

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 248418

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: gjm cambridge 747 LLC C/O Gregory McCarthy

PETITIONER'S ADDRESS: 275 Main street #1, boston, ma 02129

LOCATION OF PROPERTY: 747 Cambridge St., Cambridge, MA

TYPE OF OCCUPANCY: 6 residential, 1 commercial **ZONING DISTRICT:** Business A Zone

REASON FOR PETITION:

/Additions/ /Change in Use/Occupancy/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Amendment to the BZA approved plans BZA-017160-2019, and to add an additional penthouse dwelling unit and an elevator.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 & 5.33 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
- Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

(Petitioner (s) / Owner)

Greg McCarthy, 631 Cambridge 747 LLC
(Print Name)

Address: 275 Main St Boston MA 02129
Tel. No. 508 868 0801
E-Mail Address: greg.riverfront@gmail.com

Date: 11/5/23

2023 NOV -8 PM 1:34
OFFICE OF THE CITY CLERK
CITY OF CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Gjm 747 Cambridge LLC , Greg McCarthy
(OWNER)

Address: 275 main st boston ma, 02129

State that I/We own the property located at 747 Cambridge St Cambridge ma 02141,
which is the subject of this zoning application.

The record title of this property is in the name of Gjm 747 Cambridge LLC

*Pursuant to a deed of duly recorded in the date 10/16/2020, Middlesex South
County Registry of Deeds at Book 75908, Page 329; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.



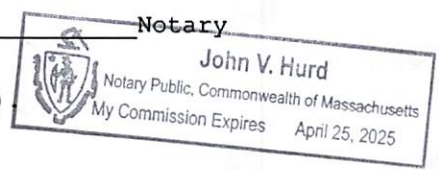
**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Gregory McCarthy personally appeared before me,
this 6th of November, 2023, and made oath that the above statement is true.

My commission expires 4/25/25 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form**SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

An elevator is needed for accesibility purposes. This will take great cost to reconstruction, the additional square footage and unit will help to make up for this time and cost. And will also bring more housing to an area with a housing shortage without harm to the neighborhood.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

There is no where to put an elevator besides within the structure of the building. Eliminating a parking spot allows us to add an elevator. The additional square footage is set back from the neighbors and will cause no visual obtrusions.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

We still have 8 parking spots for 7 units. The additional square footage doesn't change the massing of the building much, and allows a path to multiple accessible units within the building, and allows for more housing stock in a limited market.

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The additional square footage should not be obtrusive, and is fitting of the site and building, The reduction of one parking spot requires relief because the project was approved before the change in cambridge parking requirements. A reduction of parking could do more benefit than harm, especially given the ample parking already provided. And the elevator and accebility will allow for a wider candidate of residents at the building.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: gjm cambridge 747 LLC
Location: 747 Cambridge St., Cambridge, MA
Phone: 508 868 0801

Present Use/Occupancy: 6 residential, 1 commercial
Zone: Business A Zone
Requested Use/Occupancy: 7 residential, 1 commercial

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
TOTAL GROSS FLOOR AREA:		10,697	11518	8525	(max.)
LOT AREA:		6213	6213	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		1.71	1.85	1.75	
LOT AREA OF EACH DWELLING UNIT		1035	887.57	600	
SIZE OF LOT:	WIDTH	50	50	50	
	DEPTH	124	124	124	
SETBACKS IN FEET:	FRONT	0	0	10	
	REAR	15	15	10	
	LEFT SIDE	3	3	11	
	RIGHT SIDE	0	0	10	
SIZE OF BUILDING:	HEIGHT	35	45	45	
	WIDTH	111	111	111	
	LENGTH	47	47	47	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		.15	.17	.14	
NO. OF DWELLING UNITS:		6	7	9.1	
NO. OF PARKING SPACES:		9	8	0	
NO. OF LOADING AREAS:		0	0	0	
DISTANCE TO NEAREST BLDG. ON SAME LOT		0	0	0	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

none

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
CL	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJT OR	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR Ø	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPNUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
IN	INCH	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		

Cambridge at Marion Residences

PENTHOUSE ADDITION

747 Cambridge St., Cambridge, MA 02141

CODE ANALYSIS:

- APPLICABLE CODES:
BUILDING CODE:
IBC 2015 (780 CMR)
IECC 2018
IFC 2015 (527 CMR)
8TH EDITION AMENDMENTS
- ZONING DISTRICT - BUSINESS A, RESIDENTIAL C-1
SETBACKS:
FRONT: 0' BA 10' C-1 4.5'
SIDE: 0' 7'6" 10' FRONT, 3.5' REAR
REAR: CORNER LOT 35' 45'-0"
HEIGHT: 35/45'
FAR: 1.71
LOT SIZE: 6,200 SF
ALLOWED: 10,802 SF
EXISTING: 3,407 SF
PROPOSED:
COMMERCIAL: 1,520 SF
RESIDENTIAL: 9,999 SF
FIRST FLOOR:
COMMERCIAL: 1,519 SF
RESIDENTIAL: 1,040 SF
SECOND FLOOR:
RESIDENTIAL: 4,149 SF
THIRD FLOOR:
RESIDENTIAL: 3,989 SF
FOURTH FLOOR:
RESIDENTIAL: 821 SF
- USABLE OPEN SPACE REQUIREMENTS:
COMMERCIAL: NONE
RESIDENTIAL: 305
REQUIRED U.O.S.: 2,299 SF
PROPOSED: 3,263 SF
- USE GROUP CLASSIFICATION: R2
- CONSTRUCTION CLASSIFICATION: TYPE 5B
- STAIRS:
COMMON: 7 1/2" MAX RISER
11" MIN TREAD
INSIDE DWELLING: 8 1/4" MAX RISER
10" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
BALUSTERS: 4" MAX CLEAR WIDTH
- IECC CHAPTER 4
R401.2.1 PRESCRIPTIVE COMPLIANCE OPTION
R401 - BUILDING PERFORMANCE OPTION
R404 - ELECTRICAL POWER AND LIGHT SYSTEM
R408 - ADDITIONAL EFFICIENCY OPTIONS

- EXTERIOR WALLS:
2X6 WOOD FRAMING
R30 MIN CAVITY OR
R20 CAVITY W/ RS CONTINUOUS or
R13 MIN CAVITY W/ 10R CONTINUOUS or
R20 CONTINUOUS
BASEMENT:
R15 CONTINUOUS OR
R19 CAVITY W/ RS CONTINUOUS
- VAPOR RETARDER:
CLASS I OR II AT INTERIOR/WARM SIDE
OF EXTERIOR WALL FRAMING
- FLOOR OVER UNCONDITIONED SPACE:
R30 MINIMUM
- BASEMENT SLAB:
R10 CONTINUOUS @ <4' BELOW GRADE
- CEILING/ROOF:
R30 MINIMUM
- WINDOWS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .30
- EXTERIOR DOORS WITH GLAZING:
DOUBLE PANE LOW E
MIN. U-FACTOR: .40

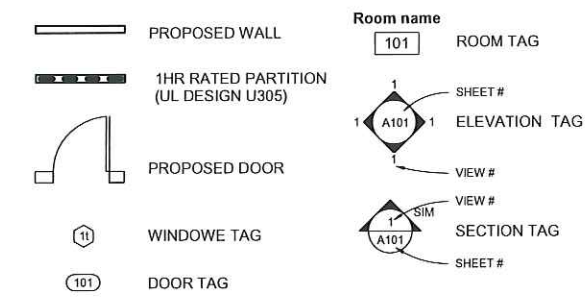
GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN L305), SINGLE 5/8" AT CEILINGS (UL DESIGN LS12). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
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- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
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- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "N" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
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DRAWING LIST

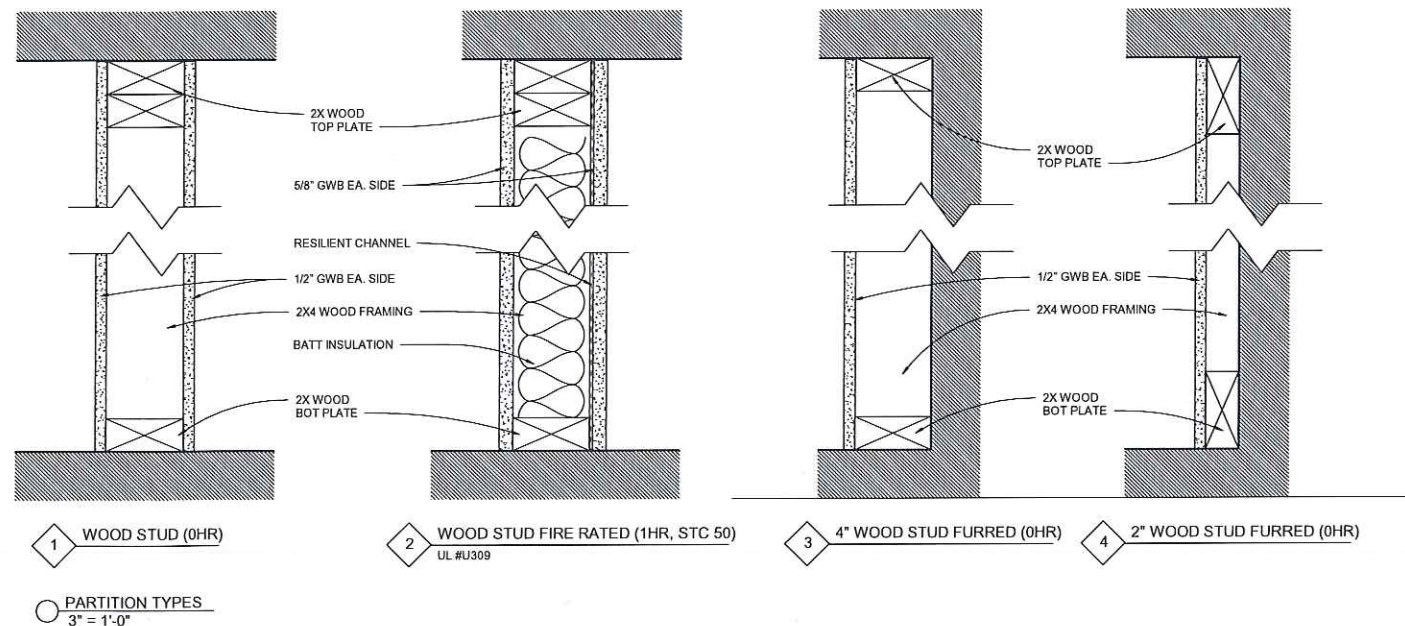
SHEET #	SHEET NAME
A000	TITLE SHEET
A100	1ST & 2ND FLOOR PLANS
A101	3RD & 4TH FLOOR PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
S100	FRAMING PLANS

