CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 MAY 29 PM 2:10

BZA Application Form

BZA Number: 271439

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: ____ Variance: ___X___ Appeal: _____

PETITIONER: Dana Schaefer and Matt Pesci

PETITIONER'S ADDRESS: Michael W. Wiggins, Esq. One Liberty Square Suite 600, Boston, MA 02109

LOCATION OF PROPERTY: **47-20 Cogswell Ave , Cambridge, MA**

TYPE OF OCCUPANCY: Single Family **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

A small addition is planned to the rear of the residence that will slightly increase the currently excessive FAR

.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000 Section: 10.30 (Variance).

Original Signature(s): Dana Schaefer and Matt Pesci by Michael W. Wiggins attorney

(Petitioner (s) / Owner)

Dana Schaefer and Matt Pesci

(Print Name)

by Michael W. Wiggins Atty

Address: One Liberty Square Ste 600 Boston MA 02109

Tel. No. 617 880 6313

E-Mail Address: mww@westonpatrick.com

Date: 5/28/2024

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Dana Schaefer and Matthew Pesci
(OWNER)

Address: 47-20 Cogswell Avenue, Cambridge, MA 02140

State that I/We own the property located at 47-20 Cogswell Ave,

which is the subject of this zoning application.

The record title of this property is in the name of Dana Schaefer and Matthew Pesci

*Pursuant to a deed of duly recorded in the date 7/03/2003, Middlesex South County Registry of Deeds at Book 39807, Page 557; or Middlesex Registry District of Land Court, Certificate No._____

Book ~~39807~~ Page ~~557~~.

Dana Schaefer and Matthew Pesci
by their attorney Michael W. Wiggins
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

****Written evidence of Agent's standing to represent petitioner may be requested.***

Commonwealth of Massachusetts, County of Middlesex

The above-name Michael W. Wiggins personally appeared before me, this 17th of May, 2024, and made oath that the above statement is true.

Khara J. Borofsky Notary

My commission expires (Notary Seal).

KHARA J. BOROFSKY
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
May 23, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

KHARA J. BOROFSKY
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
May 22, 2025

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

***EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL* BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
The positioning of the townhouse building on this unusually shaped end lot at 47 Cogswell Avenue would make it difficult for the petitioner to make a very slight improvement to the building at the rear without a slight variance from strict application of the dimensional standards affecting the lot. [But for the anomaly that this single family dwelling, which would otherwise qualify for the slight extension t by special permit per MGL 40A Section 6, is constrained by the provisions of Article 8.22.2d because it is "detached", the relief that petitioner seeks would satisfy all the criteria for a special permit. Petitioner submits that the limitation imposed by 8.22.22d violates the liberal provisions of MGL 40A Section 6 favoring extension of single and two family dwellings by special permit]

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The locus is a trapezoidal lot upon which the existing building is located in such a position that a slight addition to the rear of the building, which is totally in line with the existing right side of the building, would only slightly extend the existing prior encroachment on the right side setback.

C) ***DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

1) Substantial detriment to the public good for the following reasons
The addition to the rear of the building will not be visible from Cogswell Avenue, so the architectural layout and appearance of the building in juxtaposition with the fronts of other townhouses on Cogswell Avenue will be undisturbed. The small addition at rear will be limited so as not to project to the rear as far as the side wall of the abutting townhouse. The rear yard setback of way will remain far in excess of requirements, on not intrude on views from public land on right side

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
This addition will be minimal and not have any adverse effect upon the use and enjoyment of any abutters at 47 Cogswell AVenue, the railroad property at the rear, or members of the public on the public land that the locus abuts.

* **If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Dana Schaefer and Matt Pesci
Location: 47-20 Cogswell Ave , Cambridge, MA
Phone: 617 880 6313

Present Use/Occupancy: Single Family
Zone: Residence B Zone
Requested Use/Occupancy: single family

		Existing Conditions		Requested Conditions		Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		1319		1600		1250	(max.)
LOT AREA:		2476		2476		2500	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: [2]		.533		.629		.500	
LOT AREA OF EACH DWELLING UNIT		2476		2476		2500	
SIZE OF LOT:	WIDTH	39		39		50	
	DEPTH	79' 6"		79' 6"		n/a	
SETBACKS IN FEET:	FRONT	13' 1.5"		13' 1.5"		15'	
	REAR	43'9"		37'9"		35'	
	LEFT SIDE	0		0		7.5' sum of 20	
	RIGHT SIDE	11' 4.5"		10' 4.5"		7.5' sum of 20	
SIZE OF BUILDING:	HEIGHT	29' 6"		29'6"		35'	
	WIDTH	28'9"		34'9"		n/a	
	LENGTH	20'3"		20'3"		n/a	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		60.43%		57.12%		40.0	
NO. OF DWELLING UNITS:		1		1		1	
NO. OF PARKING SPACES:		1		1		1	
NO. OF LOADING AREAS:		n/a		n/a		n/a	
DISTANCE TO NEAREST BLDG. ON SAME LOT		n/a		n/a		10.0	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

single family home with driveway and small shed. Exising house wood frame with 2.5 levels Proposed construction at rear consists of 4 foot addition on level 1 and 6 feet at level 2, no relief or change at basement level.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Dana Schaefer & Matt Pesci **PRESENT USE/OCCUPANCY:** Single Family

LOCATION: 47-20 Cogswell Ave **ZONE:** Residential B

PHONE: 617.797.5293 **REQUESTED USE/OCCUPANCY:** Single Family

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS[1]	
TOTAL GROSS FLOOR AREA:		1319	1600	1250	(max.)
LOT AREA:		2476		2500	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:[2]		.533	.629	.500	(max.)
LOT AREA FOR EACH DWELLING UNIT:		2476	2476	2500	(min.)
SIZE OF LOT:	WIDTH	38.28'			(min.)
	DEPTH	85.14'			
Setbacks in Feet:	FRONT	15.08'	15.08'	15' 0"	(min.)
	REAR	34.6'	29.8'	25' 0"	(min.)
	LEFT SIDE	0'	0'	7.5' sum 20'	(min.)
	RIGHT SIDE	10.9'	9.34'	7.5' sum 20'	(min.)
SIZE OF BLDG.:	HEIGHT	27.1'	27.1'	35' 0"	(max.)
	LENGTH	21.3'	31.1'		
	WIDTH	20' 3"	20' 3"		
RATIO OF USABLE OPEN SPACE TO LOT AREA:[3])		32%	24%	40%	(min.)
NO. OF DWELLING UNITS:		1	1	1	(max.)
NO. OF PARKING SPACES:		1	1		(min./max)
NO. OF LOADING AREAS:		N/A	N/A		(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:		N/A	N/A		(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Single Family home with driveway and shed, wood frame with 2.5 levels. proposed construction at rear with 4 foot addition on level 1 and 6 foot addition at level 2, no relief or change at basement/level 0

1. *SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).*
2. *TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.*
3. *OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.*

SCHAEFER & PESCI RESIDENCE

BZA # 271439-2024 SET

07/02/2024

DANA SCHAEFER & MATT PESCI

47-20 COGSWELL AVE.
CAMBRIDGE, MA

PROJECT NARRATIVE:

THIS PROJECT WILL CONSIST OF A MODEST ADDITION AT THE REAR AT LEVEL 1 AND 2, EXPANDING THE LIVING SPACE ON BOTH LEVEL. LEVEL 0 WILL INCLUDE THE A NEW POWDER ROOM AND MUDROOM. LEVEL 1 WILL HAVE A 4 FOOT ADDITION THAT WILL EXPAND THE DINING AND KITCHEN. THE EXISTING DECK WILL EXTEND 4 FEET. LEVEL 2 WILL HAVE 6 FOOT ADDITION TO EXPAND THE MAIN BEDROOM, CREATE A BATHROOM AND OFFICE.

PROJECT #: **2401-4720**

ARCHITECT:

SKA
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357 HURON AVE.
CAMBRIDGE MA, 02138

ZONING LAWYER:

WESTON | PATRICK
A Professional Association Since 1897

Michael W. Wiggins
WESTON PATRICK
mww@westonpatrick.com
(P) 617-742-9310

GENERAL CONTRACTOR:

N / A

STRUCTURAL ENGINEER:

N / A

CIVIL ENGINEER:

N / A

BZA SHEET LIST

Sheet Number	Sheet Name	Count	Drawn By
BZA-000	COVER	1	SKA
BZA-001	GENERAL NOTES	1	SKA
BZA-002	AREA PLANS	1	SKA
BZA-003	SITE PLANS	1	SKA
BZA-004	SITE AXONS	1	SKA
BZA-005	SHADOW STUDY	1	SKA
BZA-006	STREET VIEW - FRONT	1	SKA
BZA-007	STREET VIEW - FRONT	1	SKA
BZA-008	STREET VIEW - SIDE	1	SKA
BZA-009	STREET VIEW - SIDE	1	SKA
BZA-010	STREET VIEW - REAR	1	SKA
BZA-100	PLAN - LEVEL 0	1	SKA
BZA-101	PLAN - LEVEL 1	1	SKA
BZA-102	PLAN - LEVEL 2	1	SKA
BZA-103	PLAN - ROOF	1	SKA
BZA-200	ELEVATION - NORTH (FRONT)	1	SKA
BZA-201	ELEVATION - WEST	1	SKA
BZA-202	ELEVATION - SOUTH (BACK)	1	SKA
BZA-203	ELEVATION - EAST	1	SKA
		19	

BZA-001 GENERAL NOTES

ABBREVIATIONS

#	NUMBER OR POUND
&,+	AND
@	AT
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
AVB	AIR AND VAPOR BARRIER
BD	BOARD
BIT	BITUMINOUS
BLDG	BUILDING
BSMT	BASEMENT
BTWN	BETWEEN
CF	CUBIC FEET
CI	CUBIC INCHES
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR OR CLEARANCE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CORR	CORRIDOR, CORRUGATED
CTR	CENTER
D	DEPTH, DEEP
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DW	DISHWASHER
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION (GRADE)
ELEC	ELECTRICAL
ELEV	ELEVATION (FACADE)
EOS	EDGE OF SLAB
EQ	EQUAL, EQUIPMENT, EQUIP
ETR	EXISTING TO REMAIN
EXG	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FAB	FABRICATE, FABRICATION
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FL	FLOOR
FOW	FACE OF WALL
FT	FEET, FOOT
GA	GAUGE
GALV	GALVANIZED
GL	GLASS, GLAZING, GLAZED
GWB	GYPSUM WALLBOARD, BACKING BOARD
GYP	GYPSUM
H	HIGH
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HVAC	HEATING, VENTILATING & AIR CONDITIONING
IN	INCH, INCHES
INCL	INCLUDE, INCLUDED
INT	INTERIOR
JT	JOINT

L	LENGTH
LAM	LAMINATE, LAMINATED
LB	POUND
LGMF	LIGHT GAGE METAL FRAMING
LT	LIGHT
LT WT	LIGHT WEIGHT
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER
MECH	MECHANICAL
MED	MEDIUM
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPP	OPPOSITE
OSB	ORIENTED STRANDBOARD
OVHD	OVERHEAD
OZ	OUNCE (S)
PATT	PATTERN (ED)
PERF	PERFORATED
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PNT	PAINT, PAINTED
PR	PAIR
PREFAB	PREFABRICATE, PREFABRICATED
QTY	QUANTITY
RAD	RADIUS
RBR	RUBBER
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATE, REFRIGERATOR
REINF	REINFORCE, REINFORCED
REQ	REQUIRE
REV	REVISION, REVISE, REVISED
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SCHED	SCHEDULE
SF	SQUARE FEET
SI	SQUARE INCHES
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS, SST	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STL	STEEL
STOR	STORAGE
STR	STAIR
T.O.	TOP OF
U.O.	UNDERSIDE OF
UON	UNLESS OTHERWISE NOTED
WD	WOOD
WT	WEIGHT
X	INDICATES TIMES OR BY

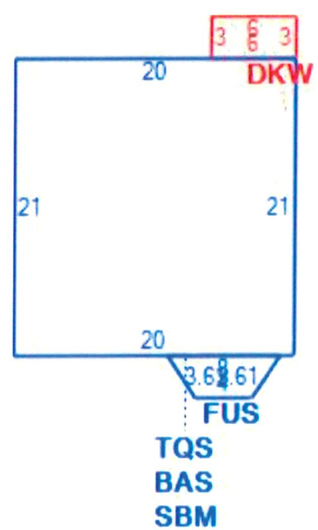
MATERIALS

	EARTH
	CONCRETE
	GRAVEL
	SAND
	GYPSUM BOARD OR SHEATHING
	MASONRY - BRICK
	MASONRY - CONCRETE BLOCK
	WOOD - FINISH - END GRAIN
	WOOD - FINISH - FACE
	WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS)
	WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS)
	INSULATION - RIGID
	INSULATION - BATT OR MINERAL WOOL
	ACOUSTIC TILE, PANEL, OR PLANK
	PLYWOOD
	CUT STONE
	PARTICLE BOARD OR FIBERBOARD

SYMBOLS

VIEW # VIEW NAME SCALE:1/X" = 1'-0"	DRAWING TITLE
SHEET / O.H. / SIM VIEW # SHEET	EXTERIOR ELEVATION KEY
VIEW # SHEET	INTERIOR ELEVATION KEY
O.H. / SIM VIEW # SHEET	BUILDING SECTION MARKER
O.H. / SIM VIEW # SHEET	WALL SECTION MARKER
O.H. / SIM VIEW # SHEET	DETAIL AREA MARKER
O.H. / SIM VIEW # SHEET	DETAIL SECTION MARKER
COLUMN	GRID LINE
Name Elevation	VERTICAL ELEVATION KEY (ELEV)
0'-0"	SPOT ELEVATION W/ TARGET (PLAN)
0'-0"	SPOT ELEVATION NO TARGET (PLAN)
REV #	REVISION CLOUD AND REVISION TAG

ROOM NAME ROOM #	ROOM TAG	℄	CENTERLINE
AREA NAME AREA	AREA TAG	/SHEET /SHEET	MATCH LINE
DOOR #	DOOR TAG		HINGE SIDE OF DOOR
# TYPE	WINDOW TAG		ALIGN SURFACES
		ROOM NAME ROOM # FLOOR BASE WALL CEILING	FINISH TAG



GENERAL NOTES

1. ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
2. DO NOT SCALE DRAWINGS
3. VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
4. TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
5. LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
6. ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
7. DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
8. TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
9. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
10. PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
11. VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
12. WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
13. FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
14. EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
15. WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
16. PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
17. PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
18. COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
19. APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
20. GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ." SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
21. FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS, SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
22. COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
23. PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
24. PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
25. LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
26. ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
27. ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
28. DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
29. ALL WOOD SHALL BE FSC CERTIFIED.
30. ALL WOOD FRAMING SIZES ARE BASED ON SPF-SS
31. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
32. CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

SKA

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SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

GENERAL NOTES

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

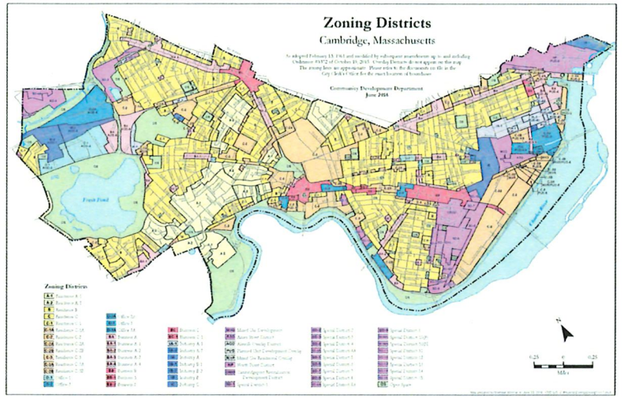
Project Status	BZA # 271439-2024 SET
Project number	2401-4720
Date	07/02/2024
Drawn by	SKA
Checked by	Checker

BZA-001

Scale 1 1/2" = 1'-0"

7/2/2024 9:01:40 PM

BZA-002 AREA PLANS



Zone: Residential B

BUILDING HEIGHT

REQUIRED BUILDING HEIGHT:	**35'-0"**
EXISTING HEIGHT:	27.1 3/16"
PROPOSED HEIGHT:	27 1 3/16"
PROPOSED INCREASE IN BUILDING HEIGHT:	***NONE***

OPEN SPACE CALCULATIONS

LOT SIZE:	**2,476 SQ FT**
REQUIRED OPEN SPACE (MIN):	**40.00%**
EXISTING OPEN SPACE: (INCLUDING BACK SPACE)	60.43%
PROPOSED OPEN SPACE: (INCLUDING BACK SPACE)	57.12%
EXISTING PRIVATE SPACE	32%
PROPOSED PRIVATE SPACE	24%
PROPOSED DECREASED OPEN:	***03.31%***

FAR CALCULATION

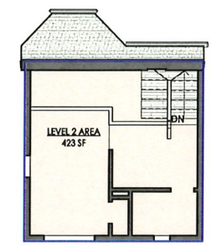
REQUIRED FAR:	**0.500**
EXISTING FAR:	**0.533**
PROPOSED FAR:	**0.629**
PROPOSED INCREASE FAR:	***0.096***

SET BACKS

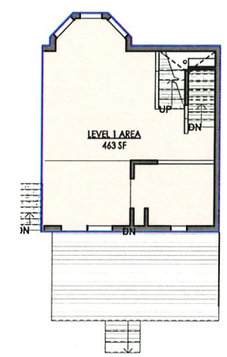
REQUIRED FRONT YARD SETBACK:	**15'- 0"**
EXISTING SETBACK:	**15'-1"**
PROPOSED SETBACK:	**15'-1"**
REQUIRED RIGHT SIDE YARD SETBACK:	**7.5' MIN (SUM OF 20)**
EXISTING SETBACK:	**10'-9"**
PROPOSED SETBACK:	**9'- 4 1/8"**
REQUIRED LEFT SIDE YARD SETBACK:	**7.5' MIN (SUM OF 20)**
EXISTING SETBACK:	**0'-0"**
PROPOSED SETBACK:	**0'-0"**
REQUIRED REAR YARD SETBACK:	**25'-0"**
EXISTING SETBACK **(HOUSE):**	**44' - 7"**
PROPOSED SETBACK **(HOUSE):**	**35' 7 7/8"**
EXISTING SETBACK **(DECK)**	**34'-7"**
PROPOSED SETBACK **(DECK)**	**29'- 4 5/8"**
PROPOSED DIFFERENCE (DECK)	**5'- 2 3/8"**

Area Schedule (Rentable)

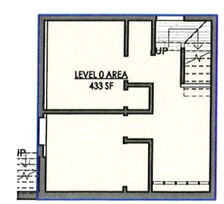
Level	Area
EXISTING LEVEL 0	433 SF
EXISTING LEVEL 1	463 SF
EXISTING LEVEL 2	423 SF
3	1319 SF



3 EXISTING LEVEL 2
1/8" = 1'-0"



2 EXISTING LEVEL 1
1/8" = 1'-0"

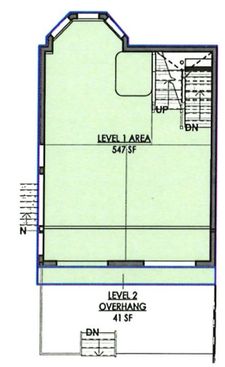


1 EXISTING LEVEL 0
1/8" = 1'-0"

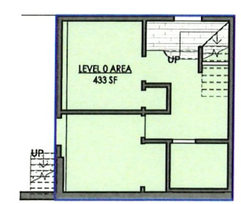
Area Schedule (Gross Building)

Level	Area
EXISTING LEVEL 0	433 SF
EXISTING LEVEL 1	547 SF
EXISTING LEVEL 1	41 SF
EXISTING LEVEL 2	579 SF
	1600 SF

6 EXISTING LEVEL 2
1/8" = 1'-0"



5 EXISTING LEVEL 1
1/8" = 1'-0"



4 EXISTING LEVEL 0
1/8" = 1'-0"

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AREA PLANS

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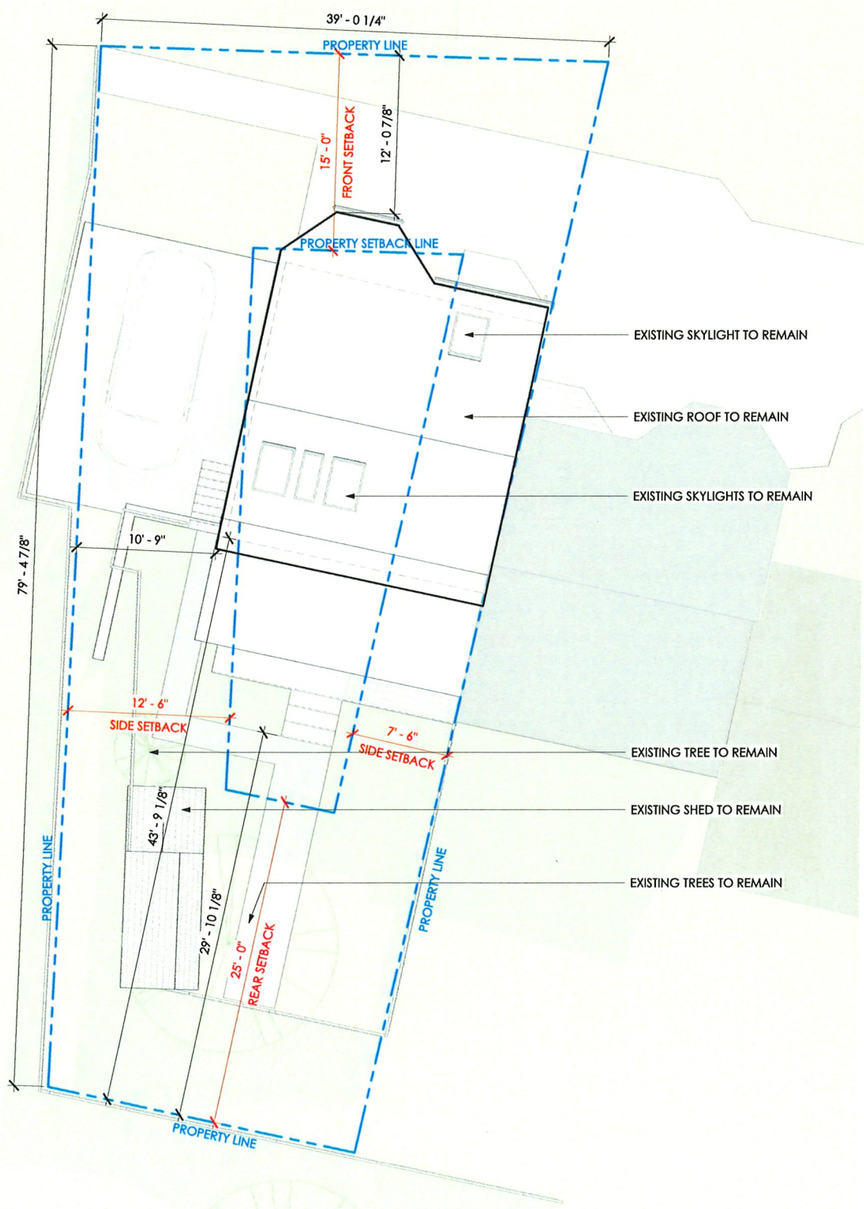
BZA-002

Scale	1/8" = 1'-0"

