



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 AUG 17 AM 11:09  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

BZA Number: 233167

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X   Variance:        Appeal:       

PETITIONER: Kiem For NGO and Lei JIANG

PETITIONER'S ADDRESS: 50 Clifton St., Cambridge, MA 02140

LOCATION OF PROPERTY: 50 Clifton St., Cambridge, MA

TYPE OF OCCUPANCY: 2 Family - Attic storage ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Dormer/

### DESCRIPTION OF PETITIONER'S PROPOSAL:

To construct a dormer on the north side of the attic to create more living space.

### SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).  
Article: 8.000 Section: 8.22.2.d (Non-Conforming Structure).  
Article: 10.000 Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

Kiem For NGO / Lei JIANG

(Print Name)

Address:

50 Clifton St. Cambridge, MA

Tel. No.

469-323-6418

E-Mail Address:

charlesngo22@gmail.com

Date: 08-16-2023

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Kiem For NGO and Lei JIANG  
(OWNER)

Address: 50 Clifton St. Cambridge, MA, 02140

State that I/We own the property located at Massachusetts, which is the subject of this zoning application.

The record title of this property is in the name of Kiem For NGO and Lei JIANG

\*Pursuant to a deed of duly recorded in the date 08-23-2022, Middlesex South County Registry of Deeds at Book 24110, Page 035; or Middlesex Registry District of Land Court, Certificate No. 129967 Book 80624 Page 140.

[Signature]  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

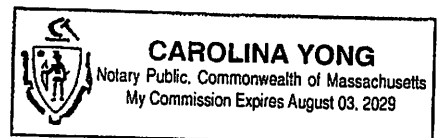
\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Kiem For Ngo & Lei Jiang personally appeared before me, this 11<sup>th</sup> of Aug, 2023, and made oath that the above statement is true.

Carolina Yong Notary

My commission expires 08/03/2029 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## BZA Application Form

### SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

**Granting the Special Permit requested for 50 Clifton St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

Currently we only have two bedrooms and one bathroom, which we don't have enough spaces to receive my parents and siblings to our house. By turning the north side of the attic into a dormer will be the best option since the basement is under 6 feet and shared between the two units. Adding the dormer will create an additional bedroom and bathroom, which will facilitate in receiving our family members.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

For this project, we don't foresee any changes related to traffic or in the neighborhood. All the works will be done within the parameter property. The driveway have enough space for a dumpster and to store the construction materials.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

For this project, the works will be done on the roof only. The driveway will provide enough space to do all the necessary works. It will not cause or affect anything on the street or the neighbors on both sides. The working time will be within the regulations and will not disturb the neighborhood.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

All the works will be done by licensed professionals with regards to respect all the health and safety issues. All the debris and residuals materials will be dumped into a dumpster. We will no use any toxic and nonconforming materials for the construction.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons

The purpose of the this project is only to add a dormer to the north side of the attic to create more living space for the family. We don't perceive anything that will changes or disturb the wellbeing of the neighbors. On the same street, we do see some of houses with the same type of concept, having a dormer in the attic.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form**

**DIMENSIONAL INFORMATION**

**Applicant:** Kiem For NGO and Lei JIANG  
**Location:** 50 Clifton St., Cambridge, MA  
**Phone:** 469-323-6418

**Present Use/Occupancy:** 2 Family - Attic storage  
**Zone:** Residence B Zone  
**Requested Use/Occupancy:** 2-Family

		<b><u>Existing Conditions</u></b>		<b><u>Requested Conditions</u></b>		<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		3233		3466		2850	(max.)
<b><u>LOT AREA:</u></b>		6000		6000		5000	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		0.54		0.58		0.5	
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>		3000		3000		2500	
<b><u>SIZE OF LOT:</u></b>	<b><u>WIDTH</u></b>	50		50		50	
	<b><u>DEPTH</u></b>	120		120		120	
<b><u>SETBACKS IN FEET:</u></b>	<b><u>FRONT</u></b>	7.9'		7.9'		15	
	<b><u>REAR</u></b>	60.9		60.9		25	
	<b><u>LEFT SIDE</u></b>	5.8		5.8		7.5	
	<b><u>RIGHT SIDE</u></b>	19.6		19.6		7.5	
<b><u>SIZE OF BUILDING:</u></b>	<b><u>HEIGHT</u></b>	32.9		32.9		35'	
	<b><u>WIDTH</u></b>	5.7'		5.7'		44	
	<b><u>LENGTH</u></b>	24.2'		24.2'		25	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		50%		50%		40%	
<b><u>NO. OF DWELLING UNITS:</u></b>		2		2		2	
<b><u>NO. OF PARKING SPACES:</u></b>		2		2		2	
<b><u>NO. OF LOADING AREAS:</u></b>		0		0		0	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		0		0		0	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Not applicable

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



# NGO RESIDENCE

## TWO FAMILY ADDITION

50 Clifton Street

Cambridge, Massachusetts 02140

### PROJECT DESCRIPTION:

- THIS PROJECT IS A DORMER ADDITION ON THE EXISTING ATTIC LEVEL TO CREATE ADDITIONAL BEDROOM & A BATHROOM.

### ZONING SUMMARY:

- ZONE: RESIDENTIAL B  
LOT SIZE: 5,999 S.F.  
F.A.R.: 0.5 (5,000 S.F.)/0.35 (5,000 S.F.)  
MAX. GROSS FLOOR AREA = 5,000x0.5 + 999x0.35 = 2,850 S.F.

	REQ'D	EXISTING	PROPOSED
2. LOT SIZE	5,000 S.F.	5,999 S.F. (RECORD)	5,999 S.F.
3. FRONT YARD	15 FT	7.9 FT	NO CHANGE
SIDE YARD	7.5 FT	6 FT/19.6 FT	NO CHANGE
4. REAR YARD	25 FT	60.9 FT	NO CHANGE
5. HEIGHT	35 FT	32 FT(+/-)	32 FT(+/-) NO CHANGE
6. OPEN SPACE	40% (MIN.)	SEE SURVEY	NO CHANGE
7. F.A.R.	0.5	0.54	0.58
GROSS FLOOR AREA	2,850 S.F.	3,233 S.F.	3,466 S.F.
1ST FLOOR		1,100 S.F.	1,100 S.F. (NO CHANGE)
2ND FLOOR		1,100 S.F.	1,100 S.F. (NO CHANGE)
FINISHED ATTIC (RAFTER 5'+ ABOVE FLR.)		479 S.F.	712 S.F.
BASEMENT, FINISHED		0 S.F. *	0 S.F. *
BASEMENT		0 S.F. *	0 S.F. *
PORCH, ENCLOSED		204 S.F.	204 S.F.
POIRCH, OPEN		350 S.F.	350 S.F.

(\* NOTE: CELLAR'S CEILING HEIGHT MEASURED FROM FLOOR TO B.O. JOISTS IS LESS THAN 7-FT.)

### ABBREVIATIONS:

ACT	ACOUSTIC CEILING TILE	F.E.	FIRE EXTINGUISHER	O.C.	ON CENTER
ADJ.	ADJUSTABLE	F.D.	FLOOR DRAIN	O.D.	OUTSIDE DIMENSION
A.F.F.	ABOVE FINISH FLOOR	FDN.	FOUNDATION	OPNG.	OPENING
ALUM.	ALUMINUM	FIN.	FINISHED	OPH.	OPPOSITE HAND
ANOD.	ANODIZED	FIXT.	FIXTURE	OPP.	OPPOSITE
APPROX	APPROXIMATE	FLR.	FLOOR	PC(S)	PIECE(S)
ARCH	ARCHITECTURAL	F.O.	FACE OF	PL.	PLATE
A/V	AUDIO/VIDEO	FTG	FOOTING	PLAM	PLASTIC LAMINATE
B.PL.	BASE PLATE	GALV.	GALVANIZED	PR.	PAIRED
BM.	BEAM	G.C.	GENERAL CONTRACTOR	P.T.	PRESSURE TREATED PRESERVATIVE
BTW'N	BETWEEN	GL.	GLASS	PTD.	PAINTED
BITUM.	BITUMINOUS	GR.	GRADE	P'WD	PLYWOOD
BLK'G	BLOCKING	GRAV.	GRAVEL	R/A	RETURN/AIR
BD.	BOARD	GWB	GYPSPUM WALL BOARD	RAD.	RADIUS
BOT.	BOTTOM	HDW.	HARDWARE	R.D.	ROOF DRAIN
CAB.	CABINET	HGT.	HEIGHT	REINF.	REINFORCEMENT
C.T.	CERAMIC TILE	HORZ.	HORIZONTAL	REQ'D	REQUIRED
C.J.	CONTROL JOINT	H.M.	HOLLOW METAL	REV.	REVISION
C/L	CENTER/LINE	H.P.	HIGH POINT	R.O.	ROUGH OPENING
CLOS.	CLOSET	I.D.	INSIDE DIMENSION	S/A	SUPPLY/AIR
CLNG.	CEILING	INSUL	INSULATION	SECT.	SECTION
CLR.	COLOR	INT.	INTERIOR	SIM.	SIMILAR
CMU	CONC. MASONRY UNIT	INV.	INVERT	SQ.	SQUARE
CONN.	CONNECT	JT.	JOINT	S.STL.	STAINLESS STEEL
CONT.	CONTINUOUS	LAV.	LAVATORY	STL.	STEEL
DIA.	DIAMETER	LTC.	LIGHTING	STND.	STAINED
DIAG.	DIAGONAL	L.P.	LOW POINT	SUSP.	SUSPENDED
DIM.	DIMENSION	M.H.	MAN HOLE	T&G	TONGUE & GROOVE
DN	DOWN	MFR.	MANUFACTURER	THK.	THICK
DR	DOOR	M.O.	MASONRY OPENING	T.O.	TOP OF
DTL.	DETAIL	MAX	MAXIMUM	T.Y.	TYPICAL
DWG.	DRAWING	MECH.	MECHANICAL	U.N.O.	UNLESS NOTED OTHERWISE
EA.	EACH	MDF	MEDIUM DENSITY FIBERBOARD	VERT.	VERTICAL
ELEC.	ELECTRICAL	MDO	MEDIUM DENSITY OVERLAY	V.I.F.	VERIFIED IN FIELD
ELEV.	ELEVATION	MET.	METAL	W.C.	WATER CLOSET
ENCL.	ENCLOSURE	MIN.	MINIMUM	WD.	WOOD
EQ.	EQUAL	MISC	MISCELLANEOUS	WDW.	WINDOW
EXP.	EXPANSION	N.I.C.	NOT IN CONTRACT	WHT.	WHITE
EXST.	EXISTING	NOM.	NOMINAL	WT.	WEIGHT
EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	W/	WITH

### DRAWING LIST:

- PROJECT DESCRIPTION, ZONING/CODE SUMMARY, DRAWING LIST, NOTES & ABBREVIATIONS
- LEGENDS, WALL TYPES & SCHEDULES
- EXISTING BASEMENT & FIRST FLOOR DEMOLITION PLANS
- EXISTING SECOND FLOOR & ATTIC DEMOLITION PLANS
- PROPOSED SECOND FLOOR & ATTIC PLANS
- SECOND FLOOR & ATTIC REFLECTED CEILING PLANS
- PROPOSED BUILDING ELEVATIONS
- BUILDING SECTIONS
- FRAMING NOTES & ATTIC/ROOF FRAMING PLANS

### GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES AND ORDINANCES:
  - MASSACHUSETTS RESIDENTIAL CODE – INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 WITH MASSACHUSETTS AMENDMENTS TO IRC 10TH ED. (2023)
  - MASSACHUSETTS ENERGY CODE – INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021 WITH MASSACHUSETTS STRETCH ENERGY CODE AMENDMENTS (2022) & SPECIALIZED CODE APPENDICES.
  - LOCAL CITY/TOWN ZONING CODE/ BY-LAW.
  - ALL OTHER APPLICABLE CODES.
- ALL PERMITS AND LICENSES SHALL BE SECURED BY CONTRACTOR(S).
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION IN REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES DURING BIDDING AND CONSTRUCTION PHASES.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. ALL GRADE APPROXIMATE. ALL HEIGHTS TO BE CONFIRMED WITH FIELD CONDITIONS.
- ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL DRAWINGS AND SITE PLAN BY GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND REPORT ANY INCONSISTENCIES OR AMBIGUITIES. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS. THE CONTRACTOR SHALL PROCEED ONLY AFTER THESE ISSUES ARE RESOLVED.
- WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT IS SHOWN AT CORRESPONDING SITUATIONS SHALL BE REPEATED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING PROTECTIVE BARRIER TO SEPARATE WORK AREAS FROM AREAS COMPLETED OR BEYOND THE LIMITS OF THE CONTRACT.
- GENERAL CONTRACTOR SHALL COORDINATE PHASING AND SEPARATION OF WORK WITH OWNER.
- CONTRACTOR(S) SHALL RECTIFY, WITHOUT COST OF OWNER, ANY DEFECTS DUE TO FAULTY WORKMANSHIP. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HIGHEST STANDARDS OF TRADES AND PRACTICES.
- ARCHITECT IS NOT RESPONSIBLE FOR ANALYSIS OF EXISTING STRUCTURE OR FOUNDATION BEYOND VISIBLE AREA. EXISTING STRUCTURAL CONDITIONS ARE ASSUMED TO BE ACCURATE. IF DISCREPANCY OCCURS, CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. FAILURE TO DO SO RELIEVES ARCHITECT OF ANY RESPONSIBILITY. A CERTIFIED STRUCTURAL ENGINEER WILL BE HIRED AT OWNER'S EXPENSE IF REQUIRED BY LOCAL BUILDING OFFICIAL.
- ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE ELECTRICIAN SHALL PROVIDE ADEQUATE RECEPTACLES, LIGHTING AND APPROPRIATE SWITCH LOCATIONS PER CODE REQUIREMENTS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
- ELECTRICIAN CONTRACTOR SHALL PROVIDE CARBON MONOXIDE (CO), SMOKE AND HEAT DETECTION ALARMS PER CODE REQUIREMENTS. ALL FIRE ALARMS TO BE HOT WIRED WITH BATTERY BACKUP. FIRE ALARM DEVICES AND LOCATIONS OF NEWLY CONSTRUCTED & EXISTING AREAS TO BE REVIEWED & APPROVED BY LOCAL FIRE DEPARTMENT.
- ELECTRICAL CONTRACTOR TO PROVIDE TEL/DATA & CABLE OUTLETS APPROVED BY OWNER.
- PLUMBING CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE PLUMBER SHALL PROVIDE ANY REQUIRED DRAWINGS FOR PERMIT APPLICATION AND BE RESPONSIBLE FOR THE FIXTURE SCHEDULE FOR THE OWNER'S APPROVAL, IF REQUIRED BY THE OWNER. COORDINATE THE LOCATIONS OF REQUIRED TIE-INS AND THE LAYOUT OF PIPING/VENT WITH THE GENERAL CONTRACTOR. FOLLOW CODE GUIDELINES FOR CUTTING AND NOTCHING FRAMING MEMBERS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
- HVAC CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES INCLUDING LAYOUT/INSTALLATION WITH COMPLETE LISTING AND SIZES OF ALL EQUIPMENTS PROPOSED FOR USE AND ROUTING OF ALL DUCT WORK AND PIPING. ALL HVAC WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. GENERAL CONTRACTOR SHALL COORDINATE THIS LAYOUT WITH FRAMERS PRIOR TO FRAMING.
- ALL IN WALL PLUMBING & ELECTRICAL COMPONENTS PASSING THRU STUD WALLS TO BE COVERED WITH METAL SHIELD PLATES TO PREVENT PUNCTUATION.

### ENERGY CONSERVATION NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH 2021 IECC, MASSACHUSETTS STRETCH ENERGY CODE & SPECIALIZED CODE APPENDICES.
- ALL BUILDING MATERIALS & SYSTEMS INCLUDING BUT NOT LIMITED TO AIR BARRIER, MOISTURE BARRIER, INSULATION PRODUCTS, MECHANICAL/ELECTRICAL/PLUMBING EQUIPMENTS SHALL BE INSTALLED PER MANUFACTURERS' MANUALS & INSTRUCTIONS.
- CONSTRUCTION DOCUMENTS DEMONSTRATE COMPLIANCE FOR THE BUILDING ENVELOPE. THERMAL ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS.
- THE BOTTOM FLOOR OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-30 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.3)
- FLOOR INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION IS IN CONTACT WITH TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION IS INSTALL ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. (IECC R303.2 402.2.7)
- ALL NEW EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. TO BE INSULATED WITH R-30 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (2015 IECC TABLE R402.1.2) WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. (IECC R303.2)
- THE CEILING OF HEATED SPACE/OR CAVITY OF ROOF RAFTERS OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-60 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.2)
- CEILING INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN OR SPRAY INSULATION SHALL BE MARKED IN INCHES EVERY 300 SQ-FT. (IECC R303.1.1.1)
- ATTIC ACCESS HATCH AND DOOR INSULATION >=R-VALUE OF ADJACENT ASSEMBLY. (IECC R402.2.4)
- THE BASEMENT WALL OF OCCUPIED SPACE TO BE INSULATED WITH R-19 IN CAVITY, OR R-15 INTERIOR OR EXTERIOR CONTINUOUS INSULATION. (2015 IECC TABLE R402.1.2)
- BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. (IECC 2015 R403.3.5)
- ALL FENESTRATION WINDOWS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.30. (780CMR51)
- ALL SKYLIGHTS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.55, OR TO MEET ENERGY STAR FENESTRATION U-FACTOR/SHGC REQUIREMENTS. (IECC TABLE R402.1.2)
- U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE. (IECC R303.1.3)
- BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PERFORMED PER IECC R402.4.
- EXTERIOR DOORS TO BE INSULATED AND WEATHER-STRIPPED.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION WITH PROPER CAULK, GASKET, WEATHER-STRIPPING OR OTHER AIR BARRIER MATERIALS.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWING DOORS NO MORE THAN 0.5 CFM. (IECC R402.4.3)
- AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS. (IECC 403.6)
- BLOWER DOOR TEST @ 50 PA. <=3 ACH IN MASSACHUSETTS CLIMATE ZONE 5A. (IECC 402.4.1.2)
- HEATING AND COOLING EQUIPMENT IS SIZED PER ACAA MANUAL S BASED ON LOADS CALCULATED PER ACAA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL. (IECC R403.7)
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS. (IECC R403.1.1)
- HVAC PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED. (IECC R403.4.1)
- HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F SHALL BE INSULATED TO A MINIMUM OF R-3. (IECC R403.4)
- DUCTS AND AIR HANDLERS SHALL BE INSULATED AND SEALED PER R403.3. SUPPLY & RETURN AIR DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8 (3"Ø OR GREATER) OR R-6 (LESS THAN 3"Ø). DUCTS IN OTHER PORTION SHALL BE INSULATED TO MIN. R-6 (3"Ø OR GREATER) OR R-4.2 (LESS THAN 3"Ø). (IECC R403.3.1)
- DUCTS AND REGISTERS SHALL BE TAPED AND SEALED (ROUGH-IN OR POST-CONSTRUCTION) TO MEASURE W/ A DIFFERENTIAL 0.1 INCH W.G. EXCEPT THE ENTIRE SYSTEM IS WITH IN BUILDING ENVELOPE. (IECC R403.3.3)
- TOTAL LEAKAGE OF THE DUCTS SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 S.F. OF CONDITIONED SPACE. (IECC R403.3.4)
- AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER AT <=2% OF DESIGN AIR FLOW. (IECC R403.3.2.1)
- ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS. (IECC R403.6.1)
- HOT WATER BOILERS SUPPLYING HEAT THROUGH 1- OR 2-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE. (IECC R403.2)
- RECESSED LIGHTING INSTALLED IN BUILDING THERMAL ENVELOPE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM PER ASTM E283 (IECC R402.4.5)
- NOT LESS THAN 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICIENT LAMPS OR CONTAIN ONLY HIGH-EFFICIENT LAMPS EXCEPT LOW-VOLTAGE LIGHTING. (IECC R404.1)
- HOT WATER PIPES SHALL BE INSULATED TO R-3 IF PIPING 3/4" OR LARGER, PIPING SERVE MORE THAN ONE UNIT, PIPING LOCATED OUTSIDE CONDITIONED SPACE, PIPING FROM WATER HEATER TO DISTRIBUTION MANIFOLD, OR PIPING UNDER A FLOOR SLAB. (IECC R403.5.3)
- MANDATORY HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEM TO BE IN ACCORDANCE 2015 IECC R403.5.1, AND TO HAVE AUTOMATIC OR MANUAL CONTROLS. (IECC R403.5.1)
- HEATED WATER CIRCULATION SYSTEM HAVE A CIRCULATION PUMP. THE SYSTEM RETURN PIPE IS A DEDICATED PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMOS-SYPHON CIRCULATION SYSTEMS ARE NOT PRESENT. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS START PUMP WITH SIGNAL FOR HOT WATER DEMAND WITHIN THE OCCUPANCY. CONTROLS AUTOMATICALLY TURN OFF THE PUMP WHEN WATER IS AT SET-POINT TEMPERATURE AND NO DEMAND FOR HOT WATER EXISTS. (IECC R403.5.1.1)
- THE RECIRCULATION PUMPS IN WATER DISTRIBUTION SYSTEMS PUMP WATER BACK TO HEATED WATER SOURCE THROUGH A COLD WATER SUPPLY PIPE, AND THE PUMPS HAVE CONTROLS THAT LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING 104°F. (IECC R403.5.2)

## PERMIT SET

ARCHITECT:  
OoDD Architects Limited Liability Company  
P. O. Box 66001 Newton, Massachusetts 02466  
PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

### NGO RESIDENCE

TWO FAMILY ADDITION

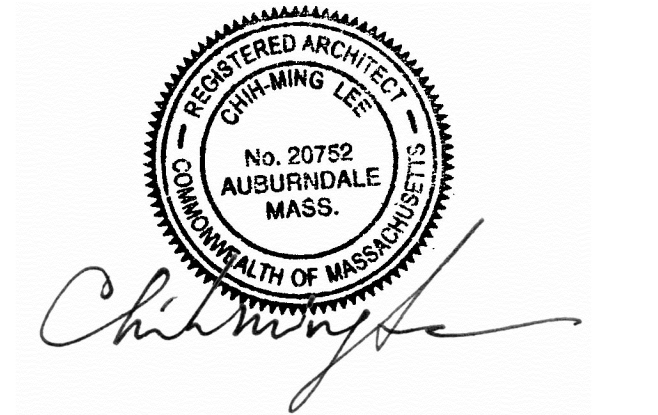
50 Clifton Street

Cambridge, Massachusetts 02140

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Date	Notes
7/5/2023	PERMIT SET