SYMBOL LEGEND



ZONING SUMMARY

DESCRIPTION	CODE REFERENCE	REQUIRED / ALLOWED	EXISTING	PROPOSED
ZONING DISTRICT: BUSINESS A, RESIDENTIAL C-1				
GENERAL				
USE		MIXED-USE RESIDENTIAL COMMERCIAL	ALLOWED	ALLOWED
LOT AREA		5,000 SF (MIN)	6,200 (APPROX) SF	NO CHANGE, CONFORMS
NET FLOOR AREA (PER ZONING DEF'N)			3,407 SF	9,685 SF
FAR	§5.31	1.71 (COMBINED, MAX)	0.66	1.71
		B.A	C-1	
MIN LOT AREA PER DWELLING UNIT	§5.31	R60	1,500	NO CHANGE FROM EXISTING
MAX HT	§5.31	35' / 45'	35' (MAX)	12'
MIN FRONT YARD SETBACK	§5.31	NO MIN	10'	1.3'
MIN SIDE YARD SETBACK		NO MIN	7.5'	3.7'
MIN REAR YARD SETBACK	§5.31	7.5' - CORNER LOT	7.5' - CORNER LOT	7.5' - CORNER LOT
MIN OPEN SPACE RATIO	§5.31	NO MIN	30%	
GENERAL RANGE OF ALLOWED USES		MOST TYPES OF RESIDENTIAL DWELLINGS, MOST INSTITUTIONAL USES, OFFICES AND LABORATORIES, MOST RETAIL USES	SINGLE- AND TWO-FAMILY DETACHED DWELLINGS, LOW-RISE DWELLINGS, MULTIFAMILY DWELLINGS	



ARCHITECT
547|a
517 Boston Post Rd
Suite #30
Andover, MA 01776
p: 508.500.4730
www.547a.com

PROJECT:
Cambridge at Marion Residences
747 Cambridge St
Cambridge, MA 02141

CLIENT:
River Front Realty

275 Main St
Charlestown, MA 02129

PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

TITLE SHEET

STAMP



November 3, 2023

DATE OF ISSUE

PERMITTING

DOCUMENT PHASE

As Indicated

SCALE

2210.00

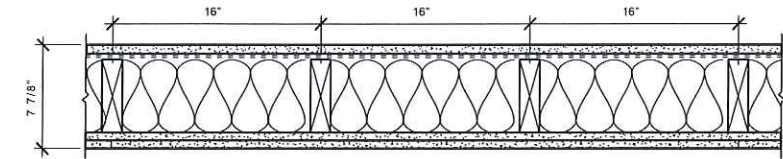
PROJECT #

DRAWING NUMBER:

A000



DESIGN NO. UL U305
 FIRE RATING: 1 HOUR
 STC RATING: 53
 SYSTEM THICKNESS: 7 7/8"
 LOCATION: INTERIOR
 FRAMING TYPE: WOOD STUD (LOAD BEARING)



ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: ONE LAYER 5/8" GYPSUM PANEL (UL TYPE ULIX)
 RESILIENT CHANNEL: 1/2" RESILIENT CHANNEL, 25 GA, 24" O.C.
 WOOD STUDS: 2" X 6" WOOD STUDS @ 16" O.C.
 INSULATION: TWO LAYER 5/8" GYPSUM PANEL (UL TYPE ULIX)

GENERAL WALL NOTES:

- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCE SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

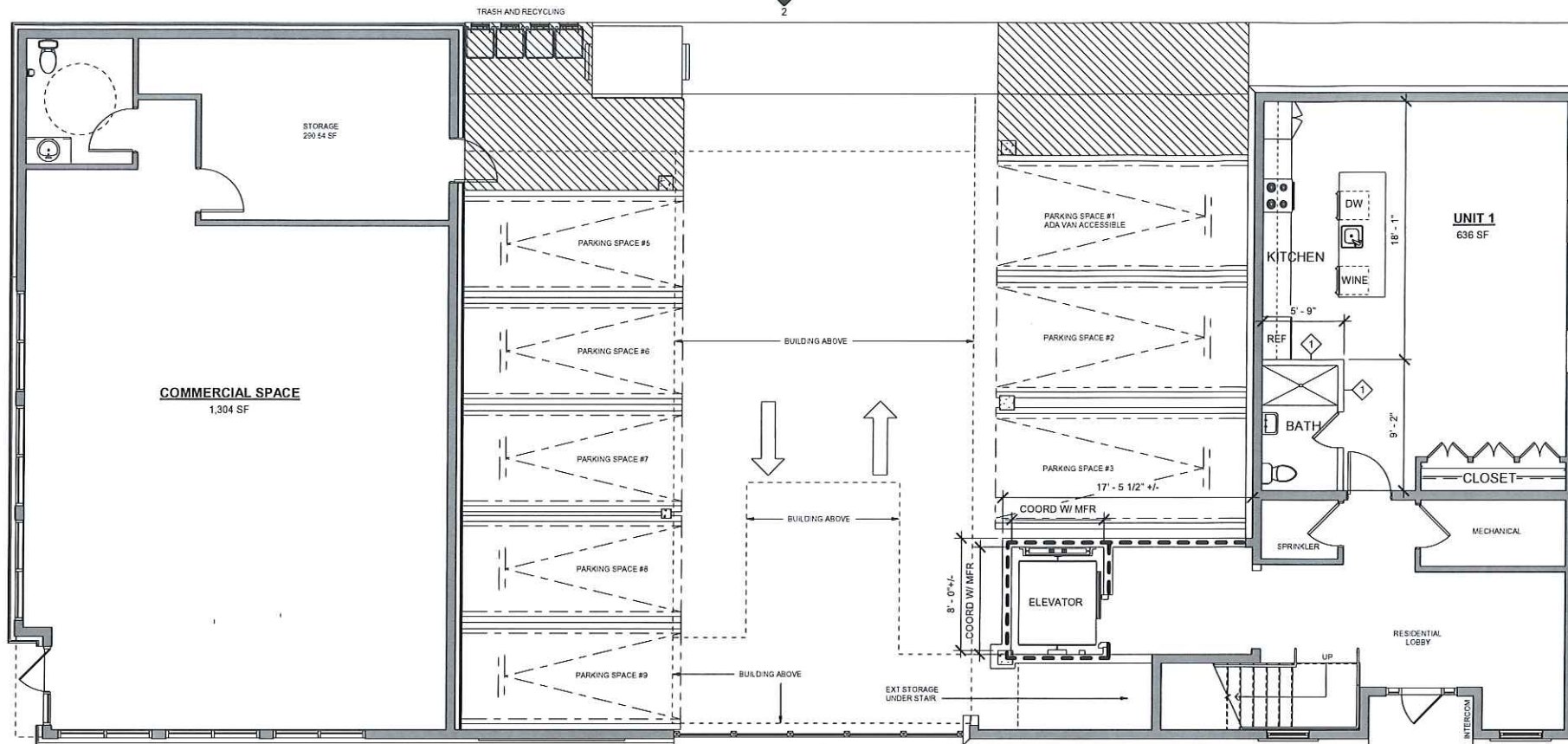
ELEVATOR SHAFT WALL ASSEMBLY

GENERAL NOTES:

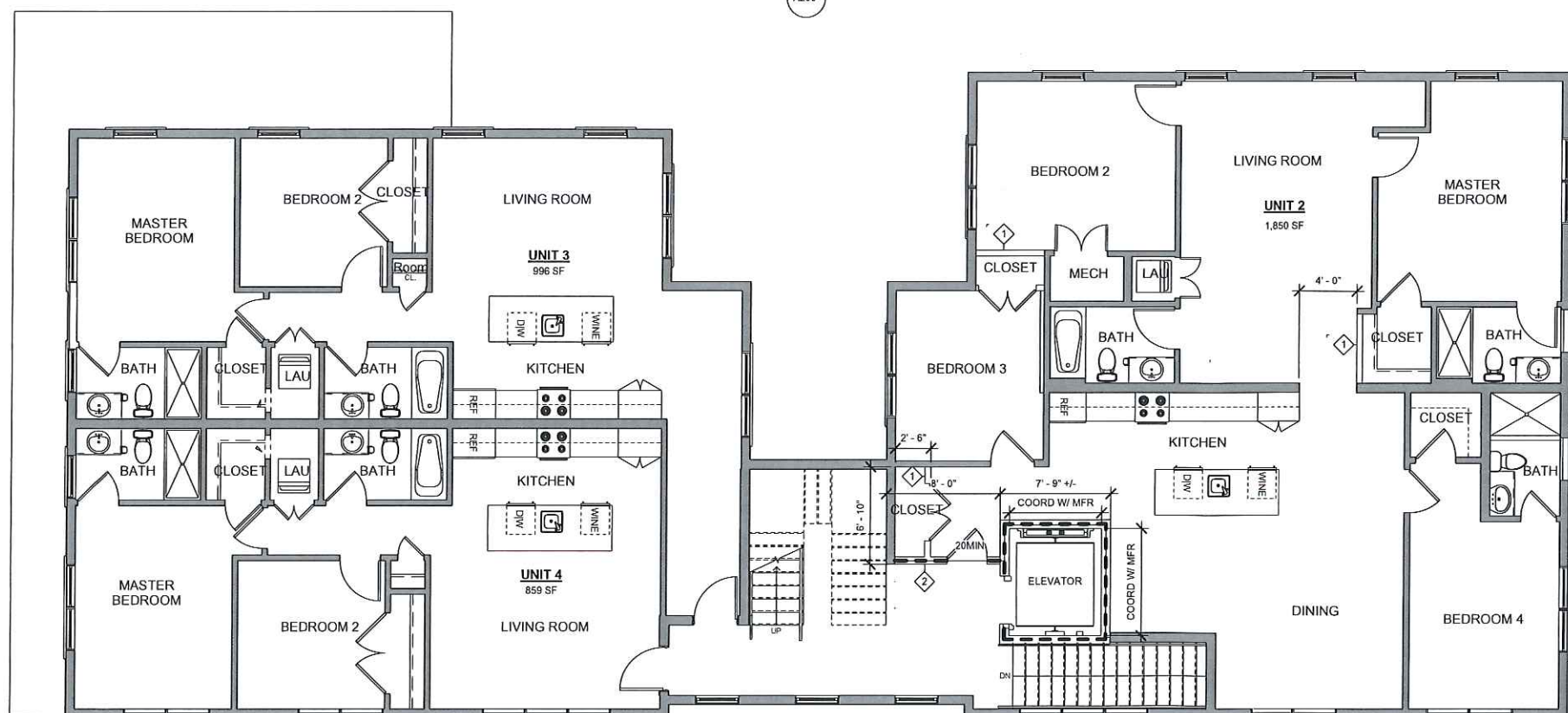
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SYMBOL LEGEND

	PROPOSED WALL	Room name	101	ROOM TAG
	1HR RATED PARTITION (UL DESIGN U305)		1	SHEET #
	PROPOSED DOOR		1 A101	ELEVATION TAG
	WINDOW TAG		1	VIEW #
	DOOR TAG		1	VIEW #
			1 A101	SECTION TAG
			1	SHEET #



1 1ST FLOOR
 3/16" = 1'-0"

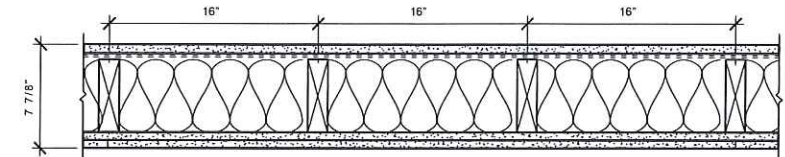


2 2ND FLOOR
 3/16" = 1'-0"