7/2/2024 9:01:41 PM

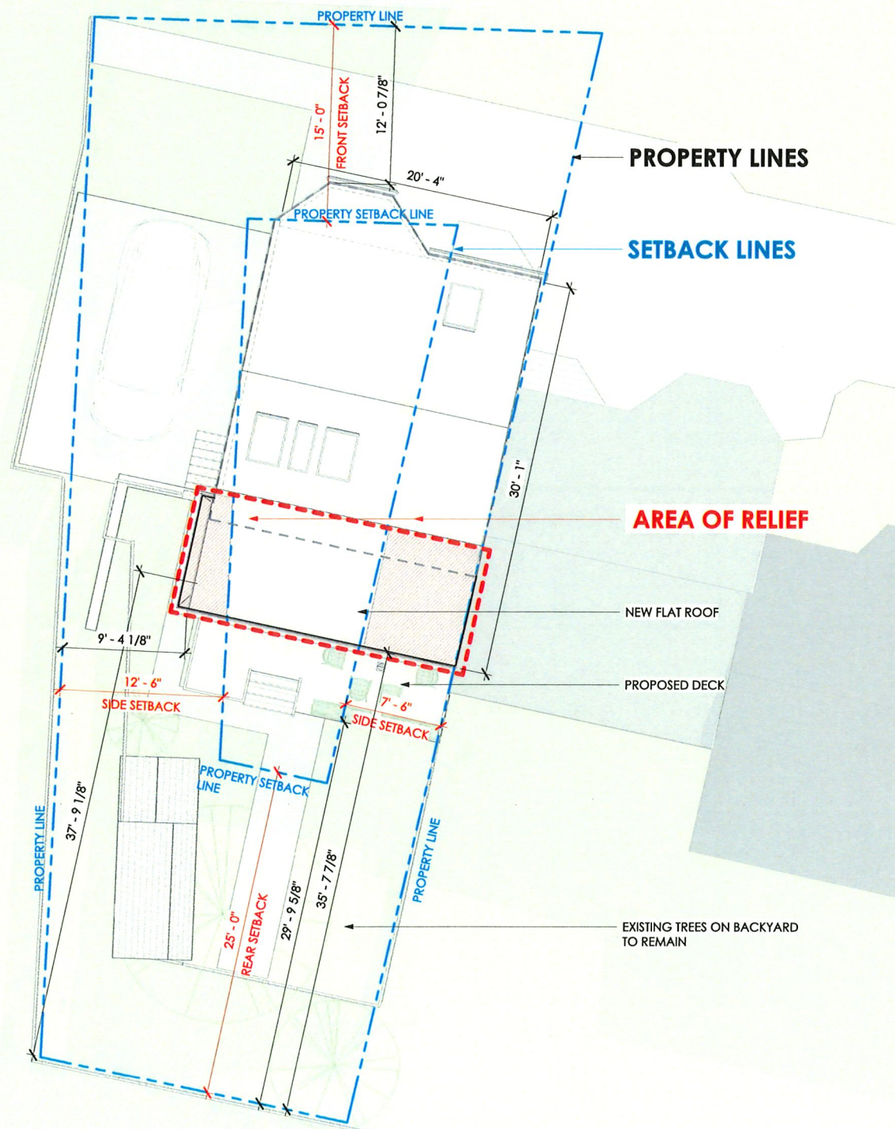
BZA-003 **SITE PLANS**

EXISTING



1 EXISTING - BZA - SITE PLAN
3/16" = 1'-0"

PROPOSED



2 PROPOSED - BZA - SITE PLAN
3/16" = 1'-0"

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Scale	3/16" = 1'-0"

7/2/2024 9:01:50 PM

BZA-004 **SITE AXONS**

EXISTING

PROPOSED

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SITE AXONS

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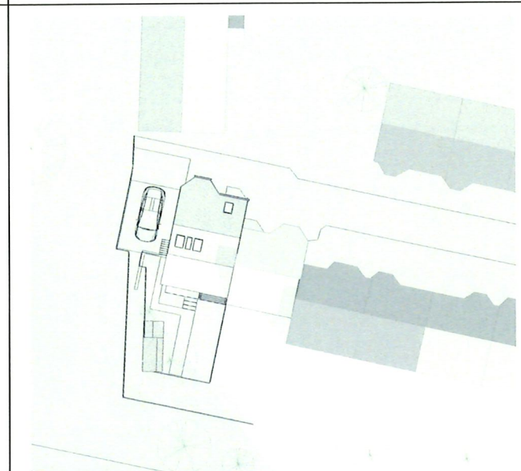
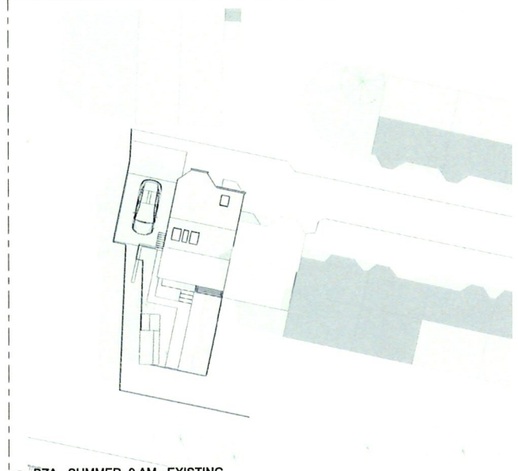
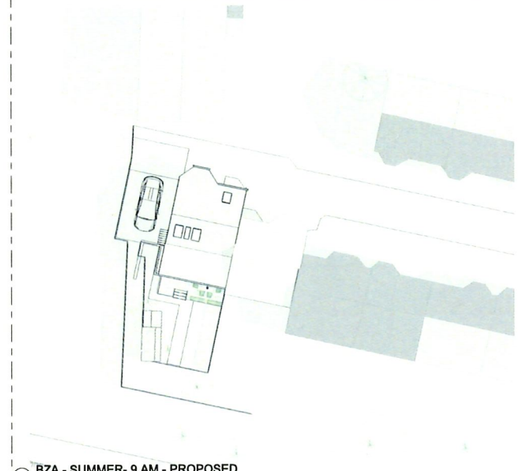
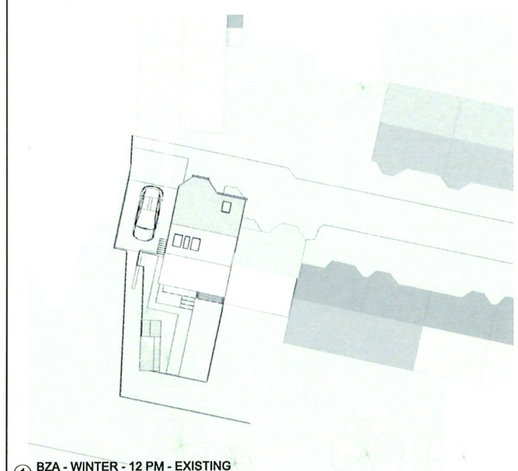
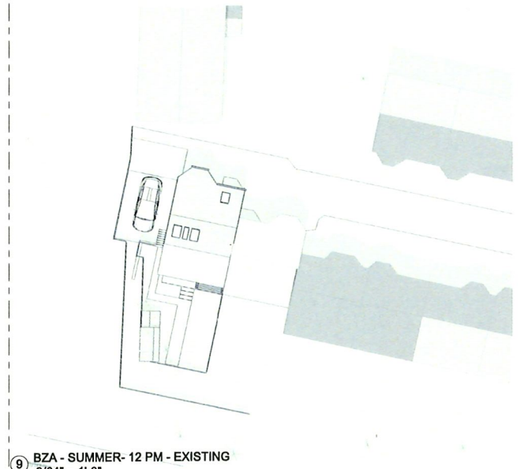
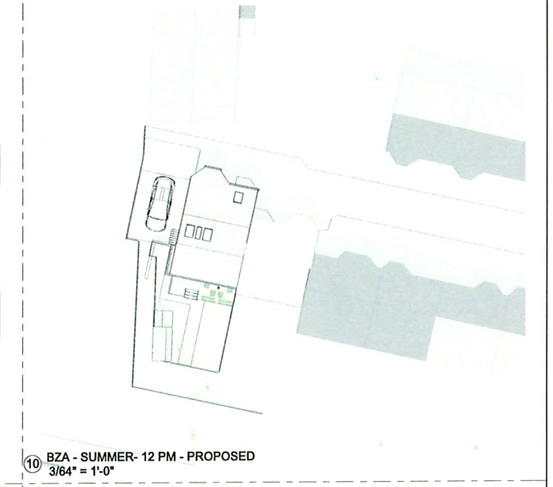
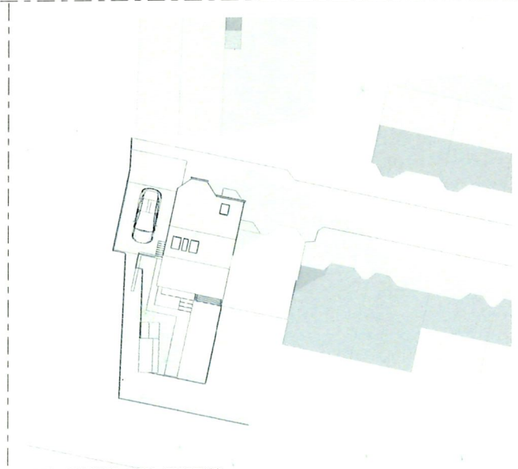
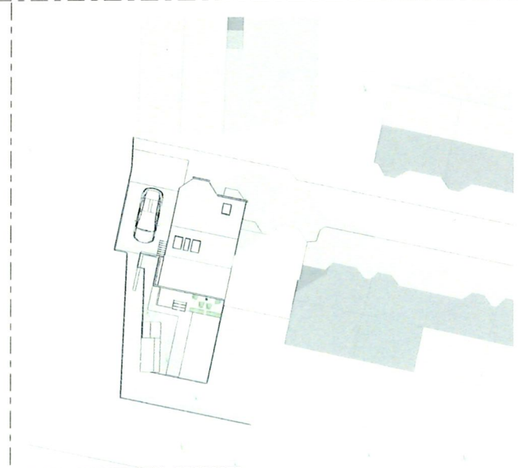
Scale

7/2/2024 9:01:51 PM

BZA-005 SHADOW STUDY

	WINTER SOLSTICE - EXISTING	WINTER SOLSTICE - PROPOSED	SUMMER SOLSTICE - EXISTING	SUMMER SOLSTICE - PROPOSED
MORNING - 9AM	 ③ BZA - WINTER - 9 AM - EXISTING 3/64" = 1'-0"	 ② BZA - WINTER - 9 AM - PROPOSED 3/64" = 1'-0"	 ⑦ BZA - SUMMER- 9 AM - EXISTING 3/64" = 1'-0"	 ⑧ BZA - SUMMER- 9 AM - PROPOSED 3/64" = 1'-0"
NOON - 12PM	 ① BZA - WINTER - 12 PM - EXISTING 3/64" = 1'-0"	 ④ BZA - WINTER - 12 PM - PROPOSED 3/64" = 1'-0"	 ⑨ BZA - SUMMER- 12 PM - EXISTING 3/64" = 1'-0"	 ⑩ BZA - SUMMER- 12 PM - PROPOSED 3/64" = 1'-0"
AFTERNOON - 3PM	 ⑤ BZA - WINTER - 3 PM - EXISTING 3/64" = 1'-0"	 ⑥ BZA - WINTER - 3 PM - PROPOSED 3/64" = 1'-0"	 ⑪ BZA - SUMMER- 3 PM - EXISTING 3/64" = 1'-0"	 ⑫ BZA - SUMMER- 3 PM - PROPOSED 3/64" = 1'-0"

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SHADOW STUDY

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BZA-005

Scale	3/64" = 1'-0"

7/2/2024 9:32:01 PM

BZA-006 **STREET VIEW - FRONT**

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STREET VIEW - FRONT

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Scale

7/2/2024 9:02:01 PM

BZA-007 **STREET VIEW - FRONT**

EXISTING

PROPOSED

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STREET VIEW - FRONT

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Scale

7/12/2024 9:02:02 PM

BZA-008 **STREET VIEW - SIDE**

EXISTING

PROPOSED

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STREET VIEW - SIDE

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Scale

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BZA-009 **STREET VIEW - SIDE**

EXISTING

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STREET VIEW - SIDE

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Scale

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BZA-010 **STREET VIEW - REAR**

EXISTING

PROPOSED

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STREET VIEW - REAR

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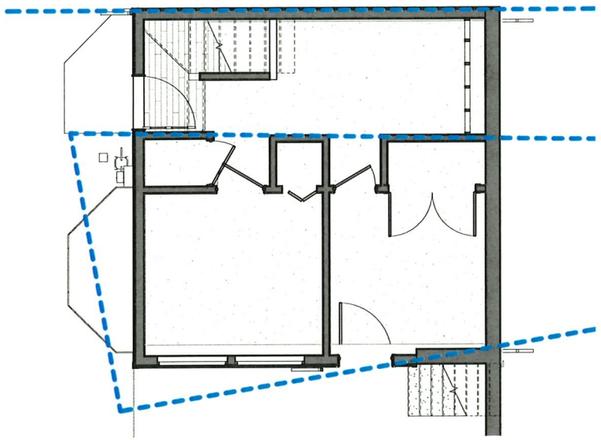
BZA-010

Scale

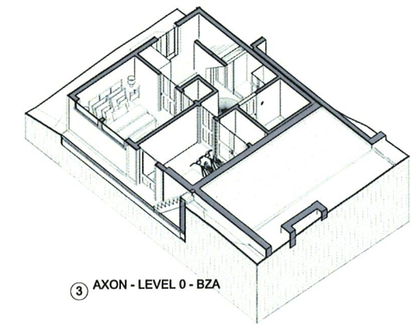
7/2/2024 9:12:04 PM

BZA-100 PLAN - LEVEL 0

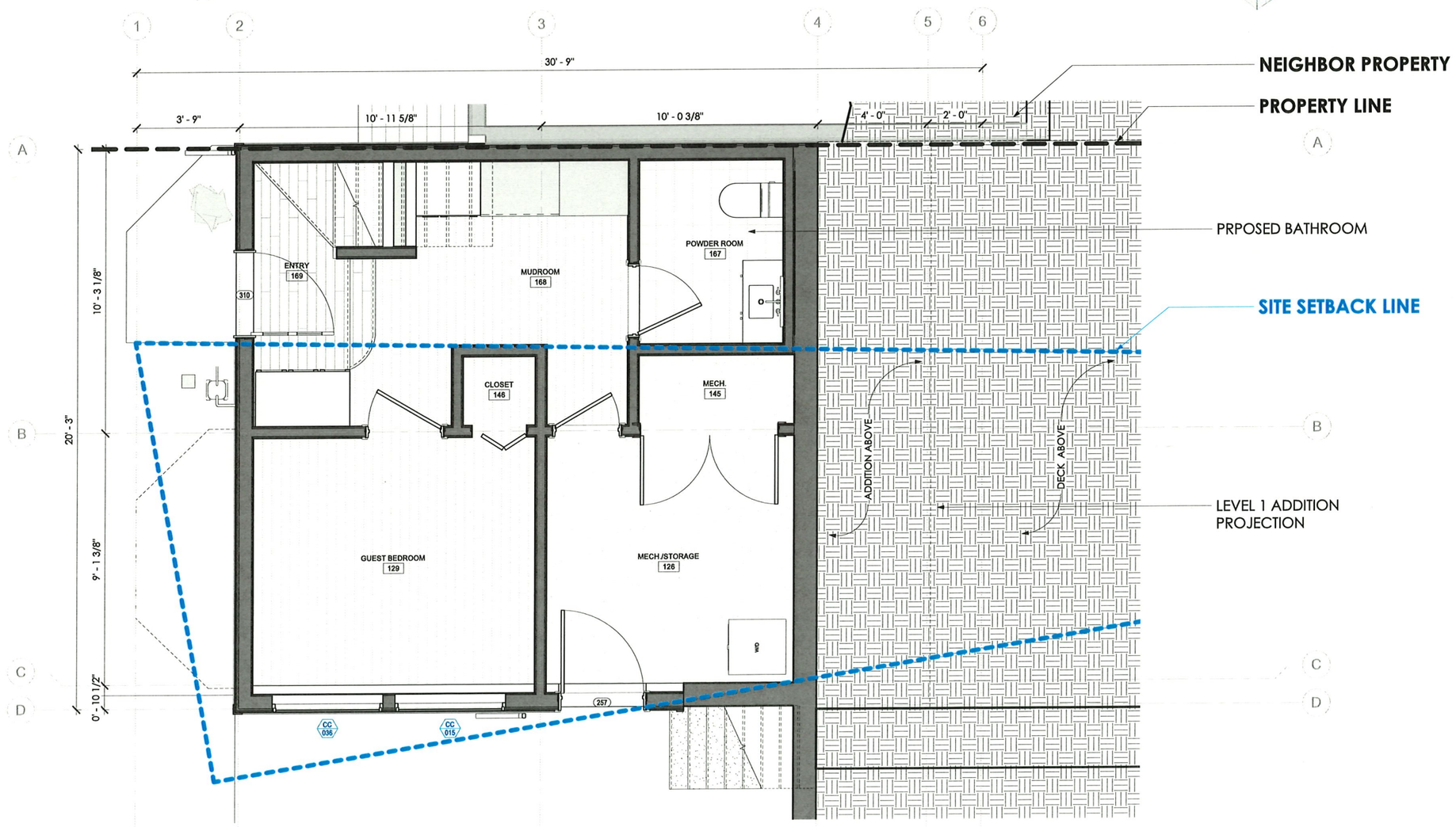


1 EXISTING - LEVEL 0 - BZA
1/4" = 1'-0"

NO RELIEF REQUESTED AT THIS LEVEL



3 AXON - LEVEL 0 - BZA



2 PROPOSED - LEVEL 0 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 0

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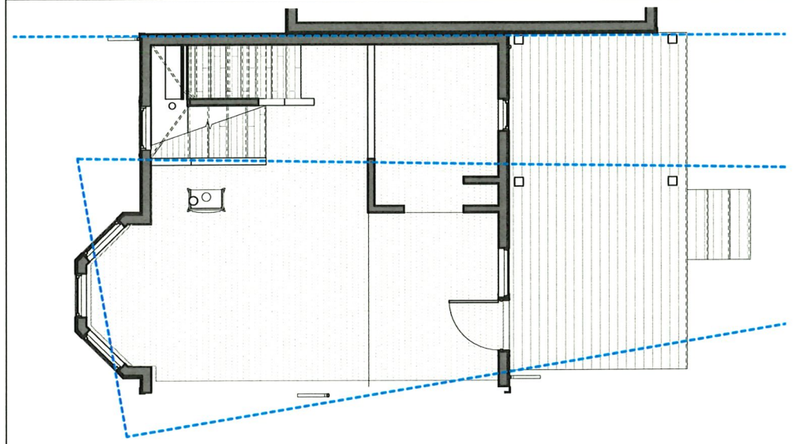
BZA-100

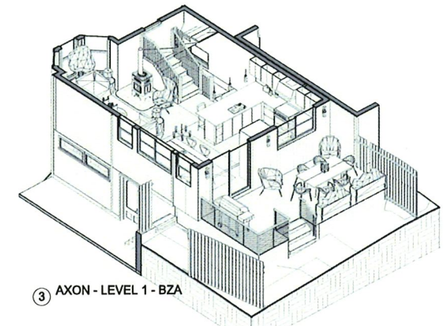
Scale	As indicated

7/12/2024 9:32:29 PM

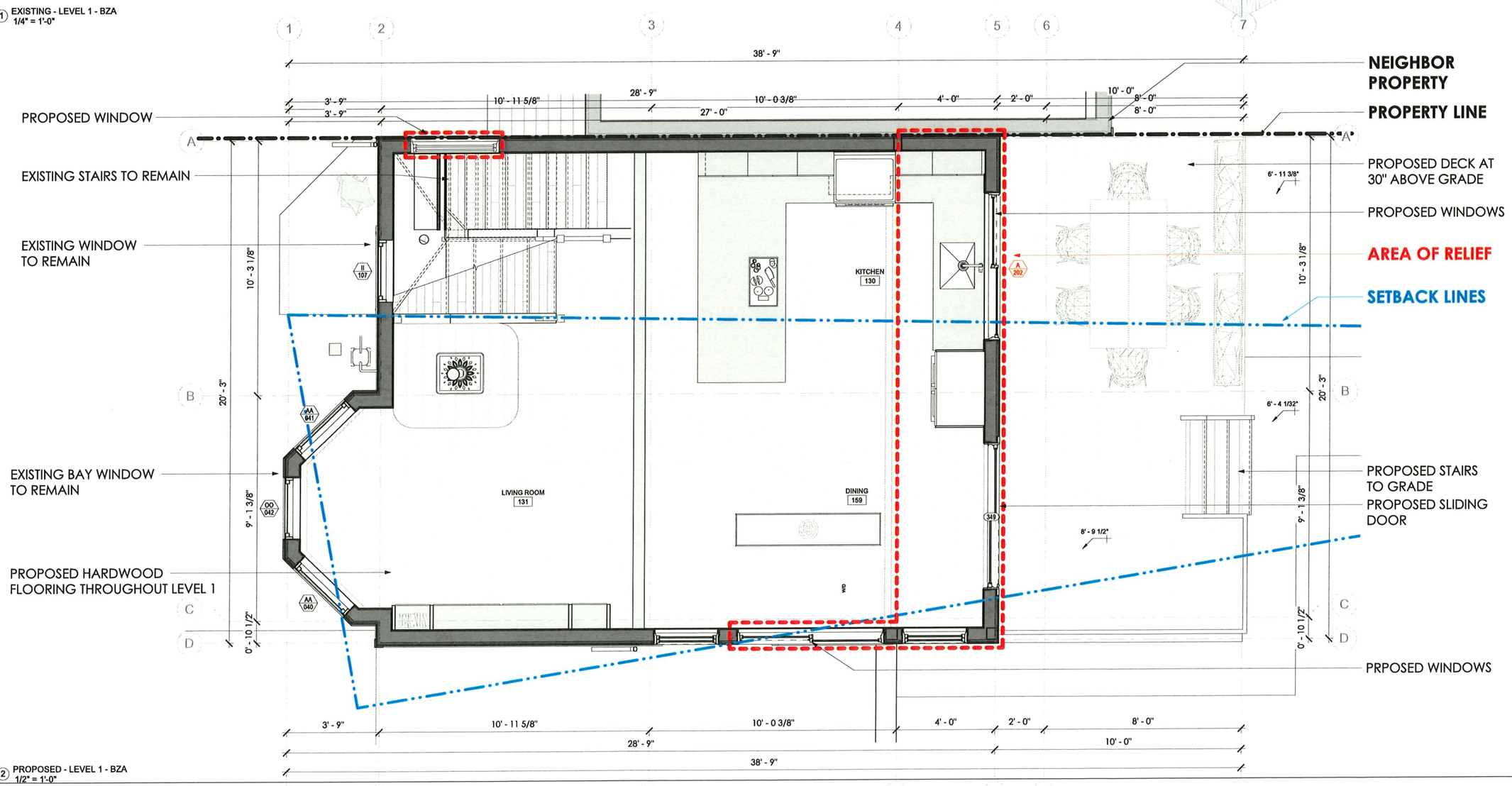
BZA-101 PLAN - LEVEL 1



1 EXISTING - LEVEL 1 - BZA
1/4" = 1'-0"



3 AXON - LEVEL 1 - BZA



2 PROPOSED - LEVEL 1 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 1

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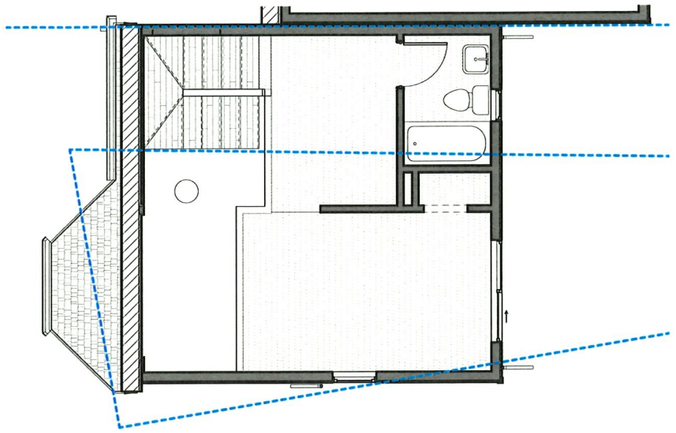
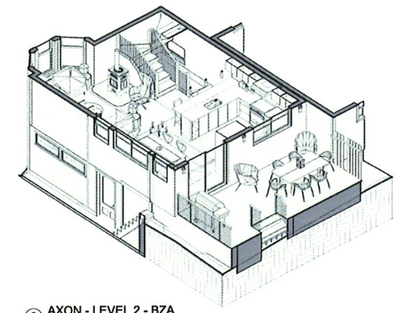
Scale	As indicated

