



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

2019 MAR 22 AM 10:27
 OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-047091-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : v Appeal : _____

PETITIONER : 808 Memorial Drive Housing Charitable Trust C/O William Monson, Homeowners R

PETITIONER'S ADDRESS : 280 Franklin Street Cambridge, MA 02139

LOCATION OF PROPERTY : 808-812 Memorial Dr Cambridge, MA

TYPE OF OCCUPANCY : Office ZONING DISTRICT : Office 2 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

HRI is asking for relief from Office 2 dimensional requirements (Article 5.32) for yard setbacks and building GFA so that we can reclad and insulate the building envelope, as well as expand the building lobby to accommodate a new fire command center. We are also seeking relief on the Green Building Rating System (Article 22.23), asking that we apply Enterprise Green Communities (EGC) rather than LEED Silver, as EGC is a more appropriate rating system for multifamily affordable buildings.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.32 (Office Districts Dimensional Requirements).
 Article 20.000 Section 20.89 (Memorial Drive Overlay District).
 Article 22.000 Section 22.23 (Green Building Requirements).
 Article 22.000 Section 22.43.1&2 (Sustainable Design & Development).

Original Signature(s) : *Jane Carbone*
 (Petitioner(s) / Owner)
JANE CARBONE
 (Print Name)

Address : 280 Franklin St
Cambridge, MA 02139
 Tel. No. : 617-868-4858
 E-Mail Address : Jcarbone@homeownersrehab.org

Date : 3/21/2019

BZA APPLICATION FORM - OWNERSHIP INFORMATION

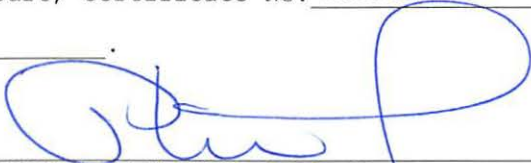
To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 808 Memorial Drive Housing Charitable Trust
(OWNER)
Address: 280 Franklin Street Cambridge, MA 02139

State that I/We own the property located at 808-812 Memorial Drive Cambridge, MA 02139, which is the subject of this zoning application.

The record title of this property is in the name of 808 Memorial Drive Housing Charitable Trust

*Pursuant to a deed of duly recorded in the date 7/14/1997, Middlesex South County Registry of Deeds at Book 27476, Page 578; or Middlesex Registry District of Land Court, Certificate No. 1036171
Book 1174 Page 39.



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

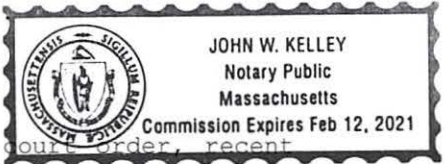
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of MIDDLESEX

The above-name PETER DALY personally appeared before me, this 20th of MARCH, 2019, and made oath that the above statement is true.

 Notary

My commission expires FEB 12, 2021 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

It is not possible to fit the proposed recladding, AVB, and insulation within the 4 inches of setback encroachment allowed by Article 22.43.1. A literal enforcement of the Ordinance requirements would make the entire scope infeasible, which would continue be detrimental to the well-being of all building tenants, as well as not allow us to achieve our Green Building requirements. Regarding the 812 Lobby, adding the mandatory new fire command center within the existing lobby footprint would make the lobby cramped and less accessible to building residents, which would be severely detrimental to their enjoyment of the property.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The scale of the building, as well as its original construction technique, is what makes the proposed recladding outboarding necessary. Four inches of setback encroachment may be appropriate for retrofitting a single family house, but a 300 unit high-rise property requires more room to accomodate the necessary materials, as well as the internal support structure. Similarly, the hardship for the expanded lobby footprint stems from the Cambridge Fire Department's fire command center requirements as part of a substantial rehabilitation for a property of such a scale.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

We cannot think of what substantial detriment to the public good would result from the proposed recladding or lobby expansion. Conversely, the granted relief would increase residents' enjoyment of the property, improve the property's energy efficiency, reducing operating costs and carbon footprint, and upgrade the aesthetics for the larger community.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

We believe the relief would allow us to better meet intentions of the Ordinances, which seeks to improve the well-being of residents and the energy efficiency of a building in a substantial rehab without negatively impacting abutters or the general public at large. Our proposed scope would accomplish this goal if granted the requested relief, and would fall short of these goals if such relief were denied.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

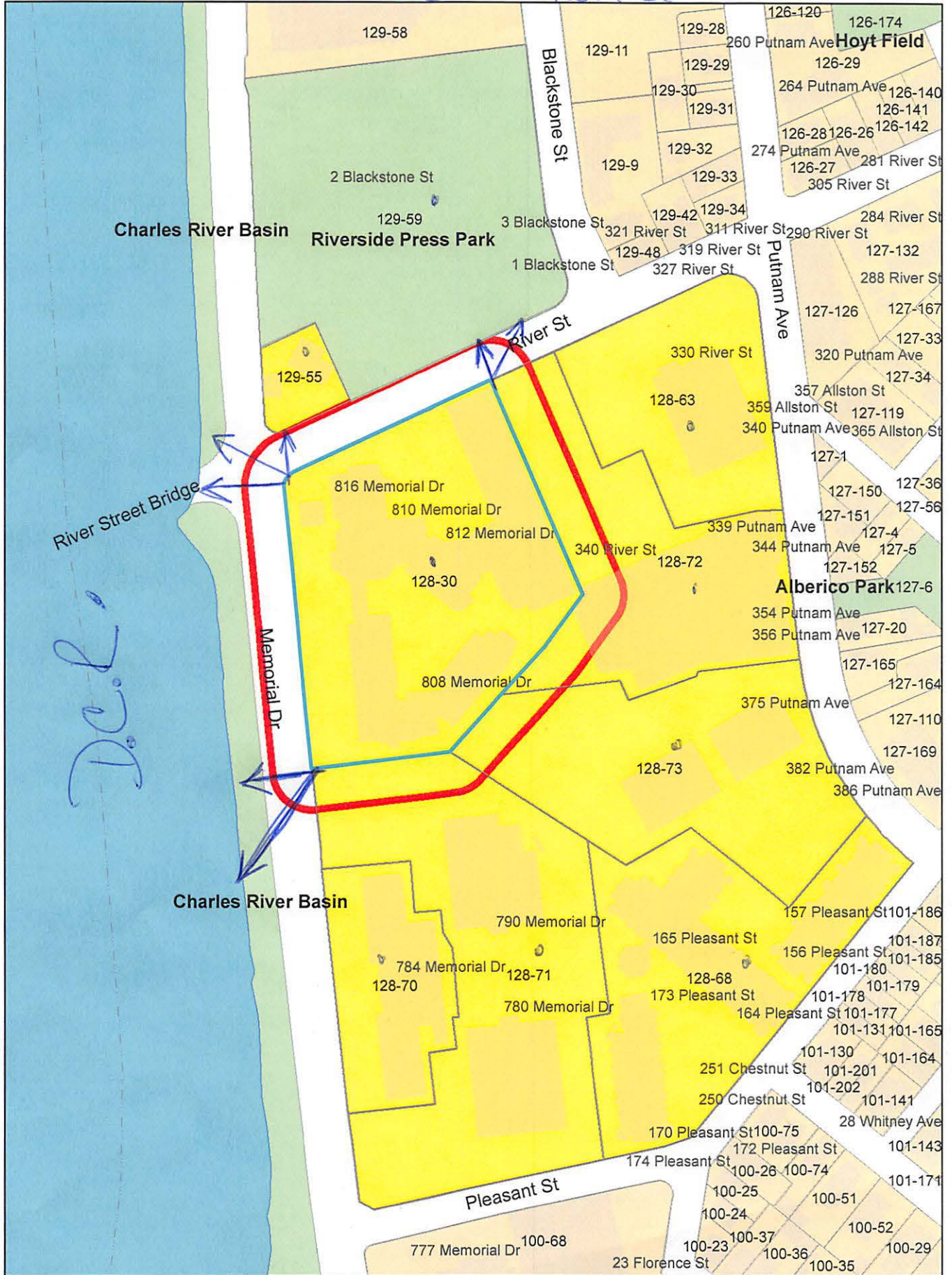
APPLICANT: HRI **PRESENT USE/OCCUPANCY:** Mixed Use
LOCATION: 808-812 Memorial Dr Cambridge, MA **ZONE:** Office 2 Zone
PHONE: _____ **REQUESTED USE/OCCUPANCY:** Mixed Use

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	384,923	407,073	384,923	(max.)
<u>LOT AREA:</u>	120,647	120,647	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	3.19	3.37	3.19	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	402	402	600	(min.)
<u>SIZE OF LOT:</u>	WIDTH	N/A	N/A	(min.)
	DEPTH	N/A	N/A	N/A
<u>SETBACKS IN FEET:</u>	FRONT	55	54	(min.)
	REAR	N/A	N/A	(min.)
	LEFT SIDE	0	0	(min.)
	RIGHT SIDE	22	21	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	209	209	(max.)
	LENGTH	N/A	N/A	N/A
	WIDTH	N/A	N/A	N/A
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	29	29	15	(min.)
<u>NO. OF DWELLING UNITS:</u>	300	300	201	(max.)
<u>NO. OF PARKING SPACES:</u>	257	257	300	(min./max)
<u>NO. OF LOADING AREAS:</u>	0	0	6	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

808-812 Memorial Dr.



