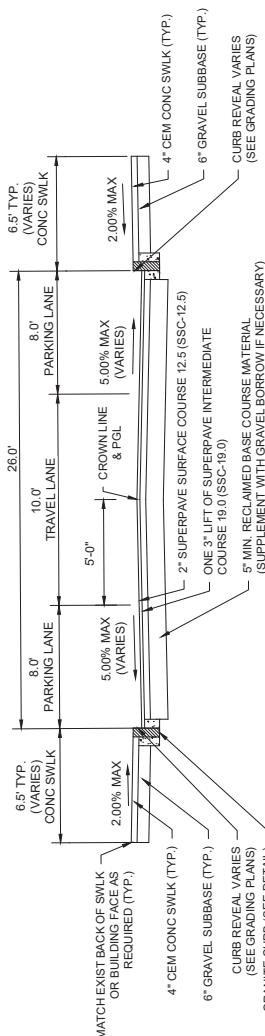
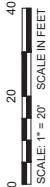


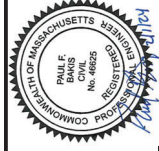
- NOTES:
- CONTRACTOR SHALL ADJUST EXISTING UTILITY COVERS AND CASTINGS TO ALL INTERMEDIATE AND FINAL GRADES. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR GAS/TELEPHONE/ELECTRIC.
 - ALL VERTICAL CURBING WITHIN WORK LIMITS SHALL BE REMOVED AND RESET UNLESS OTHERWISE NOTED. DAMAGES OR DISLODGING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
 - AT LOCATIONS WITH EXISTING TREES TO REMAIN, CONTRACTOR SHALL MAINTAIN A 4' MINIMUM WIDE SIDEWALK BETWEEN TREE PIT OR RECLAIMED PIT CURB AND TRUNK UNLESS SHOWN OTHERWISE ON THE PLANS. AT LOCATIONS WITH PROPOSED OR REPLACED TREES, 4'-0" MINIMUM WIDE SIDEWALK SHALL BE PROVIDED BETWEEN TREE PIT AND BACK OF SIDEWALK.
 - CONTRACTOR TO ADJUST TREE PIT OPENINGS AS NECESSARY TO MAINTAIN A MINIMUM AREA OF 20 SF.
 - ALL EXISTING TREES AND SHRUBS SHALL BE RETAINED UNLESS OTHERWISE NOTED.
 - ALL EXISTING FEATURES AT BACK OF SIDEWALK SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. DAMAGES OR DISLODGING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
 - CONTRACTOR SHALL MATCH THE EXISTING ROADWAY PAVEMENT GRADE AT THE LIMIT OF PROPOSED PAVEMENT MILLING AND OVERLAY. THE JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE TREATED WITH PAVEMENT SEALANT AND NOT POURED RUBBERIZED ASPHALT SEALER.
 - ALL EXISTING SIGN POSTS SHALL BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNS SHALL BE LOCATED A LATERAL CLEARANCE OF 1' FROM THE BACK OF THE CURB BUT NOT LESS THAN 4' FROM THE BACK OF SIDEWALK.
 - AT EXISTING TREE LOCATIONS WITH LARGE, MATURE TREES, APPROXIMATE LIMITS OF ELEVATION ARE INDICATED ON THE PLANS. CONTRACTOR SHALL MAINTAIN THESE LIMITS AND NOT EXCEED THEM BY ANY MEANS. THE OWNER AND CITY OF CAMBRIDGE UPON THE REMOVAL OF THE EXISTING SIDEWALK AND REVIEW OF ROOT LOCATIONS.
 - CONTRACTOR SHALL NOT PERFORM ANY WORK ON PRIVATE PROPERTY UNTIL A SIGNED RIGHT OF ENTRY (ROE) IS RECEIVED FROM THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ROE WITH THE PROPERTY OWNER.
 - CONTRACTOR SHALL MATCH EXISTING GRADE AT BACK OF SIDEWALK LIMITS. REVIEW OF ALL SIDEWALK FORMS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE FOR LOCATIONS WHERE PRIVATE PROPERTY RESTORATION IS REQUIRED TO MEET DRAINAGE REQUIREMENTS AND BACK OF SIDEWALK GRADE. ALL PRIVATE PROPERTY RESTORATION WORK SHALL BE COORDINATED WITH THE PRIVATE PROPERTY OWNER AND ENGINEER PRIOR TO THE START OF WORK.