7/2/2024 9:02:15 PM

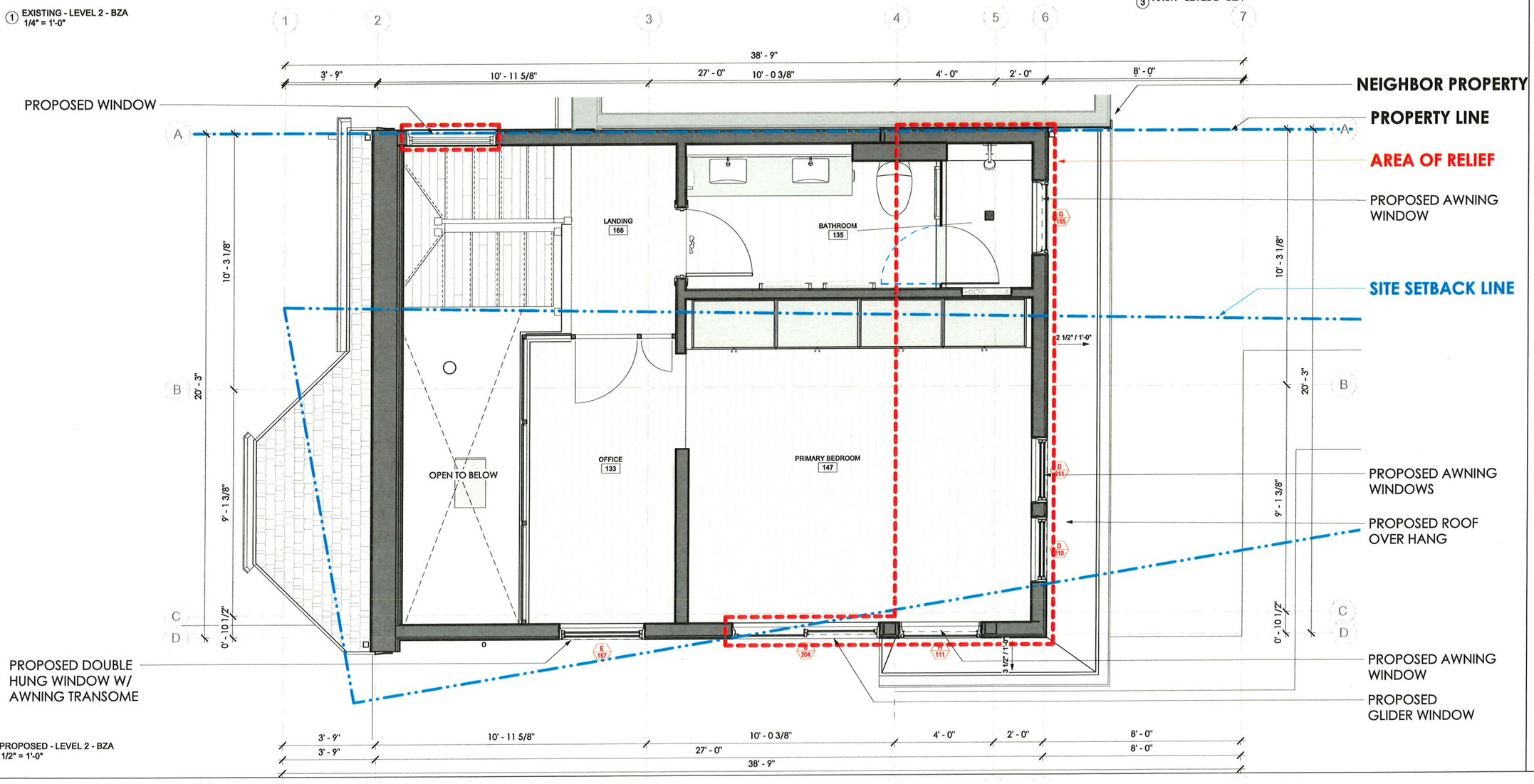
BZA-102 PLAN - LEVEL 2



① EXISTING - LEVEL 2 - BZA
1/4" = 1'-0"



③ AXON - LEVEL 2 - BZA



② PROPOSED - LEVEL 2 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 2

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Scale	As indicated

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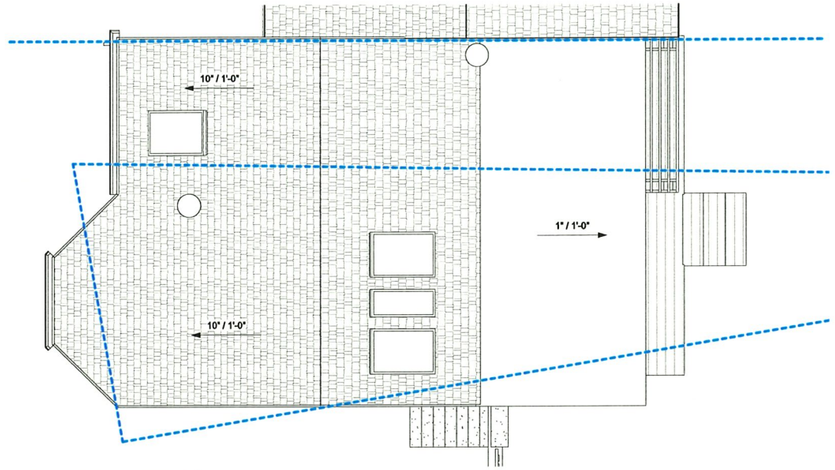
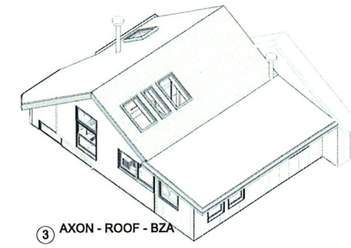
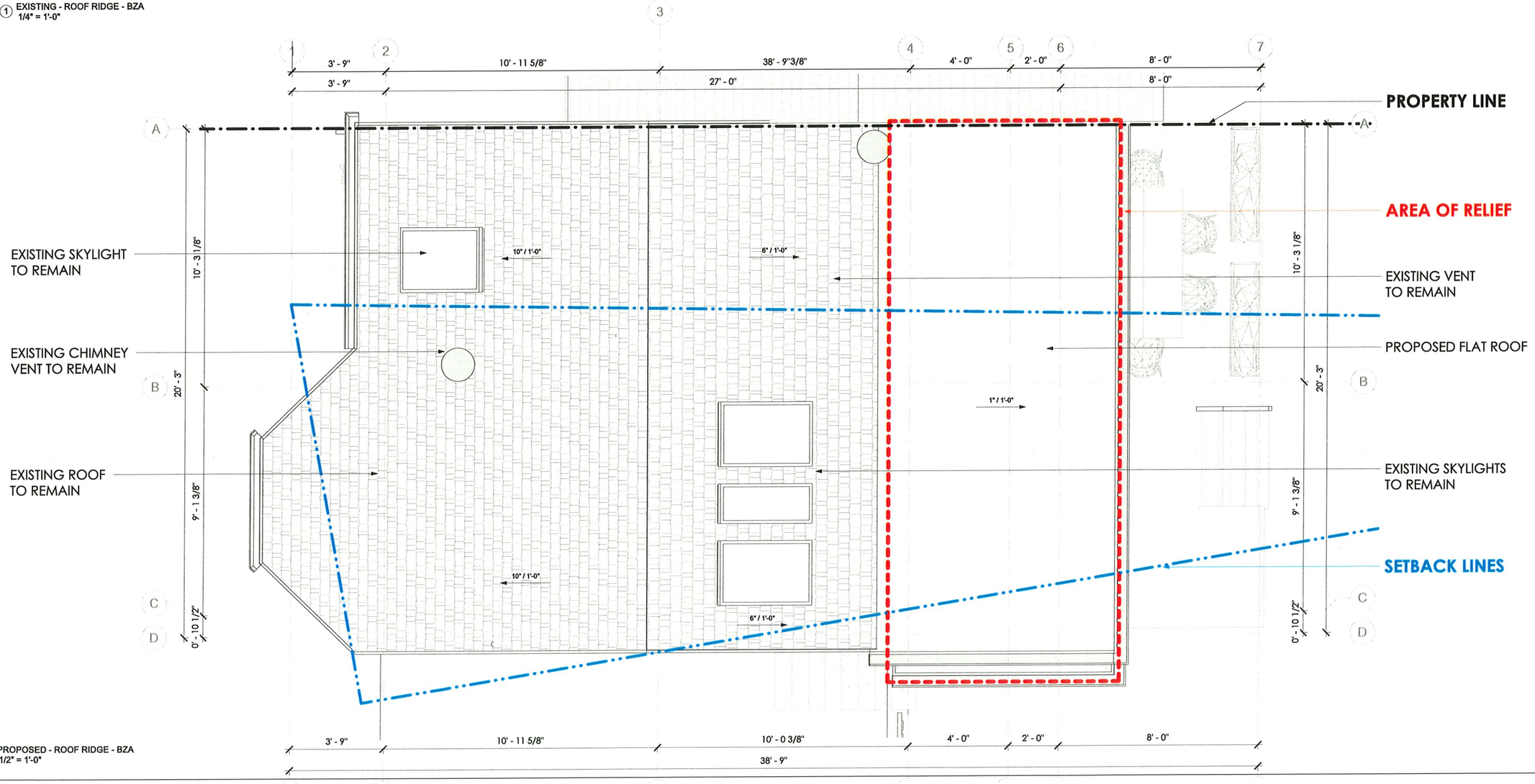
BZA-103 PLAN - ROOF



1 EXISTING - ROOF RIDGE - BZA
1/4" = 1'-0"



3 AXON - ROOF - BZA



2 PROPOSED - ROOF RIDGE - BZA
1/2" = 1'-0"

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PLAN - ROOF

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BZA-103

Scale	As indicated

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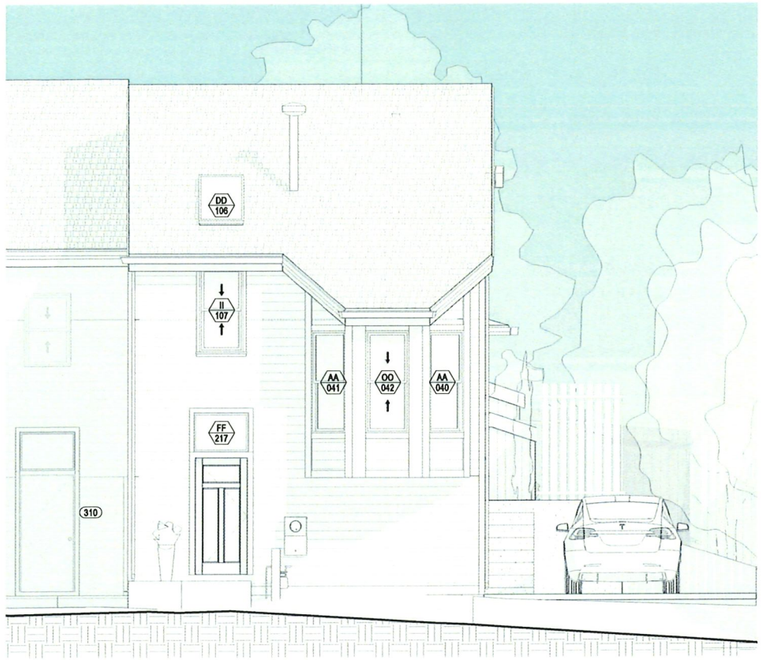
BZA-200 ELEVATION - NORTH (FRONT)

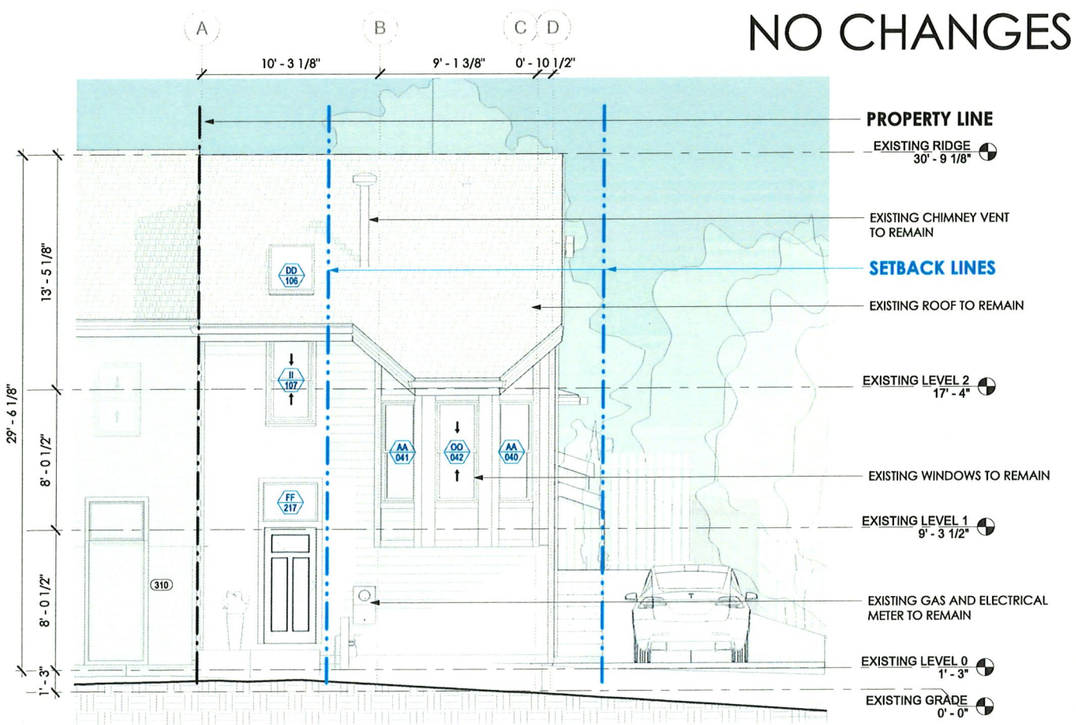


1 EXISTING - NORTH ELEVATION - BZA
1/4" = 1'-0"

EXISTING

NO CHANGES ON THIS ELEVATION

PROPOSED



2 PROPOSED - NORTH ELEVATION - BZA
1/4" = 1'-0"

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ELEVATION - NORTH (FRONT)

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Checked by	Checker

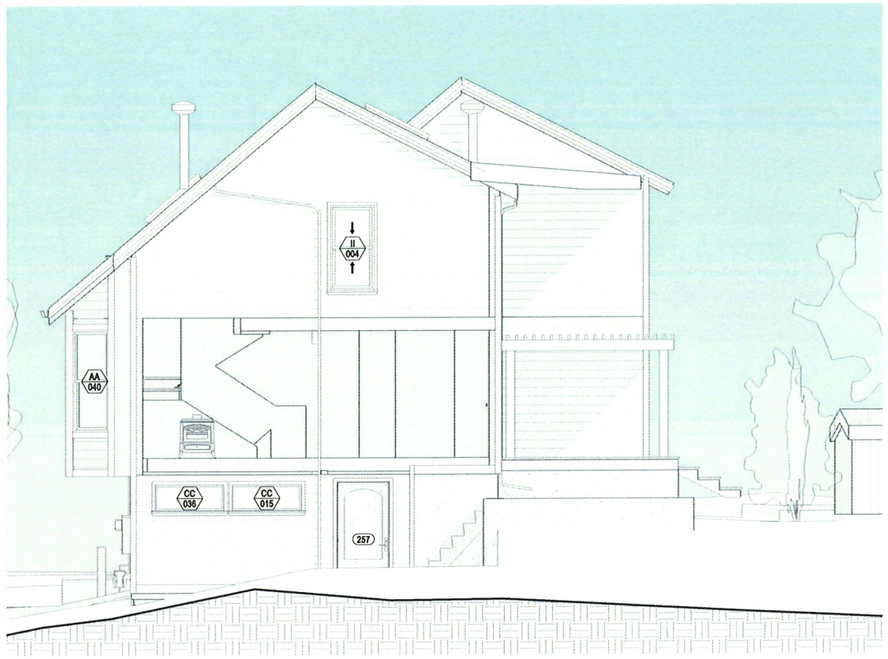
BZA-200

Scale 1/4" = 1'-0"

7/2/2024 9:02:33 PM

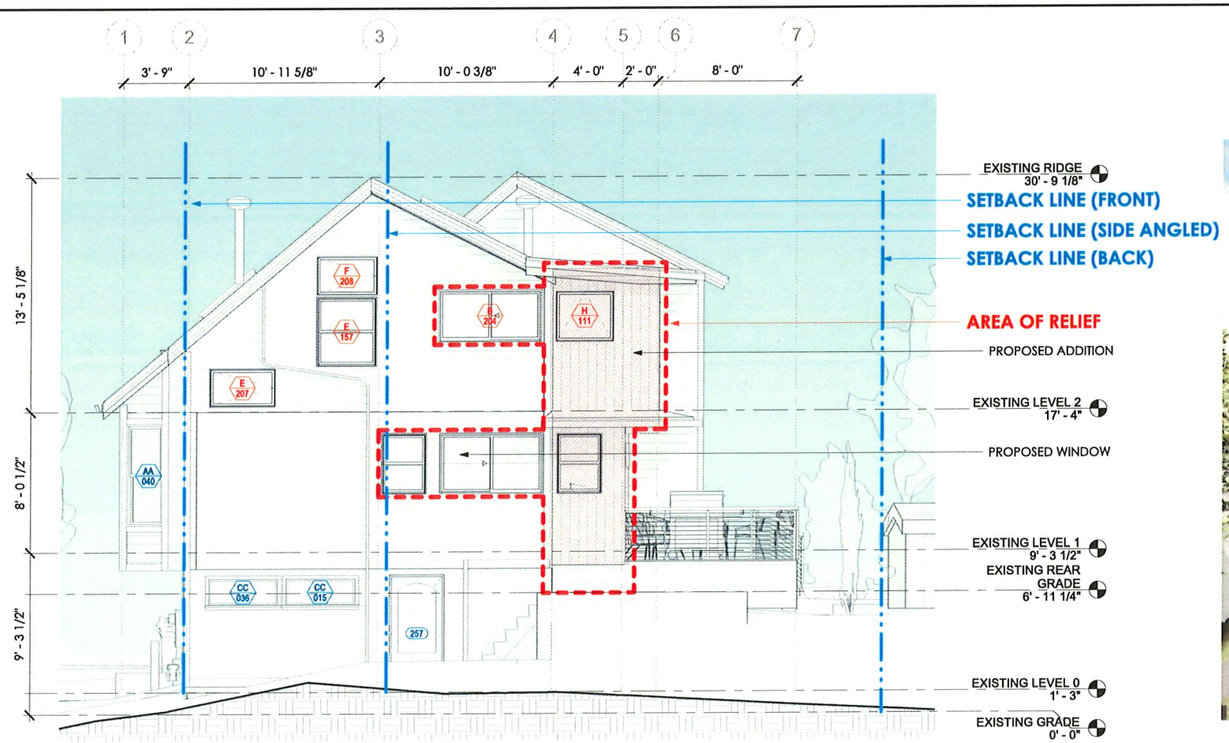
BZA-201 ELEVATION - WEST

EXISTING



② EXISTING - WEST ELEVATION - BZA
1/4" = 1'-0"

PROPOSED



① PROPOSED - WEST ELEVATION - BZA
1/4" = 1'-0"

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REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION - WEST

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA # 271439-2024 SET
Project number	2401-4720
Date	07/02/2024
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BZA-201

Scale 1/4" = 1'-0"

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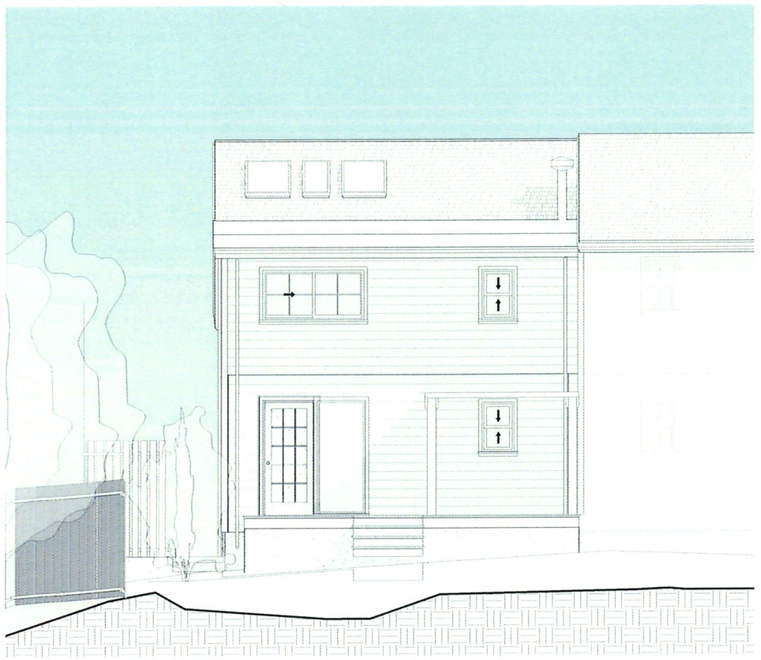
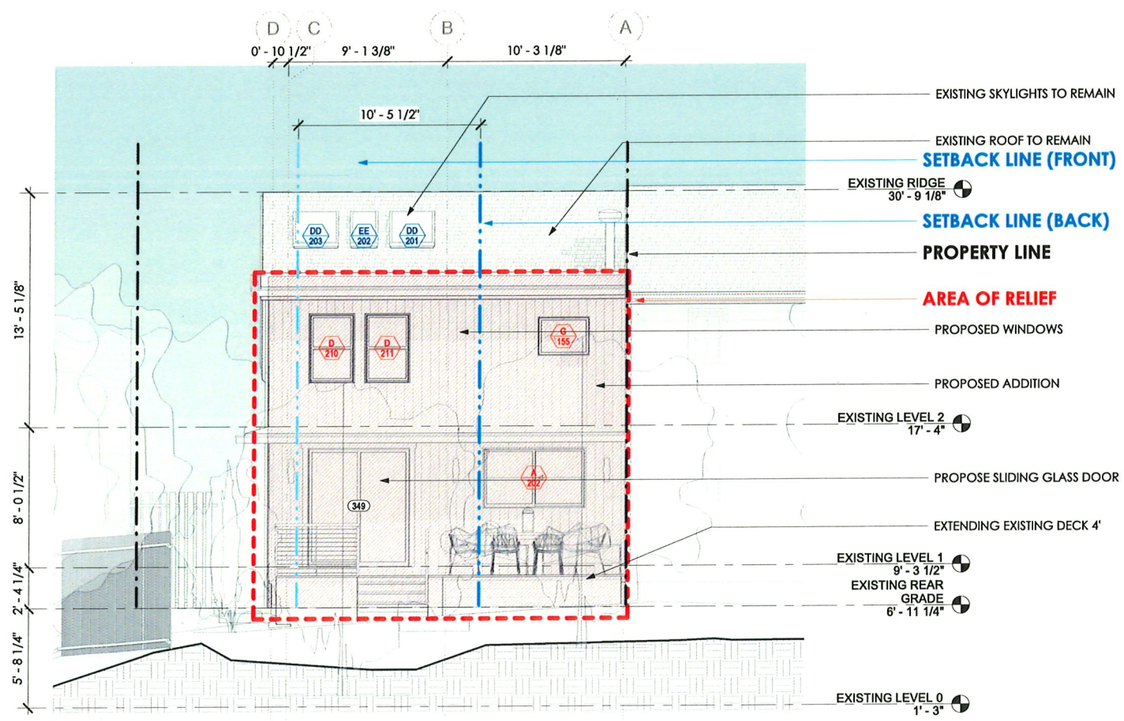
BZA-202 ELEVATION - SOUTH (BACK)



① EXISTING - SOUTH ELEVATION - BZA
1/4" = 1'-0"

EXISTING



② PROPOSED - SOUTH ELEVATION - BZA
1/4" = 1'-0"

PROPOSED

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REGISTRATIONS:

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ELEVATION - SOUTH (BACK)

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA # 271439-2024 SET
Project number	2401-4720
Date	07/02/2024
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BZA-202

Scale 1/4" = 1'-0"