808-812 Memorial Dr. Pettinone's 195

128-30
808 MEMORIAL DRIVE ASSOCIATION
C/O HOMEOWNER REHAB
280 FRANKLIN ST
CAMBRIDGE, MA 02139

128-73
CAMBRIDGE ELECTRIC LIGHT CO.
C/O NSTAR ELECTRIC CO
PROPERTY TAX DEPT., P.O. BOX 270
HARTFORD, CT 06141

HOMEOWNER'S REHAB INC.
C/O WILLIAM MONSON &
JANE CARBONE
280 FRANKLIN STREET
CAMBRIDGE, MA 02139

128-72
ACADIA CAMBRIDGE LLC
550 BOWIE ST
AUSTIN, TX 78704

128-70
BMX, LLC. TRUSTEE OF 784 REALTY TRUST.
C/O DAVIS MALM & D'AGOSTINE
ONE BOSTON PLACE
BOSTON, MA 02108

128-63
ACADIA 330 RIVER STREET LLC,
C/O RITE AID CORPORATON
PO BOX 3165
HARRISBURG, PA 17105

129-59
CITY OF CAMBRIDGE
C/O LOUIS DePASQUALE,
CITY MANAGER

129-59
CITY OF CAMBRIDGE
C/O NANCY GLOWA,
CITY SOLICITOR

129-55
PECTEN PROPERTIES, LLC
261 LEDYARD ST.
NEW LONDON, CT 06320

128-68
KUMAR, NAVIN LINGAM & ANICA CHI-YING LAW
157 PLEASANT ST., #1/103
CAMBRIDGE, MA 02139

128-68
ELMER, MARK & LACEY ROBINSON
157 PLEASANT ST., #1/104
CAMBRIDGE, MA 02139

128-68
DARLING, ALBERT T.
157 PLEASANT ST., UNIT #1/105
CAMBRIDGE, MA 02139

128-68
DAMSKY, BETH C.
157 PLEASANT ST., UNIT #1/106
CAMBRIDGE, MA 02139

128-68
OPRASEUTH, JONATHAN
157 PLEASANT ST., #1/107
CAMBRIDGE, MA 02139

128-68
HERSKOVITS, ADRIANNA
157 PLEASANT ST., #1/201
CAMBRIDGE, MA 02139

128-68
MATTOS, DAVID
157 PLEASANT ST., #1/202
CAMBRIDGE, MA 02139

128-68
DIVAKRAN, SANJAY
157 PLEASANT ST., #1/203
CAMBRIDGE, MA 02139

128-68
SEONG, IHN SIK
157 PLEASANT ST., #1/204
CAMBRIDGE, MA 02139

128-68
SHIH, WILLY C. & JULIE M. SHIH
157 PLEASANT ST. UNIT#1/205
CAMBRIDGE, MA 02139

128-68
DANIEL, AMANDA L.
157 PLEASANT ST., UNIT #1/206
CAMBRIDGE, MA 02139

128-68
COPE, DAVID
157 PLEASANT ST. UNIT 1/.207
CAMBRIDGE, MA 02139

128-68
WERFEL, JUSTIN K.
157 PLEASANT ST., #1/208
CAMBRIDGE, MA 02139

128-68
BRAUN, DAVID A. & LAURIE R. BRAUN
157 PLEASANT ST., #1/209
CAMBRIDGE, MA 02139

128-68
BICHARA-GARCIA, DAVID A.
157 PLEASANT ST., #1/301
CAMBRIDGE, MA 02139

128-68
SINGHAL, TARUN & GARIMA SINGHAL
157 PLEASANT ST., #1/302
CAMBRIDGE, MA 02139

128-68
HENTSCHER, DIRK M.
157 PLEASANT ST. UNIT# 1/303
CAMBRIDGE, MA 02139

128-68
YANG, HYUN-SIK & GA YOUNG LEE
157 PLEASANT ST #1/101
CAMBRIDGE, MA 02139

128-68
COLE, SHAWN A.
157 PLEASANT ST. UNIT#1/305
CAMBRIDGE, MA 02139

128-68
TRAPP, TIMOTHY
157 PLEASANT ST., #1/306
CAMBRIDGE, MA 02139

128-68
ALLEN, TODD
157 PLEASANT ST., #1/307
CAMBRIDGE, MA 02139

128-68
ALTIDOR, EDNOR
157 PLEASANT ST., UNIT #1/308
CAMBRIDGE, MA 02138

128-68
IRELE, FRANCIS ABIOLA
157 PLEASANT ST., UNIT #1/309
CAMBRIDGE, MA 02139

128-68
FORD, DEANNA B.
157 PLEASANT ST., #1/310
CAMBRIDGE, MA 02139

128-68
SABET, HAMID
157 PLEASANT ST., #1/311
CAMBRIDGE, MA 02139

128-68
CLICK, EMILY
165 PLEASANT ST. UNIT#2/101
CAMBRIDGE, MA 02138

128-68
KERNKRAUT, MATTHEW ERIC
165 PLEASANT ST., #2/102
CAMBRIDGE, MA 02139

128-68
MEIU, GEORGE PAUL
165 PLEASANT ST., #2/103
CAMBRIDGE, MA 02139

128-68
SISKIND, MARIANO
165 PLEASANT ST., UNIT #2/104
CAMBRIDGE, MA 02139

128-68
KRONENBERG, HENRY M.
165 PLEASANT ST., #2/105
CAMBRIDGE, MA 02139

128-68
CRUMPACKER, CLYDE
165 PLEASANT ST. UNIT# 2/106
CAMBRIDGE, MA 02139

128-68
LIPSITZ, STUART
165 PLEASANT ST. UNIT#2/107
CAMBRIDGE, MA 02139

128-68
JEYIFO, BIODUN
165 PLEASANT ST. UNIT#108
CAMBRIDGE, MA 02139

128-68
REDLINE, SUSAN
165 PLEASANT ST., #2/109
CAMBRIDGE, MA 02139

128-68
COREY, KATHLEEN E.
165 PLEASANT ST., #2/110
CAMBRIDGE, MA 02139

128-68
OSNAT, NETZER
165 PLEASANT ST., #2/111
CAMBRIDGE, MA 02139

128-68
NADKARNI, SEEMANTINI K.
165 PLEASANT ST., # 2/112
CAMBRIDGE, MA 02139

128-68
CHEN, YAO
165 PLEASANT ST., #2/113
CAMBRIDGE, MA 02138

128-68
KHERA, AMIT V.
165 PLEASANT ST., # 2/114
CAMBRIDGE, MA 02139

128-68
JUNG, YUN JOON
165 PLEASANT ST 2/201
CAMBRIDGE, MA 02139

128-68
GURAL, ALEXANDRA
165 PLEASANT ST., UNIT #2/202
CAMBRIDGE, MA 02139

128-68
CAIN, JOHN WESLEY
165 PLEASANT ST., #2/203
CAMBRIDGE, MA 02139

128-68
WONG, WESLEY PHILIP
165 PLEASANT ST., #2/204
CAMBRIDGE, MA 02139

128-68
D'ANGELO, EUGENE J.
165 PLEASANT ST, #2-205
CAMBRIDGE, MA 02139

128-68
LEWIS, KIMBERLY A.
165 PLEASANT ST., #2/206
CAMBRIDGE, MA 02139

128-68
HORWITZ, MORTON
165 PLEASANT ST 2/207
CAMBRIDGE, MA 02138

128-68
FOOTE, WARREN C/O ELLIOTT, MARK C.
165 PLEASANT ST., UNIT #2/208
CAMBRIDGE, MA 02139

128-68
JOSEPH, JOSHUA W.
165 PLEASANT ST., #2/209
CAMBRIDGE, MA 02139

128-68
JOSEPH, LOREN
165 PLEASANT ST., #2/210
CAMBRIDGE, MA 02139

128-68
HO, BANKU & MARY HO
165 PLEASANT ST., UNIT 2/211
CAMBRIDGE, MA 02139

128-68
STERN, M. DAVID
165 PLEASANT ST., #2/212
CAMBRIDGE, MA 02139

128-68
FORD, LINDA S.
165 PLEASANT ST. UNIT#2/ 213
CAMBRIDGE, MA 02139

128-68
CHEN, JONATHAN H.
165 PLEASANT ST., #2/214
CAMBRIDGE, MA 02139

128-68
LIU, DAVID & KELLY PATRICIA BRUKE
165 PLEASANT ST., #2/215
CAMBRIDGE, MA 02139

128-68
PATEL, KUNJAL
165 PLEASANT ST., #2/216
CAMBRIDGE, MA 02139

128-68
GOMES, SUSAN O.
165 PLEASANT ST., #2/301
CAMBRIDGE, MA 02139

128-68
KHADEMHOSEINI, ALI
C/O WANG, ALI
165 PLEASANT ST., #2/302
CAMBRIDGE, MA 02139

128-68
TEDESCHI, MARTHA
165 PLEASANT ST., #2/303
CAMBRIDGE, MA 02139

128-68
BROWN, CYNTHIA M.
165 PLEASANT ST 2/304
CAMBRIDGE, MA 02139

128-68
HOMSY, JASON G. & CHARLOTTE I-WEN WANG
C/O FONG, HIU-FAI
165 PLEASANT ST., #2/305
CAMBRIDGE, MA 02139

128-68
PUETT, MICHAEL
165 PLEASANT ST., UNIT #306
CAMBRIDGE, MA 02139

128-68
BRAIN, JOSEPH D.
165 PLEASANT ST. UNIT#2/307
CAMBRIDGE, MA 02139

128-68
MESA, ALEX G. & TELMA M. MORALES
165 PLEASANT ST., #2/308
CAMBRIDGE, MA 02139

128-68
HELLER, ERIC J.
165 PLEASANT ST., #2/309
CAMBRIDGE, MA 02139

128-68
DOYLE, KATY
165 PLEASANT ST., #2/310
CAMBRIDGE, MA 02139

128-68
ELLCOCK, JARRON & SHARMILA MATTHEWS
165 PLEASANT ST., UNIT #2/311
CAMBRIDGE, MA 02139

128-68
VISWANATH, KASISOMAYAJULA
165 PLEASANT ST., UNIT #2/312
CAMBRIDGE, MA 02139

128-68
KIM, EDY Y.
165 PLEASANT ST. UNIT#2/313
CAMBRIDGE, MA 02139

128-68
NI, KANG-KUEN
165 PLEASANT ST., #2/314
CAMBRIDGE, MA 02138

128-68
GADJEVA, MIHAELA & ROSSEN MIRCHEV
165 PLEASANT ST., UNIT #2/315
CAMBRIDGE, MA 02139

128-68
WONDIMU, SOLOMON
165 PLEASANT ST., UNIT# 2/401
CAMBRIDGE, MA 02139

128-68
GRUNDLER-WHITACRE, KARIN
165 PLEASANT ST. UNIT#2/402
CAMBRIDGE, MA 02139

128-68
CHEBIB, IVAN A.
165 PLEASANT ST. #2/403
CAMBRIDGE, MA 02139

128-68
SACHEZ, SHERRY L.
165 PLEASANT ST., UNIT #2/404
CAMBRIDGE, MA 02139

128-68
CHRISTODOULOU, JOANNA
165 PLEASANT ST., #2/405
CAMBRIDGE, MA 02139

128-68
MOLINA, GEORGE & ROSE LEONARD MOLINA
165 PLEASANT ST., #2/406
CAMBRIDGE, MA 02139

128-68
ASHLEY, STANLEY W.
165 PLEASANT ST., #2/407
CAMBRIDGE, MA 02139

128-68
SUTTON, VALERIE
165 PLEASANT ST 2/408
CAMBRIDGE, MA 02139

128-68
NARAYANDAS, DAS C/O LUO, LAN
165 PLEASANT ST., #2/409
CAMBRIDGE, MA 02139

128-68
DOKMECI, MEHMET REMZI
C/O WENGRD, JORDAN C.
165 PLEASANT ST., #2/410
CAMBRIDGE, MA 02139

128-68
HEARN, ALYSHA
165 PLEASANT ST., #411
CAMBRIDGE, MA 02139

808-812 Memorial Dr.

495

128-68
FOX, THOMAS
C/O CONNORS, JOSEPH
165 PLEASANT ST., UNIT #2/412
CAMBRIDGE, MA 02139

128-68
SHIH, WILLIAM
165 PLEASANT ST., #2/413
CAMBRIDGE, MA 02139

128-68
SHIH, WILLIAM
165 PLEASANT ST., UNIT #414
CAMBRIDGE, MA 02139

128-68
FONG, HIU-FAI
C/O LOH, RO-RU
165 PLEASANT ST., #2/415
CAMBRIDGE, MA 02139

128-68
LEVIN, JONATHAN C. &
AMY SCHOENFIELD LEVIN
165 PLEASANT ST., #2/416
CAMBRIDGE, MA 02139

128-68
MONTROYA, HERIBERTO & SILVIA A. MONTROYA
173 PLEASANT ST., UNIT #3/101
CAMBRIDGE, MA 02139

128-68
MALIK, ATHAR NAVEED
173 PLEASANT ST., #3/102
CAMBRIDGE, MA 02139

128-68
MELINA, CATHERINE A.
173 PLEASANT ST., UNIT #3/103
CAMBRIDGE, MA 02139

128-68
MARSDEN, DEBORAH L.
173 PLEASANT ST. UNIT#3/104
CAMBRIDGE, MA 02139

128-68
MAGUDIA, KIRTI & ANAND G. NATARAJ
173 PLEASANT ST., #3/105
CAMBRIDGE, MA 02139

128-68
CHAUHAN, SUNIL K.
173 PLEASANT ST., #3/106
CAMBRIDGE, MA 02139

128-68
ARTHANARI, HARIBABU
173 PLEASANT ST., #3/107
CAMBRIDGE, MA 02139

128-68
MCCARTHY, JOSEPH J. & MARINA MCCARTHY
173 PLEASANT ST, #3-108
CAMBRIDGE, MA 02139

128-68
TSOPAS, SCOTT
173 PLEASANT ST. UNIT#3/201
CAMBRIDGE, MA 02139

128-68
ZOU, TAO
173 PLEASANT ST., #3/202
CAMBRIDGE, MA 02139

128-68
O'DONNELL, JOAN KATHRYN
173 PLEASANT ST, #3-203
CAMBRIDGE, MA 02139

128-68
ABDUREZAK, HAMZA & KIFAYA ABDURAHMAN
173 PLEASANT ST., UNIT #3/204
CAMBRIDGE, MA 02139

128-68
ARAGAM, KRISHNA
173 PLEASANT ST., #3/205
CAMBRIDGE, MA 02139

128-68
MADARIAGA, CHRISTINE SIEBERG
173 PLEASANT ST 3/206
CAMBRIDGE, MA 02139

128-68
LAU, BING KEVIN
173 PLEASANT ST., UNIT#3/207
CAMBRIDGE, MA 02139

128-68
YOU, YONG-MING & PEI-RA LING
173 PLEASANT ST., UNIT #3/208
CAMBRIDGE, MA 02139

128-68
CHALHOUB, SIDNEY
173 PLEASANT ST., #3/301
CAMBRIDGE, MA 02139

128-68
TAI, JAHIRA S.
173 PLEASANT ST., #3/302
CAMBRIDGE, MA 02139

128-68
LIANG, NAN
173 PLEASANT ST # 3/303
CAMBRIDGE, MA 02139

128-68
WANG, RUI
173 PLEASANT ST., #3/304
CAMBRIDGE, MA 02139

128-68
MILLER, PETER GRANT & ELIZABETH KWO
173 PLEASANT ST., #3/305-#3/306
CAMBRIDGE, MA 02139

128-68
LI, NA
157 PLEASANT ST., #1/102
CAMBRIDGE, MA 02139

128-68
GOLDBERG, LENA G.
15 NICHOLS RD
COHASSET, MA 02025

128-68
COOPER, NAZNEEN PHIROZE
173 PLEASANT ST., #3/308
CAMBRIDGE, MA 02139

128-68
LUND, THERESA A.
173 PLEASANT ST., #3/401
CAMBRIDGE, MA 02139

808-812 Memorial Dr.

5055

128-68
LI, HOJUN
173 PLEASANT ST., #3/402
CAMBRIDGE, MA 02139

128-68
MADSEN, LARS PETER KNOTH
173 PLEASANT ST., #3/403
CAMBRIDGE, MA 02139

128-68
BARTLEY, M. TREARTY
173 PLEASANT ST. UNIT 404
CAMBRIDGE, MA 02139

128-68
HARTMANN, FRANCIS X.
173 PLEASANT ST. UNIT#3/405
CAMBRIDGE, MA 02138

128-68
NEPAL, BIMAL & ANJANA NEPAL
173 PLEASANT ST., UNIT #3/406
CAMBRIDGE, MA 02139

128-68
LIPSETT, SUSAN C.
173 PLEASANT ST., #3/407
CAMBRIDGE, MA 02139

128-68
BENSON, BRENT
173 PLEASANT ST., #3/408
CAMBRIDGE, MA 02139

128-71
MIT 770/784/790 MEMORIAL LLC
C/O ARE EQUITIES, INC
PO BOX 847
CARLSBAD, CA 92018

DEPARTMENT OF CONSERVATION &
RECREATION
251 CAUSEWAY STREET – SUITE 600
BOSTON, MA 02114-2119



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 808-812 Memorial Drive

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date March 27, 2019

Received by Uploaded to Energov
Relationship to project BZA 017091-2019

Date March 27, 2019

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

BZA VARIANCE APPLICATION

808-812 Memorial Drive, Cambridge MA 02139

March 21, 2019

Board of Zoning Appeal
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Variance Application for 808-812 Memorial Drive

Dear Board of Zoning Appeal Members,

Homeowner's Rehab, Inc. (HRI), on behalf of the 808 Memorial Drive Housing Charitable Trust (the "Trust") is submitting this application for a zoning variance for "808 Memorial Drive" (the "Property"), located at 808-812 Memorial Drive in the Cambridgeport neighborhood. In order to commence much needed rehab work at the property, HRI is seeking variance relief from two sections of the Cambridge Zoning Ordinance: 5.32 Dimension Requirements for the Property's location in an Office 2 district; 22.23 Green Building Requirement to meet LEED certification.

The following documents are attached in support of this application:

- Application Form, 3 copies with original signatures
- Supporting statement from architect Bruner/Cott
- Assessor's GIS "Block Map" for the parcel
- Dimensional form table
- Ownership Certificate, notarized
- Most recent floor plans and elevations
- Proposed 812/810 lobby redesign
- Survey of the property conducted by Feldman Land Surveyors
- Photograph of the property

Development Background

The Sponsor of this Project is HRI, a non-profit affordable housing developer with a long track record developing and preserving affordable housing in the City of Cambridge. The Project is a mixed-income, mixed-use site with 212 restricted affordable units, 88 market residential units, and approximately 38,000 square feet of commercial space. The Project was built in 1974 as part of the Department of Housing and Urban Development's (HUD) Section 236 program and acquired by the Trust in 1997 to preserve its affordability. At the time, HRI oversaw a limited capital rehab scope to address dire deficiencies in the property. However, it was not able to address all the issues, and many persist to the current day. Chief among these issues are air and water penetrations in the exterior envelope, stemming from poor initial construction design and execution that results in water leaks in resident living spaces, impacting their quality of life.

In order to address this issue, HRI and the Project's architect, Bruner/Cott, propose removing the existing rib face block cladding and replacing it with a new exterior wall assembly that includes added insulation, a new Air Vapor Barrier (AVB), and metal panel cladding. In addition to preventing water infiltration, the proposed recladding will greatly improve the thermal performance of the building, resulting in operational savings that can help HRI maintain affordability of the residents, as well as helping Cambridge and HRI both meet their environmental goals of reducing energy usage.

Zoning Analysis: Request for Zoning Relief

Working in conjunction with our architect, Bruner/Cott, and our zoning lawyer at Nolan Sheehan Patten LLP, HRI reviewed the proposed scope of work and its conformance with the Cambridge Zoning Ordinance. 808 Memorial Drive is situated in an Office 2 District, as well as the Memorial Drive Overlay District. HRI is seeking zoning relief from the Board of Zoning Appeal through the variance application for the following issues:

- ***Encroachment into Side Yard Setbacks.*** Zoning Ordinance Article 5.32 provides Dimensional Regulations for buildings in Office 2 districts. The existing side yard setbacks for the Property were established in the Memorial Drive Overlay District, Article 20.89, which defined the required yards as those existing at the Property as of July 1st, 2004. Therefore, the re-established yard setbacks reach to the existing exterior face of the building. As part of our proposed scope, the new thermal insulation, sheathing, AVB, and cladding assembly will be outboard from the existing plane of the exterior wall, and therefore extend into the re-established yard setbacks. Article 22.43.2 grants limited relief for this additional insulation, allowing encroachment into the setback of four inches. However, given the size and scale of the building the proposed scope will require up to 12 inches of encroachment into the setback in certain areas to accommodate the entire added cladding and insulation assembly. The attached dimensional form table details the new required yard setbacks to accommodate the proposed recladding. A literal enforcement of the four-inch limitation on side yard encroachment would render the entire recladding and insulation scope infeasible for 808 Memorial Drive.
- ***Additional GFA for Expanded Lobby Area.*** In addition to setbacks, Zoning Ordinance Article 5.32 dictates allowable GFA for buildings on Office 2 districts. We are requesting an additional 650 sf of GFA to expand the lobby of 812/810 Memorial Drive. This additional lobby area stems from the need to comply with the Cambridge Fire Department's (CFD) regulations to replace and upgrade the building's fire command center, enclosing the center within the lobby space and providing a new entrance to the space for firefighters in the event of an emergency, separate from the building's primary means of egress. In order to accommodate this request from the CFD while still providing a functional lobby for residents to circulate, congregate, and access their mailboxes, we propose the expanded lobby as shown in the attached drawings. An attempt to accommodate the CFD's design regulations within the existing lobby footprint would be severely detrimental to the building's over 200 residents, as well as its commercial tenants by creating insufficient capacity for circulation, congregation, and mailbox access. An expanded lobby would have no conceivable negative impact on building residents or the public at large.
- ***Sustainability Rating System.*** Zoning Ordinance Article 22.22 requires that all projects with 25,000 square feet or more of gross floor area undergoing substantial rehabilitation and is subject to the provisions of Section 19.50 to meet Cambridge's Green Building requirements: Leadership in Energy and

Environmental Design (LEED) Green Building Rating System at the level 'Silver' or better. Although we question the applicability of section 19.50 to this Project, 808 Memorial Drive is requesting relief from this requirement by replacing LEED certification with Enterprise Community Partners Green Communities 2015 certification. The Enterprise Green Communities (EGC) certification system is more appropriate to this building because EGC was specifically developed for affordable multifamily buildings, in contrast to the LEED certification system which was developed for office buildings. HRI requested and was granted such relief from the BZA for another one of its affordable housing developments, Concord Highlands. The pre-requisites for LEED and EGC are substantially the same, although EGC 2015 utilizes a more stringent energy efficiency baseline than the current LEED rating system, LEED Version 4. The EGC certification has several additional pre-requisites that LEED does not, including those relating to resilience, active and healthy living, and indoor air quality and occupant health. EGC requires all ENERGY STAR appliances and that all paints, coatings and adhesives be low- or no-VOC while these are optional points under the LEED system. The City is currently considering amendments to Article 22 that would allow the replacement of EGC for LEED on affordable low-income housing projects. EGC is a better fit for this project than LEED while delivering comparable, or superior, energy and sustainability results.

HRI believes that requests for zoning relief for 808 Memorial Drive are reasonable for the following reasons:

- 1) The City fully supports the 808 Memorial Drive rehabilitation, as illustrated in their letter of support submitted to the BZA. The project serves a public benefit by maintaining and improving quality affordable housing in an otherwise unaffordable neighborhood and greatly reducing the Property's energy consumption.
- 2) The Cambridge Fire Department has reviewed and supports the renovated 812 Memorial Drive lobby design which satisfactorily meets their mandate to improve the building fire command center in the lobby of 812 Memorial Drive.
- 3) The BZA has granted relief to numerous other affordable housing projects to utilize EGC rather than LEED, and indeed, is currently in the process of incorporating EGC into its Article 22 Green Building Requirements language.
- 4) As noted above, literal adherence to the four inches of allowed setback encroachment in Article 22.43.2 would render the entire proposed recladding of the building impossible. In addition to the continued detrimental impact on both affordable and market residents from water infiltration, removing the proposed recladding from the rehab scope would not allow the Property to meet its Green Building requirements to reduce energy consumption through substantial rehabilitation of the Property. Due to the nature, shape and overall size of the building, four inches of encroachment relief is insufficient for the necessary cladding assembly. Our architect estimates up to 12 inches of setback relief is necessary to accommodate the recladding assembly appropriate for this building. Given the lack of immediate abutters to the site, we do not see any substantial detriment to the public good as result of this variance. Conversely, we see many benefits that would result from this relief: improved quality of life for residents, lower operating costs and reduced carbon footprint from improved energy efficiency, and improved aesthetics of a long-standing landmark in a prominent Cambridge location.

