



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 MAY -7 AM 11:34
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 268197

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Arman Garakani and Jenna hall C/O Winslow Architects

PETITIONER'S ADDRESS: 8 Whittier Street, Cambridge, MA 02139

LOCATION OF PROPERTY: 8 Whittier St., Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

1. New front porch steps extending into front setback.
2. Locating new window in existing wall that is side yard setback.
3. Addition adding 30sf gross floor area to existing non-conforming gross floor area.
4. New sunken stairway to basement increasing building height from 38' to 38.1'.

SECTIONS OF ZONING ORDINANCE CITED:

- | | |
|-----------------|---|
| Article: 5.000 | Section: 5.31 (Table of Dimensional Requirements). |
| Article: 8.000 | Section: 8.22.2.d & Sec. 8.22.2.c (Non-Conforming Structure). |
| Article: 10.000 | Section: 10.40 (Special Permit). |

Original
Signature(s):

(Petitioner (s) / Owner)

Arman Garakani
(Print Name)

Address:
Tel. No.

8 Whittier Cambridge
617-921-9252

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Arman Garakani + Jenna Hall
(OWNER)

Address: 8 Whittier St. - Cambridge, MA 02138

State that I/We own the property located at 8 Whittier St, which is the subject of this zoning application.

The record title of this property is in the name of Same

*Pursuant to a deed of duly recorded in the date _____, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

John A Winslow - Winslow Architects
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

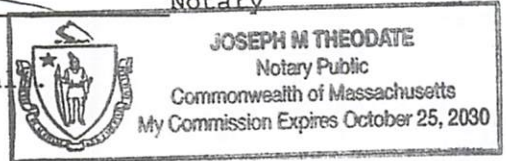
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name John A Winslow personally appeared before me, this 30th of APRIL, 2024, and made oath that the above statement is true.

[Signature]
Notary

My commission expires Oct 25, 2030 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 8 Whittier St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

All requirements are met except for those items cited in this request for a Special Permit. None of the requested items change the impact of this existing house in any way - except for the front porch steps - which we believe if allowed would be more historically correct and pleasing.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No increase in traffic generated.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Continuing existing single family use.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No additional nuisance or hazard is created by this project.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Continuing single family use in a single family district.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

E-Mail Address: john@winslowarchitects.com

Date: _____

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Arman Garakani and Jenna hall
Location: 8 Whittier St., Cambridge, MA
Phone: 617-921-9252

Present Use/Occupancy: Residential
Zone: Residence B Zone
Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,470sf	2,500sf	1,995sf (FAR of 0.5 with lot area of 3,990sf)	(max.)
<u>LOT AREA:</u>		3,990sf	3,990sf	5,000sf	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.62	0.63	0.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3,990sf	3,990	5,000sf	
<u>SIZE OF LOT:</u>	WIDTH	50'	50'	50'	
	DEPTH	79.8'	79.8'	100'	
<u>SETBACKS IN FEET:</u>	FRONT	7.3'	7.3' for porch but front steps to 1.0'	15'	
	REAR	30'	15' from foundation wall	25'	
	LEFT SIDE	13.4'	13.4'	7.5', sum of 20'	
	RIGHT SIDE	7.4'	7.4'	7.5', sum of 20	
<u>SIZE OF BUILDING:</u>	HEIGHT	38'	38.1'	35'	
	WIDTH	38'	42'	39.8'	
	LENGTH	24.7'	24.7'	30'	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		2,700sf	2,500sf	1,600sf	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		1	2	1	
<u>NO. OF LOADING AREAS:</u>		na	na	na	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		na	na	na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

na

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.

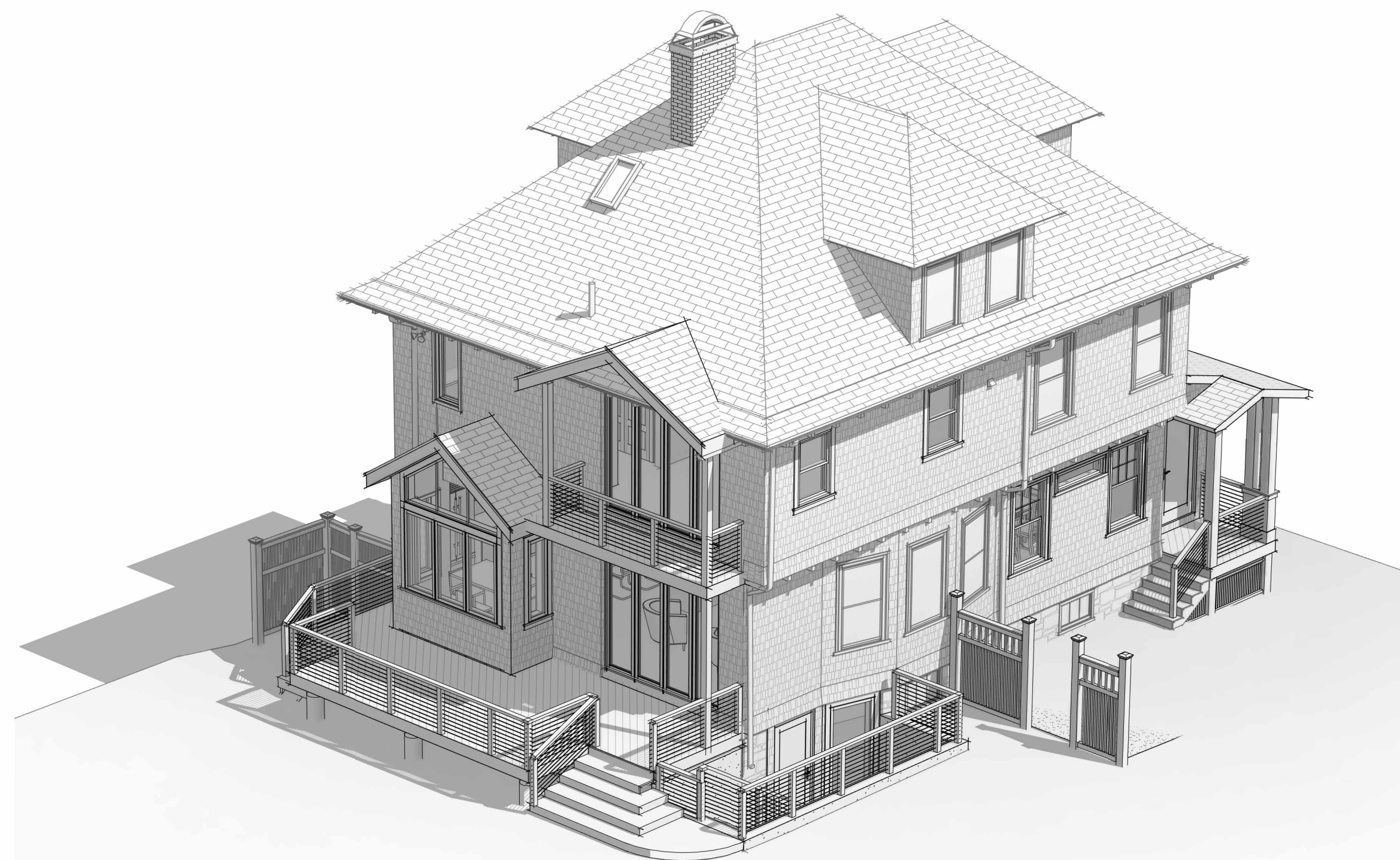
GARAKANI - HALL RESIDENCE

8 WHITTIER STREET, CAMBRIDGE, MA

OWNER
GARAKANI-HALL
 Cambridge, MA

ARCHITECT
WINSLOW ARCHITECTS, INC.
 Arlington, MA

MEP
NORIAN SIANI ENGINEERING
 W. Concord, MA



3

CODE SUMMARY

APPLICABLE CODES

BUILDING CODE
 MASSACHUSETTS STATE BUILDING CODE (780 CMR) - 9TH EDITION, BASE VOLUME (2015 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH AMENDMENTS)

ENERGY CODE
 INTERNATIONAL ENERGY CONSERVATION CODE 2018 EDITION (IECC) WITH MA 9TH ED. CHAPTER 13 & STRETCH CODE AMENDMENTS

ELECTRICAL CODE
 MASSACHUSETTS ELECTRICAL CODE (527 CMR 12.00 - 2020 NFPA 70: NATIONAL ELECTRICAL CODE WITH AMENDMENTS)

PLUMBING CODE
 MASSACHUSETTS BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS REGULATIONS (248 CMR)

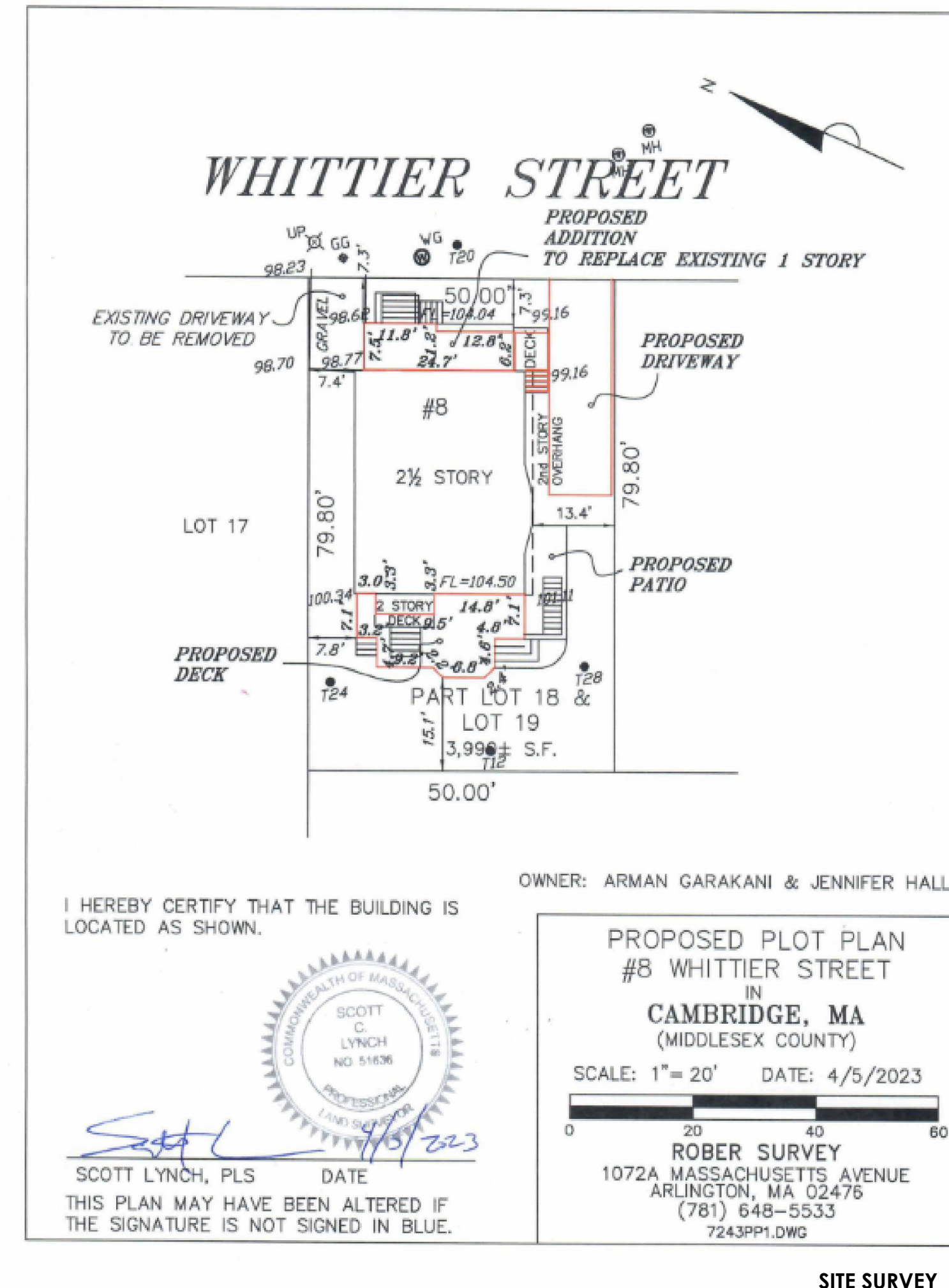
MECHANICAL CODE
 INTERNATIONAL MECHANICAL CODE 2015

ZONING SUMMARY

APPLICABLE ZONING CODES

CATEGORY	DIM. REQUIREMENTS	EXISTING	PROPOSED	STATUS
ZONE DISTRICT	Res. B			
MAX. FAR	0.5	0.94	0.92	
LOT AREA	5,000 SF MIN.	3,990 SF	3,990 SF	EXISTING NON-CONFORMING
FLOOR AREA	3,990 X .50 = 1,995 SF MAX.	2,500 SF	2,470 SF	VARIANCE REQUIRED
LOT WIDTH	50' MIN.	50'	50'	CONFORMING
SIDE SETBACK - NORTH	H+L / 5+2 = 33+40 / 7 = 10.4'	7.4'	7.4'	VARIANCE REQUIRED FOR NEW WINDOW IN NON-CONFORMING NORTH WALL
SIDE SETBACK - SOUTH	H+L / 5+2 = 33+40 / 7 = 10.4'	13.4'	13.4'	CONFORMING
FRONT SETBACK	H+L / 4+2 = 33+28 / 6 = 10.2'	7.3'	7.3'	VARIANCE REQUIRED FOR FRONT STEPS INTO SETBACK
REAR SETBACK	H+L / 4+2 = 33+28 / 6 = 10.2'	28.5'	28.5'	CONFORMING
HEIGHT	35'	38'	38'	EXISTING NON-CONFORMING
OPEN SPACE RATIO TO LOT AREA	40%	2,700 SF = 68%	2,460 SF (new driveway location) = 62%	CONFORMING

PERMIT SET



Date issued:

04.16.24



89 MASSACHUSETTS AVE.
 ARLINGTON, MA 02474
 P: 781 648 6600
 F: 781 648 6601
 www.winslowarchitects.com

Owner/Developer:

GARAKANI - HALL
 8 WHITTIER ST. CAMBRIDGE, MA

Project:

**8 WHITTIER ST.
 RENOVATION &
 ADDITION**

Drawing:

TITLE SHEET

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
02	CONTRACT REVISION 1	02/16/2024
03	ZONING COMPLIANCE	04/12/2024
		04/16/2024

Stamp:

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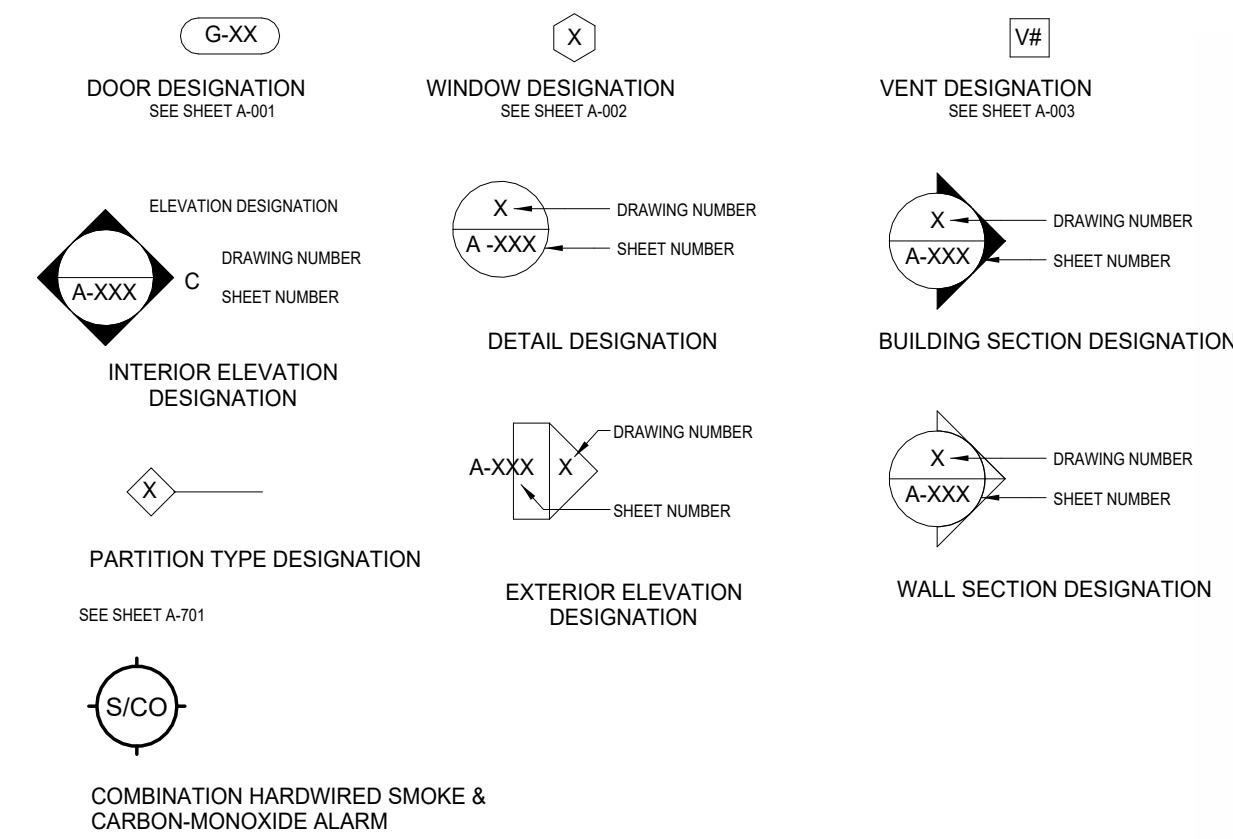
Project number:

22-633

Sheet:

G-001

SYMBOLS



HVAC SPECIFICATION

DESIGN BUILD HVAC SYSTEM SPECIFICATION

The intent for this project is to provide a complete heating and ventilation system for the renovation to the residence at 8 Whittier St., Cambridge MA. In general systems are to be air source heat pump systems with exhaust only ventilation systems.