DESIGN NO. UL U305

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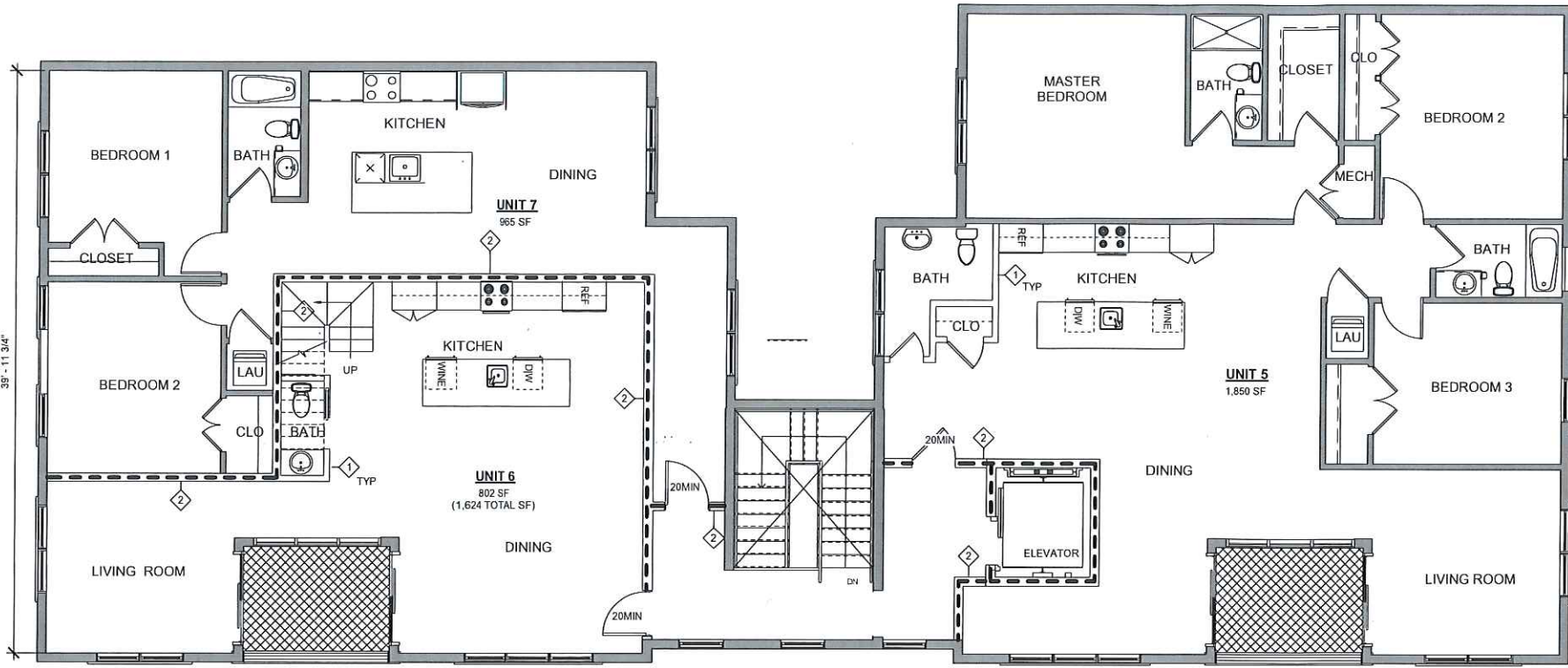
ELEVATOR SHAFT WALL ASSEMBLY

GENERAL NOTES:

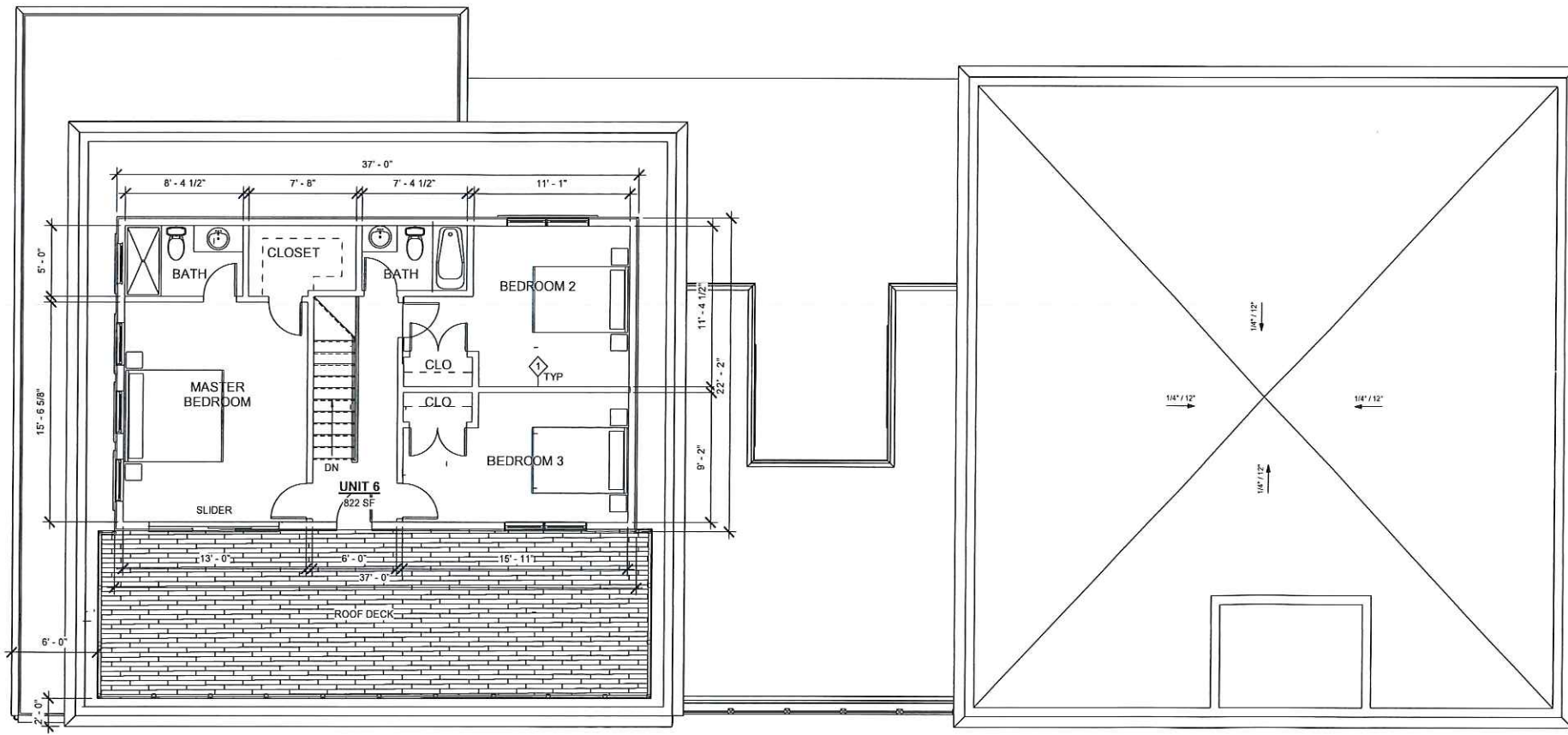
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- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

SYMBOL LEGEND

	PROPOSED WALL	Room name	
	1HR RATED PARTITION (UL DESIGN U305)	101	ROOM TAG
	PROPOSED DOOR	1	SHEET #
	WINDOWE TAG	1 A101	ELEVATION TAG
	DOOR TAG	1	VIEW #
		SIM	VIEW #
		1 A101	SECTION TAG
			SHEET #



① 3RD FLOOR
 3/16" = 1'-0"



② 4TH FLOOR
 3/16" = 1'-0"

REVISIONS:

DRAWING TITLE:

**3RD & 4TH
 FLOOR
 PLANS**

STAMP



November 3, 2023
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 As Indicated
 SCALE
 2210.00
 PROJECT #

DRAWING NUMBER:

A101

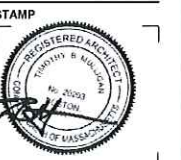


GENERAL NOTES:

1. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
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3. CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
4. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
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11. DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

REVISIONS:

DRAWING TITLE:
EXTERIOR ELEVATIONS



November 3, 2023
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 As Indicated
 SCALE
 2210.00
 PROJECT #

DRAWING NUMBER:

A200



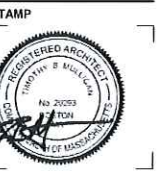
④ FRONT ELEVATION
 3/16" = 1'-0"



① RIGHT ELEVATION
 3/16" = 1'-0"

REVISIONS:

DRAWING TITLE:
**EXTERIOR
 ELVATIONS**



November 3, 2023
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 As Indicated
 SCALE
 2210.00
 PROJECT #

DRAWING NUMBER:

A201

GENERAL NOTES:

1. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
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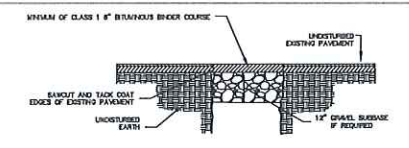


① REAR ELEVATION
 3/16" = 1'-0"

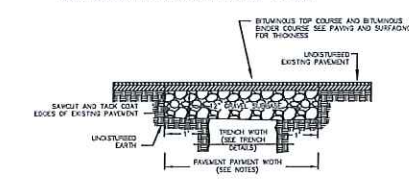


② LEFT ELEVATION
 3/16" = 1'-0"

11/03/2023 11:17:24 AM
 S:\PROJECTS\CAMBRIDGE\CAMBRIDGE_ARCHITECTURE\PROJECTS\CAMBRIDGE



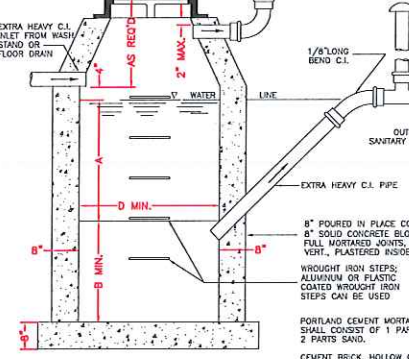
TEMPORARY PAVEMENT PATCH DETAIL



PERMANENT PAVEMENT PATCH DETAIL

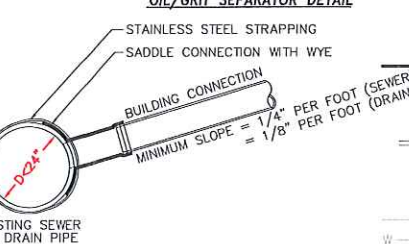
INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	6"	5'-0"	4'-6"	5'-0"
5"	3'-6"	3'-0"	4'-0"	6"	5'-0"	4'-6"	4'-0"
6"	3'-6"	3'-0"	4'-0"	6"	5'-0"	4'-6"	3'-6"
6"	4'-0"	3'-0"	3'-0"	6"	5'-0"	4'-6"	3'-0"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"
6"	4'-0"	3'-0"	2'-6"	6"	5'-0"	4'-6"	2'-6"

NOTES:
 1. FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
 2. FIRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.
 3. ALL INLET TRAPS TO BE PROVIDED IN ACCORDANCE WITH 248 CMR 2.03.
 4. PORTLAND CEMENT MORTAR USED SHALL CONSIST OF 1 PART CEMENT, 2 PARTS SAND.
 5. CEMENT BRICK, HOLLOW CONCRETE, OR CINDER BLOCK MASONRY MUST NOT BE USED.
 6. WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18" APART.
 7. NORTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
 8. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
 9. THE NEW PATCH BASH MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPLOYED FOR PERIODIC CLEANING.