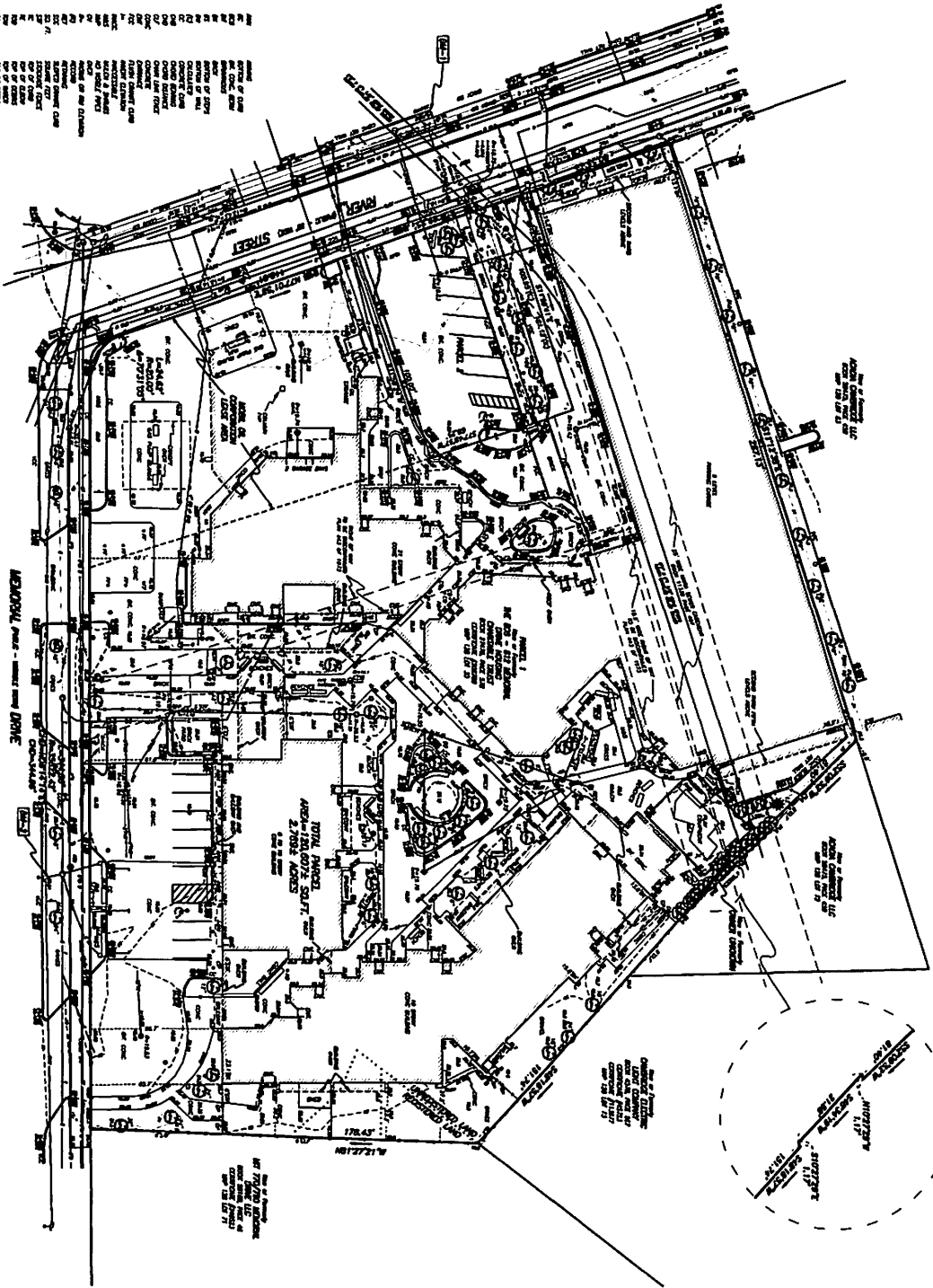
Conclusion

Approval of these three variances is critical to the success of 808 Memorial Drive. All requested variances are rooted in the goal for maintaining scarce affordable housing while achieving the City's goals of sustainability and resiliency. We sincerely hope that the BZA will look favorably upon this request and the benefits of preserving affordable units for families and individuals in need of quality housing.

Sincerely,

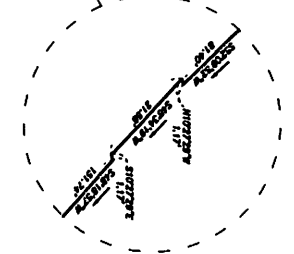
A handwritten signature in black ink that reads "Jane Carbone". The signature is written in a cursive style with a large, looping initial "J".

Jane Carbone
Director of Housing, HRI



LEGEND

—	EXISTING STREET
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LEGEND

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PROPOSED STREET

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EXISTING CONDITIONS PLAN

808 MEMORIAL DRIVE

CAMBRIDGE, MASS.

PREPARED BY: [Firm Name]

DATE: 2019-03-07

SCALE: 1" = 40'

PROJECT NO. 19-001

DATE: 2019-03-07

PROJECT NO. 19-001

DATE: 2019-03-07

LEGEND

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note: table modified to fit yard configuration

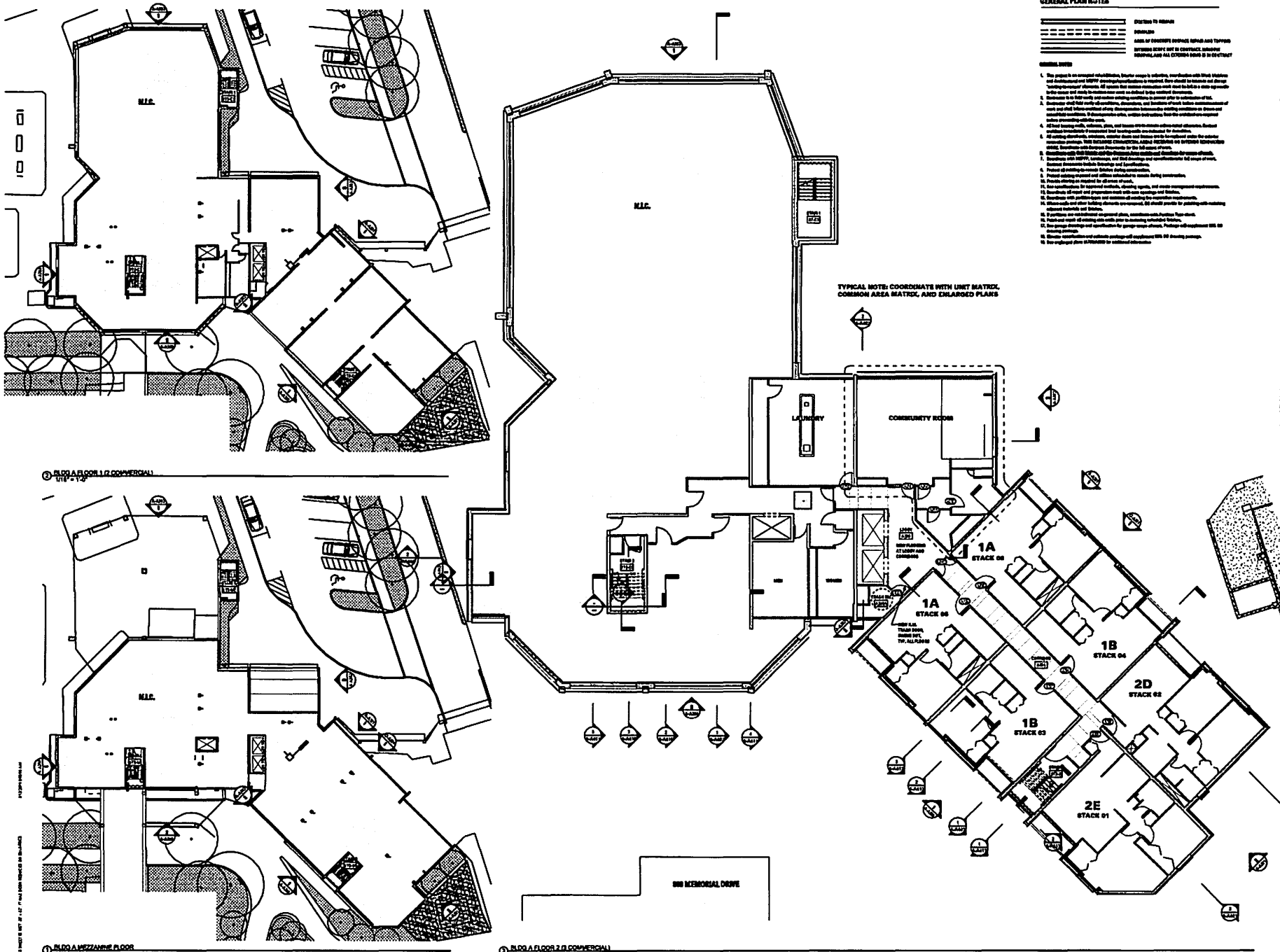
Project Address: DRAFT 808-812 Memorial Drive

Application Date: March 8 2019

	Existing	Allowed or Required (max/min)	Proposed	Permitted
Lot Area (sq ft)	120,647 sf	5,000 sf minimum	No Change	
Lot Width (ft)	~360' @ Memorial Drive	50' minimum	No Change	
Total Gross Floor Area (sq ft)	* 384,923	conforms per zoning 20.89	*** 407,073	
Residential Base	~319,537 sf	conforms per zoning 20.89	~337,921	
Non-Residential Base	~65,386 sf	conforms per zoning 20.89	~69,152	
Inclusionary Housing Bonus	N/A	N/A, no new housing created	No Change	
Total Floor Area Ratio	~* 3.19	conforms per zoning 20.89	***~ 3.37	
Residential Base	~2.65	conforms per zoning 20.89	~2.80	
Non-Residential Base	~0.54	conforms per zoning 20.89	~0.57	
Inclusionary Housing Bonus	0	N/A, no new housing created	No Change	
Total Dwelling Units	300	201	No Change	
Base Units	300	201	No Change	
Inclusionary Bonus Units	0	N/A, no new housing created	No Change	
Base Lot Area / Unit (sq ft)	~402 sf / unit existing	600 sf/unit min.	No Change	
Total Lot Area / Unit (sq ft)	~402 sf / unit existing	600 sf/unit min.	No Change	
Building Height(s) (ft)	812 @ 209' / 808 @ 117'	conforms per zoning 20.89	No Change	
Front Yard Setback (ft)	River Street - 10'	conforms per zoning 20.89	No Change	
Front Yard Setback (ft)	Mem Drive - 55'	conforms per zoning 20.89	varies - 54'	
Side Yard Setback (ft)	Adjacent Mem Drive - 22'	conforms per zoning 20.89	varies - 21'	
Side Yard Setback (ft)	Adjacent River St - 0' (garage)	conforms per zoning 20.89	No Change	
Side Yard Setback (ft)	Adjacent National Grd - 4'	conforms per zoning 20.89	No Change	
Rear Yard Setback (ft)	no rear yard per Section 5.2.4.3	conforms per zoning 20.89	No Change	
Open Space (% of Lot Area)	~29% courtyard / landscape	minimum ratio of 15%	**** No Change	
Private Open Space	35,420 + **12,000	10% per 5.22.2	**** No Change	
Permeable Open Space	~10,000	--	**** No Change	
Other Open Space (Specify)	~ 31,497 drives, walkways	--	**** No Change	
Off-Street Parking Spaces	257	300 res +	**** No Change	
Long-Term Bicycle Parking	170 added 2018	314 res + 65 office = 379	**** No Change	
Short-Term Bicycle Parking	~20	30 res + 4 office = 34	**** No Change	
Loading Bays	0 - existing	CATEGORY F = 6	**** No Change	

Use space below and/or attached pages for additional notes:

- PROJECT IS LOCATED IN THE MEMORIAL DRIVE OVERLAY DISTRICT - 20.80
- *Existing parking garage area of 104,120 GSF is excluded per 5.25.3 exemption
- **Existing balconies are considered private open space per the zoning definition
- ***Proposed falls under 22.43.1 Floor area exemption for added exterior insulation.
- NOTE: Project seeks relief to expand the existing 810/812 main entry lobby (River Street) by 650sf to accommodate an enclosed fire command center with separate entrance.
- **** Total GSF increase for overcladding and lobby does not exceed 15% of existing GSF. It does not trigger parking/loading/open space adjustments
- Note: Existing garage will not receive over-cladding and current setbacks will remain.



GENERAL PLAN NOTES

SYMBOL	DESCRIPTION
(Symbol: Dashed line)	EXISTING TO REMAIN
(Symbol: Solid line)	NEWWORK
(Symbol: Dotted line)	AS-BUILT CONCRETE REPAIR AND TOPPING
(Symbol: Stippled area)	EXISTING ASPHALT TO BE CONTRACTOR RESPONSIBILITY FOR DEMOLITION AND RECONSTRUCTION

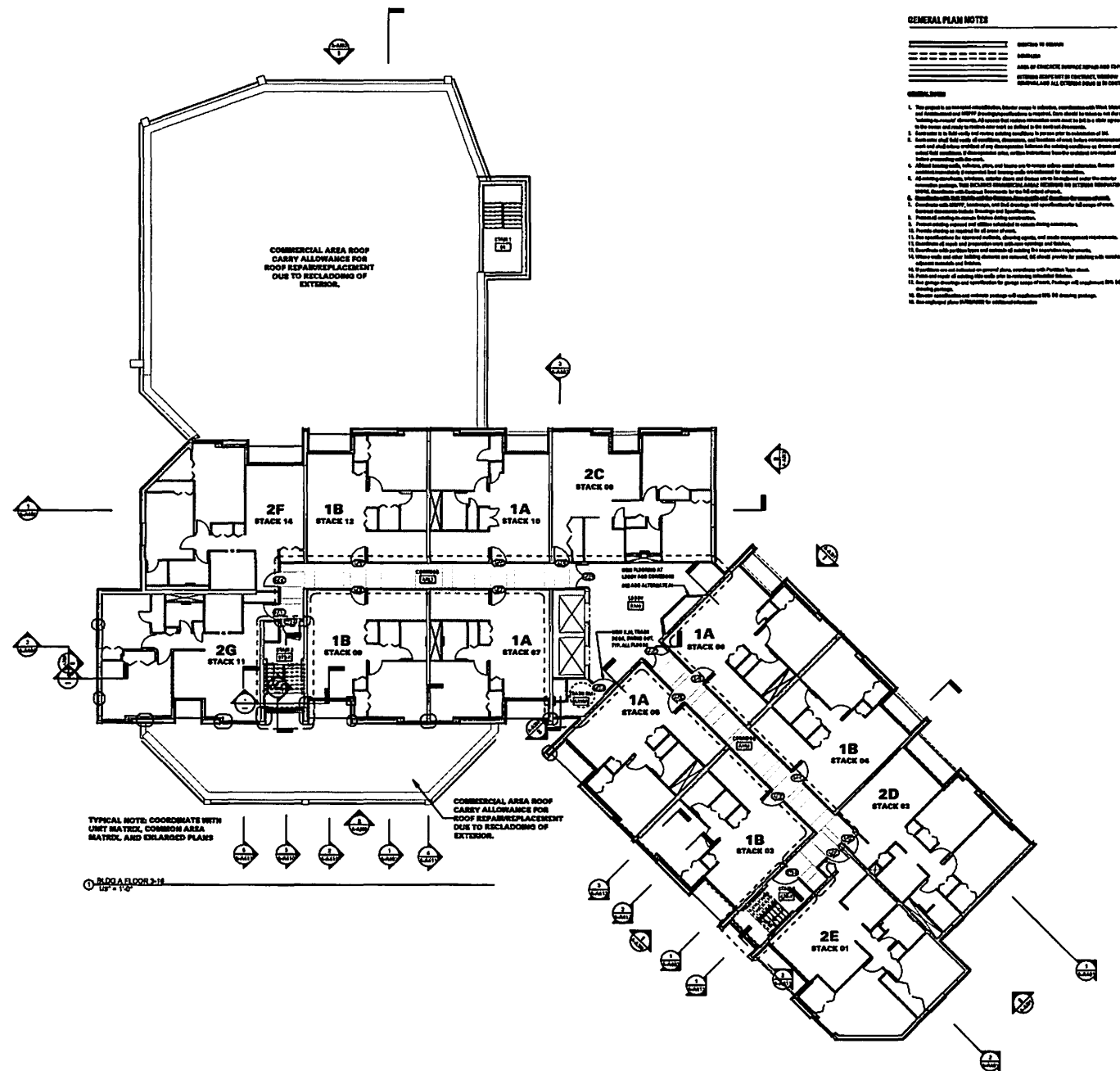
1. The project is an integral renovation, tenant space is existing, in coordination with these building and architectural and MEPV code requirements is required. The architect shall coordinate all design and construction with all applicable codes and regulations.
2. The contractor shall verify all existing conditions to ensure that the building is in compliance with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
3. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
4. All steel framing, walls, glass, and other building materials shall be installed in accordance with the manufacturer's instructions and all applicable codes and regulations.
5. All electrical, plumbing, and mechanical systems shall be installed in accordance with the manufacturer's instructions and all applicable codes and regulations.
6. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
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8. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
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13. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
14. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.
15. The contractor shall coordinate all work with all applicable codes and regulations, including but not limited to fire, accessibility, and building of work.