The following document outlines the minimum required systems and equipment, which shall be provided and provides basic system requirements. For equipment, systems and devices not specifically described below the contractor shall provide industry standard devices. For equipment not specifically sized the contractor shall use industry best practice (SMACNA Manual J, Manual D and Manual S methodology.) Please provide a written proposal for the systems as described without deviation. (Ideas and suggestions are welcome and encouraged. Costs and/or savings compared to the specified systems should be indicated for any proposed deviations. Please clearly indicate any deviations from the described systems in your written proposal.):

- General**
- All systems shall be installed per code and per best practice of the trade.
 - Fully coordinate systems and equipment locations with Owner/Architect prior to installation of any equipment.
 - Provide full set up submittals (Product Cut Sheets) for review by owner and architect prior to purchase of equipment.

HVAC System: Provide high efficiency multi-head air source heat pump heating systems and exhaust only ventilations system. System shall include the following major components:

General

- Remove existing mechanical systems and equipment within areas of renovation. Bathroom exhaust ductwork may be reused where practical. Any ductwork to be reused shall be inspected and cleaned.
- Coordinate with Electrical Contractor (EC) and General Contractor (GC) to ensure adequate electrical capacity to install the specified systems.
- Maintain existing hydronic heating system to serve un-renovated areas. Modify existing hydronic heating system to eliminate locations where radiators and/or baseboard must be removed.
- All new duct systems shall comply with the following requirements: Duct systems to be designed by Mechanical Contractor (MC). System shall meet the following minimum requirements:
 - Trunk ducts shall be sized not to exceed 700 FPM.
 - Branch ducts shall be sized not to exceed 500 FPM.
 - All ductwork shall be rigid metal.
 - Branch takeoffs to grilles may be flexible. No flex duct run shall exceed 5 ft in length.
 - Provide manual balancing dampers on all branches.

Basement:

- Exhaust and Ventilation
 - Continuously operating bathroom exhaust fan. {Panasonic FV-0511VKS2} Fan to include humidity module (FV-CSVK1) and multispeed module (FV-VS15VK1) Unit shall be setup to run at 30 CFM continuously and boost to 100 CFM on humidity sensor or wall switch. Set unit to boost when humidity exceeds 50% RH.
 - 4" round ductwork to sidewall termination.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide in custom color as selected by architect.}
- Basement Dehumidification
 - 70 pint per day dehumidifier within basement mechanical room. {Aprilaire E070} Unit shall be pipe to condensate pump. Unit shall be set at 60% RH.
 - Condensate pump and associated piping to existing basement laundry standpipe.
- Heating and Cooling System:
 - Multi-Position ducted fan coil unit to serve all occupied basement. {Mitsubishi SVZ-KP**NA or equivalent} All supply and return ductwork to be located at the ceiling of the basement adjacent to central beam. All grilles to be sidewall or ceiling. {Hart and Cooley or equivalent.}
 - Heat Pump shall be vertical orientation and installed in the basement mechanical room.
 - Unit shall be mounted on 3-1/2" concrete housing keeping pad.
 - Exact location of fan coil shall be coordinated with GC and Owner prior to installation.
 - Provide wall mounted controller. {Mitsubishi MHK2 or equivalent.}
 - Drain condensate to dehumidifier condensate pump.

First Floor System:

- Heating and Cooling System:
 - Multi-Position ducted fan coil to serve first floor. {Mitsubishi SVZ-KP**NA or equivalent} All supply and return ductwork to be located at the ceiling of the basement adjacent to central beam or within structure. All grilles and diffusers to be floor type. {Hart and Cooley or equivalent.}
 - Heat Pump shall be vertical orientation and installed in the basement mechanical room.
 - Unit shall be mounted on 3-1/2" concrete housing keeping pad.
 - The exact location of fan coil shall be coordinated with GC and Owner prior to installation.
 - Provide wall mounted controller. {Mitsubishi MHK2 or equivalent.}
 - Drain condensate to dehumidifier condensate pump.

Second Floor System:

- Heating and Cooling System:
 - Continuously operating bathroom exhaust fan with light. {Panasonic FV-0511VKS2} Fan. Fan to include multispeed module (FV-VS15VK1). Unit shall be setup to run at 30 CFM continuously and boost to 100 CFM on light switch. (Coordinate with EC such that fan disconnect switch is high on wall and not adjacent to light switch.)
 - 4" round ductwork to sidewall termination.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide custom color as selected by architect.}
- Laundry Room:
 - Provide dryer wall box {In-o-vate Model 425}
 - 4" dryer ducted to sidewall.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide custom color as selected by architect.}

Third Floor

- HVAC systems existing to remain.

- Multi-Position ducted fan coil to serve second. {Mitsubishi SVZ-KP**NA or equivalent} All supply and return ductwork to be located within third floor knee walls. All grilles and diffusers to be ceiling type. {Hart and Cooley or equivalent.}
 - Heat Pump shall be horizontal orientation and installed in attic knee wall.
 - Unit shall be mounted within auxiliary drain pan with float switch or water sensor to shut down unit if water is present within drain pan.
 - The exact location of fan coil shall be coordinated with GC and Owner prior to installation.
 - Provide wall mounted controller. {Mitsubishi MHK2 or equivalent.}
 - Drain condensate to Laundry standpipe at second floor.
- Bathrooms (Typ-2)
 - Continuously operating bathroom exhaust fan with light. {Panasonic FV-0511VKS2} Fan to include motion sensor, humidity sensor. Fan to include humidity module (FV-CSVK1), multispeed module (FV-VS15VK1) and motion sensor (FV-MSVK1). Unit shall be setup to run at 30 CFM continuously and boost to 100 CFM on humidity sensor or motion sensor. Set unit to boost when humidity exceeds 50% RH. (Coordinate with EC such that fan disconnect switch is high on wall and not adjacent to light switch.)
 - 4" round ductwork to sidewall termination.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide custom color as selected by architect.}

Basement:

- Exhaust and Ventilation
 - Continuously operating bathroom exhaust fan. {Panasonic FV-0511VKS2} Fan to include humidity module (FV-CSVK1) and multispeed module (FV-VS15VK1) Unit shall be setup to run at 30 CFM continuously and boost to 100 CFM on humidity sensor or wall switch. Set unit to boost when humidity exceeds 50% RH.
 - 4" round ductwork to sidewall termination.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide in custom color as selected by architect.}
- Basement Dehumidification
 - 70 pint per day dehumidifier within basement mechanical room. {Aprilaire E070} Unit shall be pipe to condensate pump. Unit shall be set at 60% RH.
 - Condensate pump and associated piping to existing basement laundry standpipe.
- Heating and Cooling System:
 - Multi-Position ducted fan coil unit to serve all occupied basement. {Mitsubishi SVZ-KP**NA or equivalent} All supply and return ductwork to be located at the ceiling of the basement adjacent to central beam. All grilles to be sidewall or ceiling. {Hart and Cooley or equivalent.}
 - Heat Pump shall be vertical orientation and installed in the basement mechanical room.
 - Unit shall be mounted on 3-1/2" concrete housing keeping pad.
 - Exact location of fan coil shall be coordinated with GC and Owner prior to installation.
 - Provide wall mounted controller. {Mitsubishi MHK2 or equivalent.}
 - Drain condensate to dehumidifier condensate pump.

First Floor System:

- Heating and Cooling System:
 - Multi-Position ducted fan coil to serve first floor. {Mitsubishi SVZ-KP**NA or equivalent} All supply and return ductwork to be located at the ceiling of the basement adjacent to central beam or within structure. All grilles and diffusers to be floor type. {Hart and Cooley or equivalent.}
 - Heat Pump shall be vertical orientation and installed in the basement mechanical room.
 - Unit shall be mounted on 3-1/2" concrete housing keeping pad.
 - The exact location of fan coil shall be coordinated with GC and Owner prior to installation.
 - Provide wall mounted controller. {Mitsubishi MHK2 or equivalent.}
 - Drain condensate to dehumidifier condensate pump.

Second Floor System:

- Heating and Cooling System:
 - Continuously operating bathroom exhaust fan with light. {Panasonic FV-0511VKS2} Fan. Fan to include multispeed module (FV-VS15VK1). Unit shall be setup to run at 30 CFM continuously and boost to 100 CFM on light switch. (Coordinate with EC such that fan disconnect switch is high on wall and not adjacent to light switch.)
 - 4" round ductwork to sidewall termination.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide custom color as selected by architect.}
- Laundry Room:
 - Provide dryer wall box {In-o-vate Model 425}
 - 4" dryer ducted to sidewall.
 - Termination to be Xvent louvered termination. {Xvent 4SEB-2, provide custom color as selected by architect.}

Third Floor

- HVAC systems existing to remain.

- END OF DESIGN BUILD SPECIFICATION -

OUTLINE SPECIFICATIONS

SITE WORK	<ul style="list-style-type: none"> PROVIDE NEW 12" WIDE COBBLESTONE DRIVEWAY AS SHOWN ON PLANS. PROVIDE NEW CURB CUT WITH CONCRETE CURBING PER CITY SPECIFICATIONS. REMOVE TREE AND OTHER PLANTINGS AS REQUIRED TO ENABLE NEW DRIVEWAY LOCATION. PROVIDE 4' TALL CEDAR FENCE AND GATE WITH 2" LATTICE TOPPER AT END OF DRIVEWAY. PROVIDE BLUESTONE PATIO OVER A GRAVEL AND SAND BASE IN BACKYARD LOCATED PER PLANS - APPROX. 12' X 15. PROVIDE 2% SLOPE IN SAND SUBBASE TO ALLOW FOR DRAINAGE AWAY FROM THE HOUSE. PROVIDE 3" WIDE BLUESTONE WALKWAY BETWEEN DRIVEWAY AND PATIO - SAME DETAILS AS BLUESTONE PATIO. PROVIDE 10" POURED CONCRETE RETAINING WALLS W REBARS AS REQUIRED TO CREATE NEW AREAWAY FOR DIRECT BASEMENT ACCESS AS SHOWN ON PLANS. ALSO PROVIDE CONCRETE STEPS PROVIDE METAL RAILING AT TOP OF RETAINING WALL AND STEPS FOR NE BASEMENT AREAWAY. PROVIDE DRAIN AND DRYWELL IN THE NEW BASEMENT AREAWAY PROVIDE PLANTING 36" PLANTING BED ALONG SIDE AND REAR PROPERTY LINES. PROVIDE LOAM/SEED FOR REMAINDER OF YARD AREA. PROVIDE IRRIGATION SYSTEM FOR THE PLANTER BEDS. PROVIDE 12" DIAMETER CONCRETE SONO TUBE FOOTINGS FOR NEW DECK AS LOCATED ON PLANS - INCLUDING SPREAD FOOTING AT 4' BELOW FINISH GRADE.
FOUNDATION/ DRAINAGE/ BASEMENT FLOORING	<ul style="list-style-type: none"> RETAIN EXISTING FOUNDATION WALLS EXCEPT WHERE NOTED. CUT FOUNDATION WALL AND REFRAME NEW BASEMENT ENTRY DOOR AND NEW WINDOWS PER PLAN. PROVIDE NEW FOUNDATION WALLS UNDERNEATH EXISTING REAR PORCH PER PLANS. WALLS TO BE 10" POURED CONCRETE W/ REBAR CONNECTION TO 12"X24" ON SPREAD FOOTING AT 4'0 MINIMUM BELOW FIN. GRADE. PROVIDE NEW CONCRETE FLOOR FINISH IN BASEMENT OVER EXISTING FLOORING IN FAMILY ROOM, HALLWAY AND BATHROOM. PATCH/ PREPARE EXISTING FLOORING AS REQUIRED FOR PROPER INSTALL OF NEW CONCRETE FLOOR FINISH. SEE PLANS FOR DETAILS
DEMOLITION	<ul style="list-style-type: none"> DEMOLISH PER PLANS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED UNTIL NEW SUPPORTS IN THE NEW LAYOUT ARE PROVIDED.
FRAMING	<ul style="list-style-type: none"> FIRST & SECOND FLOOR ADDITION PER PLANS. FRONT PORCH AND MUDROOM PER PLANS. NEW INTERIOR STUD WALL AT FAMILY ROOM IN BASEMENT SECOND FLOOR BATHROOMS AND W/D CLOSET BR 1 WIC DOUBLE TOP PLATES AT NEW FOUNDATION WALLS. ALL NEW WALLS TO BE 2 X 6 WITH DOUBLE TOP PLATES ADVANTECH PLYWOOD SUBFLOOR WHERE NEW FLOORING IS PROVIDED.
SIDING	<ul style="list-style-type: none"> PATCH/REPAIR EXISTING SIDING. PAINTED SHINGLE SIDING TO MATCH EXISTING PVC CASINGS AND CORNERBOARDS TO MATCH EXISTING IN SIZE AND PROFILE
ROOFING	<ul style="list-style-type: none"> NEW PORCH ROOF AT ENTRY PORCH. PROVIDE ICE/WATER SHIELD FIRST 4 FEET FROM EDGE AND ANY VALLEYS. NEW ROOF OVER SECOND FLOOR ADDITION. 40 YEAR ASPHALT SHINGLE. WOOD GUTTERS AND DOWNSPOUTS AS NOTED ON PLANS. PROVIDE CONCRETE SPLASH BLOCKS DIRECTING WATER AWAY FROM THE HOUSE AT ALL DOWNSPOUTS.
WINDOWS	<ul style="list-style-type: none"> SEE WINDOW SCHEDULE
DOORS	<ul style="list-style-type: none"> SEE DOOR SCHEDULE
INSULATION	<ul style="list-style-type: none"> CLOSE CELL SPRAY FOAM IN ALL WALLS AND ROOF AREAS THAT ARE OPENED FOR NEW PLAN THROUGHOUT - R-49 IN ROOF/ATTIC, R-21 IN WALLS, R-21 FIRST FLOOR (IN CEILING OF LOWER LEVEL). 1" CONTINUOUS RIGID BOARD INSULATION ON REAR WALL AND ON NEW MUD ROOM WALL AT FRONT BATT INSULATION IN CEILING OF BASEMENT LEVEL. SEALANTS AND MEMBRANES AS REQ'D TO ACHIEVE HERS RATING.
INTERIOR WALL SURFACES	<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR WALL MATERIALS
FLOORING	<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR FLOORING
KITCHEN	<ul style="list-style-type: none"> ALL KITCHEN CABINETS, COUNTERTOPS APPLIANCES BY OWNER. SEE FIXTURE SCHEDULE
BATHROOM 1	<ul style="list-style-type: none"> ALL BATHROOM FIXTURES BY OWNER. CURVING GLASS BLOCK WALL FOR WALK-IN SEE FIXTURE SCHEDULE
OTHER BATHROOMS	<ul style="list-style-type: none"> SEE FIXTURE SCHEDULE
HVAC	<ul style="list-style-type: none"> TBD
ELECTRICAL	<ul style="list-style-type: none"> TBD
PLUMBING	<ul style="list-style-type: none"> TBD