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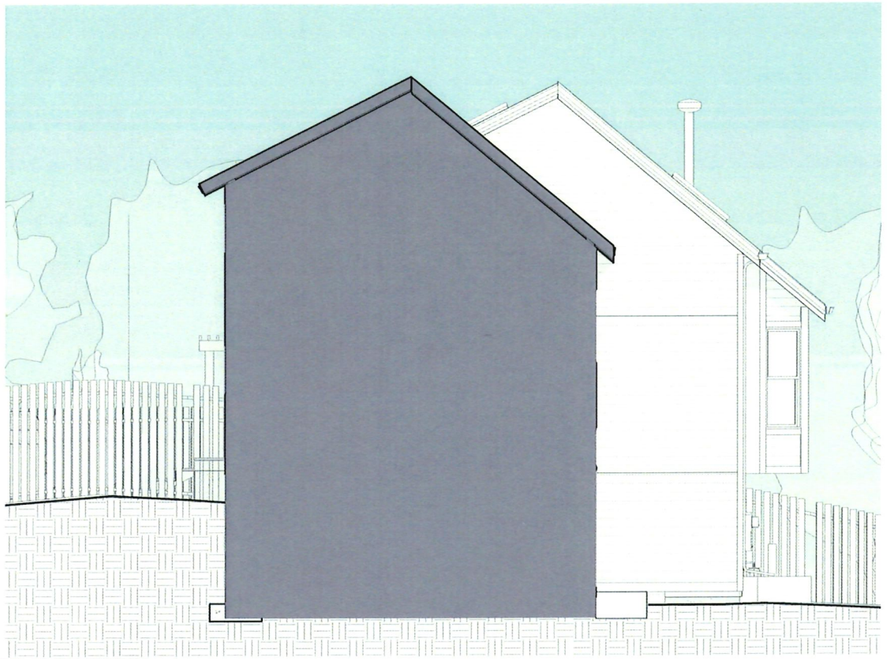
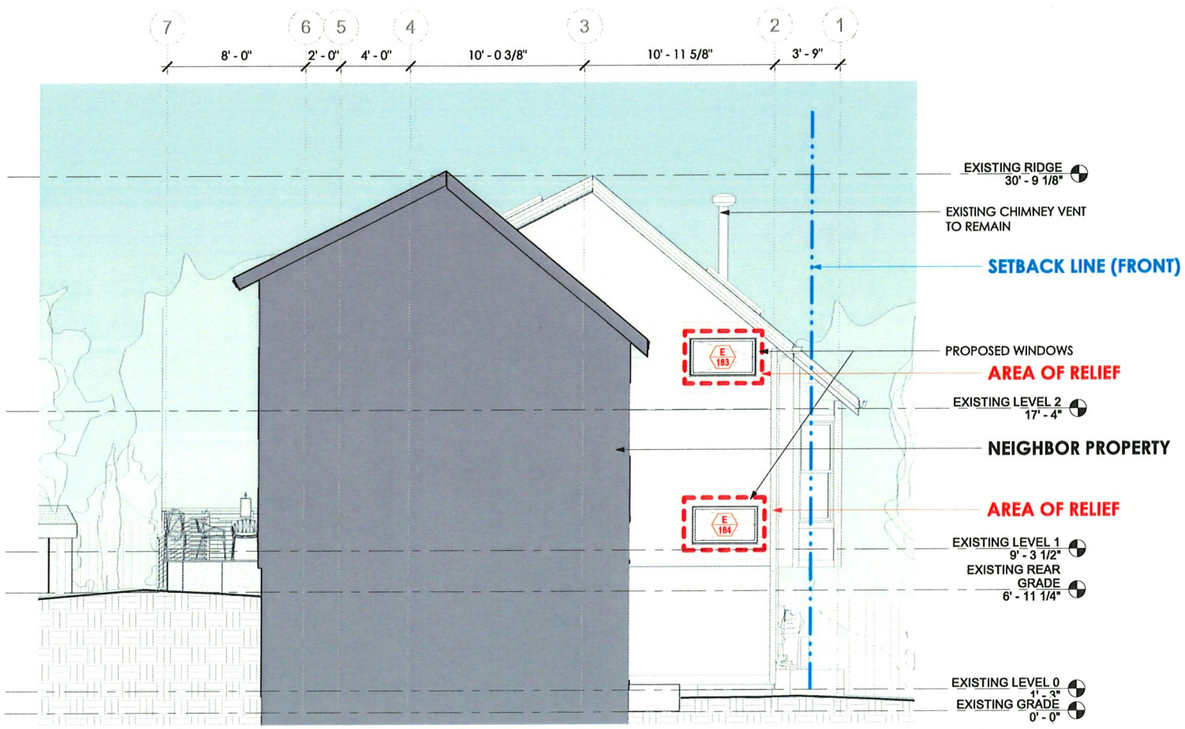
BZA-203 ELEVATION - EAST

EXISTING



PROPOSED - EAST ELEVATION Copy 1
Copy 1
1/4" = 1'-0"

PROPOSED



PROPOSED - EAST ELEVATION Copy 2
1/4" = 1'-0"

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ELEVATION - EAST

DANA SCHAEFER & MATT PESCI

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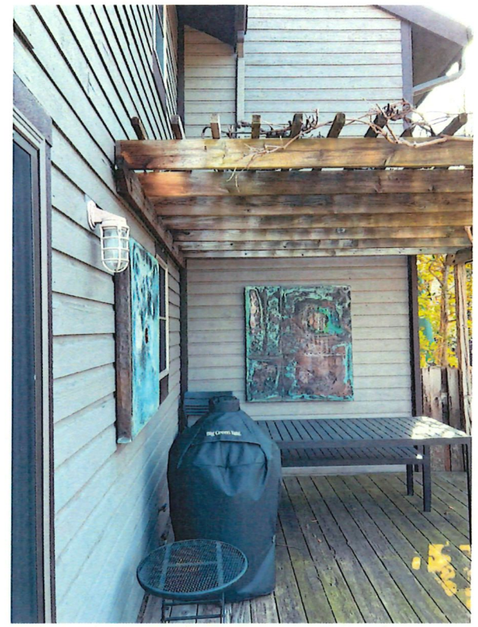
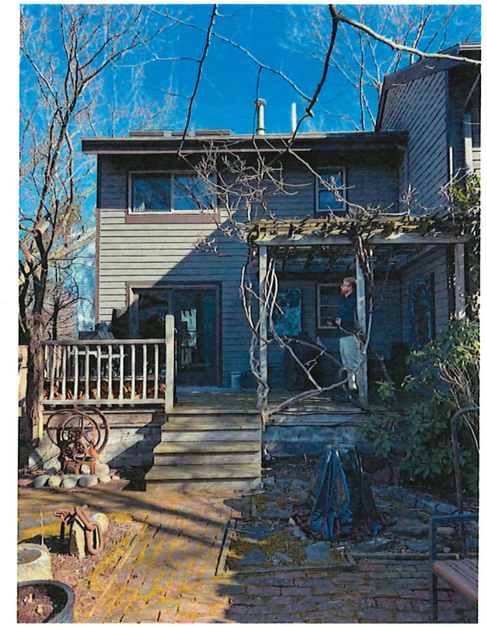
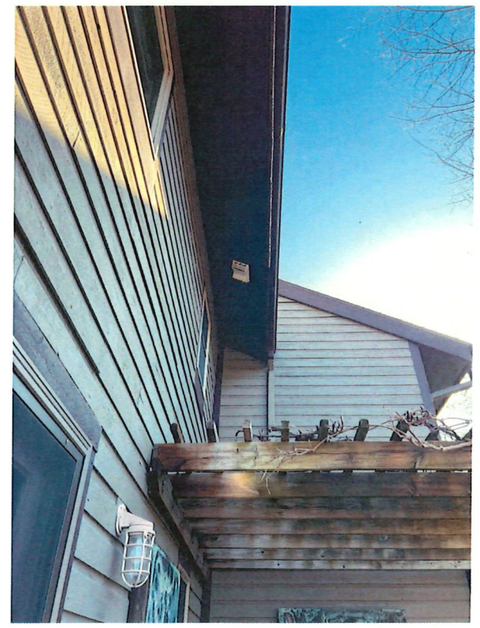
Scale 1/4" = 1'-0"

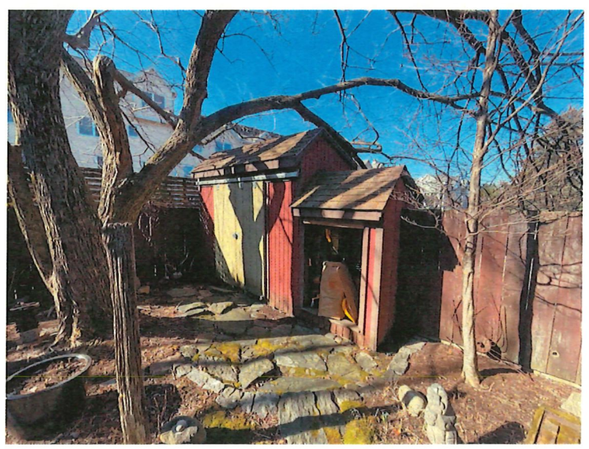
7/2/2024 9:02:48 PM

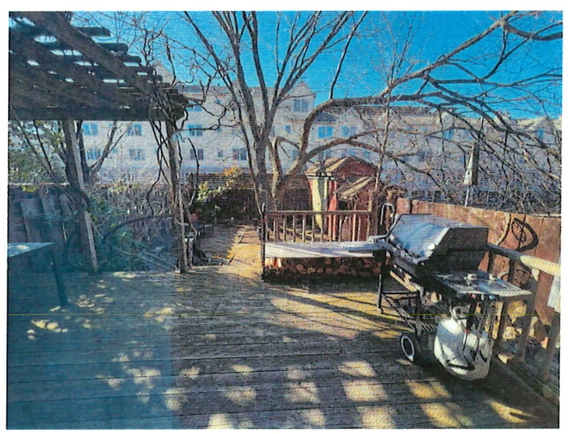
BZA-400 **SITE PHOTOS**

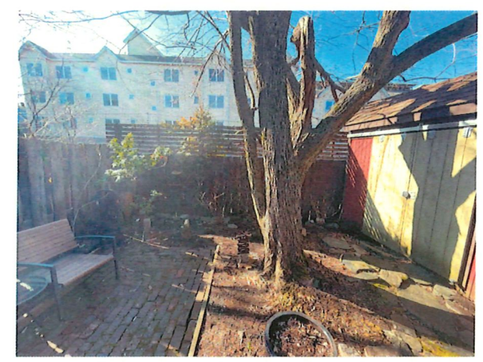












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SITE PHOTOS

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SCHAEFER & PESCI RESIDENCE

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CAMBRIDGE, MA

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BZA-400

Scale

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BZA-401 **RENDER VIDEO QR**

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RENDER VIDEO QR

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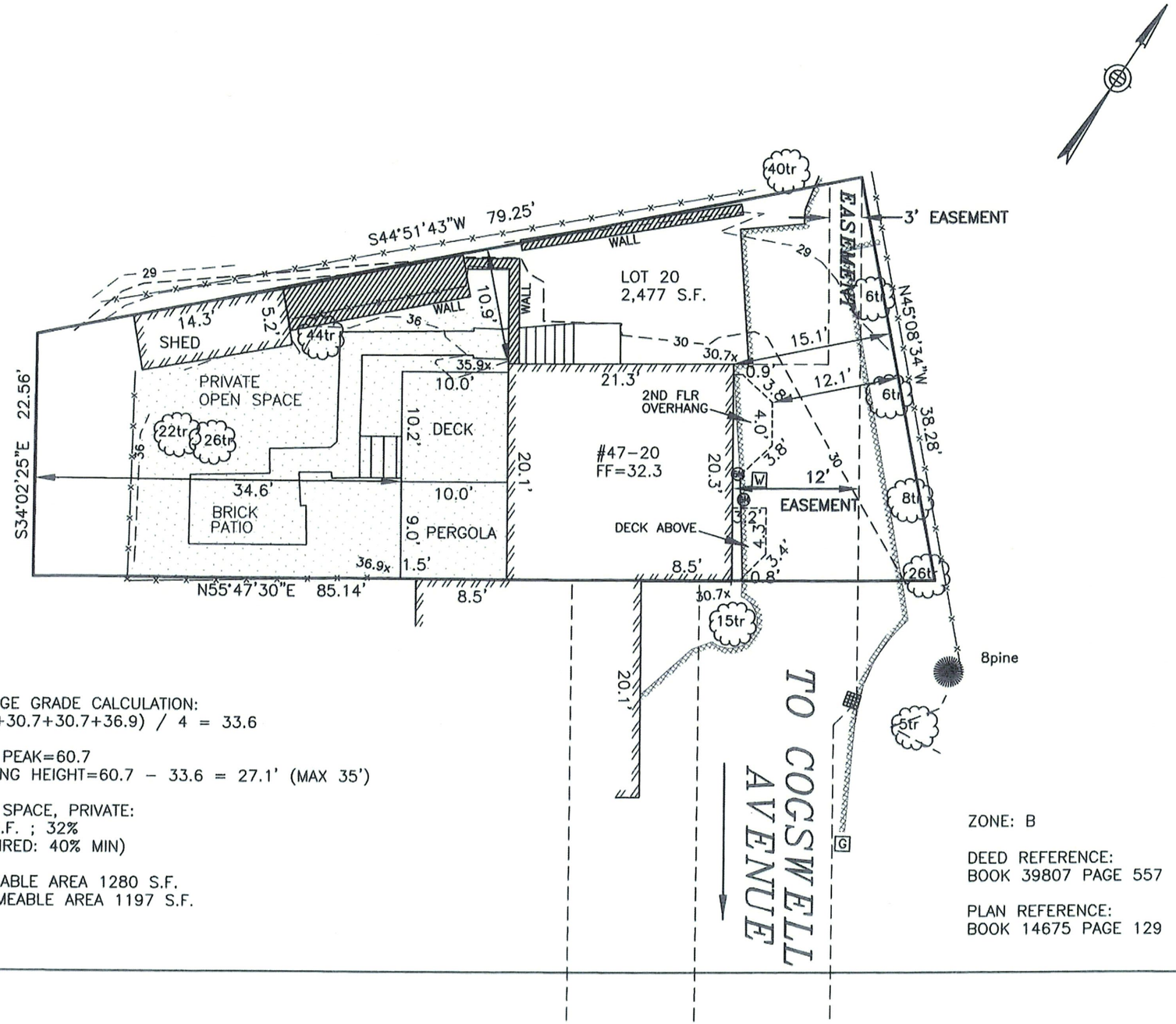
BZA-401

Scale

7/12/2024 9:02:49 PM

BZA-402 **CERTIFIED PLOT PLAN**



AVERAGE GRADE CALCULATION:
(35.9+30.7+30.7+36.9) / 4 = 33.6

ROOF PEAK=60.7
BUILDING HEIGHT=60.7 − 33.6 = 27.1' (MAX 35')

OPEN SPACE, PRIVATE:
800 S.F. ; 32%
(REQUIRED: 40% MIN)

PERMEABLE AREA 1280 S.F.
IMPERMEABLE AREA 1197 S.F.

ZONE: B

DEED REFERENCE:
BOOK 39807 PAGE 557

PLAN REFERENCE:
BOOK 14675 PAGE 129

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WEST NEWTON, MA 02465

(617) 527-8750
info@everettbrooks.com

COMMONWEALTH OF MASSACHUSETTS
BRUCE BRADFORD
No. 38376
PROFESSIONAL LAND SURVEYOR
5/28/24

PLAN OF LAND IN CAMBRIDGE, MA

47-20 COGSWELL AVENUE
EXISTING CONDITIONS

SCALE: 1 IN.= 10 FT.
DATE: MAY 20, 2024
DRAWN: LNS
CHECK: BB

REVISIONS:

5/23/24	various	
5/28/24	various	

PROJECT NO. 26914

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REGISTRATIONS:

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CERTIFIED PLOT PLAN

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA # 271439-2024 SET
Project number	2401-4720
Date	07/02/2024
Drawn by	Author
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BZA-402

Scale

7/2/2024 9:02:50 PM

SCHAEFER & PESCI RESIDENCE

BZA SUBMISSION SET
05/16/2024

DANA SCHAEFER & MATT PESCI

47-20 COGSWELL AVE.
CAMBRIDGE, MA

PROJECT NARRATIVE:

THIS PROJECT WILL CONSIST OF A MODEST ADDITION AT THE REAR AT LEVEL 1 AND 2, EXPANDING THE LIVING SPACE ON BOTH LEVEL. LEVEL 0 WILL INCLUDE THE A NEW POWDER ROOM AND MUDROOM. LEVEL 1 WILL HAVE A 4 FOOT ADDITION THAT WILL EXPAND THE DINING AND KITCHEN. THE EXISTING DECK WILL EXTEND 4 FEET. LEVEL 2 WILL HAVE 6 FOOT ADDITION TO EXPAND THE MAIN BEDROOM, CREATE A BATHROOM AND OFFICE.

PROJECT #: **2401-4720**

ARCHITECT:

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ZONING LAWYER:

WESTON | PATRICK
A Professional Association Since 1897

Michael W. Wiggins
WESTON PATRICK
mww@westonpatrick.com
(P) 617-742-9310

GENERAL CONTRACTOR:

N / A

STRUCTURAL ENGINEER:

N / A

CIVIL ENGINEER:

N / A

BZA SHEET LIST

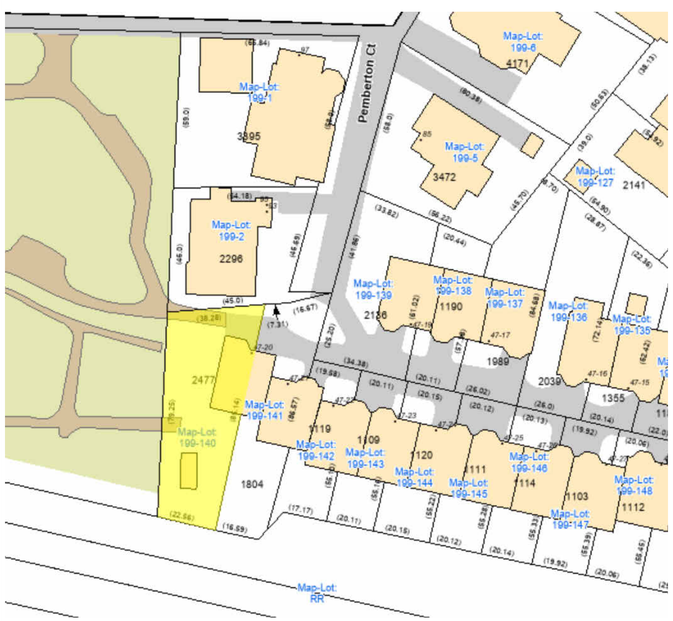
Sheet Number	Sheet Name	Count	Drawn By
BZA-000	COVER	1	SKA
BZA-001	GENERAL NOTES	1	SKA
BZA-002	AREA PLANS	1	SKA
BZA-003	SITE PLANS	1	SKA
BZA-004	SITE AXONS	1	SKA
BZA-005	SHADOW STUDY	1	SKA
BZA-006	STREET VIEW - FRONT	1	SKA
BZA-007	STREET VIEW - FRONT	1	SKA
BZA-008	STREET VIEW - SIDE	1	SKA
BZA-009	STREET VIEW - SIDE	1	SKA
BZA-010	STREET VIEW - REAR	1	SKA
BZA-100	PLAN - LEVEL 0	1	SKA
BZA-101	PLAN - LEVEL 1	1	SKA
BZA-102	PLAN - LEVEL 2	1	SKA
BZA-103	PLAN - ROOF	1	SKA
BZA-200	ELEVATION - NORTH (FRONT)	1	SKA
BZA-201	ELEVATION - WEST	1	SKA
BZA-202	ELEVATION - SOUTH (BACK)	1	SKA
BZA-203	ELEVATION - EAST	1	SKA

BZA-001 GENERAL NOTES

ABBREVIATIONS

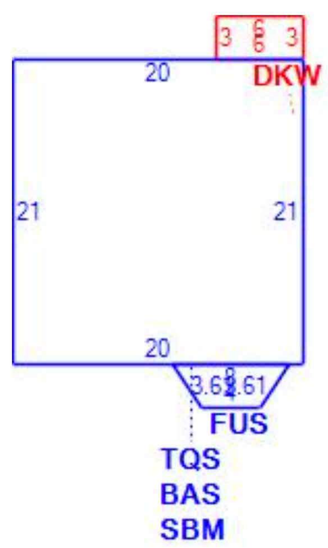
#	NUMBER OR POUND
&,+	AND
@	AT
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
AVB	AIR AND VAPOR BARRIER
BD	BOARD
BIT	BITUMINOUS
BLDG	BUILDING
BSMT	BASEMENT
BTWN	BETWEEN
CF	CUBIC FEET
CI	CUBIC INCHES
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR OR CLEARANCE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CORR	CORRIDOR, CORRUGATED
CTR	CENTER
D	DEPTH, DEEP
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DW	DISHWASHER
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION (GRADE)
ELEC	ELECTRICAL
ELEV	ELEVATION (FACADE)
EOS	EDGE OF SLAB
EQ	EQUAL, EQUIPMENT, EQUIP
ETR	EXISTING TO REMAIN
EXG	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FAB	FABRICATE, FABRICATION
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FL	FLOOR
FOW	FACE OF WALL
FT	FEET, FOOT
GA	GAUGE
GALV	GALVANIZED
GL	GLASS, GLAZING, GLAZED
GWB	GYPSUM WALLBOARD, BACKING BOARD
GYP	GYPSUM
H	HIGH
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HVAC	HEATING, VENTILATING & AIR CONDITIONING
IN	INCH, INCHES
INCL	INCLUDE, INCLUDED
INT	INTERIOR
JT	JOINT

L	LENGTH
LAM	LAMINATE, LAMINATED
LB	POUND
LGMF	LIGHT GAGE METAL FRAMING
LT	LIGHT
LT WT	LIGHT WEIGHT
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER
MECH	MECHANICAL
MED	MEDIUM
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPP	OPPOSITE
OSB	ORIENTED STRANDBOARD
OVHD	OVERHEAD
OZ	OUNCE (S)
PATT	PATTERN (ED)
PERF	PERFORATED
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PNT	PAINT, PAINTED
PR	PAIR
PREFAB	PREFABRICATE, PREFABRICATED
QTY	QUANTITY
RAD	RADIUS
RBR	RUBBER
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATE, REFRIGERATOR
REINF	REINFORCE, REINFORCED
REQ	REQUIRE
REV	REVISION, REVISE, REVISED
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SCHED	SCHEDULE
SF	SQUARE FEET
SI	SQUARE INCHES
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS, SST	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STL	STEEL
STOR	STORAGE
STR	STAIR
T.O.	TOP OF
U.O.	UNDERSIDE OF
UON	UNLESS OTHERWISE NOTED
WD	WOOD
WT	WEIGHT
X	INDICATES TIMES OR BY



MATERIALS

	EARTH
	CONCRETE
	GRAVEL
	SAND
	GYPSUM BOARD OR SHEATHING
	MASONRY - BRICK
	MASONRY - CONCRETE BLOCK
	WOOD - FINISH - END GRAIN
	WOOD - FINISH - FACE
	WOOD - ROUGH - BLOCKING (CONTINUOUS MEMBERS)
	WOOD - ROUGH - BLOCKING (INTERMEDIATE MEMBERS)
	INSULATION - RIGID
	INSULATION - BATT OR MINERAL WOOL
	ACOUSTIC TILE, PANEL, OR PLANK
	PLYWOOD
	CUT STONE
	PARTICLE BOARD OR FIBERBOARD



SYMBOLS

VIEW # VIEW NAME SCALE:1/X" = 1'-0"	DRAWING TITLE
SHEET / O.H. / SIM VIEW # SHEET	EXTERIOR ELEVATION KEY
VIEW # SHEET	INTERIOR ELEVATION KEY
O.H. / SIM VIEW # SHEET	BUILDING SECTION MARKER
O.H. / SIM VIEW # SHEET	WALL SECTION MARKER
O.H. / SIM VIEW # SHEET	DETAIL AREA MARKER
O.H. / SIM VIEW # SHEET	DETAIL SECTION MARKER
COLUMN	GRID LINE
Name Elevation	VERTICAL ELEVATION KEY (ELEV)
0' - 0"	SPOT ELEVATION W/ TARGET (PLAN)
0' - 0"	SPOT ELEVATION NO TARGET (PLAN)
REV #	REVISION CLOUD AND REVISION TAG

ROOM NAME ROOM #	ROOM TAG	℄	CENTERLINE
AREA NAME AREA	AREA TAG	/SHEET /SHEET	MATCH LINE
DOOR #	DOOR TAG		HINGE SIDE OF DOOR
# TYPE	WINDOW TAG		ALIGN SURFACES
		ROOM NAME ROOM # FLOOR BASE WALL CEILING	FINISH TAG

GENERAL NOTES

1. ALL WORK SHALL BE CONSIDERED NEW, UNLESS OTHERWISE INDICATED.
2. DO NOT SCALE DRAWINGS
3. VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
4. TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
5. LAYOUT ALL WORK WITHIN THE CONFINES OF EXISTING CONSTRUCTION AND RESOLVE DISCREPANCIES PRIOR TO INITIATION OF NEW WORK.
6. ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
7. DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
8. TYPICAL OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME, WHEN THEY FIRST OCCUR.
9. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION.
10. PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO MASONRY ARE TO ACTUAL FINISHED FACE, UNLESS OTHERWISE NOTED.
11. VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
12. WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
13. FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
14. EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
15. WORK AREA SHALL BE MAINTAINED, CLEAN AND FREE OF DEBRIS AT ALL TIMES.
16. PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
17. PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
18. COORDINATE AND PROVIDE BLOCKING AND STRAPPING WITHIN PARTITIONS FOR MILLWORK AND OTHER WALL ATTACHED ITEMS.
19. APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
20. GLASS 18" OR LESS FROM FLOOR LINE OR ADJACENT TO A DOOR SWING SHALL BE SAFETY GLASS AS REQUIRED BY APPLICABLE CODE(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ." SAFETY GLASS, UNLESS OTHERWISE NOTED, TO COMPLY WITH BUILDING AND LIFE SAFETY CODES, INDUSTRY STANDARDS AND OTHER APPLICABLE FEDERAL AND STATE CODES.
21. FLASHING AT EXTERIOR WALLS SHALL BE INSTALLED WITH SEALED JOINTS, SEALED PENETRATIONS AND ENDS TURNED UP. IT SHALL BE FABRICATED AND INSTALLED TO ENSURE THAT MOISTURE IN WALLS WILL BE DIRECTED TO WICKS AND WEEP HOLES.
22. COORDINATE ALL DIMENSIONS CONCERNING DOORS/PANELS/WINDOWS, STAIRS AND THEIR OPENINGS WITH PRODUCT MANUFACTURERS PRIOR TO FABRICATION AND CONSTRUCTION.
23. PROVIDE WEATHERSTRIP AT EXTERIOR DOORS.
24. PROVIDE FLASHING AND/OR SEALANT AT OPENINGS IN ROOF OR WALLS TO ENSURE A WEATHERTIGHT BUILDING.
25. LOCATE THERMOSTATS ADJACENT TO SWITCH PLATES WHERE POSSIBLE. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH BUILT-INS OR SYSTEMS FURNITURE OR DESIGN ELEMENTS.
26. ALIGN OUTLETS, WALL SWITCHES, TEL-DATA JACKS, ETC., INDICATED TO BE MOUNTED AT NEAR EQUIVALENT ELEVATIONS.
27. ALL DOORS SHALL BE LOCATED 6" OFF THE ADJACENT PARTITION, OR ONE MASONRY COURSE AT CMU PARTITIONS, UNLESS NOTED OTHERWISE.
28. DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING FINISHES TO REMAIN.
29. ALL WOOD SHALL BE FSC CERTIFIED.
30. ALL WOOD FRAMING SIZES ARE BASED ON SPF-SS
31. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.).
32. CORRECT ALL DEFECTS FOUND IN EXISTING BUILDING WHICH INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GWB.