MONTGOMERY STREET
STA. 500+00 TO STA. 514+00
SCALE: NTS

ISSUED FOR BID

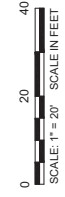
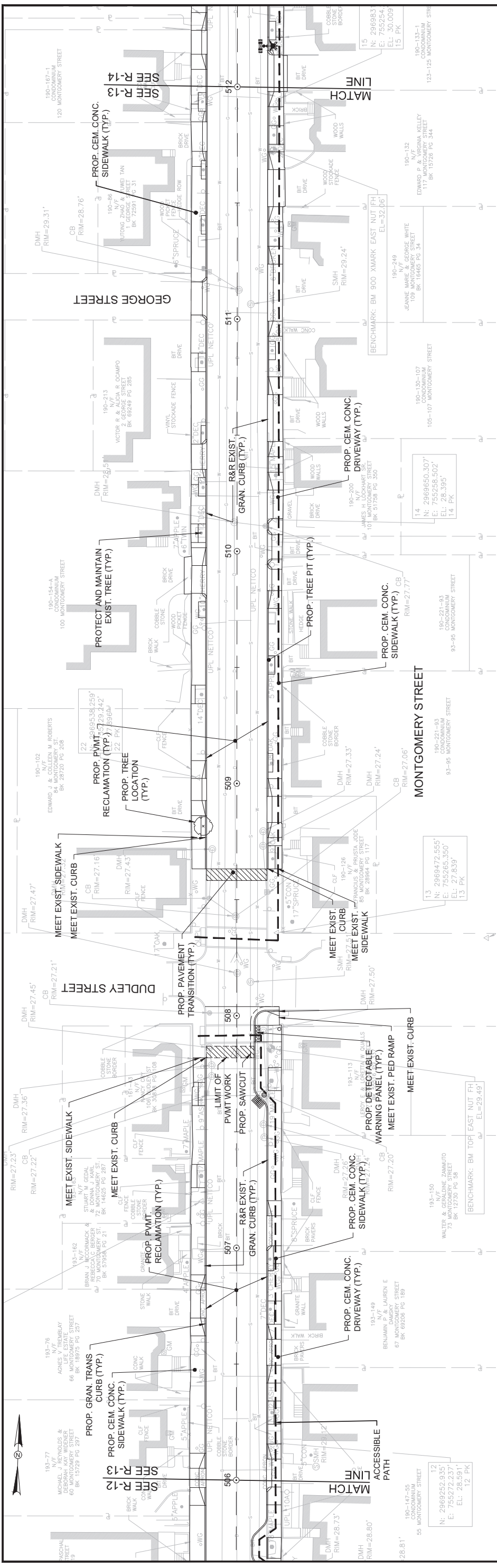
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	JANUARY 2024			
	2023108.020A			
	J/P/P/D/G			
	AJZ/G/LD			
	PFB			
	BMS	REVISIONS		



Client: CITY OF CAMBRIDGE, MASSACHUSETTS
Project: CHAPTER 90 CONTRACT 25
ROADWAY IMPROVEMENT PROJECT
Drawing: MONTGOMERY STREET - CONSTRUCTION PLAN
STA 500+00 TO 506+00

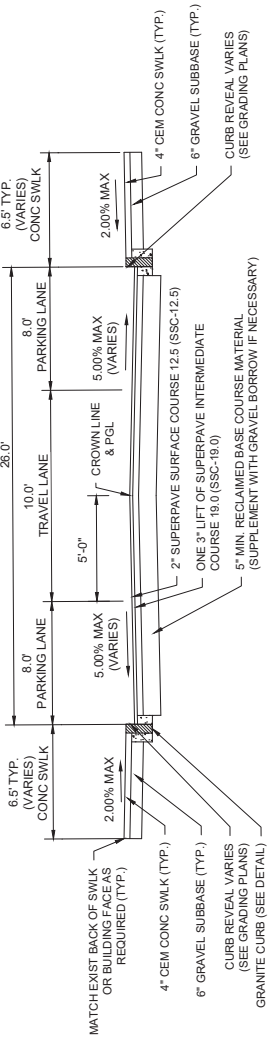
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NOTES:

1. CONTRACTOR SHALL INSTALL EXISTING UTILITY COVERS AND CASTINGS TO ALL INTERM AND FINAL GRADERS. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR GAS/TELECOMM/EELE/ELECTRIC.
2. ALL VERTICAL CURBING WITHIN WORK LIMITS SHALL BE REMOVED AND RESET UNLESS OTHERWISE NOTED. APPROVED FOR THE CITY OF CAMBRIDGE BY THE RESIDENT ENGINEER OR CITY OF CAMBRIDGE.
3. AT LOCATIONS WITH EXISTING TREES TO REMAIN, CONTRACTOR SHALL MAINTAIN A 4' MINIMUM WIDE SIDEWALK BETWEEN TREE PIT OR DETECTABLE WARNING PANELS UNLESS SHOWN OTHERWISE ON THE PLANS. AT LOCATIONS WITH PROPOSED OR REPLACED TREES, 4'-0" MINIMUM WIDE SIDEWALK SHALL BE PROVIDED BETWEEN TREE PIT AND BACK OF SIDEWALK.
4. CONTRACTOR TO ADJUST TREE PIT OPENINGS AS NECESSARY TO MAINTAIN A MINIMUM AREA OF 20 SF.
5. ALL EXISTING TREES AND SHRUBS SHALL BE RETAINED UNLESS OTHERWISE NOTED.
6. ALL EXISTING FEATURES AT BACK OF SIDEWALK SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. DAMAGES OR DISLOCATING FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
7. CONTRACTOR SHALL MATCH THE EXISTING ROADWAY PAVEMENT GRADE AT THE LIMIT OF PROPOSED PAVEMENT MILLING AND OVERLAY. THE JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT SHALL BE TREATED WITH PAVEMENT SEALANT AND NOT POURED RUBBERIZED ASPHALT SEALER.
8. ALL EXISTING SIGN POSTS SHALL BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNS SHALL BE LOCATED A LATERAL CLEARANCE OF 1' FROM THE BACK OF THE CURB BUT NOT LESS THAN 4' FROM THE BACK OF SIDEWALK.
9. AT EXISTING TREE LOCATIONS WITH LARGE, MATURE TREES, APPROXIMATE LIMITS OF ELEVATION ARE INDICATED ON THE PLANS. CONTRACTOR SHALL MAINTAIN THESE LIMITS AND BE RESPONSIBLE FOR THE PROTECTION OF THE TREE AND CITY OF CAMBRIDGE UPON THE REMOVAL OF THE EXISTING SIDEWALK AND REVIEW OF ROOT LOCATIONS.
10. CONTRACTOR SHALL NOT PERFORM ANY WORK ON PRIVATE PROPERTY UNTIL A SIGNED RIGHT OF ENTRY (ROE) IS RECEIVED FROM THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ROE WITH THE PROPERTY OWNER.
11. CONTRACTOR SHALL MATCH EXISTING GRADE AT BACK OF SIDEWALK LIMITS. REVIEW OF ALL SIDEWALK FORMS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE FOR LOCATIONS WHERE PRIVATE PROPERTY RESTORATION IS REQUIRED TO MEET DRAINAGE REQUIREMENTS AND BACK OF SIDEWALK GRADE. ALL PRIVATE PROPERTY RESTORATION WORK SHALL BE COORDINATED WITH THE PRIVATE PROPERTY OWNER AND ENGINEER PRIOR TO THE START OF WORK.

