

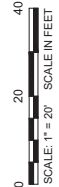
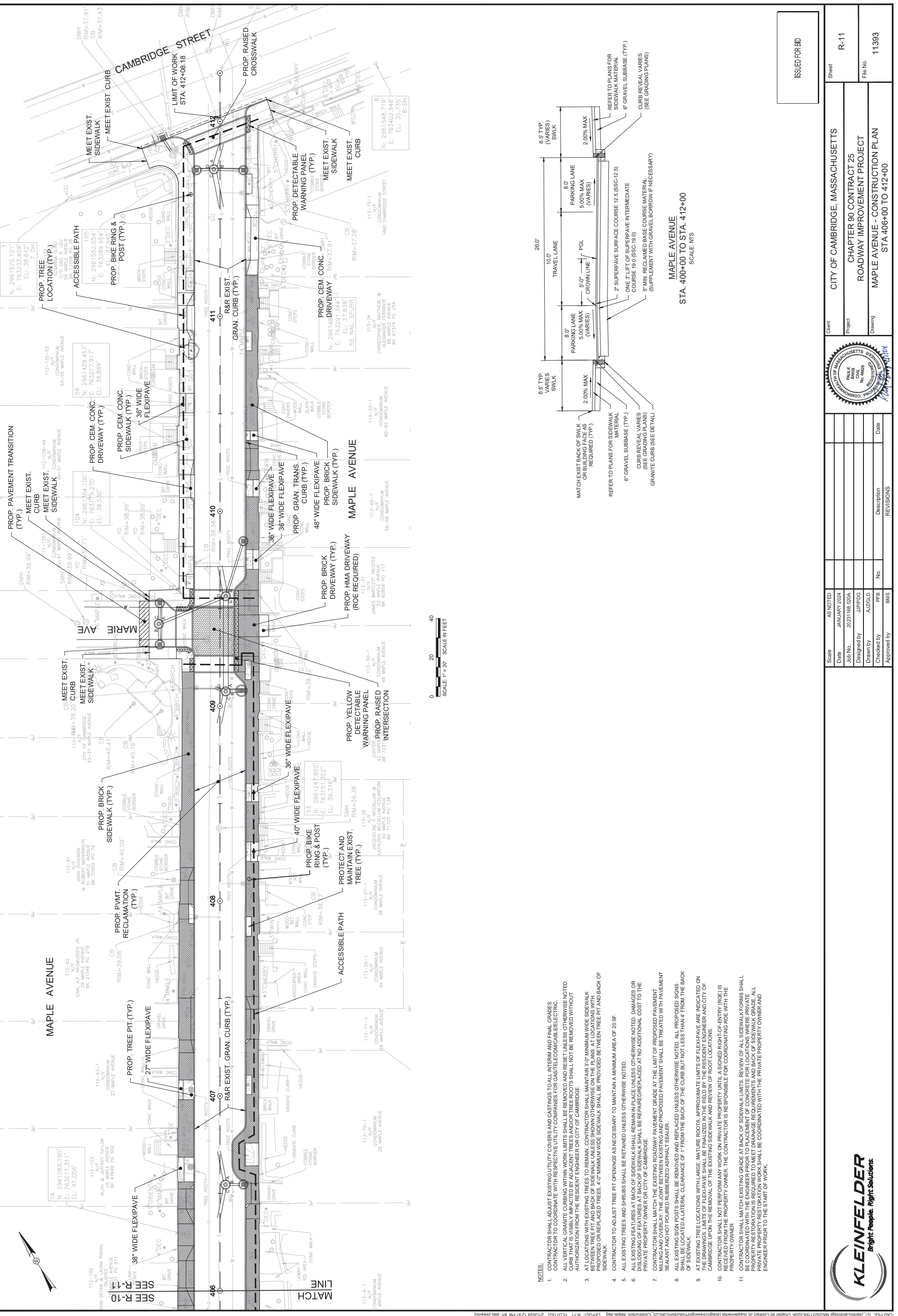
MAPLE AVENUE  
STA. 400+00 TO STA. 412+00  
SCALE: NTS