ABBREVIATIONS

Acoustical Ceiling Tile	ACT	Manufacturer	MFR
Above Finish Floor	AFF	Masonry Opening	MO
Aluminum	AL, ALUM	Maximum	MAX
Alternate	ALT	Mechanical	MECH
Architectural	ARCH	Minimum	MIN
Board	BD	Miscellaneous	MISC
Between	BETW	Masonry Opening	MO
Building	BLDG	Maximum	MAX
Bottom Of	BO	Mounted	MTD
Cabinet	CAB	North	N
Control Joint	CJ	Not Applicable	NA, N/A
Ceiling	CLG	Not In Contract	NIC
Clear	CLR	Number	NO
Closef	CL	Nominal	NOM
Concrete	CONC	Not To Scale	NTS
Carpet	CPT	North	N
Ceramic Tile	CT	On Center	OC
Cabinet Unit Heater	CUH	Outside Diameter	OD
Detail	DET	Opposite Hand	OPH
Diagonal	DIAG	Opening	OPNG
Door	DR	Plumbing	PLUMB
Dimension	DIM	Plastic Laminate	P.LAM, LAM
Down	DN	Pressure Treated	PT
Dryer	D	Painted	PTD
Detail	DTL	Plywood	PLWD
Drawing	DWG	Required	REQ, REQ'D
Each	EA	Revision	REV
East	E	Right Hand	RH
Elevation	EL	Room	RM
Electric(al)	ELEC	Rough Opening	RO
Edge Of Slab	EOS	South	S
Electrical Panel	EP	Section	SECT
Equipment	EQP	Square Feet	SF
Exterior	EXT	Sheet	SHT
Floor Drain	FD	Similar	SIM
Finished	FIN	Specified	SPEC'D, SPEC
Floor	FLR	Square	SQ
Frame	FR	Stainless Steel	SST
Fire Extinguisher Cabinet	FEC	Stone	ST
Fire Retardant Treated	FRT	Steel	STL
Grab Bar	GB	Storage	STO
General Contractor	GC	Toilet	TLT
Glass	GL	Telephone	TEL
Gypsum Wall Board	GWB, GYP	Tongue & Groove	T&G
Hollow Metal	HM	Thickness	THK
Height	HT	Top Of	TO
Inch	IN	Top Of Steel	TOS
Interior	INT	Top of Concrete	TOC
Invert	INV	Toilet Paper Dispenser	TPD
Joint	JT	Typical	TYP
Lavatory	LAV	Unless Otherwise Noted	UON
Light Fixture	LF	Varies	VAR
Light Gauge Met. Fram.	LGMF	Vinyl Tile	VCT
Left Hand	LH	West	W
Location	LOC	Wall Oven	WO
Luxury Vinyl Tile	LVT		

Date issued:

04.16.24



89 MASSACHUSETTS AVE. ARLINGTON, MA 02474

P: 781 648 6600 F: 781 648 6601

www.winslowarchitects.com

Owner/Developer:

GARAKANI - HALL

8 WHITTIER ST. CAMBRIDGE, MA

Project:

8 WHITTIER ST. RENOVATION & ADDITION

Drawing:

GENERAL INFORMATION

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
02	CONTRACT REVISION 1	02/16/2024
03	ZONING COMPLIANCE	04/12/2024
		04/16/2024

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Project number:

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Owner/Developer:

GARAKANI - HALL

8 WHITTIER ST. CAMBRIDGE, MA

Project:

**8 WHITTIER ST.
RENOVATION &
ADDITION**

Drawing:

SCHEDULES

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
02	CONTRACT REVISION 1	02/16/2024
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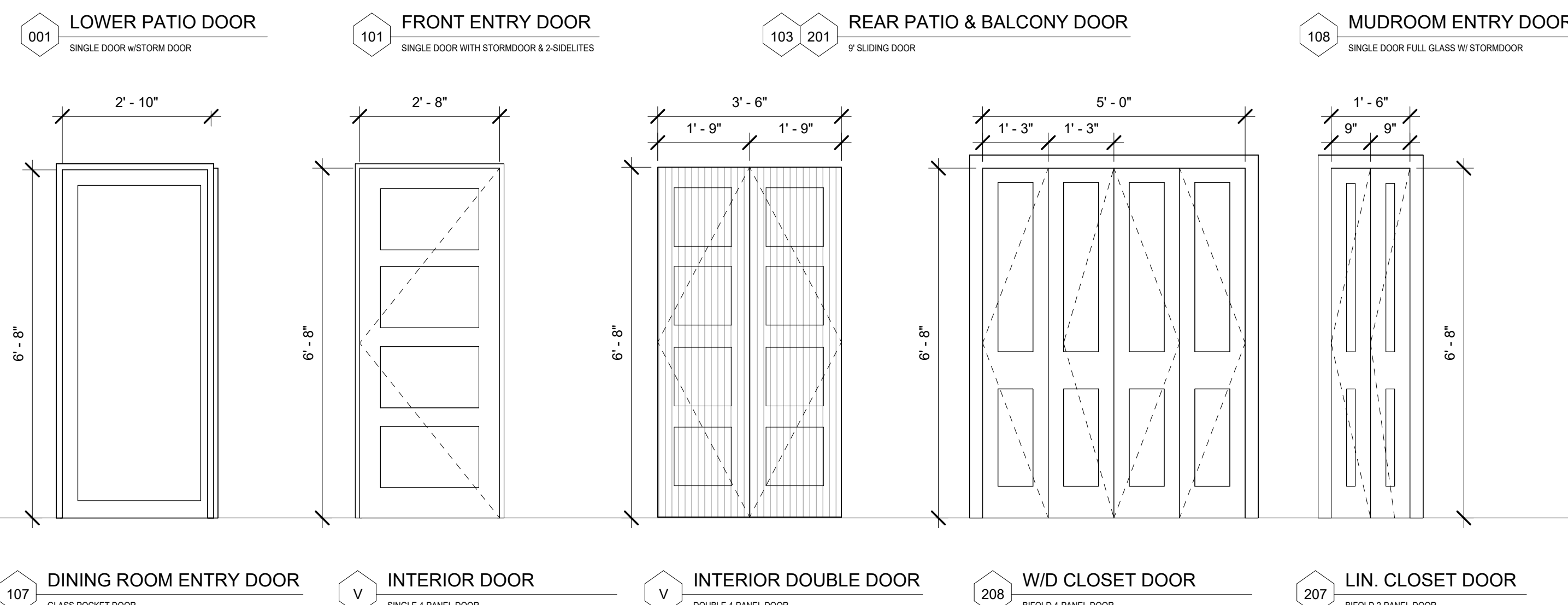
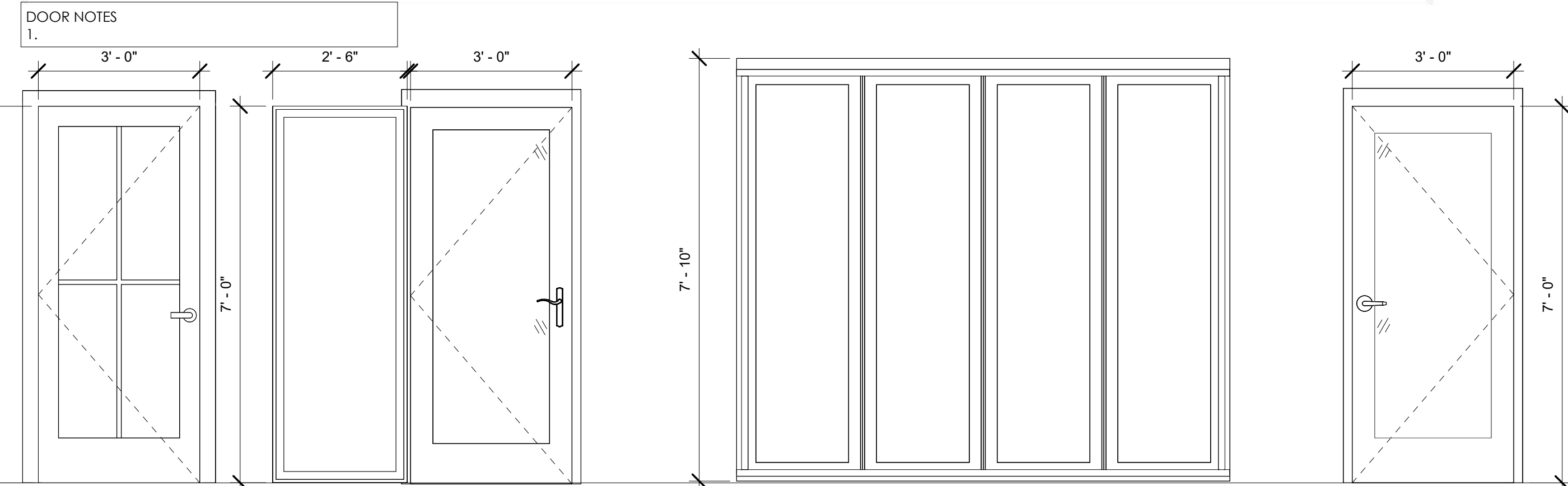
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Sheet:

G-003

WHITTIER STREET - DOOR SCHEDULE								
TYPE	LOCATION	STYLE	MANUFACTURER	MODEL	WIDTH	HEIGHT	HW. NO.	COMMENTS
BASEMENT								
001	Exterior -Basement Entry	Hinge	Thermatru	Steel w 50% glass	3'0"	6'6"		
001-A	Exterior - Basement Entry	Storm/Screen	Anderson	Full lite glass/ screen insert	3'0"	6'6"		
002	Bathroom	Hinge	Existing	Re-use existing				
003	Mech. Room	Hinge	Thermatru	Steel	3'0"	6'6"		
004	Storage	Hinge	Thermatru	Steel	3'0"	6'6"		
FIRST FLOOR								
101	Exterior - Front Entry	Hinge w 1 sidelite	Simpson	50% glass	3'0" + Side	7'0"		
101-A	Exterior - Front Entry	Storm/Screen	Anderson	Full lite glass/screen insert	3'0"	7'0"		
102	Entry Hall Closet	Double Hinge	Masonite		3'6"	7'0"		
103	Exterior - Living Room	Sliding	NanaWall		9'0"	7'0"		
104	Bathroom	Hinge	Masonite		2'8"	7'0"		
105	Entry Hall Closet	Hinge	Masonite		1'6"	7'0"		
106	Not used							
107	Entry Hall - Closet	Hinge	Masonite		3'0"	7'0"		
108	Dining -Mudroom	Pocket	Masonite		3'0"	7'0"		
109	Entry Mudroom	Exterior	Simpson		3'0"	7'0"		
109-A	Entry Mudroom	Storm/Screen	Anderson		3'0"	7'0"		

SECOND FLOOR								
201	BR 1 - Balcony	Exterior-Sliding	NanaWall		9'0"	6'8"		
202	BR 1 - Closet	Hinge	Masonite		3'0"	6'8"		
203	M. Closet	Double Hinge	Masonite		4'0"	6'8"		
204	M. Closet	Double Hinge	Masonite		4'0"	6'8"		
205	M Bath	Pocket Door	Masonite		3'0"	6'8"		
206	Washer/Dryer	Hinge	Masonite		3'0"	6'8"		
207	BR 2 - Entry	Pocket Door	Masonite		3'0"	6'8"		

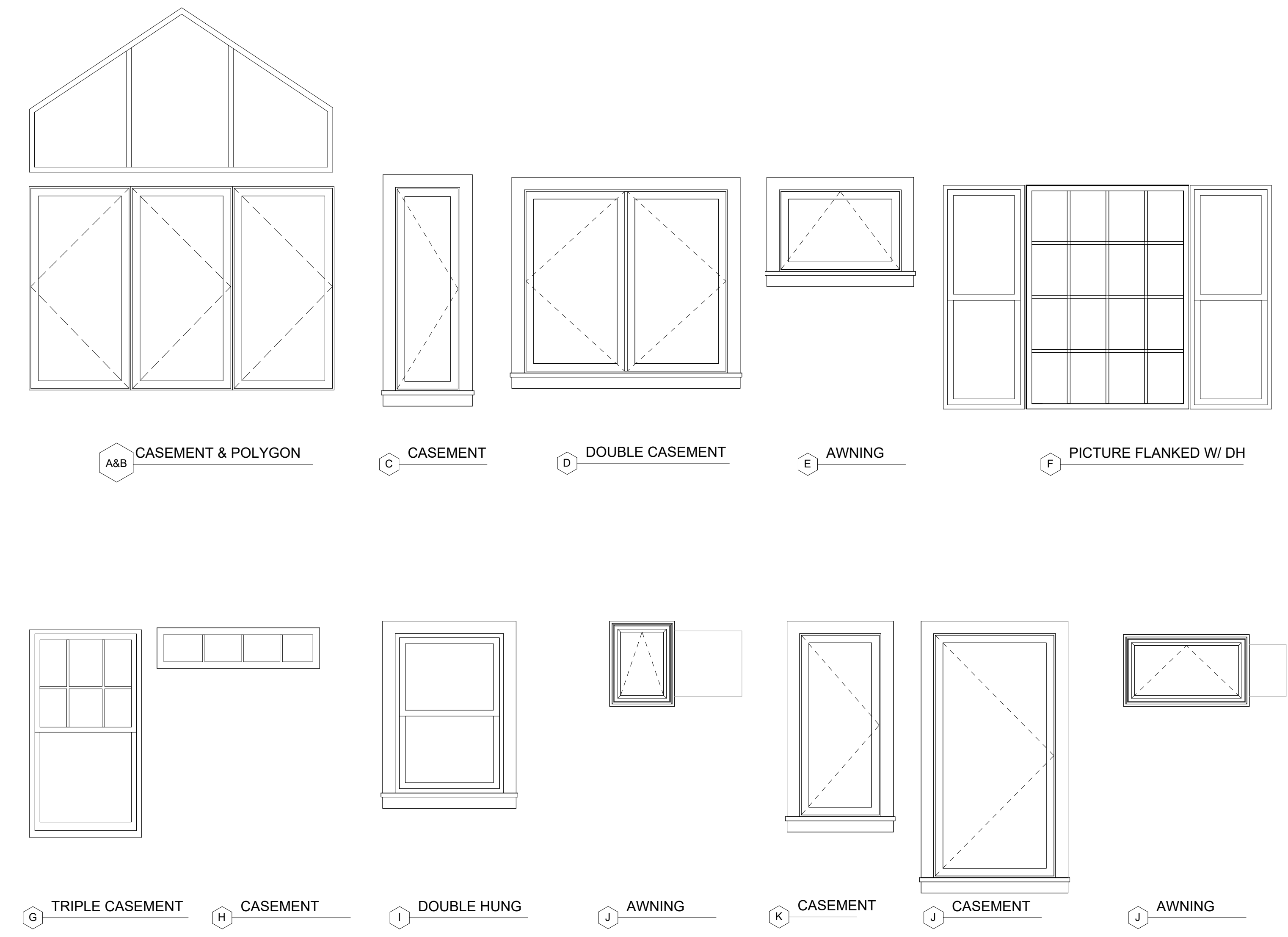


FINISH SCHEDULE					
NAME	FLOORING	WALL	CEILING	TRIM	BASE
LIVING/DINING	RETAIN AND PROTECT EXISTING FLOORING FIRST FLOOR EXCEPT FOR NEW KITCHEN AND BATHROOM AREAS. SAND FLOORS AND FINISH WITH POLYURETHANE SEMI-GLOSS PRIMER + 2 FINISH 3 COATS.	GWB OR BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	RETAIN AND PROTECT EXISTING PLASTER CEILINGS THROUGHOUT. WHERE OPENING REQUIRED FOR WIRING, PIPING AND FIXTURE INSTALL PATCH/REPAIR OR REPLACE WITH NEW BLUE BOARD AND SKIMCOAT TO SMOOTH FINISH. PRIMER + 2 COATS FINISH PAINT.	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM
KITCHEN	REMOVE EXISTING FLOORING TO SUBFLOOR. PROVIDE 5/8" ADVANTEK PLYWOOD SUBFLOOR IN BAY ADDITION. INSTALL 12 X 12 CERAMIC TILE FLOORING OVER THINSET CONCRETE. INSTALL COST BY GC BUT TILE PROVIDED BY OWNER. GC TO PROVIDE ALLOWANCE FOR TILE	GWB OR BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	GWB OR BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM
1/2 BATHROOM 3	6X6 CERAMIC TILE OVER THIN SET CONCRETE. INSTALL COST BY GC BUT TILE PROVIDED BY OWNER. GC TO PROVIDE ALLOWANCE FOR TILE	MOISTURE PROOF GWB OR BLUEBOARD SKIMCOAT. PRIMER + 2 COATS FINISH. TILE WAINSCOT TO 42" AFF. VERTICAL WOOD BEADBOARD WAINSCOT TO 42" AFF WITH 1X2 TRIM CAP WITH SHAPED NOSING.	MOISTURE PROOF GWB OR BLUEBOARD SKIMCOAT. PRIMER + 2 COATS FINISH	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM