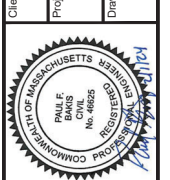


MONTGOMERY STREET
STA. 500+00 TO STA. 514+00
SCALE: 1/8\"/>

ISSUED FOR BID

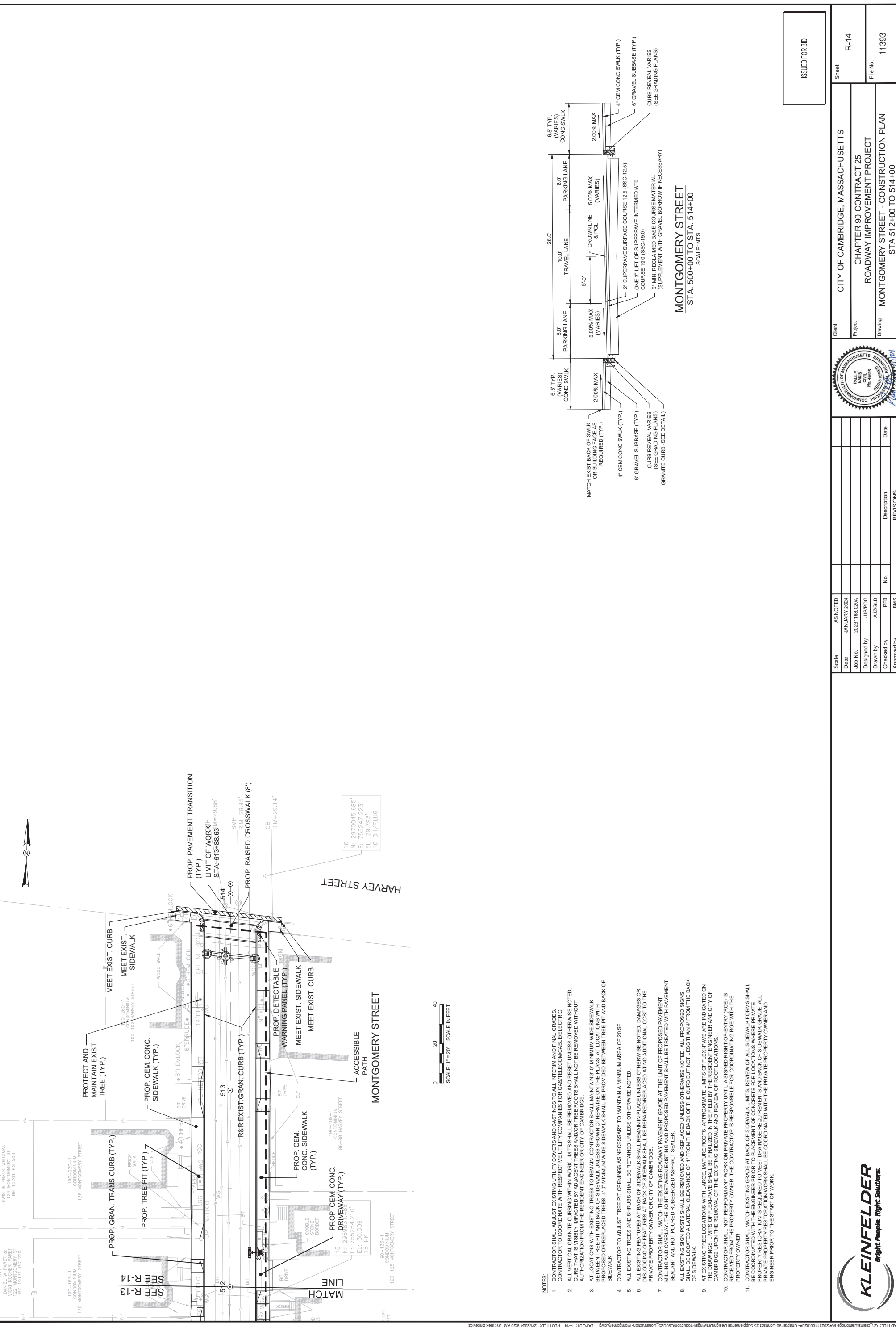
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Job No.	2023106.020A						
Designed by	JPP/PG						
Drawn by	AJZ/GLD						
Checked by	PFB	No.		Description		Date	
Approved by	BMS			REVISIONS			

Client: CITY OF CAMBRIDGE, MASSACHUSETTS
 Project: CHAPTER 90 CONTRACT 25 ROADWAY IMPROVEMENT PROJECT
 Drawing: MONTGOMERY STREET - CONSTRUCTION PLAN STA 506+00 TO 512+00

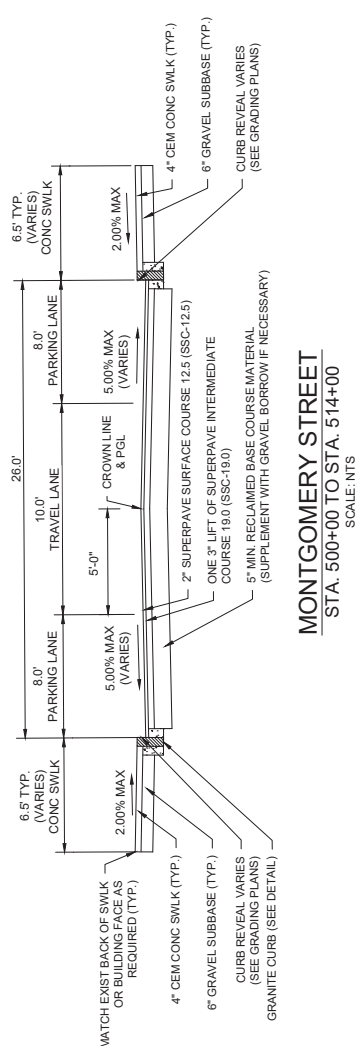
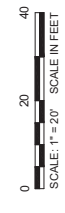