- NOTES:**
- CONTRACTOR SHALL MAINTAIN EXISTING UTILITY COVERS AND CASTINGS TO ALL INTERMEDIATE AND FINAL GRADES. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR GAS/TELECOM/ELECTRIC.
  - ALL VERTICAL CURBING WITHIN WORK LIMITS SHALL BE REMOVED AND RESET UNLESS OTHERWISE NOTED. CONTRACTOR SHALL MAINTAIN EXISTING CURB RISES TO 15" UNLESS OTHERWISE NOTED WITHOUT AUTHORIZATION FROM THE RESIDENT ENGINEER OR CITY OF CAMBRIDGE.
  - AT LOCATIONS WITH EXISTING TREES TO REMAIN, CONTRACTOR SHALL MAINTAIN 36" MINIMUM WIDE SIDEWALK BETWEEN TREE PIT AND DRIVEWAY. CONTRACTOR SHALL MAINTAIN 36" MINIMUM WIDE SIDEWALK BETWEEN TREE PIT AND DRIVEWAY UNLESS SHOWN OTHERWISE ON THE PLANS. AT LOCATIONS WHERE PROPOSED OR REPLACED TREES 4" MINIMUM WIDE SIDEWALK SHALL BE PROVIDED BETWEEN TREE PIT AND BACK OF SIDEWALK.
  - CONTRACTOR TO ADJUST TREE PIT OPENINGS AS NECESSARY TO MAINTAIN A MINIMUM AREA OF 20 SF.
  - ALL EXISTING TREES AND SHRUBS SHALL BE RETAINED UNLESS OTHERWISE NOTED.
  - ALL EXISTING FEATURES AT BACK OF SIDEWALK SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. DAMAGES OR DISLOCATING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
  - CONTRACTOR SHALL MATCH THE EXISTING ROADWAY PAVEMENT GRADE AT THE LIMIT OF PROPOSED PAVEMENT MILLING AND OVERLAY. THE JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE TREATED WITH PAVEMENT SEALANT AND NOT POURED RUBBERIZED ASPHALT SEALER.
  - ALL EXISTING SIGN POSTS SHALL BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNS SHALL BE LOCATED A LATERAL CLEARANCE OF 1' FROM THE BACK OF THE CURB BUT NOT LESS THAN 4' FROM THE BACK OF SIDEWALK.
  - AT EXISTING TREE LOCATIONS WITH LARGE, MATURE ROOTS, APPROXIMATE LIMITS OF FLEXIPAVE ARE INDICATED ON THE PLANS. CONTRACTOR SHALL MAINTAIN THESE LIMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE TREES UPON THE REMOVAL OF THE EXISTING SIDEWALK AND REVIEW OF ROOT LOCATIONS.
  - CONTRACTOR SHALL NOT PERFORM ANY WORK ON PRIVATE PROPERTY UNTIL A SIGNED RIGHT OF ENTRY (ROE) IS RECEIVED FROM THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ROE WITH THE PROPERTY OWNER.
  - CONTRACTOR SHALL MATCH EXISTING GRADE AT BACK OF SIDEWALK LIMITS. REVIEW OF ALL SIDEWALK FORMS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE FOR LOCATIONS WHERE PRIVATE PROPERTY RESTORATION IS REQUIRED TO MEET DRAINAGE REQUIREMENTS AND BACK OF SIDEWALK GRADE. ALL PRIVATE PROPERTY RESTORATION WORK SHALL BE COORDINATED WITH THE PRIVATE PROPERTY OWNER AND ENGINEER PRIOR TO THE START OF WORK.

ISSUED FOR BID

		Client <b>CITY OF CAMBRIDGE, MASSACHUSETTS</b>
Scale AS NOTED	Date JANUARY 2024	Sheet <b>R-10</b>
Job No. 2023108.020A	Designed by JPP/FG	Project <b>CHAPTER 90 CONTRACT 25 ROADWAY IMPROVEMENT PROJECT</b>
Drawn by AJZ/GLD	Checked by PFB	Drawing <b>MAPLE AVENUE - CONSTRUCTION PLAN STA 400+00 TO 406+00</b>
Approved by BMS	Description REVISIONS	File No. <b>11393</b>