Bruner/Cott
 ARCHITECTS
 225 Friend St., Suite 701
 Boston, MA 02114
 617.492.9400
 www.brunercott.com

Date	Description

Date: _____
 Scale: As indicated
 Project Number: _____
 Drawn By: _____
 Author: _____

808/812 Memorial Drive



- GENERAL PLAN NOTES**
- SECTION 15 60000
 SECTION 15 00000
 SECTION 15 05000
 SECTION 15 06000
 SECTION 15 07000
 SECTION 15 08000
- GENERAL NOTES**
- The design is based on the information, drawings, specifications, and details of work provided to the architect and does not include any field work or construction of any kind by the architect.
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Date	Scale	Author
	As indicated	

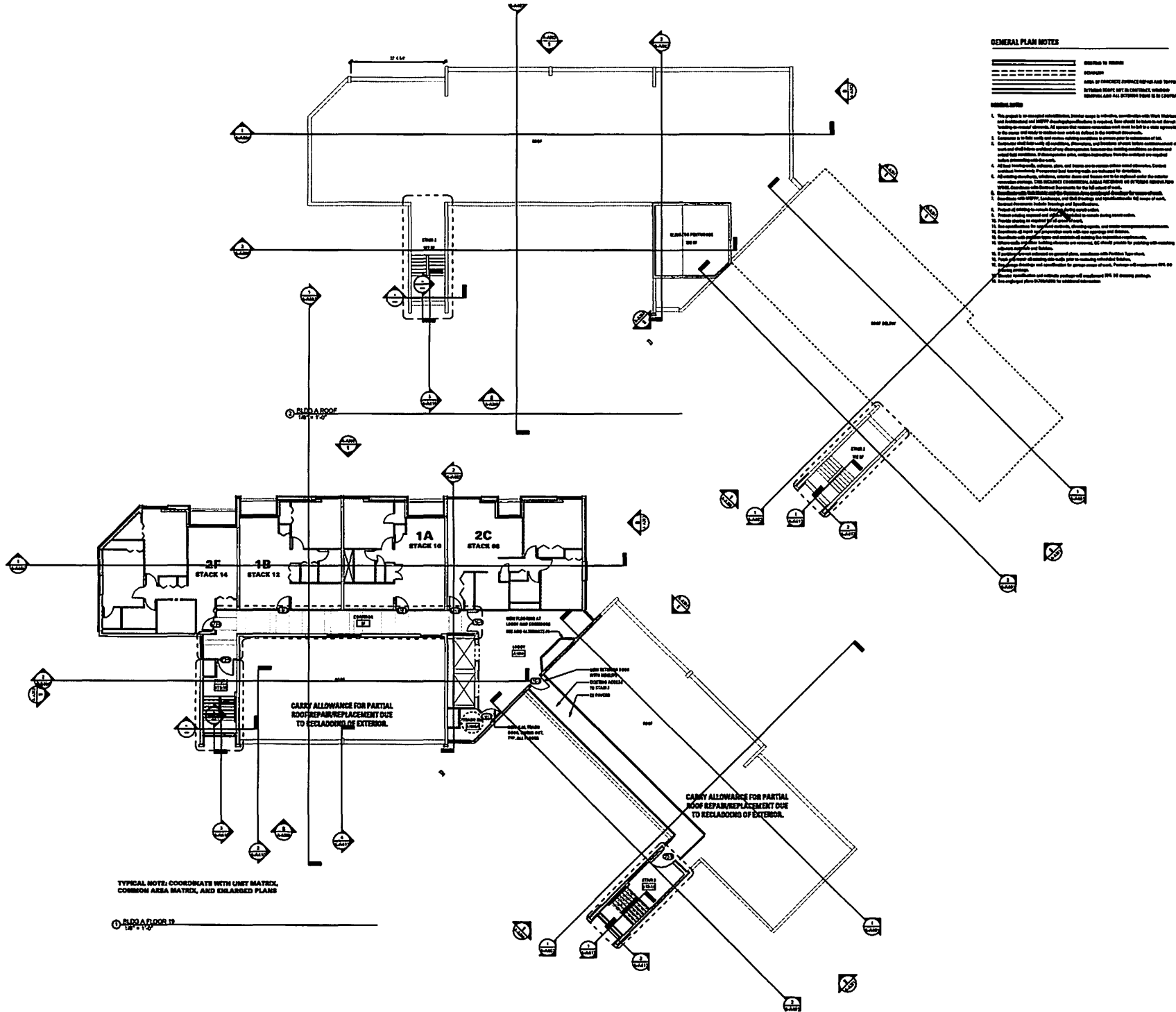
808/812 Memorial Drive

50% DD
 NOT FOR CONSTRUCTION

BLDG A 3RD - 16TH FLOOR PLANS

A-A102

PROJECT NO. 15-0150-01 1/16/16 15/0150-01-16 15/0150-01-16 15/0150-01-16



GENERAL PLAN NOTES

SECTION TO WHICH
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GENERAL NOTES

1. This project is a reworked construction. Review scope to include, coordinate with other trades and subcontractors and verify existing conditions to be replaced. Note should be taken as to the location of existing structural elements. All notes that require coordination must be left in the scope of work to the owner and made to ensure work is left in the correct location.
2. Coordinate with the utility company for any utility work to be done prior to construction of the building.
3. Subcontractors shall verify all conditions, dimensions, and locations of work before commencement of work and shall show verification of the dimensions. Subcontractors shall provide and maintain a record of all conditions. If discrepancies exist, written instructions from the architect are required before proceeding with work.
4. All steel, masonry, concrete, glass, and other materials shall be installed in accordance with the manufacturer's specifications. All materials shall be installed in accordance with the manufacturer's specifications.
5. All masonry, concrete, steel, and other materials shall be installed in accordance with the manufacturer's specifications. The installed dimensions shall be checked by the architect.
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TYPICAL NOTE: COORDINATE WITH UNIT MATRIX, COMMON AREA MATRIX, AND ENLARGED PLANS

No.	Date	Revised

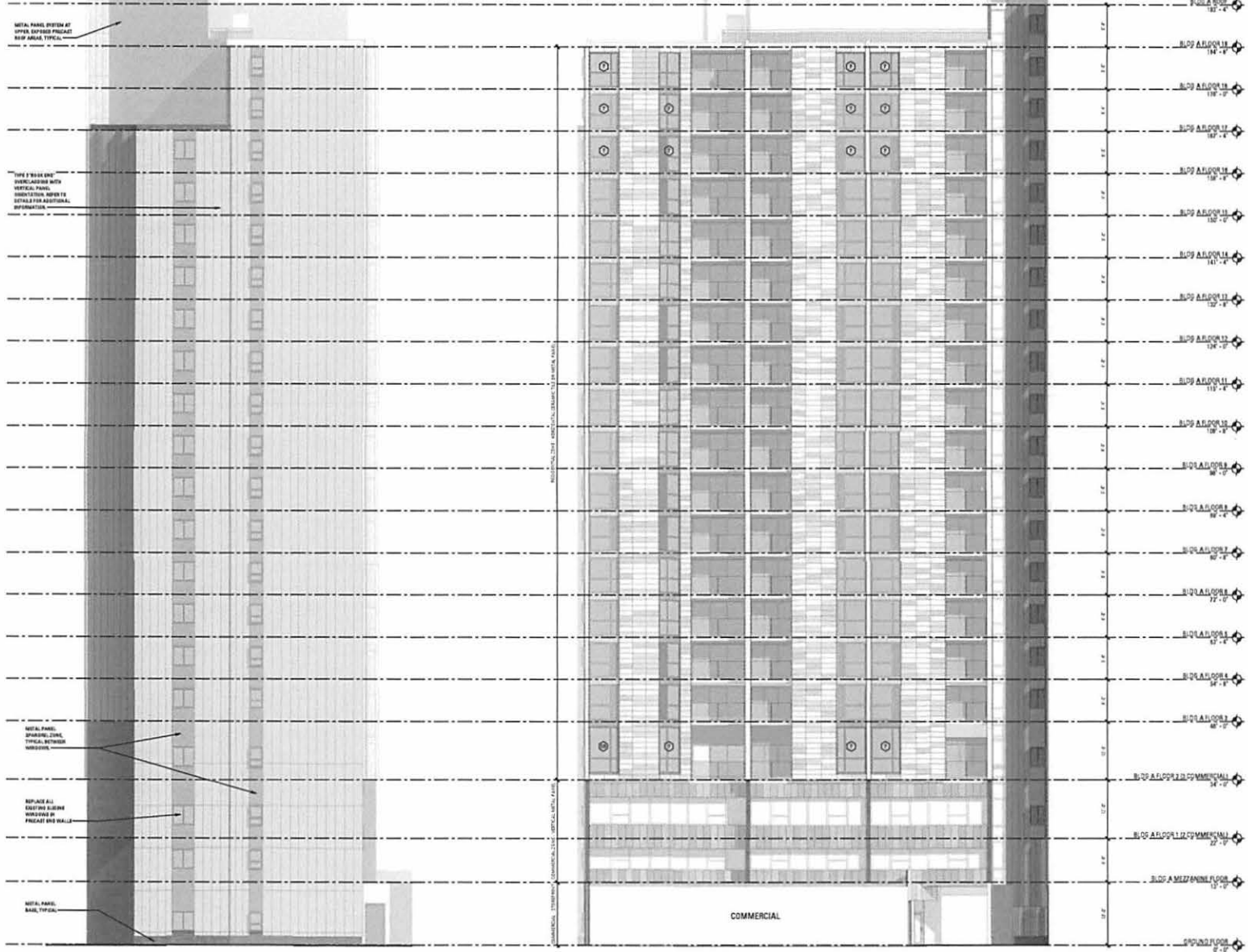
Date _____
 Scale As Indicated
 Project Number _____
 Drawn By _____
 Author _____

808/812 Memorial Drive

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 NOT FOR CONSTRUCTION

BLOCK A 1ST FLOOR & ROOF PLAN

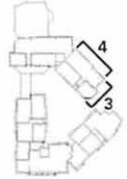
A-A105



No.	Rev.	Remarks

Date _____
Scale As indicated
Project Number _____
Drawn By _____ Author _____

808/812 Memorial Drive



50% DD
NOT FOR CONSTRUCTION

BLDG A ELEVATION 3 & 4
PROPOSED

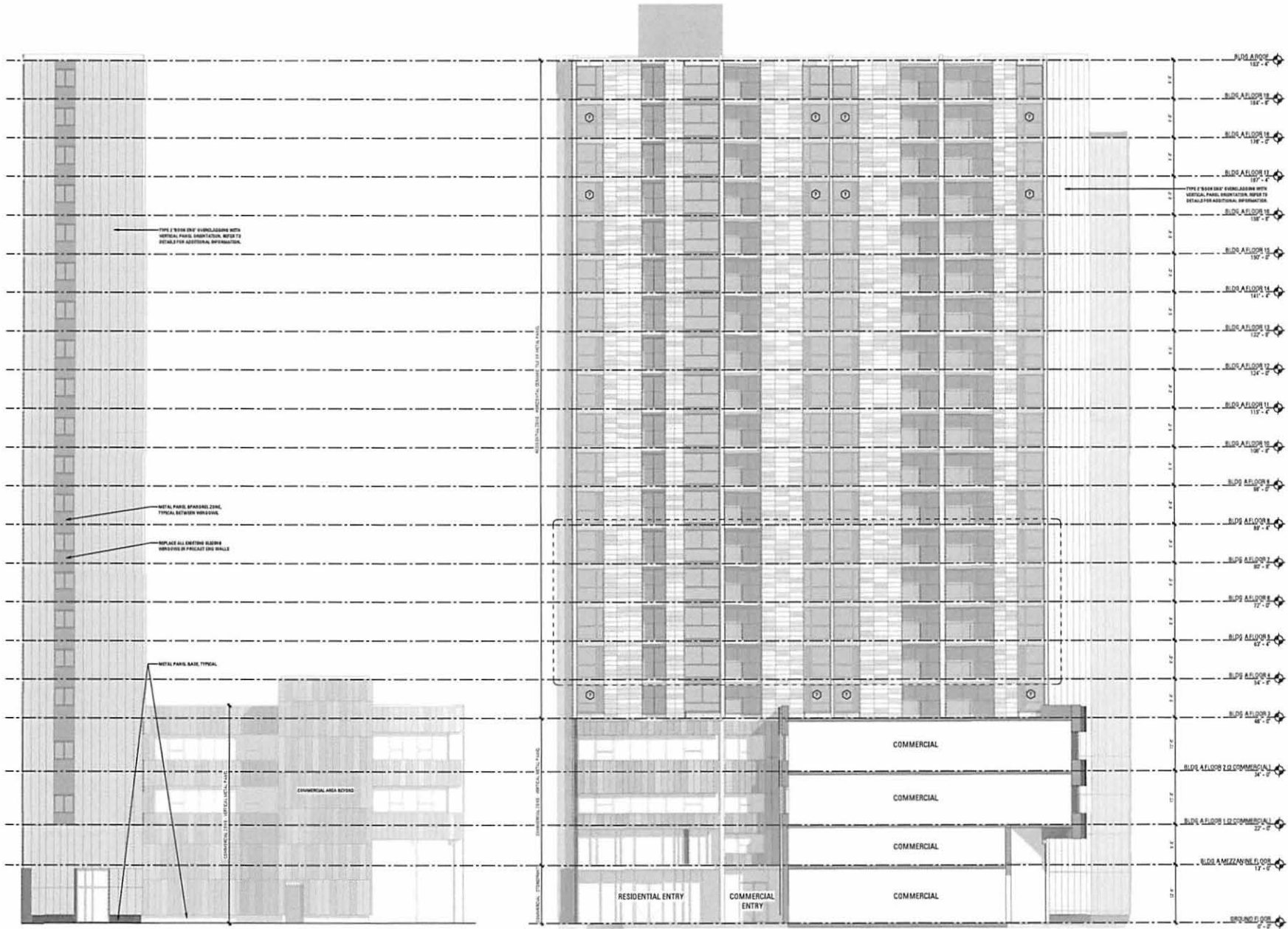
A-A301

1 BLDG A ELEVATION 3 NEW
SCALE: 1/8" = 1'-0"

2 BLDG A ELEVATION 4 NEW
SCALE: 1/8" = 1'-0"

TYPICAL WINDOW DETAILS:
1. REMOVE ALL EXISTING WINDOW FRAMES & REPAIR AT EXISTING AS IS.
2. REMOVE ALL EXISTING WINDOW SILLING, SILLING, TRIM, LINEN, AND EXTERIOR AT BUILDING A AND B.
3. REMOVE ALL EXISTING WINDOW SILLING.
4. REMOVE ALL EXISTING WINDOW SILLING.
5. REMOVE ALL EXISTING WINDOW SILLING.
6. PROVIDE NEW CONCRETE FOR WINDOW SILLING.
7. PROVIDE ALL WINDOW TO BE NEW WINDOW FRAMES & SILLING.
8. ALL EXISTING WINDOW SILLING ARE TO BE REPLACED WITH NEW SILLING.
9. PROVIDE EXISTING WINDOW TO BE NEW WINDOW FRAMES & SILLING.
10. PROVIDE EXISTING WINDOW TO BE NEW WINDOW FRAMES & SILLING.
11. PROVIDE EXISTING WINDOW TO BE NEW WINDOW FRAMES & SILLING.
12. PROVIDE EXISTING WINDOW TO BE NEW WINDOW FRAMES & SILLING.

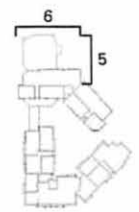
BRUNER/COTT ARCHITECTS
2023.10.10.14M
ARCHITECTS



Rev	Date	Revised

Date
Scale As Indicated
Project Number
Drawn By
Author

808/812 Memorial Drive



50% DD
NOT FOR CONSTRUCTION

BLDG A ELEVATION 5 & 6
PROPOSED

2 BLDG A ELEVATION 5 NEW
SCALE: 1/8" = 1'-0"

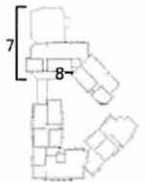
1 BLDG A ELEVATION 6 NEW
SCALE: 1/8" = 1'-0"

- TYPICAL BUILDING NOTES**
1. REMOVE ALL EXISTING SOIL-LINE BEARING SINKS VISIBLE AT BUILDING A AND B.
 2. REMOVE AND REPLACE ALL EXISTING INTERIOR GLAZING, DOORS, LATHING AND STRENGTH AT BUILDING A AND B.
 3. REMOVE AND REPLACE ALL EXISTING BALCONY RAILINGS.
 4. PROVIDE NEW FLOORING PER ATTACHED DETAILS.
 5. PROVIDE ALL WORK TO REPAIR EXISTING BACKUP WALL CONCRETE AND CHASE PER ATTACHED DETAILS.
 6. ALL EXISTING VERTICAL SURFACE LIME TO BE REPLACED WITH MASONRY.
 7. PROVIDE CONDUIT DETAIL PER QUANTITY SURFACE MOUNTED LIGHTING SECURITY ITEMS SO THAT THEY CAN BE RELOCATED ON FASE OF NEW GLAZING SYSTEM.

