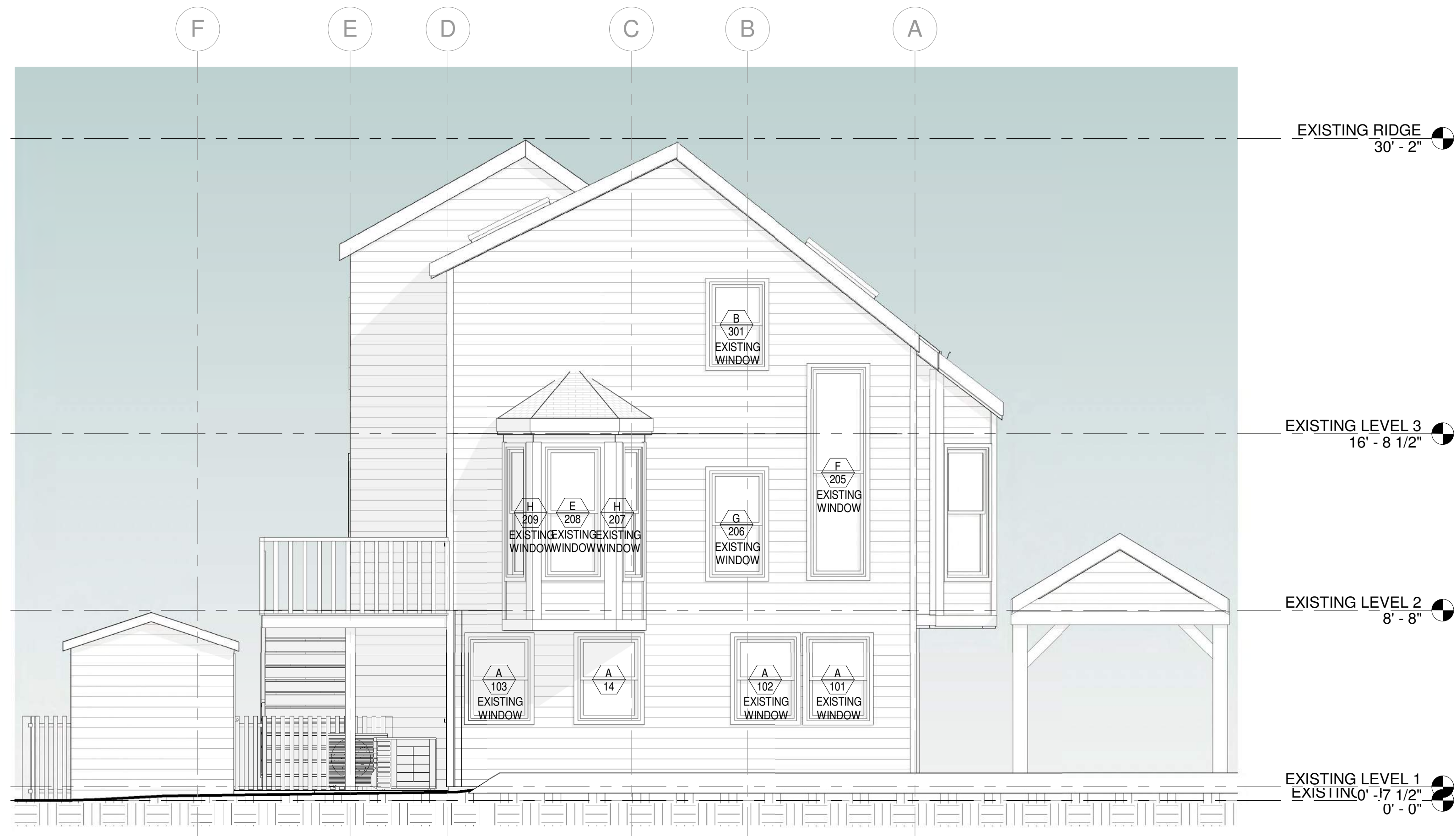
Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-200

Scale 1/4" = 1'-0"

BZA-201 ELEVATION WEST

EXISTING



1 BZA - WEST - EXISTING
1/4" = 1'-0"



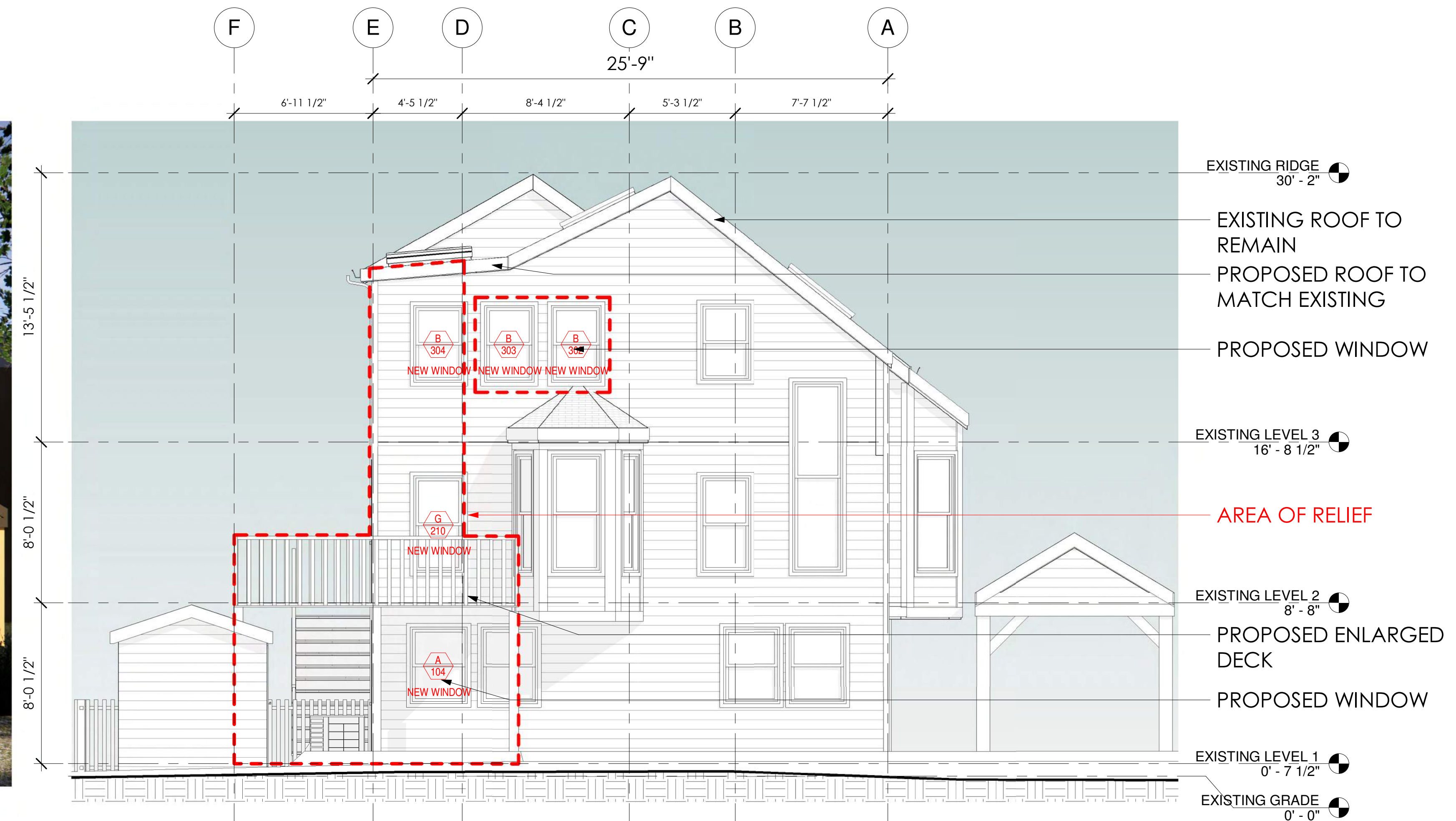
© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION WEST