CHIH-MING LEE, AIA ARCHITECT

### PROJECT DESCRIPTION, ZONING/CODE SUMMARY, DRAWING LIST, NOTES & ABBREVIATIONS

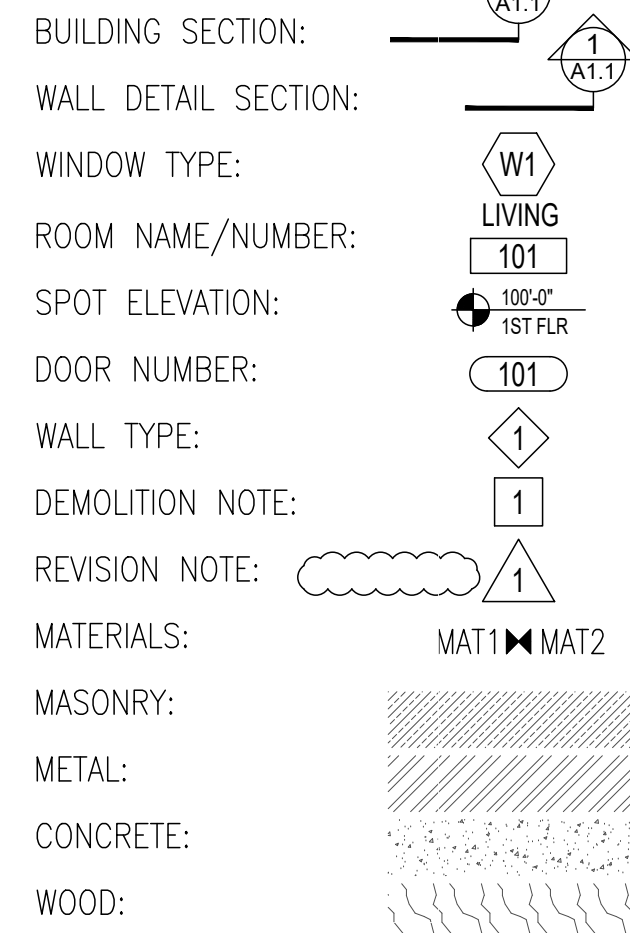
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DATE: JULY 5, 2023  
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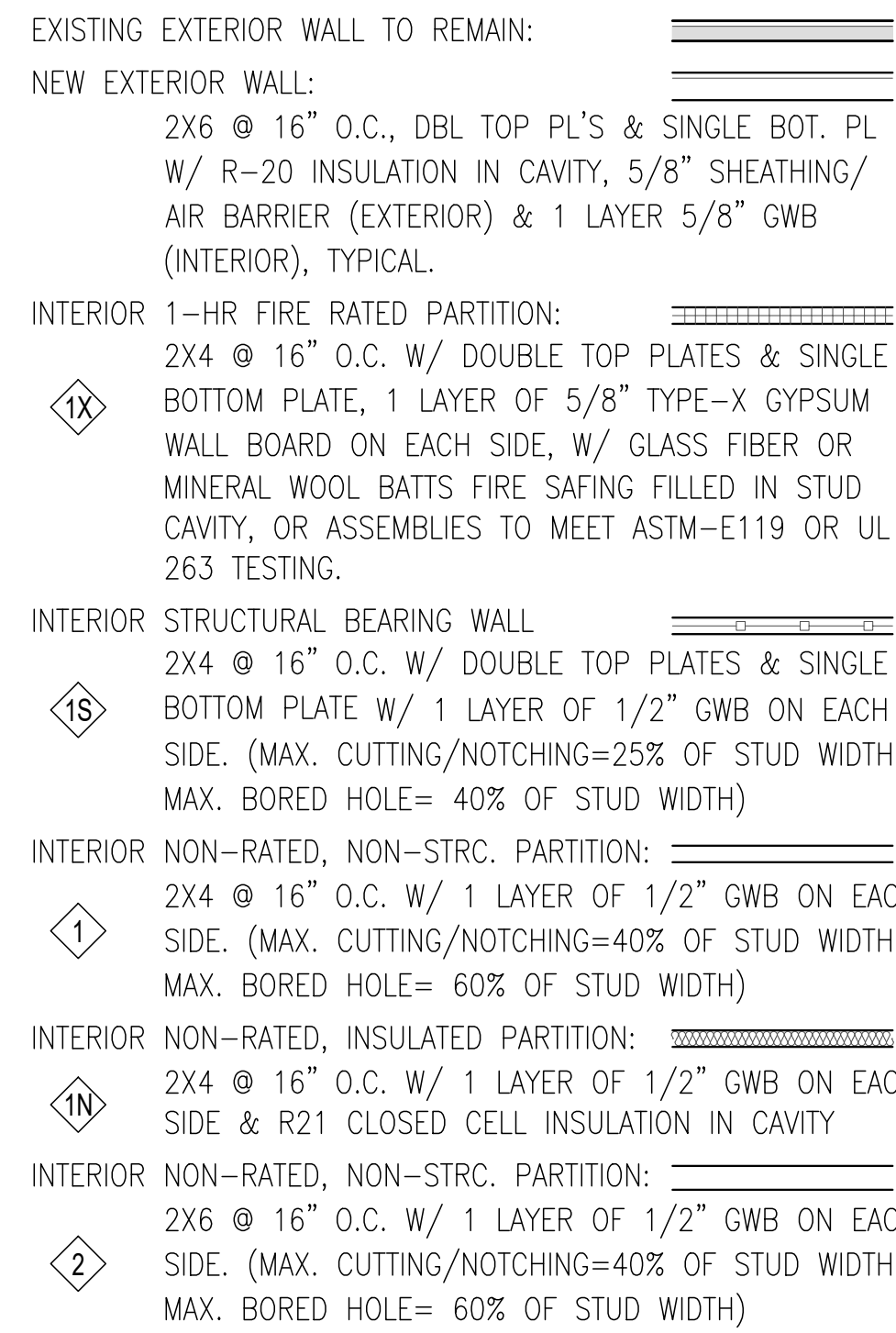
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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

SYMBOLS & MATERIALS



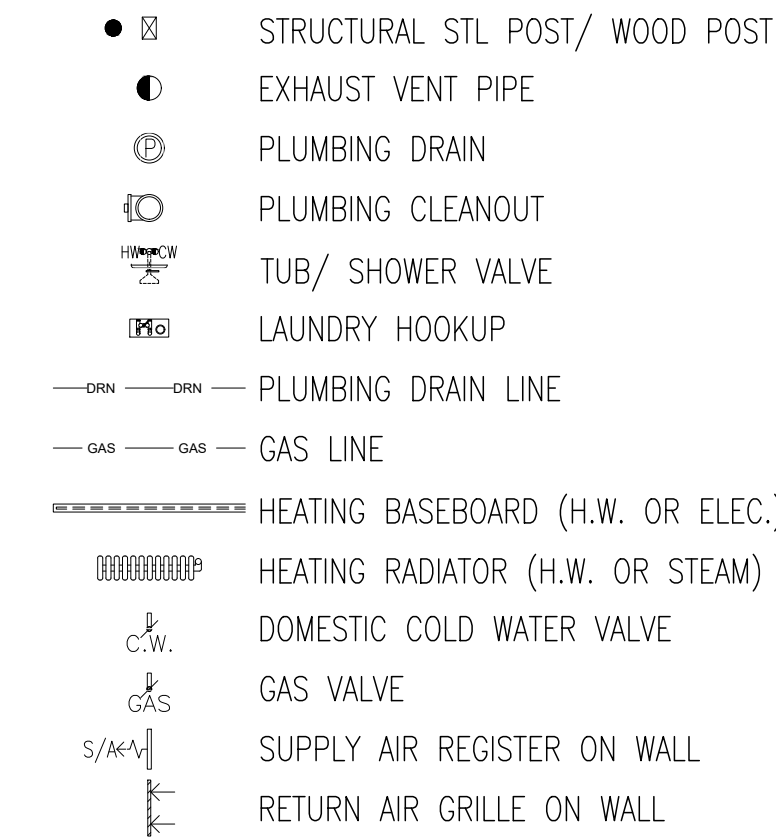
WALL/PARTITION TYPES



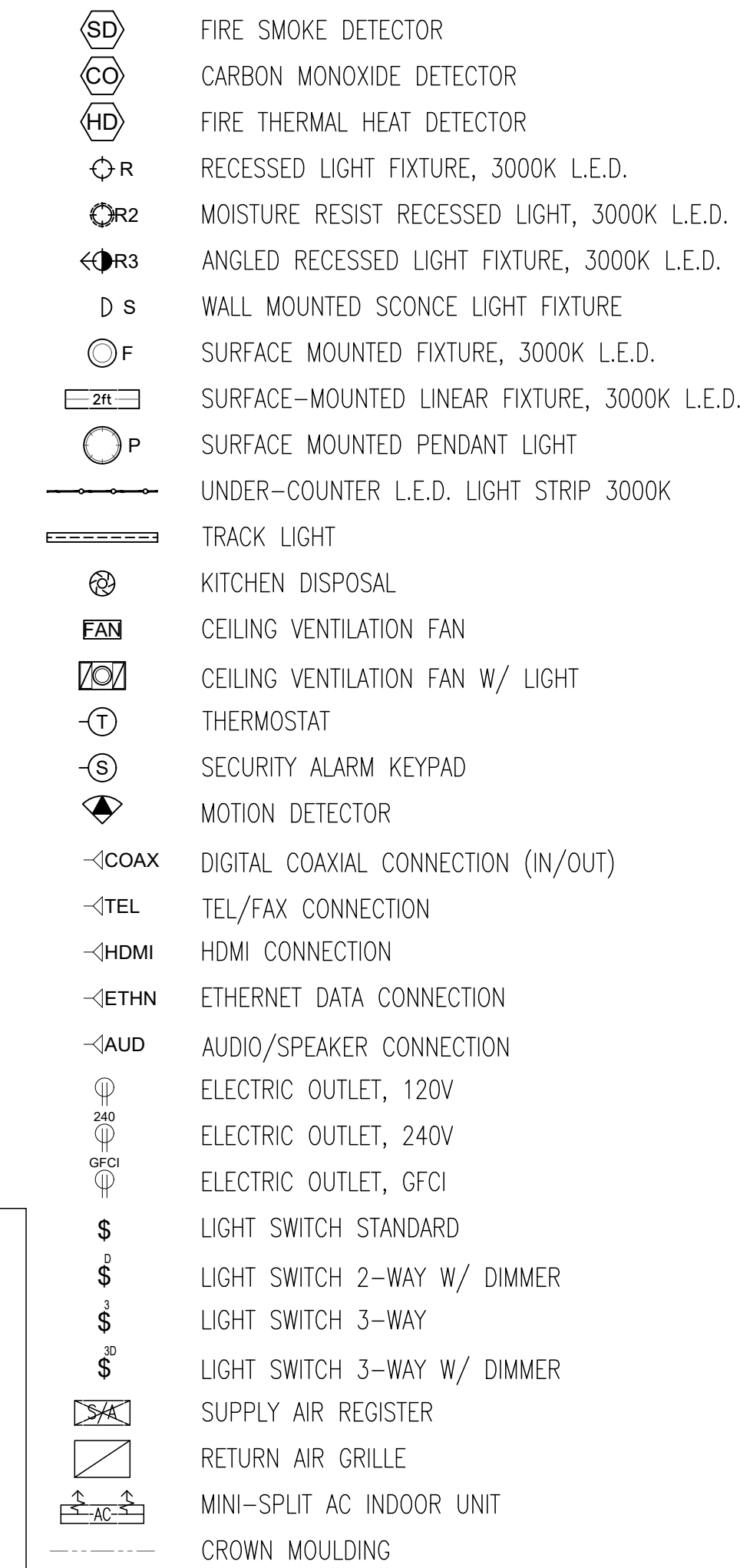
FIRE ALARM NOTES:

- 1. DETECTOR/ ALARM SYMBOL KEYS: SD SMOKE DETECTOR/ ALARM, CO CARBON MONOXIDE DETECTOR/ ALARM, SMOKE & CARBON MONOXIDE COMBO DETECTOR/ ALARM, HD HEAT DETECTOR/ ALARM
2. ALL DETECTORS TO BE WIRED W/ BATTERY BACKUP PER CODE.
3. THE ALARM DETECTOR DEVICES & LAYOUTS SUBJECT TO THE APPROVAL OF CITY FIRE DEPARTMENT/INSPECTIONAL SERVICES.

PLAN LEGEND



R.C.P. LIGHTING/ELECTRICAL LEGEND



WINDOW SCHEDULE

WINDOW INSTALLATION NOTES:

- 1. CONTRACTOR TO CHECK W/ MFR. FOR ALL ROUGH OPENINGS, TYP.
2. ALL WINDOWS SHALL MEET STATE ENERGY CONSERVATION STRETCH CODE REQUIREMENTS TO HAVE U VALUE .30 OR LOWER
3. (\*) WINDOWS IN ALL BEDROOMS & SLEEPING QUARTERS SHALL MEET REQUIREMENTS FOR EMERGENCY ESCAPE: WINDOW SILL NO HIGHER THAN 44" A.F.F., & MINIMUM CLEAR OPN'G: 3.3 S.F. (DOUBLE-HUNG ONLY), MIN. CLEAR OPN'G 20"x24" IN EITHER DIRECTION
4. WINDOW FINISH SILL HEIGHT @ 2ND FLR & ATTIC SHALL NOT BE LOWER THAN 24" A.F.F
5. (T) ALL WINDOWS WITH SILL LOWER THAN 18" A.F.F. OR ON STAIRS WALLS OR IN BATHROOMS SHALL BE TEMPERED GLASS.
6. CONTRACTOR TO VERIFY EXISTING WINDOW DIMENSIONS, STYLE, MULLION PATTERNS & OTHER DETAILS FOR NEW WINDOWS TO MATCH

Table with columns: TYPE, ROUGH OPN'G, FIN. SILL, MATERIAL, STYLE, JAMB, EXT.FIN., INT.FIN., HARDWARE, GRIDS, REMARKS. Rows include W1, W2, and W3(T).

ROOM FINISH SCHEDULE

Table with columns: ROOM, FLOOR, BASE, WALL, CEILING, MOLDING, REMARKS. Rows include 301 FAMILY, 302 BEDROOM, 303 HALLWAY, 303B LAUNDRY, 304 WALK-IN CLOSET, and 305 BATHROOM.

DOOR SCHEDULE

Table with columns: DOOR No., WIDTH x HGT., TYPE, DOOR SLAB, FINISH, HINGE, HANDLE, LOCKSET, WALL THK., OTHER, REMARKS. Rows include 202, 302, 303B, 304, and 305.

NGO RESIDENCE

TWO FAMILY ADDITION

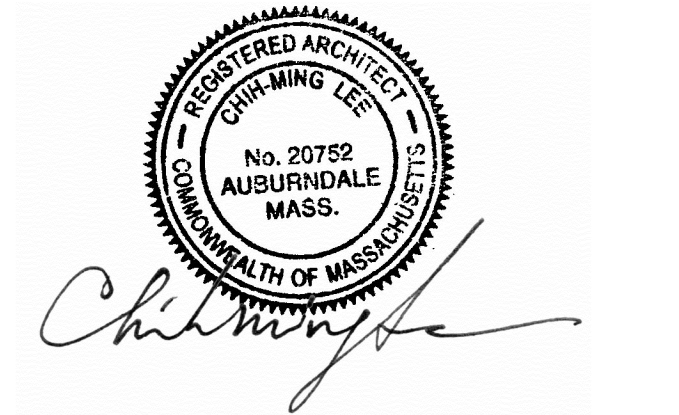
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Table with columns: Date, Notes. Row: 7/5/2023 | PERMIT SET



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LEGENDS, WALL TYPES & SCHEDULES

SCALE: NO SCALE
DATE: JULY 5, 2023
DRAWN BY: STAFF, CL
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ARCHITECT:  
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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

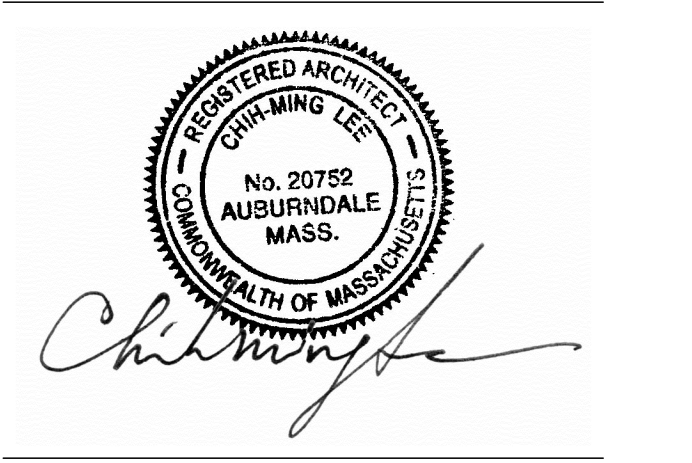
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TWO FAMILY ADDITION

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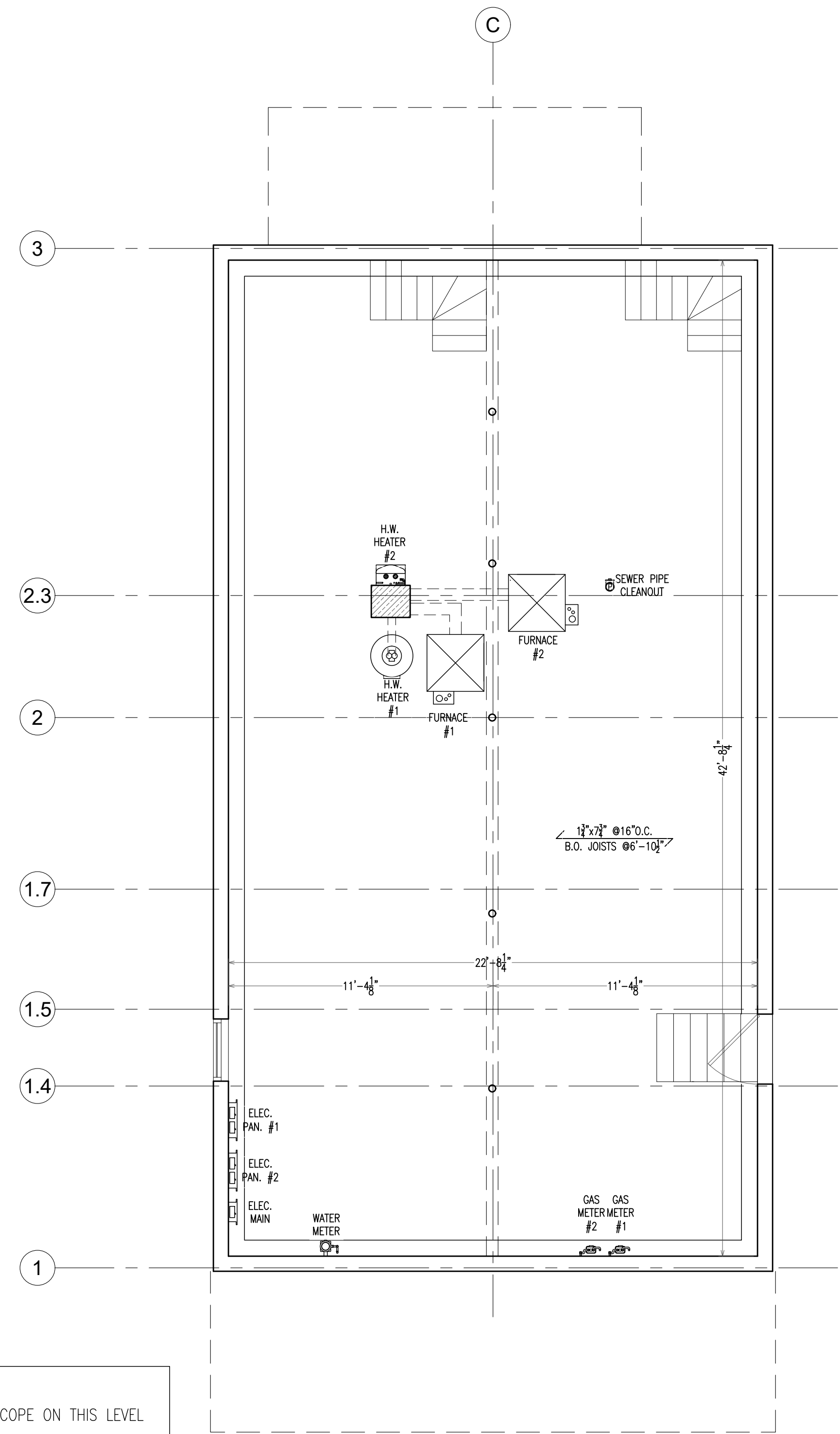
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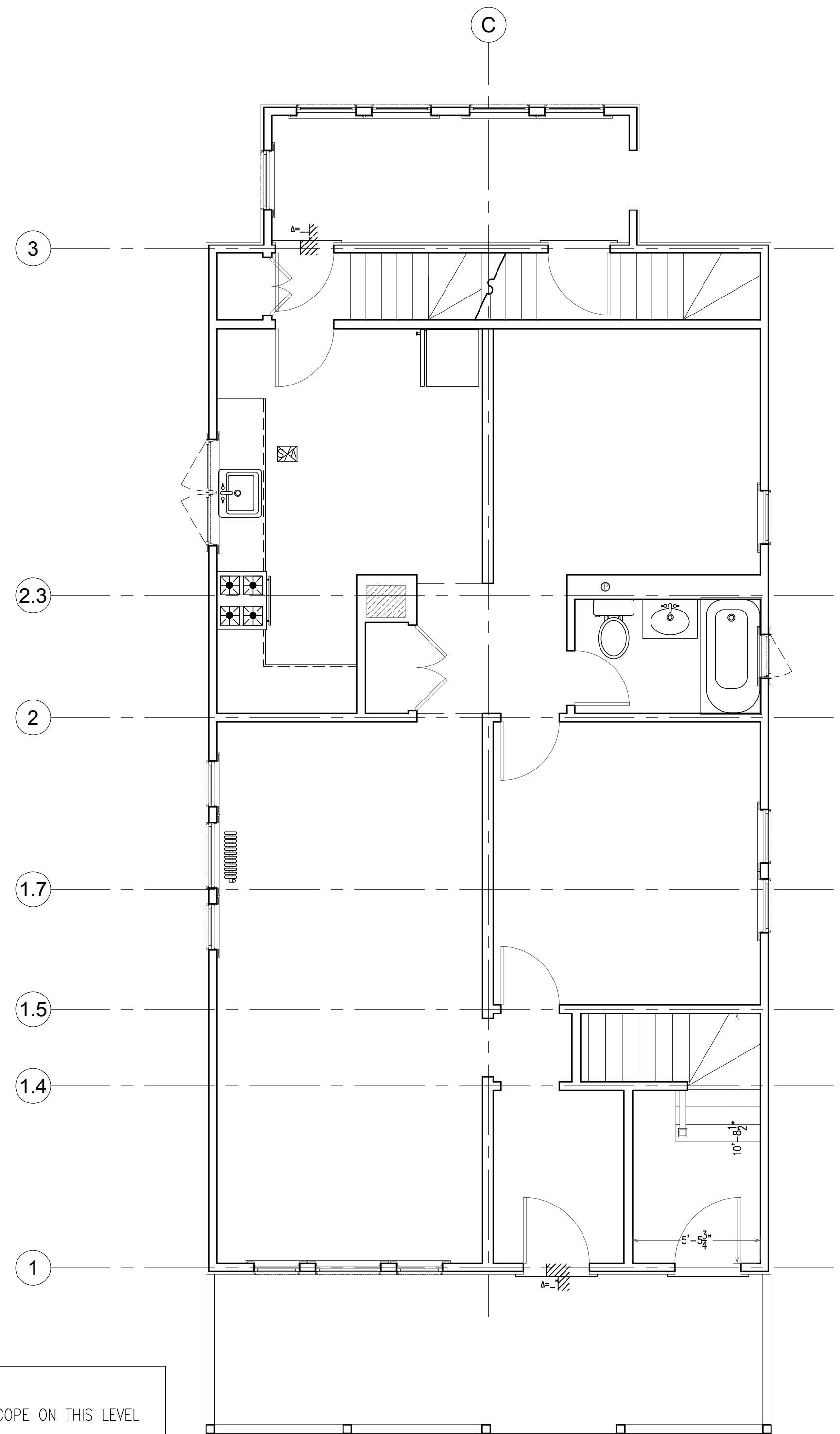
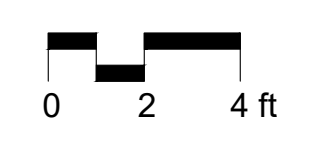