Rev	Date	Remarks

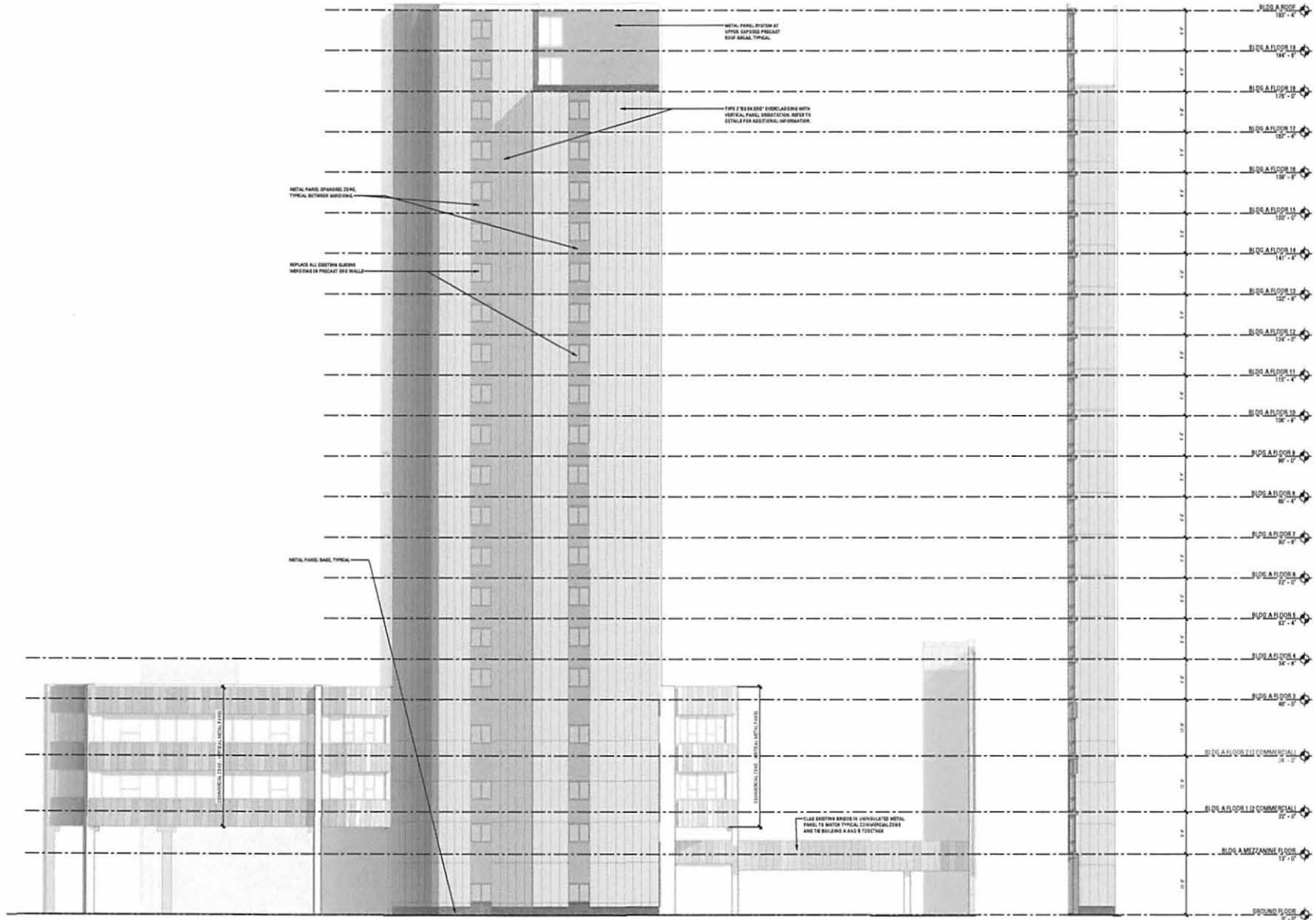
Date	As Indicated
Scale	As Indicated
Project Number	
Drawn By	Author

808/812 Memorial Drive



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NOT FOR CONSTRUCTION

BLDG A ELEVATION 7 & 8
PROPOSED



1 BLDG A ELEVATION 7 NEW
SCALE: 1/8" = 1'-0"

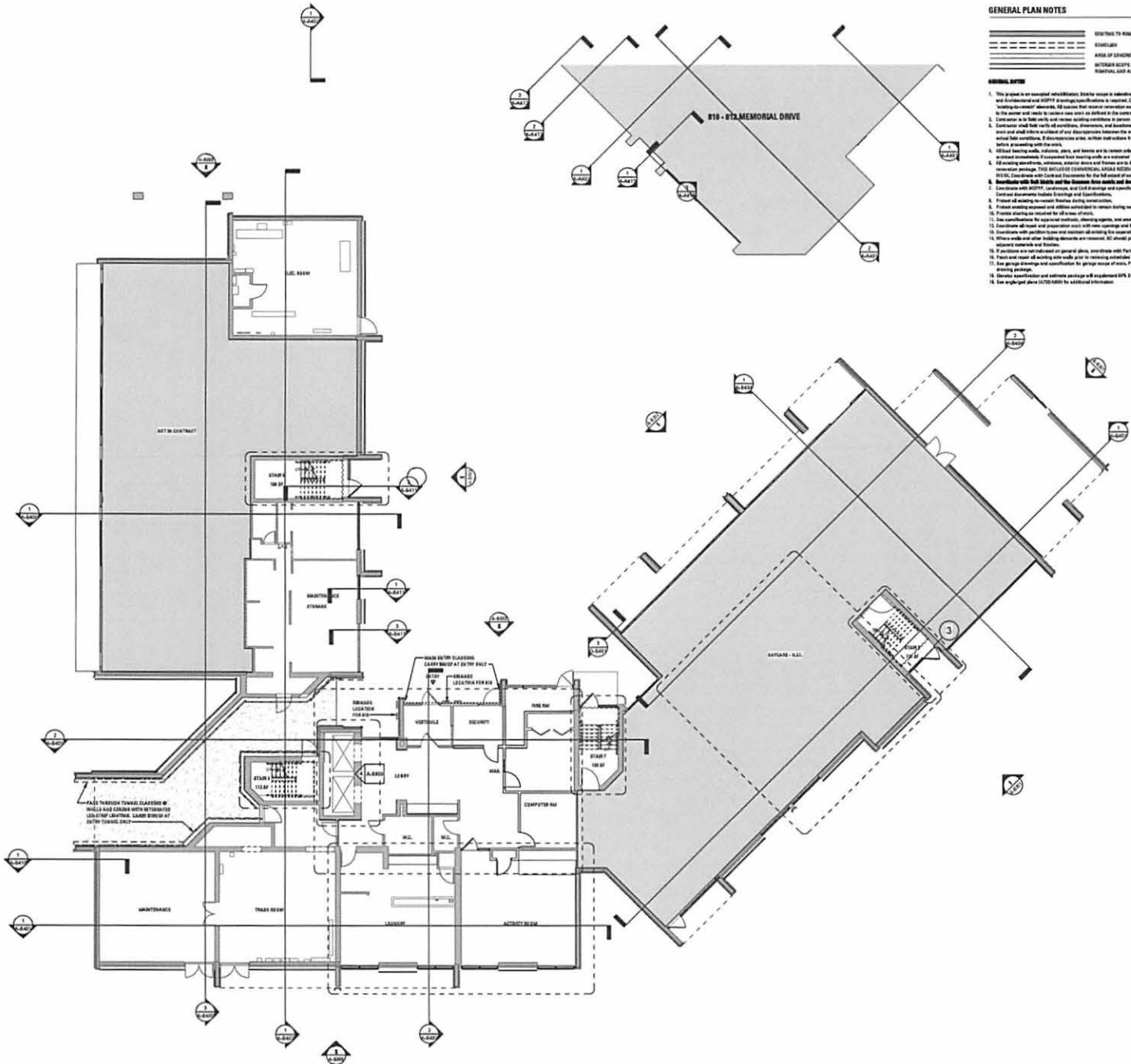
2 BLDG A ELEVATION 8 NEW
SCALE: 1/8" = 1'-0"

- TYPICAL WINDOW DETAIL**
- REMOVE ALL EXISTING WINDOW SCANS & REPAIR AT REVISIONS A AND B.
 - REMOVE AND REPLACE ALL EXISTING WINDOW SCANS, STOPS, LINERS, AND STOPWATTS AT REVISIONS A AND B.
 - REMOVE AND REPLACE ALL EXISTING BALCONY RAILINGS.
 - INSTALL NEW FINISHES FOR EXISTING DETAILS.
 - PROVIDE ALL JOINTS TO MATCH EXISTING BALCONY WALL CONNECTIONS AND MATCH PER ATTACHED DETAIL.
 - ALL EXISTING VERTICAL SURFACES ARE TO BE REPLACED WITH NEW GLASSING.
 - PROVIDE AN IRON PROTECTANT FOR EXISTING SURFACE MOUNTED LIGHTS/SECURITY/SAFETY ITEMS OR THAT THEY CAN BE MOUNTED ON FACE OF AN EXISTING SYSTEM.

GENERAL PLAN NOTES

[Solid line]	EXISTING TO REMAIN
[Dashed line]	DEMOLITION
[Line with diagonal hatching]	AREA OF CONCRETE SURFACE REPAIR AND TOPPING
[Line with cross-hatching]	WORKING SCOPE NOT IN CONTRACT, SUBJECT TO CHANGE AND ALL OTHERS SHOWN IN CONTRACT

- GENERAL NOTES**
1. This project is an occupied rehabilitation. Before access is authorized, coordination with Brookline and Southfield and EPD's planning specifications is required. Care should be taken to not damage "existing-to-remain" elements. All repairs and material installation must meet or be in a more aggressive condition than existing conditions, except as noted in the contract documents.
 2. Contractor shall take care of existing, damaged, and finished work before commencement of work and shall allow a minimum of two (2) hours between the existing condition as shown and final condition. If there are any items which require repair, the contractor is required to submit a proposal for such work.
 3. All work involving walls, columns, joist, and beams is to be done without any shoring, bracing, or other temporary work, unless otherwise noted. All shoring to be used shall be in accordance with the contractor's specifications and shall be approved by the Engineer before use.
 4. All shoring, scaffolding, and other temporary work shall be removed within the contract completion period. THIS INCLUDES CONTRACTUAL AREAS RECEIVED AS INTERIM RETENTION WORK. Contractor shall submit proposals for full removal of work.
 5. **Discontinue with both walls and the common area walls and structure for reason of cost.** Contract documents include drawings and specifications.
 6. Protect existing material and utilize materials to remain during construction.
 7. Provide shoring as required for all areas of work.
 8. Protect existing material and utilize materials to remain during construction.
 9. See specifications for approval methods, shoring systems, and waste management requirements.
 10. Coordinate all work and preservation with all other agencies and utilities.
 11. Coordinate with parties to ensure compliance with all applicable requirements.
 12. Other walls and other building elements are to remain. All shoring to be used shall be in accordance with the contractor's specifications and shall be approved by the Engineer before use.
 13. All finishes to be installed in general areas, including walls, Partition, Floor, and ceiling.
 14. Patch and repair all existing site work prior to receiving scheduled finishes.
 15. See general notes and specifications for proper use of materials. Package will contain 50% DD drawings package.
 16. See specifications and contract package for all applicable EPA, SD, and other regulatory requirements.
 17. See engineer plans (A-B100) for additional information.



BLDG B GROUND FLOOR
1/8" = 1'-0"

Rev	Date	Description

Date	
Scale	As indicated
Project Number	
Drawn By	Author

808/812 Memorial Drive

50% DD
NOT FOR CONSTRUCTION

BLDG B GROUND FLOOR PLAN

A-B100

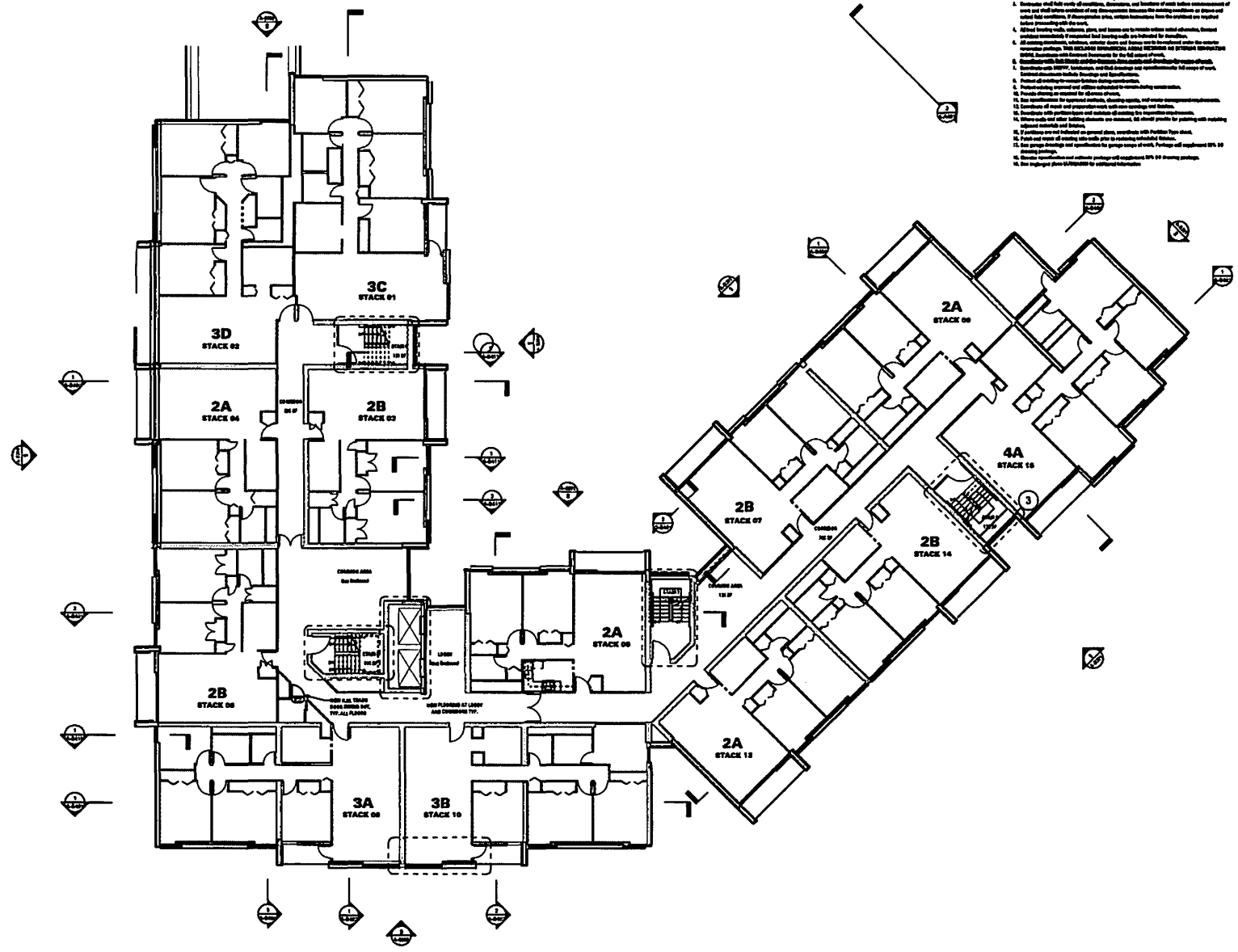
Bruner/Cott
ARCHITECTS

225 Friend St., Suite 701
Boston, MA 02114
617.492.8400
www.brunercott.com

GENERAL PLAN NOTES

(Symbol)	NOTES TO OWNER
(Symbol)	NOTES
(Symbol)	AREA OF WORK TO BE DEMOLISHED
(Symbol)	AREA OF WORK TO BE CONSTRUCTED
(Symbol)	AREA OF WORK TO BE RECONSTRUCTED
(Symbol)	AREA OF WORK TO BE DEMOLISHED AND RECONSTRUCTED

- GENERAL NOTES**
1. This drawing is intended as a guide only. It does not constitute a contract. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.
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Rev.	Date	By	Check