PROPOSED



2 BZA - WEST - PROPOSED
1/4" = 1'-0"

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

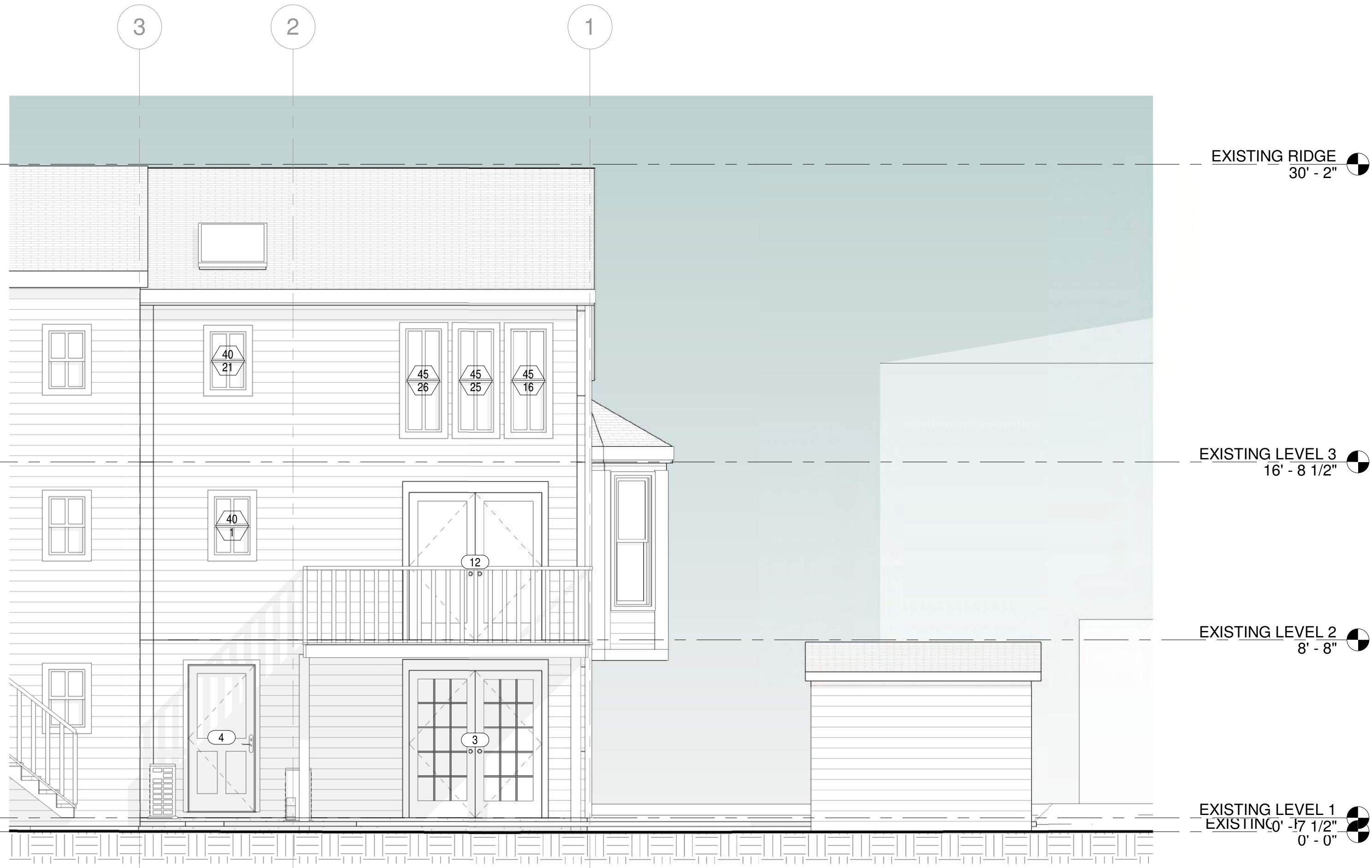
Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-201

Scale 1/4" = 1'-0"

BZA-202 ELEVATION NORTH

EXISTING



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

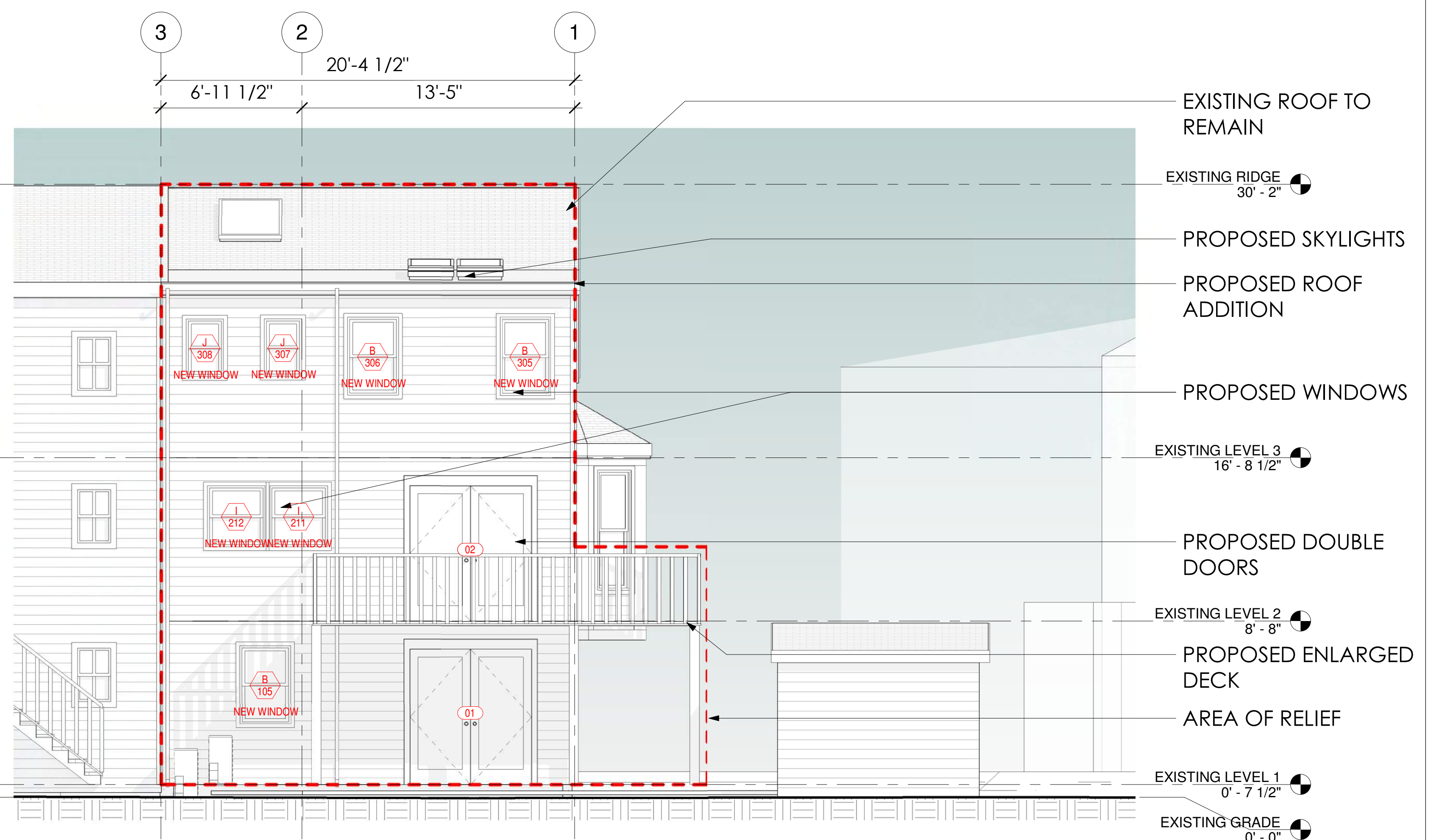
REGISTRATIONS:

NOT FOR CONSTRUCTION

① BZA - NORTH - EXISTING
1/4" = 1'-0"

ELEVATION NORTH

PROPOSED



② BZA - NORTH - PROPOSED
1/4" = 1'-0"

MICHAEL BRODIE

BRODIE RESIDENCE

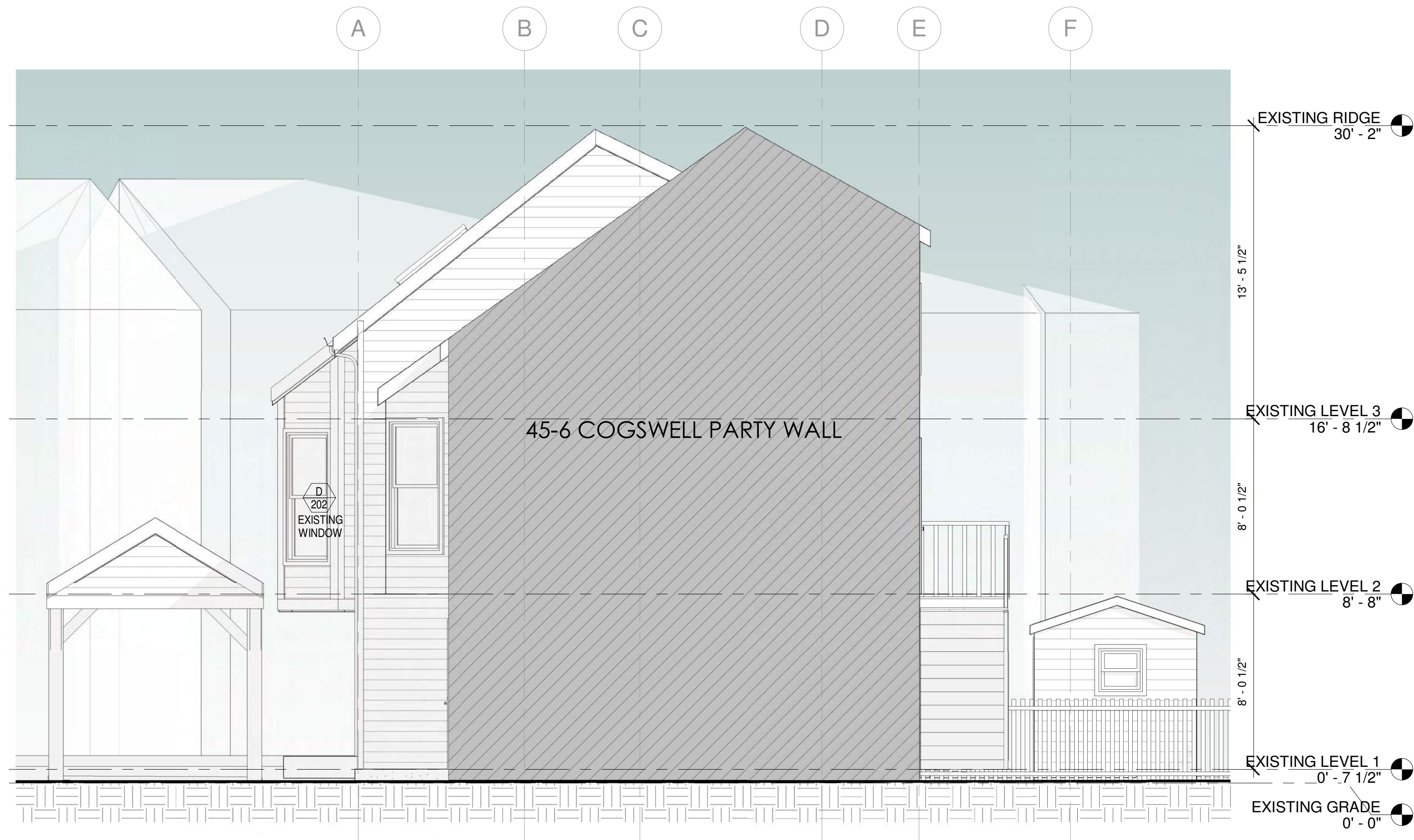
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-202

Scale 1/4" = 1'-0"