SKA

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357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

GENERAL NOTES

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

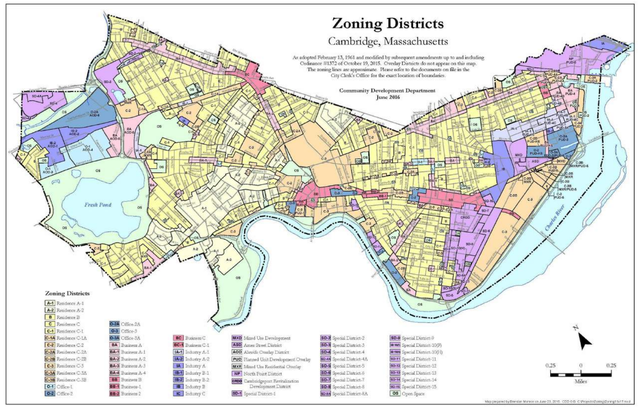
Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	SKA
Checked by	Checker

BZA-001

Scale	1 1/2" = 1'-0"

5/16/2024 10:27:50 AM

BZA-002 **AREA PLANS**



Zone: Residential B

BUILDING HEIGHT

REQUIRED BUILDING HEIGHT: **35'-0"**
EXISTING HEIGHT: 29'-6"
PROPOSED HEIGHT: 29'-6"

PROPOSED INCREASE IN BUILDING HEIGHT: ***NONE***

OPEN SPACE CALCULATIONS

LOT SIZE: **2,476 SQ FT**

REQUIRED OPEN SPACE (MIN): **40.00%**
EXISTING OPEN SPACE: 60.43%
PROPOSED OPEN SPACE: 57.12%

PROPOSED DECREASED OPEN: ***03.31%***

FAR CALCULATION

REQUIRED FAR: **0.500**
EXISTING FAR: **0.533**
PROPOSED FAR: **0.629**

PROPOSED INCREASE FAR: ***0.096***

SET BACKS

REQUIRED FRONT YARD SETBACK: **15'- 0"**
EXISTING SETBACK: **13'-1.5"**
PROPOSED SETBACK: **13'-1.5"**

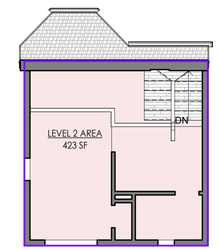
REQUIRED RIGHT SIDE YARD SETBACK: **7.5' MIN (SUM OF 20)**
EXISTING SETBACK: **11'- 4.5"**
PROPOSED SETBACK: **10'- 4.5"**

REQUIRED LEFT SIDE YARD SETBACK: **7.5' MIN (SUM OF 20)**
EXISTING SETBACK: **0'-0"**
PROPOSED SETBACK: **0'-0"**

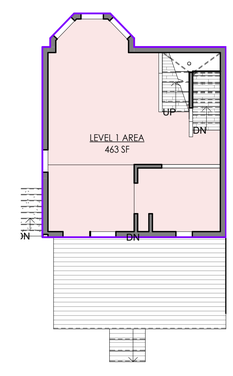
REQUIRED REAR YARD SETBACK: **25'-0"**
EXISTING SETBACK **(HOUSE):** **43'-9"**
PROPOSED SETBACK **(HOUSE):** **37'-9"**

EXISTING SETBACK **(DECK)** **29'-10"**
PROPOSED SETBACK **(DECK)** **29'- 1"**
PROPOSED DIFFERENCE (DECK) **00'- 9"**

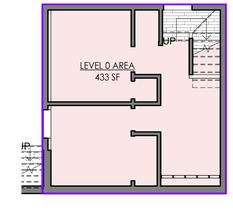
Area Schedule (Rentable)	
Level	Area
EXISTING LEVEL 0	433 SF
EXISTING LEVEL 1	463 SF
EXISTING LEVEL 2	423 SF
3	1319 SF



3 EXISTING LEVEL 2
1/8" = 1'-0"

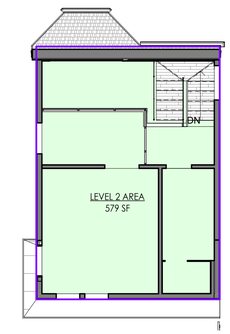


2 EXISTING LEVEL 1
1/8" = 1'-0"

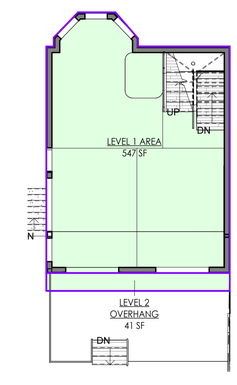


1 EXISTING LEVEL 0
1/8" = 1'-0"

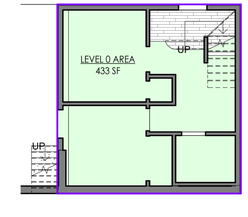
Area Schedule (Gross Building)	
Level	Area
EXISTING LEVEL 0	433 SF
EXISTING LEVEL 1	547 SF
EXISTING LEVEL 1	41 SF
EXISTING LEVEL 2	579 SF
	1600 SF



6 EXISTING LEVEL 2
1/8" = 1'-0"



5 EXISTING LEVEL 1
1/8" = 1'-0"



4 EXISTING LEVEL 0
1/8" = 1'-0"

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AREA PLANS

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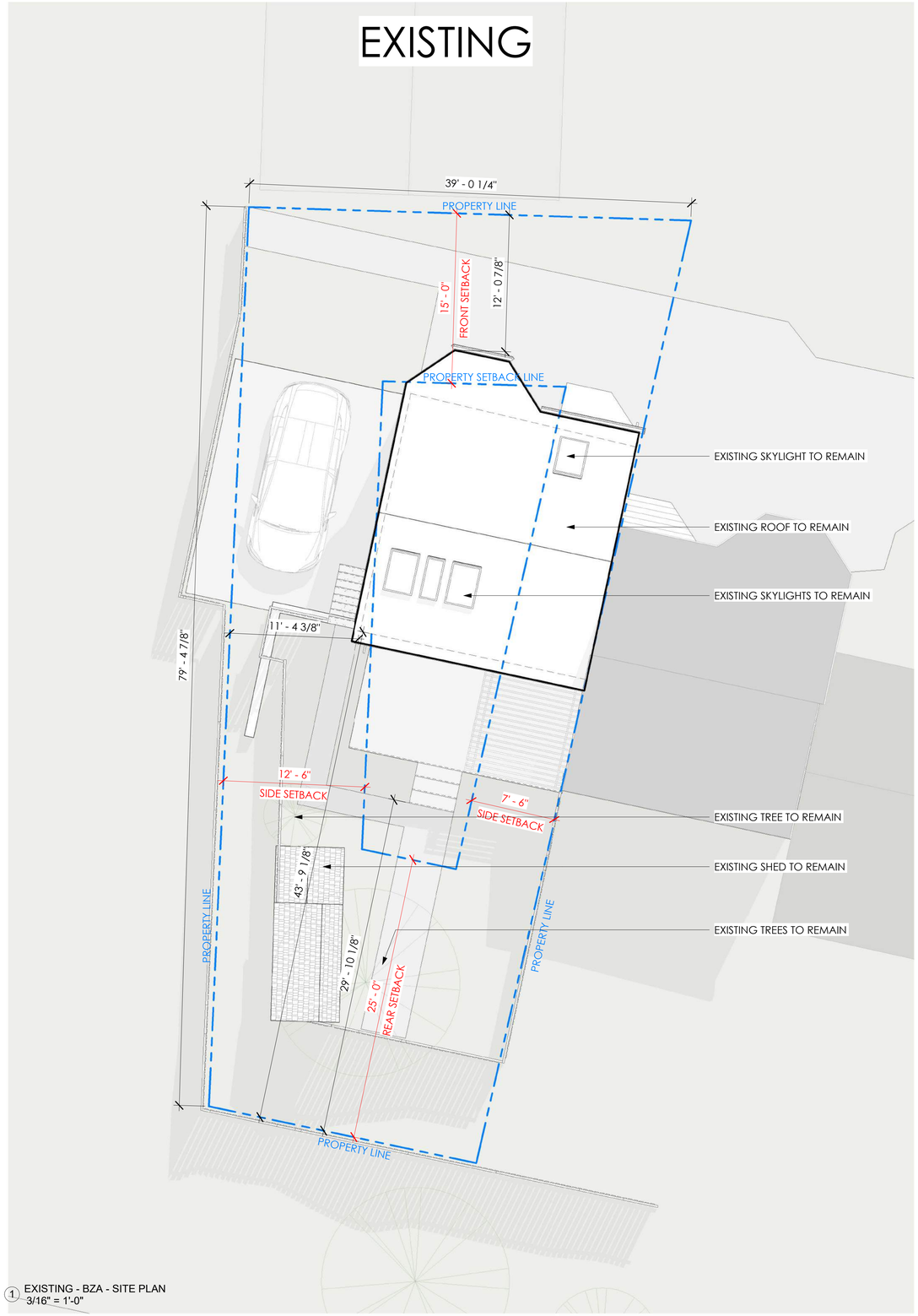
BZA-002

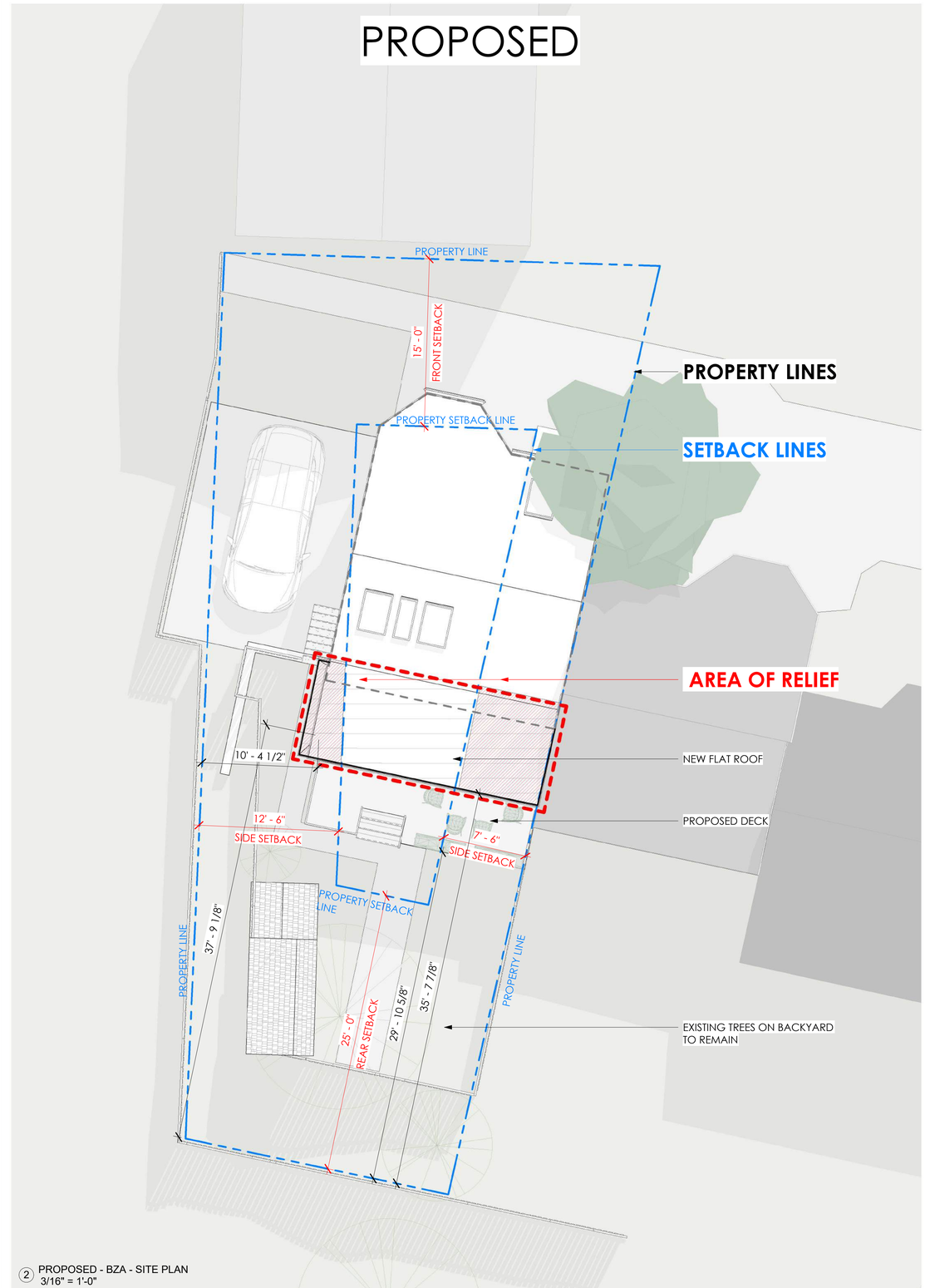
Scale 1/8" = 1'-0"

5/16/2024 10:27:51 AM

BZA-003 **SITE PLANS**



1 EXISTING - BZA - SITE PLAN
3/16" = 1'-0"



2 PROPOSED - BZA - SITE PLAN
3/16" = 1'-0"

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BZA-003

Scale	3/16" = 1'-0"

5/16/2024 10:28:00 AM

BZA-004 **SITE AXONS**

EXISTING

PROPOSED

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SITE AXONS

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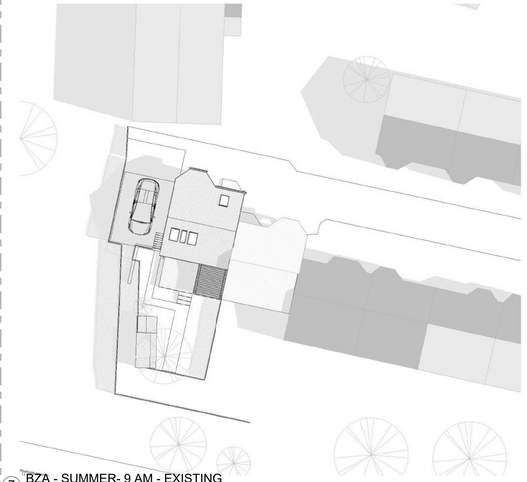
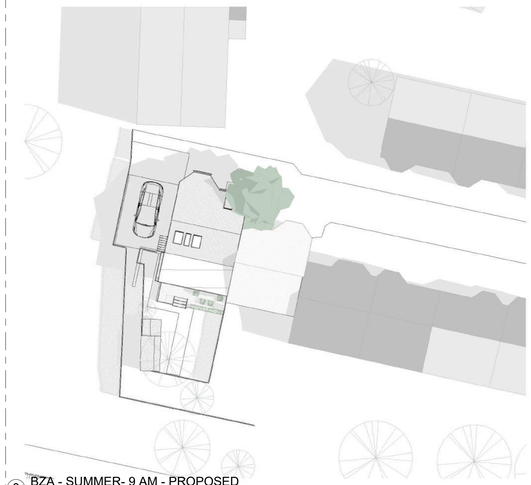
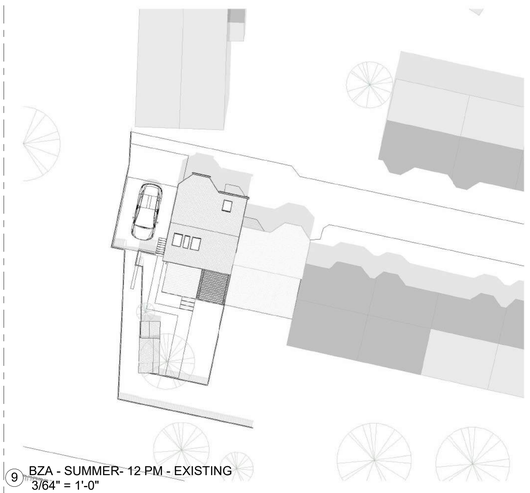
BZA-004

Scale

5/16/2024 10:28:00 AM

BZA-005 SHADOW STUDY

	WINTER SOLSTICE - EXISTING	WINTER SOLSTICE - PROPOSED	SUMMER SOLSTICE - EXISTING	SUMMER SOLSTICE - PROPOSED
MORNING - 9AM	 3 BZA - WINTER - 9 AM - EXISTING 3/64" = 1'-0"	 2 BZA - WINTER - 9 AM - PROPOSED 3/64" = 1'-0"	 7 BZA - SUMMER- 9 AM - EXISTING 3/64" = 1'-0"	 8 BZA - SUMMER- 9 AM - PROPOSED 3/64" = 1'-0"
NOON - 12PM	 1 BZA - WINTER - 12 PM - EXISTING 3/64" = 1'-0"	 4 BZA - WINTER - 12 PM - PROPOSED 3/64" = 1'-0"	 9 BZA - SUMMER- 12 PM - EXISTING 3/64" = 1'-0"	 10 BZA - SUMMER- 12 PM - PROPOSED 3/64" = 1'-0"
AFTERNOON - 3PM	 5 BZA - WINTER - 3 PM - EXISTING 3/64" = 1'-0"	 6 BZA - WINTER - 3 PM - PROPOSED 3/64" = 1'-0"	 11 BZA - SUMMER- 3 PM - EXISTING 3/64" = 1'-0"	 12 BZA - SUMMER- 3 PM - PROPOSED 3/64" = 1'-0"

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SHADOW STUDY

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BZA-005

Scale	3/64" = 1'-0"

5/16/2024 10:28:11 AM

BZA-006 **STREET VIEW - FRONT**

EXISTING

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STREET VIEW - FRONT

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BZA-006

Scale

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BZA-007 **STREET VIEW - FRONT**

EXISTING

PROPOSED

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STREET VIEW - FRONT

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BZA-007

Scale

5/16/2024 10:28:12 AM

BZA-008 **STREET VIEW - SIDE**

EXISTING

PROPOSED

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STREET VIEW - SIDE

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Scale

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BZA-009 **STREET VIEW - SIDE**

EXISTING

PROPOSED

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STREET VIEW - SIDE

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BZA-009

Scale

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BZA-010 **STREET VIEW - REAR**

EXISTING

PROPOSED

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STREET VIEW - REAR

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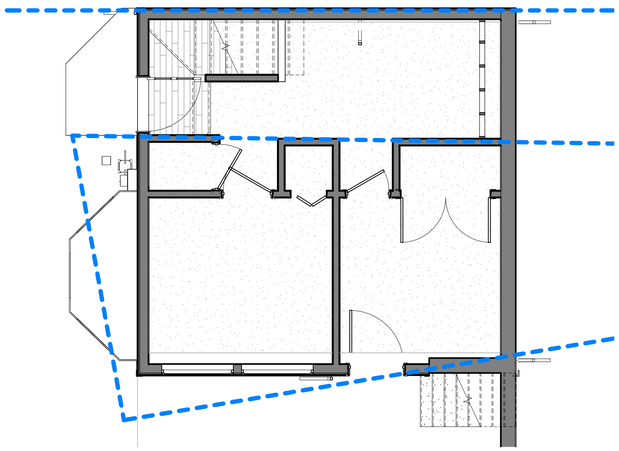
BZA-010