WHITTIER STREET- WINDOW SCHEDULE							
TYPE	STYLE	MANUFACTURER	MODEL	NOM. WIDTH	NOM. HEIGHT	HEAD HEIGHT	COMMENTS
A	TRIPLE CASEMENT	ANDERSEN	400 SERIES	7'6"	5'	7'4"	MULLED
B	CUSTOM POLYGON	ANDERSEN	400 SERIES	7'6"	4'		
C	CASEMENT	ANDERSEN	400 SERIES	1'7"	5'	7'4"	
D	DOUBLE CASEMENT	ANDERSEN	400 SERIES	5'0"	4'6"		MULLED
E	AWNING	ANDERSEN	400 SERIES	3'0"	2'0"		align w exist.
F	PICTURE W/ DH FLANKERS	ANDERSEN	400 SERIES	8'	5'6"		align w exist. FLANKER WINDOWS TO BE TEMPERED. DH ARE 2'0" WIDE
G	DOUBLE HUNG	ANDERSEN	400 SERIES	2'0"	4'11"		align w exist. VERIFY ADJACENT WINDOW, DIMENSIONS TO MATCH
H	FIXED TRANSOM	ANDERSEN	400 SERIES	1'	4'		align w exist.
I	DOUBLE HUNG	ANDERSEN	400 SERIES	2'8"	3'11"		align w exist. TEMPERED WINDOW
J	AWNING	ANDERSEN	400 SERIES	1'6"	2'0"		align w exist.
K	CASEMENT	ANDERSEN	400 SERIES	2'0"	4'6"		align w exist. VERIFY ADJACENT WINDOW, DIMENSIONS TO MATCH
L	CASEMENT	ANDERSEN	400 SERIES	3'0"	6'		align w exist. VERIFY ADJACENT WINDOW, DIMENSIONS TO MATCH
M	AWNING	ANDERSEN	400 SERIES	3'0"	1'8"		align w exist. VERIFY ADJACENT WINDOW, DIMENSIONS TO MATCH

- NOTES
- 2X6 WALL CONSTRUCTION. PROVIDE JAMB EXTENDERS AS REQUIRED
 - FINISH COLOR TO MATCH EXISTING
 - LOW-E GLASS
 - U-VALUE < 0.28
 - ALL DOUBLE-HUNG WINDOWS TO HAVE 1/2 SCREENS (BOTTOM) - EXTERIOR ALUMINUM WITH BRIGHTVIEW SCREEN

- WINDOW NOTES
- Low E 4 Glass
 - Black Exterior Trim
 - White Interior Trim
 - White Hardware, Contemporary Folding
 - Insect Screen



NAME	FLOORING	WALL	CEILING	TRIM	BASE
MUDROOM	5/8" ADVANTEK PLYWOOD SUBFLOOR. 8X8 CERAMIC FLOORING OVER THIN SET CONCRETE. INSTALL COST BY GC BUT TILE PROVIDED BY OWNER. GC TO PROVIDE ALLOWANCE FOR TILE	BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM
MASTER BEDROOM	REMOVE EXISTING FLOORING. INSTALL NEW 3" T&G OAK STRIP FLOORING. SAND FLOORS AND FINISH WITH POLYURETHANE SEMI-GLOSS PRIMER.ER + 2 FINISH COATS.	BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	BLUEBOARD/ SKIMCOAT. PAINTED PRIMER + 2 COATS FINISH	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM
MASTER BATHROOM 1	12X12 DIAGONAL PATTERN CERAMIC FLOORING OVER THIN SET CONCRETE. INSTALL COST BY GC BUT TILE PROVIDED BY OWNER. GC TO PROVIDE ALLOWANCE FOR TILE	MOISTURE PROOF GWB OR BLUEBOARD SKIMCOAT. PRIMER + 2 COATS FINISH. VERTICAL WOOD BEADBOARD WAINSCOT TO 42" AFF WITH 1X2 TRIM CAP WITH SHAPED NOSING.	MOISTURE PROOF GWB OR BLUEBOARD SKIMCOAT. PRIMER + 2 COATS FINISH	1 X 2 FLAT STOCK CONTEMPORARY TRIM. PAINTED OR STAINED.	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM
BASEMENT FAMILY ROOM	PREPARE EXISTING CONCRETE FLOOR FOR NEW SMOOTH FINISHED CONCRETE TOP COAT - PATCH/REPAIR AS REQUIRED.	PROVIDE NEW METAL STUD PERIMETER WALL AROUND ALL LIVING AREA IN THE BASEMENT (IE EVERYTHING EXCEPT ROOMS LABELED AS MECHANICAL AND STORAGE ROOMS). COVER WITH 1/2" MOISTURE PROOF GWB.	PROVIDE ACOUSTIC CHANNEL STRAPPING AT CEILINGS IN LIVING AREAS. COVER WITH 1/2" MOISTURE PROOF GWB.	RETAIN EXISTING TRIM. ALL NEW DOOR WINDOW TRIM TO MATCH EXISTING. PAINTED OR STAINED	1X4 FLAT STOCK PAINTED OR STAINED TO MATCH TRIM



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**EXISTING &
SELECTIVE
DEMO PLANS**

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
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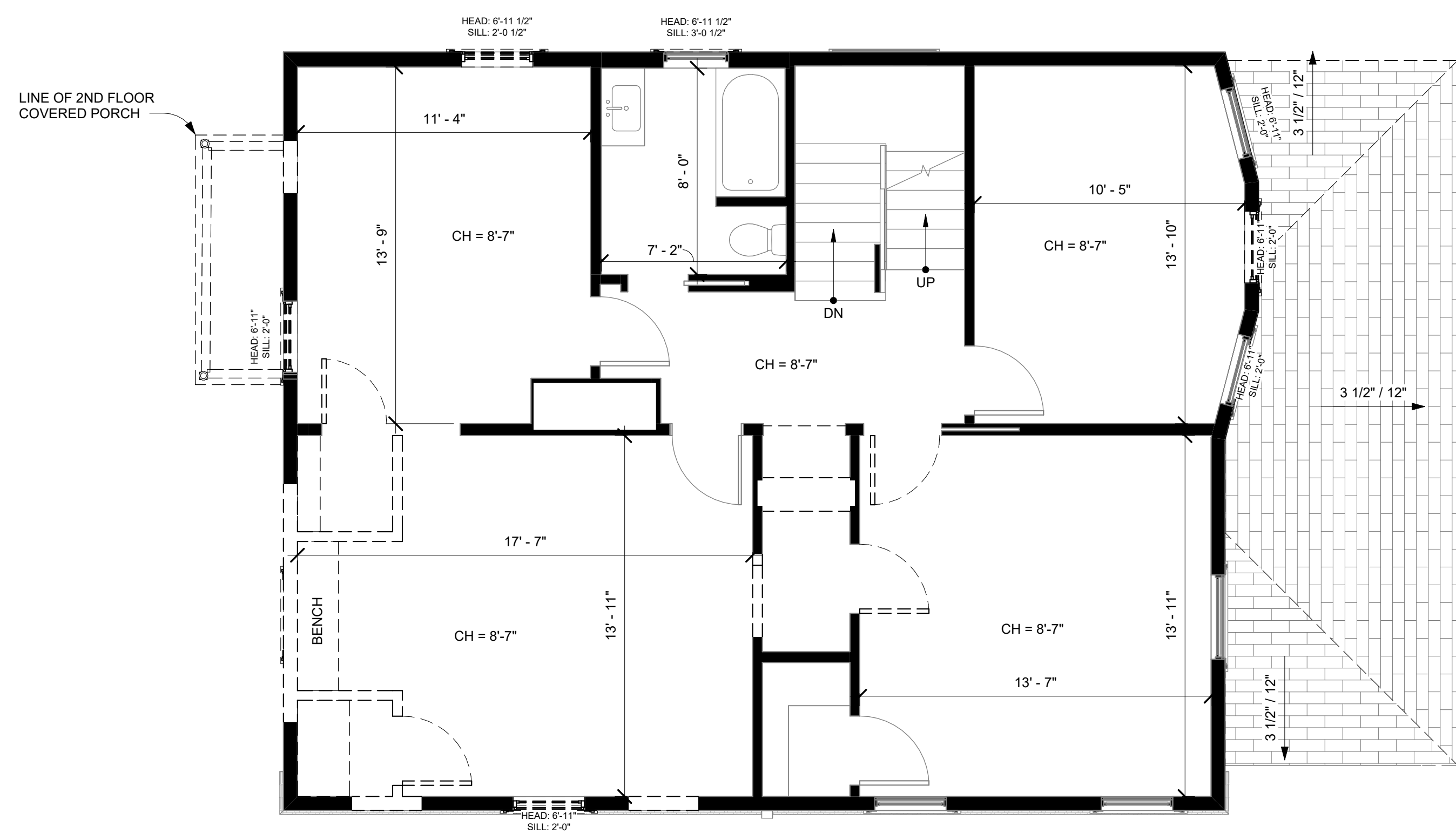
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GENERAL DEMOLITION NOTES :

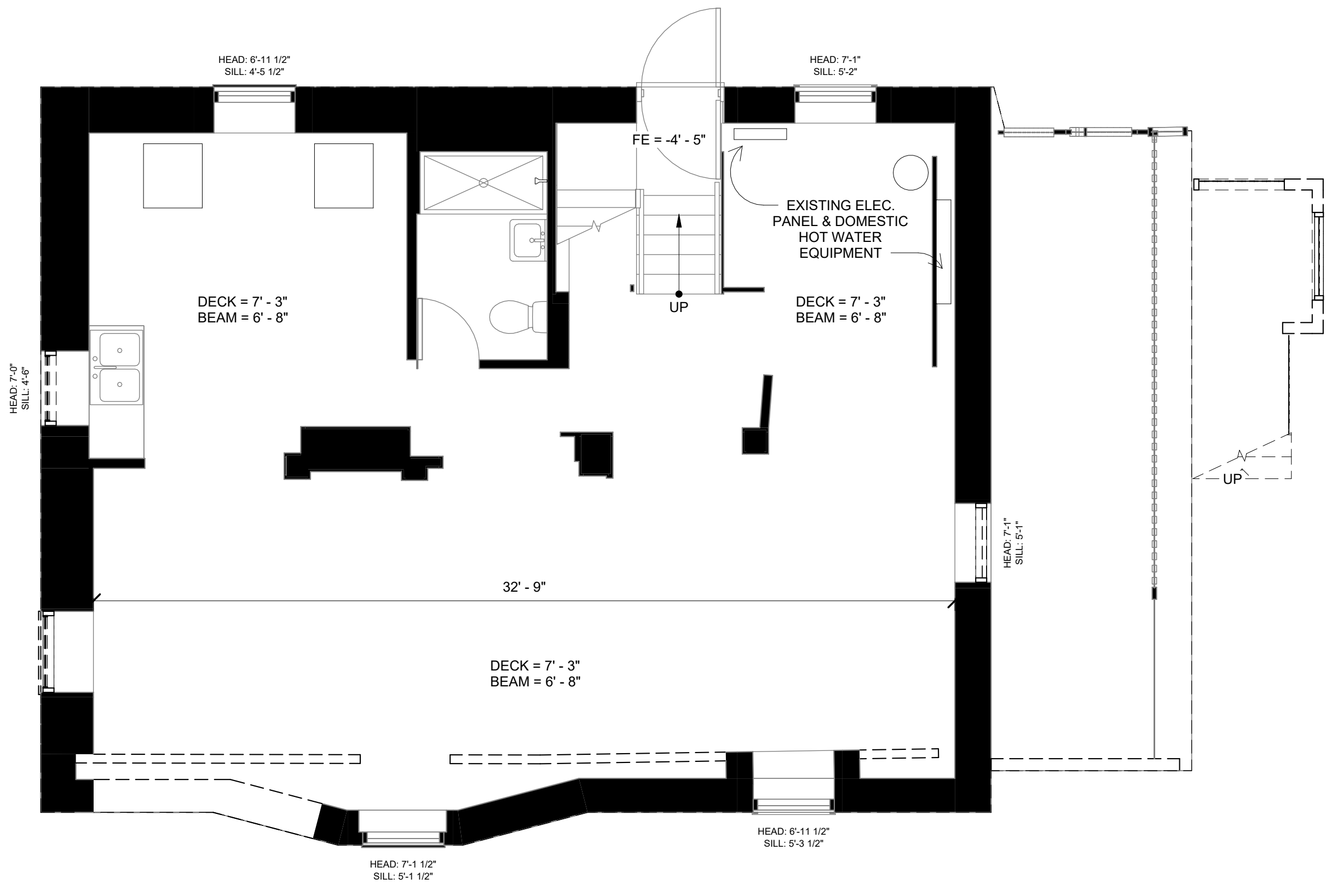
- PERFORM ALL DEMOLITION/SELECTIVE REMOVAL WORK REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION.
- DEMOLITION/SELECTIVE REMOVAL WORK SCOPE INCLUDES PREPARING EXISTING SUBSTRATES AND OTHER CONSTRUCTION TO RECEIVE NEW FINISHES.
- PROTECT EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- EXERCISE EXTREME CARE IN THE REMOVAL OF ALL MATERIALS TO MINIMIZE DAMAGE. DAMAGE TO EXISTING CONDITIONS NOT NOTED FOR DEMOLITION SHALL BE REPAIRED FOR LIKE NEW APPEARANCE PRIOR TO COMPLETION OF JOB.
- ACTIVE MEASURES SHALL BE TAKEN FOR THE PROTECTION OF LIFE AND PROPERTY.
- REMOVE DEBRIS AND DISPOSE OF OFF SITE NEATLY. RECYCLE WASTE AS INDICATED IN PROJECT MANUAL. TAKE MEASURES AS NECESSARY TO MAINTAIN A DRY AND SECURE ENVIRONMENT FOR BUILDING DURING DEMOLITION AND CONSTRUCTION.
- THE COORDINATION OF THE DEMOLITION WORK AND NEW CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXISTING LOCATION OF ITEMS TO BE REMOVED (AS INDICATED BY DASHED LINES) ARE SHOWN ONLY APPROXIMATELY. THE EXACT LOCATION AND SCOPE OF DEMOLITION SHALL ALWAYS BE DETERMINED IN COORDINATION WITH THE DIMENSIONS INDICATED IN THE NEW CONSTRUCTION DRAWINGS, THE INTENT OF THE ENGINEERING DRAWINGS, AND THE ACTUALITIES OF THE FIELD VERIFICATIONS. ALL SIGNIFICANT CONFLICTS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- FOLLOWING THE DEMOLITION PHASE, THE EXISTING FLOORS SHALL BE MADE SMOOTH AND LEVEL FOR THE NEW FINISH. CONCRETE SLABS SHALL BE PATCHED AND LEVELED WITH CONCRETE PATCHING COMPOUNDS. SOME AREAS MAY REQUIRE GRINDING TO ACHIEVE A SMOOTH SURFACE. ALL NECESSARY PATCHING OR GRINDING SHALL BE WITHIN THE DEMOLITION SCOPE.
- CONTRACTOR TO REVIEW ITEMS TO BE SALVAGED WITH THE OWNER PRIOR TO COMMENCING DEMOLITION. ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, EXISTING APPLIANCES AND CABINETS. CONSULT WITH OWNER FOR IDENTIFICATION OF AREAS FOR STORAGE OF SALVAGED ITEMS.
- CONTRACTOR TO COORDINATE THE SEQUENCE OF WORK WITH THE OWNER.
- CONTRACTOR TO COORDINATE THE DISCONNECTION AND CAPPING OF EXISTING UTILITIES AS NECESSARY DURING DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING ASSOCIATED WITH NEW UTILITY RUNS WHERE APPLICABLE.
- SEE ALSO ROOF PLAN FOR DEMO WORK RELATED TO ROOFING.
- SEE ALSO EXTERIOR ELEVATIONS FOR DEMO WORK RELATED TO EXTERIOR ENVELOPE.
- REMOVE EXISTING WALL AND FINISHES AS REQUIRED TO ACCOMMODATE NEW WORK
- REMOVE EXISTING FLOOR FINISH AND BASE, SEE FINISH SCHEDULE FOR NEW WORK
- REMOVE EXISTING CEILING, LIGHT FIXTURES, ETC. AS REQUIRED TO ACCOMMODATE NEW WORK. COORDINATE WITH REFLECTED CEILING PLANS & MEPPF WORK SCOPE
- REMOVE EXISTING SHINGLE SIDING AND TRIM DOWN TO WOOD SHEATHING, SEE ELEVATION SHEET FOR LOCATIONS.