Date
Scale: As Indicated
Project Number
Drawn By: Author

808/812 Memorial Drive

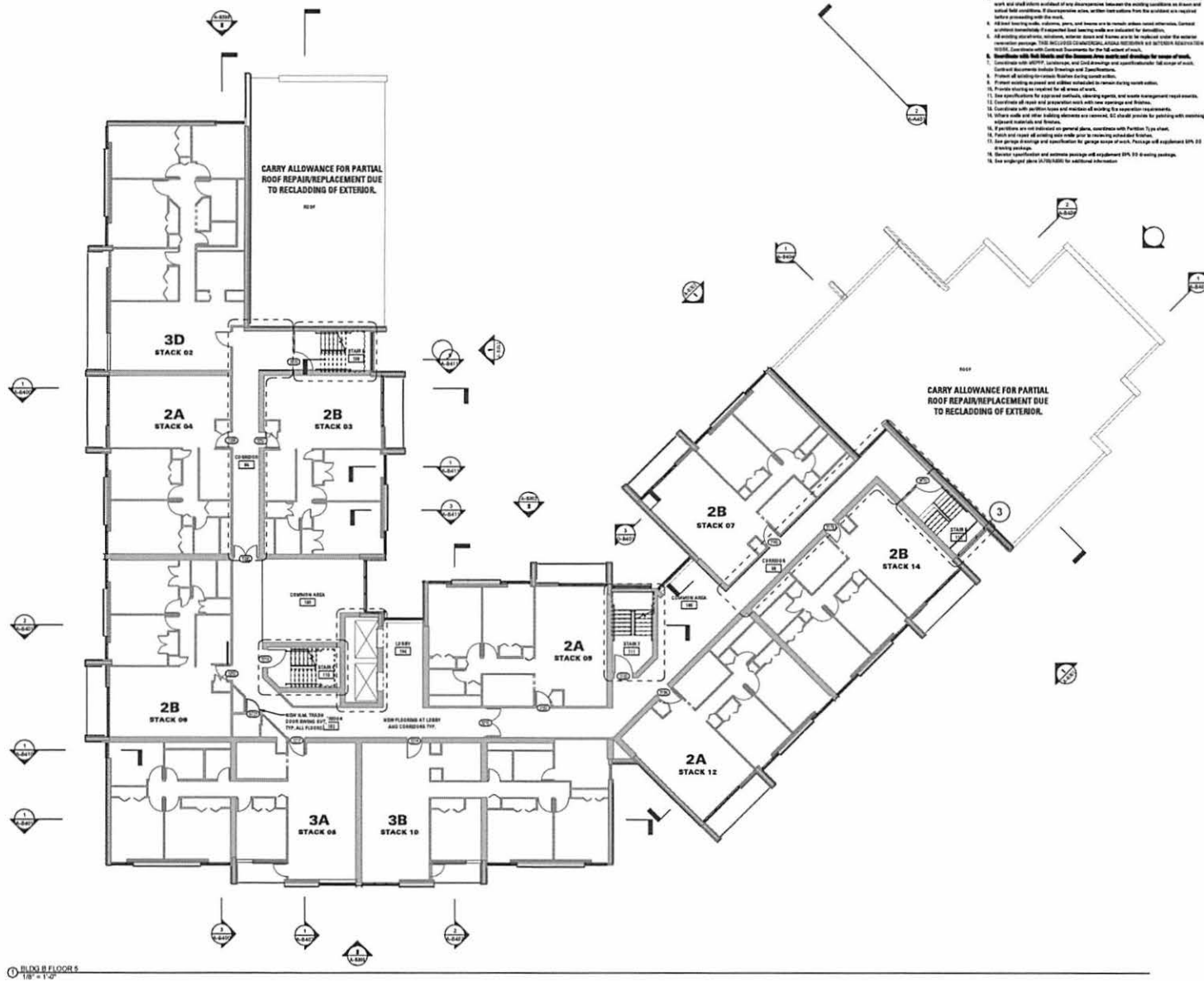
50% DD
NOT FOR CONSTRUCTION

BLDG B 1ST FLOOR PLAN

A-B101

BLDG B FLOOR 1
1/8" = 1'-0"

6 THE ARCHITECTS' WORK IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRUNER/COTT ARCHITECTS.



GENERAL PLAN NOTES

	EXISTING TO REMAIN
	REWORK
	AREA OF CEILING REPAIR AND TOPPING
	EXTERIOR SCOPE NOT IN EXTRACT DRAWING
	REWORK AND ALL OTHER ITEMS IN CONTRACT

GENERAL NOTES

1. The project is an occupied installation. Interior space is indicated, coordination with other trades and Architectural and MEET is recommended. In general, work should be done in the old building to interior elements. All areas that require excavation shall be 18" in a state approved by the owner and noted on contract documents. All areas that require excavation shall be 18" in a state approved by the owner and noted on contract documents.
2. Contractor is to fair, level and remove existing conditions in areas prior to submission of bid.
3. Contractor shall fair all walls, floors, ceilings, and finishes of work before commencement of work and shall protect all areas not to be worked on. All work shall be done in accordance with the contract documents.
4. All work involving walls, columns, girders, and beams is to remain within steel framing. Contact architect immediately if expedited load bearing walls are indicated for removal.
5. All existing electrical, mechanical, and plumbing shall remain in place to be replaced when the interior renovation is complete. TO BE REMOVED: ALL EXISTING ELECTRICAL AND MECHANICAL SHALL BE REMOVED TO THE EXTERIOR OF THE BUILDING.
6. Coordinate with General Contractor for the 14' depth of work.
7. Coordinate with utility companies and field engineering and construction. All work of work.
8. Coordinate with both State and the Division Area Health and Division for areas of work.
9. Coordinate with utility companies and field engineering and construction. All work of work.
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11. Coordinate with utility companies and field engineering and construction. All work of work.
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20. Coordinate with utility companies and field engineering and construction. All work of work.

Bruner/Cott
 ARCHITECTS
 225 Friend St., Suite 701
 Boston, MA 02114
 617.492.8400
 www.brunercott.com

Rev	Rev	Revise

Date: _____
 Scale: As indicated
 Project Number: _____
 Drawn By: _____
 Author: _____

808/812 Memorial Drive

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 NOT FOR CONSTRUCTION

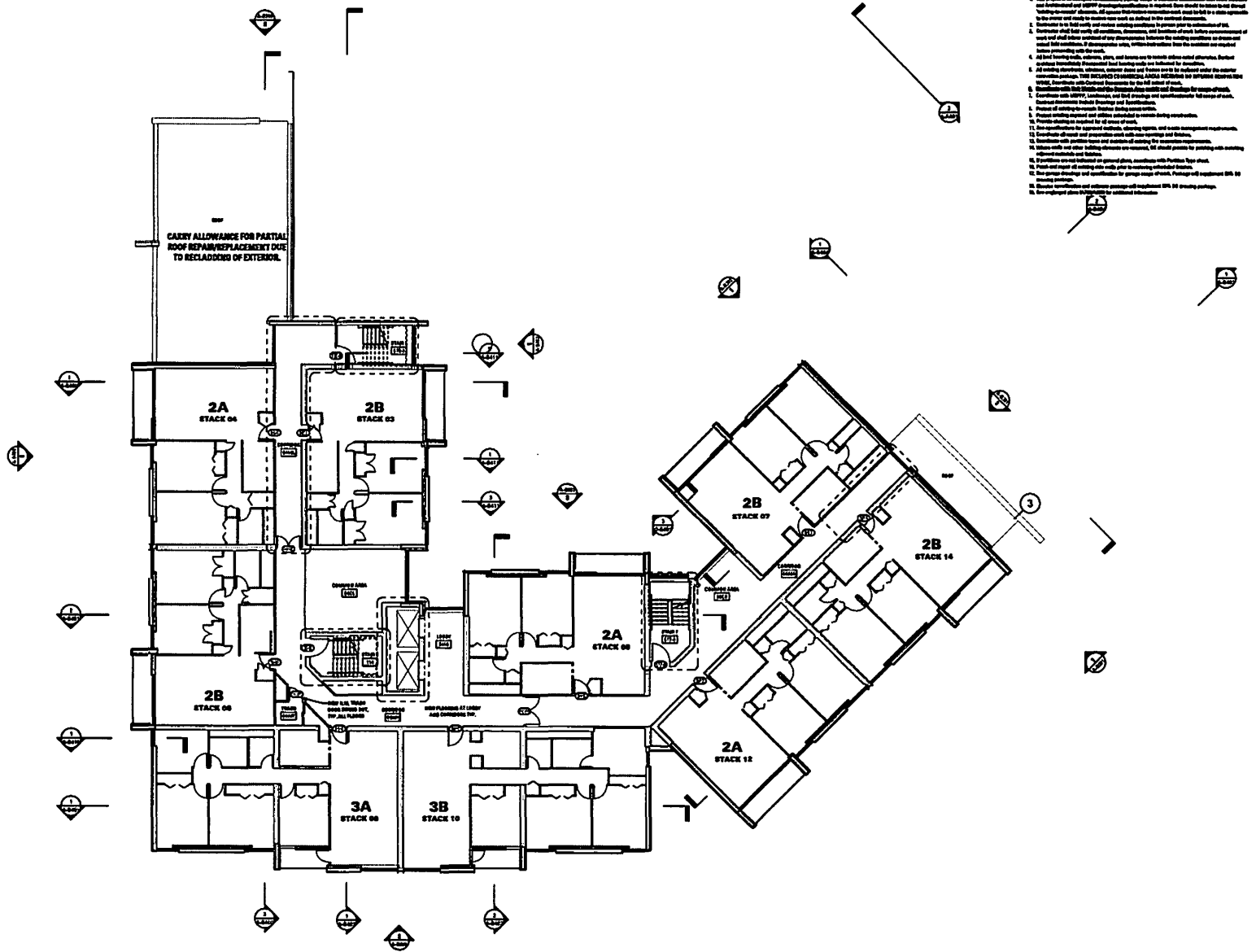
BLDG B 5TH FLOOR PLAN

A-B103

GENERAL PLAN NOTES

- SECTION TO SHOW
- FINISH
- AREA OF FINISHED SURFACE REMOVE AND REPLACE
- REMOVE SCOOP OFF IN CONTRACT WORKING
- REMOVE AND RE-CONSTRUCT IN CONTRACT

1. This project is an example of a building, having been in existence, approximately 1950. It is a multi-story office building and is located in the downtown area of Boston, Massachusetts. It is a multi-story office building and is located in the downtown area of Boston, Massachusetts. It is a multi-story office building and is located in the downtown area of Boston, Massachusetts.
2. The building is to be renovated and modernized to meet the needs of the 21st century. The renovation will include the replacement of the existing floor slabs, the installation of a new structural steel frame, and the installation of a new roof system.
3. The building is to be renovated and modernized to meet the needs of the 21st century. The renovation will include the replacement of the existing floor slabs, the installation of a new structural steel frame, and the installation of a new roof system.
4. All steel framing, including columns, beams, and joists, shall be fabricated in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, Allowable Stress Design and Plastic Design, 2005.
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20. All steel framing, including columns, beams, and joists, shall be fabricated in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, Allowable Stress Design and Plastic Design, 2005.



1. 6TH FLOOR

NO.	DATE	REVISION

Date
Scale As indicated
Project Number
Drawn By Author

808/812 Memorial Drive

50% DD
NOT FOR CONSTRUCTION

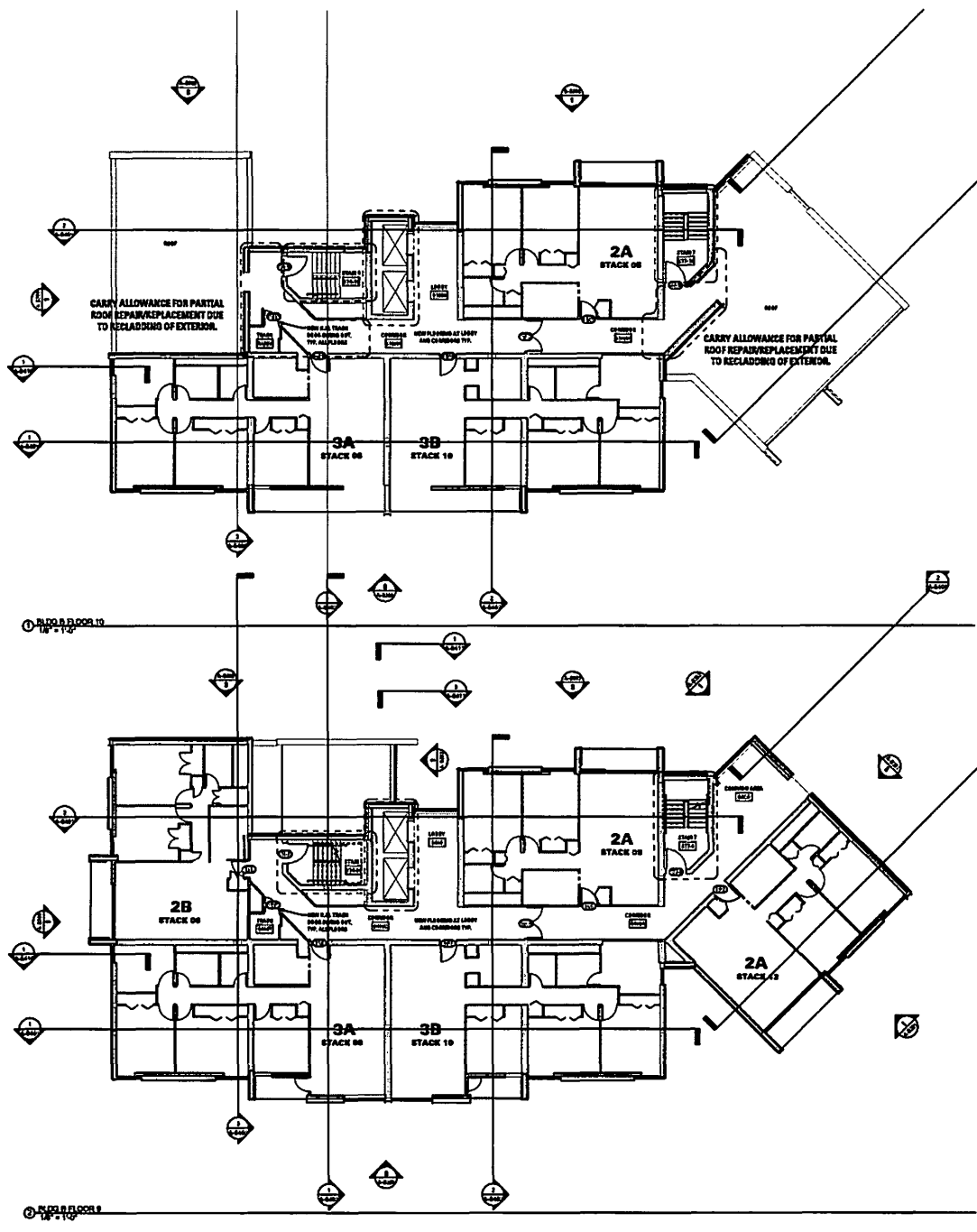
BLDG 6 6TH FLOOR PLAN

A-B104

GENERAL PLAN NOTES

- REFLECT TO DRAWING
- REMOVE
- AREA OF CONCRETE IMPACT REVEAL AND TYPING
- UTILITY ROOMS TO BE CONTRACT REVIEW
- MECHANICAL ROOMS TO BE CONTRACT REVIEW

- NOTES**
1. This project is an owner-occupied, multi-unit residential development. The unit layouts and specifications are subject to change without notice. The developer and contractor are responsible for all construction details. All construction details shall be in accordance with the building code and the manufacturer's instructions for the materials used. It is the responsibility of the contractor to provide and maintain the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
 2. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
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 16. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
 17. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
 18. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
 19. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.
 20. All work shall be in accordance with the building code and the manufacturer's instructions for the materials used. The building code and the manufacturer's instructions for the materials used shall be maintained on site throughout the construction process.