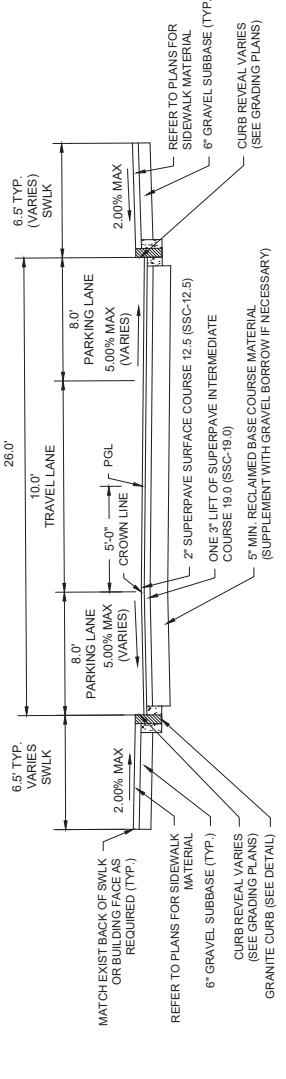




**NOTES:**

1. CONTRACTOR SHALL PROVIDE EXISTING UTILITY COVERS AND CASTINGS TO ALL INTERMEDIATE AND FINAL GRADERS. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR GAS/ELECTRIC/TELEPHONE/ELECTRIC.
2. ALL VERTICAL GRANITE CURBING WITHIN WORK LIMITS SHALL BE REMOVED AND RESET UNLESS OTHERWISE NOTED. DAMAGES OR DISLOCATING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
3. AT LOCATIONS WITH EXISTING TREES TO REMAIN, CONTRACTOR SHALL MAINTAIN A 6\"/>
4. CONTRACTOR TO ADJUST TREE PIT OPENINGS AS NECESSARY TO MAINTAIN A MINIMUM AREA OF 20 SF.
5. ALL EXISTING TREES AND SHRUBS SHALL BE RETAINED UNLESS OTHERWISE NOTED.
6. ALL EXISTING FEATURES AT BACK OF SIDEWALK SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. DAMAGES OR DISLOCATING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
7. CONTRACTOR SHALL MATCH THE EXISTING ROADWAY PAVEMENT GRADE AT THE LIMIT OF PROPOSED PAVEMENT MILLING AND OVERLAY. THE JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE TREATED WITH PAVEMENT SEALANT AND NOT POURED RUBBERIZED ASPHALT SEALER.
8. ALL EXISTING SIGN POSTS SHALL BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNS SHALL BE LOCATED AT A LATERAL CLEARANCE OF 1' FROM THE BACK OF THE CURB BUT NOT LESS THAN 4' FROM THE BACK OF SIDEWALK.
9. AT EXISTING TREE LOCATIONS WITH LARGE, MATURE ROOTS, APPROXIMATE LIMITS OF FLEXIPAVE ARE INDICATED ON THIS PLAN. CONTRACTOR SHALL MAINTAIN THESE LIMITS AND SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY OBSTRUCTIONS UPON THE REMOVAL OF THE EXISTING SIDEWALK AND REVIEW OF ROOT LOCATIONS.
10. CONTRACTOR SHALL NOT PERFORM ANY WORK ON PRIVATE PROPERTY UNLESS A SIGNED RIGHT OF ENTRY (ROE) IS RECEIVED FROM THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ROE WITH THE PROPERTY OWNER.
11. CONTRACTOR SHALL MATCH EXISTING GRADE AT BACK OF SIDEWALK LIMITS. REVIEW OF ALL SIDEWALK FORMS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE FOR LOCATIONS WHERE PRIVATE PROPERTY RESTORATION IS REQUIRED TO MEET DRAINAGE REQUIREMENTS AND BACK OF SIDEWALK GRADE. ALL PRIVATE PROPERTY RESTORATION WORK SHALL BE COORDINATED WITH THE PRIVATE PROPERTY OWNER AND ENGINEER PRIOR TO THE START OF WORK.

**MAPLE AVENUE**  
STA. 400+00 TO STA. 412+00  
SCALE: N.T.S.



Scale	AS NOTED	Date	Job No.	Designed by	Drawn by	Checked by	Approved by	Description	Date
		JANUARY 2024	2023108.020A	JPP/DGS	AJZ/GLD	PFB	BMS	REVISIONS	

Client: CITY OF CAMBRIDGE, MASSACHUSETTS  
 Project: CHAPTER 90 CONTRACT 25  
 Drawing: ROADWAY IMPROVEMENT PROJECT  
 MAPLE AVENUE - CONSTRUCTION PLAN  
 STA 406+00 TO 412+00

Sheet: R-11  
 File No.: 11393

ISSUED FOR BID