GENERAL CONSTRUCTION NOTES

OL/GRIT SEPARATOR DETAIL



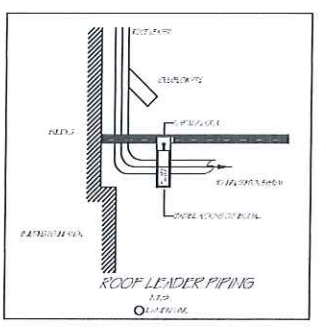
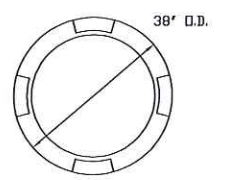
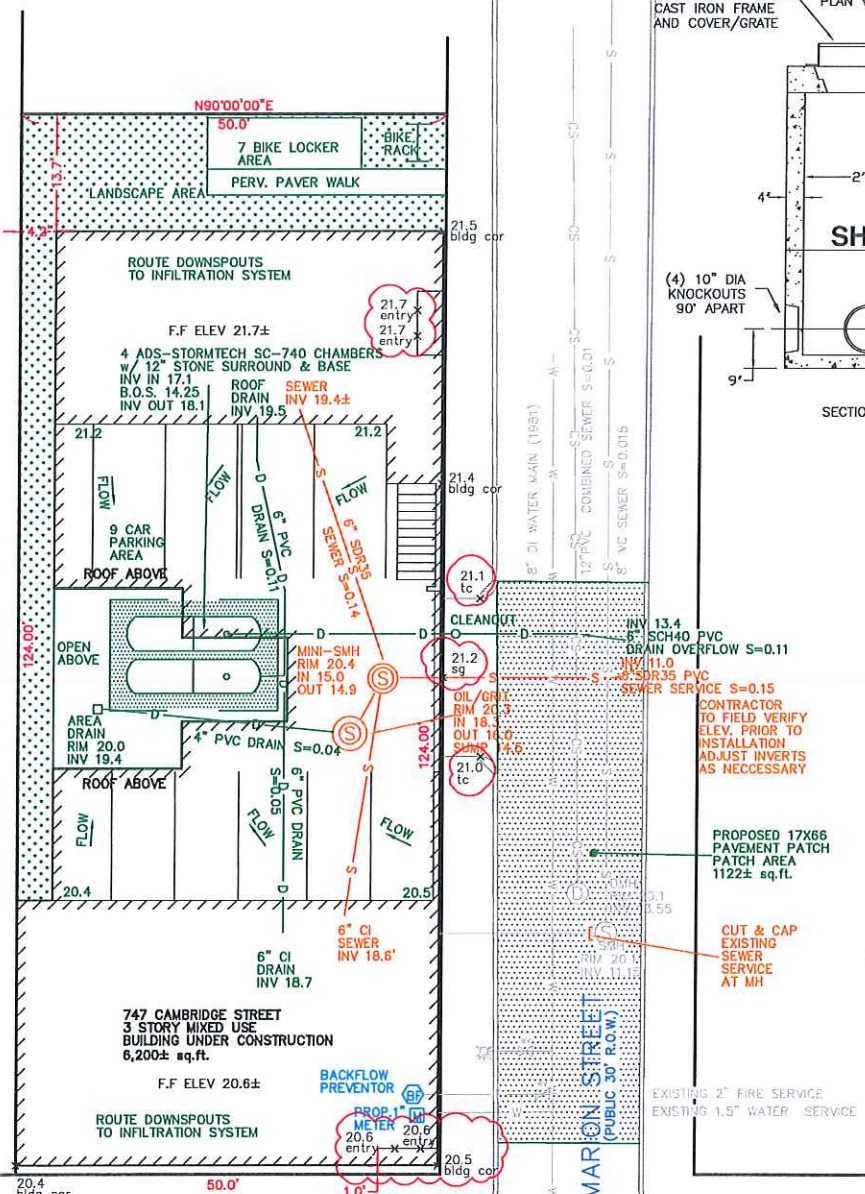
SEWER/RAIN SERVICE CONNECTION DETAIL

DRAINAGE CALCULATIONS

IMPERVIOUS AREA = 4660 S.F. ROOF + 440 S.F. DRIVEWAY
 INFILTRATE (STORE) 1" OF RUNOFF
 1/12 (5100 S.F.) = 425 CU. FT.

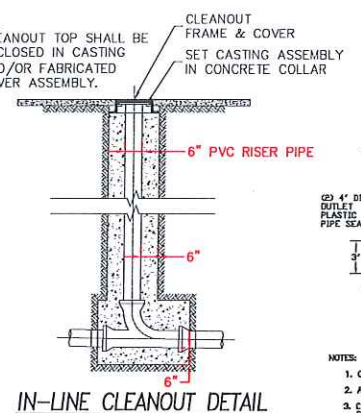
USE (4) STORMTECH SC-740 LEACH CHAMBERS - SEE DETAIL
 45.9 CU. FT. WITH 24 IN. CRUSHED STONE AROUND EACH
 45.9 CU. FT. x 4 = 183.6 CU. FT. CHAMBER VOLUME

VOLUME COMPUTATION EXTERIOR CRUSHED STONE
 19.86 FT. x 13 FT. x 4 FT. = 1032.7 CU. FT.
 1032.7 CU. FT. - 183.6 CU. FT. (CHAMBER VOLUME) = 849.1 CU. FT.
 849.1 CU. FT. x 0.4 (VOIDS) = 339.6 CU. FT. VOLUME Voids STORAGE
 183.6 CU. FT. CHAMBER VOLUME + 339.6 CU. FT. Voids = 523.2 CU. FT.
 523.2 CU. FT. TOTAL STORAGE > 425 CU. FT. RUNOFF CALCULATION

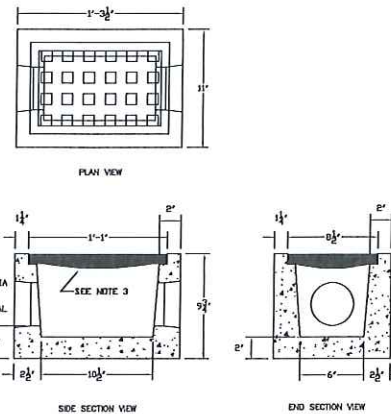


NOTE:
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.

SECTIONS	ITEM NO	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#



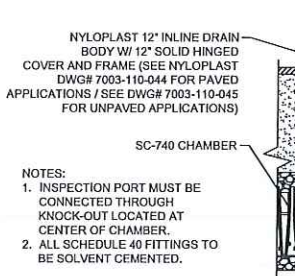
IN-LINE CLEANOUT DETAIL



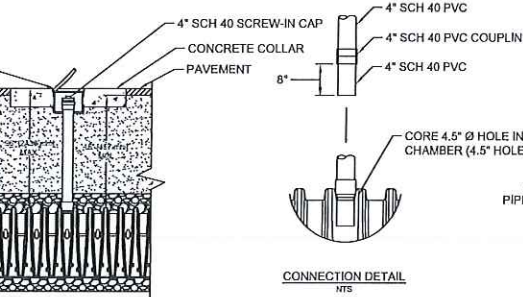
NOTE:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ACCEPTS ALL 3" AND 4" PIPE WITHOUT GROUTING.
 3. COVER GRATE CONSTRUCTED OF CO-POLYMER POLYPROPYLENE.

AREA DRAIN DETAIL

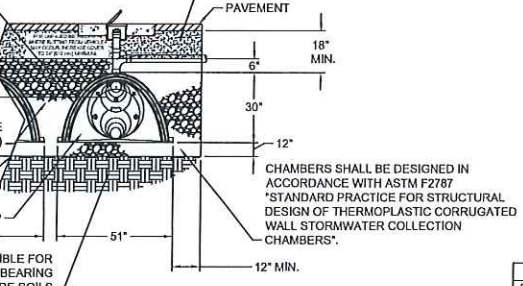
MANHOLE 30" DIA H-20 MINI CATCH BASIN



NOTES:
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



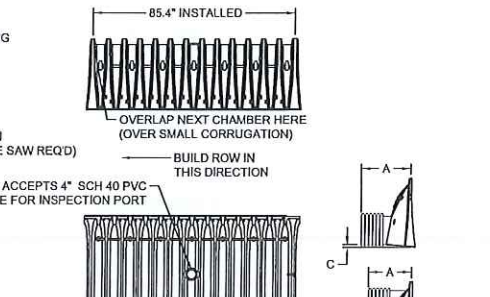
CHAMBERS SHALL MEET ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".



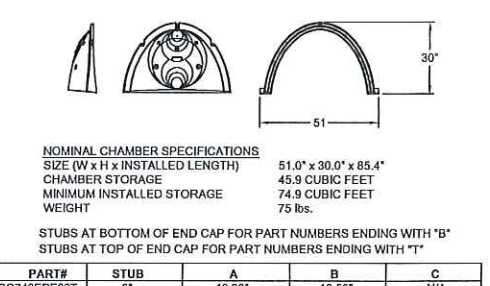
DESIGN ENGINEER RESPONSIBLE FOR ENSURING THE REQUIRED BEARING CAPACITY OF SUBGRADE SOILS.

THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

STORMTECH SC-740 INFILTRATOR DETAIL



CONNECTION DETAIL



CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART#	STUB	A	B	C
SC740EP06T	6"	10.90"	18.50"	N/A
SC740EP06B	6"	10.90"	N/A	0.50"

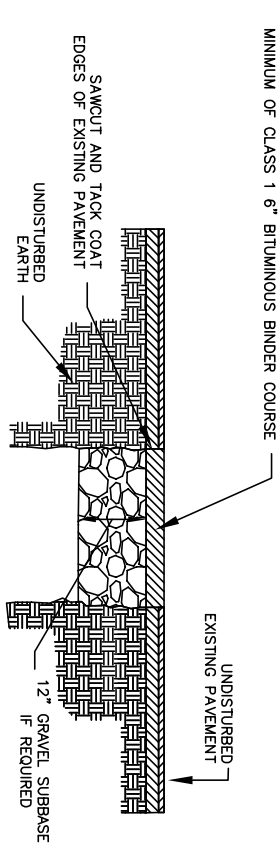
NOTE: ALL DIMENSIONS ARE NOMINAL

SITE PLAN
747 CAMBRIDGE STREET
CAMBRIDGE, MA
FOR
MICHAEL BYRNE
CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191

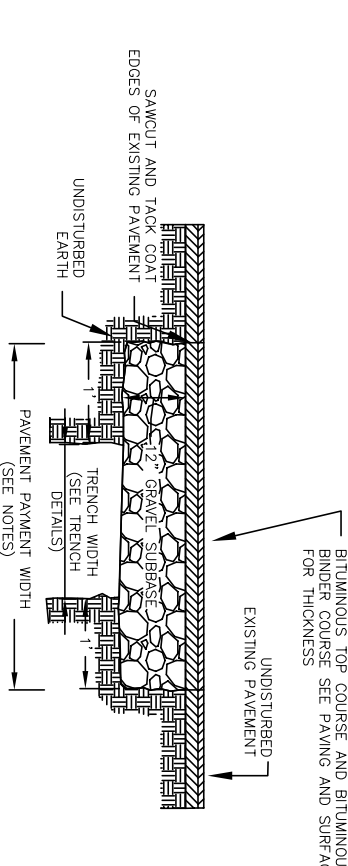
ADDED REQ. PROP. GRADES FOR ENTRIES/SW C.R.L. 10/4/2023

SHEET NO: 1 OF 1 **DATE: 8/28/2023** **JOB: 4640**
DRAWN BY: L.J.B.