BZA-203 ELEVATION EAST



1 BZA - EAST - EXISTING
1/4" = 1'-0"

EXISTING



© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

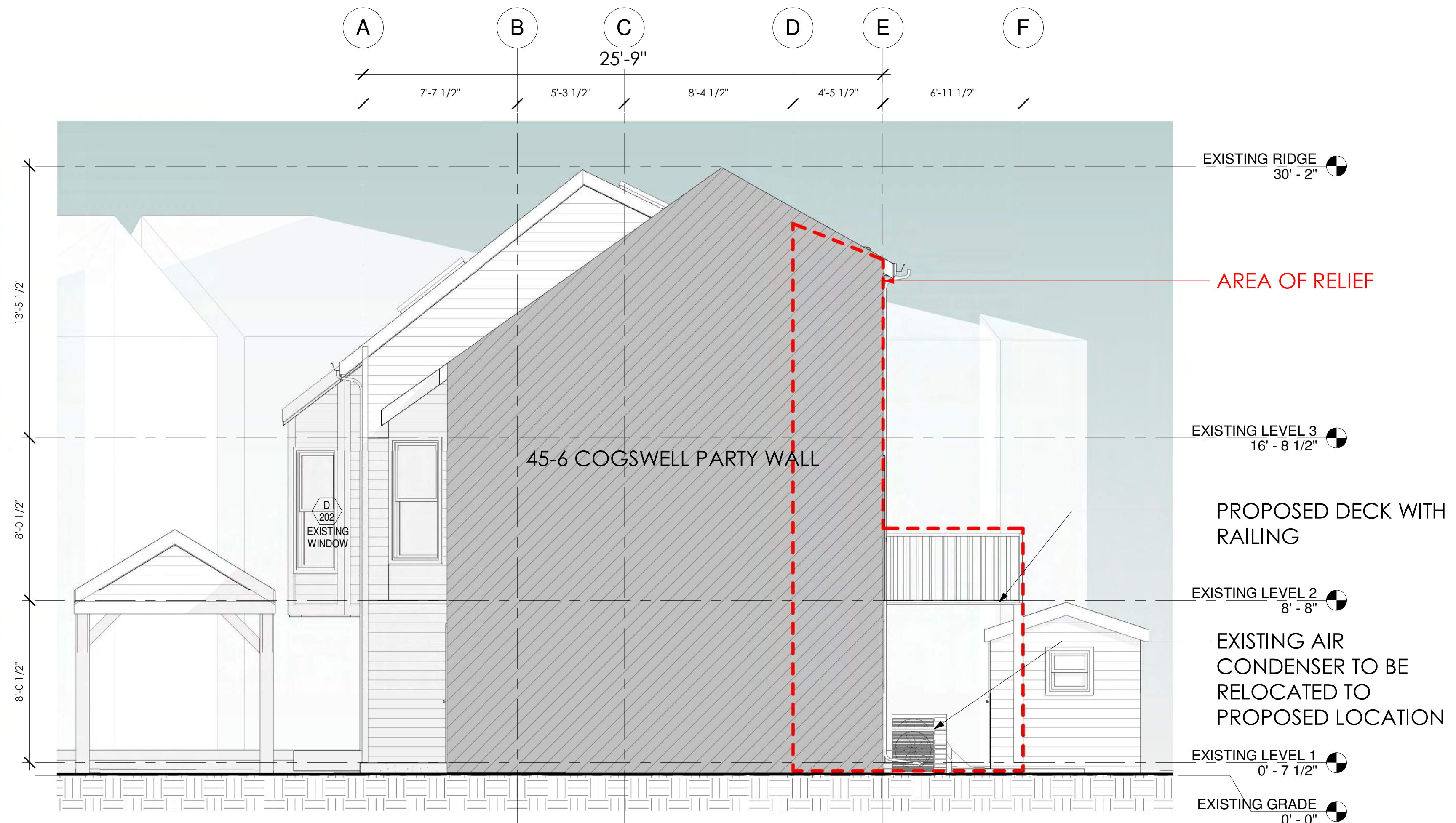
(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION EAST

PROPOSED



2 BZA - EAST ELEVATION - PROPOSED
1/4" = 1'-0"

MICHAEL BRODIE

BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-203

Scale 1/4" = 1'-0"

12/13/2023 4:56:19 PM



© 2022 SAM KACHMAR ARCHITECTS
SAM KACHMAR ARCHITECTS
 (p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

PLOT PLAN

MICHAEL BRODIE

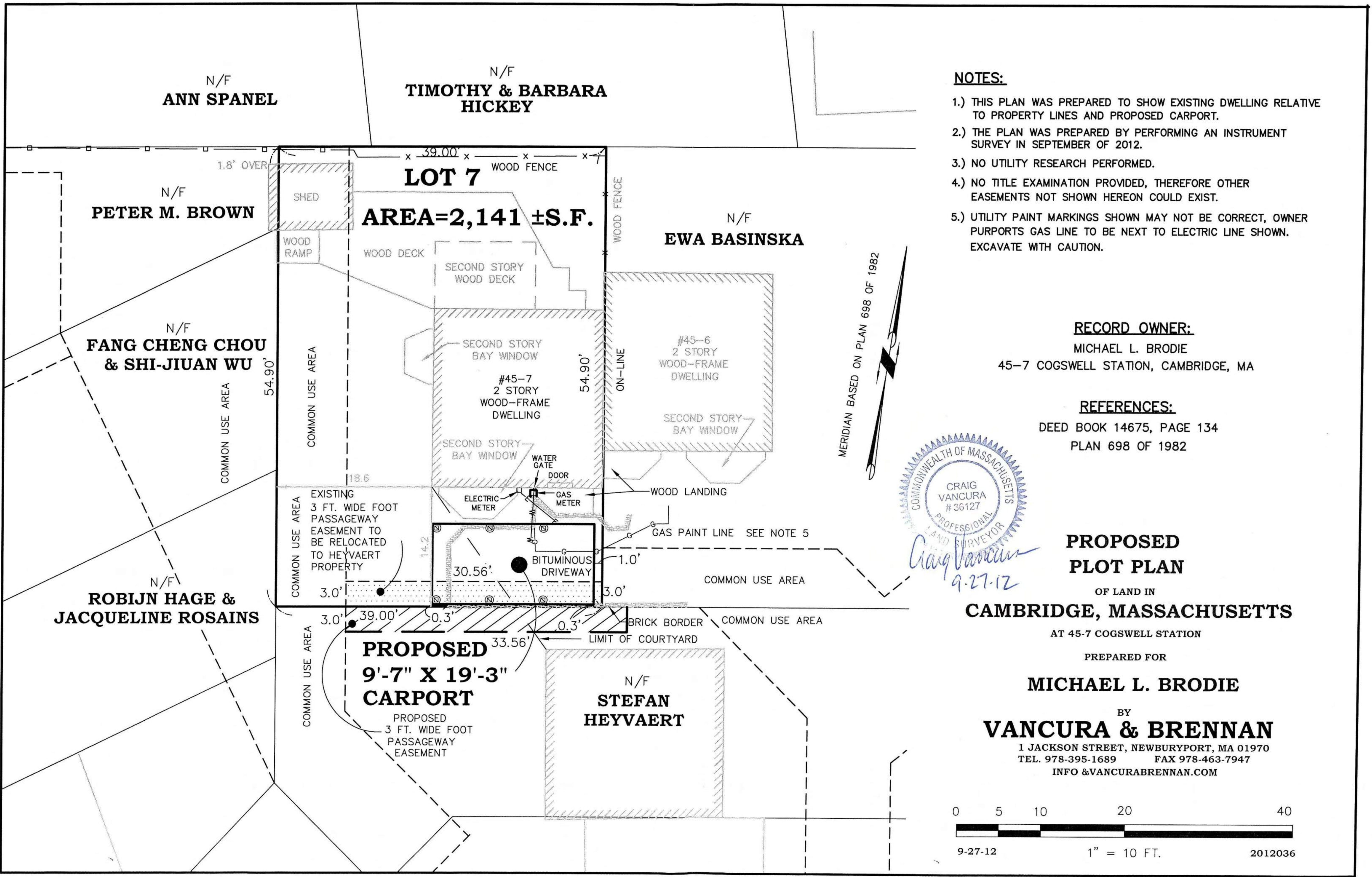
BRODIE RESIDENCE

45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-400

Scale



NOTES:

- 1.) THIS PLAN WAS PREPARED TO SHOW EXISTING DWELLING RELATIVE TO PROPERTY LINES AND PROPOSED CARPORT.
- 2.) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN SEPTEMBER OF 2012.
- 3.) NO UTILITY RESEARCH PERFORMED.
- 4.) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.
- 5.) UTILITY PAINT MARKINGS SHOWN MAY NOT BE CORRECT, OWNER PURPURTS GAS LINE TO BE NEXT TO ELECTRIC LINE SHOWN. EXCAVATE WITH CAUTION.