EXISTING BASEMENT &  
FIRST FLOOR DEMOLITION  
PLANS

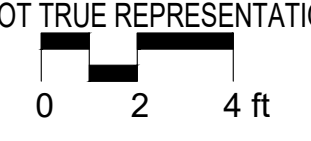
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DATE: JULY 5, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL



1 EXISTING BASEMENT PLAN  
1/4"=1'-0"



2 EXISTING FIRST FLOOR PLAN  
1/4"=1'-0"(FLOOR PLAN AT THIS LEVEL FOR REFERENCE ONLY, NOT TRUE REPRESENTATION)



DEMO NOTE:  
NO DEMOLITION SCOPE ON THIS LEVEL

DEMO NOTE:  
NO DEMOLITION SCOPE ON THIS LEVEL

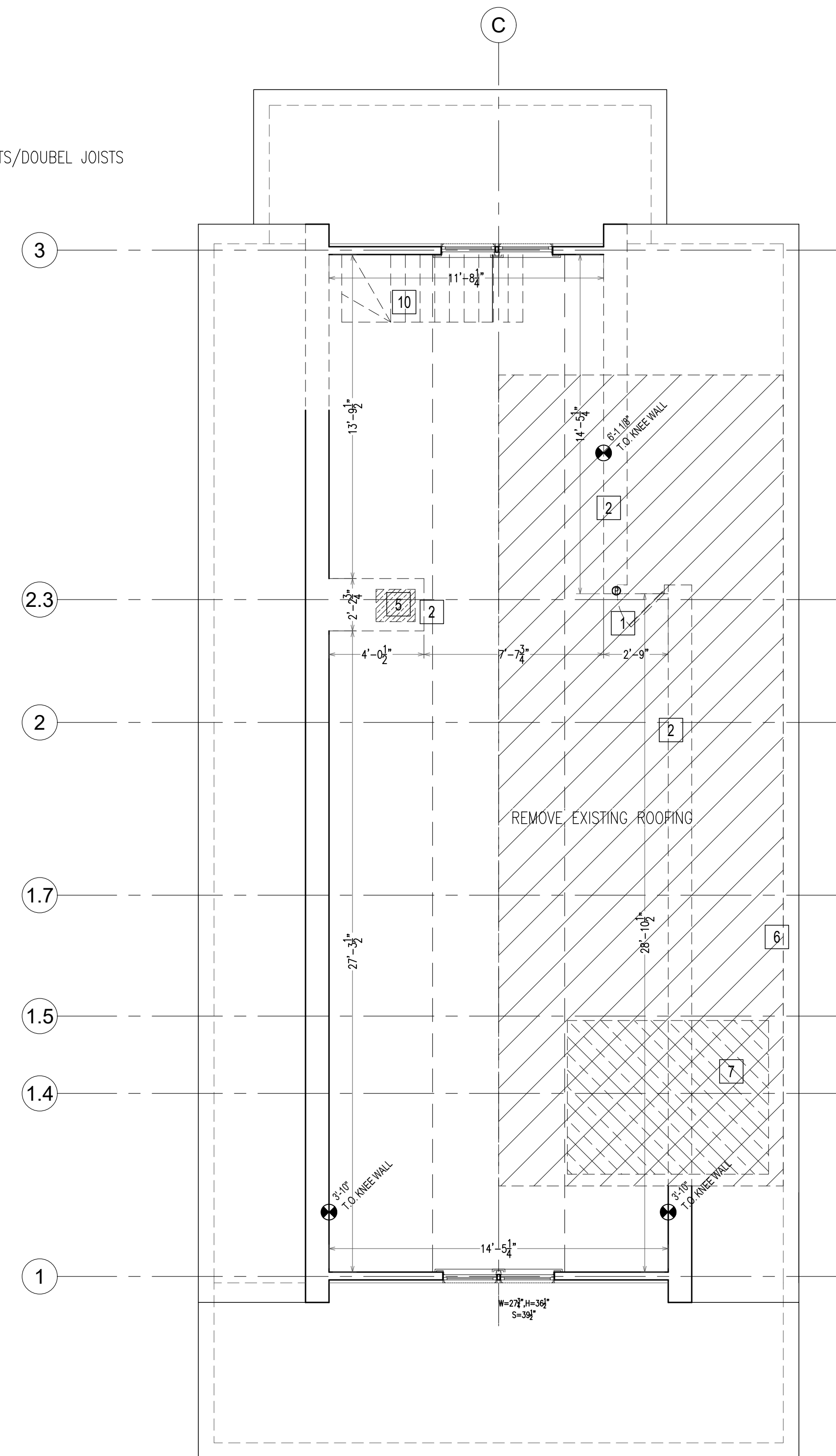
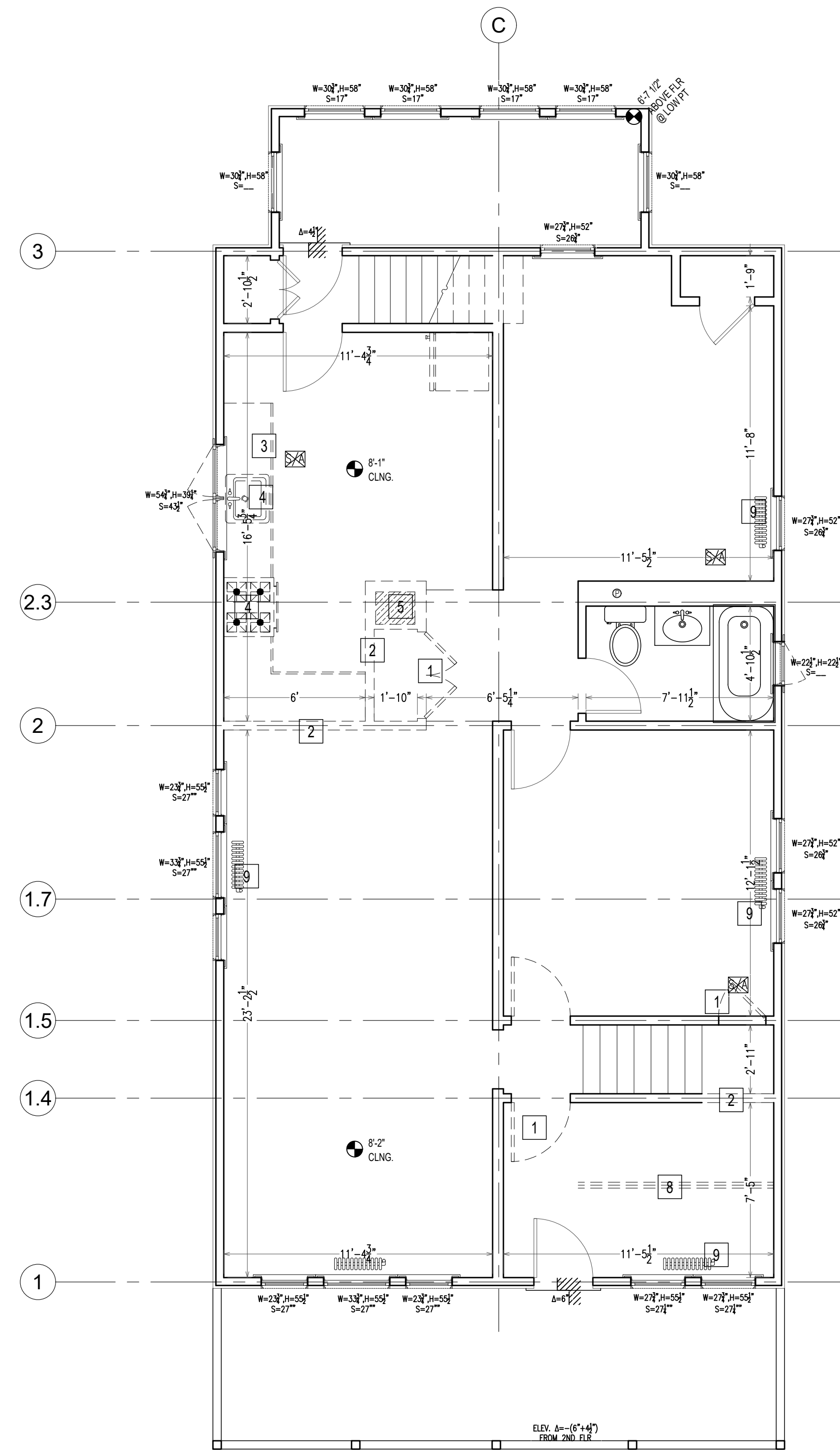




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**DEMOLITION NOTES:**

- 1 REMOVE EXISTING DOOR & TRIM
- 2 REMOVE EXISTING PARTITION AS INDICATED
- 3 REMOVE EXISTING CABINETS, TYP.
- 4 REMOVE EXISTING KITCHEN PLUMBING WATER/GAS PIPES. CUT & CAP ALL SERVICES TO STUD/ SUB-FLOOR. SEE PROPOSE PLANS FOR MODIFICATION, TYP.
- 5 REMOVE EXISTING CHIMNEY/ FIREPLACE
- 6 REMOVE EXISTING ROOFING
- 7 CUT/REMOVE EXISTING FLOORING & JOISTS
- 8 REMOVE EXISTING FLOORING TO REINFORCE EXISTING JOISTS/DOUBEL JOISTS (SEE FRAMING PLAN FOR DETAILS)
- 9 REMOVE EXISTING HEATING RADIATOR
- 10 REMOVE EXISTING STAIRS



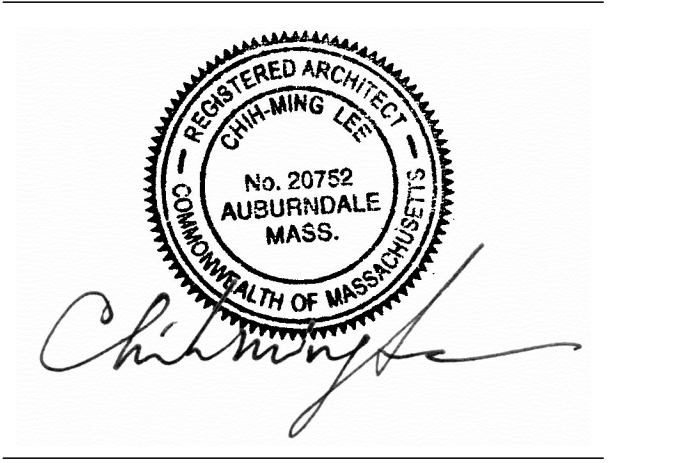
**NGO RESIDENCE**  
 TWO FAMILY ADDITION

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**EXISTING SECOND FLOOR & ATTIC DEMOLITION PLANS**

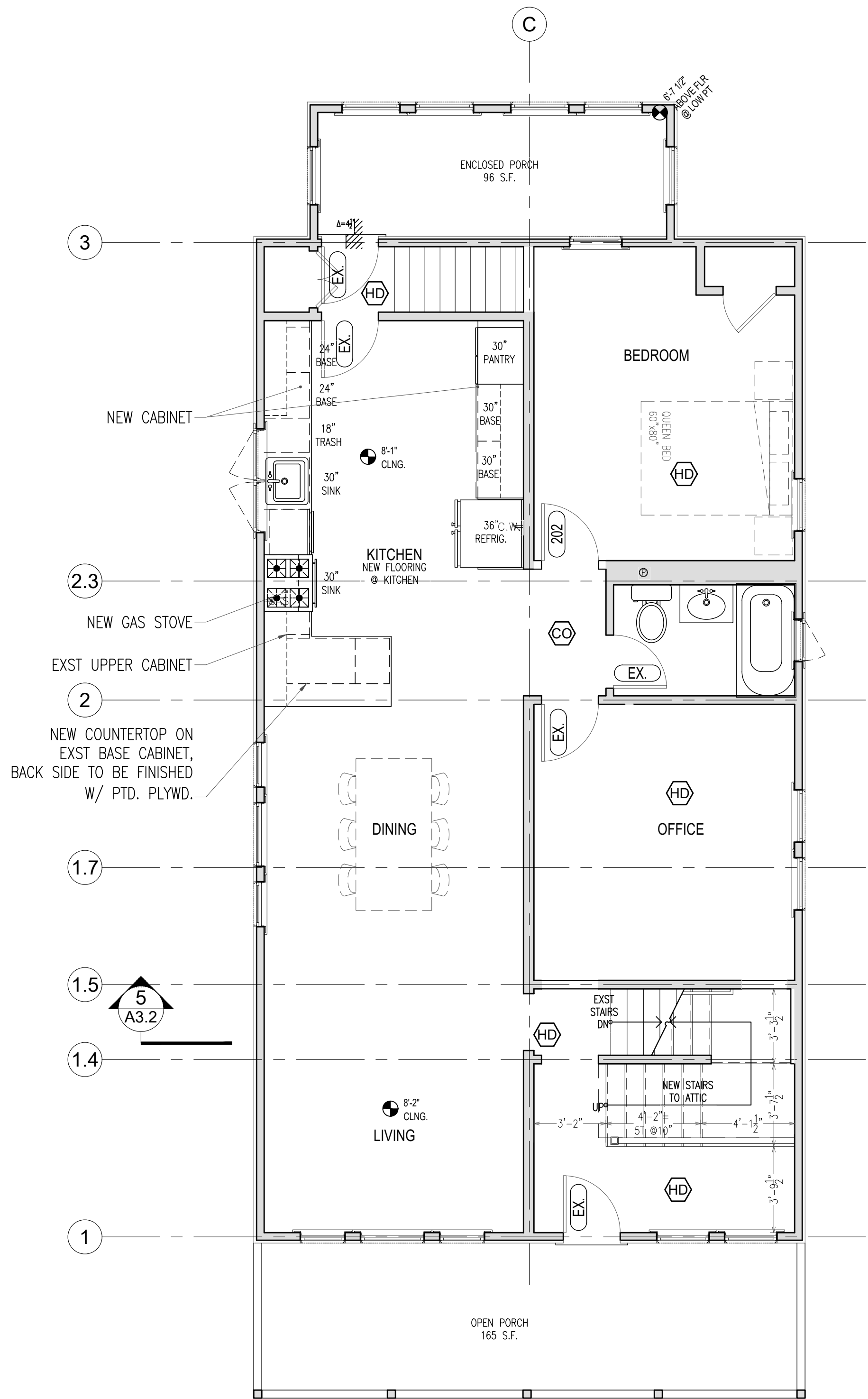
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 DATE: JULY 5, 2023  
 DRAWN BY: STAFF, CL  
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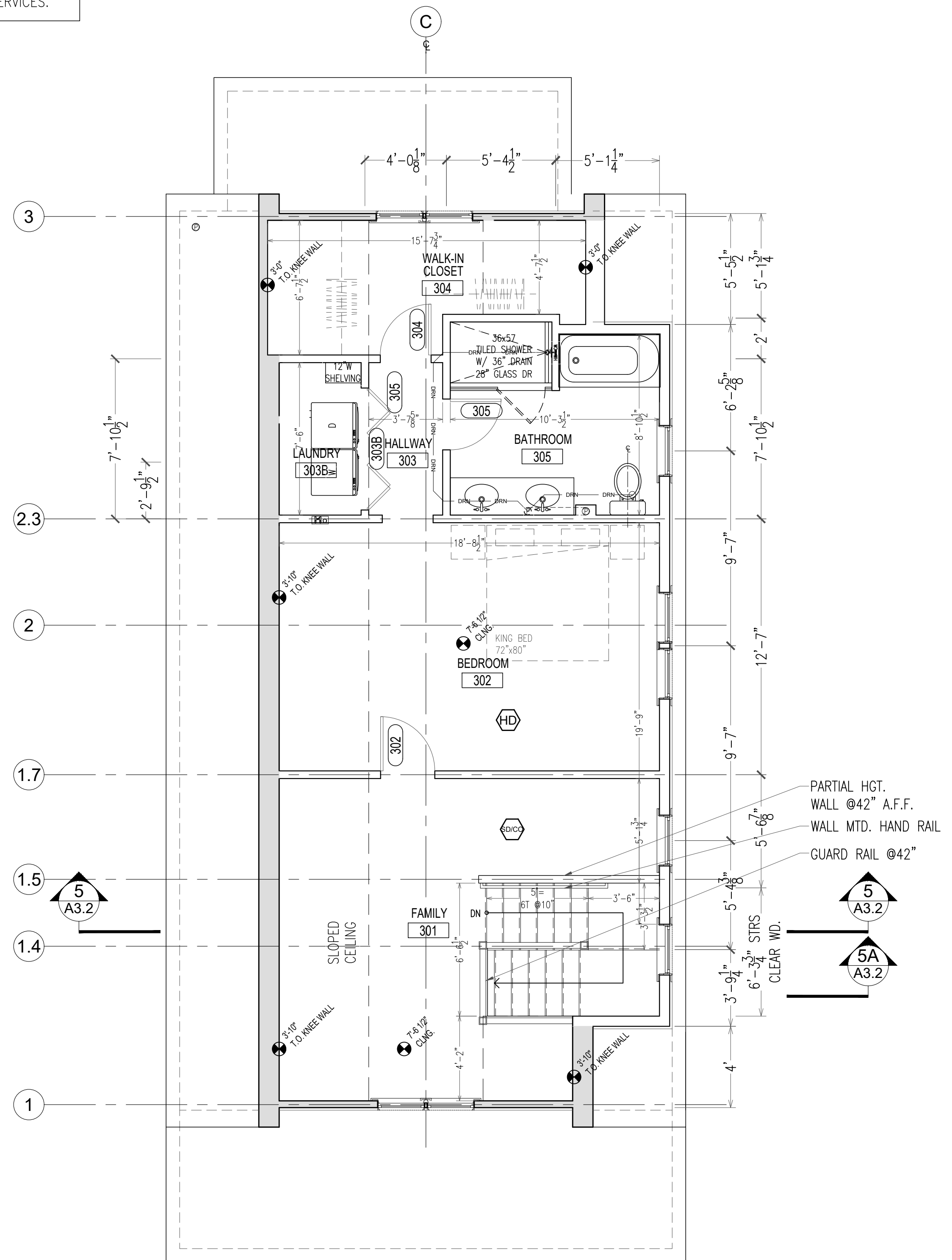
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NOTES:  
NO CHANGE ON THE LAYOUTS OF 1ST FLOOR & BASEMENT (NOT SHOWN).  
SEE A0.2 FOR EXISTING PLANS.

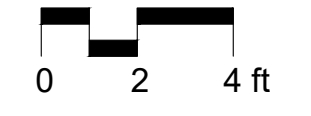
**FIRE ALARM NOTES:**  
1. DETECTOR/ ALARM SYMBOL KEYS:  
SD SMOKE DETECTOR/ ALARM  
CO CARBON MONOXIDE DETECTOR/ ALARM  
SD-CO SMOKE & CARBON MONOXIDE COMBO DETECTOR/ ALARM  
HD HEAT DETECTOR/ ALARM  
2. ALL DETECTORS TO BE WIRED W/ BATTERY BACKUP PER CODE.  
3. THE ALARM DETECTOR DEVICES & LAYOUTS SUBJECT TO THE APPROVAL OF CITY FIRE DEPARTMENT/INSPECTIONAL SERVICES.