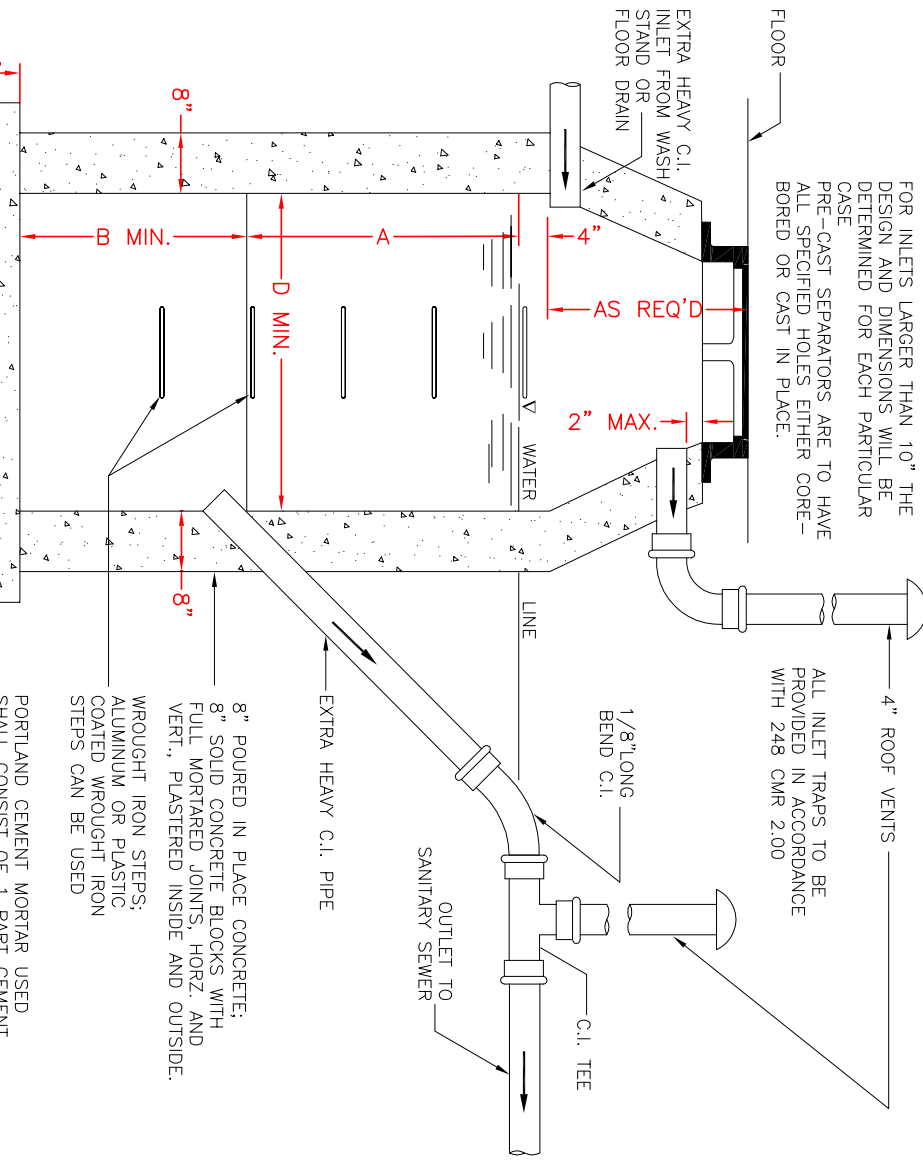
TEMPORARY PAVEMENT PATCH DETAIL



PERMANENT PAVEMENT PATCH DETAIL

INLET	D	A	B	INLET	D	A	B
4"	3'-0"	3'-0"	2'-6"	6"	5'-0"	6'-0"	5'-0"
5"	3'-6"	3'-0"	2'-6"	5"	5'-0"	6'-0"	4'-6"
6"	4'-0"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
8"	4'-6"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
10"	5'-0"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
12"	5'-6"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
15"	6'-0"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
18"	6'-6"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
21"	7'-0"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
24"	7'-6"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"
30"	9'-0"	3'-0"	2'-6"	4'-0"	5'-0"	6'-0"	4'-6"

NOTES:
FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE AS SHOWN. ALL SCHEDULED HOLES EITHER CAST OR BORED OR CAST IN PLACE.

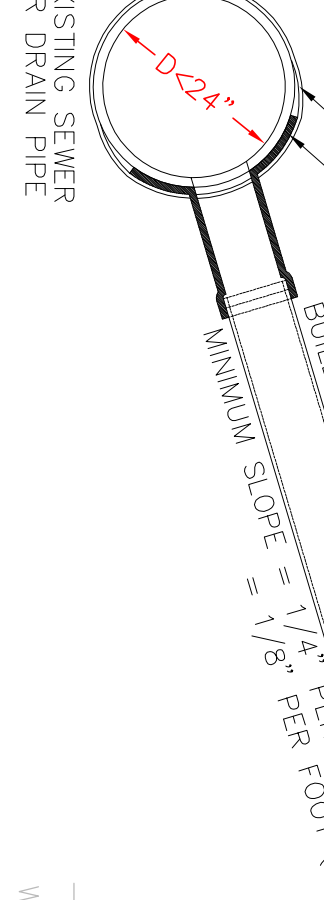


GENERAL CONSTRUCTION NOTES

1. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE DRAIN, AND MUST NOT BE DISPOSED INTO THE STORM DRAIN SYSTEM. SPECIFICATIONS FOR COVERING SPECIAL GAPS OR OPENINGS SHALL BE NOT LESS THAN 2" DIA. THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT STORM WATER SHALL BE EXCLUDED FROM THE DRAIN PIPE. ALL PARTS SHALL BE EXTENDED INDEPENDENTLY TO THE STREET. THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN GRANULAR FILL TO THE TOP OF THE CURB. THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN GRANULAR FILL TO THE TOP OF THE CURB. THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN GRANULAR FILL TO THE TOP OF THE CURB.



OIL/GREASE SEPARATOR DETAIL



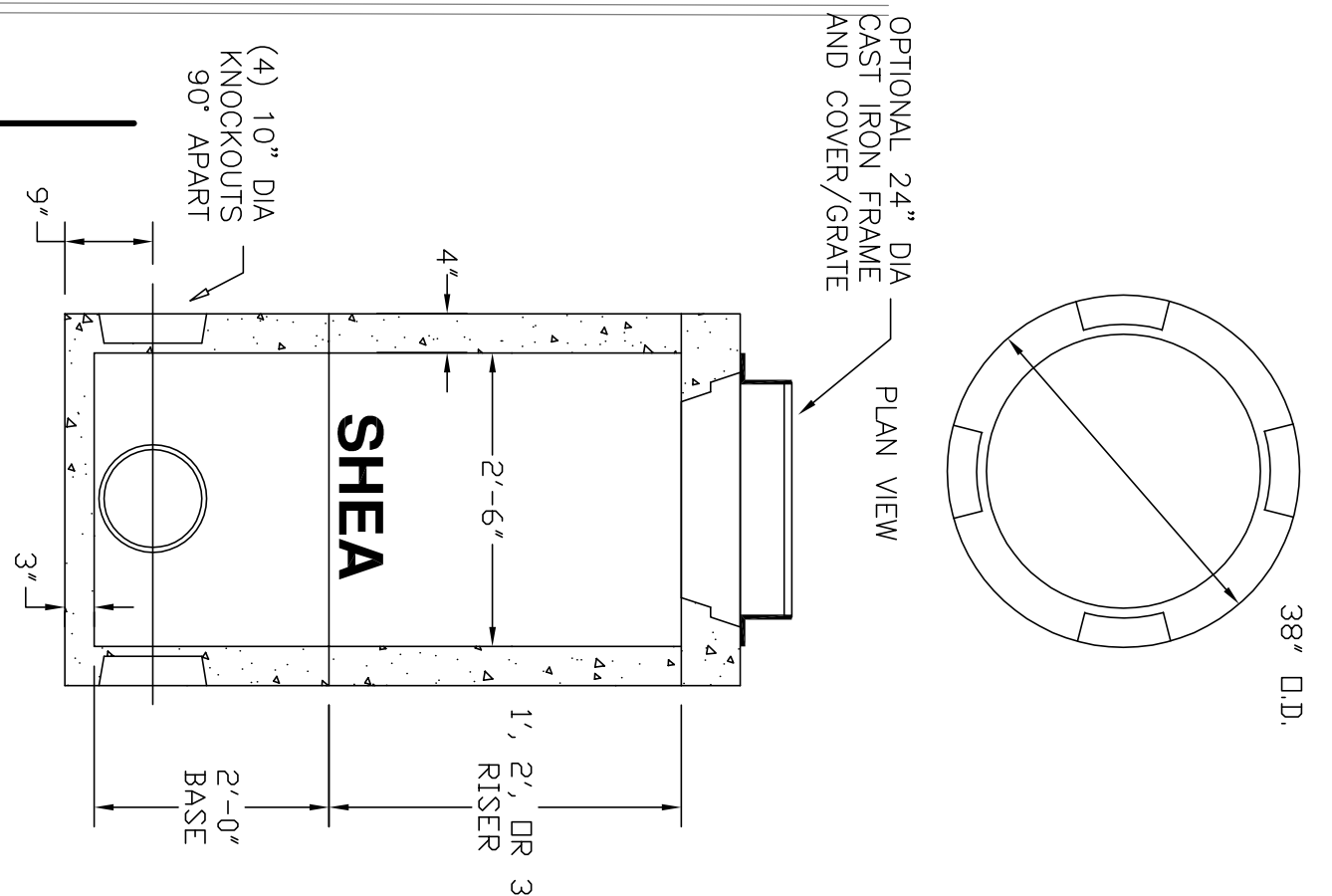
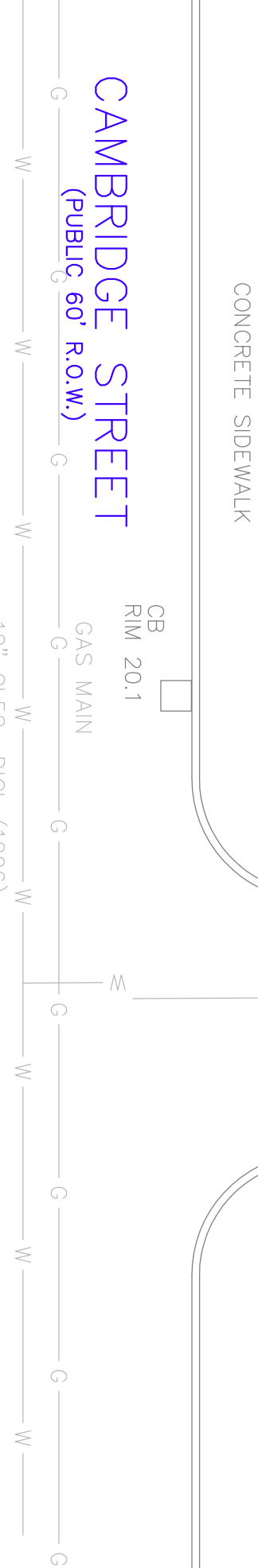
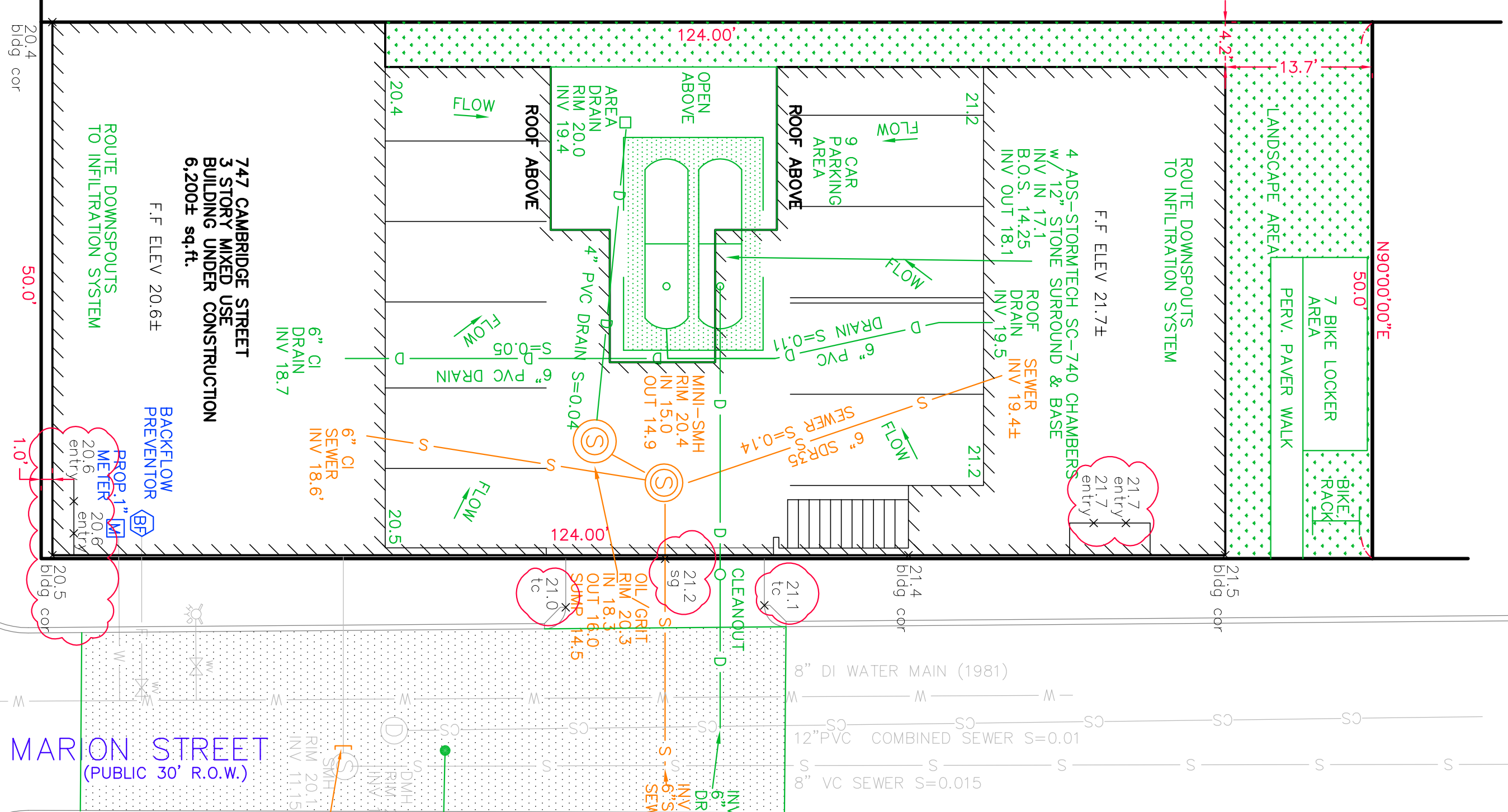
EXISTING SEWER OR DRAIN PIPE

- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING OF THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

SEWER/RAIN SERVICE CONNECTION DETAIL

DRAINAGE CALCULATIONS

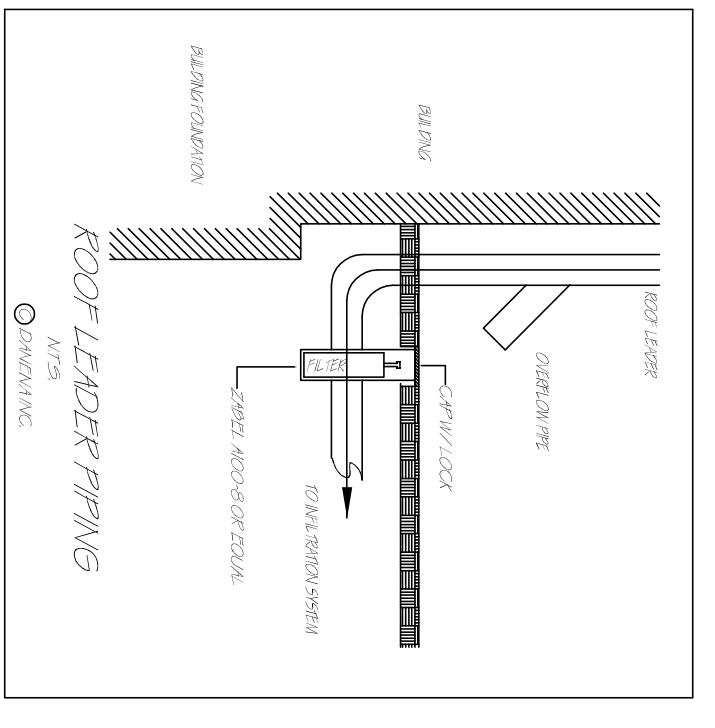
IMPERVIOUS AREA = 4660 S.F. ROOF + 440 S.F. DRIVEWAY
 INFILTRATE (STORE) 1" OF RUNOFF 1/12 (3100 S.F.) = 425 CU. FT.
 USE (4) STORMTECH SC-740 LEACH CHAMBERS - SEE DETAIL 45.9 CU. FT. WITH 24 IN. CRUSHED STONE AROUND EACH 45.9 CU. FT. x 4 = 183.6 CU. FT. CHAMBER VOLUME
 VOLUME COMPUTATION EXTERIOR CRUSHED STONE 19.86 FT. x 13 FT. x 4 FT. = 1032.7 CU. FT. 1032.7 CU. FT. x 0.4 (VOIDS) = 413.1 CU. FT. CHAMBER VOLUME + 339.5 CU. FT. Voids = 752.6 CU. FT. CHAMBER VOLUME + 339.5 CU. FT. Voids = 1092.1 CU. FT. TOTAL STORAGE > 425 CU. FT. RUNOFF CALCULATION



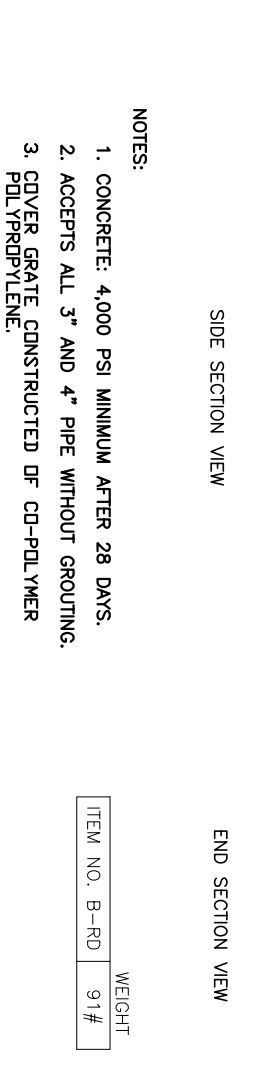
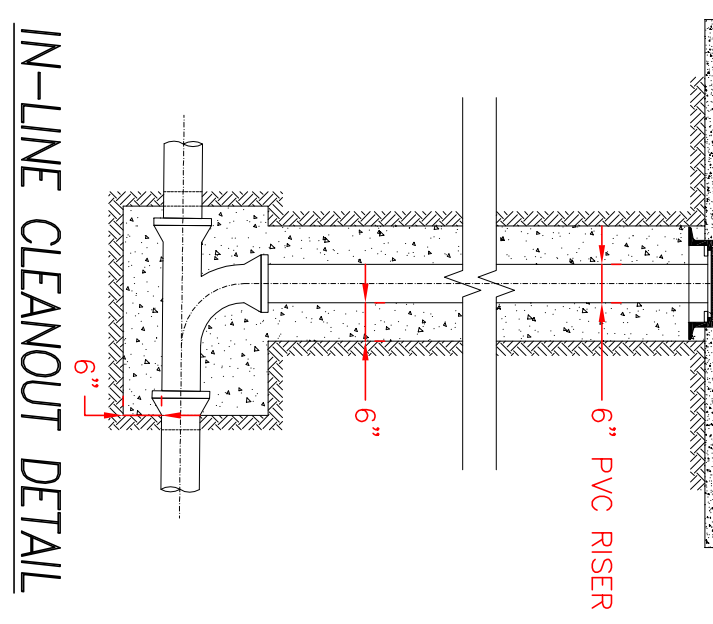
MINI CATCH BASIN

- NOTES:
 1. 2" DR 3" NOTES:
 2. DESIGNED FOR H-20 LOADING.