RECORD OWNER:

MICHAEL L. BRODIE
 45-7 COGSWELL STATION, CAMBRIDGE, MA

REFERENCES:

DEED BOOK 14675, PAGE 134
 PLAN 698 OF 1982

PROPOSED PLOT PLAN

OF LAND IN
CAMBRIDGE, MASSACHUSETTS

AT 45-7 COGSWELL STATION

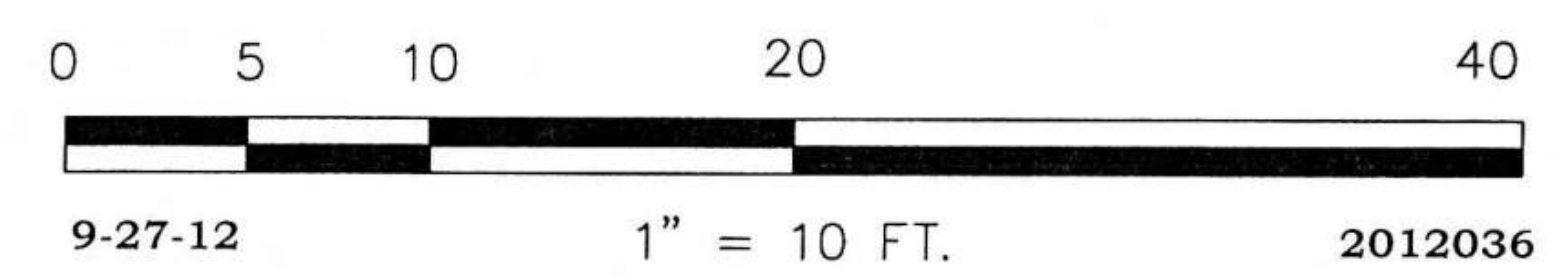
PREPARED FOR

MICHAEL L. BRODIE

BY

VANCURA & BRENNAN

1 JACKSON STREET, NEWBURYPORT, MA 01970
 TEL. 978-395-1689 FAX 978-463-7947
 INFO & VANCURABRENNAN.COM





© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
 www.SKA-MA.com
 357 HURON AVE.
 CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
 CONSTRUCTION**

SITE PHOTOS

MICHAEL BRODIE

BRODIE RESIDENCE

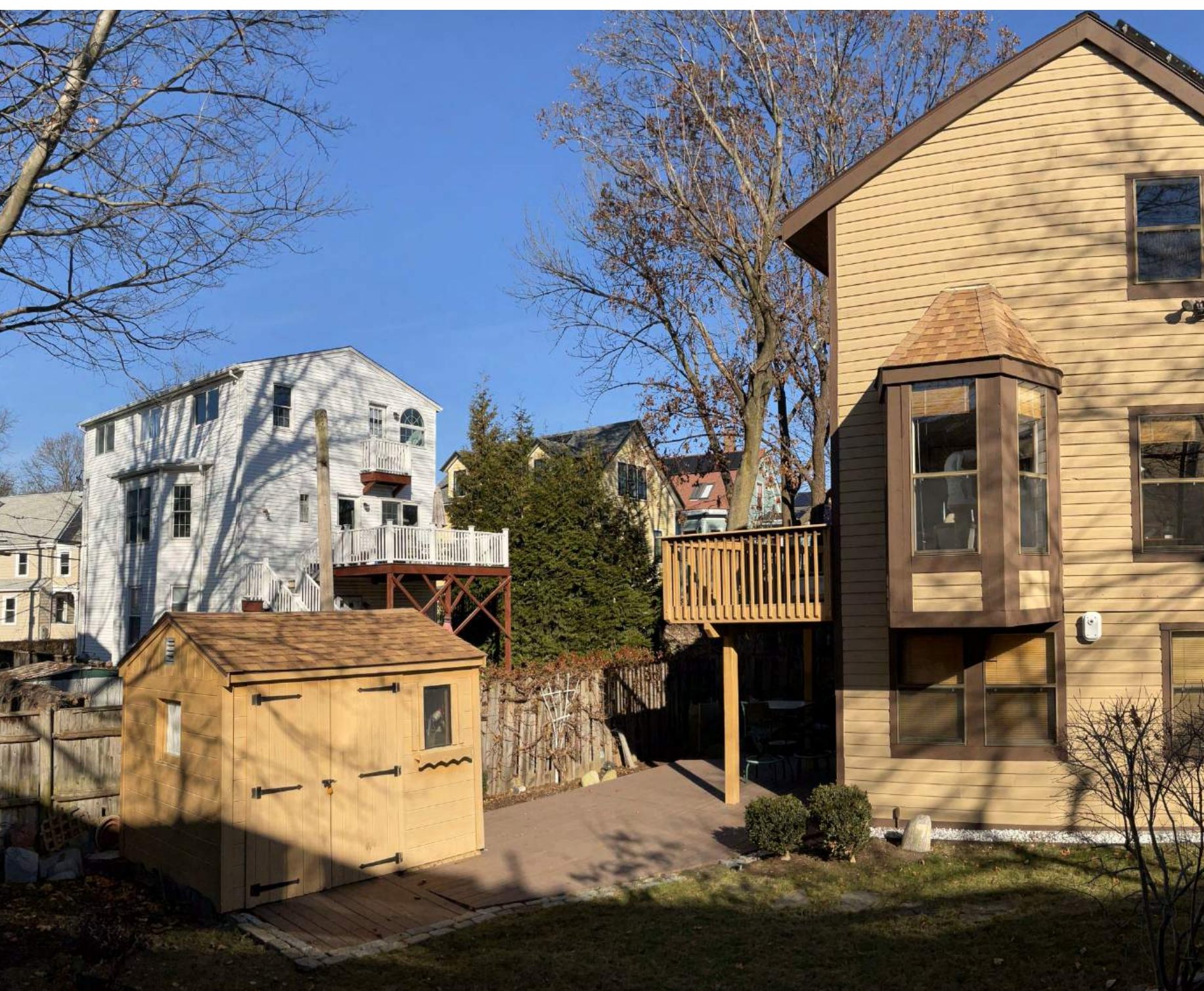
45 COGSWELL AVE., #7
 CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-401