1 PROPOSED SECOND FLOOR PLAN  
1/4"=1'-0"



2 PROPOSED ATTIC PLAN  
1/4"=1'-0"



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PROPOSED SECOND FLOOR  
& ATTIC PLANS

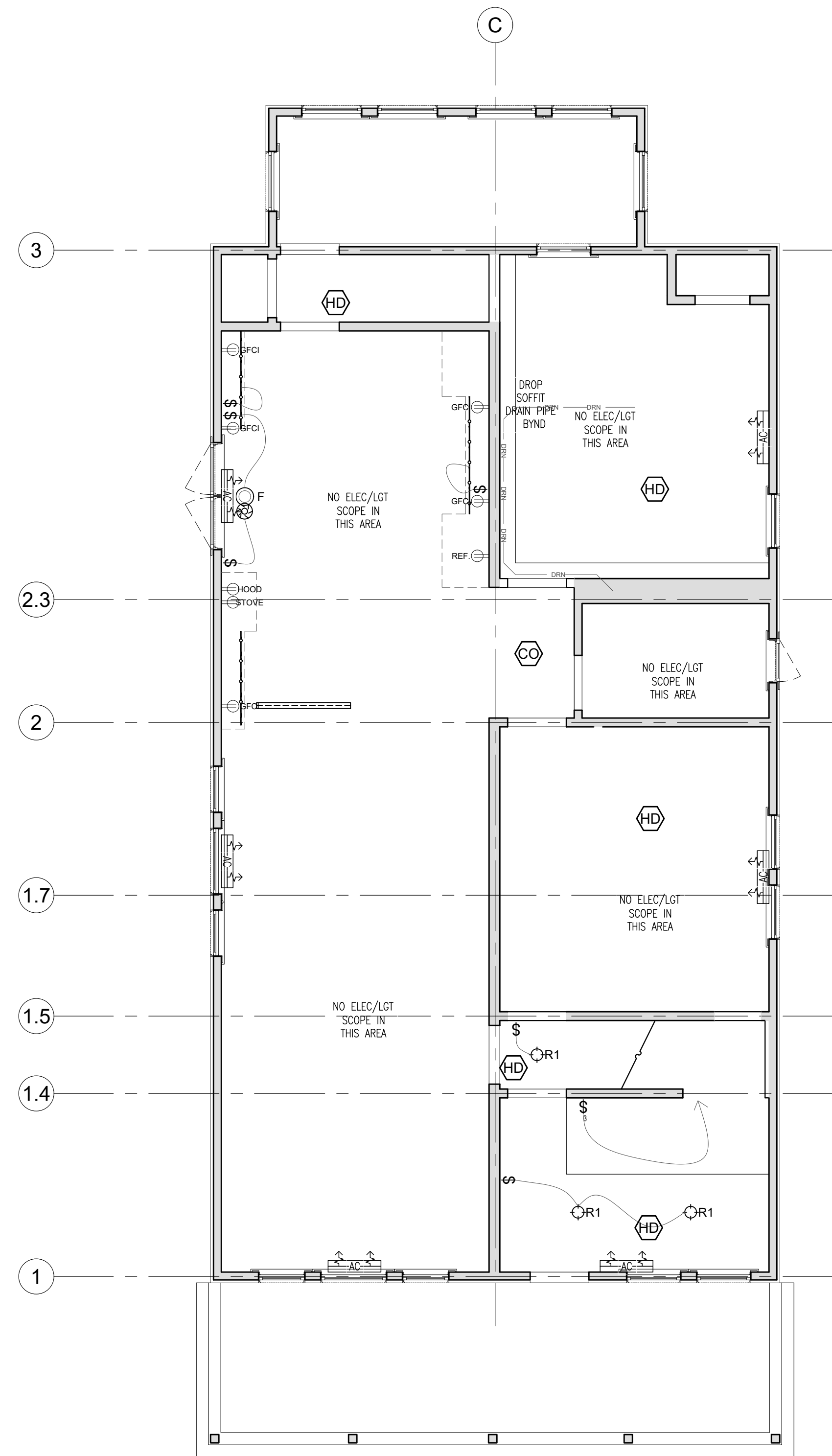
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HVAC NOTE:

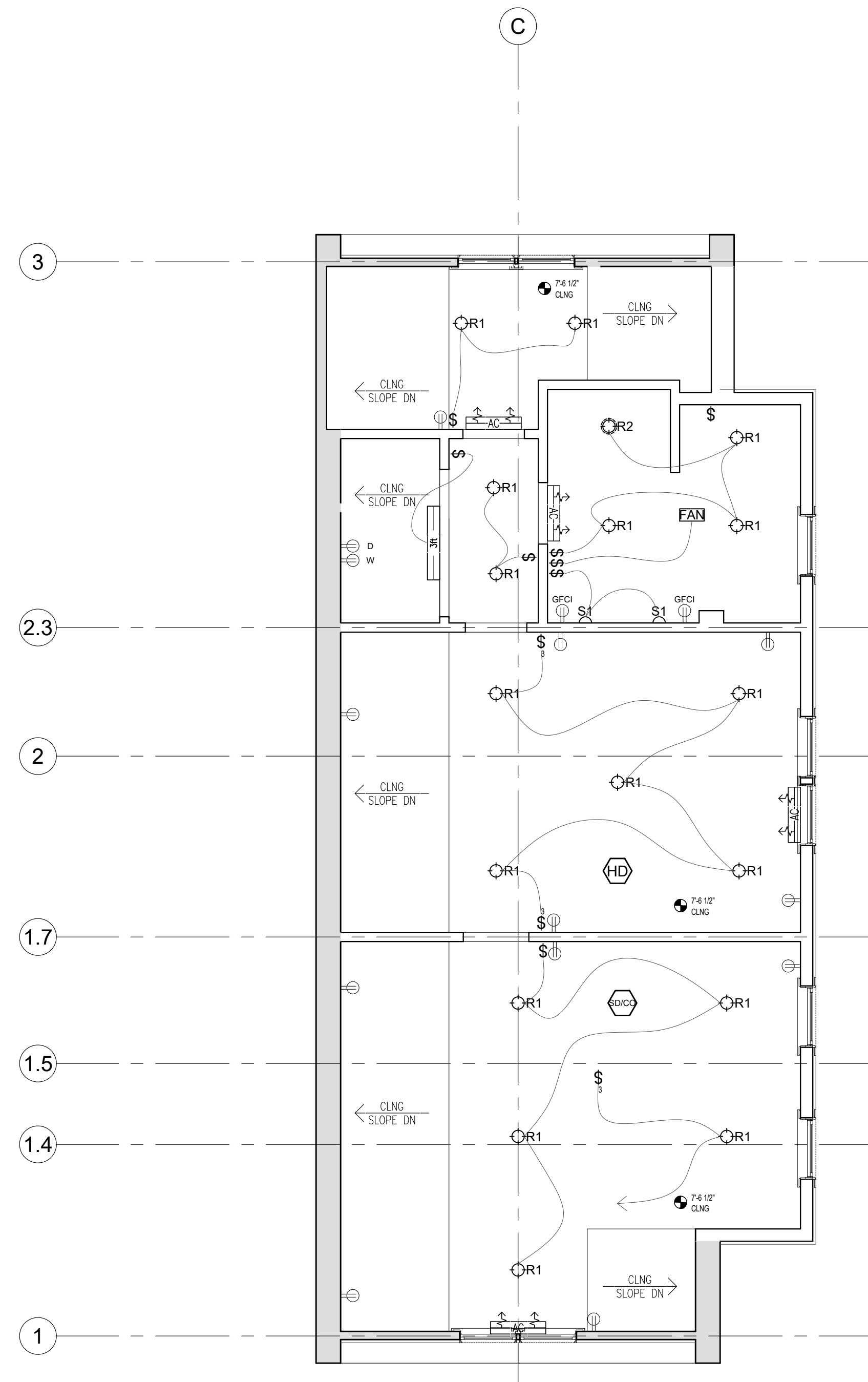
HVAC CONTRACTOR TO DESIGN-BUILD ELECTRICAL MINI-SPLIT SYSTEM FOR HEATING & COOLING ON 2ND FLOOR LEVEL (OPTIONAL).



1 SECOND FLOOR REFLECTED CEILING PLAN  
1/4"=1'-0"

HVAC NOTE:

HVAC CONTRACTOR TO DESIGN-BUILD ELECTRICAL MINI-SPLIT SYSTEM FOR HEATING & COOLING ON ATTIC LEVEL.



2 ATTIC REFLECTED CEILING PLAN  
1/4"=1'-0"

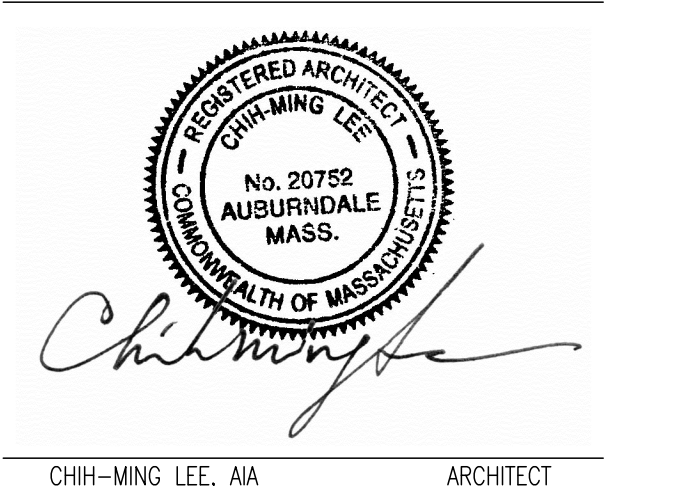
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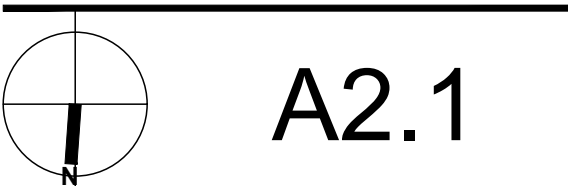
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SECOND FLOOR & ATTIC  
REFLECTED CEILING PLANS

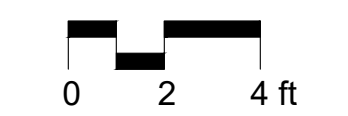
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2 PROPOSED AWEST ELEVATION (SCHEME A)  
1/4"=1'-0"



92'-4 1/4" BSMT CONC.

129'-0" (+/-) EXST. RIDGE

118'-1" ATTIC FIN. FLR.

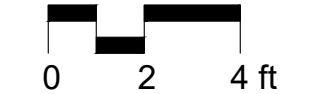
109'-0 3/4" 2ND FIN. FLR.

100'-0" 1ST FIN. FLR.

92'-4 1/4" BSMT CONC.



1 NORTH ELEVATION  
1/4"=1'-0"



NGO RESIDENCE

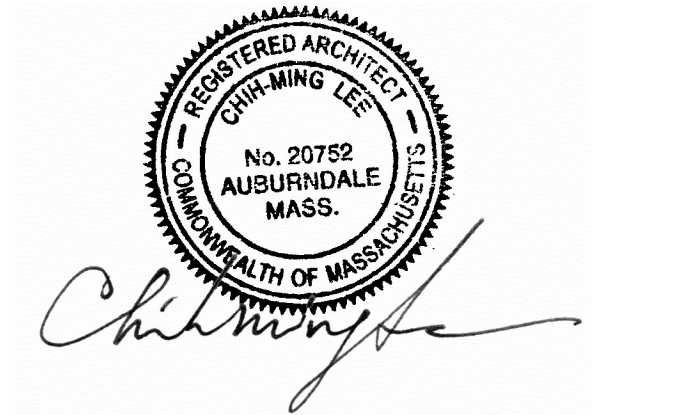
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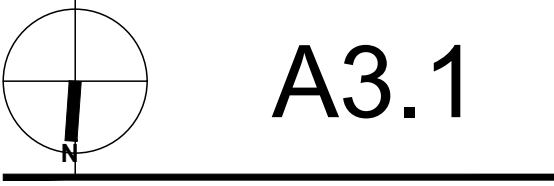
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CHIH-MING LEE, AIA ARCHITECT

BUILDING ELEVATIONS

SCALE: 1/4"=1'-0"  
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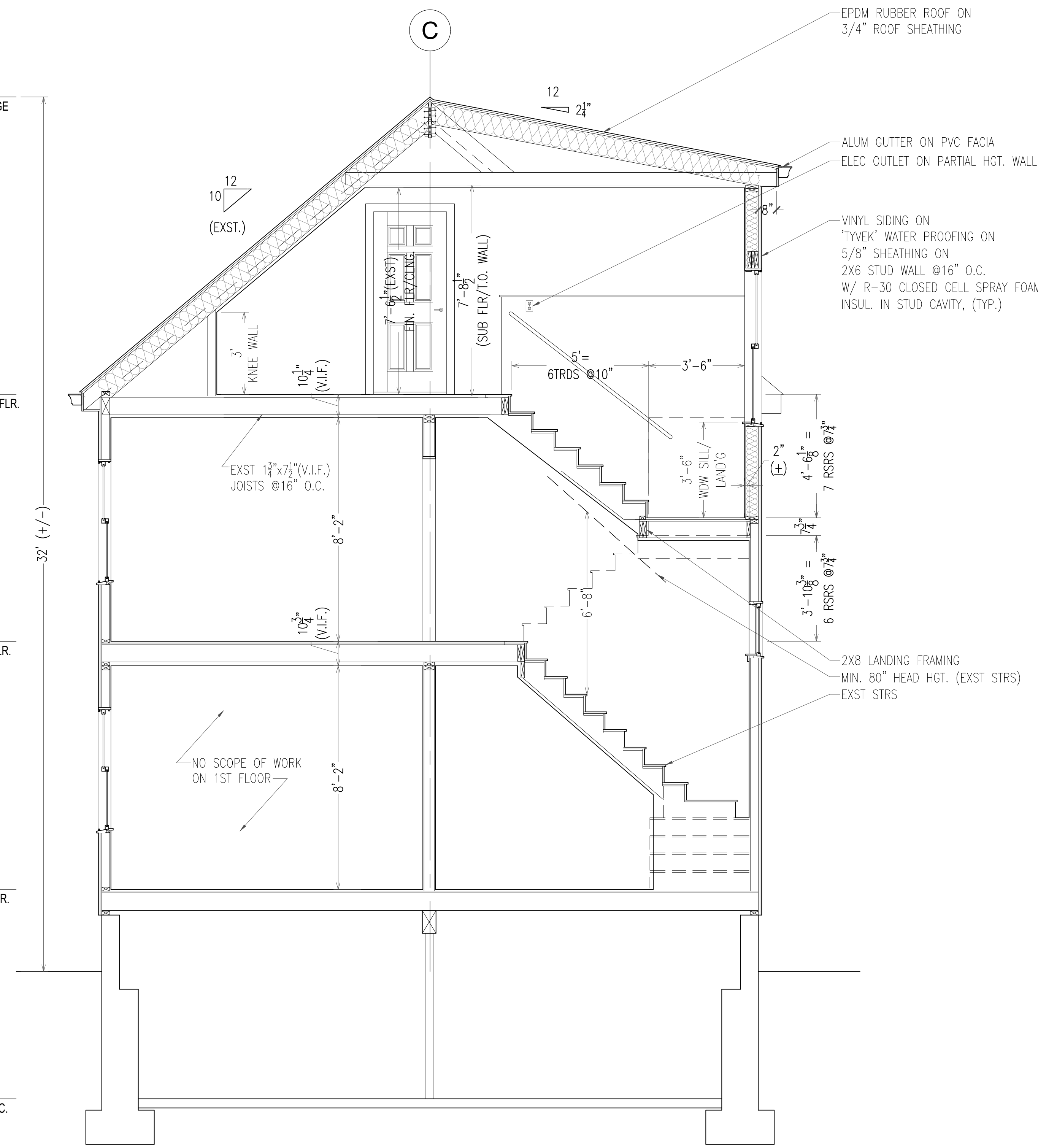
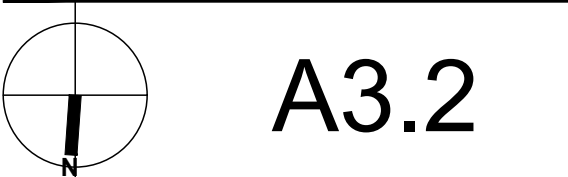
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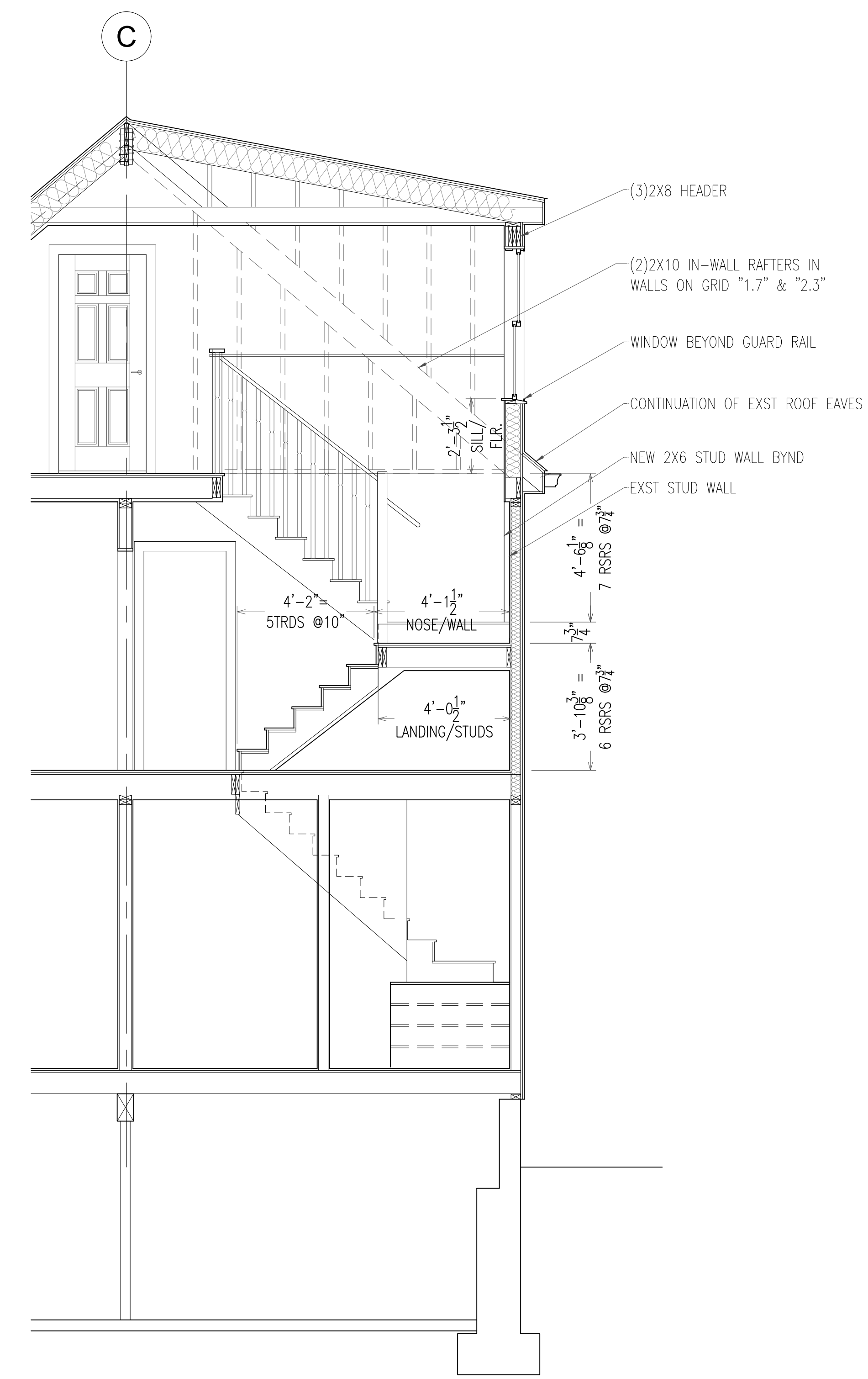
*Chi-Ming Lee*  
 CHI-MING LEE, AIA ARCHITECT

**BUILDING SECTIONS**

SCALE: 3/8"=1'-0"  
 DATE: JULY 5, 2023  
 DRAWN BY: STAFF, CL  
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**5 SECTION @ STAIRS**  
 3/8"=1'-0"



**5A SECTION @ STAIRS**  
 3/8"=1'-0"





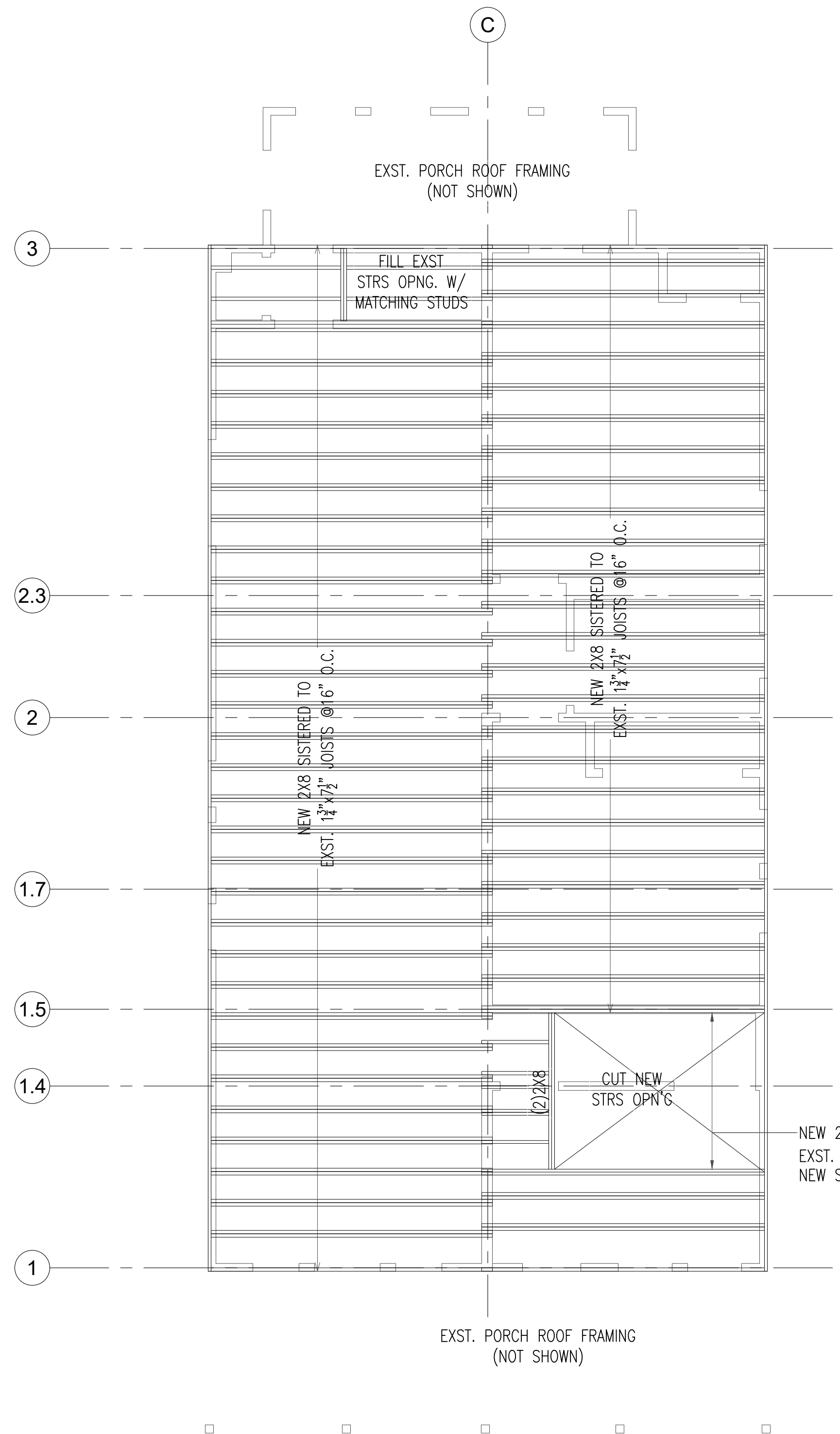
ARCHITECT:  
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**FRAMING NOTES:**