SECTIONS	ITEM NO.	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24BSH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

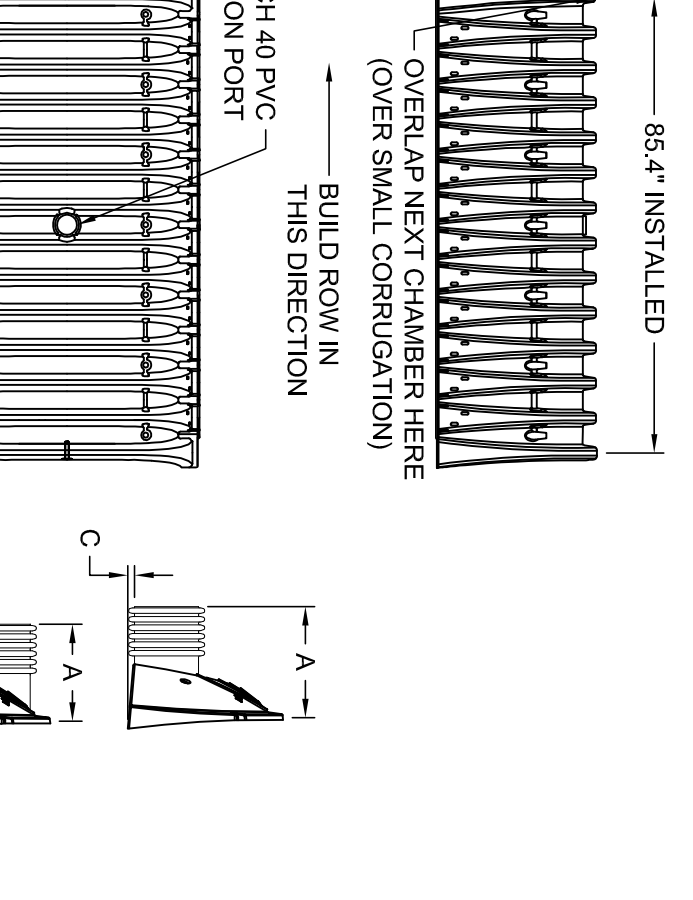
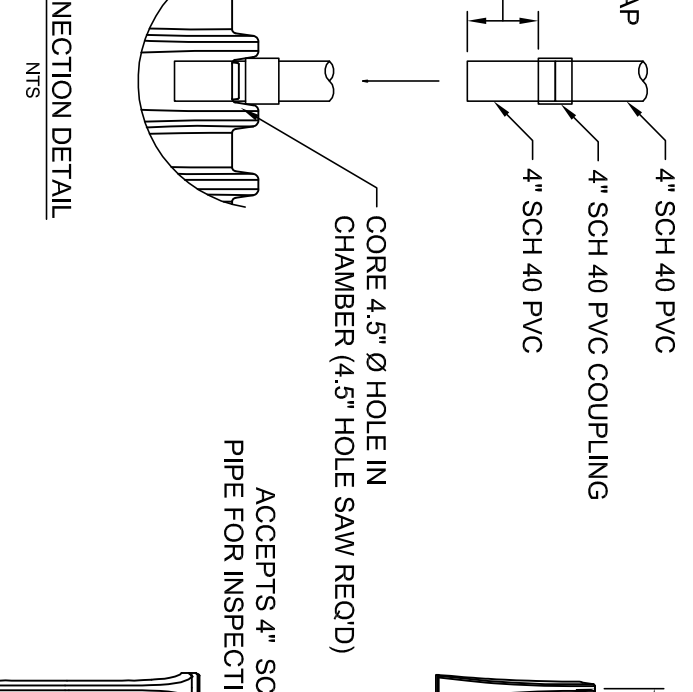
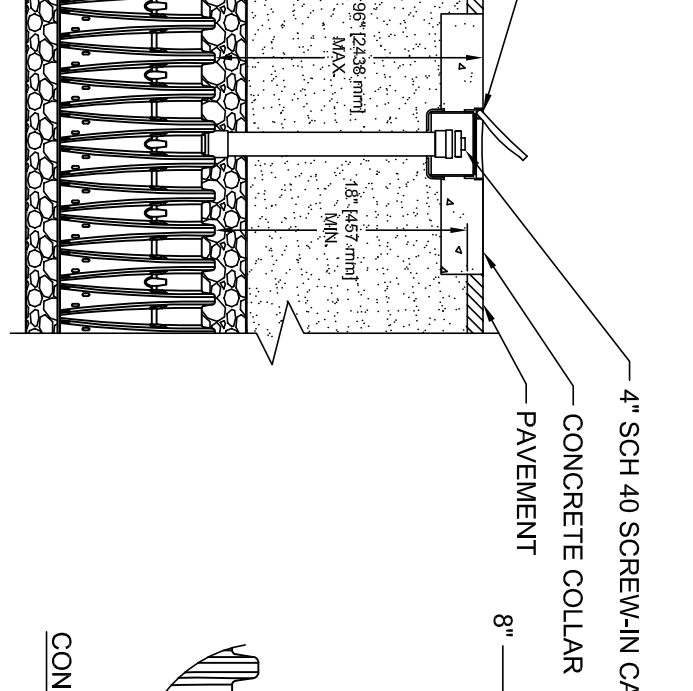


NOTE:
 CLEANOUT TOP SHALL BE ENCLOSED IN CASTING AND/OR FABRICATED COVER ASSEMBLY.

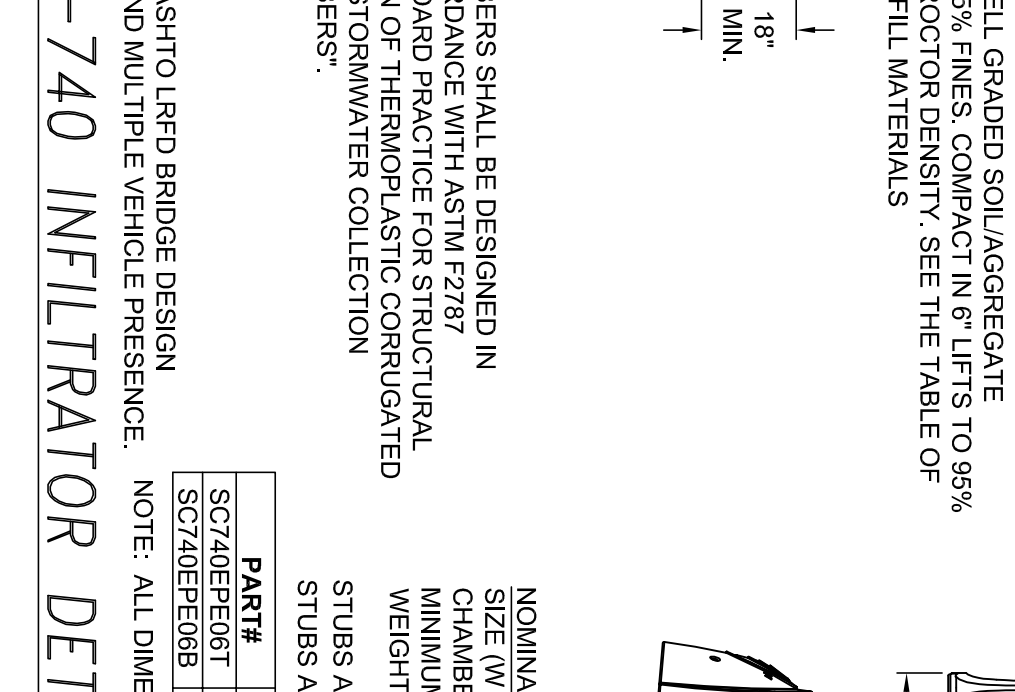
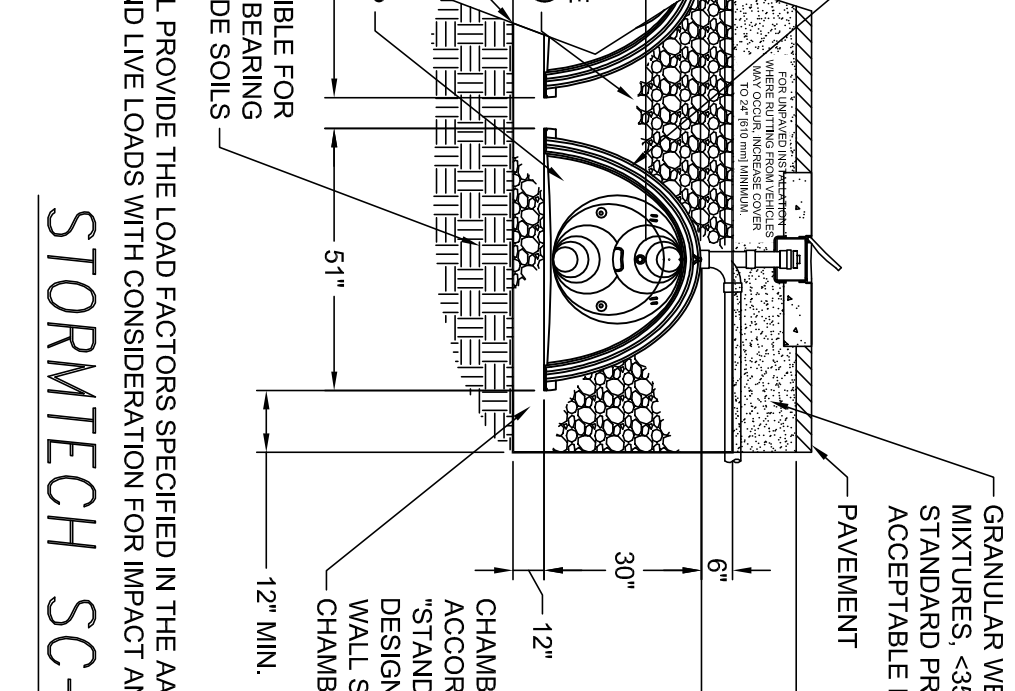
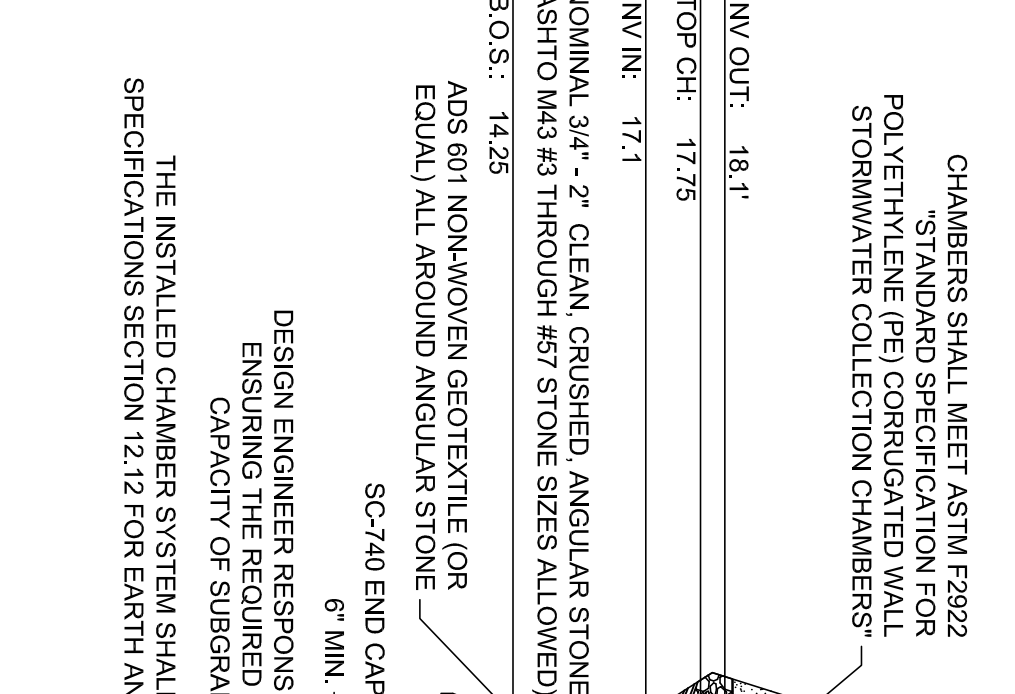


AREA DRAIN DETAIL

NOTES:
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCKOUT LOCATED AT CENTER OF CHAMBER.
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

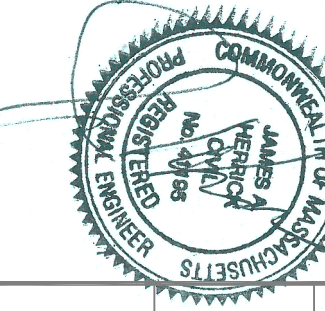


CHAMBERS SHALL MEET ASTM F2922 POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2270 DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
 STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH 'B' STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH 'A' STUBS.