Date	Rev	Notes

Date
 Scale As indicated
 Project Number
 Drawn By
 Author

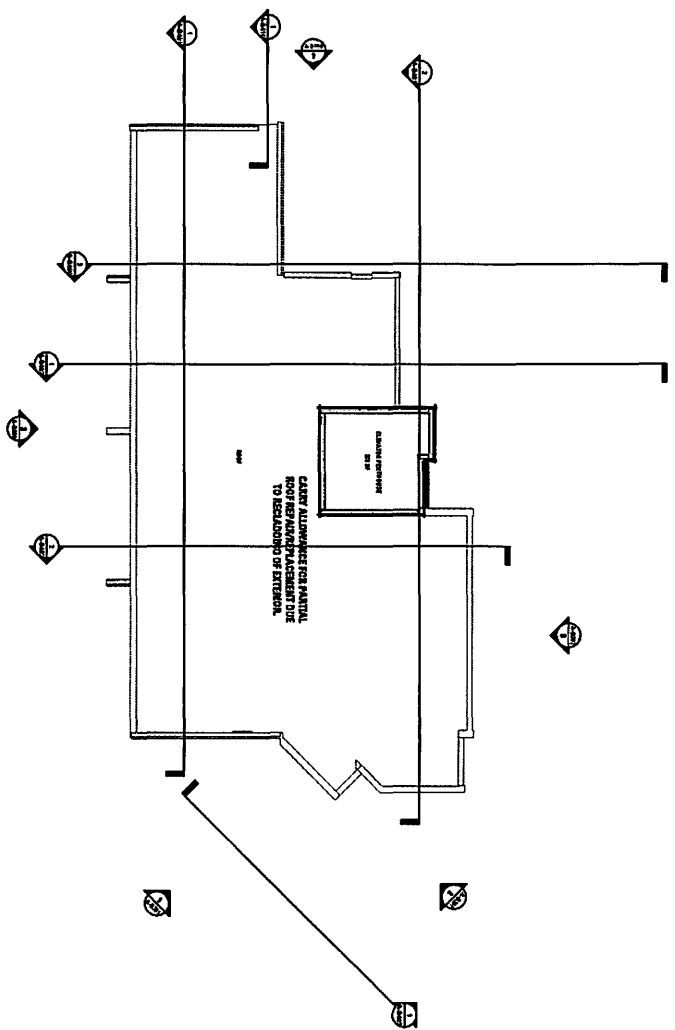
808/812 Memorial
 Drive

50% DD
 NOT FOR CONSTRUCTION

BLDG B 9TH & 10TH FLOOR
 PLANS

A-B107

0' 11 1/2" 100%



GENERAL DEMOLITION NOTES

1. Demolish all existing structure shown on this plan.
2. Demolish all existing structure shown on this plan.
3. Demolish all existing structure shown on this plan.
4. Demolish all existing structure shown on this plan.
5. Demolish all existing structure shown on this plan.
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17. Demolish all existing structure shown on this plan.
18. Demolish all existing structure shown on this plan.
19. Demolish all existing structure shown on this plan.
20. Demolish all existing structure shown on this plan.

Bruner/Cott
 ARCHITECTS
 225 Friend St., Suite 701
 Boston, MA 02114
 617.452.9400
 www.brunercott.com

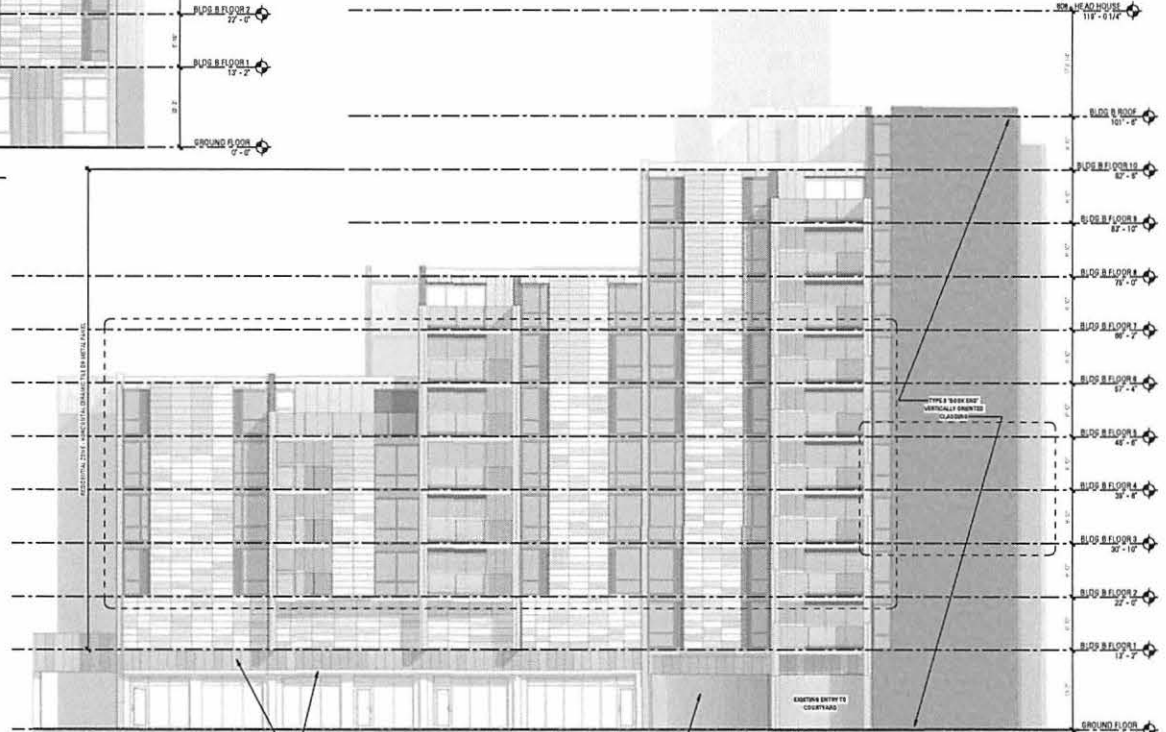
808/812 Memorial Drive

BUILD B ROOF PLAN

A-B108



1 BLDG B ELEVATION 2 NEW
SCALE 1/8" = 1'-0"



1 BLDG B ELEVATION 1 NEW
SCALE 1/8" = 1'-0"

CONSTRUCTION NOTES

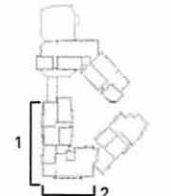
- REMOVE ALL EXISTING, NON-LOAD BEARING RIB ROOF VENER AT BUILDING A AND B.
- REMOVE AND REPLACE ALL EXISTING WINDOW, GLAZING, SILLING, LIVERG, AND STAIRWAY AT BUILDINGS A AND B.
- REMOVE AND REPLACE ALL EXISTING BALCONY RAILINGS.
- INSTALL NEW FENCING PER ATTACHED DETAILS.
- PREFER ALL WORK TO BE DONE USING REBAR, CONCRETE AND CMU PER ATTACHED DETAILS.
- ALL EXISTING VERTICAL SURF ARE TO BE REPLACED WITH NEW GLAZING.
- PROVIDE CORROSION PROTECTION FOR EXISTING SURFACE MOUNTED LIGHT FIXTURES/OUTLETS SO THAT THEY CAN REMAIN IN PLACE ON NEW GLAZING SYSTEM.

8 THIS SHEET IS NOT AN A/C. IT HAS BEEN REVISIONED PER PLAN SET
 10/23/2018 10:41 AM

Rev.	Date	Remarks

Date
Scale As Indicated
Project Number
Drawn By Author

808/812 Memorial Drive



50% DD
NOT FOR CONSTRUCTION

BLDG B ELEVATION 1 & 2 NEW

A-B300

No.	Date	Description

Date	
Scale	As indicated
Project Number	
Checked By	
Author	

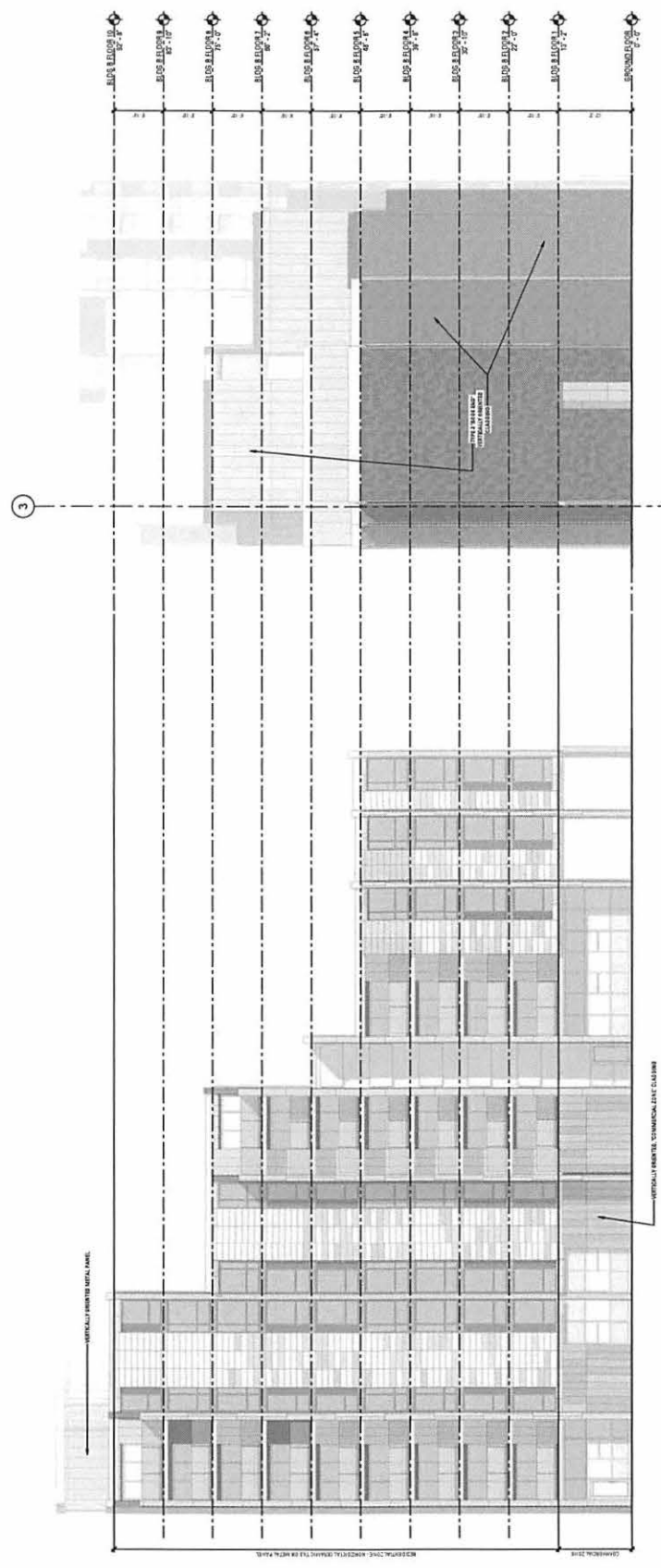
808/812 Memorial Drive



50% DD
NOT FOR CONSTRUCTION

BLDG B ELEVATION 3 & 4 NEW

A-B301

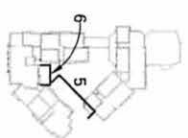


NOTES

1. REFER TO ALL OTHERS FOR ALL LOCAL SCHEDULES OF FINISHES & MATERIALS.
2. REFER TO ALL OTHERS FOR ALL LOCAL SCHEDULES OF FINISHES & MATERIALS.
3. REFER TO ALL OTHERS FOR ALL LOCAL SCHEDULES OF FINISHES & MATERIALS.
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10. REFER TO ALL OTHERS FOR ALL LOCAL SCHEDULES OF FINISHES & MATERIALS.

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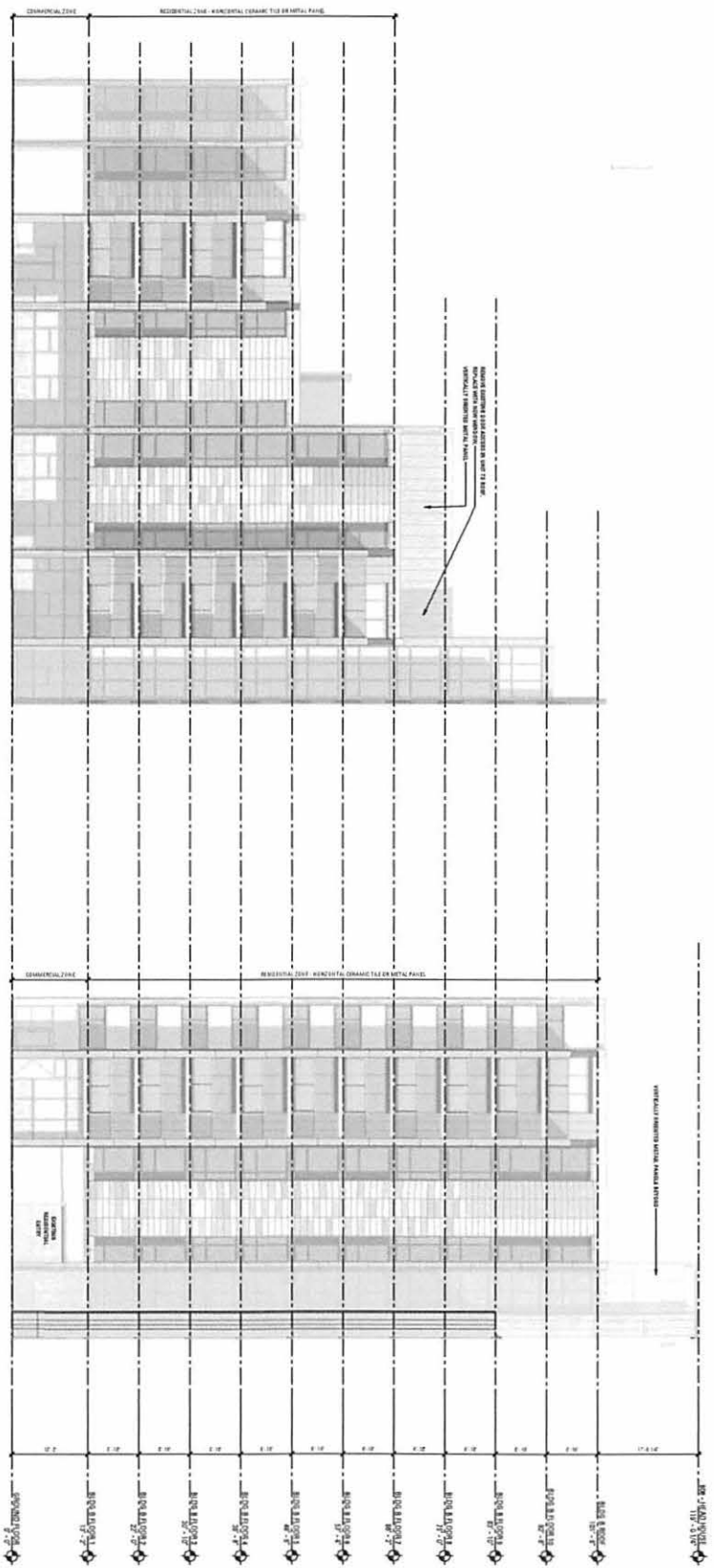
808/812 Memorial
 Drive



5th DD
 NOT FOR CONSTRUCTION

BLDG 8 ELEVATION 5 & 6 NEW

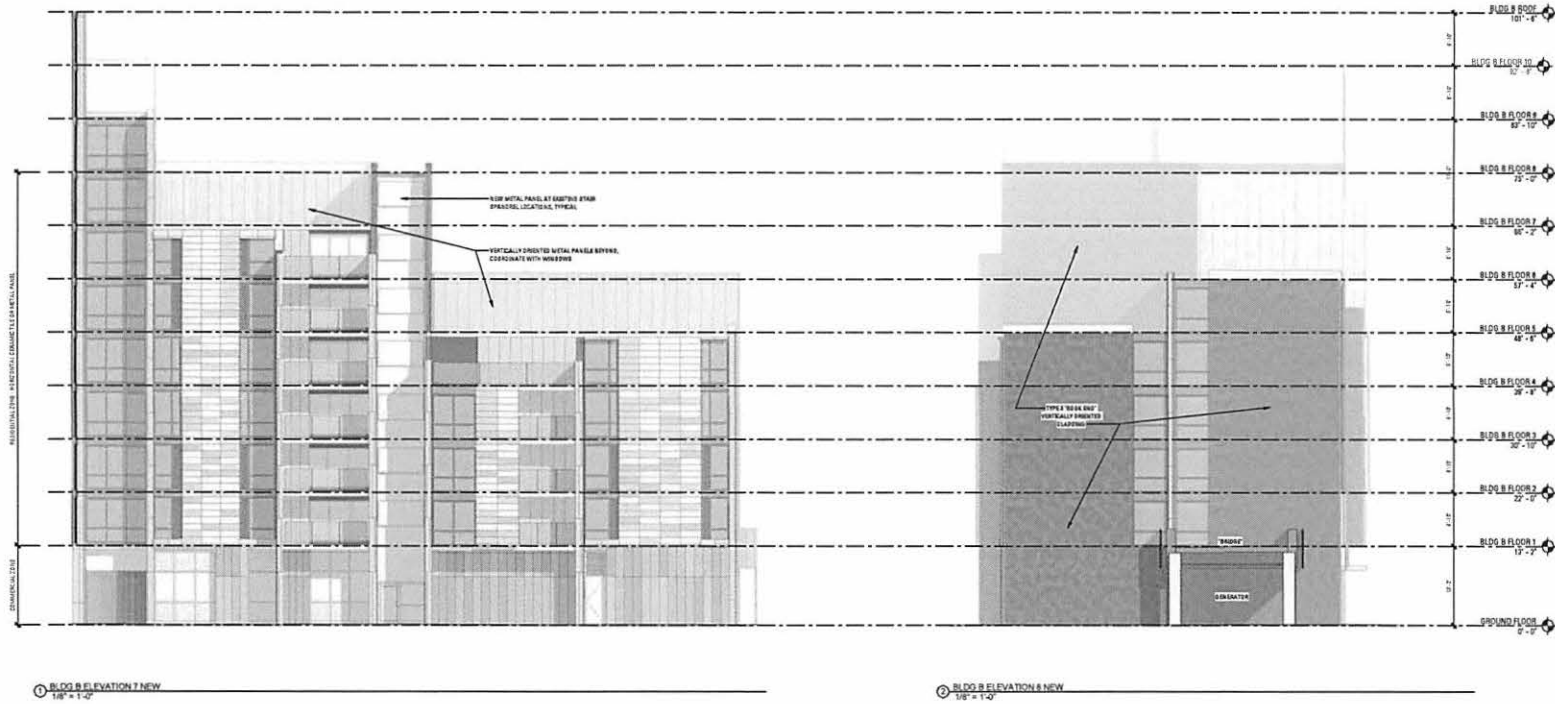
A-B302



① BLDG 8 ELEVATION 5 NEW
 1/8" = 1'-0"

② BLDG 8 ELEVATION 6 NEW
 1/8" = 1'-0"

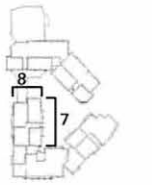
NOTES:
 1. CONSULT THE ARCHITECTURAL RECORD FOR ALL EXISTING CONDITIONS AND RECORD THE EXISTING CONDITIONS.
 2. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 3. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 4. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 5. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 6. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
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 8. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 9. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 10. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 11. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.
 12. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS.