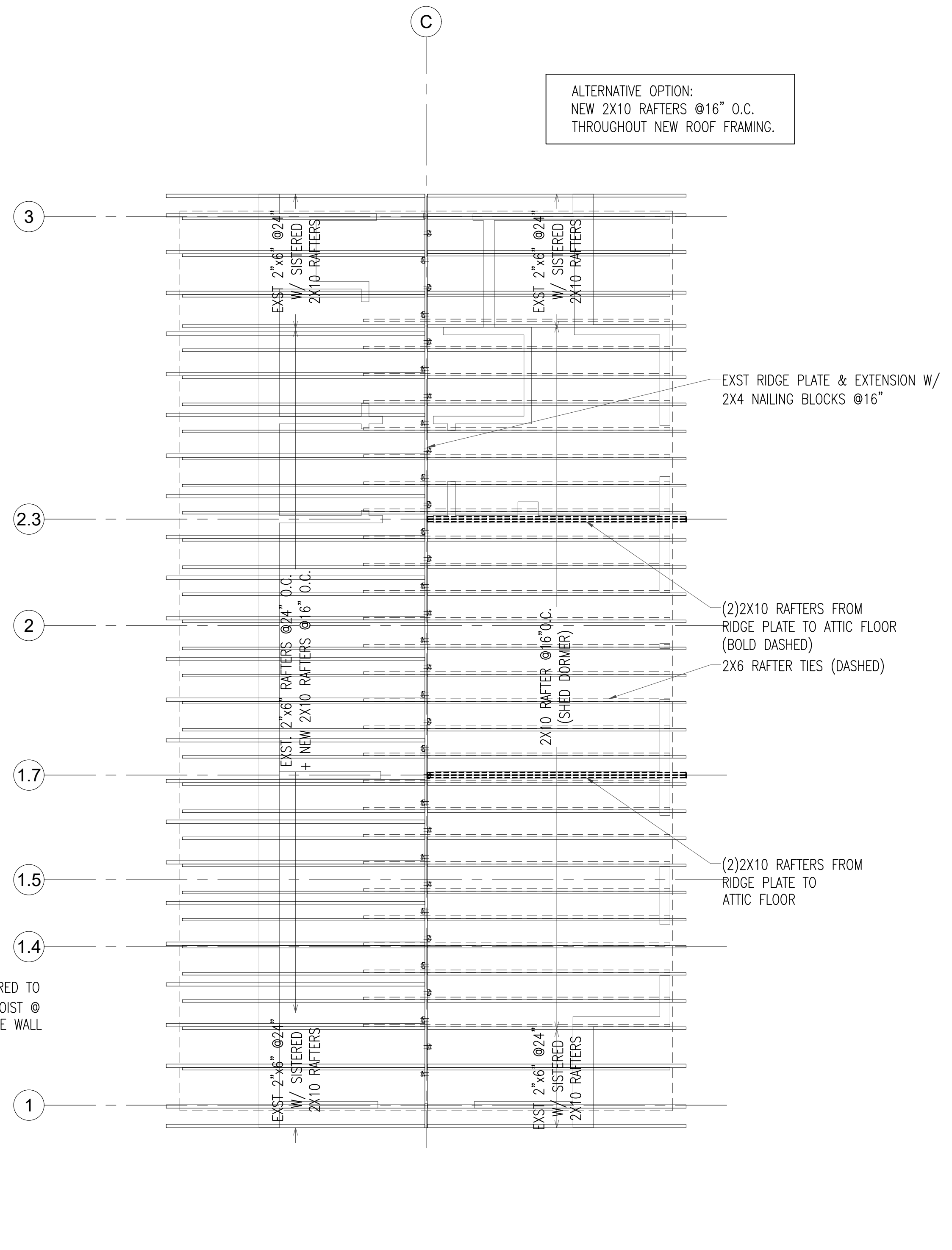
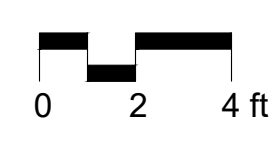
- ALL FRAMING AND CONSTRUCTION SHALL CONFORM TO THE STATE BUILDING CODE 780 CMR 9TH EDITION AND OTHER APPLICABLE CODES AND REGULATIONS.
- ALL WOOD FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (OR BETTER) W/ THE FOLLOWING MINIMUM GRADES:  
 (A) JOISTS (U.N.O.), RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS, SOLID WOOD POST, AND LINTELS: NO.2 OR BETTER (U.N.O.).  
 (B) SILLS, PLATES, BLOCKING & NAILERS: STUD GRADE.
- WOOD SITS BENEATH ALL INTERIOR/EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER & MOISTURE SHALL BE GRADE #2 DOUGLAS-FIR, HEM-FIR OR BETTER, PRESSURE TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS:  
 a. DECKING, RAILINGS, JOISTS, AND BEAMS MUST BE TREATED TO A CATEGORY UC3B.  
 b. POSTS AND OTHER WOODS LOCATED ON, IN OR IN CONTACT WITH GROUND MUST BE A CATEGORY UC4B.  
 c. ANY WOOD LESS THAN 6 INCHES ABOVE GROUND OR IN CONTACT WITH CONCRETE MUST BE A CATEGORY UC4A.
- ALL NAILS USED TO FASTEN THE DECK WOODS SHALL BE COMMON GALVANIZED OR BETTER.
- ALL ENGINEERED LUMBER TO BE SPECIFIED AND SIZED BY LUMBER MANUFACTURER. ALL BEARING LENGTH OF LVL'S AND NAILING, FASTENING SCHEDULE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL HEADERS TO BE 2X10 WITH 1/2" CDX PLYWOOD SPACER UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL SUB-FLOOR TO BE 3/4" T&G PLYWOOD, GLUED AND SCREWED TYP.
- CONTRACTOR TO VERIFY ALL FRAMING ELEVATION PRIOR TO SETTING TOP PLATES, TYP.
- PROVIDE HEAVY DUTY SIMPSON JOIST HANGER AT ALL BEAMS, FLOORS, AND DECK CONNECTIONS.
- PROVIDE HURRICANE CLIPS AT ALL ROOF TO WALL INTERSECTIONS AND FLOOR TO FLOOR INTERSECTIONS.
- PLYWOOD SHEETS MUST BE CONTINUOUS FROM SILL TO PLATE PER FRAMING REQUIREMENTS FOR HIGH WIND ZONES AND LARGE WALL OPENINGS.
- ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD OR CONCRETE MUST BE HOT-DIPPED GALVANIZED STEEL.
- PROVIDE SOLID BLOCKINGS AT MID-SPAN OF ALL FLOOR JOIST SPANS AND AT ALL CORNER WALLS.
- ALL BEARING POSTS MUST ALIGN WITH BEAMS BELOW DOWN TO FOUNDATIONS/ FOOTINGS.
- ALL COLLAR TIES TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE GENERAL WALL BLOCKINGS FOR ALL HANDRAILS, TOILET ACCESSORIES, MILLWORK AND OTHER MISC. ITEMS, TYP.
- CUTTING, NOTCHING, OR DRILLING THROUGH FLOOR & ROOF FRAMING MEMBERS TO CONFORM TO BUILDING CODE FOR ALLOWABLE PARAMETERS.

**POST SYMBOLS ON PLANS**

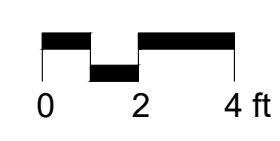
	UP & DOWN
	UP ONLY
	DOWN ONLY
	BEAM/HEADER (FLUSH)
	BEAM/HEADER (DROPPED)
	SHEAR WALL
	HOLD-DOWN
	JOIST HANGER



**1 ATTIC FRAMING PLAN**  
 1/4"=1'-0"



**2 ROOF FRAMING PLAN**  
 1/4"=1'-0"



ALTERNATIVE OPTION:  
 NEW 2X10 RAFTERS @16" O.C.  
 THROUGHOUT NEW ROOF FRAMING.

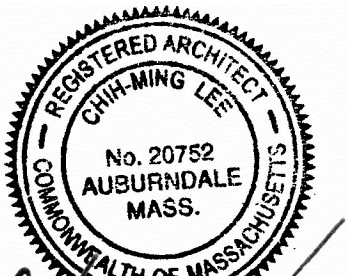
**NGO RESIDENCE**

TWO FAMILY ADDITION  
 50 Clifton Street  
 Cambridge, Massachusetts 02140

DRAWING GENERAL NOTES:  
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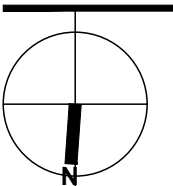
Date	Notes
7/5/2023	PERMIT SET



*Chi-Ming Lee*  
 ARCHITECT

**FRAMING NOTES & ATTIC/  
 ROOF FRAMING PLANS**

SCALE: 1/4"=1'-0"  
 DATE: JULY 5, 2023  
 DRAWN BY: STAFF, CL  
 CHECKED BY: CL



**A4.1**

# NGO RESIDENCE

## TWO FAMILY ADDITION

50 Clifton Street

Cambridge, Massachusetts 02140

CITY OF CAMBRIDGE  
INSPECTIONAL SERVICES

2023 NOV -6 P 2:43

CONSTRUCTION DOCUMENTS  
**ZONING REVIEW**

ARCHITECT:  
OoDD Architects Limited Liability Company  
P. O. Box 66001 Newton, Massachusetts 02466  
PH: 617.553.9428 EMAIL: OoDDAr@gmail.com

**PROJECT DESCRIPTION:**

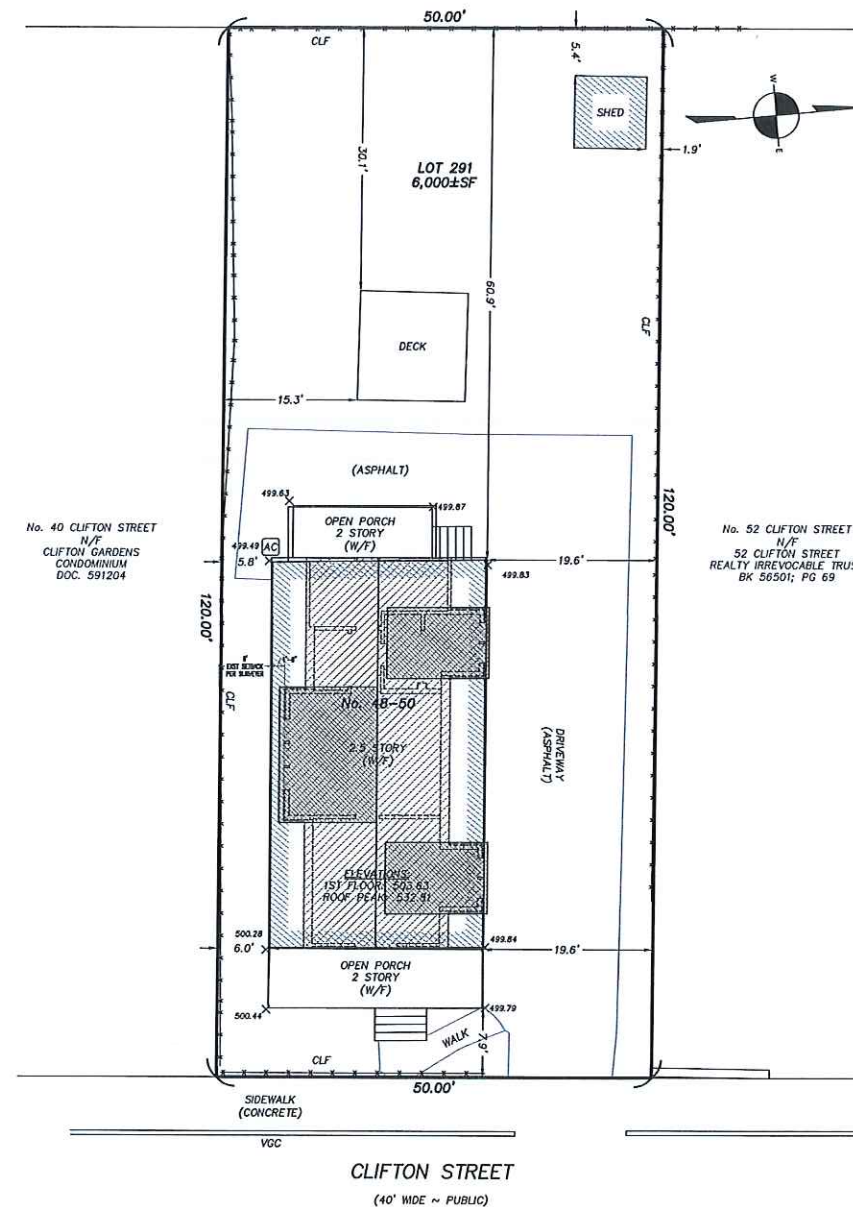
- THIS PROJECT IS A DORMER ADDITION ON THE EXISTING ATTIC LEVEL TO CREATE ADDITIONAL BEDROOM & A BATHROOM.

**ZONING SUMMARY:**

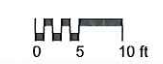
- ZONE: RESIDENTIAL B  
LOT SIZE: 5,999 S.F.  
F.A.R.: 0.5 (5,000 S.F.)/0.35 (5,000 S.F.)  
MAX. GROSS FLOOR AREA = 5,000x0.5 + 999x0.35 = 2,850 S.F.
- |  | REQ'D      | EXISTING            | PROPOSED               |
|--|------------|---------------------|------------------------|
| 2. LOT SIZE                            | 5,000 S.F. | 5,999 S.F. (RECORD) | 5,999 S.F.             |
| 3. FRONT YARD                          | 15 FT      | 7.9 FT              | NO CHANGE              |
| 4. SIDE YARD                           | 7.5 FT     | 6 FT/19.6 FT        | NO CHANGE              |
| 5. REAR YARD                           | 25 FT      | 60.9 FT             | NO CHANGE              |
| 6. HEIGHT                              | 35 FT      | 32 FT(+/-)          | 32 FT(+/-) NO CHANGE   |
| 7. OPEN SPACE                          | 40% (MIN.) | SEE SURVEY          | NO CHANGE              |
| 7. F.A.R.                              | 0.5        | 0.54                | 0.57                   |
| GROSS FLOOR AREA                       | 2,850 S.F. | 3,233 S.F.          | 3,424 S.F.             |
| 1ST FLOOR                              |            | 1,100 S.F.          | 1,100 S.F. (NO CHANGE) |
| 2ND FLOOR                              |            | 1,100 S.F.          | 1,100 S.F. (NO CHANGE) |
| FINISHED ATTIC (RAFTER 5'+ ABOVE FLR.) |            | 479 S.F.            | 712/670 S.F.           |
| BASEMENT, FINISHED                     |            | 0 S.F. *            | 0 S.F. *               |
| BASEMENT                               |            | 0 S.F. *            | 0 S.F. *               |
| PORCH, ENCLOSED                        |            | 204 S.F.            | 204 S.F.               |
| PORCH, OPEN                            |            | 350 S.F.            | 350 S.F.               |
- (\* NOTE: CELLAR'S CEILING HEIGHT MEASURED FROM FLOOR TO B.O. JOISTS IS LESS THAN 7-FT.)

**DRAWING LIST:**

- A0.1 PROJECT DESCRIPTION, ZONING SUMMARY & SITE PLAN
- A0.2 EXISTING BASEMENT & FIRST FLOOR DEMOLITION PLANS
- A0.3 EXISTING SECOND FLOOR & ATTIC DEMOLITION PLANS
- A1.1 PROPOSED FIRST & SECOND FLOOR PLANS
- A1.2 PROPOSED ATTIC & ROOF PLANS
- A3.1 EXISTING/ PROPOSED BUILDING ELEVATIONS
- A3.2 EXISTING/ PROPOSED BUILDING ELEVATIONS
- A3.3 EXISTING/ PROPOSED BUILDING ELEVATIONS
- A3.4 BUILDING SECTIONS



1 SITE PLAN  
1/10"=1'-0"



NGO RESIDENCE  
TWO FAMILY ADDITION

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PROJECT DESCRIPTION,  
ZONING/CODE SUMMARY,  
SITE PLAN

SCALE: 1/10"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: CL  
CHECKED BY: CL



CONSTRUCTION DOCUMENTS  
ZONING REVIEW

ARCHITECT:  
OoDD Architects Limited Liability Company  
P. O. Box 66001 Newton, Massachusetts 02466  
PH: 617.553.9428 EMAIL: OoDDAr@gmail.com

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TWO FAMILY ADDITION  
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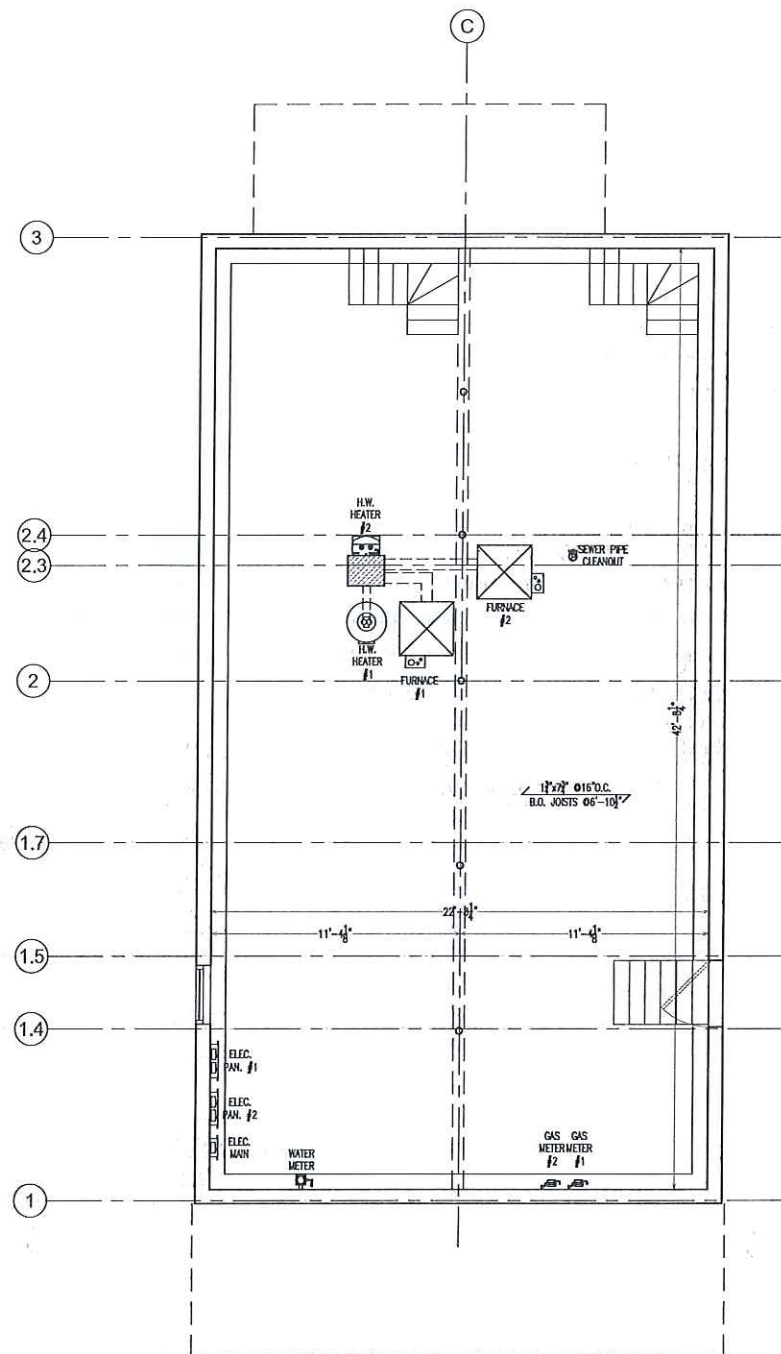
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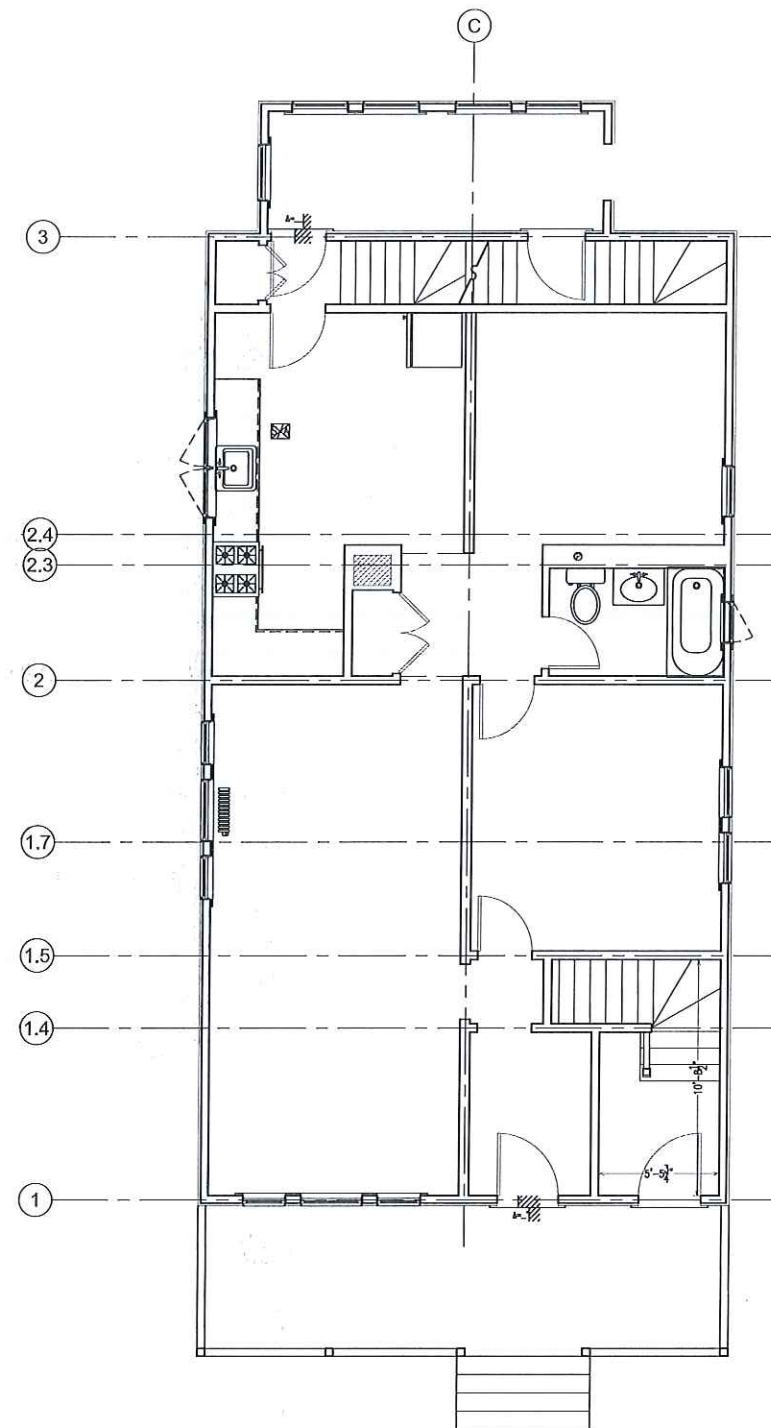
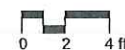
EXISTING BASEMENT &  
FIRST FLOOR DEMOLITION  
PLANS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL

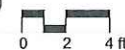
 A0.2



1 EXISTING BASEMENT PLAN  
1/4"=1'-0"



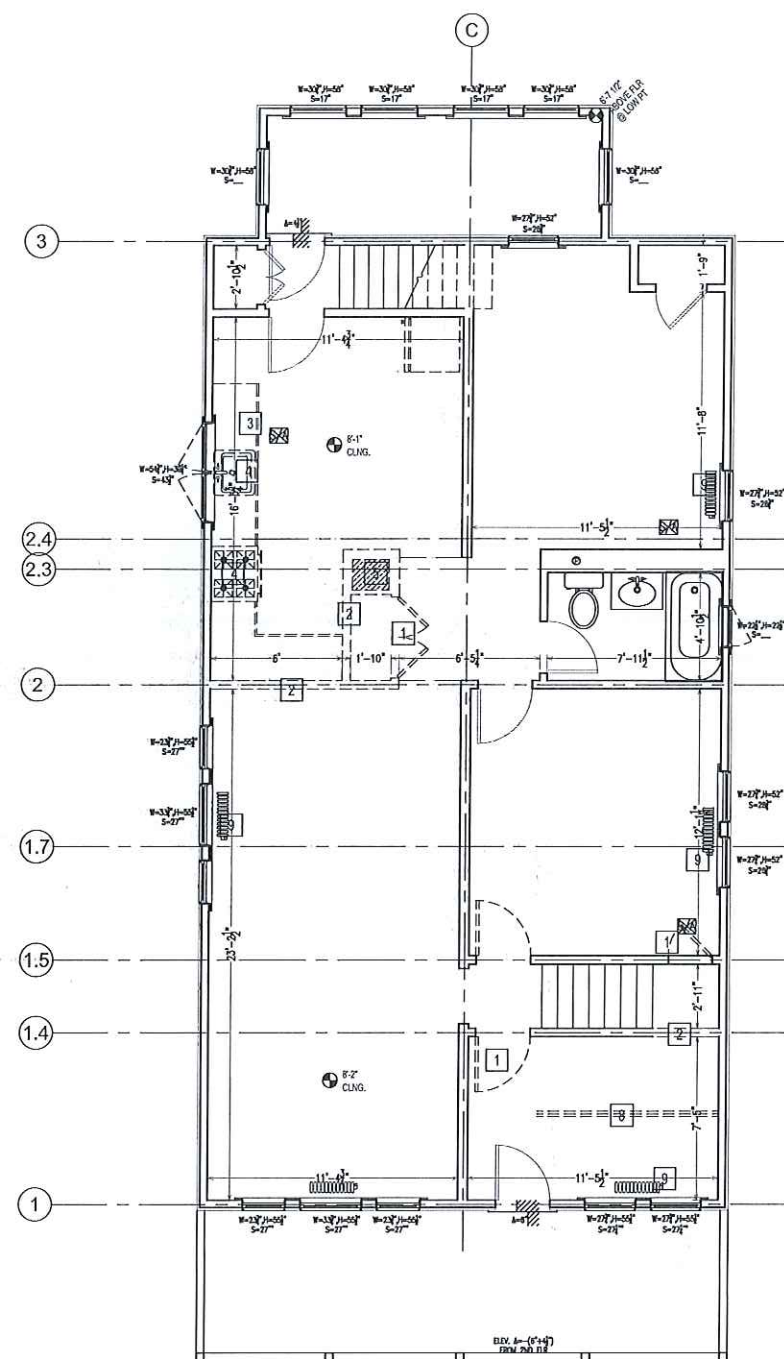
2 EXISTING FIRST FLOOR PLAN  
1/4"=1'-0" (DIMENSIONS ON THIS LEVEL TO BE VERIFIED IN FIELD)