Scale

12/13/2023 4:56:22 PM





© 2022 SAM KACHMAR ARCHITECTS

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

**NOT FOR
CONSTRUCTION**

NEIGHBOR SITE PHOTOS

MICHAEL BRODIE

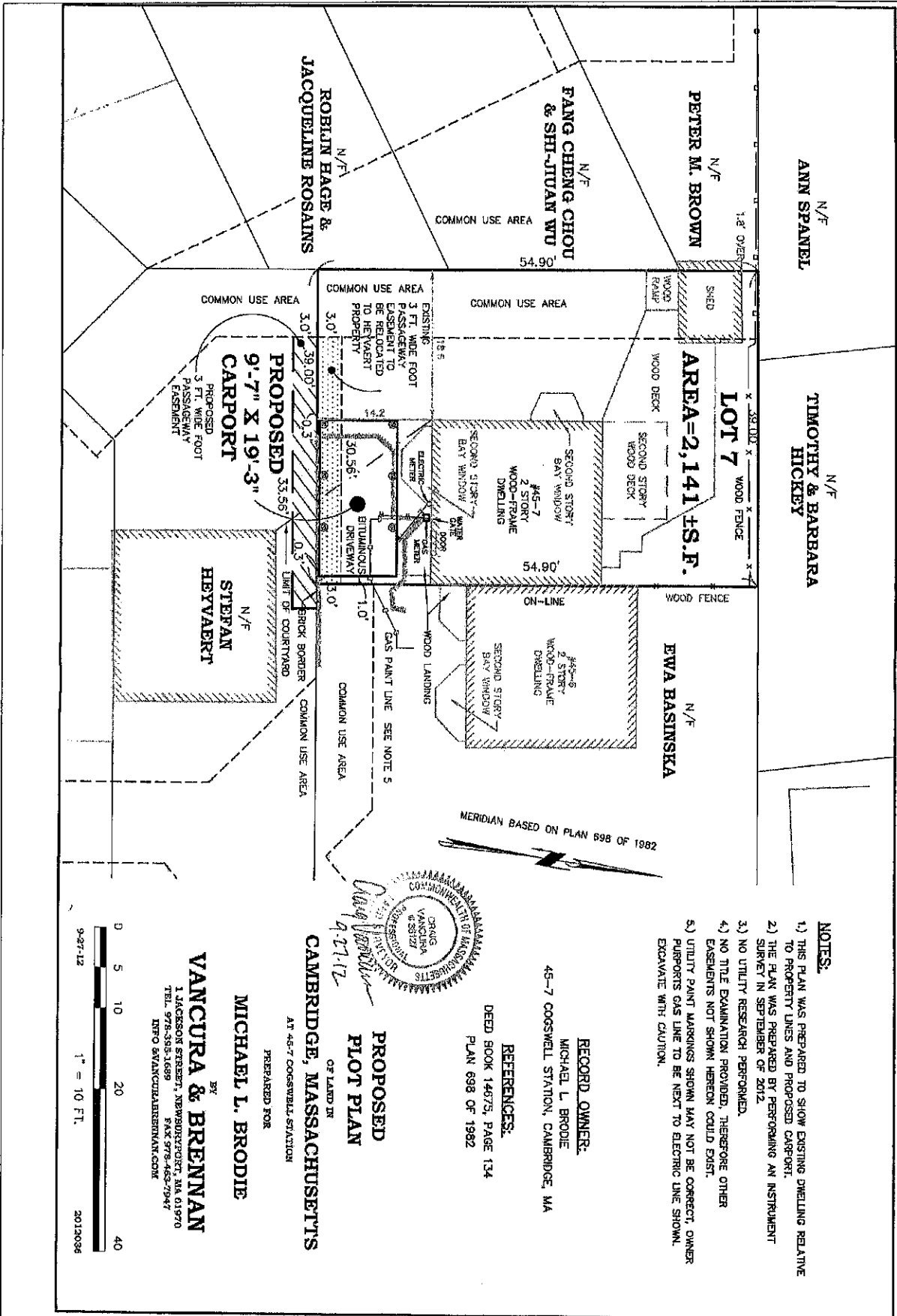
BRODIE RESIDENCE

45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Project Status	BZA Permit Set
Project number	Project Number
Date	12/11/2023
Drawn by	Author
Checked by	Checker

BZA-402

Scale



ANN SPANIEL
N/F

TIMOTHY & BARBARA
HICKEY
N/F

PETER M. BROWN
N/F

FANG CHENG CHOU
& SHI-JIUAN WU
N/F

ROBLIN HAIG &
JACQUELINE ROSAINS
N/F

AREA=2,141 ± S.F.
LOT 7

EWA BASINSKA
N/F

PROPOSED
9'-7" X 19'-3"
CARPORT
3 FT. WIDE FOOT
PASSAGEWAY
EASEMENT

STEPAN
HEYVART
N/F

MERIDIAN BASED ON PLAN 698 OF 1982

NOTES:

- 1) THIS PLAN WAS PREPARED TO SHOW EXISTING DWELLING RELATIVE TO PROPERTY LINES AND PROPOSED CARPORT.
- 2) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN SEPTEMBER OF 2012.
- 3) NO UTILITY RESEARCH PERFORMED.
- 4) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.
- 5) UTILITY PAINT MARKINGS SHOWN MAY NOT BE CORRECT. OWNER PURSUANTS GAS LINE TO BE NEXT TO ELECTRIC LINE SHOWN. EXCAVATE WITH CAUTION.

RECORD OWNER:

MICHAEL L. BRODIE
45-7 GOOSWELL STATION, CAMBRIDGE, MA

REFERENCES:

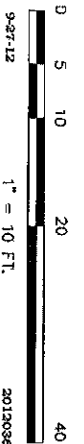
DEED BOOK 14675, PAGE 134
PLAN 698 OF 1982

**PROPOSED
PLOT PLAN**

CAMBRIDGE, MASSACHUSETTS
AT 45-7 GOOSWELL STATION

PREPARED FOR
MICHAEL L. BRODIE

BY
VANCURA & BRENNAN
1 JACKSON STREET, NEWBURYPORT, MA 01970
TEL. 978-355-1689 FAX 978-463-7947
INFO@VANCURABRENNAN.COM



© 2012 VAN FURBER ARCHITECTS
SKA ARCHITECTS & ARCHITECTS
(P) 617-808-6233
WWW.SKAA-MA.COM
587 HICKORY AVE
CAMBRIDGE, MA 02138

**NOT FOR
CONSTRUCTION**

PLOT PLAN

MICHAEL BRODIE
BRODIE RESIDENCE
45 COGSWELL AVE., #7
CAMBRIDGE, MA 02140

Request Status: BZA Permit Set
Project Number: 1271120203
Drawing No: 1271120203
Checked by: AFB/STB
Date: 09/27/12
BZA-400
Scale: 1/8" = 1'-0"

Pacheco, Maria

From: Gail Newton <redsfive@comcast.net>
Sent: Sunday, January 7, 2024 8:04 AM
To: Pacheco, Maria
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To the Cambridge Board of Zoning Appeal
Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Gail Newton

45-3 Cogswell Ave, Cambridge, MA 02140

Pacheco, Maria

From: Gail Newton <redsfive@comcast.net>
Sent: Sunday, January 7, 2024 8:04 AM
To: Pacheco, Maria
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To the Cambridge Board of Zoning Appeal
Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