Scale

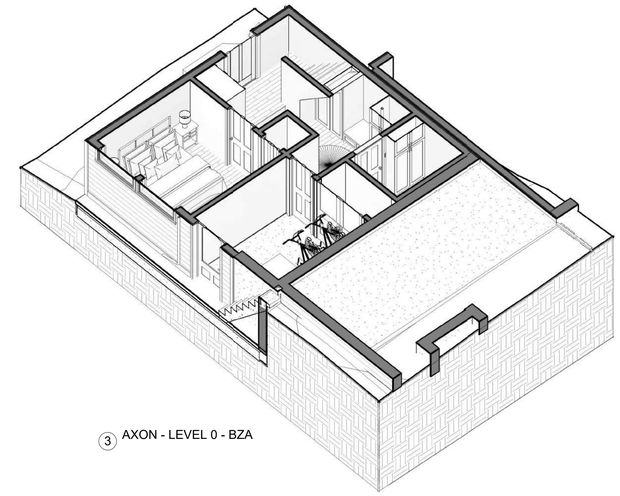
5/16/2024 10:28:13 AM

BZA-100 PLAN - LEVEL 0

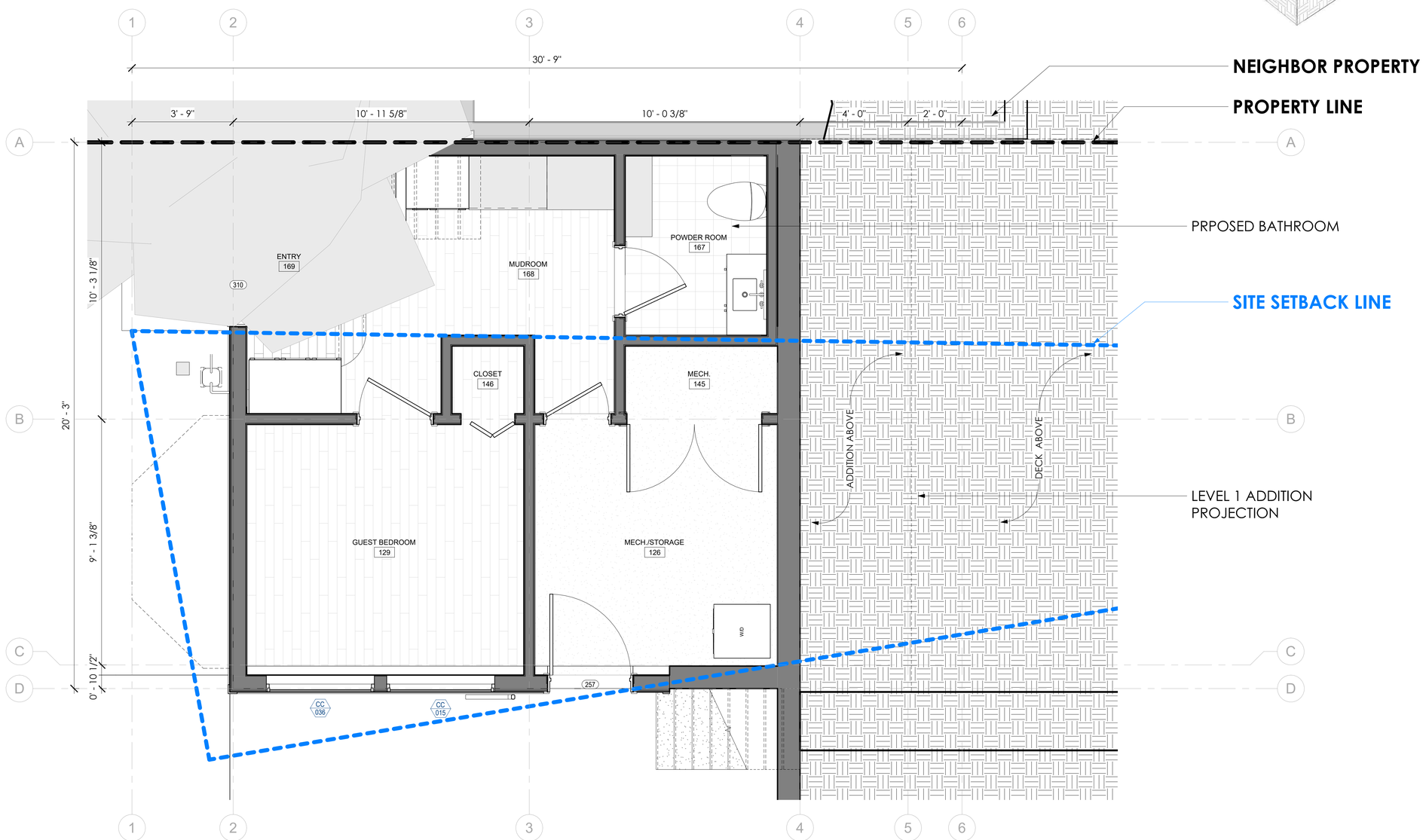


1 EXISTING - LEVEL 0 - BZA
1/4" = 1'-0"

NO RELIEF REQUESTED AT THIS LEVEL



3 AXON - LEVEL 0 - BZA



2 PROPOSED - LEVEL 0 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 0

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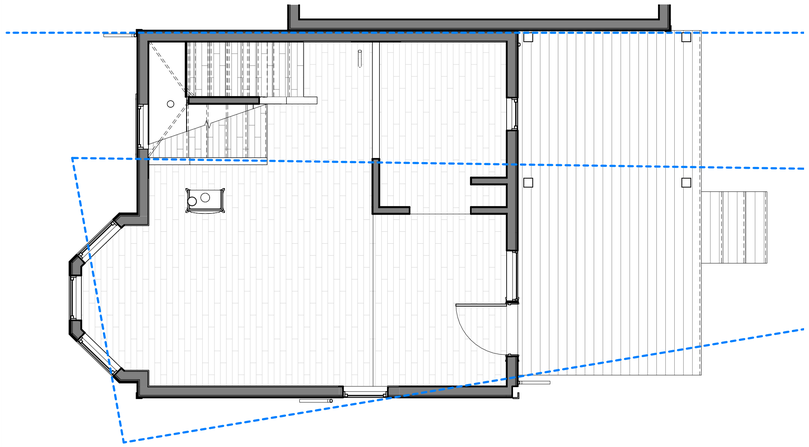
BZA-100

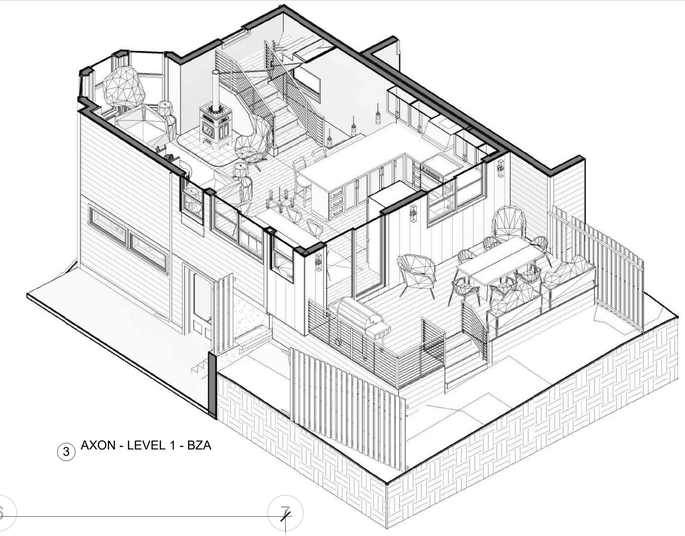
Scale	As indicated

5/16/2024 10:28:19 AM

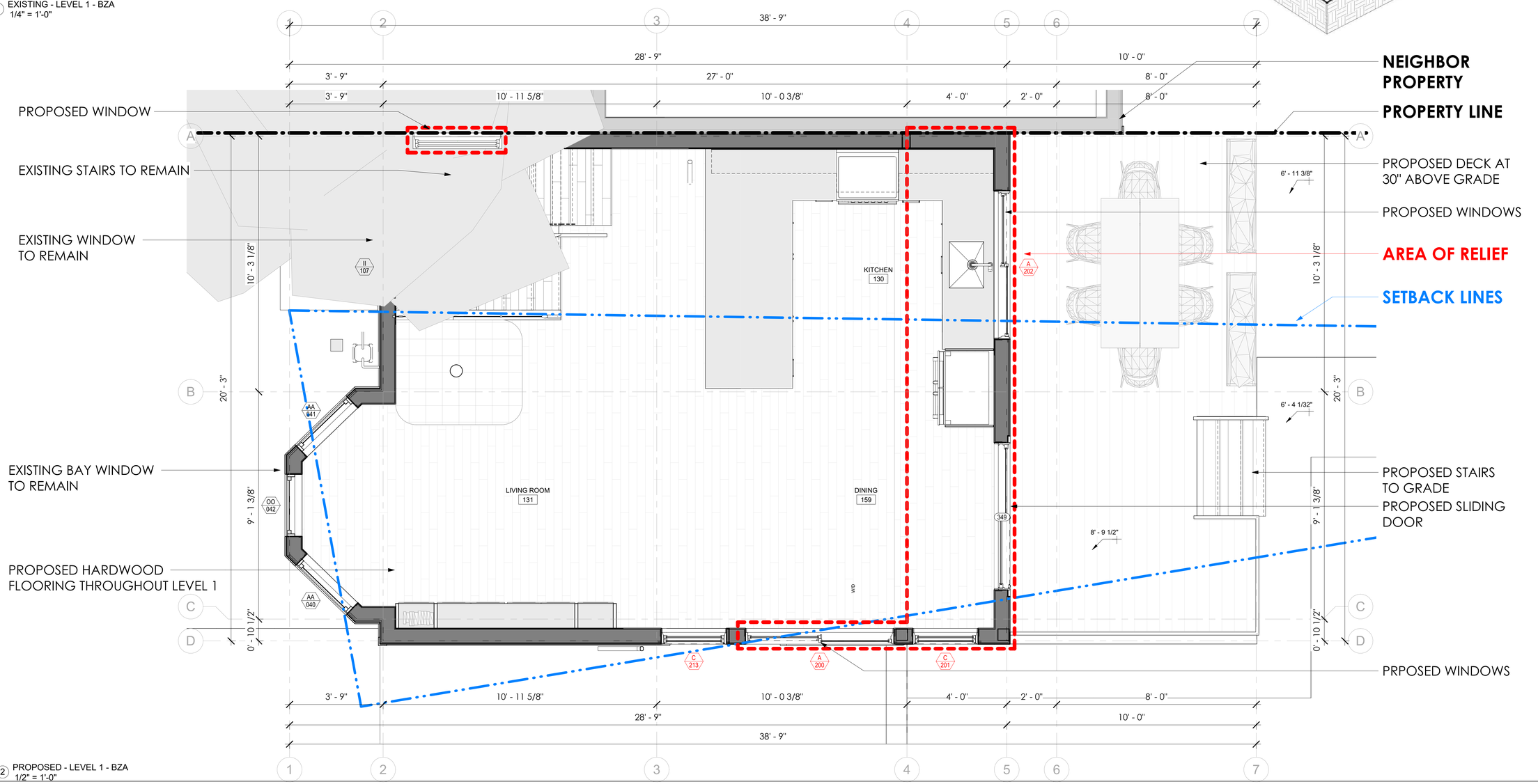
BZA-101 PLAN - LEVEL 1



1 EXISTING - LEVEL 1 - BZA
1/4" = 1'-0"



3 AXON - LEVEL 1 - BZA



2 PROPOSED - LEVEL 1 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 1

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BZA-101

Scale	As indicated

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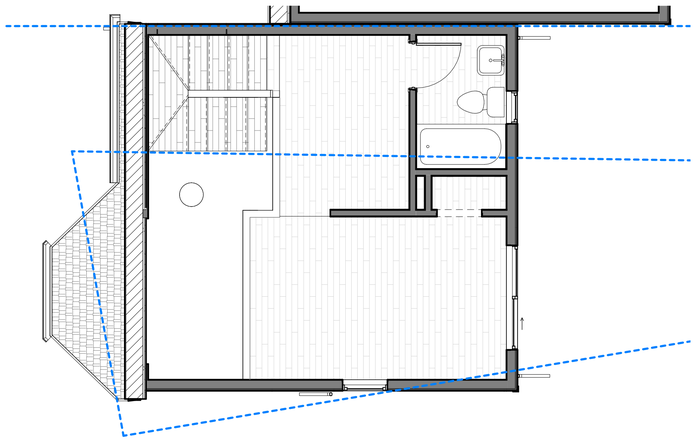
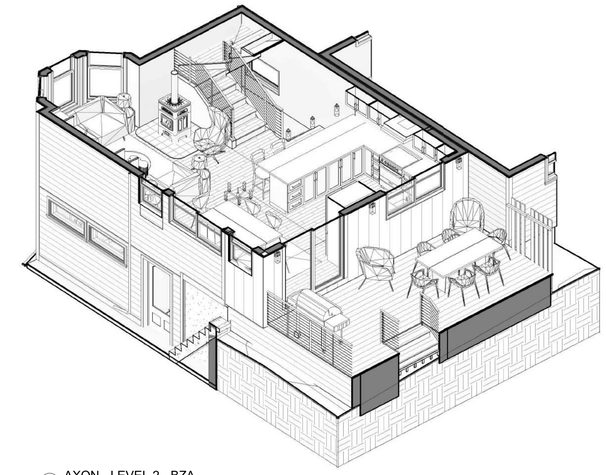
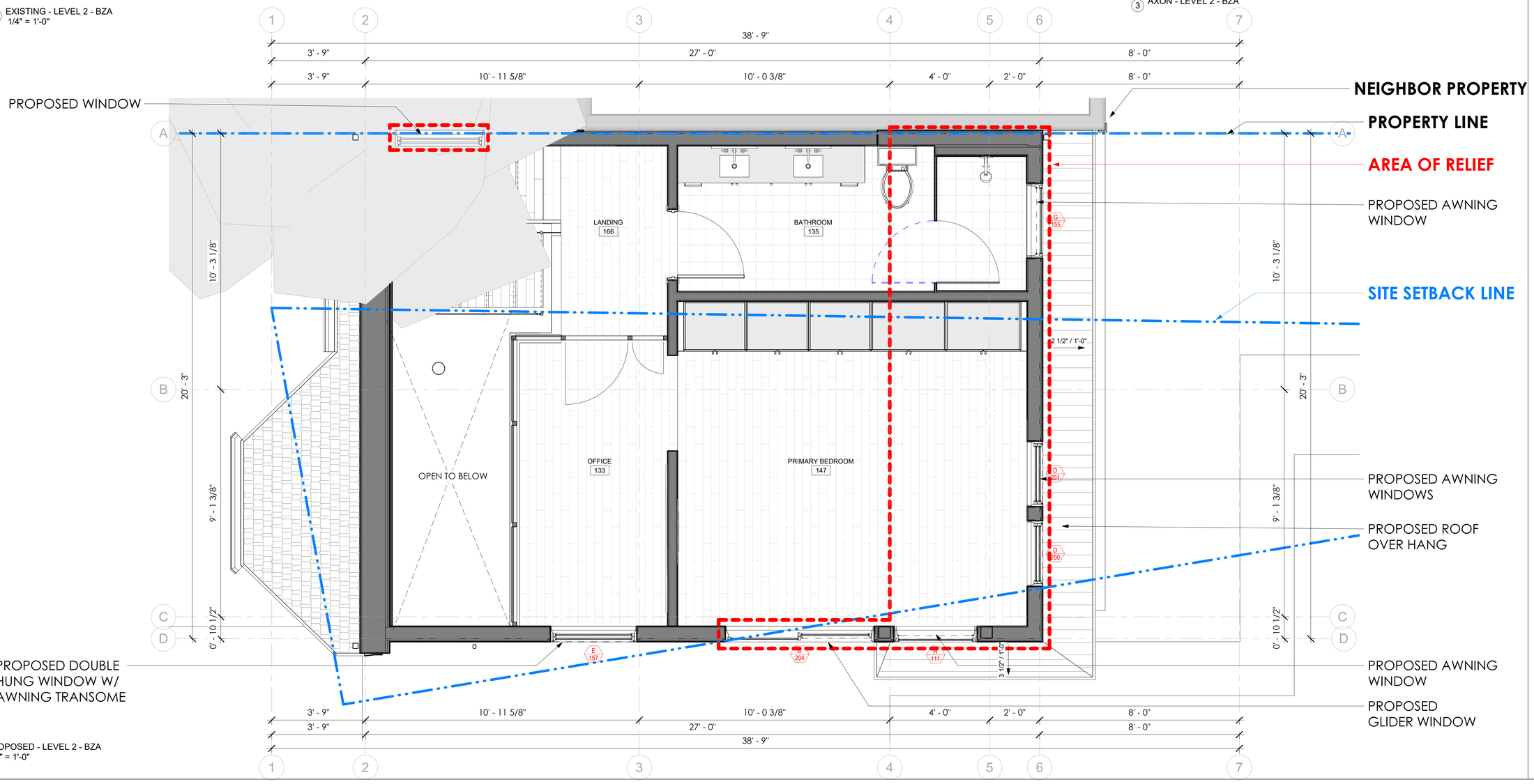
BZA-102 PLAN - LEVEL 2



1 EXISTING - LEVEL 2 - BZA
1/4" = 1'-0"



3 AXON - LEVEL 2 - BZA



2 PROPOSED - LEVEL 2 - BZA
1/2" = 1'-0"

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PLAN - LEVEL 2

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BZA-102

Scale	As indicated

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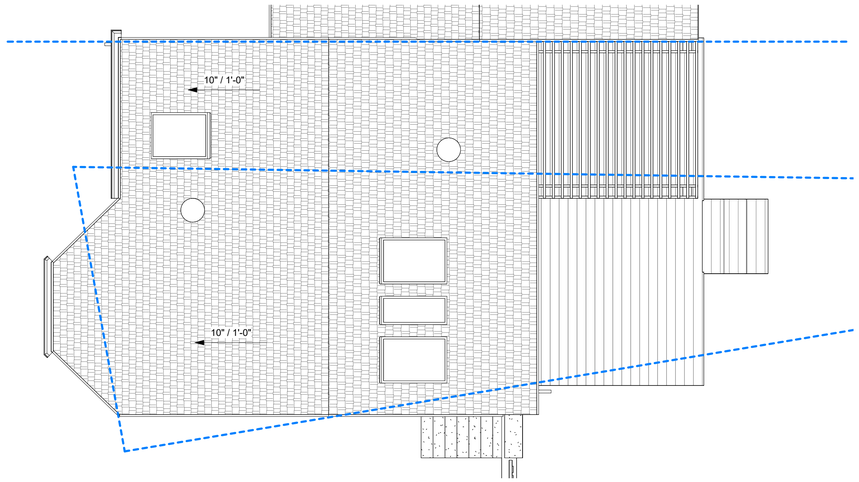
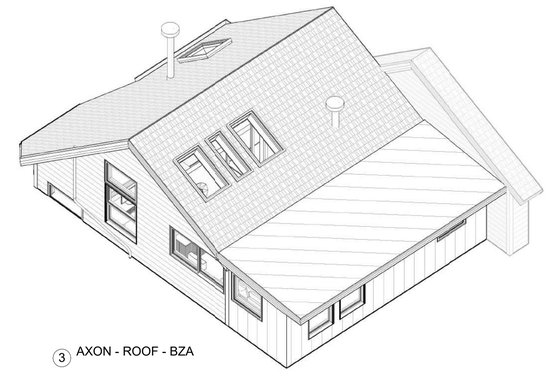
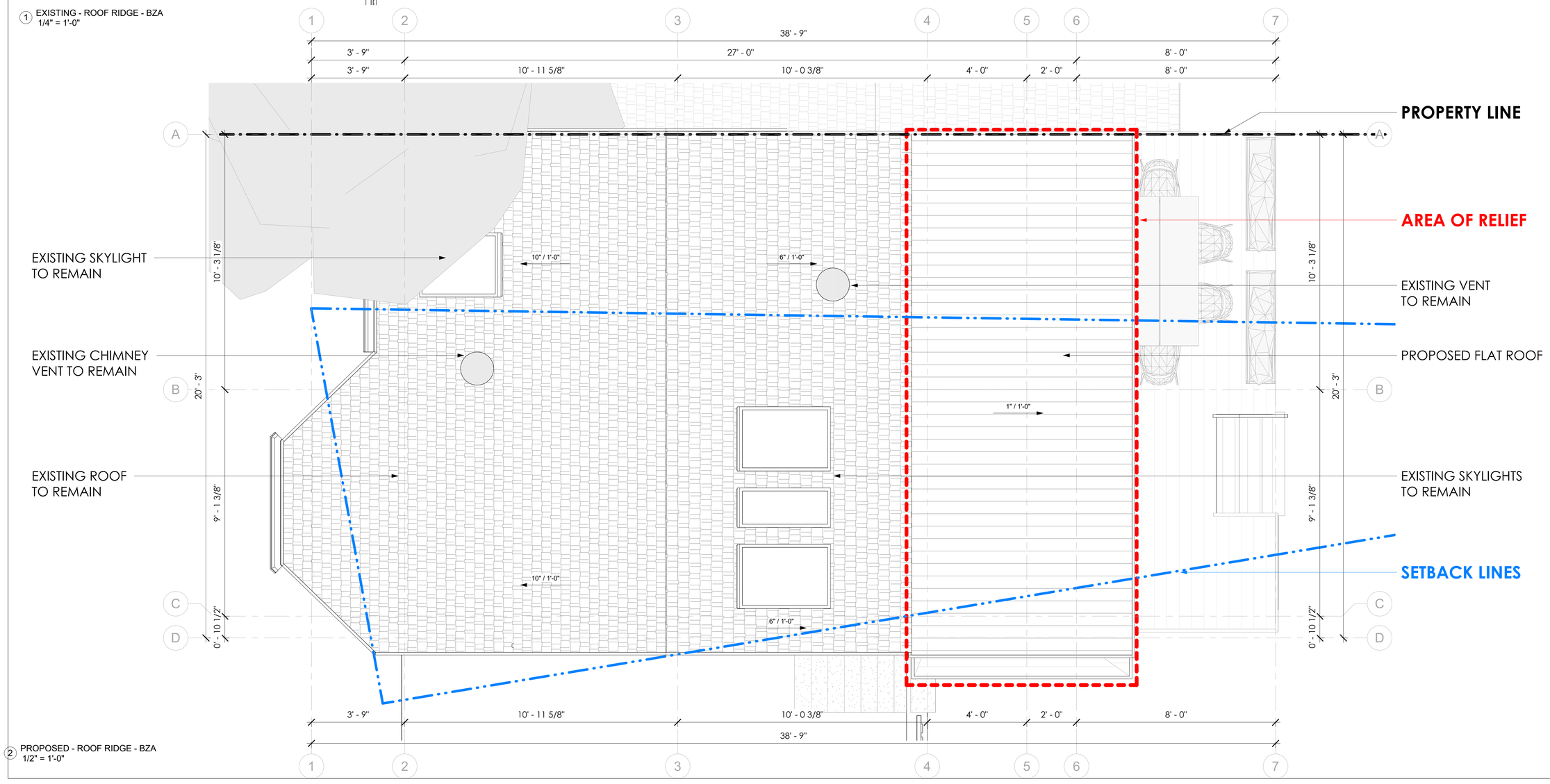
BZA-103 PLAN - ROOF



1 EXISTING - ROOF RIDGE - BZA
1/4" = 1'-0"



3 AXON - ROOF - BZA



2 PROPOSED - ROOF RIDGE - BZA
1/2" = 1'-0"

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PLAN - ROOF

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Checked by	Checker

BZA-103

Scale	As indicated

5/16/2024 10:28:43 AM

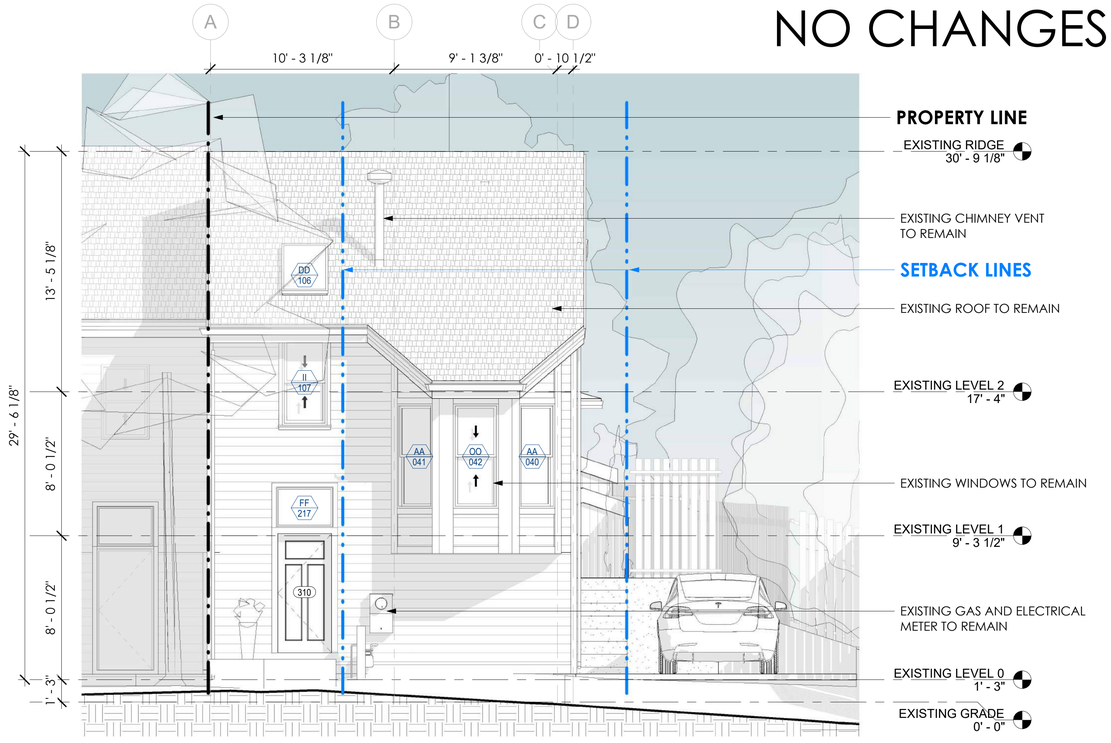
BZA-200 ***ELEVATION - NORTH (FRONT)***

EXISTING

1 EXISTING - NORTH ELEVATION - BZA
1/4" = 1'-0"

NO CHANGES ON THIS ELEVATION

PROPOSED



2 PROPOSED - NORTH ELEVATION - BZA
1/4" = 1'-0"

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ELEVATION - NORTH
(FRONT)