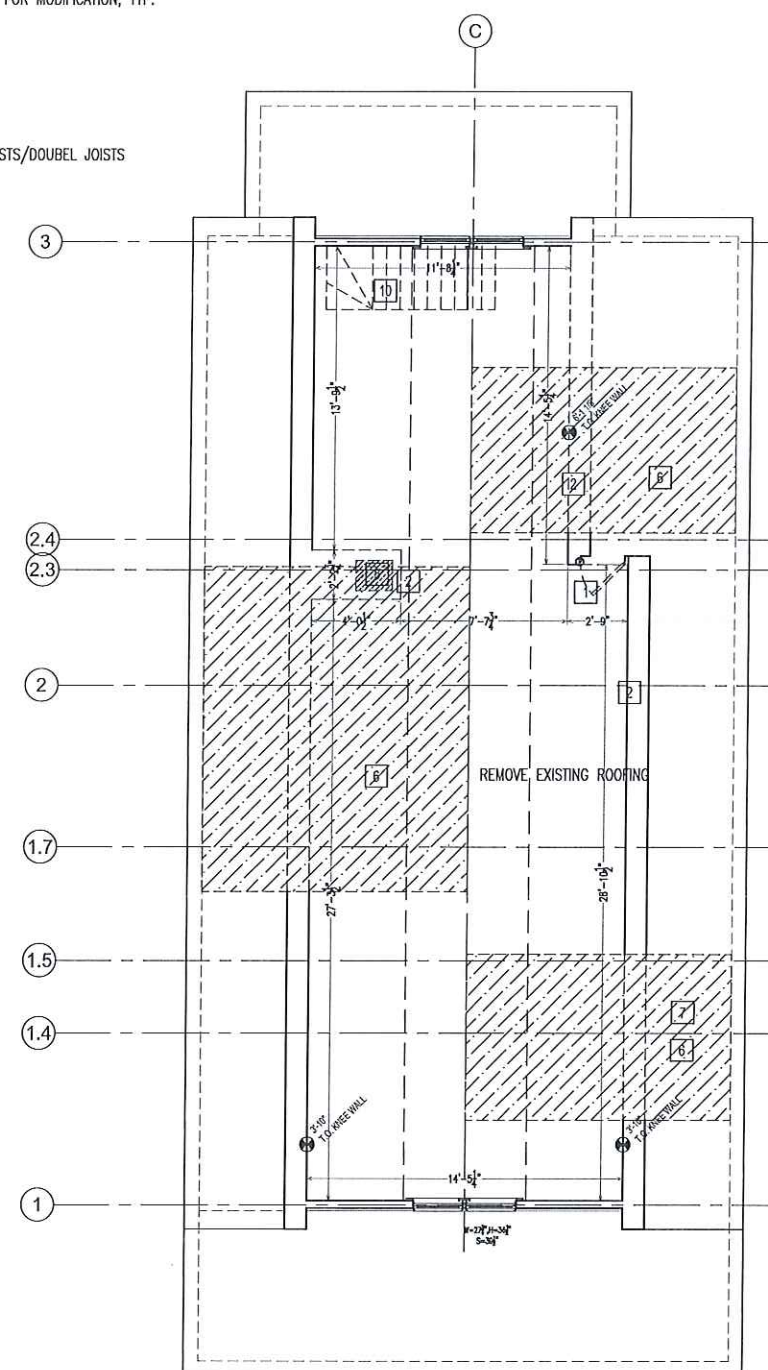
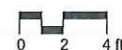
ARCHITECT:  
OoDD Architects Limited Liability Company  
P. O. Box 66001 Newton, Massachusetts 02466  
PH: 617.553.9428 EMAIL: OoDDA@gmail.com

**DEMOLITION NOTES:**

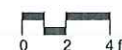
- 1 REMOVE EXISTING DOOR & TRIM
- 2 REMOVE EXISTING PARTITION AS INDICATED
- 3 REMOVE EXISTING CABINETS, TYP.
- 4 REMOVE EXISTING KITCHEN PLUMBING WATER/GAS PIPES. CUT & CAP ALL SERVICES TO STUD/ SUB-FLOOR. SEE PROPOSE PLANS FOR MODIFICATION, TYP.
- 5 REMOVE EXISTING CHIMNEY/ FIREPLACE
- 6 REMOVE EXISTING ROOFING
- 7 CUT/REMOVE EXISTING FLOORING & JOISTS
- 8 REMOVE EXISTING FLOORING TO REINFORCE EXISTING JOISTS/DOUBEL JOISTS (SEE FRAMING PLAN FOR DETAILS)
- 9 REMOVE EXISTING HEATING RADIATOR
- 10 REMOVE EXISTING STAIRS



3 EXISTING SECOND FLOOR PLAN  
1/4"=1'-0"



4 EXISTING ATTIC PLAN  
1/4"=1'-0"



NGO RESIDENCE  
TWO FAMILY ADDITION

50 Clifton Street  
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EXISTING SECOND FLOOR  
& ATTIC DEMOLITION PLANS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL

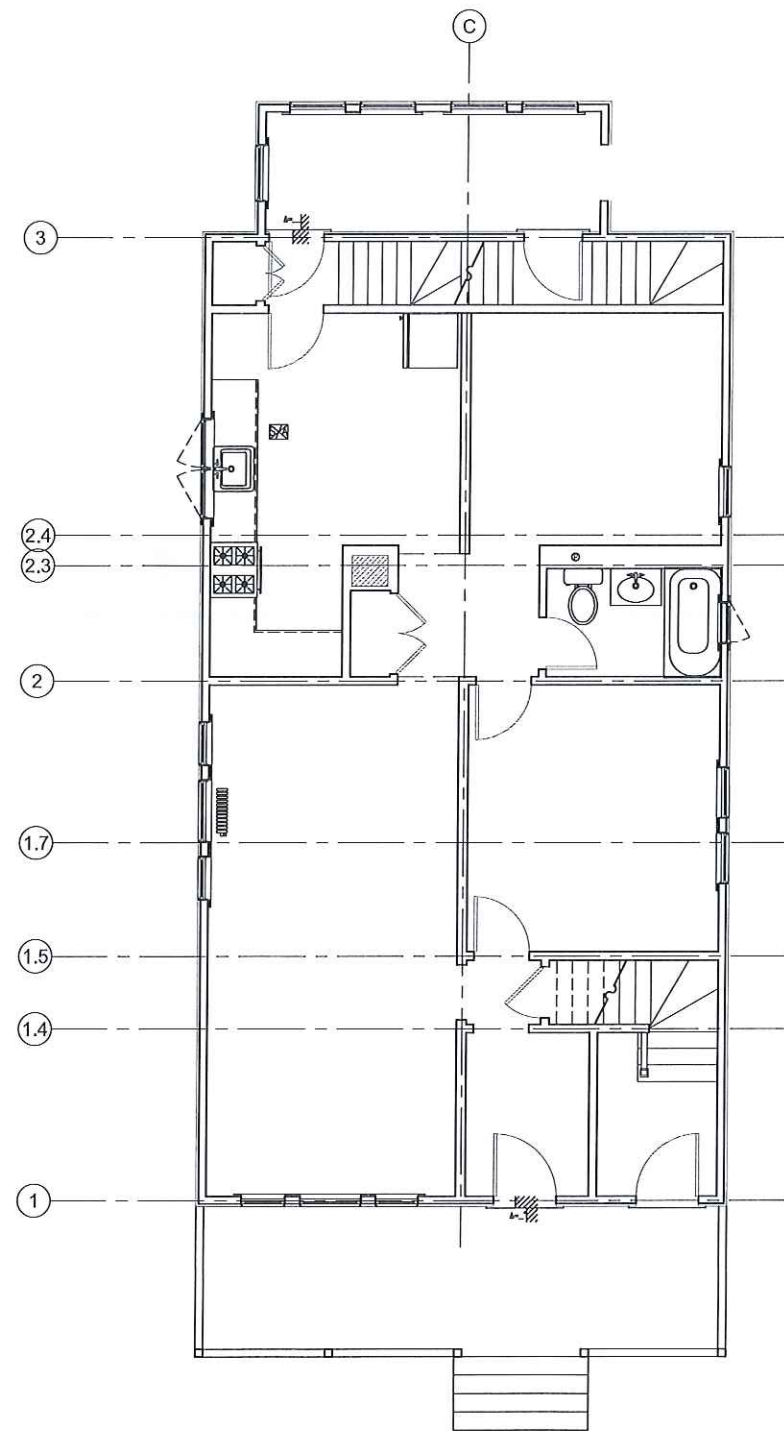


A0.3

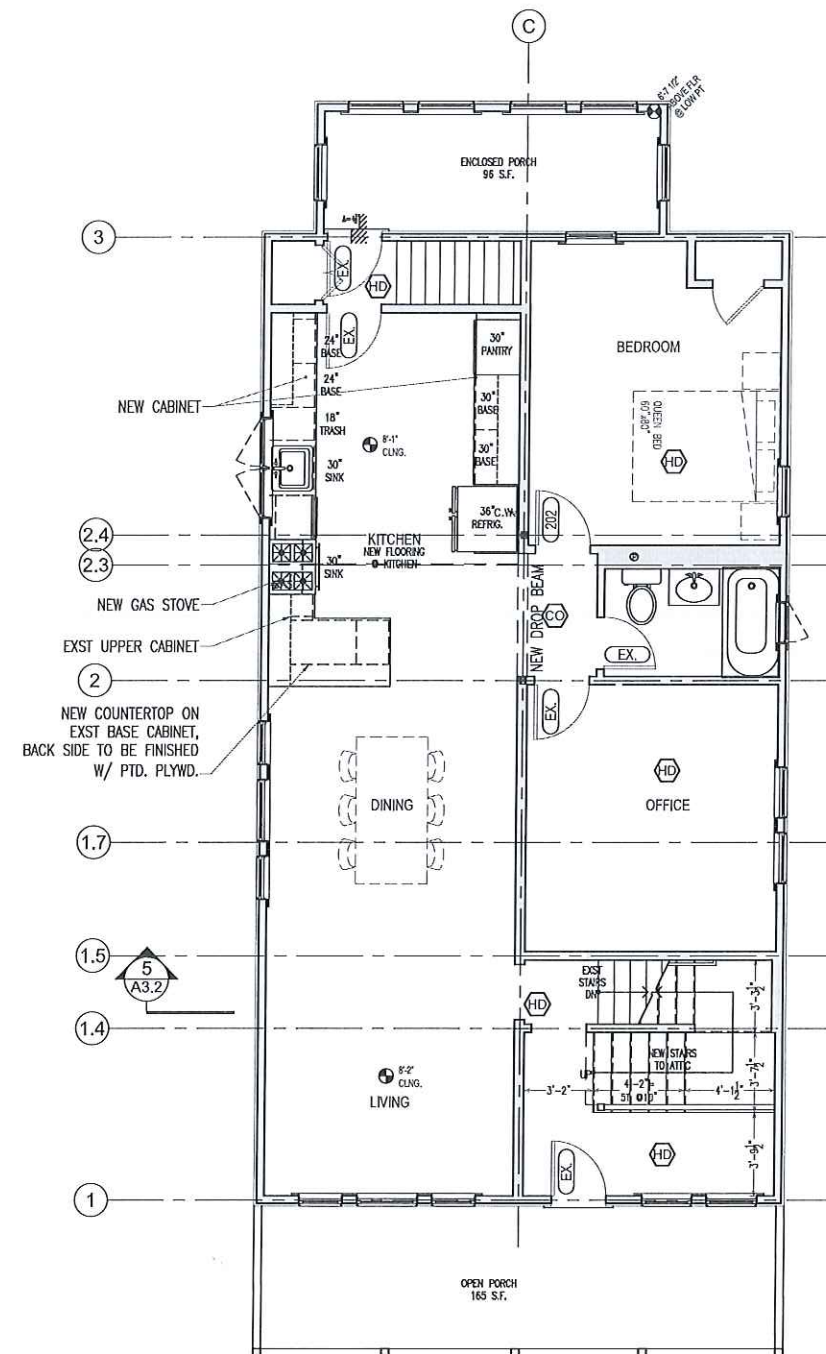


CONSTRUCTION DOCUMENTS  
ZONING REVIEW

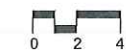
ARCHITECT:  
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P. O. Box 66001 Newton, Massachusetts 02466  
PH: 617.553.9428 EMAIL: OoDDAr@gmail.com



2 PROPOSED FIRST FLOOR PLAN  
1/4"=1'-0" (DIMENSIONS ON THIS LEVEL TO BE VERIFIED IN FIELD)



3 PROPOSED SECOND FLOOR PLAN  
1/4"=1'-0"



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PROPOSED FIRST & SECOND FLOOR PLANS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL



A1.1

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PH: 617.553.9428 EMAIL: CoDDA@gmail.com

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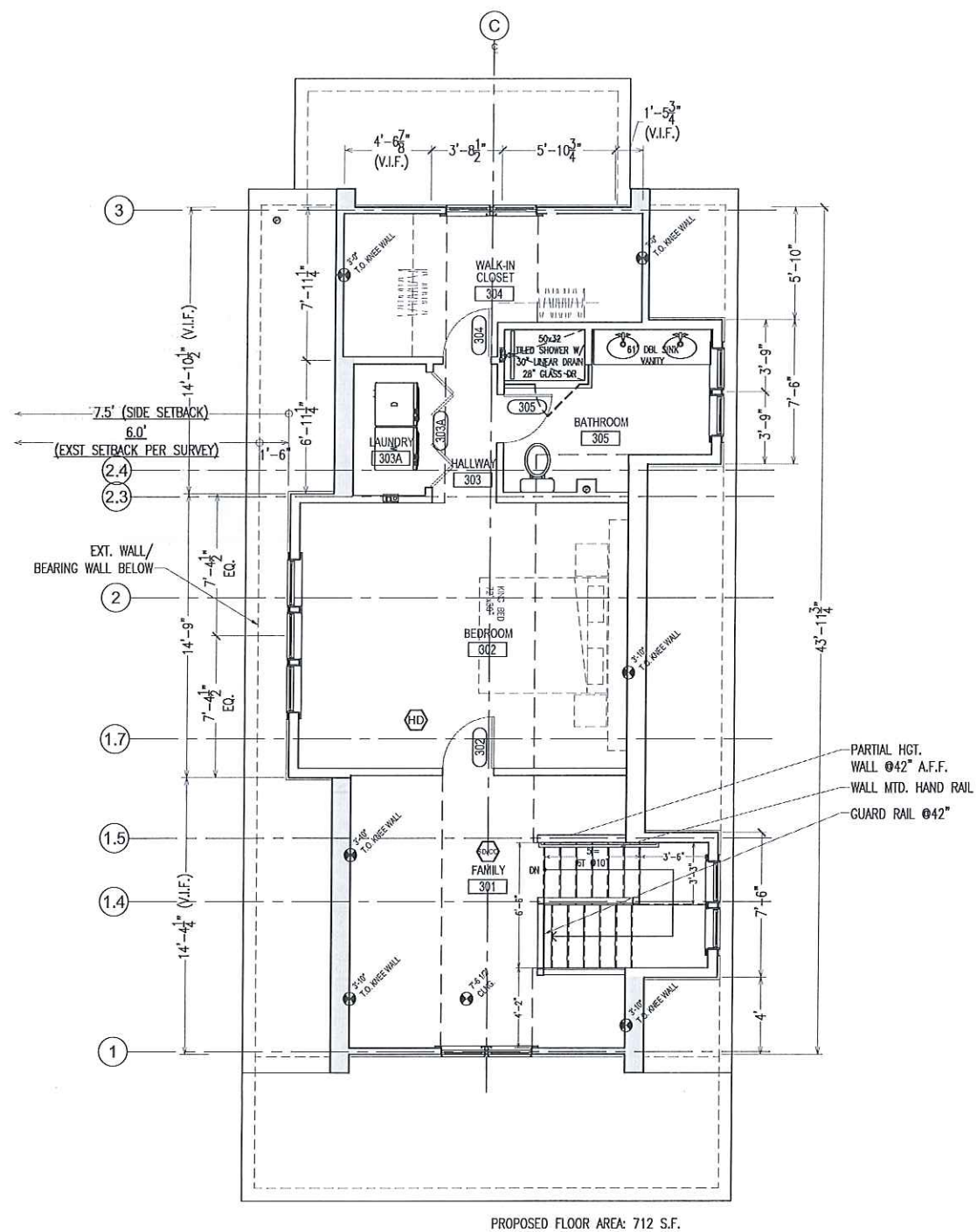
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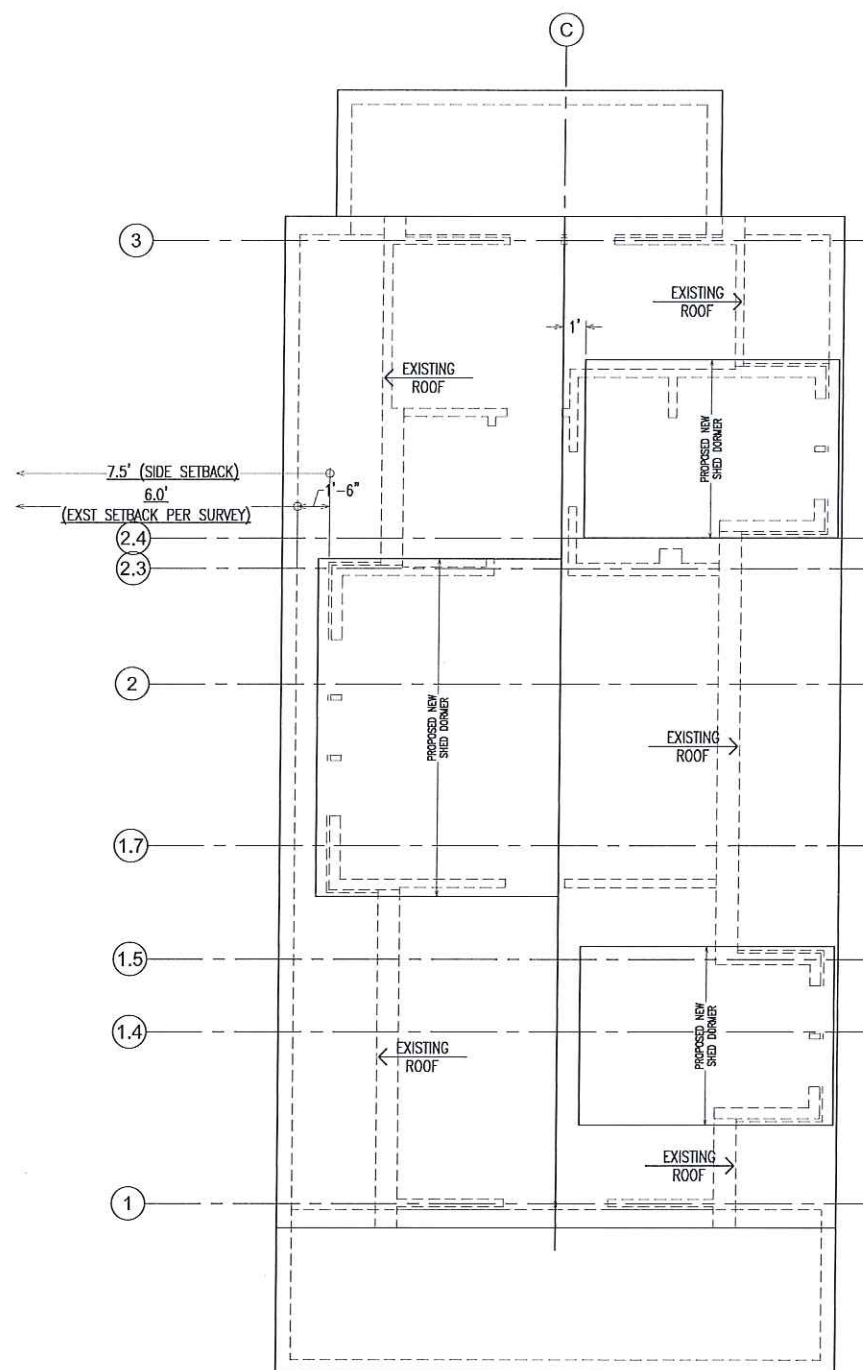
PROPOSED ATTIC & ROOF PLANS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL

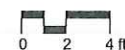
A1.2



4 PROPOSED ATTIC PLAN  
1/4"=1'-0"



2 PROPOSED ATTIC PLAN  
1/4"=1'-0"





CONSTRUCTION DOCUMENTS  
ZONING REVIEW

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EXISTING/ PROPOSED  
BUILDING ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL

 A3.1



1 PROPOSED EAST ELEVATION  
1/4"=1'-0" 

92'-4 1/4" BSMT CONC.

129'-0" (+/-) EXST. RIDGE

118'-1" ATTIC FIN. FLR.

109'-0 3/4" 2ND FIN. FLR.

100'-0" 1ST FIN. FLR.

92'-4 1/4" BSMT CONC.

1A EXISTING EAST ELEVATION  
1/4"=1'-0" 



2 PROPOSED WEST ELEVATION  
1/4"=1'-0" 

92'-4 1/4" BSMT CONC.

129'-0" (+/-) EXST. RIDGE

118'-1" ATTIC FIN. FLR.

109'-0 3/4" 2ND FIN. FLR.

100'-0" 1ST FIN. FLR.

92'-4 1/4" BSMT CONC.