Sheet	R-13
File No.	11393





- NOTES:**
- CONTRACTOR SHALL ADJUST EXISTING UTILITY COVERS AND CASTINGS TO ALL INTERM AND FINAL GRADES. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR GAS/TELECOMM/ELECTRIC.
 - ALL VERTICAL GRANITE CURBING WITHIN WORK LIMITS SHALL BE REMOVED AND RESET UNLESS OTHERWISE NOTED. GRANITE CURBING TO BE REINSTALLED TO ORIGINAL GRADE AND FINISH UNLESS OTHERWISE NOTED. AUTHORIZATION FROM THE RESIDENT ENGINEER OR CITY OF CAMBRIDGE.
 - AT LOCATIONS WITH EXISTING TREES TO REMAIN, CONTRACTOR SHALL MAINTAIN A 4' MINIMUM WIDE SIDEWALK BETWEEN TREE PIT OR TREE TRUNK AND EXISTING SIDEWALK. CONTRACTOR SHALL MAINTAIN A 4' MINIMUM WIDE SIDEWALK BETWEEN TREE PIT AND BACK OF SIDEWALK.
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 - ALL EXISTING FEATURES AT BACK OF SIDEWALK SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. DAMAGES OR DISLODGING OF FEATURES AT BACK OF SIDEWALK SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO THE PRIVATE PROPERTY OWNER OR CITY OF CAMBRIDGE.
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 - ALL EXISTING SIGN POSTS SHALL BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNS SHALL BE LOCATED A LATERAL CLEARANCE OF 1' FROM THE BACK OF THE CURB BUT NOT LESS THAN 4' FROM THE BACK OF SIDEWALK.
 - AT EXISTING TREE LOCATIONS WITH LARGE, MATURE ROOTS, APPROXIMATE LIMITS OF FLEAVEL ARE INDICATED ON THIS PLAN. CONTRACTOR SHALL MAINTAIN THESE LIMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE TREES UPON THE REMOVAL OF THE EXISTING SIDEWALK AND REVIEW OF ROOT LOCATIONS.
 - CONTRACTOR SHALL NOT PERFORM ANY WORK ON PRIVATE PROPERTY UNTIL A SIGNED RIGHT OF ENTRY (ROE) IS RECEIVED FROM THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ROE WITH THE PROPERTY OWNER.
 - CONTRACTOR SHALL MATCH EXISTING GRADE AT BACK OF SIDEWALK LIMITS. REVIEW OF ALL SIDEWALK FORMS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE FOR LOCATIONS WHERE PRIVATE PROPERTY RESTORATION IS REQUIRED TO MEET DRAINAGE REQUIREMENTS AND BACK OF SIDEWALK GRADE. ALL PRIVATE PROPERTY RESTORATION WORK SHALL BE COORDINATED WITH THE PRIVATE PROPERTY OWNER AND ENGINEER PRIOR TO THE START OF WORK.



MONTGOMERY STREET
STA. 500+00 TO STA. 514+00
SCALE: NTS

ISSUED FOR BID

Client		City of Cambridge, Massachusetts	
Project		CHAPTER 90 CONTRACT 25 ROADWAY IMPROVEMENT PROJECT	
Drawing		MONTGOMERY STREET - CONSTRUCTION PLAN STA 512+00 TO 514+00	
Sheet		R-14	
File No.		11393	
Scale	AS NOTED		
Date	JANUARY 2024		
Job No.	2023108.020A		
Designed by	JPP/PG		
Drawn by	AJZ/GLD		
Checked by	PFB	No.	Date
Approved by	BMS	REVISIONS	



DANIEL W. PARET &
VICKI KOCHER PARET
124 MONTGOMERY ST
BK 19171 PG 220

LEWIS & FRANK WETZMAN
124 MONTGOMERY ST
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