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Checked by	Checker

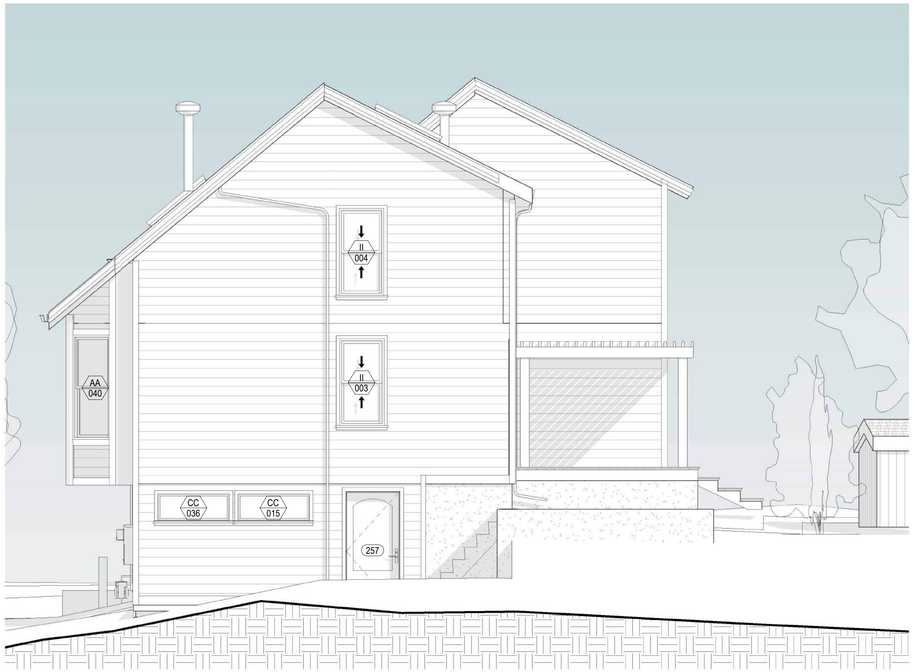
BZA-200

Scale	1/4" = 1'-0"

5/16/2024 10:28:49 AM

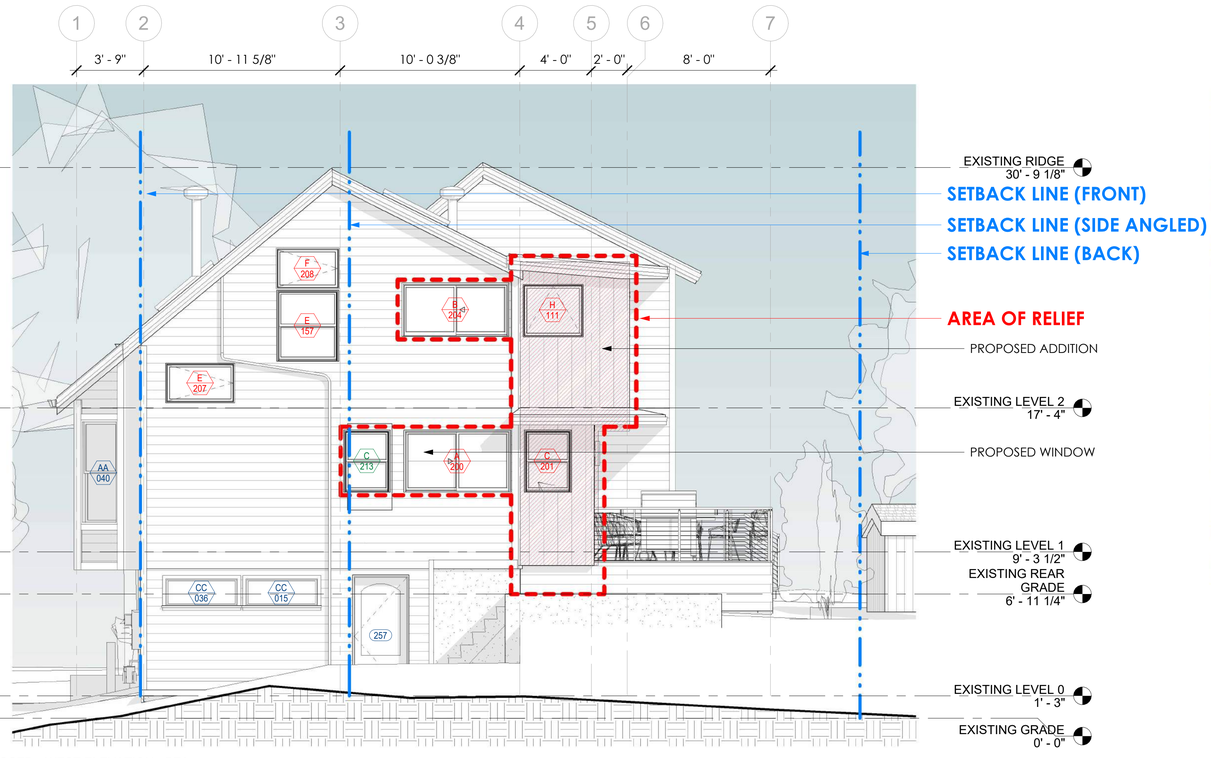
BZA-201 ELEVATION - WEST

EXISTING



2 EXISTING - WEST ELEVATION - BZA
1/4" = 1'-0"

PROPOSED



1 PROPOSED - WEST ELEVATION - BZA
1/4" = 1'-0"

SKA

SAM KACHMAR ARCHITECTS

(p) 617-800-6223
www.SKA-MA.com
357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION - WEST

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	SKA
Checked by	Checker

BZA-201

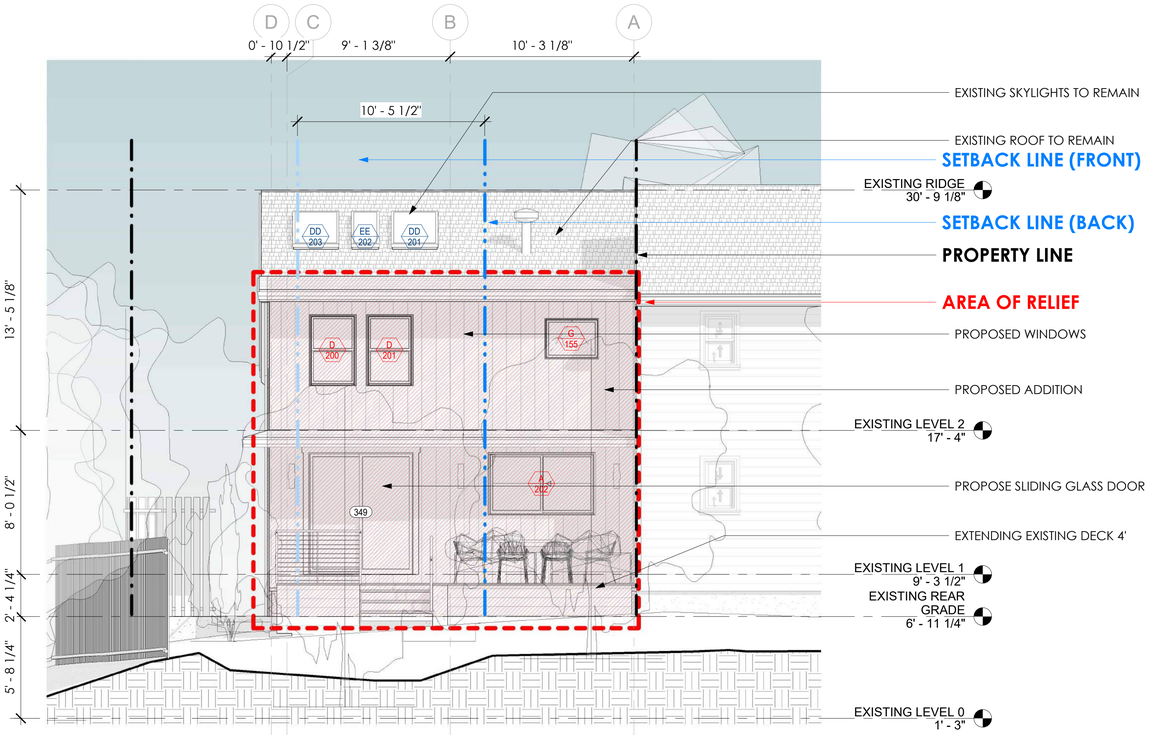
Scale 1/4" = 1'-0"

5/16/2024 10:28:53 AM

BZA-202 ELEVATION - SOUTH (BACK)

1 EXISTING - SOUTH ELEVATION - BZA
1/4" = 1'-0"

EXISTING



2 PROPOSED - SOUTH ELEVATION - BZA
1/4" = 1'-0"

PROPOSED

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CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION - SOUTH (BACK)

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	SKA
Checked by	Checker

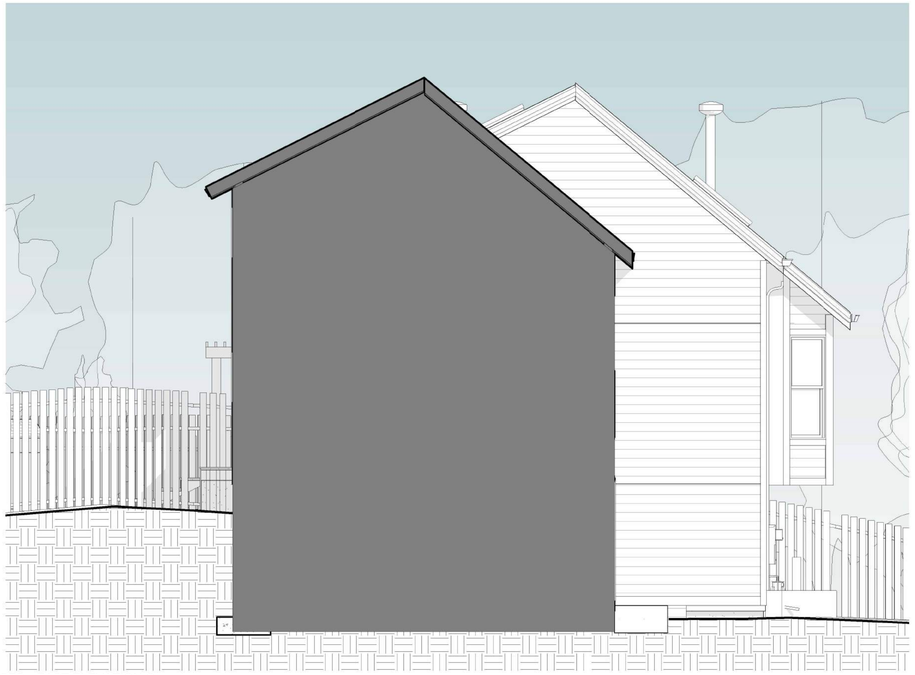
BZA-202

Scale	1/4" = 1'-0"

5/16/2024 10:29:07 AM

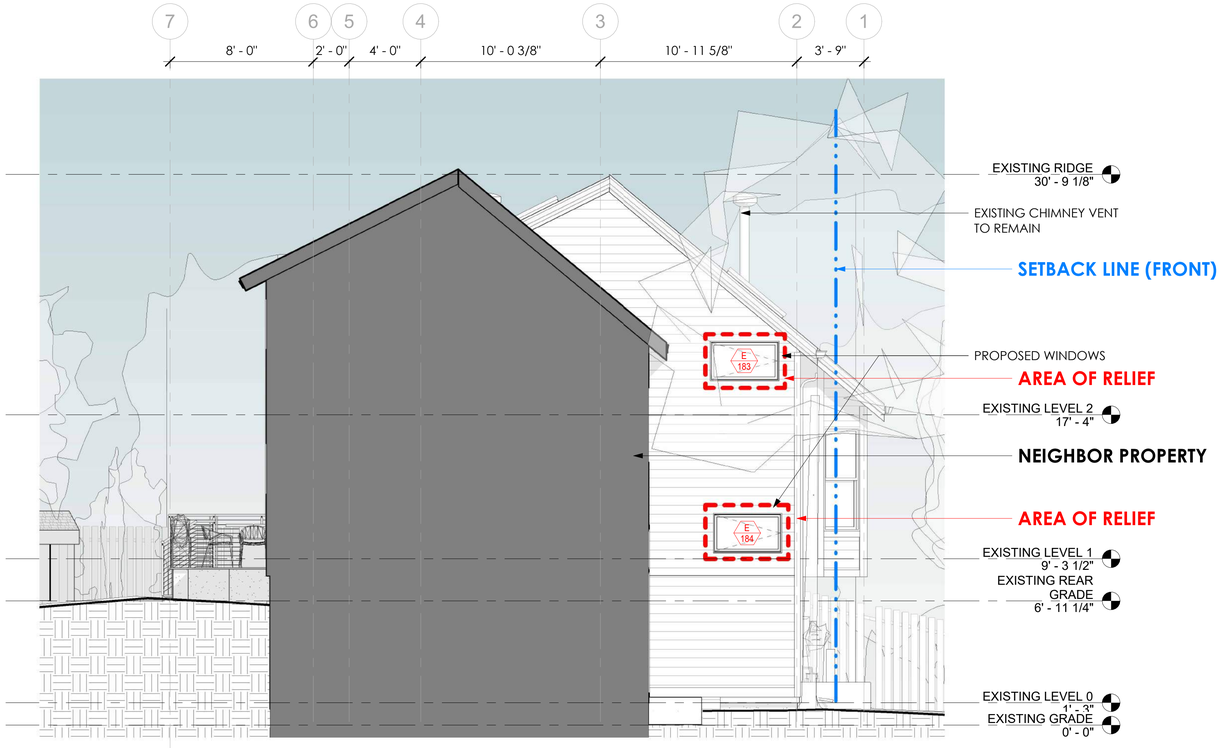
BZA-203 **ELEVATION - EAST**

EXISTING



PROPOSED - EAST ELEVATION Copy 1
Copy 1
1/4" = 1'-0"

PROPOSED



PROPOSED - EAST ELEVATION Copy 2
1/4" = 1'-0"

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CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

ELEVATION - EAST

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

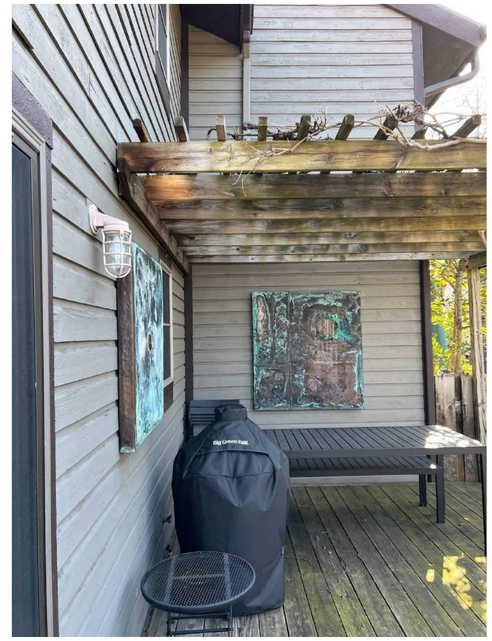
Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	SKA
Checked by	Checker

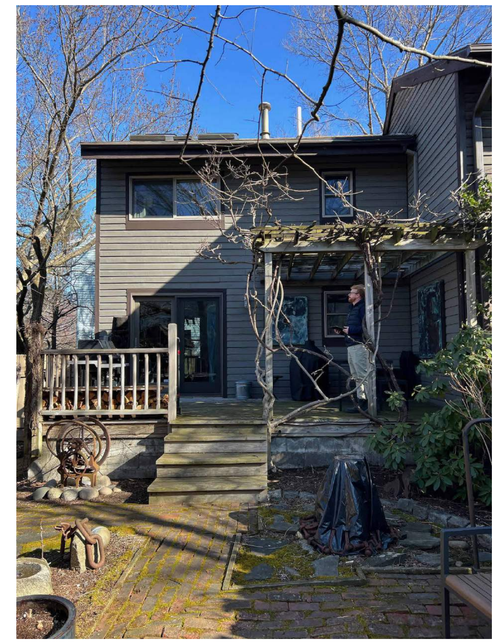
BZA-203

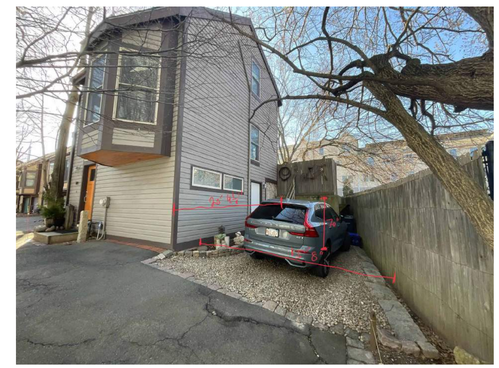
Scale	1/4" = 1'-0"

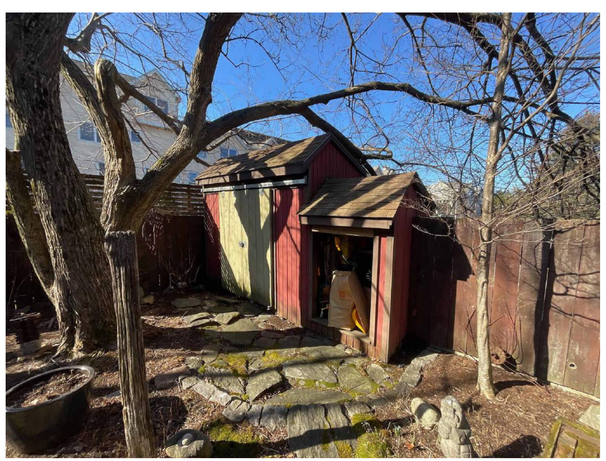
5/16/2024 10:29:20 AM

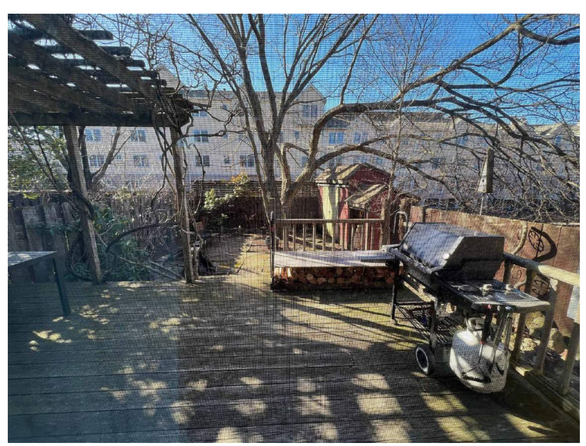
BZA-400 **SITE PHOTOS**

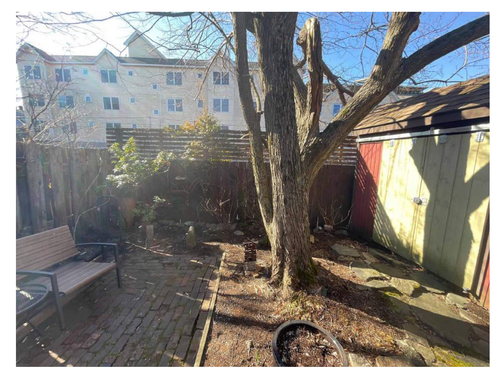












SKA

SAM KACHMAR ARCHITECTS

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357 HURON AVE.
CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

SITE PHOTOS

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	Author
Checked by	Checker

BZA-400

Scale

5/16/2024 10:29:23 AM

BZA-401 **RENDER VIDEO QR**

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REGISTRATIONS:

NOT FOR CONSTRUCTION

RENDER VIDEO QR

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	Author
Checked by	Checker

BZA-401

Scale

5/16/2024 10:29:24 AM

BZA-402 **CERTIFIED PLOT PLAN**

PENDING

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CAMBRIDGE MA, 02138

REGISTRATIONS:

NOT FOR CONSTRUCTION

CERTIFIED PLOT PLAN

DANA SCHAEFER & MATT PESCI

SCHAEFER & PESCI RESIDENCE

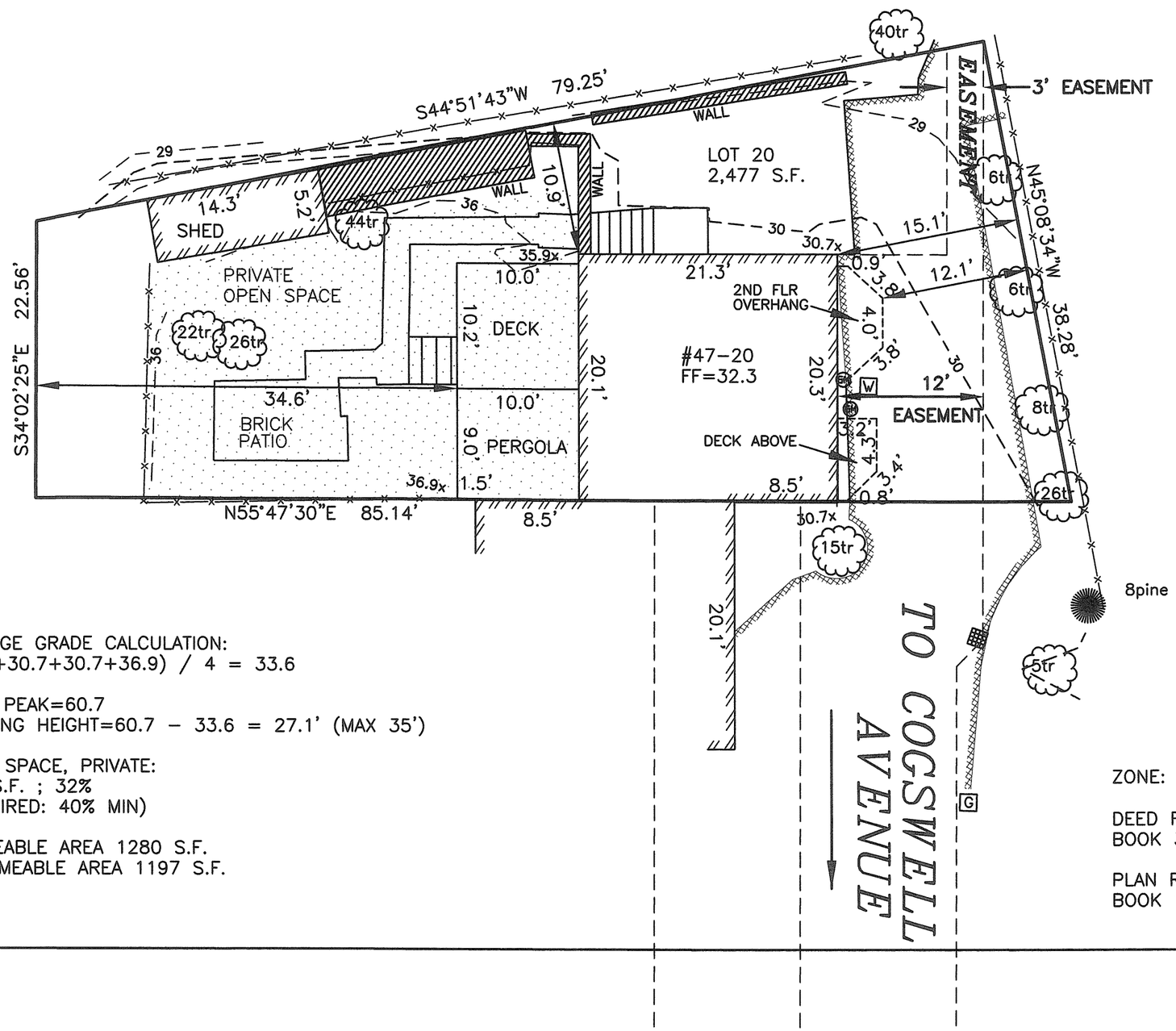
47-20 COGSWELL AVE.
CAMBRIDGE, MA

Project Status	BZA SUBMISSION SET
Project number	2401-4720
Date	05/16/2024
Drawn by	Author
Checked by	Checker

BZA-402

Scale

5/16/2024 10:29:25 AM



AVERAGE GRADE CALCULATION:
(35.9+30.7+30.7+36.9) / 4 = 33.6

ROOF PEAK=60.7
BUILDING HEIGHT=60.7 – 33.6 = 27.1' (MAX 35')

OPEN SPACE, PRIVATE:
800 S.F. ; 32%
(REQUIRED: 40% MIN)

PERMEABLE AREA 1280 S.F.
IMPERMEABLE AREA 1197 S.F.