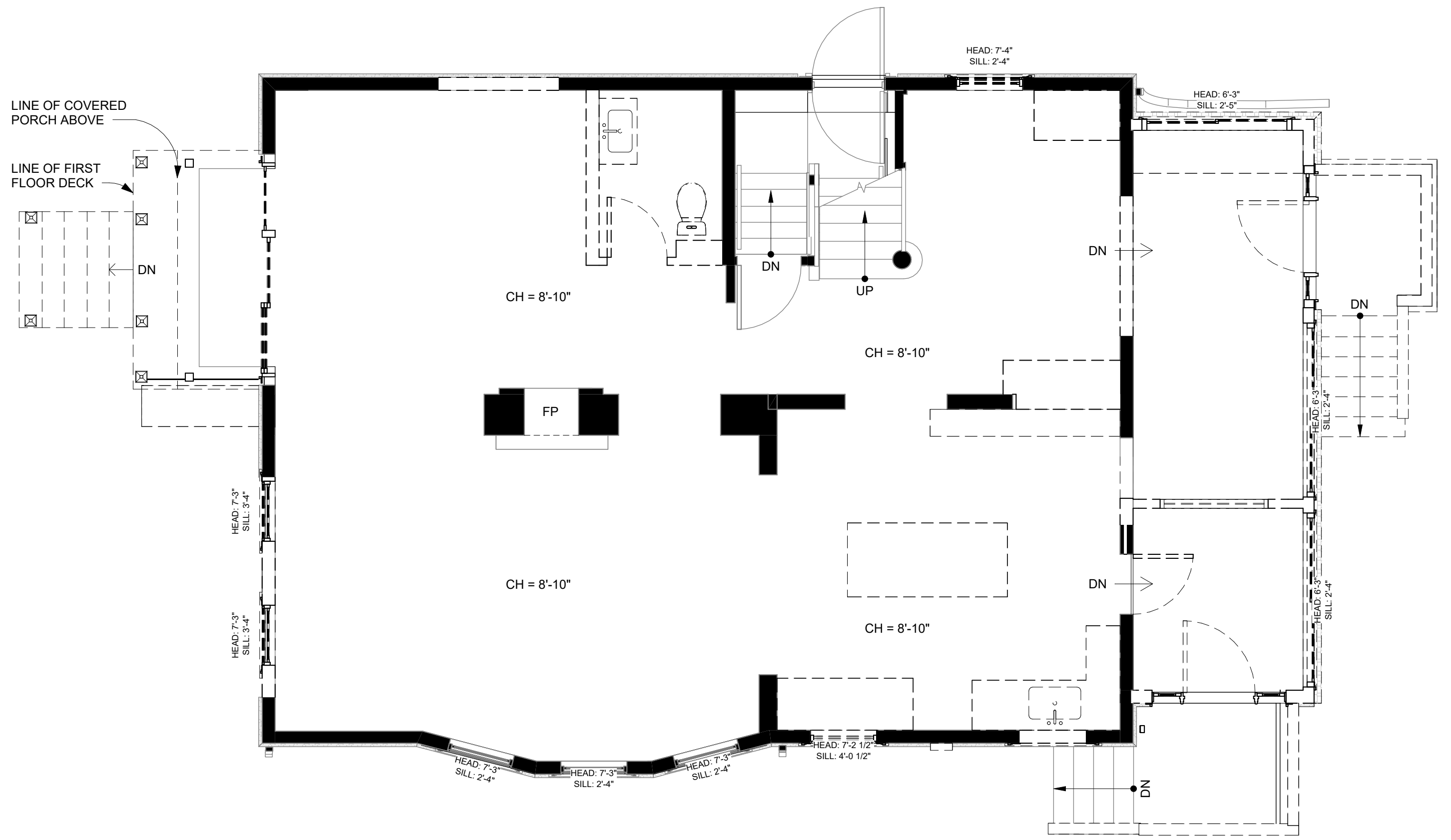
3 Second Floor
1/4" = 1'-0"

LEGEND

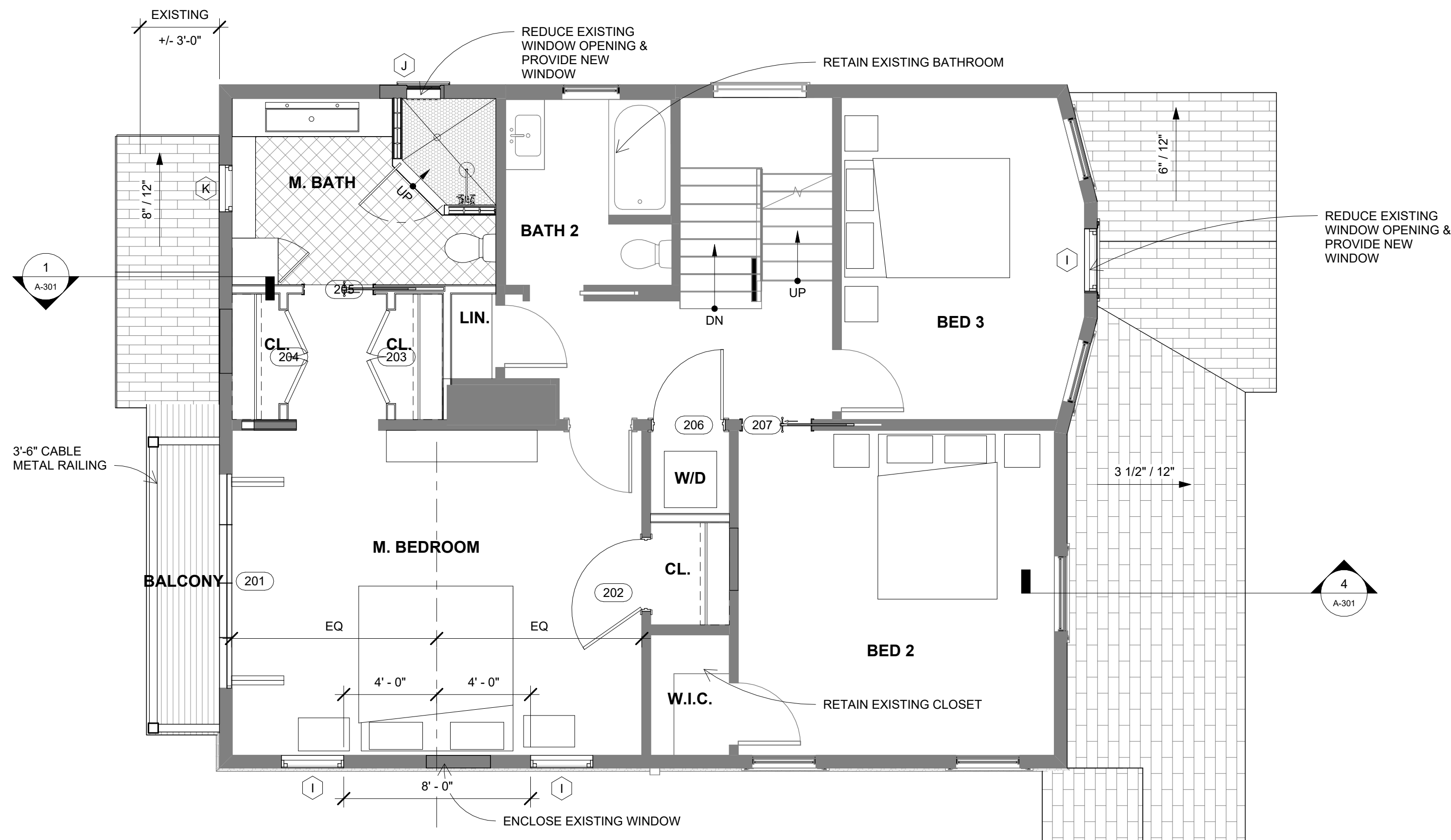
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- DOOR TO BE REMOVED



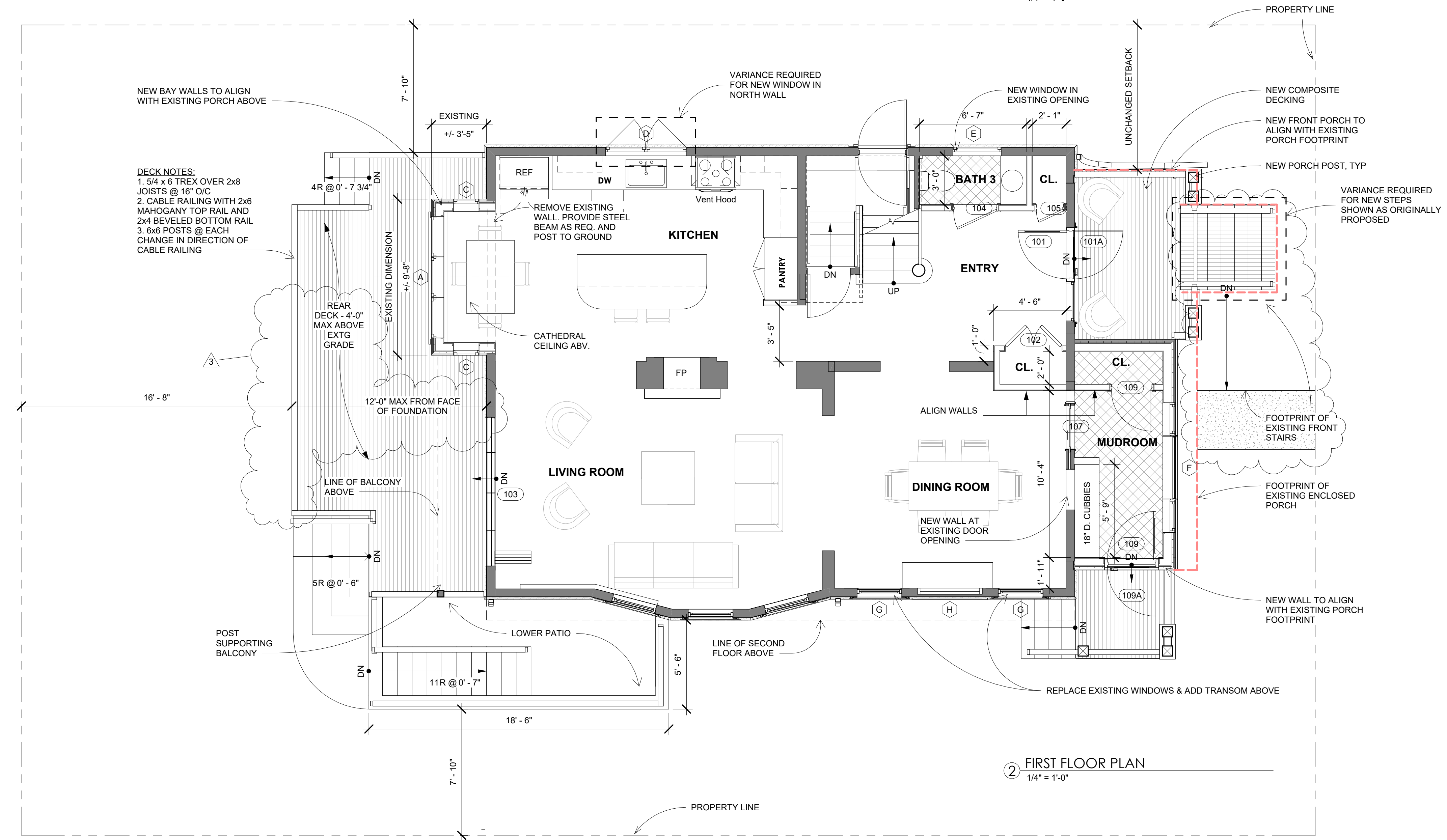
1 Basement
1/4" = 1'-0"



2 First Floor
1/4" = 1'-0"



1 SECOND FLOOR PLAN
1/4" = 1'-0"



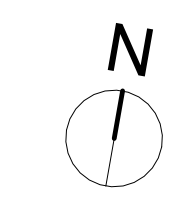
2 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR SHALL CROSS REFERENCE THE PROJECT MANUAL WITH THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CABINETS FOR REVIEW PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW PRODUCTS SPECIFIED IN THESE DRAWINGS WITH ARCHITECT PRIOR TO PURCHASING.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND SHALL IDENTIFY AND RESOLVE WITH THEM ANY POTENTIAL CONFLICTS IN FIXTURE/OUTLET/PIPING LOCATIONS PRIOR TO INSTALLATION.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR KNOWING THESE CODES AND SHALL INFORM THE ARCHITECT IMMEDIATELY OF ANY POTENTIAL CODE VIOLATIONS. IN THIS INSTANCE, WORK SHALL NOT PROCEED UNTIL ANY AND ALL ISSUES HAVE BEEN RESOLVED.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL SHOW EVIDENCE OF APPROPRIATE LIABILITY AND WORKMAN'S COMPENSATION INSURANCE AT THE OUTSET OF CONSTRUCTION; SHALL MAINTAIN THESE POLICIES FOR THE DURATION OF CONSTRUCTION; AND SHALL SHOW EVIDENCE OF COMPLIANCE WITH APPLICABLE LOCAL AND STATE LICENSING REQUIREMENTS PER THE GENERAL CONTRACT FOR CONSTRUCTION/ CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PROVIDE LOCKS AS REQUIRED TO SECURE THE WORK AREA, MATERIALS, STAGING AND BUILDING AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL LEAVE THE JOB SITE NEAT AND ORDERLY AT THE END OF EACH WORK DAY.
- ALL CONSTRUCTION SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER WITH ALL WORK PLUMB AND TRUE.
- GC TO NOTIFY THE OWNER/OWNER'S REP WITHIN 24 HOURS TO REPORT ANY TYPE OF DAMAGE, INSURABLE OR OTHERWISE. THE GC WILL BE SOLELY RESPONSIBLE FOR ANY CLAIMS FOR DAMAGE TO THE PREMISES DURING THE CONSTRUCTION PERIOD DUE TO VANDALISM, WEATHER DAMAGE OR OTHERWISE IF DAMAGE IS NOT REPORTED WITHIN 24 HOURS.
- CONTRACTOR AND SUBS SHALL BE CONSIDERATE AND RESPECTFUL OF RESIDENTS AT ADJACENT PROPERTIES AND AVOID UNNECESSARY DISTURBANCE.
- ALL WORK TO COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE DRAWINGS/PROJECT MANUAL SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- THE DRAWINGS ARE NOT THE SOLE SOURCE OF INFORMATION FOR THIS PROJECT. CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS, THE PROJECT MANUAL, DETAILS, AND SCHEDULES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. SEEK CLARIFICATION IF INTENT OF DOCUMENTS ARE UNCLEAR.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HIDDEN CONDITIONS REQUIRE DESIGN MODIFICATIONS.
- ALL MANUFACTURES ARTICLES, MATERIAL AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURER UNLESS OTHERWISE NOTED.
- THE WORK SHALL INCLUDE APPLYING FOR, PAYING FOR AND OBTAINING ALL APPROVALS, PERMITS, INSPECTION AND CERTIFICATES REQUIRED FOR THE COMPLETION OF THE PROJECT.
- ANY LOCAL, STATE, UTILITY OR OTHER CREDITS FOR THE PROJECT ARE TO BE CREDITED TO THE OWNER.
- NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERTAKEN WITHOUT THE ARCHITECT'S WRITTEN CONSENT.
- BEFORE ORDERING MATERIAL OR CONNECTING WORK WHICH IS DEPENDENT ON PROPER SIZE AND INSTALLATION UPON COORDINATION WITH BUILDING CONDITIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. THE CONTRACTOR SHALL VERIFY ALL SIZES AND QUANTITIES PRIOR TO ORDERING MATERIALS.
- ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL USE COMPLETE SET OF CONSTRUCTION DOCUMENTS WHEN PREPARING THEIR BIDS. COORDINATING THEIR WORK, AND THROUGH FINAL EXECUTION OF THEIR WORK.
- CONTRACTOR TO COORDINATE WORK SEQUENCING AND CONFIGURATION PRIOR TO COMMENCING WORK. IN PARTICULAR, COORDINATE INSTALLATION AND SEQUENCING OF MEP/FP WORK IN WALLS OR ABOVE FINISH CEILINGS. CONTRACTOR IS RESPONSIBLE FOR CONFLICTS WITH INSTALLED WORK THAT COULD HAVE BEEN AVOIDED WITH PRIOR COORDINATION BETWEEN TRADES. CONTRACTOR TO SCHEDULE COORDINATION MEETINGS WITH VARIOUS TRADES AS REQUIRED FOR COORDINATION.
- ANY MODIFICATIONS TO THE DRAWINGS OR SPECIFICATION WITHOUT THE APPROVAL OF WINSLOW ARCHITECTS IS TO BE RENDERED VOID AND UNUSABLE.
- ALL FRAMING TO BE INSTALLING IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE.
- ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED. IF ACQ OR ACZA PRESERVATIVE IS USED, THEN ALL CONNECTORS ARE TO BE STAINLESS STEEL.
- SEE VARIOUS DETAILS LOCATING DOOR OPENINGS IN WALLS, COMPLY WITH ACCESSIBILITY PUSH/PULL CLEARANCES WHERE APPLICABLE. REQUEST CLARIFICATION FOR LOCATING DOOR OPENINGS WHERE REQUIRED.
- INTERIOR WALL DIMENSIONS TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
- ALL INTERIOR LIGHTS TO BE ON DIMMERS.