2A EXISTING WEST ELEVATION  
1/4"=1'-0" 





CONSTRUCTION DOCUMENTS  
ZONING REVIEW

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3 PROPOSED NORTH ELEVATION  
1/4"=1'-0"



3A EXISTING NORTH ELEVATION  
1/4"=1'-0"



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EXISTING/ PROPOSED  
BUILDING ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL



A3.2





CONSTRUCTION DOCUMENTS  
ZONING REVIEW

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129'-0" (+/-)  
EXST. RIDGE

118'-1"  
ATTIC FIN. FLR.

109'-0 3/4"  
2ND FIN. FLR.

100'-0"  
1ST FIN. FLR.



92'-4 1/4"  
BSMT CONC.

129'-0" (+/-)  
EXST. RIDGE

118'-1"  
ATTIC FIN. FLR.

109'-0 3/4"  
2ND FIN. FLR.

100'-0"  
1ST FIN. FLR.

4 PROPOSED SOUTH ELEVATION  
1/4"=1'-0"



92'-4 1/4"  
BSMT CONC.

4A EXISTING SOUTH ELEVATION  
1/4"=1'-0"



NGO RESIDENCE  
TWO FAMILY ADDITION

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EXISTING/ PROPOSED  
BUILDING ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL



A3.3



CONSTRUCTION DOCUMENTS  
ZONING REVIEW

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PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

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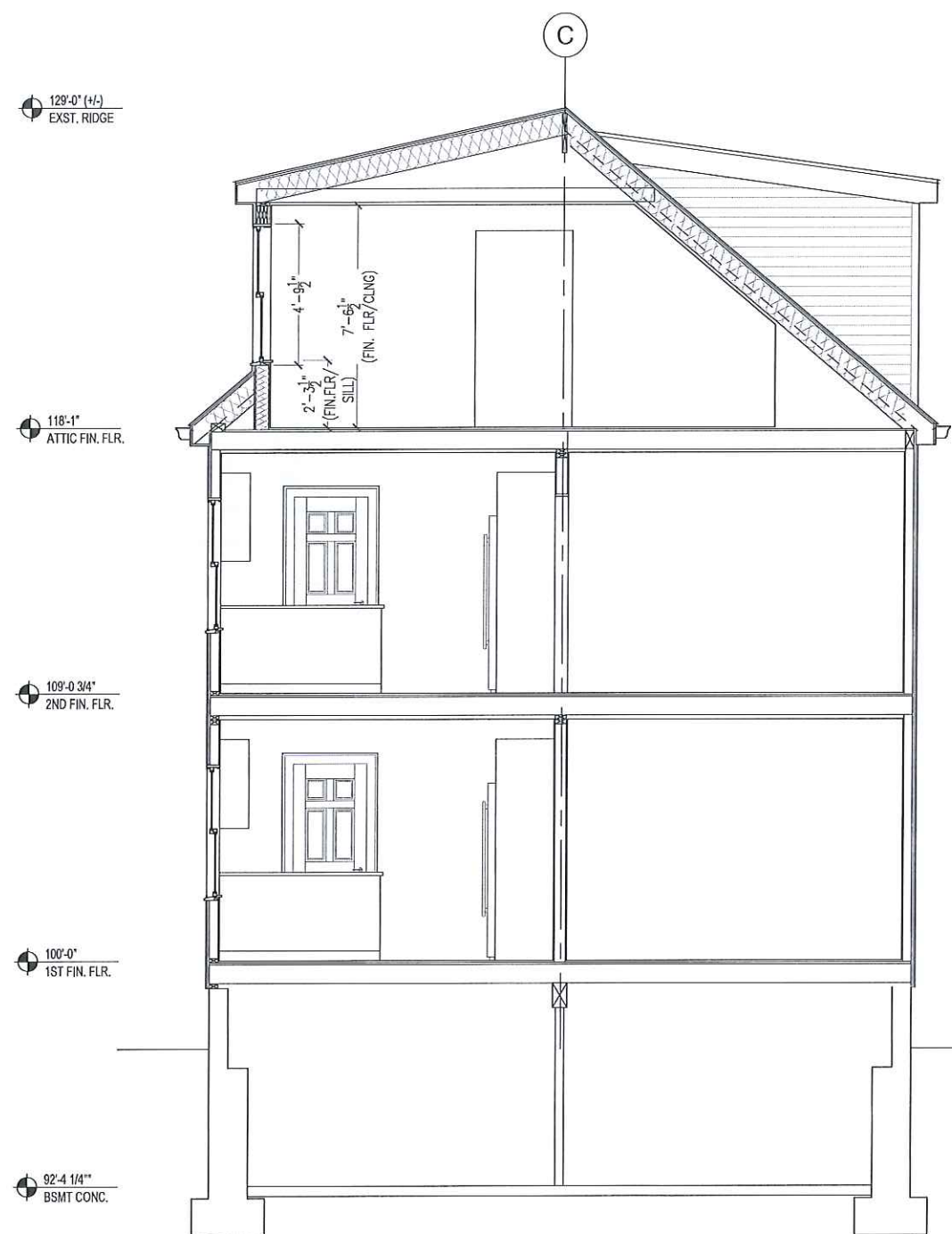
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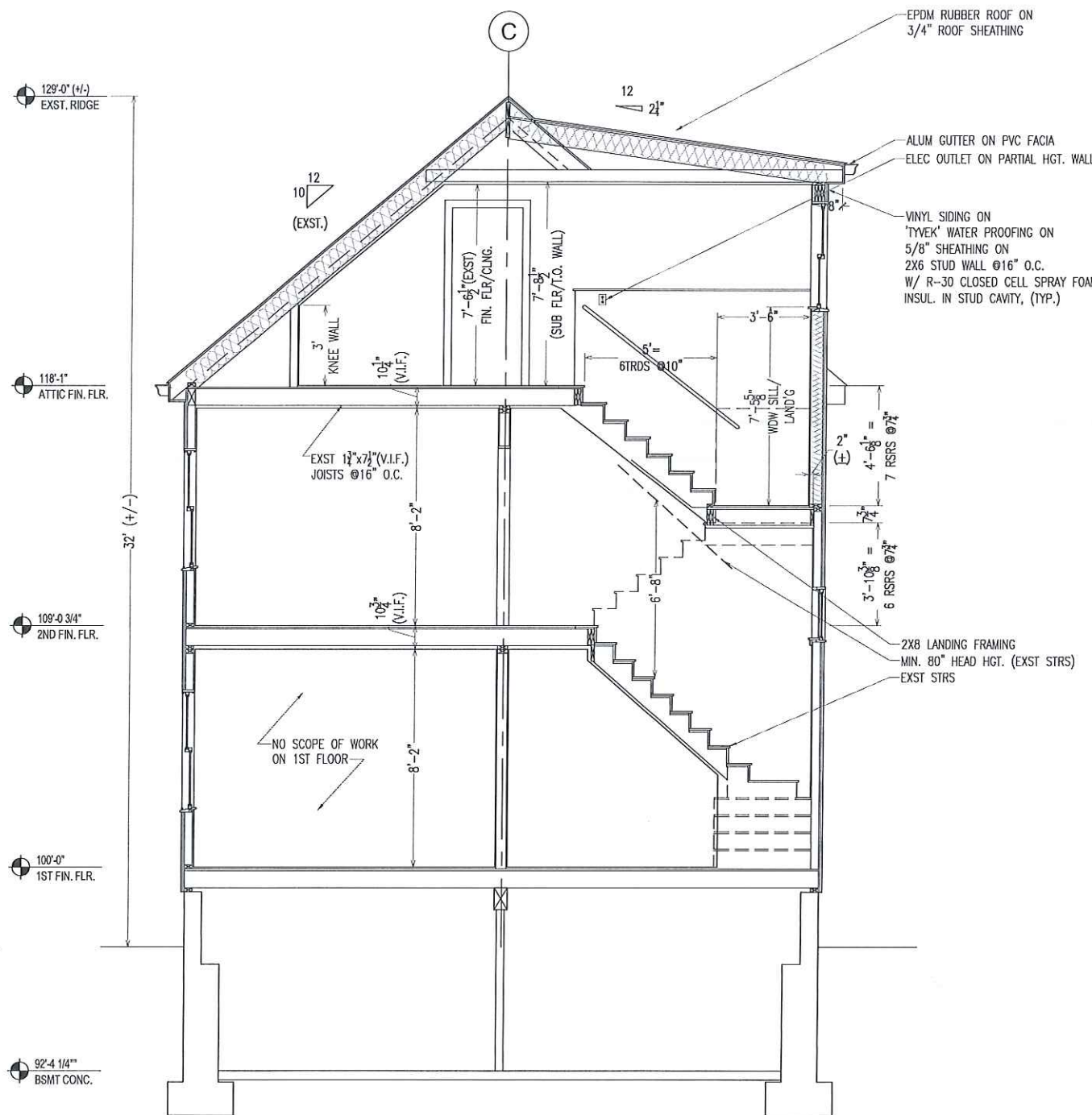
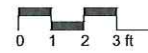
BUILDING SECTIONS

SCALE: 3/8"=1'-0"  
DATE: OCTOBER 23, 2023  
DRAWN BY: STAFF, CL  
CHECKED BY: CL

 A3.4



4 SECTION ATTIC BEDROOM  
3/8"=1'-0"



5 SECTION @ STAIRS  
3/8"=1'-0"



EPDM RUBBER ROOF ON 3/4" ROOF SHEATHING  
ALUM GUTTER ON PVC FACIA  
ELEC OUTLET ON PARTIAL HGT. WALL  
VINYL SIDING ON 'TYVEK' WATER PROOFING ON 5/8" SHEATHING ON 2X6 STUD WALL @16" O.C. W/ R-30 CLOSED CELL SPRAY FOAM INSUL. IN STUD CAVITY, (TYP.)

EXIST 1 1/4" x 7 1/2" (V.L.F.) JOISTS @16" O.C.

NO SCOPE OF WORK ON 1ST FLOOR

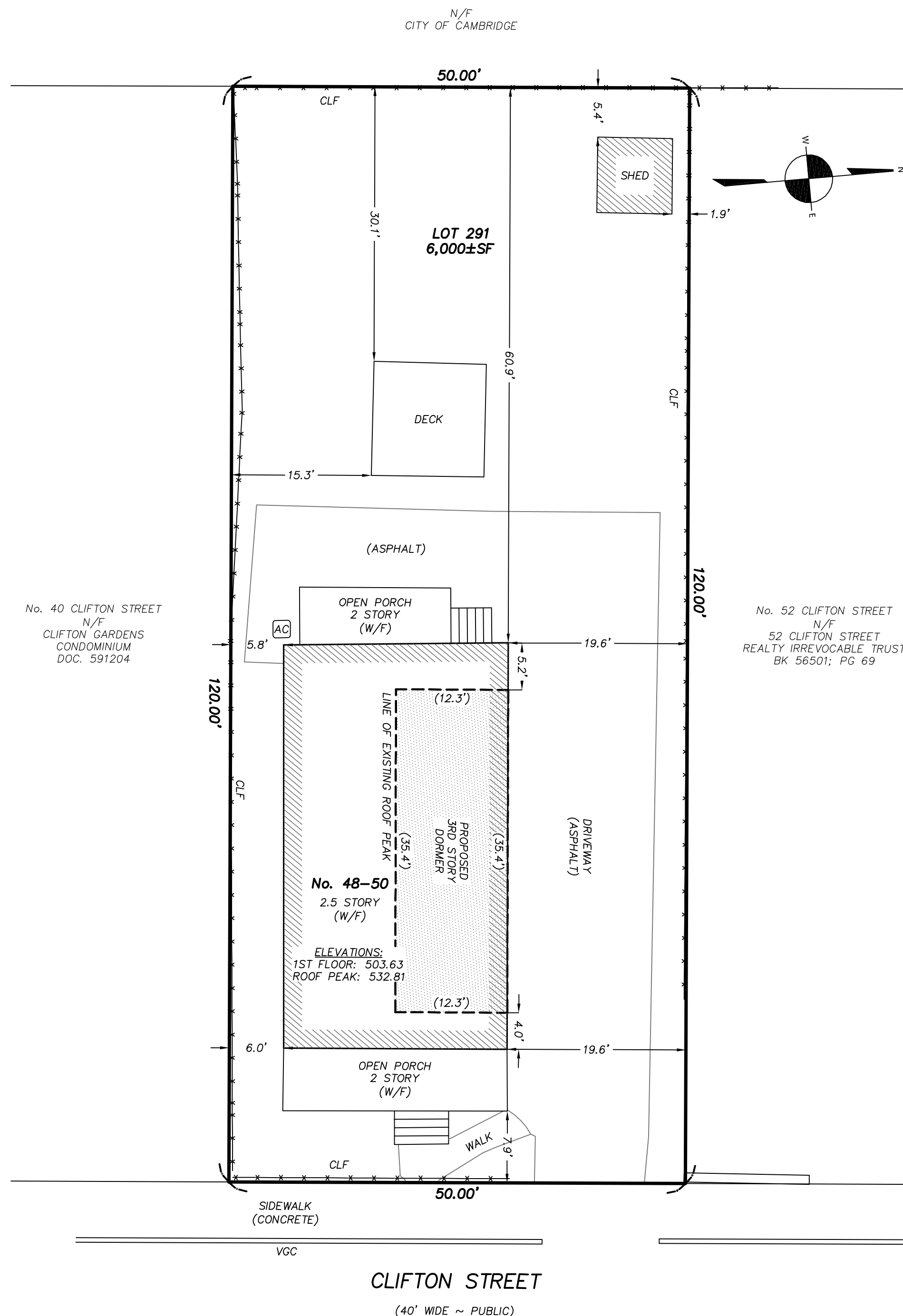
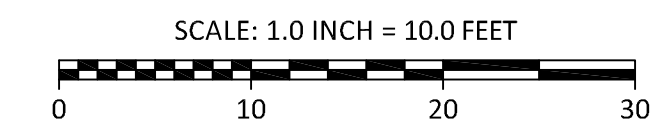
2X8 LANDING FRAMING MIN. 80" HEAD HGT. (EXIST STRS)  
EXIST STRS

**PREPARED FOR:**  
 OWNERS OF RECORD:  
 KIEM FOR NGO  
 LEI JIANG  
 48-50 CLIFTON STREET  
 CAMBRIDGE, MA 02140

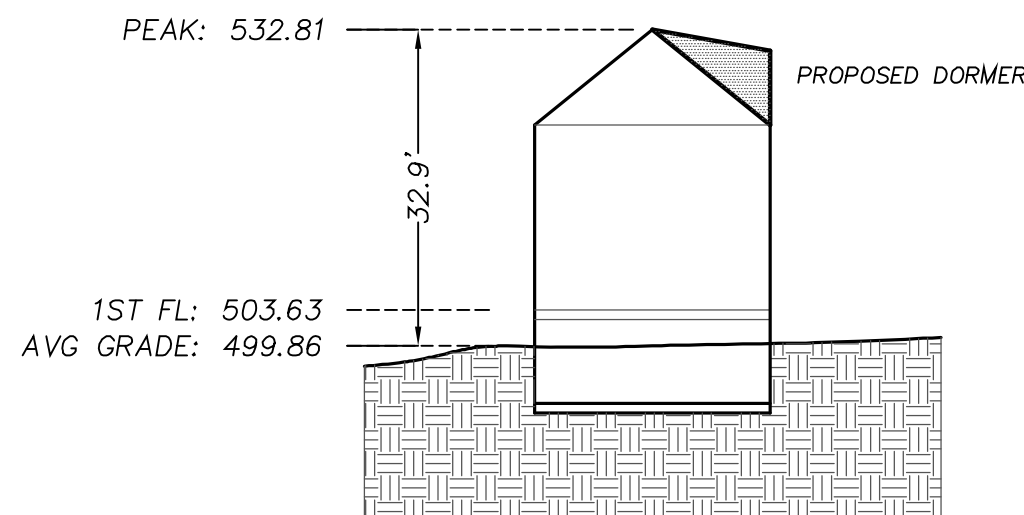
**REFERENCES:**  
 DEED: BK 80624; PG 140  
 PLAN: PL BK 6; PG 37  
 LCC: 29042-B

**NOTES:**  
 PARCEL ID: 269-113  
 V. DATUM: ASSUMED

**CERTIFIED PLOT PLAN**  
 LOCATED AT  
**48-50 CLIFTON STREET**  
**CAMBRIDGE, MA**



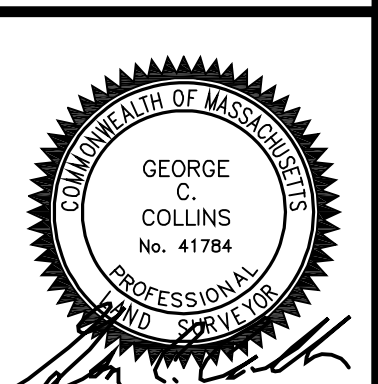
**PROFILE**  
 NOT TO SCALE



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF MAY 11, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS  
 ZONE: X  
 COMMUNITY PANEL: 25017C0419E  
 EFFECTIVE DATE: 06/04/2010

FIELD:	MO
DRAFT:	NPP
CHECK:	GCC
DATE:	05/23/23
JOB #	23-00262



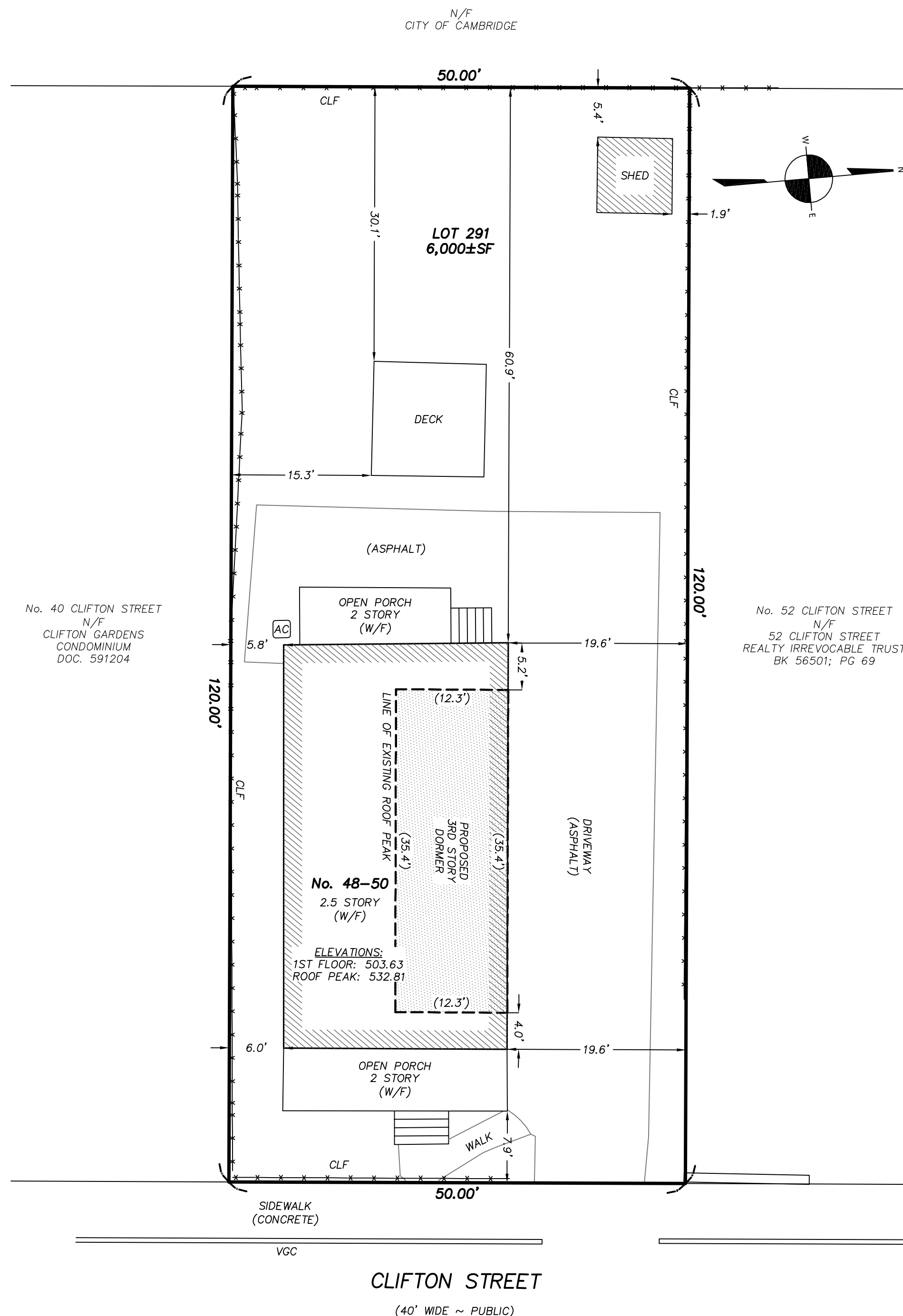
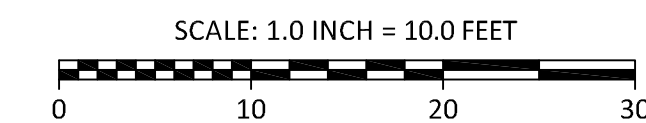


**PREPARED FOR:**  
 OWNERS OF RECORD:  
 KIEM FOR NGO  
 LEI JIANG  
 48-50 CLIFTON STREET  
 CAMBRIDGE, MA 02140

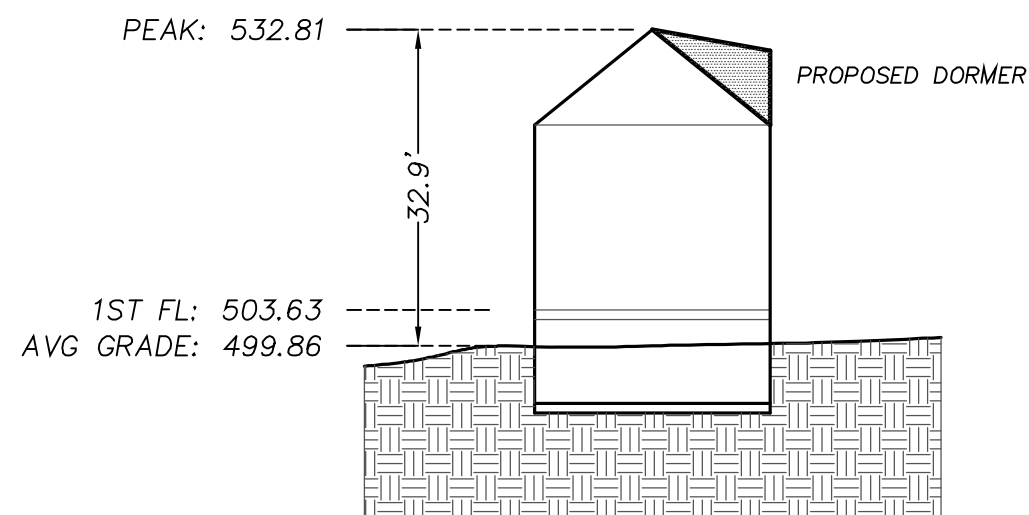
**REFERENCES:**  
 DEED: BK 80624; PG 140  
 PLAN: PL BK 6; PG 37  
 LCC: 29042-B