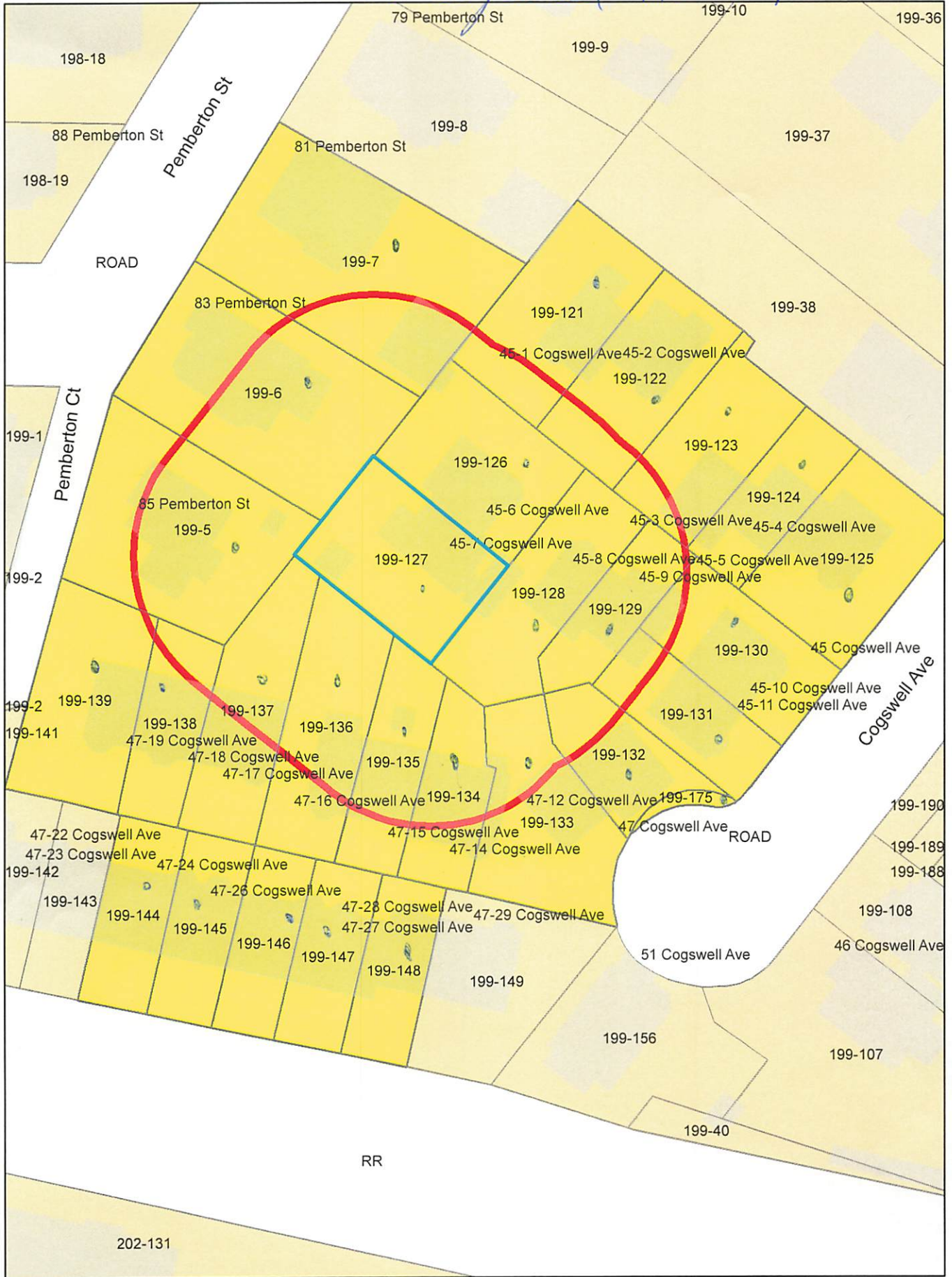
Dear Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Gail Newton

45-3 Cogswell Ave, Cambridge, MA 02140

45 Cogswell Ave #7



45 Cogswell Ave # 7 Petitioner

199-7
KANNER, ELISABETH FIELDSTONE &
JOSHUA KANNER
81 PEMBERTON ST
CAMBRIDGE, MA 02140-1912

199-6
HICKEY, BARBARA J.
83 PEMBERTON ST.
CAMBRIDGE, MA 02140-1912

WESTON PATRICK, P.A.
C/O MICHAEL W. WIGGINS, ESQ.
ONE LIBERTY SQUARE – STE 1210
BOSTON, MA 02109

199-132
JAMES, SARAH
47 COGSWELL AVE #12
CAMBRIDGE, MA 02140

199-135
CHOU, FANG CHENG & SHI-JIUAN WU
47-15 COGSWELL AVE
CAMBRIDGE, MA 02140

199-127
BRODIE, MICHAEL L.,
TRUSTEE THE MICHAEL L. BRODIE
45 COGSWELL AVE UNIT 7
CAMBRIDGE, MA 02140

199-138
CRITZ, DAVID & KATHARINE REEVES
47-18 COGSWELL AVE
CAMBRIDGE, MA 02140

199-148
COHEN, MARCIA E.
47-28 COGSWELL AVE.
CAMBRIDGE, MA 02140

199-121
MURPHY, WILLIAM J. & SYBILLE RECHTEN
1323 DANIELSON RD
SANTA BARBARA, CA 93108

199-124
WASSONG, JOSEPH F.
45-4 COGSWELL AVE.
CAMBRIDGE, MA 02140

199-130
BARUZZI, CYNTHIA & THOMAS LEIB
P.O. BOX 401028
CAMBRIDGE, MA 02140-0011

199-139
FISCHER, MONIQUE C.
47 COGSWELL AVENUE #19
CAMBRIDGE, MA 02140

199-144
HESSLER, MARK
47-24 COGSWELL AVE
CAMBRIDGE, MA 02139

199-123
NEWTON, GAIL A.
45-3 COGSWELL AVE
CAMBRIDGE, MA 02140

199-126
BASINSKA, EWA
45-6 COGSWELL AVE.
CAMBRIDGE, MA 02140

199-129
MCFADDEN, JANET R.
45 COGSWELL AVE UNIT 9
CAMBRIDGE, MA 02140

199-134
HAGE, ROBIJN & JACQUELINE ROSAINS
47 COGSWELL AVE UNIT 14
CAMBRIDGE, MA 02140

199-136
BROWN, PETER M.
47-16 COGSWELL AVE
CAMBRIDGE, MA 02140

199-122
BRAINARD PATRICIA W TR & LONG SHEILA D T
PATRICIA W BRAINARD REVOCABLE TRUST
33 BEAVER POND RD
LINCOLN, MA 01773

199-133
DIGIOVANNI NICHOLAS
47-13 COGSWELL AVE
CAMBRIDGE, MA 02140

199-5
SPANEL, ANN,
TRS THE ANN SPANEL TRUST OF AUG 2019
85 PEMBERTON CT
CAMBRIDGE, MA 02140

199-175
BASHAW LAURA KELLETT & TAYLOR LINDA ROWE
& DENNIS N. KELLETT
27 COGSWELL AVE
CAMBRIDGE, MA 02140

199-137
WANER BRIAN J PEARSON JEANINE R
47-17 COGSWELL AVE
CAMBRIDGE, MA 02140

199-146
EPSTEIN MARIE N
47 COGSWELL AVE - UNIT 26
CAMBRIDGE, MA 02140

199-147
SRIVASTAVA, AKASH CHIA-HSUAN YANG
47-27 COGSWELL AVE
CAMBRIDGE, MA 02140

199-131
SCHAEFER, DANA & MATTHEW PESCI
47-20 COGSWELL AVE
CAMBRIDGE, MA 02140

199-125
CASTRONOVO, DANIELLE JEFFREY S OISHI
45-5 COGSWELL AVE
CAMBRIDGE, MA 02140

199-145
CHITTICK, BENJAMIN & KATELYN BILLINGS
47 COGSWELL AVE UNIT 25
CAMBRIDGE, MA 02140

199-128
HEYVAERT, STEFAAN
45-8 COGSWELL AVE
CAMBRIDGE, MA 02140



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Michael Brodie Date: 1/8/24
(Print)

Address: 45 Cogswell Ave #7

Case No. BZA-252425

Hearing Date: 1/25/24

Thank you,
Bza Members

Pacheco, Maria

From: Brian Pearson-Wanek <brian.wanek1@gmail.com>
Sent: Monday, January 8, 2024 8:21 PM
To: Pacheco, Maria
Subject: To the Cambridge Board of Zoning Appeal Re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Brian Pearson-Wanek and Jeanie Pearson-Wanek
Address: 47-17 Cogswell Ave, Cambridge, MA 02140

Pacheco, Maria

From: Jeffrey S. Oishi <jsoishi@gmail.com>
Sent: Monday, January 8, 2024 5:02 PM
To: Pacheco, Maria
Cc: Michael Brodie; Danielle Castronovo
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

We are writing to state our support for our neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Jeffrey S. Oishi and Danielle Castronovo
Address: 45-5 Cogswell Ave, Cambridge, MA 02140

Please do not hesitate to contact us if you need any further information.