LEGEND

- ENCLOSE EXISTING
- NEW WALL
- EXISTING WALL
- DIM. TO FACE OF STUD



Date issued:

04.16.24



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**FIRST &
SECOND
FLOOR PLAN**

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EXTERIOR ELEVATIONS

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Project number:
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SECTIONS

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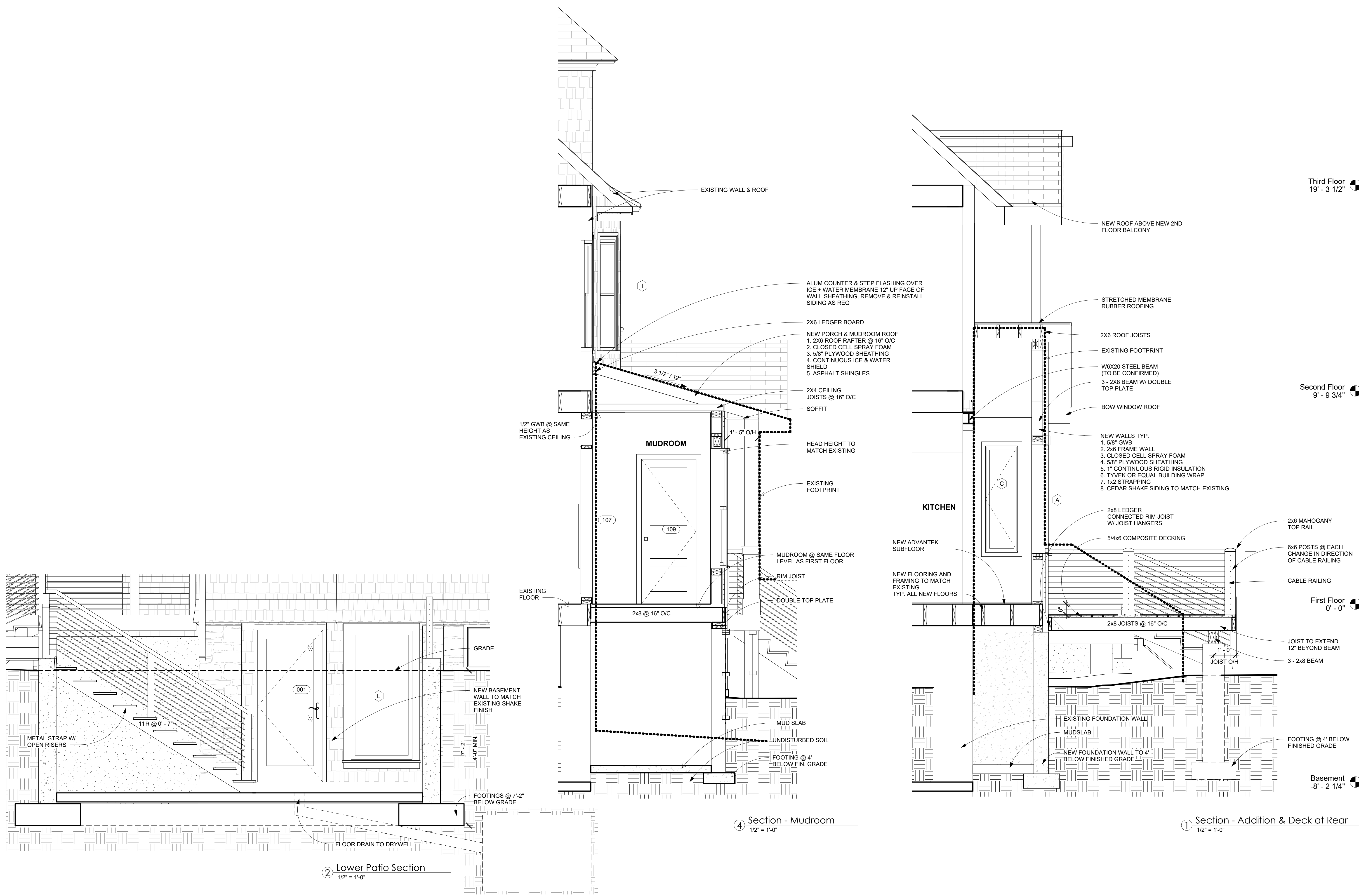
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F: 781 648.6601
www.winslowarchitects.com

Owner/Developer:

GARAKANI - HALL
8 WHITTIER ST. CAMBRIDGE, MA

Project:

**8 WHITTIER ST.
RENOVATION &
ADDITION**

Drawing:

**INTERIOR
ELEVATIONS**

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
02	CONTRACT REVISION 1	02/16/2024
03	ZONING COMPLIANCE	04/12/2024
		04/16/2024

Stamp:

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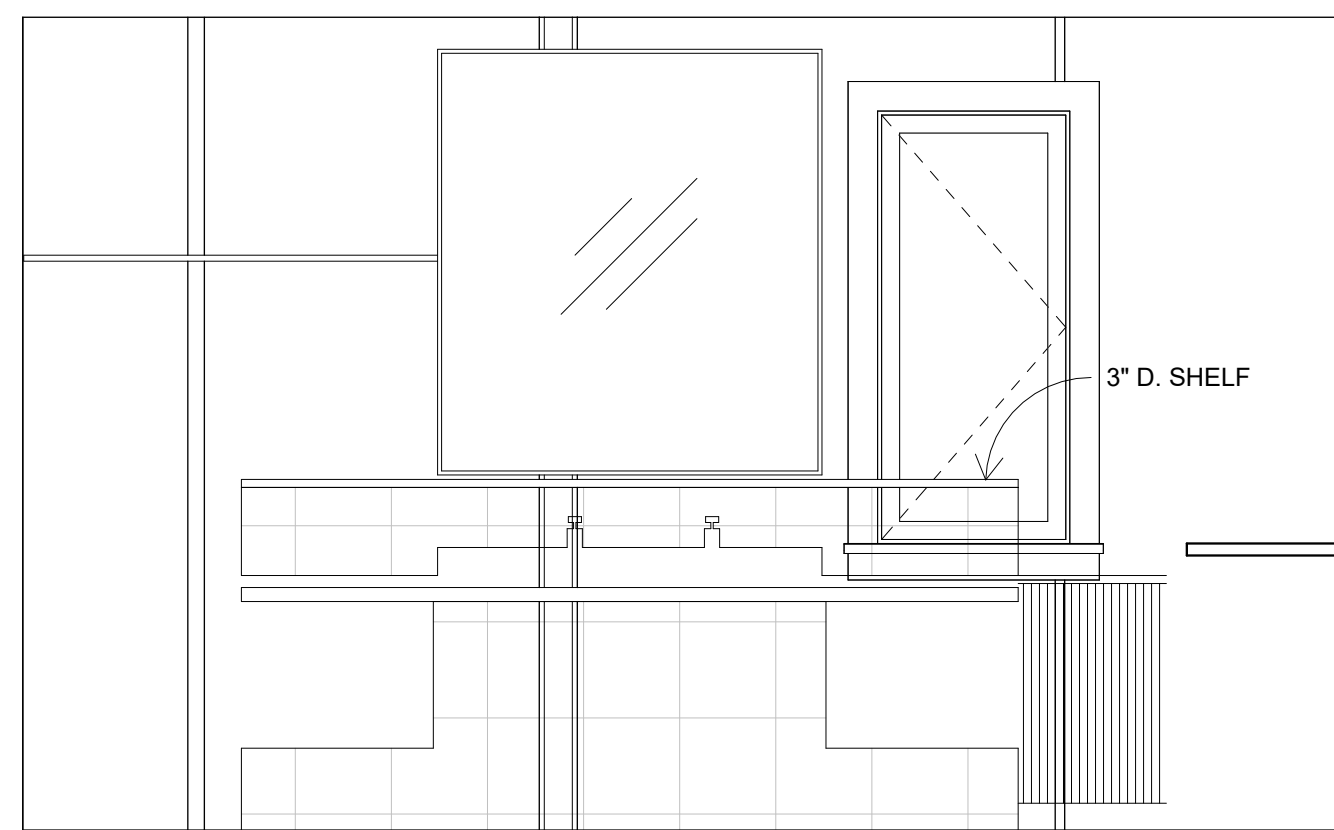
© 2023 WINSLOW ARCHITECTS, INC.

Project number:

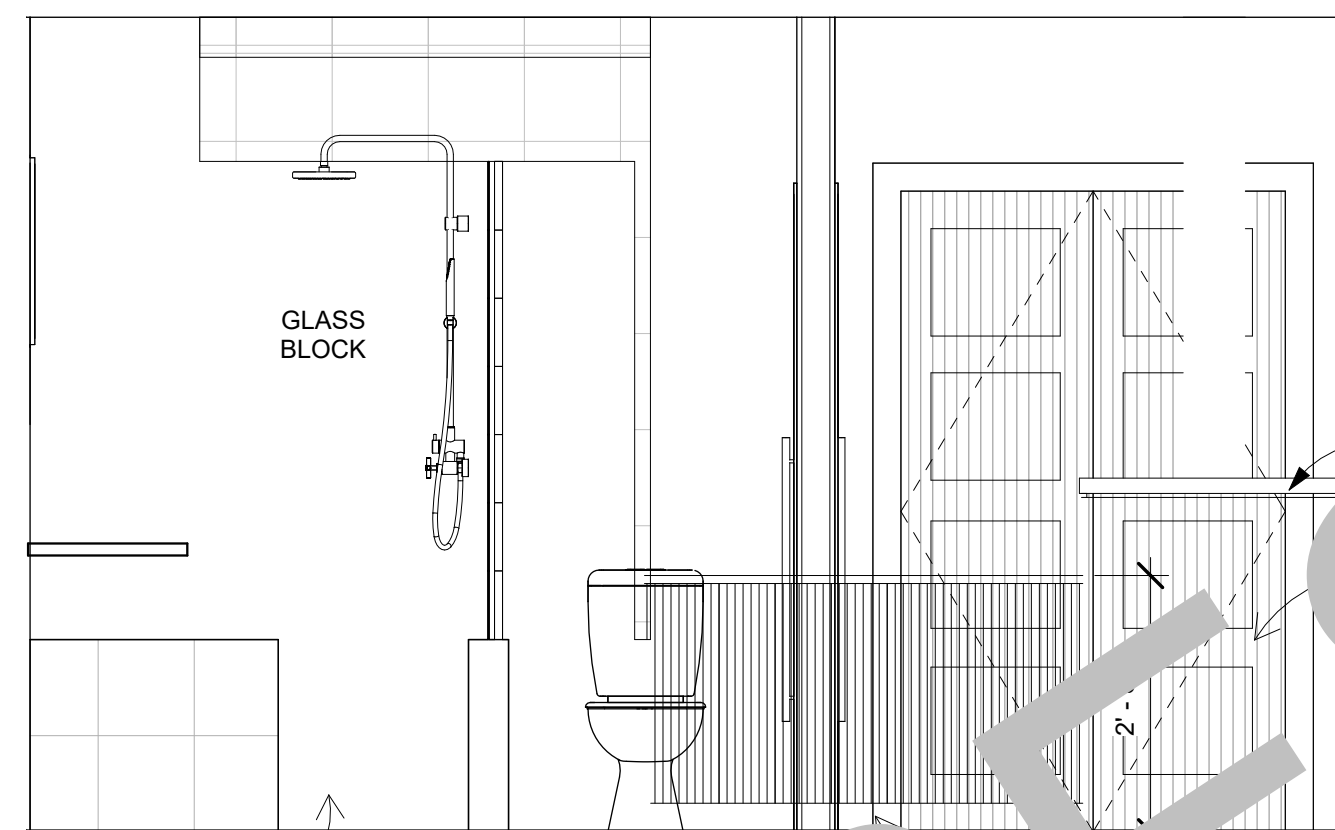
22-633

Sheet:

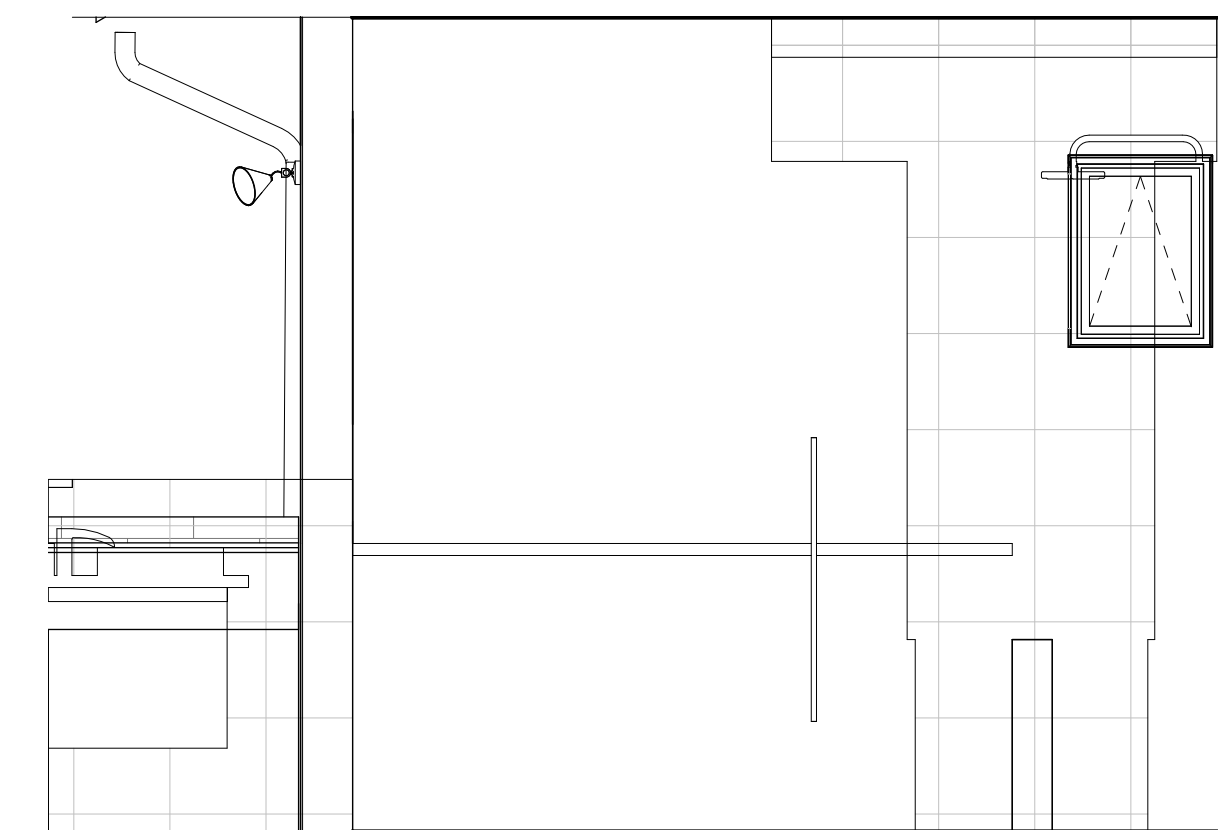
A-501



④ M. Bathroom Elevation 1
1/2" = 1'-0"

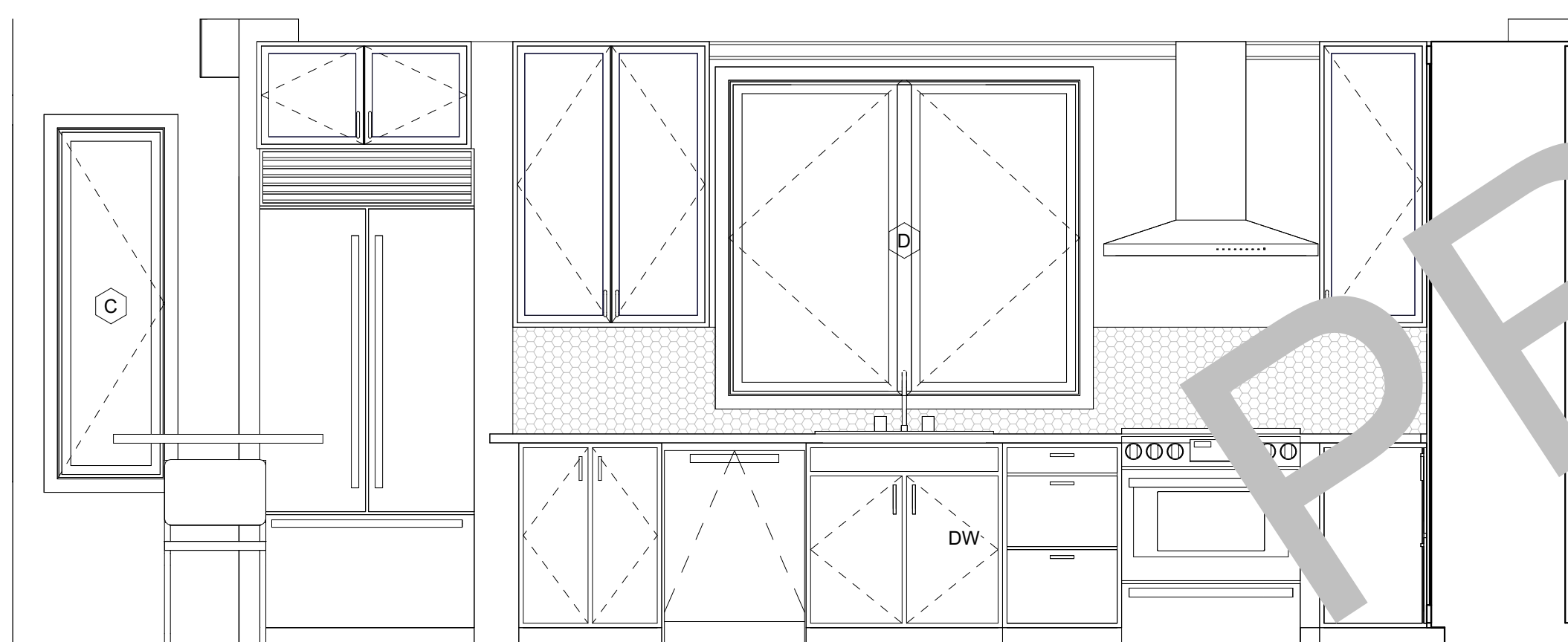


⑤ M. Bathroom Elevation 2
1/2" = 1'-0"