**NOTES:**  
 PARCEL ID: 269-113  
 V. DATUM: ASSUMED

**CERTIFIED PLOT PLAN**  
 LOCATED AT  
**48-50 CLIFTON STREET**  
**CAMBRIDGE, MA**



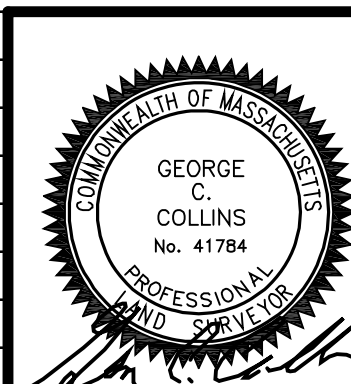
**PROFILE**  
 NOT TO SCALE



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF MAY 11, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

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DRAFT:	NPP
CHECK:	GCC
DATE:	05/23/23
JOB #	23-00262



**48-50 Clifton Street, Cambridge**





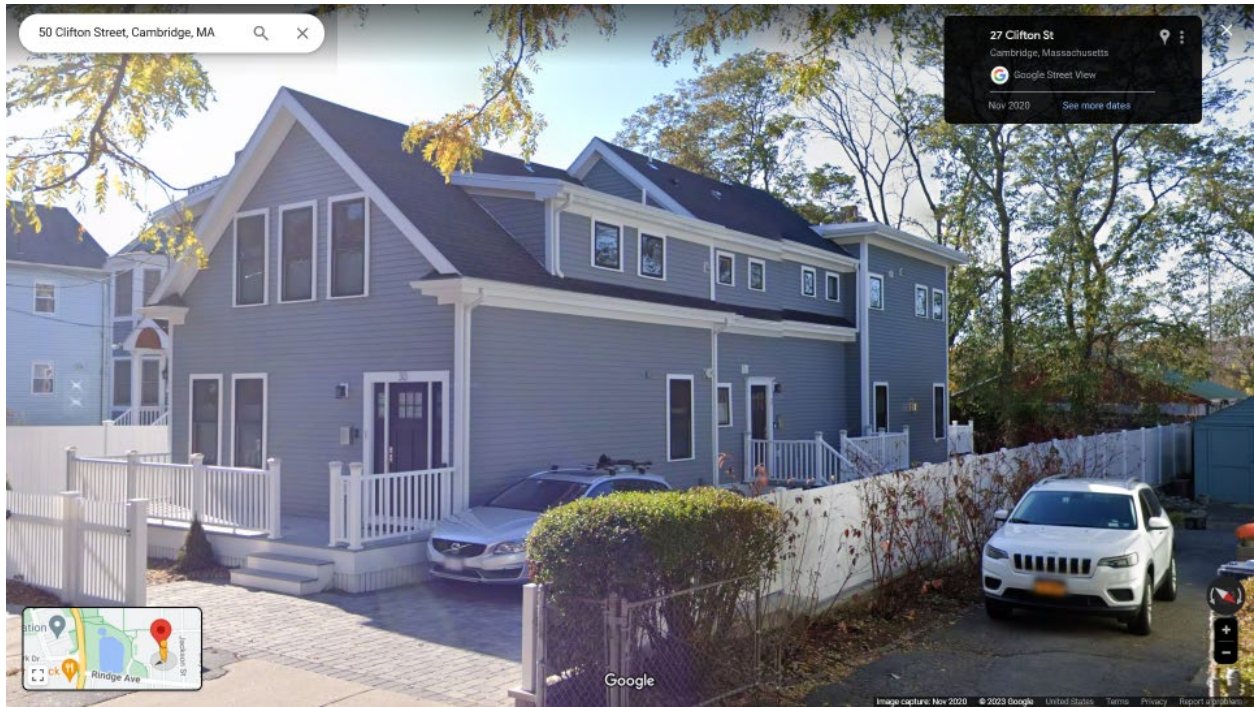




# Houses with Dormers on Clifton Street

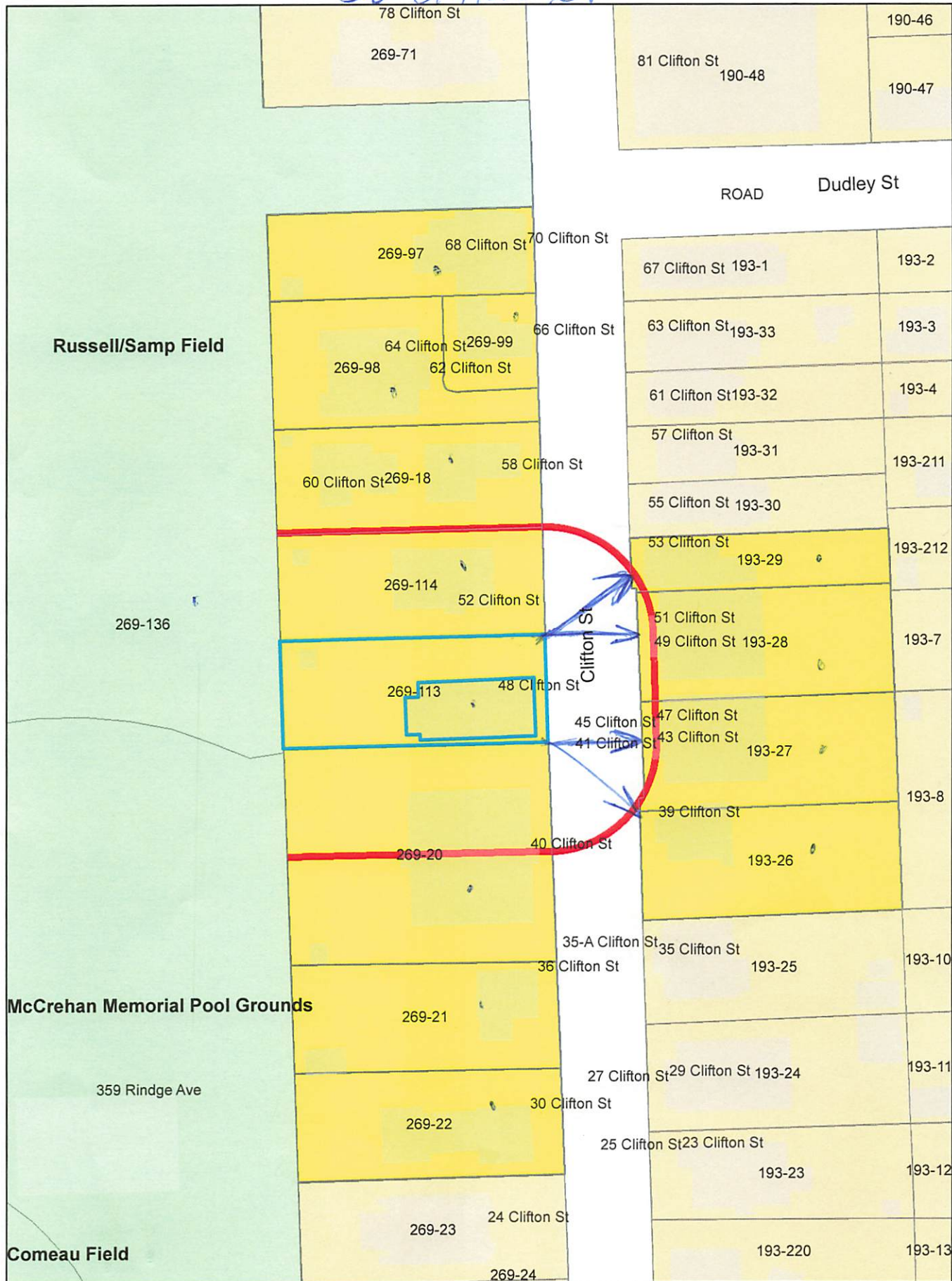








50 Clifton St.



193-26  
SWEENEY, JOHN D.  
39 CLIFTON ST  
CAMBRIDGE, MA 02140

193-29  
SCHULZ, MARGARET F. & NOAH SCHULZ  
53 CLIFTON STREET  
CAMBRIDGE, MA 02140

269-18  
KWOKA, JOHN E. JR  
TRS JOHN E KWOKA JR TR  
58 CLIFTON ST  
CAMBRIDGE, MA 02140

269-20  
SUTTHOFF, JEFFREY & SUTTHOFF, VIRGINIA  
40 CLIFTON ST. #12  
CAMBRIDGE, MA 02140

269-98  
CLIFFORD, CHERYL M. & KIMBERLEY A. LEWIS  
62 CLIFTON ST  
CAMBRIDGE, MA 02140

269-20  
STEAD, CHARLES L. SR.  
598 PUTNAM AVENUE  
CAMBRIDGE, MA 02139

269-114  
DESTIN, PIERRE CHARLES & PHILOMENE  
TRS. OF 52 CLIFTON ST REALTY IRREVOCABLE TR.  
52 CLIFTON ST  
CAMBRIDGE, MA 02140-2429

269-20  
ADOUANE LICIA  
40 CLIFTON STREET - UNIT 22  
CAMBRIDGE, MA 02140

269-136  
CITY OF CAMBRIDGE  
C/O YI-AN HUANG  
CITY MANAGER

269-136  
CAMBRIDGE CITY OF RECREATION DEPT  
51 INMAN ST  
CAMBRIDGE, MA 02139

193-27-28  
9 MARION STREET LLC  
148 OAKLEY RD  
BELMONT, MA 02478

269-20  
LECERF, JEAN-MICHEL &  
SARAH LECERF-GHAFFARI  
22 WATSON STREET  
CAMBRIDGE, MA 02139

269-97  
THEOBALD, DANIEL & DEBORAH THEOBALD  
68 CLIFTON ST  
CAMBRIDGE, MA 02140

269-20  
TUPEK, MICHAEL R. & AMANDA L. WILDING  
11801 CARMEL AVE, NE  
ALBUQUERQUE, NM 87122

269-20  
CASCAP REALTY, INC.  
231 SOMERVILLE AVENUE  
SOMERVILLE, MA 02143

269-20  
KIM, FELICIA MEE SANG  
40 CLIFTON ST, #34  
CAMBRIDGE, MA 02140

269-22  
RESNIKOFF, NATHANIEL  
30 CLIFTON ST, UNIT 1  
CAMBRIDGE, MA 02140

269-20  
JIANG TAO & MING PAN  
293 MARRETT RD  
LEXINGTON, MA 02421

269-20  
SHIN, YE CHAN  
40 CLIFTON ST - UNIT 21  
CAMBRIDGE, MA 02140

*Petitioner*

269-113  
NGO, KIEM FOR & LEI JIANG  
48-50 CLIFTON ST  
CAMBRIDGE, MA 02140

269-21  
FLANAGAN, MARIA J.  
36 CLIFTON STREET  
CAMBRIDGE, MA 02140-2429

269-20  
HAKIM, MOHAMMAD A. & ESMET A.HAKIM TRS,  
THE MOHAMMAD A. HAKIM IRREV TR  
8 ROLFE RD  
LEXINGTON, MA 02420

269-20  
CAMBRIDGE AFFORDABLE HOUSING  
CORPORATION  
362 GREEN STREET  
CAMBRIDGE, MA 02139

269-20  
ZHANG, JEFFREY GANG  
40 CLIFTON ST., #32  
CAMBRIDGE, MA 02140

269-99  
RUBIN, AARON J. & JULIA A. HALLMAN  
66 CLIFTON ST  
CAMBRIDGE, MA 02138

269-22  
NI, XING-YIN ARTHUR CHUN HONG SHUM  
30 CLIFTON ST, UNIT 2  
CAMBRIDGE, MA 02140

269-18  
FOLEY, KEITH PATRICK,  
TRS LAUREN ANN BAUMANN, TRS  
60 CLIFTON ST  
CAMBRIDGE, MA 02140

269-136  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR







# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Kiem For Ngo Date: 09-08-2023  
(Print)

Address: 50 Clifton St

Case No. BZA-233167

Hearing Date: 9/28/23

Thank you,  
Bza Members

1 \* \* \* \* \*

2 (7:49 p.m.)

3 Sitting Members: Jim Monteverde, Steven Ng, Virginia

4 Keesler, Bill Boehm, and Thomas Miller

5 JIM MONTEVERDE: Next case is Case No. 233167 --

6 50 Clifton Street. Is there anyone who wishes to speak on  
7 this request?

8 KIEM FOR NGO: Yes. I'm the owner and my wife.  
9 My name is Kiem For Ngo and my wife Lei Jiang. So we are  
10 proposing to add a dormer to our existing attic, and it's on  
11 the north side of the house.

12 And on the north side there's a driveway. So the  
13 distance to our neighbor is 16 feet. So -- and adding that,  
14 we will not -- the only thing that will increase is the  
15 living area. That is exceeding the current requirement.

16 CHIH-MING LEE: Yes. My name is Chih-Ming Lee.  
17 I'm the architect of the project.

18 JIM MONTEVERDE: Yep.

19 CHIH-MING LEE: And this project, we have the  
20 existing nonconforming condition in terms of front setback  
21 and FAR. And we're trying to make the attic space more  
22 useful. And so, we make a code-compliant staircase leading

1 to the attic.

2           And since this attic space is in the north side,  
3 and we do have more than code required side yard setback on  
4 the north side.

5           Also, the shed dormer is more than 15 -- it's  
6 about 18 feet from that front setback so -- which is more  
7 than required 15 feet. And we understand that the FAR  
8 exceeds the requirement, and we are adding another 233  
9 square feet on the attic [audio unclear] because of the shed  
10 dormer.

11           JIM MONTEVERDE: Okay. Anything else from the  
12 proponent?

13           [Pause]

14           No? I will open it up to questions from members  
15 of the Board. Any questions, members?

16           BILL BOEHM: My question to the architect and  
17 owner is are you aware of the Dormer Design Guidelines that  
18 the City of Cambridge Zoning Department has? And if so, do  
19 you realize that you're not in compliance with the Design  
20 Guidelines?

21           CHIH MING-LEE: The - yeah, the FAR is exceeding  
22 the -- 0.5 FAR, and but since the owner needs more livable

1 space in his house, so that's why we're trying to make the  
2 attic space more useful.

3 BILL BOEHM: So I understand that, but this isn't  
4 a question -- I'm not asking about the FAR; I'm asking  
5 there's a specific set of guidelines for roof dormers that  
6 you should be aware of that controls sort of the size  
7 relative to the rest of the roof and the placement of the  
8 dormer.

9 And having learned about these the hard way some  
10 years ago doing dormers, I wish that they were more in  
11 evidence. But your dormer does not comply by a long shot  
12 with the roof dormers.

13 For one thing, they ask for a maximum of 15'.  
14 They want them not to extend to the ridge. They want them  
15 not to extend to the side wall. So there's a number of  
16 things that this dormer design does not comply with with the  
17 Guidelines.

18 JIM MONTEVERDE: Just to follow that up, so to the  
19 proponent: I'm looking at your drawing A1.1, the proposed  
20 attic plan. And there's a string of dimensions that would  
21 define how long the dormer is. Can you save me the effort  
22 of adding this up and tell me what the approximate length of

1 that dormer is?

2           CHIH-MING LEE: The length of the dormer is 34'  
3 and 4".

4           JIM MONTEVERDE: Okay. So I think as Bill  
5 mentioned, I think he's absolutely correct. The most  
6 egregious piece here is -- and I'm referring to the Zoning  
7 Section 8.22.1.h.2, the dormer on the third story no longer  
8 than 15' does not extend horizontal beyond the border of the  
9 walls and the existing second story, nor above the  
10 ridgeline, provided the total linear length of all dormers  
11 on the third story of the building does not exceed 15'.

12           So you're well over that limit. So -- and I'll  
13 just leave that as a comment.

14           Any questions, comments from any other members of  
15 the Board?

16           THOMAS MILLER: Thomas Miller.

17           JIM MONTEVERDE: Yep.

18           THOMAS MILLER: This is just for my information,  
19 for anyone on the Board who knows the petitioner does  
20 include a number of pictures of other dwellings on the  
21 street with dormers.

22           Some of those dormers would appear to be equally



1 out of compliance with the Dormer Guidelines, is that  
2 correct?

3 JIM MONTEVERDE: Looks that way. But again --

4 THOMAS MILLER: I think you --

5 JIM MONTEVERDE: -- the way we've taken these  
6 before is that is not the matter in front of us tonight. We  
7 don't know when those additions happened, by whom, under  
8 what circumstance, or if another Board saw reason to accept  
9 them. So this one really just has to stand on its own. At  
10 least that's been our precedent.

11 Any other questions from members of the Board?

12 Let me open it up to public commentary, and we'll come back  
13 to the Board in a second. We have no correspondence in the  
14 file either for or against, so I'll open it to public  
15 commentary.

16 Any member of the public who wishes to speak  
17 should now click the icon at the bottom of your Zoom screen  
18 that says, "Raise hand."

19 If you're calling in by phone, you can raise your  
20 hand by pressing \*9 and unmute or mute by pressing \*6.

21 I'll now ask Staff to unmute speakers one at a  
22 time. You should begin by saying your name and address, and

1 Staff will confirm that we can hear you. After that you  
2 will have up to three minutes to speak before I ask you to  
3 wrap up.

4 STEVEN NG: Jim?

5 JIM MONTEVERDE: I'll close public testimony.

6 Discussion from members of the Board? Let me start.

7 I'm taking -- at the moment, I don't feel that I  
8 can support the proposal, really on the basis of the way  
9 that the dormer is presented, and that it exceeds all of the  
10 Dormer Guidelines that we have in terms of just as Bill has  
11 elaborated, you know: no more than 15' in length down from  
12 the ridge. I think it is set back.

13 It is in alignment with the building face, and  
14 there's a soffit that runs along the front of it, so that  
15 complies. But down from the ridge and no more than 15'  
16 wide. So I could not support the proposal in front of us.

17 Is there any other Board member who feels  
18 similarly?

19 STEVEN NG: I would agree with that, and I  
20 recommend we, you know, kind of get a feel for where the  
21 Board stands and then provide the applicant kind of some  
22 options on --

1 JIM MONTEVERDE: Yep.

2 STEVEN NG: -- how we can address this.

3 JIM MONTEVERDE: Well, okay. I think we just did  
4 the count for the Board. So that's you need four positive  
5 votes, two affirmative votes to get your relief. So we've  
6 just heard from two of us who say we're not in favor. That  
7 would mean you would be denied. And your choice then,  
8 proponent, is to choose to continue, look at a redesign that  
9 makes the dormer addition within the Dormer Guidelines and  
10 come back.

11 Or, if we proceed from the vote from at least the  
12 two of us who've spoken, it would be denied, and then that  
13 way you can't come back in two years with the same plan,  
14 unless the plan changes dramatically.

15 So for the proponent, it is up to you what you'd  
16 like to do.

17 CHIH-MING LEE: Okay. Okay, thank you Jim and  
18 members of the Board.

19 JIM MONTEVERDE: Yep. Is it - sorry, is it clear  
20 what we're talking about --

21 CHIH-MING LEE: Yes.

22 JIM MONTEVERDE: -- or suggesting? I think those

1 are the --

2 CHIH-MING LEE: Yes.

3 JIM MONTEVERDE: -- not that we want to drive you  
4 to a conclusion, but I think those are the two obvious  
5 choices in front of us this evening.

6 KIEM FOR NGO: Okay. I think we'll look to see  
7 how we can be conformed to the -- yeah, to the Regulation  
8 for the dormers.

9 JIM MONTEVERDE: Yeah, I suggest -- is the Dormer  
10 Guidelines available through ISD? Are they available  
11 online?

12 OLIVIA RATAY: They're online.

13 JIM MONTEVERDE: So that the --

14 KIEM FOR NGO: Okay.

15 JIM MONTEVERDE: -- Dormer Guidelines are online,  
16 the City website through ISD Zoning or -- if you go into  
17 ISD, you'll see all the forms. Okay. If you don't find  
18 them online, you can come into ISD and get a copy of the  
19 Dormer Guidelines.

20 So if you'd like to do that -- do you want to go  
21 the continuance route, we'll pick another date for you to  
22 come back; do some redesign and come back?

1 KIEM FOR NGO: Yes, sure.

2 CHIH-MING LEE: Yes.

3 JIM MONTEVERDE: What do we have for a date?

4 OLIVIA RATAY: October 26.

5 JIM MONTEVERDE: October 26, if that gives you  
6 enough time? Or November 9. How much time would you like?

7 KIEM FOR NGO: Mr. Lee, how much time do you need  
8 to do the redesign?

9 CHIH-MING LEE: Yeah, give me maybe November.  
10 November is a bit later.

11 JIM MONTEVERDE: Is that November?

12 CHIH-MING LEE: November, yes.

13 JIM MONTEVERDE: Yeah. Okay. That was the  
14 November 9, right? Okay. All right, then. Let's make a  
15 motion to continue this matter to November 9 of 2023 on the  
16 condition that the petitioner change the posting sign to  
17 reflect -- sorry?

18 OLIVIA RATAY: -- statement.

19 JIM MONTEVERDE: Sorry. What would I do without  
20 Olivia?

21 Members of the Board, are you all available on  
22 November 9? It has to be the same five of us. Bill, will



1 you be available?

2 BILL BOEHM: Available.

3 JIM MONTEVERDE: Thank you. Tom?

4 THOMAS MILLER: Available.

5 JIM MONTEVERDE: Virginia?

6 VIRGINIA KEESLER: Available.

7 JIM MONTEVERDE: Steven?

8 STEPHEN NATOLA: Available.

9 JIM MONTEVERDE: And I will be available. Okay.

10 So let me make a motion to continue this matter to November  
11 9, 2023 on the condition that the petitioner change the  
12 posting sign to reflect the new date of November 9, 2023 and  
13 the new time of 6:00 p.m.

14 Also that the petitioner sign a waiver to the  
15 statutory requirements for a hearing. This waiver can be  
16 obtained from Maria Pacheco or Olivia Ratay at the  
17 Inspectional Services Department.

18 I ask that you sign the waiver and return it to  
19 the Inspectional Services Department by a week from this  
20 coming Monday. Failure to do so will de facto cause this  
21 Board to give an adverse ruling on this case.

22 Also that if there are any new submittal

1 information, changes to the drawings, dimensional forms, or  
2 any supporting statements, that those be in our files by  
3 5:00 p.m. on the Monday prior to the continued meeting date.

4 On the motion to continue this matter until  
5 November 9, 2023, voice vote by the Board members please.

6 Bill?

7 BILL BOEHM: In favor.

8 JIM MONTEVERDE: Tom?

9 THOMAS MILLER: In favor.

10 JIM MONTEVERDE: Virginia?

11 VIRGINIA KEESLER: In favor.

12 JIM MONTEVERDE: Steven?

13 STEVEN NG: In favor.

14 JIM MONTEVERDE: In favor.

15 [All vote YES]

16 JIM MONTEVERDE: And for the proponent, when you  
17 pick up the waiver that you have to sign, if you're going to  
18 do that at the Inspectional Services Department, please ask  
19 for a copy of the Dormer Guidelines while you are there.

20 Okay. Thank you. See you in November.

21 CHIH-MING LEE: Thank you very much.

22 KIEM FOR NGO: Thank you.



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2023 OCT -2 PM 2:39

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal  
831 Mass Avenue  
Cambridge, MA 02139

RE: Case # BZA-233167

Address: 50 Clifton St

Owner,  Petitioner, or  Representative: Kiem For NGO  
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The  Owner,  Petitioner, or  Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 10/2/23

[Signature]  
Signature