ZONE: B

DEED REFERENCE:
BOOK 39807 PAGE 557

PLAN REFERENCE:
BOOK 14675 PAGE 129

ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS
49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
info@everettbrooks.com

COMMONWEALTH OF MASSACHUSETTS
BRUCE BRADFORD
No. 38376
PROFESSIONAL LAND SURVEYOR

5/28/24

PLAN OF LAND IN CAMBRIDGE, MA

47-20 COGSWELL AVENUE
EXISTING CONDITIONS

SCALE:	1 IN.= 10 FT.
DATE:	MAY 20, 2024
DRAWN:	LNS
CHECK:	BB

REVISIONS:

5/23/24	various	
5/28/24	various	

PROJECT NO. 26914

Pacheco, Maria

From: Zonda Mercer <bbzonda@icloud.com>
Sent: Monday, June 10, 2024 8:45 AM
To: Pacheco, Maria
Cc: danaschaefer2@gmail.com; mattpesci@gmail.com
Subject: Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov

Dear Board members:

I am writing to state my full support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As a direct attached abutter, who shares a party wall, I have viewed the proposed plans and have no objections.

Sincerely, Zonda Mercer

Name: Zonda Mercer
Address: 47-21 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Jan Perley <janperley@msn.com>
Sent: Tuesday, June 11, 2024 11:07 AM
To: Pacheco, Maria
Subject: BZA-271439 for 47-20 CogswellAve.CsmbridgeMA 02140

To the Cambridge Board of Zoning

Dear Board members: I am writing to state my support for neighbors, Dana Schaefer and Mathew Pesci, in their application for special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave. Cambridge MA 02140. As an abutter I have no objections.
Sincerely,

Jan Perley
47-22 Cogswell Ave. Cambridge Ma 02140

Pacheco, Maria

From: Benjamin Chittick <b.chittick@gmail.com>
Sent: Tuesday, June 11, 2024 5:10 PM
To: Pacheco, Maria
Cc: danaschaefer2@gmail.com; mattpesci@gmail.com
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov

Dear Board members:
We are writing to state our support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As an abutter, we have no objections.

Sincerely,
Name: Benjamin Chittick and Katelyn Billings
Address: 47-25 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: karl & kathy <critz.reeves@gmail.com>
Sent: Sunday, June 16, 2024 5:52 PM
To: Pacheco, Maria
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. We have viewed the plans and have no objections.

Sincerely,
Name: David Critz and Katherine Reeves
Address: 47- 18 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: ppmbrown <ppmbrown@aol.com>
Sent: Sunday, June 16, 2024 11:36 AM
To: Pacheco, Maria
Subject: Re: Case BZA-271439 for 47-20 Cogswell Ave. Cambridge, MA. 02140

Dear Board Members:

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their house at 47-20 Cogswell Avenue, Cambridge, MA 02140.

Sincerely,
Peter Brown
47-16 Cogswell Avenue
Cambridge, MA 02140

Pacheco, Maria

From: Erica Yang <ch.erica.yang@gmail.com>
Sent: Sunday, June 16, 2024 10:34 AM
To: Pacheco, Maria
Cc: dana schaefer; mattpesci@gmail.com
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal

Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To: mpacheco@cambridgema.gov

Dear Board members:

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Akash Srivastava and Chia-Hsuan Yang
47- 27 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Sarah James <james.s@att.net>
Sent: Thursday, June 13, 2024 9:09 PM
To: Pacheco, Maria
Cc: Dana Schaefer; Matt Pesci
Subject: Case BZA-271439 for 47-20 Cogswell Ave, Cambridge

Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Name: Sarah James
Address: 47-12 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Brian Pearson-Wanek <brian.wanek1@gmail.com>
Sent: Thursday, June 13, 2024 8:49 PM
To: Pacheco, Maria
Cc: Matt Pesci; Dana Schaefer
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov

Dear Board members:
We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As abutters we have no objections.

Sincerely,
Name: Brian Wanek and Jeanine Pearson
Address: 47-17 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Robijn Hage <robijnhage@gmail.com>
Sent: Wednesday, June 12, 2024 9:11 PM
To: Pacheco, Maria
Cc: dana schaefer; mattpesci@gmail.com
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board members:

We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As an abutter, we have no objections.

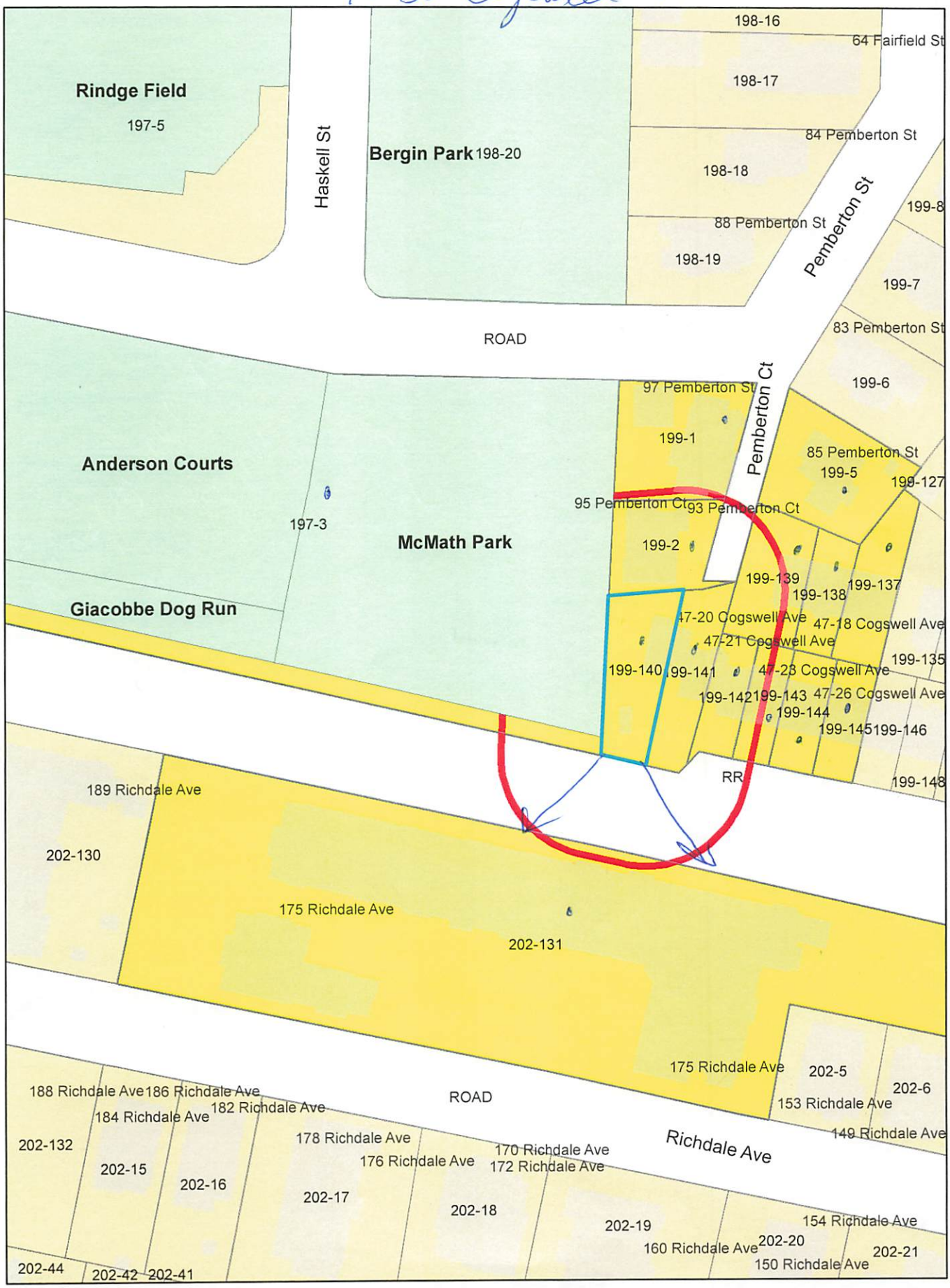
Please let us know if you need additional information!

Sincerely,

Robijn Hage and Jacqueline Rosains

47-14 Cogswell Ave., Cambridge, MA 02140
857 259 2659
robijnhage@gmail.com

47-20 Cogswell Ave



47-20 Cogswell Ave

Petitioner

202-131
LITTMAN, MADELEINE
175 RICHDALE AVE UNIT 114
CAMBRIDGE, MA 02140

202-131
NICHOLS-BARRER, IRA P. &
ANNIE P. MICHAELIS
175 RICHDALE AVE UNIT 105
CAMBRIDGE, MA 02140

WESTON PATRICK P.A.
C/O MICHAEL W. WIGGINS, ESQ.
ONE LIBERY SQUARE – SUITE 600
BOSTON, MA 02109

202-131
STERNFELD, JOSEPH P & SUSAN L.
STERNFELD TR. OF JOSEPH P. STENFELD
REVOC TRUST
175 RICHDALE AVE UNIT 122
CAMBRIDGE, MA 02140

202-131
BRENNER, DAVID S.
175 RICHDALE AVE UNIT 219
CAMBRIDGE, MA 02140

199-140
SCHAEFER, DANA & MATHEW PESCI
47-20 COGSWELL AVE
CAMBRIDGE, MA 02140

202-131
CAMBRIDGE AFFORDABLE HOUSING
CORPORATION
362 GREEN STREET
CAMBRIDGE, MA 02139

202-131
MARGOLIS, DIANE R., TR. THE DIANE R.
MARGOLIS CONDOMINUM TRUST
175 RICHDALE AVE., UNIT #415
CAMBRIDGE, MA 02140

202-131
CANE, STUART, TRS, #4 175 RICHDALE
AVENUE REALTY TRYST
260 W. 52ND ST. APT 7J
NEW YORK, NY 10019

202-131
NELSON, JOHN BROCKWAY III TRUSTEE
JOHN BROCKWAY NELSON III 1995 TRUST
175 RICHDALE AVE UNIT 102
CAMBRIDGE, MA 02140

202-131
OSTOW, MARK L. & LINDA KOEGEL
175 RICHDALE AVE UNIT 104
CAMBRIDGE, MA 02140

202-131
CURRAN, RICHARD & SHARON HAMER
175 RICHDALE AVE UNIT 117
CAMBRIDGE, MA 02140

202-131
JAIKUMAR, ARJUN & LAURA CLAWSON
175 RICHDALE AVE 210
CAMBRIDGE, MA 02140

202-131
HADDAD, BONNIE
175 RICHDALE AVE UNIT 215
CAMBRIDGE, MA 02140

202-131
KASELL, WALTER & EVA KASELL
175 RICHDALE AVE UNIT 308
CAMBRIDGE, MA 02140

202-131
DEKENIS, JAN
175 RICHDALE AVE UNIT 319
CAMBRIDGE, MA 02140

202-131
SANFORD, WENDY C. & POLLY F. ATTWOOD
175 RICHDALE AVE 320
CAMBRIDGE, MA 02140

202-131
STERNFELD, JOSEPH P. &
SUSAN L. STERNFELD
175 RICHDALE AVE. - UNIT 108/1
CAMBRIDGE, MA 02140

202-131
SULLIVAN, MATTHEW E. TRUSTEE OF THE
PETER W. SULLIVA IRREVOCABLE TRUST
12 WINDOM ST
SOMERVILLE, MA 02144

199-139
FISCHER, MONIQUE C.
47 COGSWELL AVENUE UNIT 19
CAMBRIDGE, MA 02140

202-131
MASON, JEAN K.
TRUSTEE OF THE MASON HOLDING TRUST
175 RICHDALE AVE 410
CAMBRIDGE, MA 02140

199-144
HESSLER, MARK
47-24 COGSWELL AVE
CAMBRIDGE, MA 02139

202-131
MELVIN, ROBERT J. & JULIE A. ROCHLIN
175 RICHDALE AVE UNIT 118
CAMBRIDGE, MA 02140

202-131
MACIOLEK, MICHAEL & KEREN SCHLOMY
175 RICHDALE AVE UNIT 121
CAMBRIDGE, MA 02140

202-131
ROSEN, LINDSEY
175 RICHDALE AVE UNIT208
CAMBRIDGE, MA 02140

202-131
KOFFMAN, ROBERTA &
CITY OF CAMBRIDGE TAX TITLE
175 RICHDALE AVE UNIT 309
CAMBRIDGE, MA 02140

202-131
HARPER, ROBIN D.
175 RICHDALE AVE UNIT 412
CAMBRIDGE, MA 02140

199-141
MERCER, ZONDA J.
47 COGSWELL AVE UNIT 21
CAMBRIDGE, MA 02140

199-143
BRIEN, MARTIN J.
47-23 COGSWELL AVE UNIT 23
CAMBRIDGE, MA 02140

199-138
CRITZ, DAVID & KATHARINE REEVES
47-18 COGSWELL AVE
CAMBRIDGE, MA 02140

47-22 Cogswell Ave

199-1
STARK, PAUL C. & JESSICA D. GOETZ
97 PEMBERTON ST
CAMBRIDGE, MA 02140

199-142
PERLEY, JAN TRUSTEE OF ERP REALTY TRUST
47 COGSWELL AVE UNIT 22
CAMBRIDGE, MA 02140

202-131
BENJAMIN, BEN E.
175 RICHDALE AVE UNIT 106
CAMBRIDGE, MA 02140

202-131
COWHERD, ROBERT J. & KIM DUCHARME
175 RICHDALE AVE UNIT 107
CAMBRIDGE, MA 02140

202-131
JONES, ILEANA Z.,
TRUSTEE THE ILEANA Z. JONES REV TRUST
175 RICHDALE AVE UNIT 120
CAMBRIDGE, MA 02140

202-131
MACDOUGALL, JOHN TRUSTEE OF
MACDOUGALL INVESTMENT TRUST.
175 RICHDALE AVE UNIT 209
CAMBRIDGE, MA 02140

202-131
HUBER, WILIAM S. TR. THE WILLIAM S.
HUBER REVOCABLE TRUST
175 RICHDALE AVE UNIT 212
CAMBRIDGE, MA 02140

202-131
FRANKFELDT, GWEN
175 RICHDALE AVE UNIT 220
CAMBRIDGE, MA 02140

202-131
WATT, DANIEL LYNN & MOLLY LYNN WATT
TRUSTEE THE WATT FAMILY REVOCABLE TR.
175 RICHDALE AVE UNIT 315
CAMBRIDGE, MA 02140

202-131
REINDER, GILEAN K., JAMES E. HOWELL
KERRY CAMPBELL, CO-TRUSTEES
22 DELBON LANE
AVON, CT 06001

202-131
RYAN, NICHOLAS & KATHRYN RODGERS
175 RICHDALE AVE UNIT 103
CAMBRIDGE, MA 02140

202-131
BROWN, MICHAEL FRANCIS ALLISON LI
175 RICHDALE AVE UNIT 116
CAMBRIDGE, MA 02140

202-131
LEE, PRISCILLA W.
MATTHEW GRIFFIN GORMLEY
175 RICHDALE AVE UNIT 311
CAMBRIDGE, MA 02140

202-131
STEIN, NINIAN R.
175 RICHDALE AVE UNIT 115
CAMBRIDGE, MA 02140

202-131
NORMA WASSEL A LIFE ESTATE
175 RICHDALE AVE - UNIT 214
CAMBRIDGE, MA 02140

199-137
WANEK BRIAN J PEARSON JEANINE R
47-17 COGWELL AVE
CAMBRIDGE, MA 02140

202-131
HAWLEY, ELAINE
175 RICHDALE AVE UNIT 314
CAMBRIDGE, MA 02140

202-131
CHA RAD PROPERTIES LLC
362 GREEN ST
CAMBRIDGE, MA 02139

199-5
SPANEL, ANN,
TRS THE ANN SPANEL TRUST OF AUG 2019
85 PEMBERTON CT
CAMBRIDGE, MA 02140

202-131
KLIPFEL ARTHUR A NOYES GWENDOLEN G
175 RICHDALE AVE
CAMBRIDGE, MA 02140

199-2
STARK, PAUL & JESSICA GOETZ
95 PEMBERTON CT
CAMBRIDGE, MA 02140

199-145
CHITTICK, BENJAMIN & KATELYN BILLINGS
47 COGSWELL AVE UNIT 25
CAMBRIDGE, MA 02140

202-131
HELFMAN JOAN
175 RICHDALE AVE - UNIT 414
CAMBRIDGE, MA 02140

202-131
CLARK, MARGARET C MARY REISS BEWIG TRS
175 RICHDALE AVE - UNIT 312
CAMBRIDGE, MA 02140

202-131
CLAWSON, MARY ANN
175 RICHDALE AVE - UNIT 211
CAMBRIDGE, MA 02140

202-131
TONACHEL, RICHARD W. &
ANNE R. TONACHEL
175 RICHDALE AVE - #310
CAMBRIDGE, MA 02140

197-3
CITY OF CAMBRIDGE
C/O MEGAN BAYER
CITY SOLICITOR

197-3
CITY OF CAMBRIDGE RECREATION DEPT.
51 INMAN STREET
CAMBRIDGE, MA 02139

197-3
CITY OF CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

Pacheco, Maria

From: Marie Epstein <epsteinmarie@gmail.com>
Sent: Tuesday, June 18, 2024 5:29 PM
To: Pacheco, Maria
Cc: dana schaefer; Matt Pesci
Subject: Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Name: Marie Epstein
Address: 47- 26 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Isabelle Tashima <isabelletashima@gmail.com>
Sent: Tuesday, June 18, 2024 9:00 PM
To: Pacheco, Maria
Cc: mattpesci@gmail.com; danaschaefer2@gmail.com; Nick DiGiovanni
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov

Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Name: Nicholas DiGiovanni
Address: 47- 13 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Jess Goetz <jess.goetz@gmail.com>
Sent: Tuesday, June 18, 2024 1:41 PM
To: Pacheco, Maria
Cc: danaschaefer2@gmail.com; mattpesci@gmail.com
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board members:
We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. Our two properties are directly in front of their home. We have no objections.

Sincerely,
Name: Paul Stark and Jessica Goetz
Primary Address: 97 Pemberton Street, Cambridge MA 02140
Owners of: 95 Pemberton Ct, Cambridge MA 02140

Pacheco, Maria

From: Mark Hessler <firstfrost64@gmail.com>
Sent: Wednesday, June 26, 2024 12:06 PM
To: Pacheco, Maria
Cc: dana schaefer
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, 02140

To the Cambridge Board of Zoning Appeal
Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov
Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Dana and Matt have communicated with us transparently, and from conversations I've had with them and with courtyard neighbors, I'm not aware of any misgivings or concerns about the modest modifications that are proposed.

Sincerely,
Name: Mark Hessler
Address: 47-24 Cogswell Ave., Cambridge, MA 02140
617-852-6314

Pacheco, Maria

From: Monique Fischer <fischer.monique@gmail.com>
Sent: Monday, July 1, 2024 8:29 AM
To: Pacheco, Maria
Cc: Dana; Matt Pesci; Ashley G. Pittman
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board Members,

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. We have reviewed the plans and have no objections.

Sincerely,
Name: Monique Fischer
Address: 47- 19 Cogswell Ave., Cambridge, MA 02140

Pacheco, Maria

From: Jeanie Pearson-Wanek <jeaniepearson27@gmail.com>
Sent: Thursday, June 20, 2024 12:56 PM
To: Pacheco, Maria
Cc: Brian Wanek; Dana Schaefer; Matt Pesci
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

Dear Board Members:

We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As an abutter we have no objections.

Sincerely,
Jeanine Pearson-Wanek and Brian Pearson-Wanek
Address: 47-17 Cogswell Ave., Cambridge, MA 02140

City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Dana Schaefer **Date:** 6/20/2024
(Print)

Address: 47-50 Cogswell Ave

Case No. BZA-271439

Hearing Date: 7/11/24

Thank you,
Bza Members

Gmail

Dana Schaefer <danaschaefer2@gmail.com>

Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

1 message

Erica Yang <ch.erica.yang@gmail.com> Sun, Jun 16, 2024 at 10:34 AM
To: mpacheco@cambridgema.gov
Cc: dana schaefer <danaschaefer2@gmail.com>, mattpesci@gmail.com

To the Cambridge Board of Zoning Appeal

Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To: mpacheco@cambridgema.gov

Dear Board members:

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Akash Srivastava and Chia-Hsuan Yang
47- 27 Cogswell Ave., Cambridge, MA 02140

From: Jess Goetz jess.goetz@gmail.com
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
Date: Jun 18, 2024 at 1:40:40 PM
To: mpacheco@cambridgema.gov
Cc: danaschaefer2@gmail.com, mattpesci@gmail.com

Dear Board members:
We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. Our two properties are directly in front of their home. We have no objections.

Sincerely,
Name: Paul Stark and Jessica Goetz
Primary Address: 97 Pemberton Street, Cambridge MA 02140
Owners of: 95 Pemberton Ct, Cambridge MA 02140

From: Martin Brien <martin_brien@hotmail.com>
Sent: Monday, June 17, 2024 7:10 PM
To: mpacheco@cambridgema.gov <mpacheco@cambridgema.gov>
Cc: danaschaefer2@gmail.com; mattpesci@gmail.com <mattpesci@gmail.com>
Subject: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To the Cambridge Board of Zoning Appeal

Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

To: mpacheco@cambridgema.gov

Dear Board members:

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,

Name: Martin Brien

Address: 47- 23 Cogswell Ave., Cambridge, MA 02140

Gmail

Dana Schaefer <danaschaefer2@gmail.com>

Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

1 message

Isabelle Tashima <isabelletashima@gmail.com> Tue, Jun 18, 2024 at 9:00 PM
To: "mpacheco@cambridgema.gov" <mpacheco@cambridgema.gov>
Cc: "mattpesci@gmail.com" <mattpesci@gmail.com>, "danaschaefer2@gmail.com" <danaschaefer2@gmail.com>, Nick DiGiovanni <ndigiovanni11@gmail.com>

To the Cambridge Board of Zoning Appeal

Re: Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140
To: mpacheco@cambridgema.gov

Dear Board members:
I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,
Name: Nicholas DiGiovanni
Address: 47- 13 Cogswell Ave., Cambridge, MA 02140

Gmail

Dana Schaefer <danaschaefer2@gmail.com>

Case BZA-271439 for 47-20 Cogswell Ave., Cambridge, MA 02140

1 message

Robijn Hage <robijnhage@gmail.com> Wed, Jun 12, 2024 at 9:11 PM
To: "mpacheco@cambridgema.gov" <mpacheco@cambridgema.gov>
Cc: dana schaefer <danaschaefer2@gmail.com>, "mattpesci@gmail.com" <mattpesci@gmail.com>

Dear Board members:

We are writing to state our support for our neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140. As an abutter, we have no objections.

Please let us know if you need additional information!

Sincerely,

Robijn Hage and Jacqueline Rosains

47-14 Cogswell Ave., Cambridge, MA 02140
857 259 2659
robijnhage@gmail.com

From: Sarah James james.s@att.net
Subject: Case BZA-271439 for 47-20 Cogswell Ave, Cambridge
Date: Jun 13, 2024 at 9:09:19 PM
To: mpacheco@cambridgema.gov
Cc: Dana Schaefer danaschaefer2@gmail.com, Matt Pesci mpesci@frenchlibrary.org

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Dear Board members:

I am writing to state my support for my neighbors, Dana Schaefer and Matthew Pesci, in their application for a special permit to construct a small addition at the rear of their home at 47-20 Cogswell Ave, Cambridge, MA 02140.

Sincerely,

Name: Sarah James

Address: 47-12 Cogswell Ave., Cambridge, MA 02140