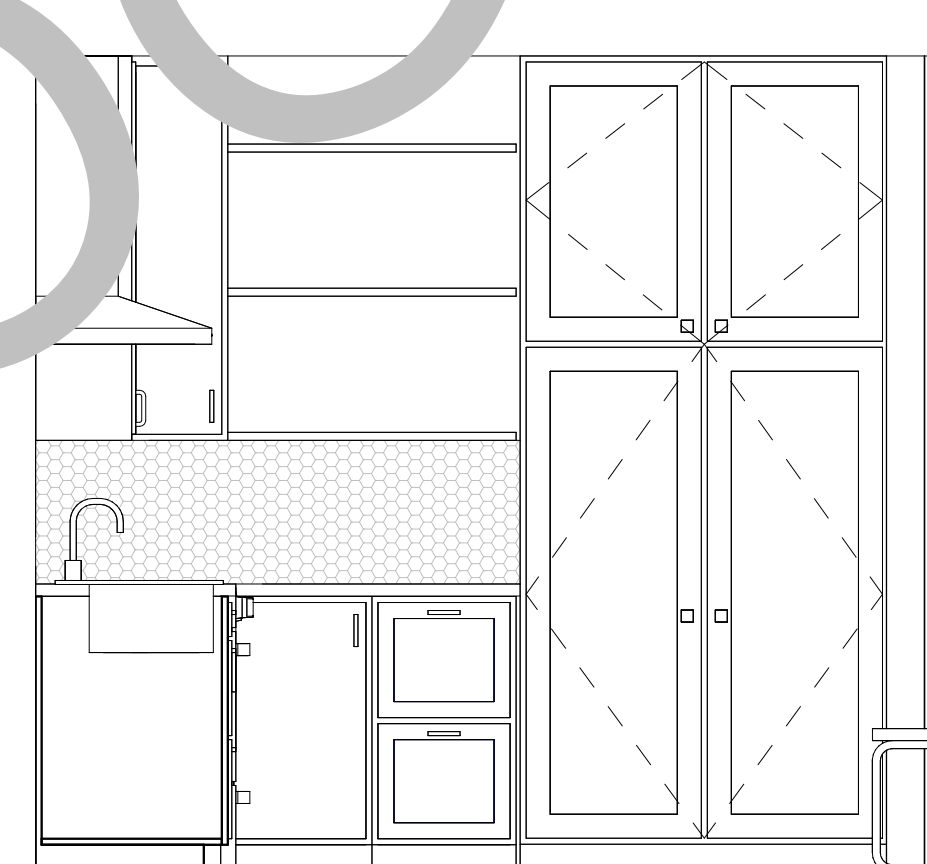


⑥ M. Bathroom Elevation 3
1/2" = 1'-0"

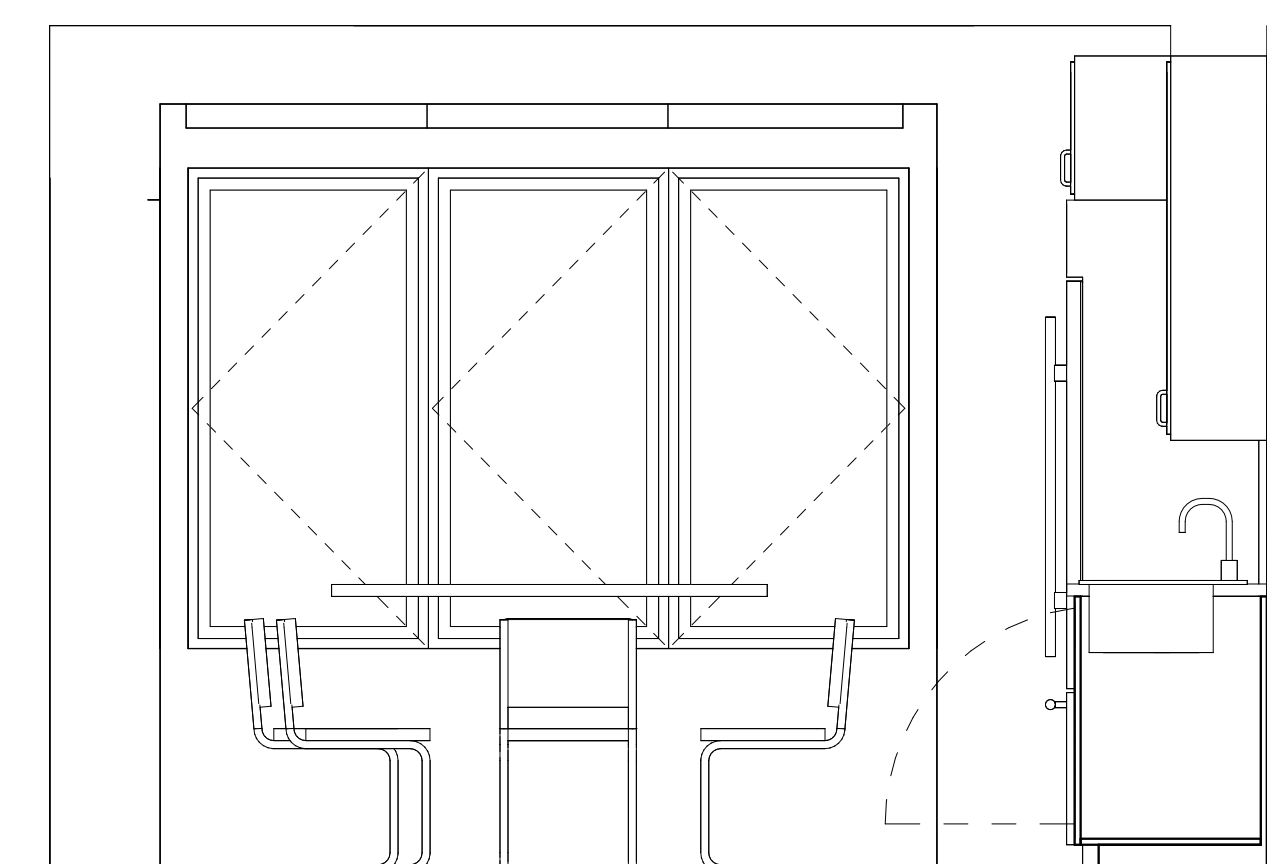
Second Floor
9' - 9 3/4"



① Kitchen Elevation 1
1/2" = 1'-0"



② Kitchen Elevation 2
1/2" = 1'-0"



③ Kitchen Elevation 3
1/2" = 1'-0"

First Floor
0' - 0"

GENERAL NOTES

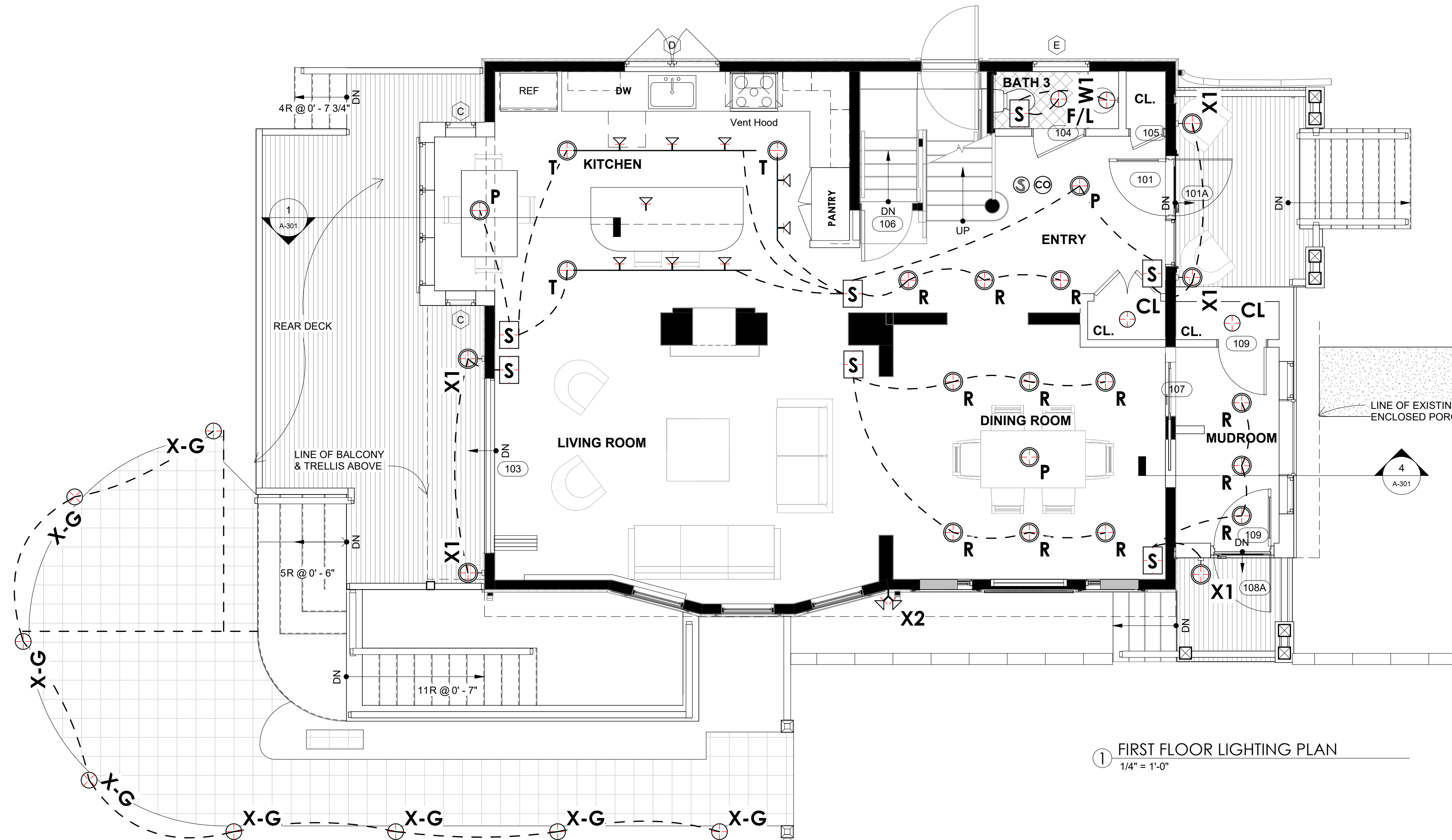
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- ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL USE COMPLETE SET OF CONSTRUCTION DOCUMENTS WHEN PREPARING THEIR BIDS, COORDINATING THEIR WORK, AND THROUGH FINAL EXECUTION OF THEIR WORK.
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- ANY MODIFICATIONS TO THE DRAWINGS OR SPECIFICATION WITHOUT THE APPROVAL OF WINSLOW ARCHITECTS IS TO BE RENDERED VOID AND UNSALABLE.
- ALL FRAMING TO BE INSTALLING IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE.
- ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED. IF ACQ OR ACZA PRESERVATIVE IS USED, THEN ALL CONNECTORS ARE TO BE STAINLESS STEEL.
- SEE VARIOUS DETAILS LOCATING DOOR OPENINGS IN WALLS, COMPLY WITH ACCESSIBILITY PUSH/PULL CLEARANCES WHERE APPLICABLE. REQUEST CLARIFICATION FOR LOCATING DOOR OPENINGS WHERE REQUIRED.
- INTERIOR WALL DIMENSIONS TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
- ALL INTERIOR LIGHTS TO BE ON DIMMERS.

LEGEND

- ENCLOSE EXISTING
 - NEW WALL
 - EXISTING WALL
- DIM. DIM. TO FACE OF STUD



2 SECOND FLOOR LIGHTING PLAN
1/4" = 1'-0"



1 FIRST FLOOR LIGHTING PLAN
1/4" = 1'-0"

LIGHTING SCHEDULE

- P PENDANT LIGHT
- S LIGHT SWITCH
- F/L BATHROOM FAN LIGHT
- W1 BATH VANITY LIGHT
- CL CLOSET LIGHT
- R RECESSED LIGHT
- T TRACK LIGHTING
- X-G GROUND LIGHTING
- X1 EXTERIOR - WALL LIGHTING
- X2 EXTERIOR - FLOOD LIGHTING
- W BEDROOM - WALL LAMP LIGHT
- C CEILING LIGHT
- S1 SHOWER LIGHT
- F FAN LIGHT

FIRE ALARM SCHEDULE

- CO 120V CARBON MONOXIDE ALARM (HARDWIRED WITH IN 10' OF EACH BEDROOM)
- S 120V SMOKE DETECTOR (HARDWIRED IN EACH BEDROOM)

FIRE ALARM CODE

MASSACHUSETTS STATE BUILDING CODE (780 CMR) - 9TH EDITION, BASE VOLUME (2015 INTERNATIONAL RESIDENTIAL BUILDING CODE RC314 SMOKE ALARMS & R315 CARBON MONOXIDE ALARMS WITH AMENDMENTS)

- R314.5 Combination Alarms. Combination smoke and carbon monoxide ("CO") alarms shall be permitted to be used in lieu of smoke alarms and shall be interconnected such that fire alarm signals have precedence over CO alarms in accordance with the requirements of NFPA 720.
- R314.3 Smoke alarm Location: in each sleeping room and outside each separate sleeping area in the immediate vicinity of the bedrooms
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Date issued:

04.16.24



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www.winslowarchitects.com

Owner/Developer:

GARAKANI - HALL
8 WHITTIER ST. CAMBRIDGE, MA

Project:

**8 WHITTIER ST.
RENOVATION &
ADDITION**

Drawing:

**FIRST &
SECOND
FLOOR
LIGHTING
PLAN**

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
02	CONTRACT REVISION	10/21/2024
03	ZONING COMPLIANCE	04/12/2024

Stamp:

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Project number:

22-633

Sheet:

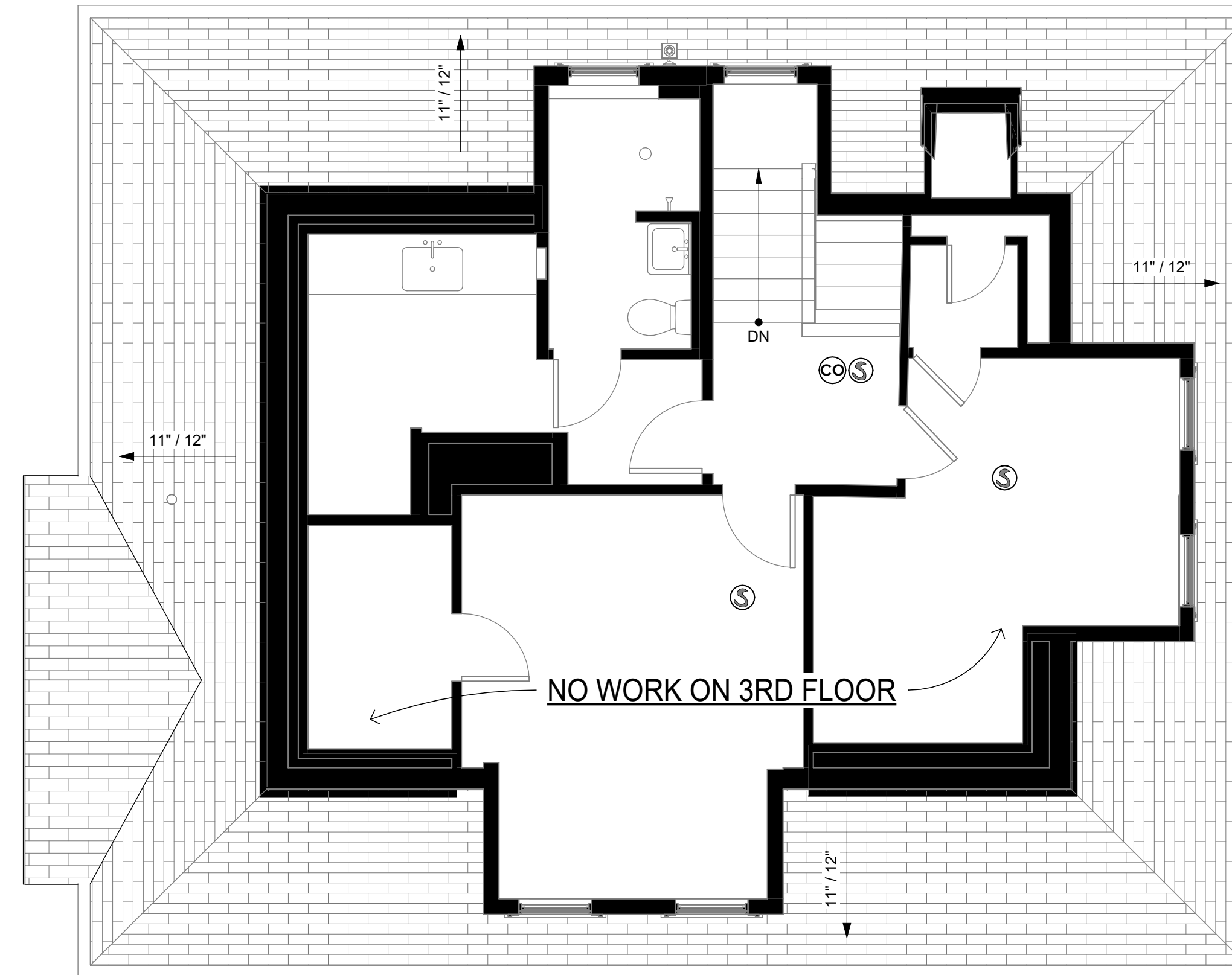
E-101

GENERAL NOTES

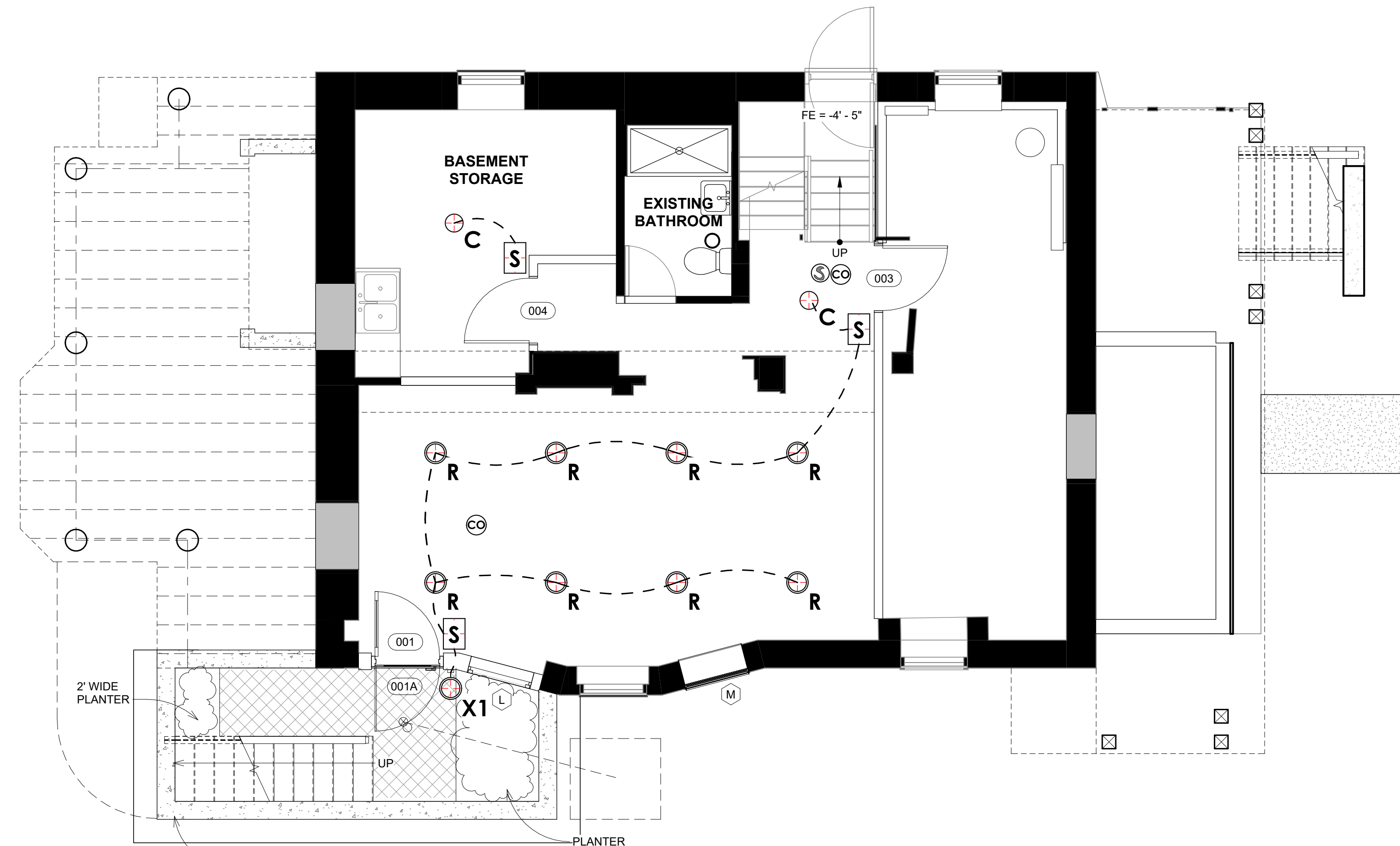
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LEGEND

- ENCLOSE EXISTING
- NEW WALL
- EXISTING WALL
- DIM. DIM. TO FACE OF STUD



② THIRD FLOOR LIGHTING PLAN
1/4" = 1'-0"



① BASEMENT LIGHTING PLAN
1/4" = 1'-0"

LIGHTING SCHEDULE

- P PENDANT LIGHT
- S LIGHT SWITCH
- F/L BATHROOM FAN LIGHT
- W1 BATH VANITY LIGHT
- CL CLOSET LIGHT
- R RECESSED LIGHT
- T TRACK LIGHTING
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8 WHITTIER ST. CAMBRIDGE, MA

Project:

8 WHITTIER ST.
RENOVATION &
ADDITION

Drawing:

BASEMENT &
THIRD FLOOR
LIGHTING
PLAN

Revisions:

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
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		04/16/2024

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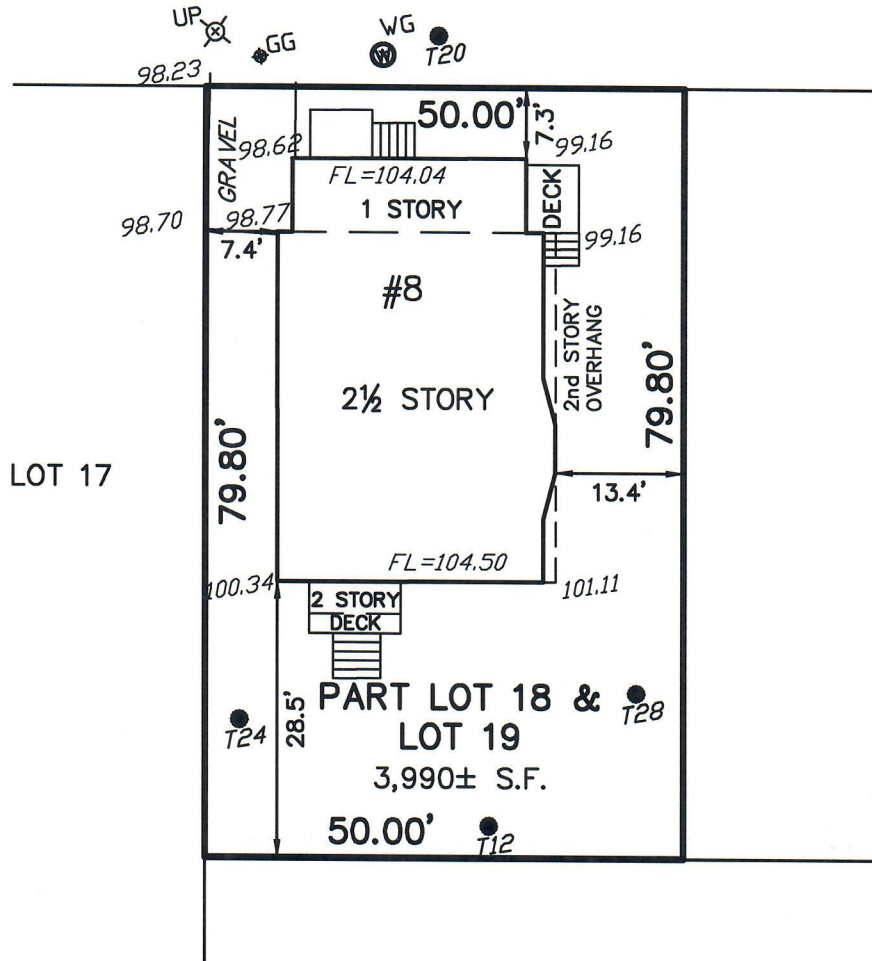
Project number:

22-633

Sheet:

E-102

WHITTIER STREET



OWNER: ARMAN GARAKANI & JENNIFER HALL

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

PROPOSED PLOT PLAN
#8 WHITTIER STREET
 IN
CAMBRIDGE, MA
 (MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 4/5/2023

ROBER SURVEY
 1072A MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476
 (781) 648-5533
 7243PP1.DWG

SCOTT LYNCH, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.



89 MASSACHUSETTS AVE. ARLINGTON, MA 02474
P: 781 648 6600
F: 781 648 6601
www.winslowarchitects.com

Owner/Developer:
GARAKANI - HALL
8 WHITTIER ST. CAMBRIDGE, MA

Project:
8 WHITTIER ST. RENOVATION & ADDITION

Drawing:
EXTERIOR ELEVATIONS

No.	Description	Date
01	ADD LIGHTING PLAN	12/19/2023
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Project number:
22-633

Sheet:
A-201

4/17/2024 2:01:40 PM



PROPOSED 1 STORY
ADDITION UNDER
EXISTING PORCH ABOVE

PROPOSED BALCONY
FOR MASTER BEDROOM



8 WHITTIER STREET – WEST WALL (REAR)

PROPOSED DECK AT 15'
FROM FOUNDATION



8 WHITTIER STREET – EAST WALL (FRONT)

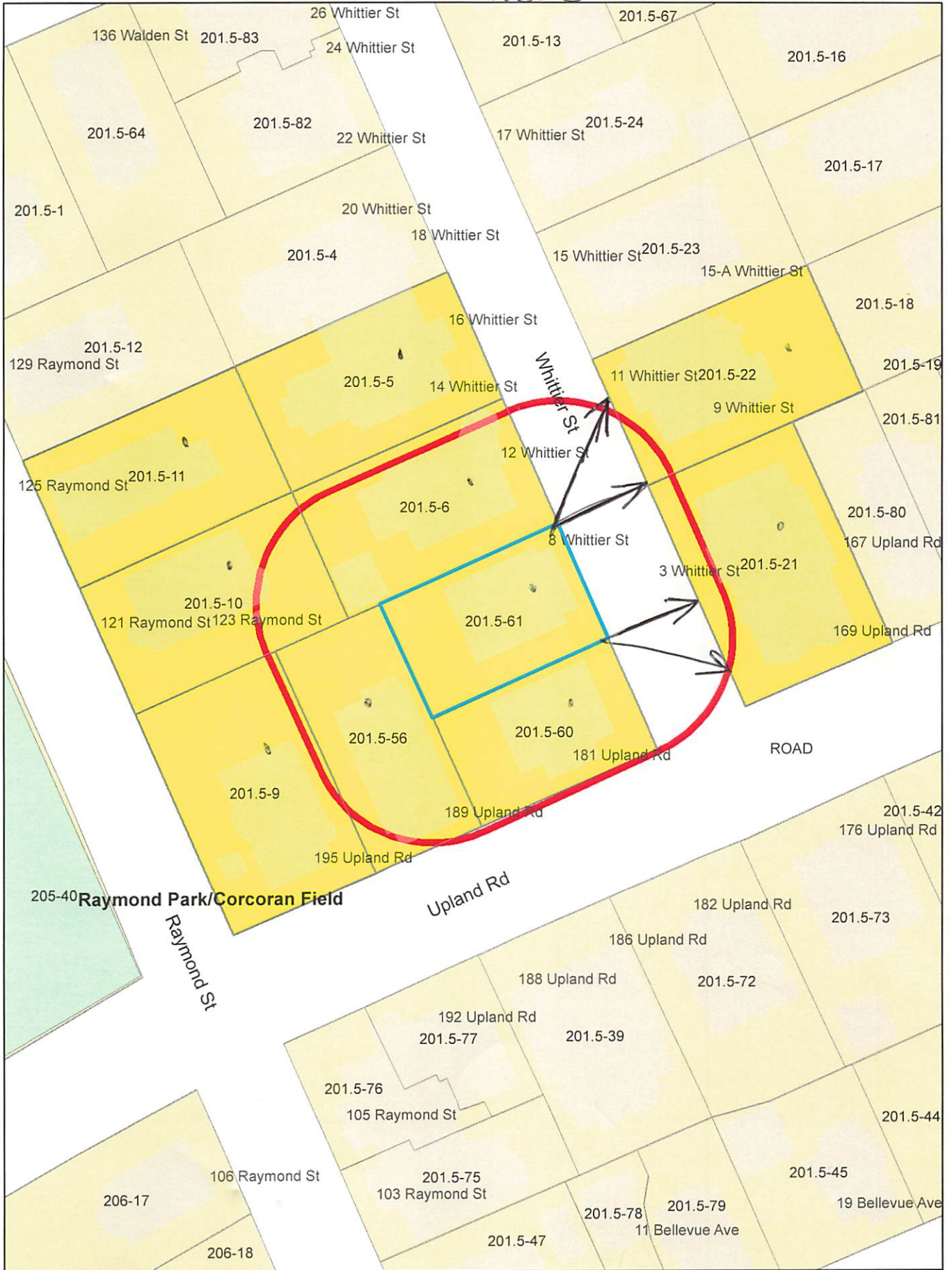


8 WHITTIER STREET – NORTH WALL (SIDE)



8 WHITTIER STREET – WEST & SOUTH WALLS (REAR & SIDE)

8 Whittier St.



8 Whittier St.

Petitioner

201.5-5
SARAH, REBECCA & FRANK ACKERMAN,
TR. THE REBECCA SARAH REV TRUST OF 2012
14 WHITTIER ST
CAMBRIDGE, MA 02140

201.5-9
GRUNEWALD, KAY A. & SHARON N. MOMBRU
195 UPLAND RD
CAMBRIDGE, MA 02140

WINSLOW ARCHITECTS
C/O JOHN WINSLOW
89 MASS AVENUE
ARLINGTON, MA 02474

201.5-10
KENNEDY, ELIZA & CARSTEN BOERS
121 RAYMOND ST EAST
CAMBRIDGE, MA 02140

201.5-11
BLISS, MALCOLM D. & LESLIE A. BLISS
125-127 RAYMOND ST 2
CAMBRIDGE, MA 02140

201.5-61
GARAKANI, ARMAN JENNIFER W HALL
8 WHITTIER PL
CAMBRIDGE, MA 02140

201.5-60
LACOSS, RICHARD T. & CYNTHIA OLDHAM
181 UPLAND RD
CAMBRIDGE, MA 02140

201.5-21
RUBIN, EMILY
169 UPLAND RD UNIT 2
CAMBRIDGE, MA 02140

201.5-11
DENSMORE, ANN E.
125-127 RAYMOND ST 1
CAMBRIDGE, MA 02140

201.5-21
VANMIDDLESWORTH, MARK & NATALIE
169 UPLAND RD UNIT 1
CAMBRIDGE, MA 02140

201.5-56
DE FILIPPI, RICHARD P., &
LUCY ARRINGTON, TRS
189 UPLAND RD UNIT 2
CAMBRIDGE, MA 02140

201.5-6
12 WHITTIER STREET LLC,
1717 OREGON STREET
BERKELEY, CA 94703

201.5-21
THORNOCK TAI THORNOCK TRISHA
169 UPLAND RD - UNIT 3
CAMBRIDGE, MA 02140

201.5-22
GRIFFIN, CHRISTOPHER J.
TR. OF WHITTIER HOUSE REALTY TR.
2307 MASS AVE
CAMBRIDGE, MA 02140

201.5-56
SHIPMAN, JOSEPH A & RITA LAGUNA, TRS
189 UPLAND RD - UNIT 1
CAMBRIDGE, MA 02140

201.5-21
BELLAVANCE, TRACY A. TRS TRACY A
BELLAVANCE 2004 REVOCABLE TR
3 WHITTIER ST - UNIT 4
CAMBRIDGE, MA 02140

201.5-10
KENNEDY, DANNIELLE
123 RAYMOND STREE UNIT WEST
CAMBRIDGE, MA 02140-2605