PART#	STUB	A	B	C
SC740E06B1	6"	10.90"	18.50"	N/A
SC740E06B2	6"	N/A	N/A	0.50"

STORMTECH SC-740 INFILTRATOR DETAIL



SITE PLAN
747 CAMBRIDGE STREET
CAMBRIDGE, MA
FOR
MICHAEL BYRNE
CIVIL ENVIRONMENTAL CONSULTANTS
 8 OAK STREET PEABODY, MA 01960 978-531-1191
 SHEET NO: 1 OF 1
 DATE: 8/28/2023 JOB: 4640
 DRAWN BY: L.J.B.

747 Camb. St.

BZA -
248418













747 Camb St.

Petitioners

37-19
DIDOMENICO, SALVATORE &
MARIE DIDOMENICO TRS.
716 CAMBRIDGE STREET
CAMBRIDGE, MA 02141-1497

36-118
761 CAMBRIDGE STREET, LLC
47 IRMA AVE
WATERTOWN, MA 02472

GJM CAMBRIDGE 747 LLC
C/O GREGORY McCARTHY
275 MAIN STREET #1
BOSTON, MA 02129

36-198
DIBIASE, FELICIA
17 MARION ST
CAMBRIDGE, MA 02141

36-199
DIBIASE, GIRO, JR. & FELICIA DIBIASE
12 CHURCHILL RD
WINCHESTER, MA 01890

36-249
BARROS, MANUEL S. & MARIA T. BARROS,
TRS. OF M & M BARROS REALTY TRUST
4 MARION STREET
CAMBRIDGE, MA 02141

37-14-13
DIBIASE, GIRO & ELIZABETH DIABIASE
TRS. NOMINEE TRUST
26 GIRARD RD
WINCHESTER, MA 01890-3339

37-18
BERGANTINO, ANGELO A. & PAULINE M.
TRS REALTY TRUST
20 LANSDOWNE RD
ARLINGTON, MA 02474

37-114
CENTRAL BAKERY, INC.
732 CAMBRIDGE ST.
CAMBRIDGE, MA 02141

36-117
CLINTON, LAWRENCE F. &
NANCY M. DILANDO TRUSTEES
757 CAMBRIDGE ST
CAMBRIDGE, MA 02141

36-236
SAUER, JAMES W. & MAUREEN V. SAUER
14 MARION STREET
CAMBRIDGE, MA 02141-1030

37-15
MOREIRA, LISA & MANUEL MOREIRA
TRUSTEE OF LMCM REAL ESTATE TRUST
7 PEPPER HILL DR.
WINCHESTER, MA 01890

36-247
CITY OF CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

36-247
CITY OF CAMBRIDGE
C/O MEGAN BAYER
CITY SOLICITOR

36-247
CAMBRIDGE CITY OF COMM DEV
57 INMAN ST
CAMBRIDGE, MA 02141

37-12
PHAM, KHOI
152 BERKSHIRE ST - UNIT 152-1
CAMBRIDGE, MA 02141

37-17
MEDEIROS, ANTONIO & MICHAEL VITAL, JOAO
CARVALHO, TRUOF THE JAM REALTY TRUS
732 CAMBRIDGE ST
CAMBRIDGE, MA 02141-1401

37-12
HERNANDEZ, GUSTAVO
146 BERKSHIRE ST. UNIT#1
CAMBRIDGE, MA 02141

37-12
POEHLMAN, KRISTY & LARISSA POLLARD
764 CAMBRIDGE ST UNIT 764/7
CAMBRIDGE, MA 02141

37-12
MCCLENDON, CHRISTOPHER LEE
TING YING WU MCCLENDON
764 CAMBRIDGE ST UNIT 764/3
CAMBRIDGE, MA 02141

37-12
YACCATO, KARIN J.
764 CAMBRIDGE ST. UNIT#2
CAMBRIDGE, MA 02141

37-12
MEDRANO, ELVIS
6 MIDDLESEX CANAL PARK
WOBURN, MA 01801

37-12
ANDERSON, RICHARD STANLEY &
HEIDI WINSTON ALLISON TRS. OF FLAMMIA FAM
152 BERKSHIRE ST. UNIT#3
CAMBRIDGE, MA 02141

37-12
VAN MIDDLESWORTH, REX & DIANE UMSTEAD
1201 CLAIRE AVE
AUSTIN, TX 78703

37-12
MALAVER, PEDRO J.
148 BERKSHIRE ST UNIT 2
CAMBRIDGE, MA 02141

37-12
BERZANSKIS, AUDRIUS
764 CAMBRIDGE STREET, UNIT #8
CAMBRIDGE, MA 02141

37-12
DAVE, PRATIK K.
148 BERKSHIRE ST UNIT 3
CAMBRIDGE, MA 02141

37-12
MAIL, RANDI
146 BERKSHIRE ST UNIT 3
CAMBRIDGE, MA 02141

37-12
BENZ, MARCEL & LAUREN BENZ
764 CAMBRIDGE ST UNIT 5
CAMBRIDGE, MA 02138

37-12
BEAUBIEN, SIMONE
152 BERKSHIRE ST UNIT 4
CAMBRIDGE, MA 02141

747 Camb St.

37-12
GATELY, JOSHUA J. & HEATHER M. SWEENEY
152 BERKSHIRE STREET, UNIT #2
CAMBRIDGE, MA 02141

37-12
HANEY, BLAIR T.
148 BERKSHIRE STREET, UNIT 148-8
CAMBRIDGE, MA 02141

37-12
VANDEVER, KATHRYN G.
146 BERKSHIRE ST UNIT 7
CAMBRIDGE, MA 02141

37-12
SHIMANOVSKAYA, VERONICA A.
200 W 109TH ST B7
NEW YORK, NY 10025

37-12
HILL, LENORE
21 VILLAGE ST.
SOMERVILLE, MA 02143

37-12
BRAVERMAN, JONATHAN
41 GROZIER RD
CAMBRIDGE, MA 02138

37-12
AGHA KAREEM
764 CAMBRIDGE ST UNIT 764-4
CAMBRIDGE, MA 02141

36-111
FREITAS ZELIA C. TRUSTEE
24 JEFFERSON ST
CAMBRIDGE, MA 02141

37-12
PAPA, ALEXANDRIA
152 BERKSHIRE ST 152/6
CAMBRIDGE, MA 02141

37-12
IRREVERENT LLC
P O BOX 51491
BOSTON, MA 02205

36-116
GJM CAMBRIDGE 747 LLC
200 BROADWAY STE 103
LYNNFIELD, MA 01940

37-12
ZHAO RUI & MENGYI JIANG
146 BERKSHIRE ST - UNIT 2
CAMBRIDGE, MA 02141

36-113
PONDELLI, JANET LEE F.
TRS OF THE MARION TRUST
21-23 MARION ST
CAMBRIDGE, MA 02141

37-12
PURCHON, SUSAN F
TRS SUSAN F PURCHON LIVING TR
148 BERKSHIRE ST - UNIT 1
CAMBRIDGE, MA 02141

37-12
LAWRENCE AUBREY TYNER ABERLE LAURA
152 BERKSHIRE ST - UNIT 152-5
CAMBRIDGE, MA 02141

36-237
AUBOURG, MERLIN & SHANNON AUBORG
51 SAGAMORE RD
BROCKTON, MA 02301

37-19
DIDOMENICO, MARIE A LIFE ESTATE
716-722 CAMBRIDGE ST - UNIT 2
CAMBRIDGE, MA 02141

37-12
BECHO, BZUMINA
770 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-12
MCCARTIN, MICHAEL S CATHERINE L MCCARTIN
7 PRAIRIE FALCON
ALISO VIEGO, CA 92656

36-112
REGO, JOSE R & MARIA R. REGO A LIFE ESTATE
22 JEFFERSON ST
CAMBRIDGE, MA 02141

37-12
LEOPARD, VLADIMIR & LUDMILA ADAMS
ADAMS, DANIEL ALBERT ET AL
148 BERKSHIRE ST - UNIT 4
CAMBRIDGE, MA 02141

A literal enforcement of the provisions of this Ordinance would involve substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

An elevator is required for occupant accessibility. The original design and MAAB variance process for a single unit lull was not considered adequate. After much thought and professional input, while with expansive redesign and construction planning with much expense, we believe the proposed single elevator located at the main entrance is the best location for the project. The requested additional 821 square footage will bring an additional unit to an area seeking an increase in dwelling units without harm to the neighborhood.

The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

As the building was designed and has been constructed, the best and we believe only location for an elevator is where we have proposed its placement. It does require removing one parking space for the elevator installation. The additional square footage causes no visual obtrusion to the abutters.

Desirable relief may be granted without substantial detriment to the public good for the following reasons:

Although one parking space would be removed to place the elevator, the project would retain 8 spaces including an accessible space. The additional square footage allows for an accessible path to multiple units and increases the dwelling units in a limited housing market.

Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance for the following reasons:

The additional square footage would not be obtrusive, and is fitting of the site and building. The reduction of one parking space requires relief as the project was originally approved with nine spaces prior to the most recent zoning amendment regarding parking. A reduction of parking is expected to provide the benefit of increased housing stock, leaving the project with ample parking.

The elevator installation will allow accessibility to a wider number of units for the residents of the building.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Lucas Santos Date: 11/28/23
(Print)

Address: 747 Cambridge St.

Case No. BZA-248418

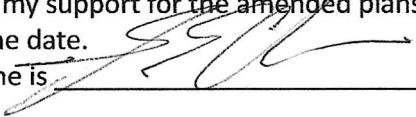
Hearing Date: 12/14/23

Thank you,
Bza Members

11/8/2023

Dear Chairperson and members of the City of Cambridge Board of Zoning Board of Appeals I wish to express my support for the amended plans dated 11/7/2023 presented to me by the owners agent on this same date.

My Name is

A handwritten signature in black ink, appearing to be 'S. J. ...', written over a horizontal line.

owner/proprietor of

Super Roll-up Cafe

11/8/2023

Dear Chairperson and members of the City of Cambridge Board of Zoning Board of Appeals I wish to express my support for the amended plans dated 11/7/2023 presented to me by the owners agent on this same date.

My Name is Manuel Morera owner/proprietor of ROYAL PASTRY SHOP

November 13, 2023

Zoning Board of Appeals
City of Cambridge
Cambridge, MA 02139

Dear Chairperson &
Honorable Members of the Zoning Board

My wife and I are home owners and reside at 757 Cambridge Street. Our property directly abutts the 747 Cambridge Street project. This project is coming before the Zoning Appeals Board.

We write this letter to strongly support the current 747 Cambridge Street project that is before your

board for your review and approval.
We respectfully ask that you grant
positive consideration and approval to
this project.

The 747 Cambridge Street project
development must move forward in a
timely manner.

We thank the Zoning Board for your
time and consideration to this important
matter.

Respectfully,
Nancy DiLandro & Lane F. Clark

11/8/2023

Dear Chairperson and members of the City of Cambridge Board of Zoning Appeals I wish to express my support for the amended plans dated 11/7/2023 presented to me by the owners agent on this same date.

My Name is Ciro DiBisce owner/proprietor of 15 Marion St.