Rev	Date	Revised

Date: _____
Scale: As indicated
Project Number: _____
Drawn By: _____
Author: _____

808/812 Memorial Drive



50% DD
NOT FOR CONSTRUCTION

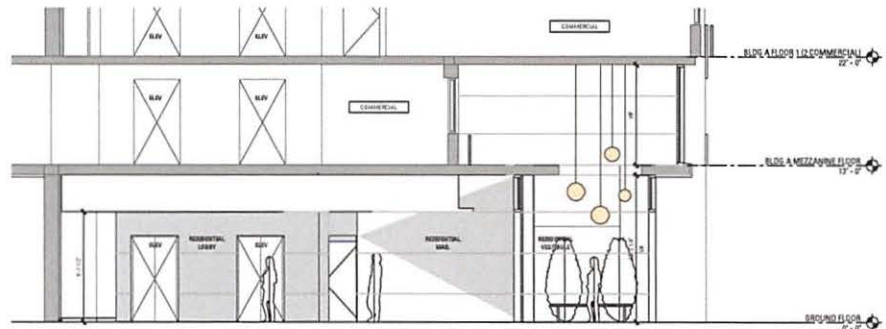
BLDG B ELEVATION 7 & 8 NEW

A-B303

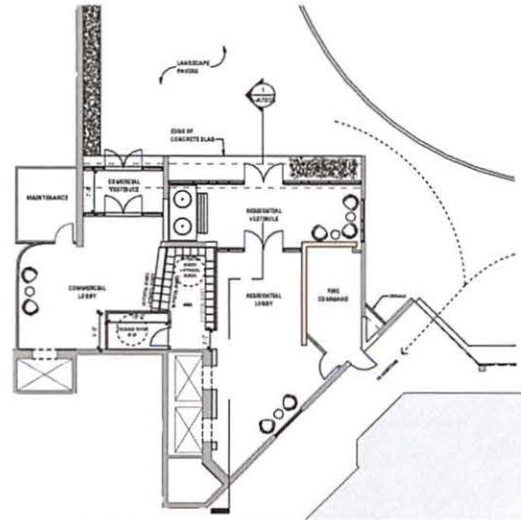
- 1. REMOVE ALL EXISTING WINDOW GLASS, STAIN, DISCOLORATION AND FINISHES AT BUILDINGS 7 AND 8.
- 2. REMOVE AND REPLACE ALL EXISTING WINDOWS, SILL, STAIN, DISCOLORATION AND FINISHES AT BUILDING 7 AND 8.
- 3. REMOVE AND REPLACE ALL EXISTING WINDOW MULLIONS.
- 4. REMOVE AND REPLACE ALL EXISTING WINDOW SILL CASINGS.
- 5. PROVIDE ALL WINDOW CASINGS TO BE REPLACED WITH NEW CASINGS.
- 6. PROVIDE ALL WINDOW CASINGS TO BE REPLACED WITH NEW CASINGS.
- 7. PROVIDE LOW BUFT EXTERIOR FOR EXISTING EXTERIOR FINISHES AT BUILDINGS 7 AND 8 THAT THEY CAN BE MAINTAINED THE FACE OF NEW GLASS SYSTEM.

Bruner/Cott
ARCHITECTS

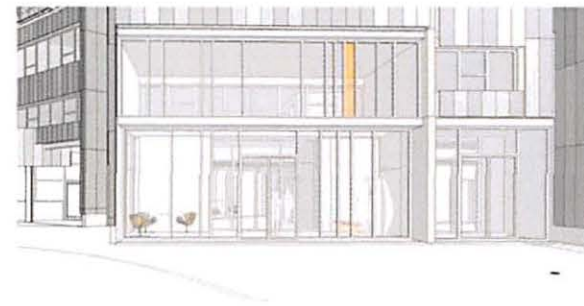
225 Friend St., Suite 701
Boston, MA 02114
617.492.8400
www.brunercott.com



① EXTENDED LOBBY SECTION 1
1/4" = 1'-0"



② BLDG A GROUND FLOOR - COMMERCIAL & RESIDENTIAL LOBBIES - EXTEND 2
SCALE: 1/8" = 1'-0"



Rev.	Date	By	Checked

Date: _____
Scale: As indicated
Project Number: _____
Drawn By: _____
Author: _____

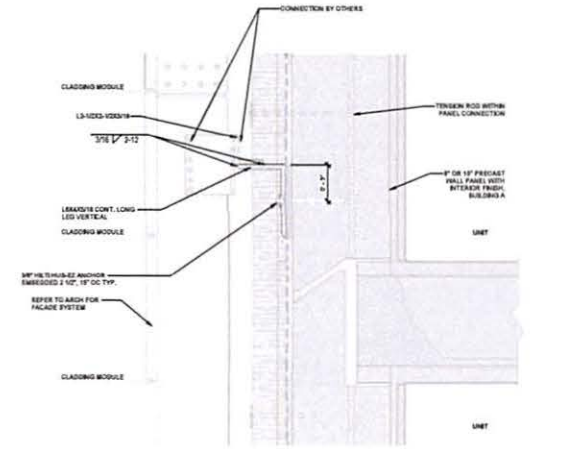
808/812 Memorial
Drive

50% DD
NOT FOR CONSTRUCTION

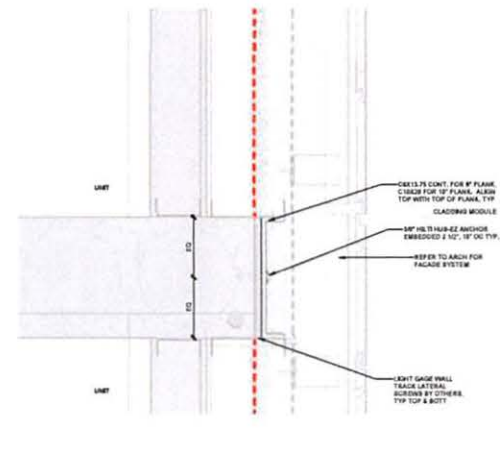
MARCH 7
SUPPLEMENT

LOBBY EXTENDED OPTIONS

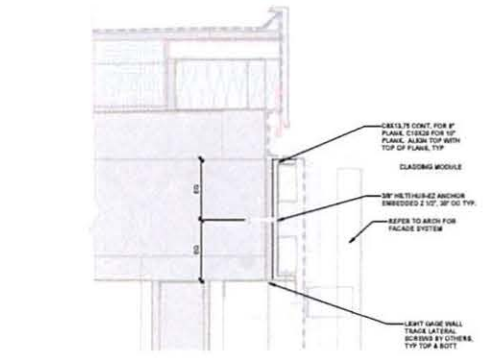
A-A703B



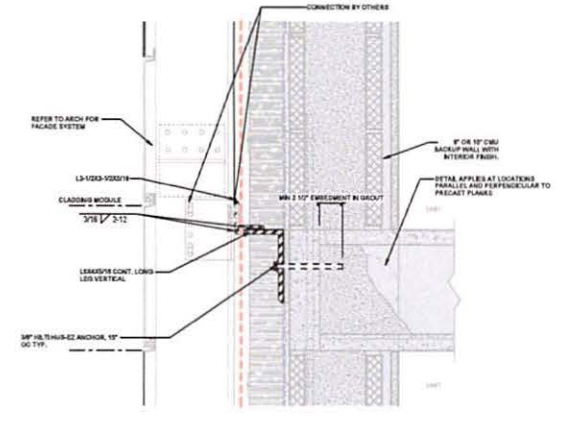
BLDG A TYP BOOK END - S&N
DTL-STRUCTURAL
3" = 1'-0"



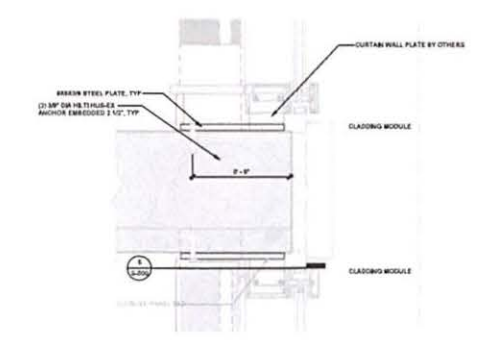
BLDG A TYP INFILL PANEL - S&N
DTL-STRUCTURAL
3" = 1'-0"



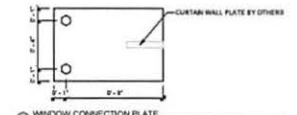
BLDG A TYP INFILL PANEL @ ROOF -
S&N DTL-STRUCTURAL
3" = 1'-0"



BLDG B TYP BOOK END - S&N
DTL-STRUCTURAL
3" = 1'-0"



TYP WINDOW HEADER, SILL, SPANREL
S&N DTL-STRUCTURAL
3" = 1'-0"



WINDOW CONNECTION PLATE
3" = 1'-0"

Rev	Date	Remarks

Date _____
 Scale 3" = 1'-0"
 Project Number _____
 Drawn By _____ Author _____

1/23/2015 10:42 AM

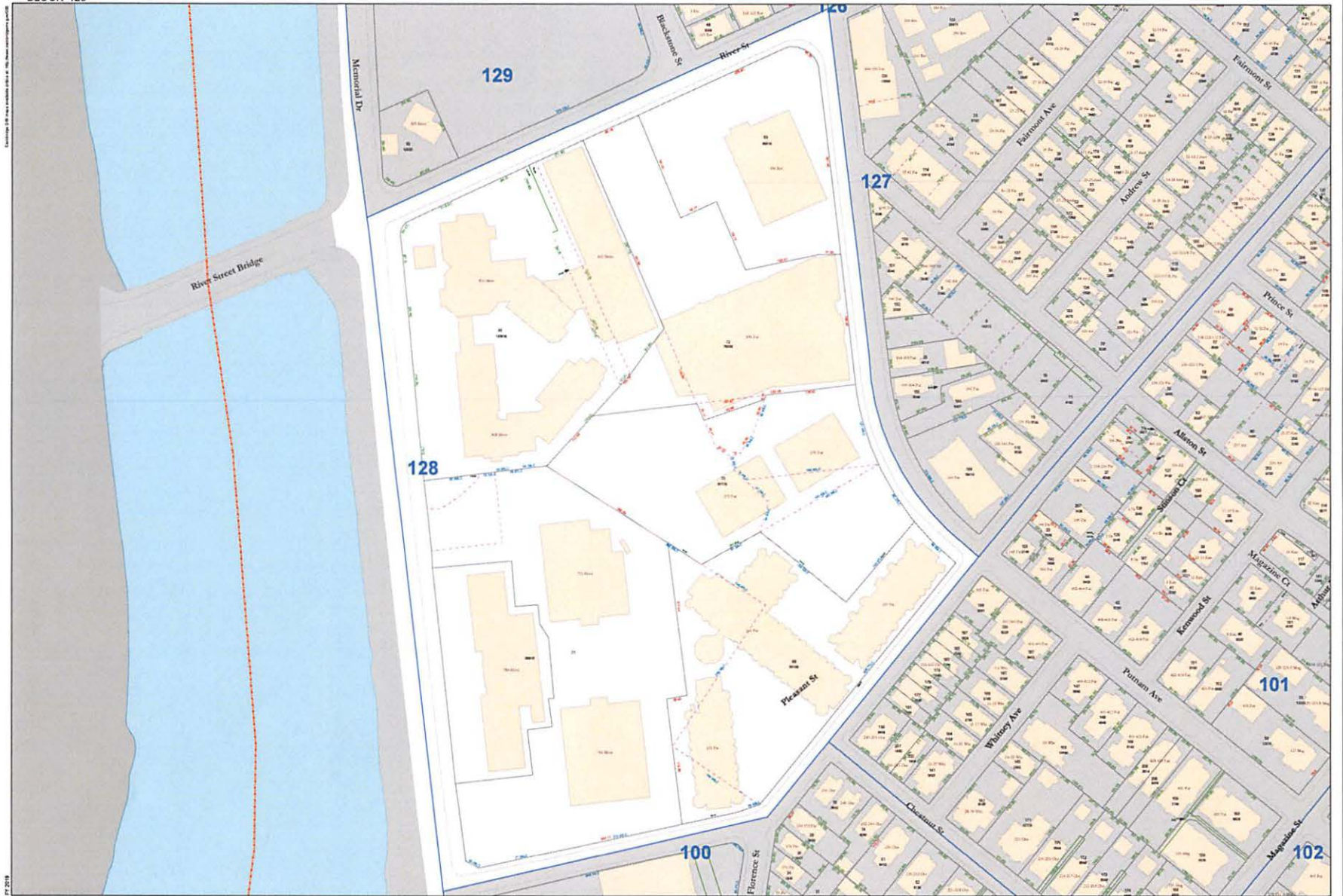
IF THIS SHEET IS NOT 36" X 42", IT HAS BEEN REDUCED OR ENLARGED.

808-812 Memorial Drive



808 Memorial Drive (right, 11 stories) and 812 Memorial Drive (Left, 19 stories), as seen from the southern bank of the Charles River

BLOCK 128



**City of Cambridge
Assessing Department**

795 Massachusetts Ave.
Cambridge, MA 02139

- Buildings
- Lot Line
- Sub-Parcel Line
- Block Line
- Easement
- City Boundary
- Water
- Sub-Parcel Line
- Easement
- Railway

10 Lot Number 100 Parcel size in Sq Ft
 128 Block Number 44.0LC Land Court Dimension
 10 Cam Street Number 65.0 Survey Dimensions
 (125.0) Deed Dimension

DISCLAIMER
 All land property shown on this map was provided from existing assessors' Tax Maps dated 2018 to 2019 and maintained by the City Assessor's Office and the Department of Public Works. Subsequent transactions that occur on these lots are the responsibility of the City of Cambridge Geographic Information System (GIS). Errors may have been introduced into this map and may be available for necessary corrections only.
 The City of Cambridge assumes no legal responsibility for information shown on this map.



0 25 50 100 Feet
 1 inch = 54 feet



Parcel Block Map

128

Memorandum

March 7, 2019

Dear Jane,

The following memo is to express our support for an over-cladding approach at 808-812 Memorial Drive.

The buildings at 808-812 Memorial Drive consist of two towers constructed in 1974 that house 300 apartment units of varying sizes, a large percentage of which are Affordable Housing units. The buildings also house commercial and community spaces, a gas station, and above ground parking garage. 808-812 Memorial Drive houses a strong community of residents, some of whom have called the buildings home for multiple decades.

The buildings display envelope deterioration reflective of their type of construction and age. Since the previous major renovation in 1997, extensive and ongoing repairs to the exterior envelope have been required to remediate leaks caused by cracks and spalls in the concrete structure and precast panels, sub-par flashing installations, aged exterior sealant, prolonged exposure of coatings applied to rib-faced block veneer, and multiple other conditions negatively impacting the tenant community. Years of moisture infiltration has impacted the masonry veneer and wall assembly inviting more infiltration.

These exterior envelope issues expose dozens of units to water damage annually. The low thermal performance of the building envelope directly impacts annual energy use and occupant comfort. The buildings' primary mechanical and electrical infrastructure is approaching the end of its service life and is scheduled to be updated. The replacement of these mechanical systems alongside an improved over cladding and building envelope upgrade can maximize building efficiency moving forward. We believe a whole building renovation approach is necessary and that the exterior over cladding is the primary contributing factor to improved building efficiency.

BCA has been involved with the buildings at 808-812 Memorial Drive over the past four years. We have witnessed ongoing repair work and continued deterioration of the existing exterior wall and veneer. We have discussed the history of repairs with engineers and contractors with long histories of involvement. We have witnessed areas of deterioration first hand during re-roofing and other isolated repair and mock-up projects. We have also used energy modeling to compare over cladding approaches to understand the benefits of over cladding. We believe a new insulated over cladding system can bring the exterior up to current code standards. Unfortunately, the additional depth of the over-cladding systems cannot be confined to the listed 4" exclusion depth under zoning. We welcome further discussion with the city on how to align the needs of zoning and code requirements for a project of this type and others like it.

Please don't hesitate to contact me with questions,

Shaun Dempsey AIA
Associate