Sincerely,

Jeff Oishi and Danielle Castronovo

Pacheco, Maria

From: S. Heyvaert <sheyvaer@gmail.com>
Sent: Monday, January 8, 2024 6:53 PM
To: Pacheco, Maria
Subject: CASE NO: BZA-252425

Dear Madam,

I am the acting president of the 45 Cogswell Station Home Owners Association, which includes Units 45-1 to 45-11 Cogswell Ave, Cambridge, MA 02140. This is to inform you that we have reviewed the plans for Michael Brodie's application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140, and found them to be in compliance with our HOA Covenants, Part A §1 and Part B Chapter II §7 (b) (ii). The Association hereby approves of and supports the plan and the special permit.

For the HOA Officers,
Acting President: Stefaan Heyvaert, 45-8 Cogswell Ave. Cambridge MA 02140
Vice President: Joe Wassong, 45-4 Cogswell Ave. Cambridge MA 02140
Treasurer: Michael Brodie, 45-7 Cogswell Ave. Cambridge MA 02140

Pacheco, Maria

From: Isabelle Tashima <isabelletashima@gmail.com>
Sent: Wednesday, January 10, 2024 2:00 PM
To: Pacheco, Maria
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Nicholas DiGiovanni & Isabelle Tashima
Address: 47-13 Cogswell Ave, Cambridge, MA 02140

Pacheco, Maria

From: ppmbrown <ppmbrown@aol.com>
Sent: Tuesday, January 9, 2024 1:29 PM
To: Pacheco, Maria
Subject: Re: Case BZA-252425 for 45-7 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal
RE: Case BZA-252425 for 45-7 Cogswell Ave., Cambridge, MA 02140

Dear Board Member:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to consider a small addition to the rear of his home at 45-7 Cogswell Ave., Cambridge, MA 02140.

Name; Peter Brown
Address;: 47-16 Cogswell Ave.m Cambridge, MA 02140

Pacheco, Maria

From: shijuan <shijuan@proton.me>
Sent: Thursday, January 11, 2024 10:13 PM
To: Pacheco, Maria
Cc: Michael Brodie; Oriana Van Daele; fcchou@gmail.com
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To the Cambridge Board of Zoning Appeal
c/o mpacheco@cambridgema.gov

Re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Maria Pacheco/ Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Fang Cheng Chou & Shi-Juan Wu
Owners of: 47-15 Cogswell Ave, Cambridge, MA 02140

Thank you for your assistance.

Sent with [Proton Mail](#) secure email.

To: The Cambridge Board of Zoning Appeal
CASE: BZA-252425 for 45-7 Cogswell Avenue, Cambridge, MA 02140
Date: January 16, 2024

Attention: Maria Pacheco

I am writing this letter to object to the proposed new construction at 45-7 Cogswell Ave, which is an expansion of a condo and back deck that faces my property. The proposed plans will enlarge the original footprint with an attached deck, bringing the living space too close to the property line. With the new addition to the condo and deck, the property will be an encroachment of mine and my tenants privacy.

I strongly object to this proposal.

Best,

Barbara Hickey
83 Pemberton Street
Cambridge, MA 02140
Cell Phone: 617-519-6368
Email: bhickey65@yahoo.com

Pacheco, Maria

From: S. Heyvaert <sheyvaer@gmail.com>
Sent: Wednesday, January 17, 2024 4:10 PM
To: Pacheco, Maria
Subject: re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To whom it may concern:

I am the acting president of the 45 Cogswell Station Home Owners Association, which includes Units 45-1 to 45-11 Cogswell Ave, Cambridge, MA 02140. This is to inform you that we have reviewed the plans for Michael Brodie's application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140, and found them to be in compliance with our HOA Covenants, Part A §1 and Part B Chapter II §7 (b) (ii). The Association hereby approves of and supports the plan and the special permit.

For the HOA Officers,

Acting President: Stefaan Heyvaert, 45-8 Cogswell Ave. Cambridge MA 02140

Vice President: Joe Wassong, 45-4 Cogswell Ave. Cambridge MA 02140

Treasurer: Michael Brodie, 45-7 Cogswell Ave. Cambridge MA 02140

Pacheco, Maria

From: Annie <wildwatercress@gmail.com>
Sent: Thursday, January 18, 2024 4:02 PM
To: Annie; Pacheco, Maria
Subject: January 25th BZA hearing statement and my objection to special permit for 45 #7 Cogswell Ave.

Marie Pacheco
Board of Zoning Appeal / Inspectional Services
831 Mass. Ave.
Cambridge, MA 02139

Dear Marie.

I am writing to register my objection to Michael Brodie's request for special permit BZA 252425 at 45 Cogswell Ave. #7.

I intend to read my prepared statement (under three minutes) at the hearing.

Thank you for sending the notices of the Hearing.

Sincerely,

Ann Spanel, abutter to 45 Cogswell, #7
85.Pemberton Ct.
Cambridge, MA 02140

Pacheco, Maria

From: Patti Brainard <patti.brainard@compass.com>
Sent: Friday, January 19, 2024 12:56 PM
To: Pacheco, Maria
Subject: case: BZA-252425 Michael Brodie 45 Cogswell Avenue, Unit 7, Cambridge

To Whom it may concern. I am writing to confirm **I am in favor** of Michael Brodies's special permit request to construct an addition at the rear of his property at 45 Cogswell Avenue, Unit 7, Cambridge, MA. I am the owner of 45 Cogswell Avenue, Unit 2, Cambridge, MA.

Please confirm receipt of this email and if you need any further information from me let me know.

Sincerely,

Patti Brainard

patti.brainard@compass.com
781-789-5767

Pacheco, Maria

From: Dana Schaefer <dana.schaefer@compass.com>
Sent: Saturday, January 20, 2024 2:17 PM
To: Pacheco, Maria
Subject: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

We are writing to state our support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Dana Schaefer and Matt Pesci
Owner of 45-11 Cogswell Ave, Cambridge, MA 02140
Address 47-20 Cogswell Ave., Cambridge MA 02140

Thank you

Dana Schaefer
47- 20 Cogswell Ave
Cambridge MA 02140

Pacheco, Maria

From: Thomas Leib <tjleib@aol.com>
Sent: Saturday, January 20, 2024 7:41 PM
To: Pacheco, Maria
Subject: Re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

To: The Cambridge Board of Zoning Appeal
mpacheco@cambridgema.gov
Re: Case BZA-252425 for 45-7 Cogswell Ave, Cambridge MA 02140

Dear Board members:

I am writing to state my support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Thomas Leib
Address: 45-10 Cogswell Ave, Cambridge, MA 02140

Pacheco, Maria

From: joewassong@comcast.net
Sent: Monday, January 22, 2024 11:26 AM
To: Pacheco, Maria
Subject: Zoning

Dear Board members:

We are writing to state our support for my neighbor, Michael Brodie, in his application for a special permit to construct a small addition at the rear of his home at 45-7 Cogswell Ave, Cambridge MA 02140.

Name: Joe Wassong
Owner of 45-4 Cogswell Ave, Cambridge, MA 02140